

DRAWING LIST

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
0-Cover		
A-000	COVER SHEET	3/27/2023
1-Civil		
C1	PLOT PLAN OF LAND	2/8/2021
2-Landscape Arch.		
L1	LANDSCAPE PLAN	3/3/2023
L2	LANDSCAPE MATERIALS PLAN	3/3/2023
3-Architectural		
A-011	EXISTING CONDITIONS & DEMO PLAN	3/27/2023
A-019	ZONING ANALYSIS	3/27/2023
A-020	ARCHITECTURAL SITE PLAN	3/27/2023
A-021	BIKE PARKING PLANS	3/27/2023
A-022	GROSS AREA PLANS	3/27/2023
A-023	UNIT AREAS	3/27/2023
A-100	BASEMENT PLAN	3/27/2023
A-101	1ST FLOOR PLAN	07/11/23
A-102	2ND FLOOR PLAN	07/11/23
A-103	3RD FLOOR PLAN	07/11/23
A-104	ROOF PLAN	07/11/23
A-300	EAST & SOUTH ELEVATIONS	3/27/2023
A-301	NORTH & WEST ELEVATIONS	3/27/2023
AV-1	PERSPECTIVES	3/27/2023
AV-2	MILTON & MASS AVE CORNER RENDERING	3/27/2023
AV-2.1	MILTON & MASS AVE CORNER RENDERING	07/11/23
AV-2.2	MILTON & MASS AVE CORNER RENDERING	07/11/23
AV-3	MASS AVE. RENDERING	3/27/2023
AV-3.1	MASS. AVE. RENDERING	07/11/23
AV-4	SHADOW STUDY	3/27/2023
AV-5	SHADOW STUDY	3/27/2023
AV-6	SHADOW STUDY	3/27/2023
AV-7	SITE TREES	3/27/2023
AV-8	EXISTING CONDITIONS/ CURRENT	3/27/2023
28		



2161 MASSACHUSETTS AVE.

8/22/2023

ARCHITECT: KHALSA DESIGN INC.

2161 MASS AVE RESIDENCES

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PROJECT TEAM

OWNER
 NELSON GROUP COMPANIES
 ADDRESS:
 264 SALEM ST.
 MEDFORD, MA 02155

ARCHITECT
 KHALSA DESIGN INC.
 ADDRESS:
 17 IVALOO ST., SUITE 400
 SOMERVILLE, MA 02143

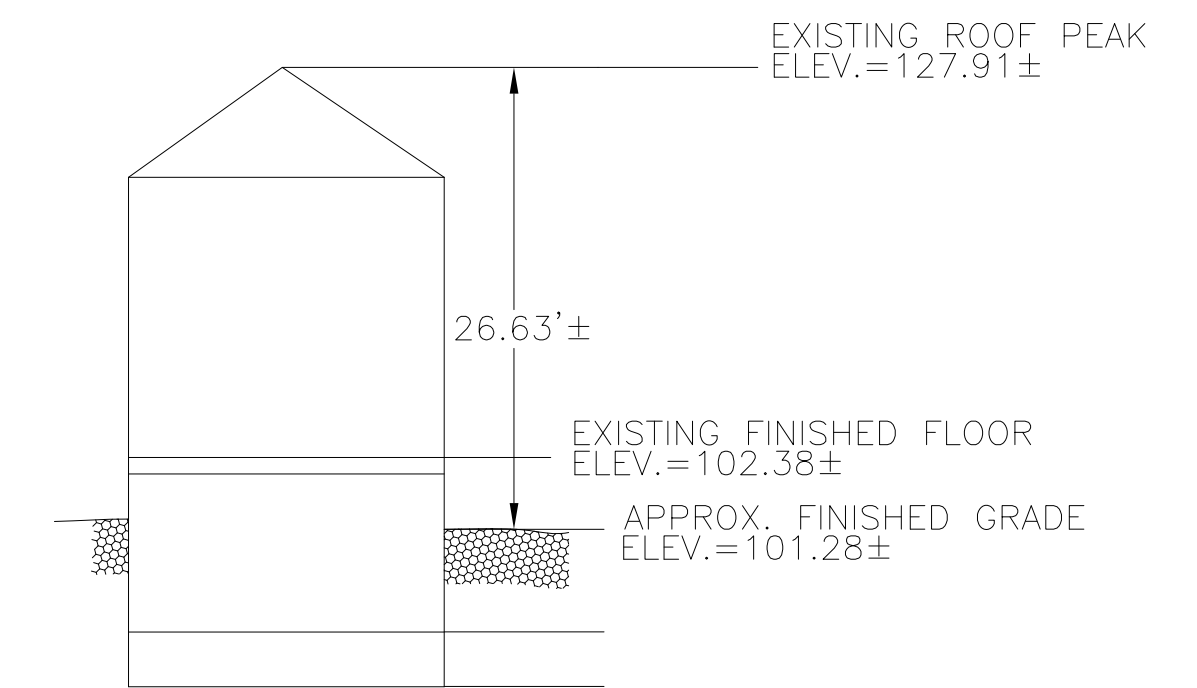
LANDSCAPE ARCHITECT
 VERDANT
 ADDRESS:
 318 HARVARD ST., #25
 BROOKLINE, MA 02446

LEGAL
 ADAMS & RAFFERTY
 ADDRESS:
 907 MASS AVE., SUITE 300
 CAMBRIDGE, MA 02139

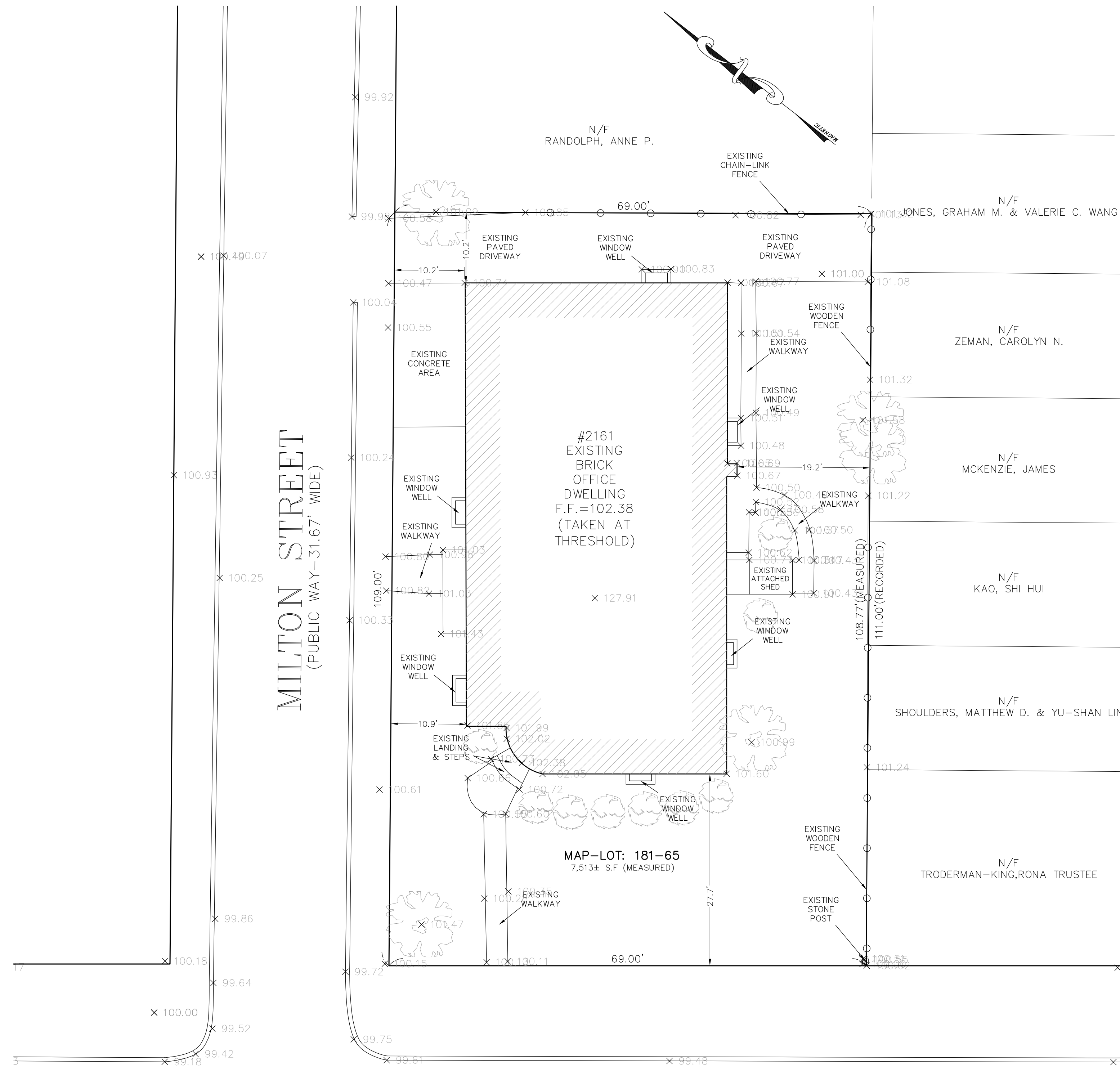


NOTES:

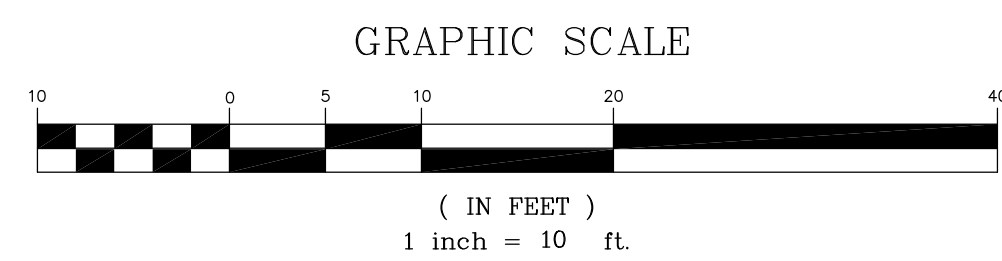
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 1/19/2021.
2. DEED REFERENCE: BOOK 13083, PAGE 528
PLAN REFERENCE: PLAN BOOK 14509, PLAN 327
PLAN REFERENCE: PLAN BOOK 15287, PLAN 343
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0438E, IN COMMUNITY NUMBER: 250186, DATED 6/4/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM.



EXISTING PROFILE
NOT TO SCALE



MASSACHUSETTS AVENUE
(PUBLIC WAY-VARIABLE WIDTH)



SCALE	1"=10'			
DATE	2/8/2021	REV	DATE	REVISION
SHEET	1			BY
PLAN NO.	1 OF 1	2161 MASSACHUSETTS AVENUE CAMBRIDGE MASSACHUSETTS		
CLIENT:		PLOT PLAN OF LAND		
DRAWN BY	KK	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		
CHKD BY	ETS			
APPD BY	PJN			
				SHEET NO. 1



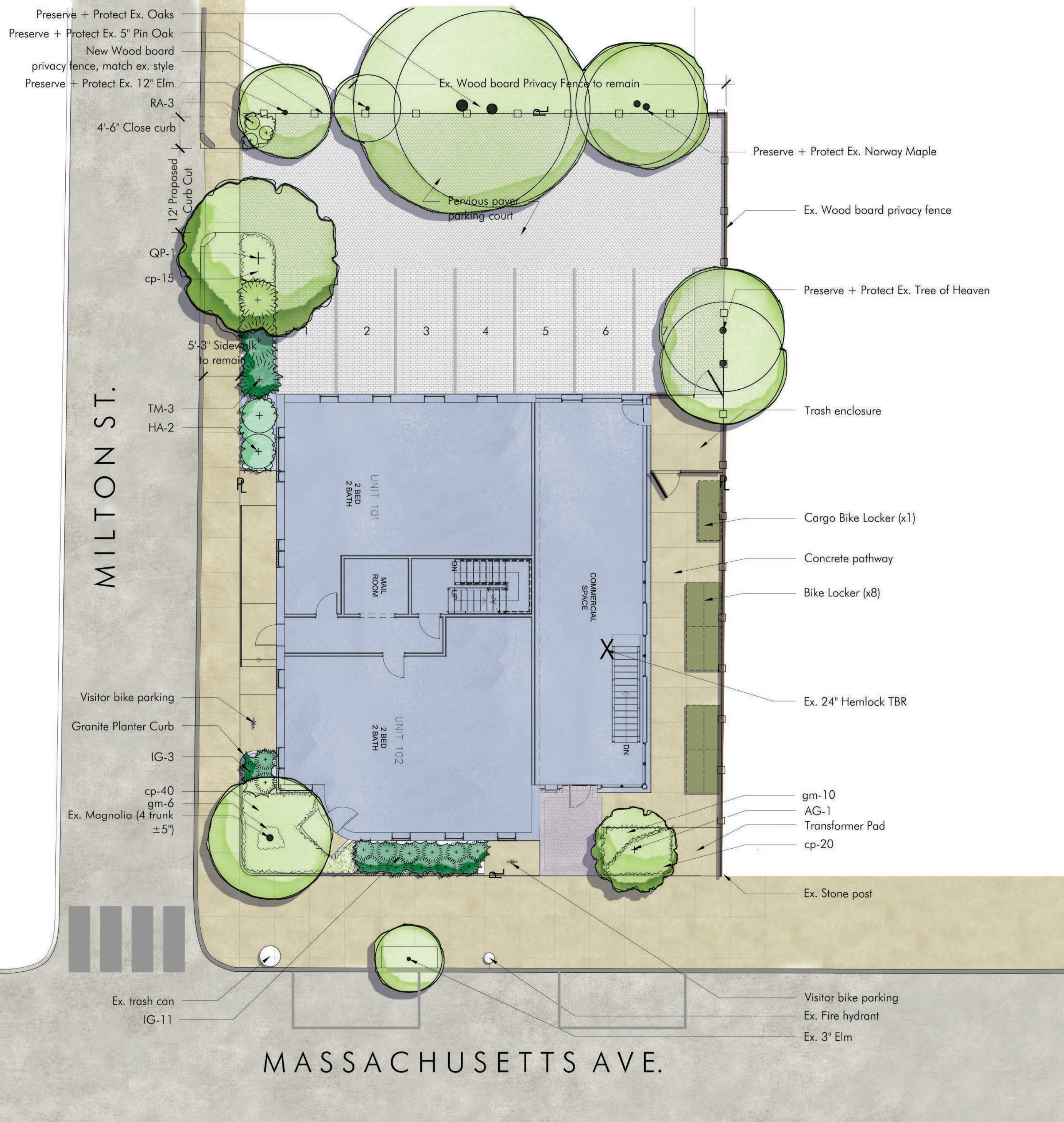
PROPOSED PLANT LIST

SYM #	LATIN NAME	COMMON NAME	NOTES
Deciduous Trees:			
AG 1	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	8'-10' multi stem B&B Understory Tree 15'-20' spd
QP 1	Quercus palustris	Pin Oak	3-3.5" cal. B&B 40'-50' Canopy Tree:
HA 2	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal. pots 3'-4' Tall
IG 14	Ilex glabra 'Shamrock'	Inkberry- 1 male	24-30" ht. pots 4'-5' Tall
RA 3	Rhus aromatica 'Gro-Low'	Fragrant Sumac	24-30" ht. pots 2'-3" Tall
TM 3	Taxis x media 'hicksii'	Hicks Yew	30-36" ht. pots 5'-6' Tall
Perennials:			
pv 2	Panicum virgatum 'ruby ribbons'	Ruby Ribbons Switch grass	1 gal. 3' Tall
cp 75	Carex pensylvanica	Pennsylvania sedge	1 gal. 1' Tall
gm 16	Geranium maculatum 'Espresso'	Wild Geranium	1 gal. 1' Tall

Tree Species	Caliper of Trees To Be Removed	Caliper of Trees To Be Preserved	Caliper Propos Tree:
Hemlock	24"		
Magnolia (4 Trunk ±5")		20"	
Serviceberry			3"
Pin Oak			3"
Total Inches	24	20	6.0

Tree Protection Plan:
 Prior to initiating site work, the Contractor shall install a 6' ht. chain link construction fence as shown on the plan to establish the Tree Protection Zone (TPZ).

- Existing pavement shall be maintained during construction since it will provide a durable and non-erosive platform for construction.
- An arborist shall prune limbs that may hinder or be damaged by construction equipment or that may interfere with building construction.
- At the conclusion of construction, the existing pavement shall be carefully removed, leaving the existing base in place to the dimensions shown on the plan.



Pervious paver parking court



Visitor bike parking, Hitch and Loop by Dero



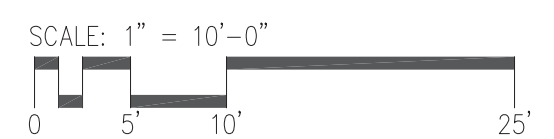
Bike lockers by Dero



Cargo Bike Locker



4" Landscape curb



PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

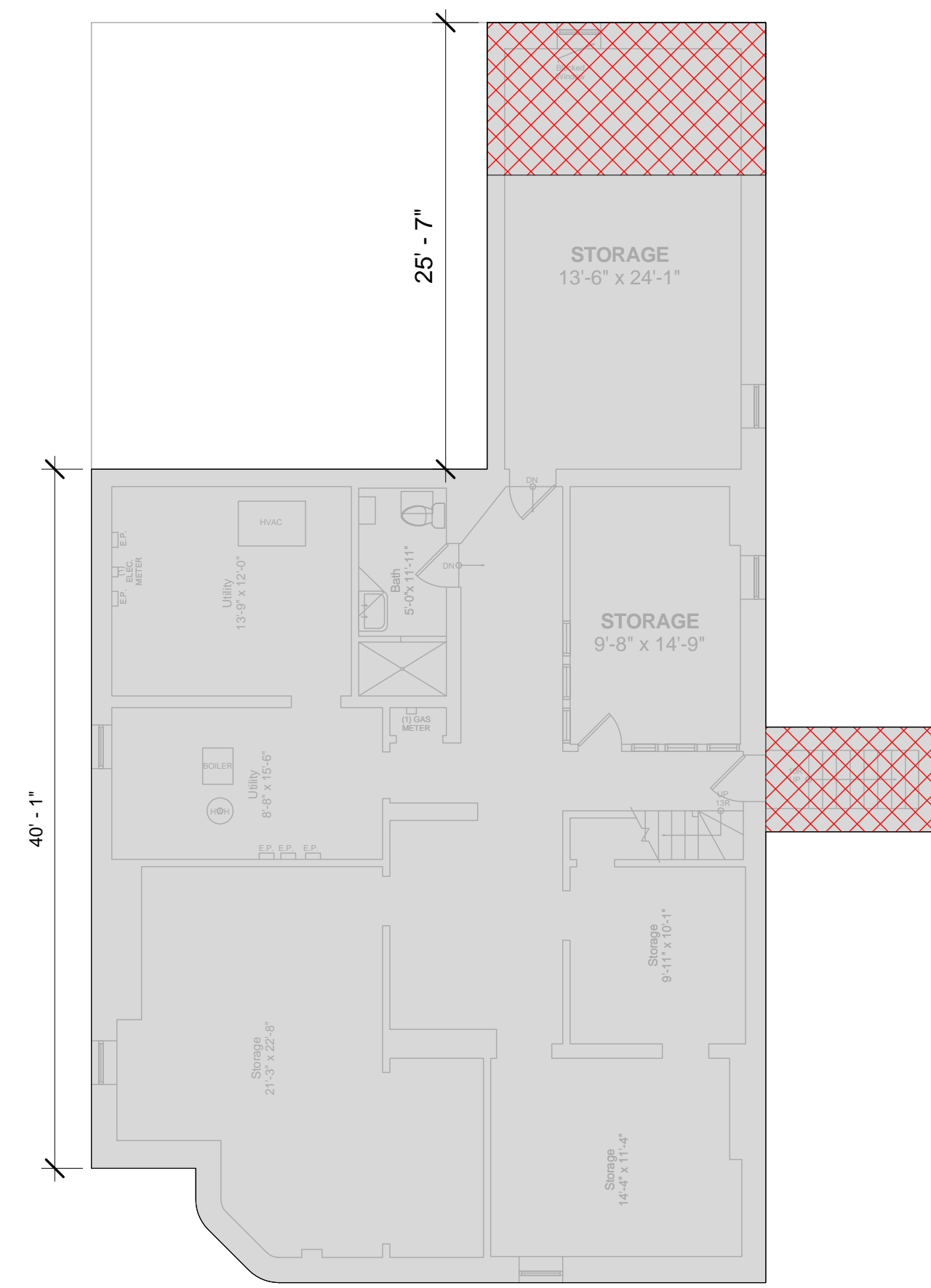
NELSON OLIVEIRA

ARCHITECT

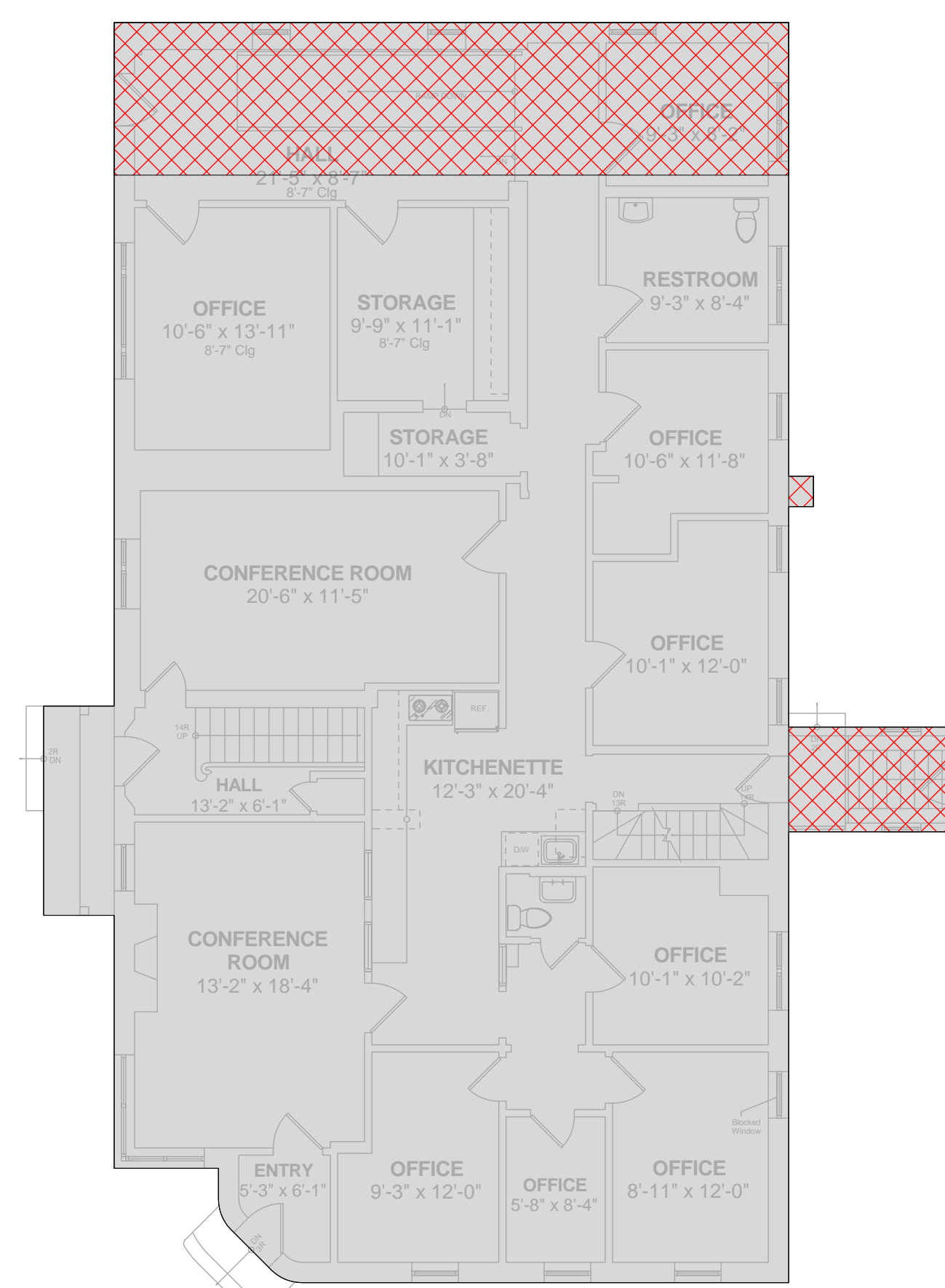


17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

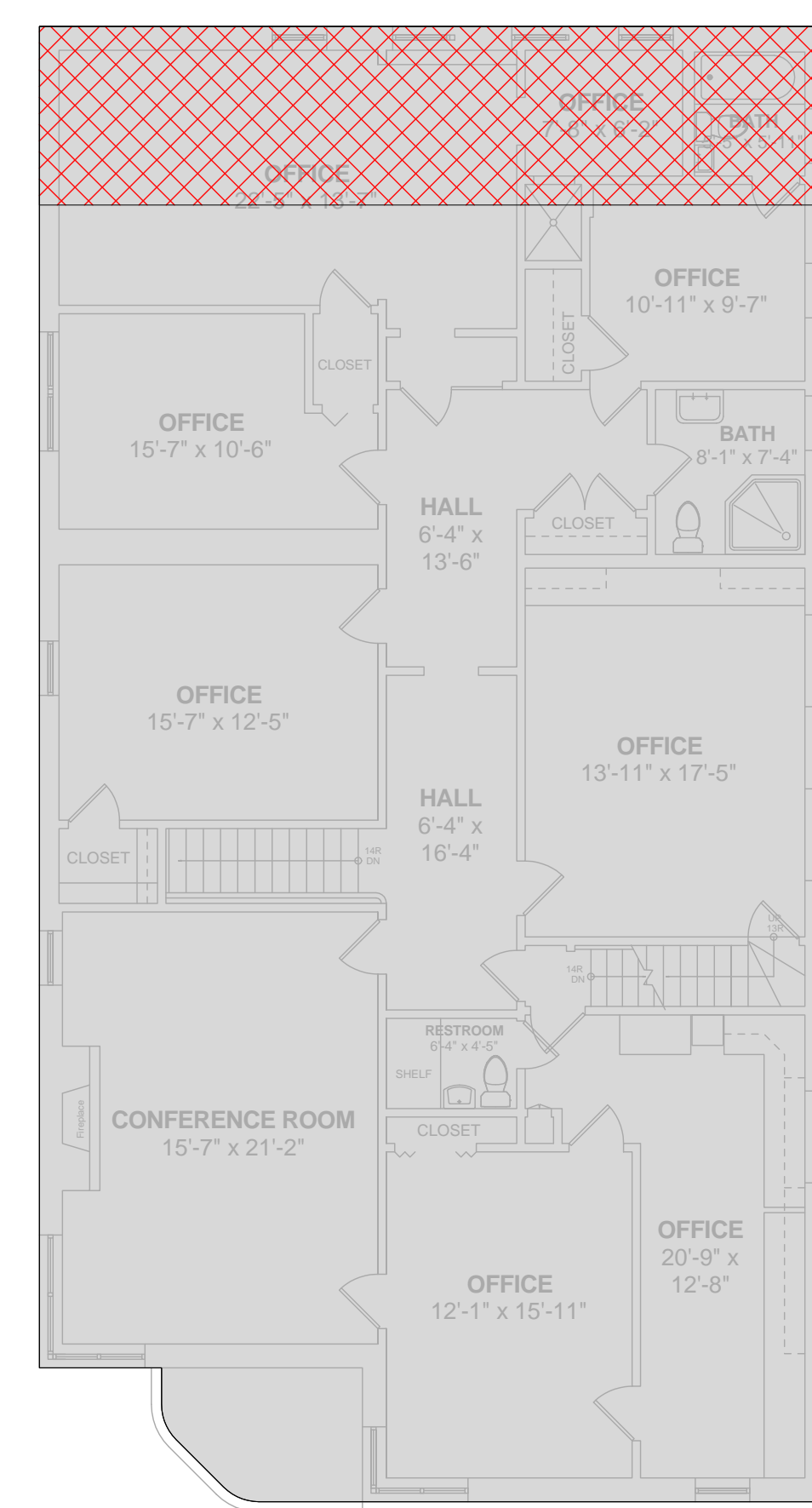
CONSULTANTS:



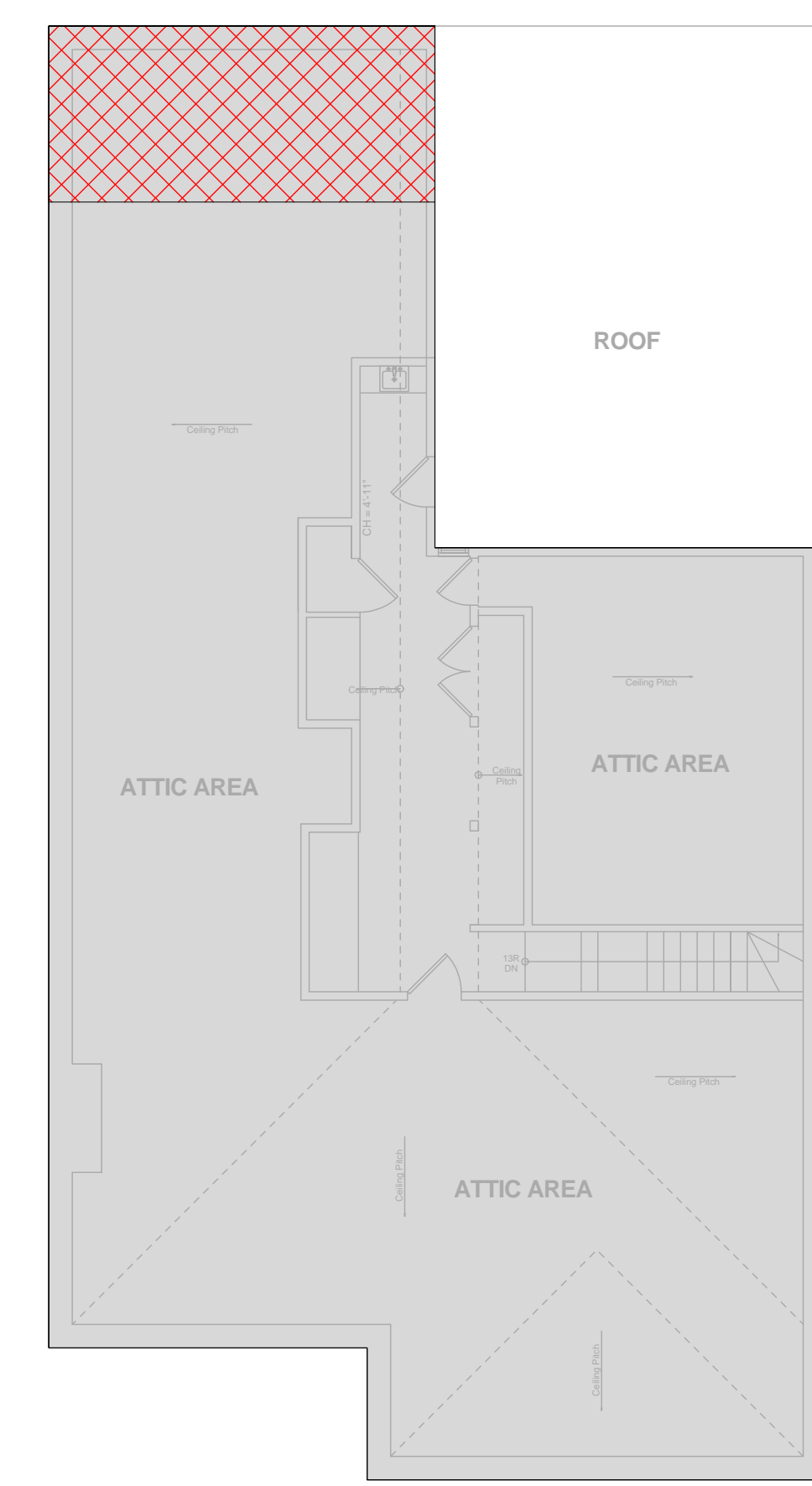
BASEMENT PLAN
Ceiling Height = 7'-7"
AREA 2,226 SF



FIRST FLOOR PLAN
Ceiling Height = 7'-10"
AREA 2,858 SF



SECOND FLOOR PLAN
Ceiling Height = 8'-1"
AREA 2,749 SF



THIRD FLOOR PLAN
Ceiling Height = 6'-4"
AREA 154 SF

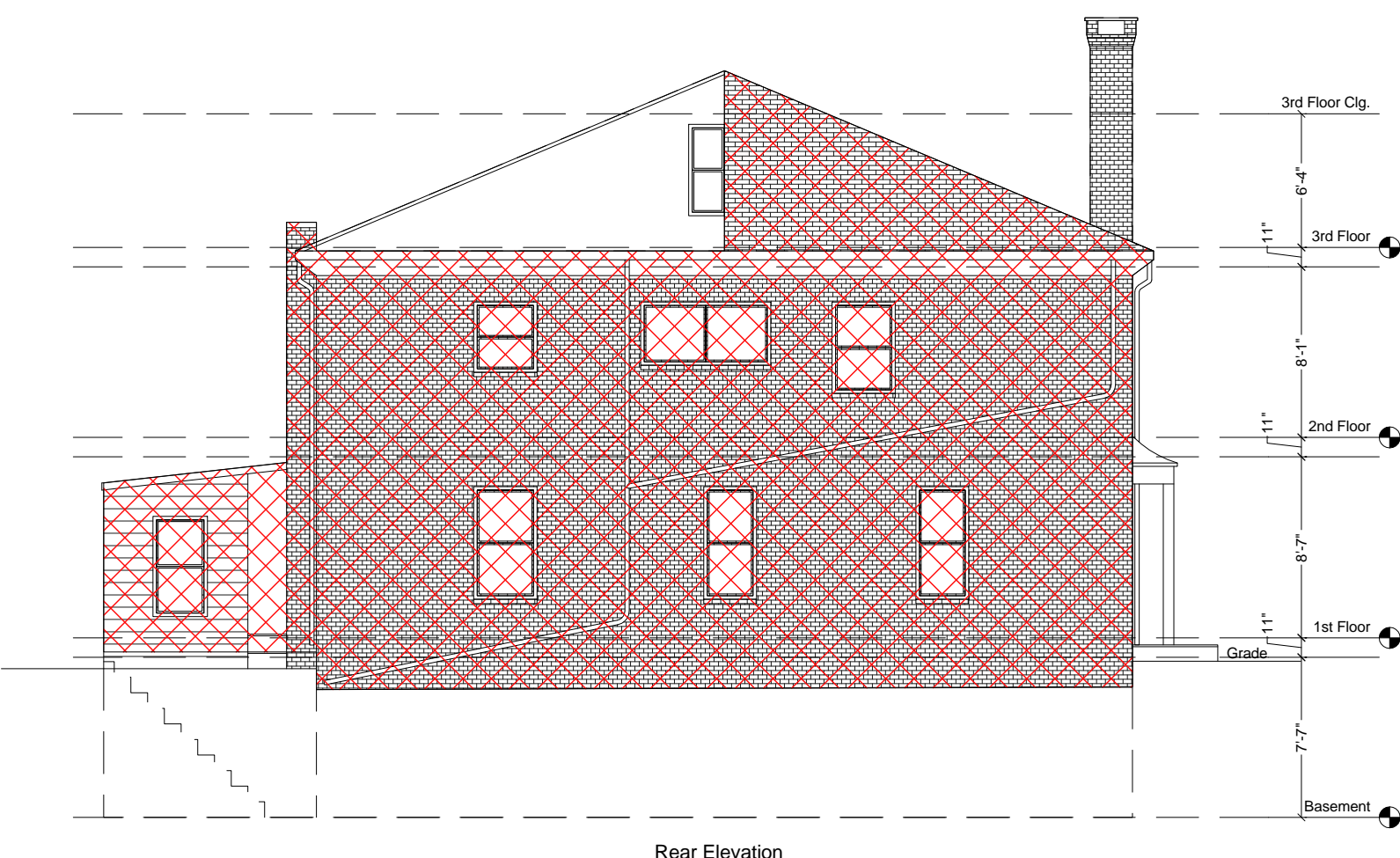
① Existing Plans
1/8" = 1'-0"



Front Elevation



Right Elevation



Rear Elevation



Left Elevation

② Existing Elevations
1/8" = 1'-0"

EXISTING GROSS AREA: 10,016 SF
 AREA TO DEMOLISH: 1,112 SF
 MAX TO DEMOLISH 25% = 2,504 SF
 PROPOSED DEMOLITION = 11% (1,112 SF)
 THEREFORE COMPLIES

MEASURED AND DRAWN BY
NATIONAL FLOOR PLANS

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OF PROSECUTION UNDER LAW

REGISTRATION

**NOT FOR
CONSTRUCTION**

Project number	20089
Date	7/11/2023
Drawn by	NB
Checked by	TMC
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

**EXISTING
CONDITIONS &
DEMO PLAN**

A-011

2161 MASS AVE RESIDENCES

ZONING CHART

BA-2=6,900 RES-B =613 TOTAL: 7,513

Main zoning chart table with columns: Lot Contains Identified Historic Structure, ZONE, REQUIRED, PROPOSED, REMARKS. Includes sections for setbacks, footnotes, and additional standards.

BA-2 NOTES:

(b) If the side yard of any lot abutting another lot (where that lot does not abut Massachusetts Avenue and where all or a majority of it is located in a residence district) no building shall be set nearer than twenty feet to (1) either the residence/Business A-2 zoning district line where the lot line is located in the BA-2 District or (2) the side lot line itself where that lot line is located in the residence district. Nevertheless, the provisions of the following paragraph shall continue to apply.

RES-B NOTES:

(c) In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3, C-3A, C-3B districts. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet in Residence A-1, A-2, and B districts, no 6-15 building may be nearer the rear lot line than twenty-two (22) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds one hundred (100) feet, up to a maximum of thirty-five (35) feet.

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8862

CONSULTANTS:

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REGISTRATION

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Project metadata table with columns: Project number, Date, Drawn by, Checked by, Scale. Values: 20089, 7/11/2023, NB, TMC, 1/4" = 1'-0"

REVISIONS

Table with columns: No., Description, Date. Currently empty.

ZONING ANALYSIS

A-019

2161 MASS AVE RESIDENCES

Table: EXISTING FAR. Columns: NAME, AREA. Rows: BASEMENT (2,226 SF), 1ST FLOOR (2,857 SF), 2ND FLOOR (2,749 SF), ATTIC (154 SF), TOTAL: 7,986 SF

Table: GROSS BUILDING - EXISTING. Columns: NAME, AREA. Rows: BASEMENT (2,226 SF), 1ST FLOOR (2,857 SF), 2ND FLOOR (2,749 SF), ATTIC (2,184 SF), TOTAL: 10,016 SF

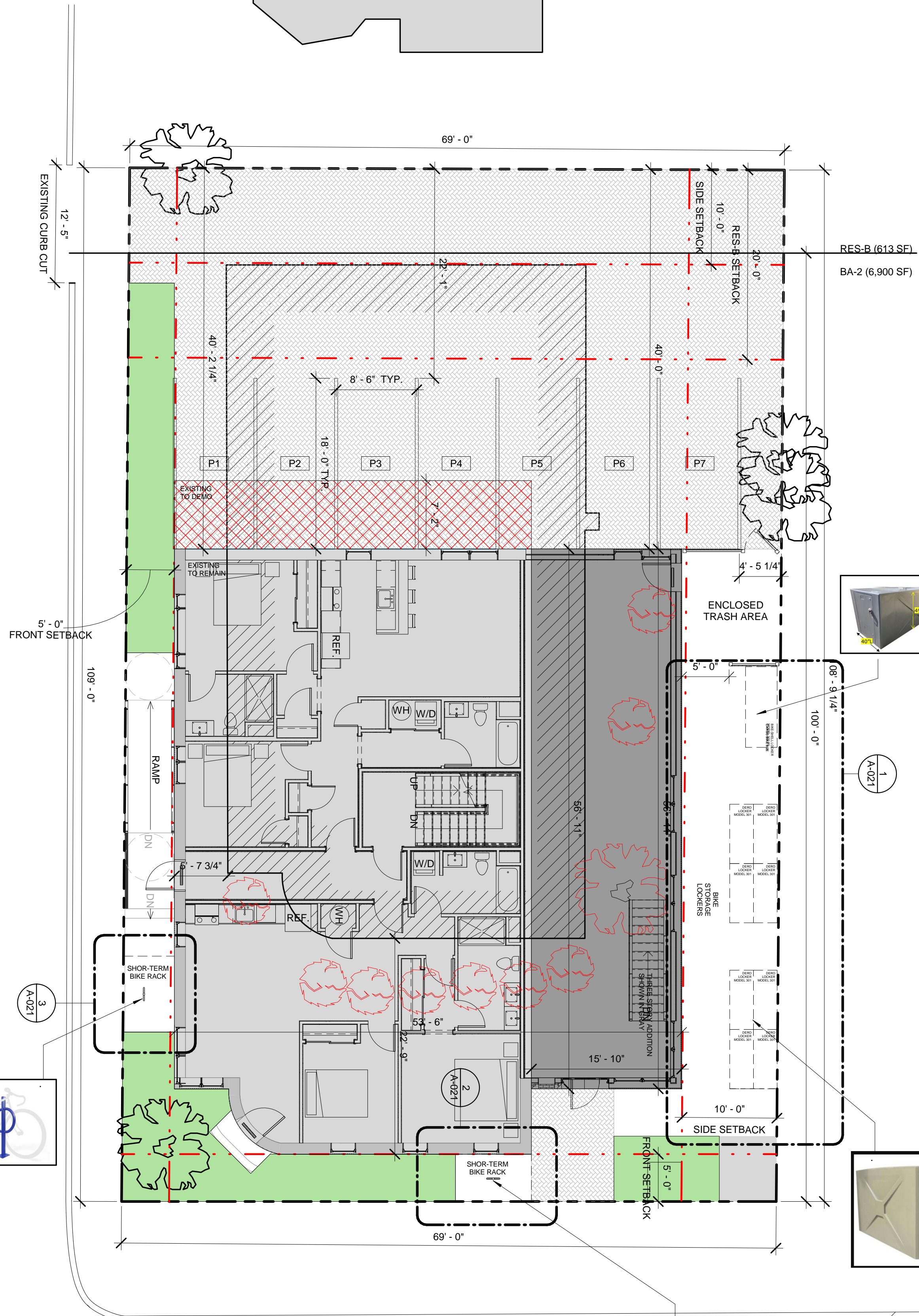
Table: UNIT AREAS. Columns: NAME, TYPE, AREA. Rows: COMMERCIAL (952 SF), COMMERCIAL BASEMENT (1348 SF), UNIT 101 (2 BED 2 BATH, 1019 SF), UNIT 102 (2 BED 2 BATH, 1001 SF), UNIT 201 (2 BED 1 BATH, 780 SF), UNIT 202 (1 BED 1 BATH, 681 SF), UNIT 203 (1 BED 1 BATH, 671 SF), UNIT 204 (2 BED 1 BATH, 763 SF), UNIT 301 (2 BED 1 BATH, 808 SF), UNIT 302 (2 BED 1 BATH, 820 SF), TOTAL: 8844 SF

Table: GROSS BUILDING - PROPOSED. Columns: Level, Area.

Table: GROSS BUILDING - PROPOSED. Columns: Level, Area. Rows: 0 BASEMENT (1562 SF), 1ST FLOOR (3254 SF), 2ND FLOOR (3195 SF), 3RD FLOOR (1775 SF), TOTAL: 9786 SF

MILTON ST.

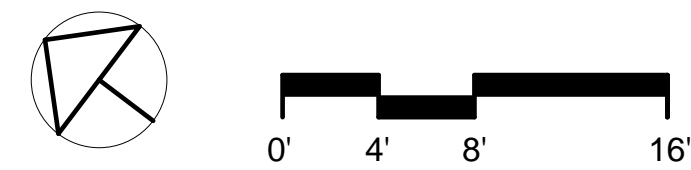
1/8" = 1'-0"
SITE PLAN



MASS AVE.

THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLAN PLAN.

LOT SIZE: +/- 7,513 SF



SITE PLAN LEGEND	
	PROPOSED ADDITION
	EXISTING TO REMAIN
	EXISTING TO DEMO
	EXISTING BUILDING
	CONCRETE SURFACE
	LANDSCAPE
	PERVIOUS PAVERS
	REQUIRED SETBACKS

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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CONSULTANTS:

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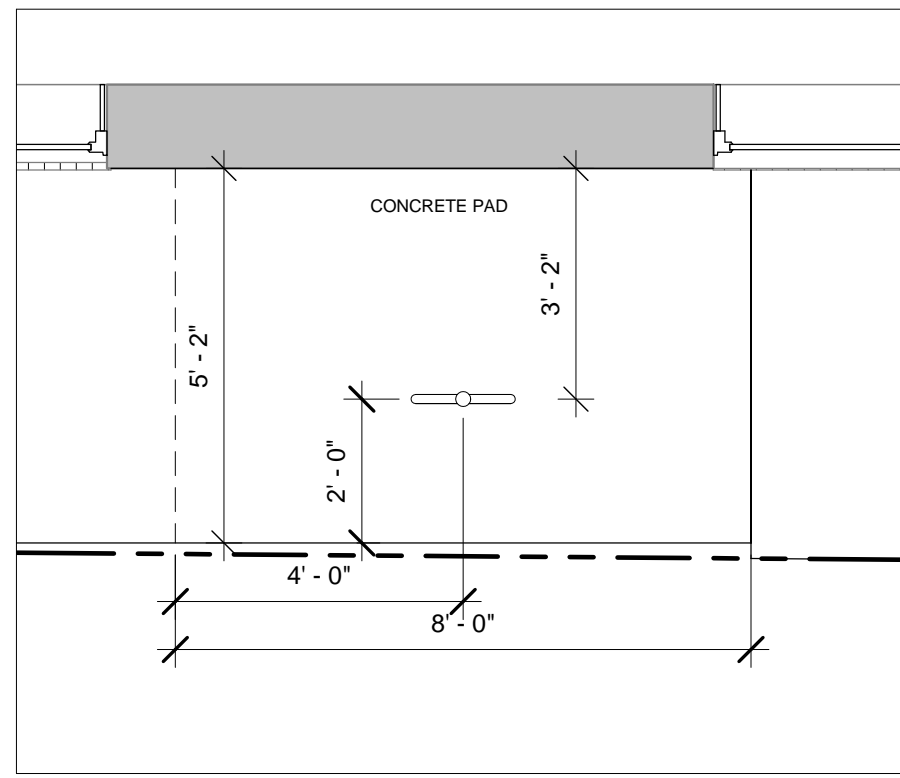
REVISIONS

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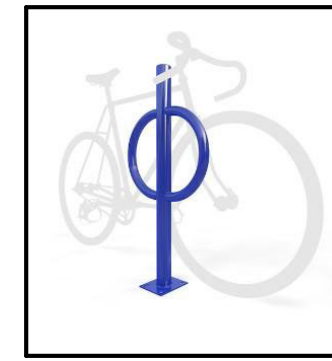
ARCHITECTURAL SITE PLAN

A-020

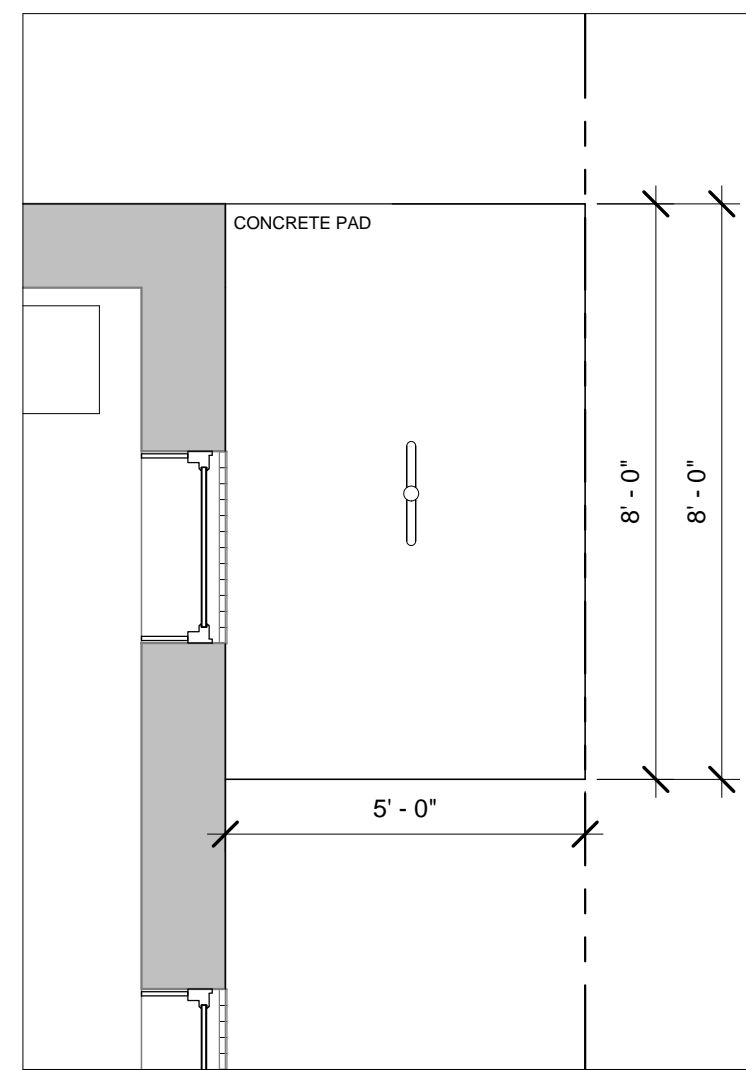
2161 MASS AVE RESIDENCES



③ SHORT TERM BIKE PARKING MILTON ST.
3/8" = 1'-0"



SHORT TERM BIKE PARKING HITCH



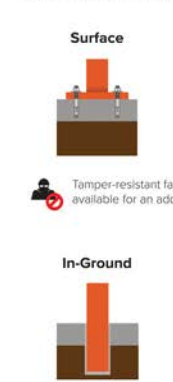
② SHORT TERM BIKE PARKING MASS AVE.
3/8" = 1'-0"



Bike Hitch™
The Bike Hitch uses thick tube construction and a full radius bend for the ring, making it extremely difficult to cut with a pipe cutter. This creates the lock too tight against a bike's frame, and accommodations of bike locks.



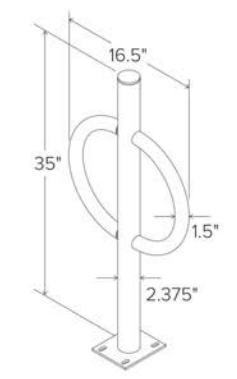
MOUNT OPTIONS



FINISH OPTIONS



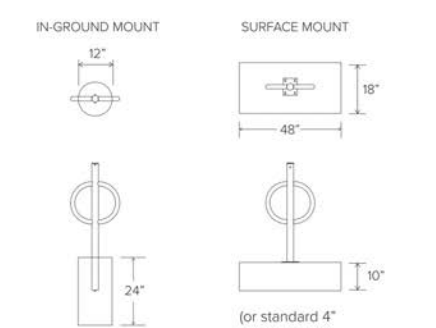
DERO Bike Hitch™ Submittal Sheet



CAPACITY: 2 Bikes
MATERIALS: Centerbeam: 2" schedule 40 pipe (2.375" OD) Ring: 1.5" OD 11 gauge tube
FINISHES:
 Galvanized An after fabrication hot dipped galvanized finish is our standard option.
 Powder Coat Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final finish: TSC polyester powder coat.
 Stainless Stainless Steel: 304 grade stainless steel material finished in either a high gloss or satin finish.

MOUNT OPTIONS

Surface Foot Mount has a 5" x 8" x .25" foot with four anchors per foot. Specify foot mount for this option. Tamper-resistant footers available upon request.
 In-Ground In-ground mount is embedded into concrete base. Specify in-ground mount for this option.



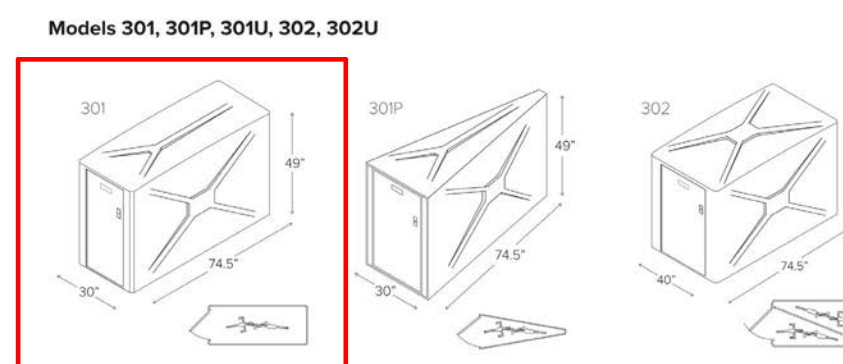
STANDARD SIZE



300 Series Bike Locker

Bike lockers provide protection from less savory elements, whether environmental or human. Mount options include storage for one or two bikes, stacked models, and rectangular or wedge shaped. The 300 model comes complete, no assembly required.

DERO 300 Series Bike Locker Specifications



Structure and Finish
• 1 door, 1 bike capacity
• One piece molded fiberglass plastic composite, UV and graffiti resistant.
• Comes in choice of two colors - medium grey or tan.
• Comes standard with choice of T handle lock with three keys or padlock/U-lock system. Available in 1/2 bike capacity.
• Rectangular or pre-slanted.
• Stackable option available for 301 and 302.
• All lockers are shipped assembled and can stand alone or be grouped.
• No common walls - Lockers are easily relocated.
• Fiberglass reinforced plastic is highly resistant to impact and stains and will not corrode.
• High security with standard key locks recessed in door face and internal locking bar mechanism.

CARGO SIZE



Bike-Shell™ Model 301WL

NEW design, one piece FRP Composite bike locker NO ASSEMBLY required



All lockers are shipped assembled and can be stand alone or grouped - NO COMMON WALLS. Lockers easily relocated.

*Ride a recumbent or need more room for storage than our model 301WL locker, then our model 301WL is the answer, at 40" wide and 102" long it is the biggest bike locker available!

Specify the 300 Series lockers for the highest customer satisfaction from the no-assembly, ready-to-use delivery through years of trouble free operation.

Architects, designers and government agencies specify the 300 Series due to the high quality manufacturing which means virtually no installation costs!

*The 300 Series is the first one piece locker available that is not molded of soft and flammable HDPE plastic material.

*The construction of fiberglass reinforced plastic is highly resistant to impact, stains and will not corrode.
*Designed after our very popular 350 Series lockers and available in 6 styles providing flexibility for site locations.



American Bicycle Security Company
P.O. Box 7359
Ventura, CA 93006
Ph: (805) 245-3723 or (805) 933-3688
Fax: (805) 933-3865
www.amerbike.com
Email: turtle@amerbike.com

Bike-Shell™ Model 301WL



1 door/1 recumbent bike/2 bikes



2 door



T Handle Padlock/U-Lock Handle



Product: Bike-Shell™ Model 301WL
Capacity: 1 door/1 Recumbent Bike
Material: Locker shall be manufactured of molded fiberglass reinforced plastic composite with a smooth "X" pattern on exterior walls and top, with smooth door frame and stippled door. Material shall be E-glass and polyester resin at 25% ratio.
Finish: Tenille Strength, 18,000 psi. Locker shall be one piece with no internal or external joints. Finish of UV stabilized gelcoat does not need painting, allows solvent removal of graffiti and is resistant to impact and/or abuse.
NO ON SITE ASSEMBLY SHALL BE REQUIRED.
Roof: Roof shall be crowned for water run-off and all corners shall have a smooth radius finish. Finish of UV stabilized gelcoat does not need painting, allows solvent removal of graffiti and is resistant to impact and/or abuse.
Setback: Please allow 18" clearance for door.
Hardware: High quality custom continuous door hinge will not rust. All fasteners on locking system shall be zinc plated or better. Locker shall anchor in all four corners through base flanges using expansion anchors. See last page for anchoring details.
Locks: 2 Standard Lock Options (no charge)
*For Lock 2 an optional 1/2" T handle lock with three keys and removable lock cylinder. Internal locking hardware consists of three stainless hardened steel cams controlling an extruded aluminum locking bar which engages the door frame over three foot span.
*Heavy duty stainless steel Padlock/U-lock handle will accommodate high security Padlocks and U-locks. For U-Locks from 1" to 1 1/2" Diameter. Padlocks and U-Locks not included.
2 Standard Color Options (no charge)
Colors: Tan Medium Grey
Please call for custom color, or color match information.

Tenille Strength, 18,000 psi. Locker shall be one piece with no internal or external joints. Finish of UV stabilized gelcoat does not need painting, allows solvent removal of graffiti and is resistant to impact and/or abuse.

NO ON SITE ASSEMBLY SHALL BE REQUIRED.
Roof shall be crowned for water run-off and all corners shall have a smooth radius finish. Finish of UV stabilized gelcoat does not need painting, allows solvent removal of graffiti and is resistant to impact and/or abuse.

Setback: Please allow 18" clearance for door.
Hardware: High quality custom continuous door hinge will not rust. All fasteners on locking system shall be zinc plated or better. Locker shall anchor in all four corners through base flanges using expansion anchors. See last page for anchoring details.

Locks: 2 Standard Lock Options (no charge)
*For Lock 2 an optional 1/2" T handle lock with three keys and removable lock cylinder. Internal locking hardware consists of three stainless hardened steel cams controlling an extruded aluminum locking bar which engages the door frame over three foot span.
*Heavy duty stainless steel Padlock/U-lock handle will accommodate high security Padlocks and U-locks. For U-Locks from 1" to 1 1/2" Diameter. Padlocks and U-Locks not included.

2 Standard Color Options (no charge)
Colors: Tan Medium Grey
Please call for custom color, or color match information.

American Bicycle Security Company
P.O. Box 7359
Ventura, CA 93006
Ph: (805) 245-3723 or (805) 933-3688
Fax: (805) 933-3865
www.amerbike.com
Email: turtle@amerbike.com

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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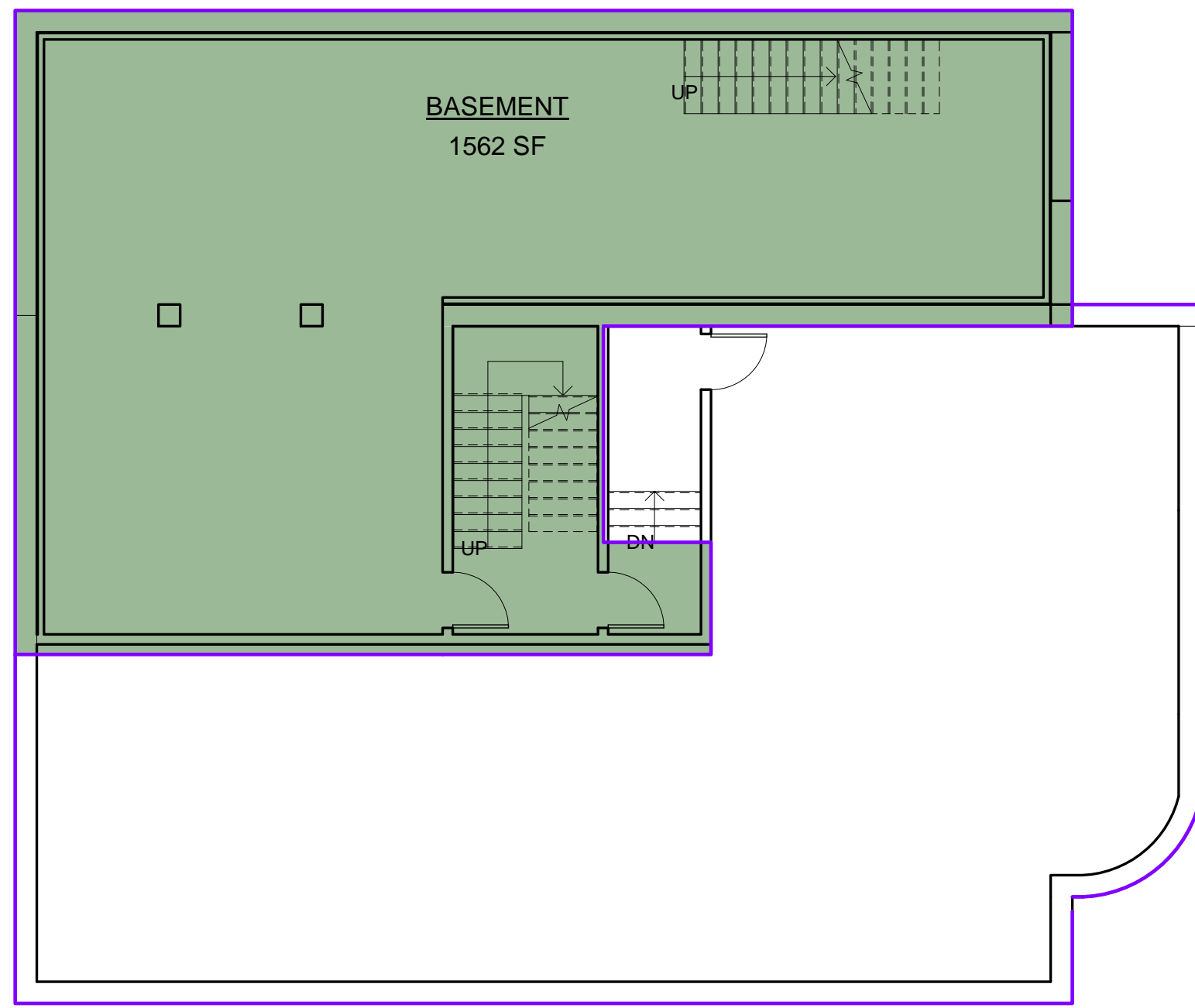
REVISIONS

No.	Description	Date

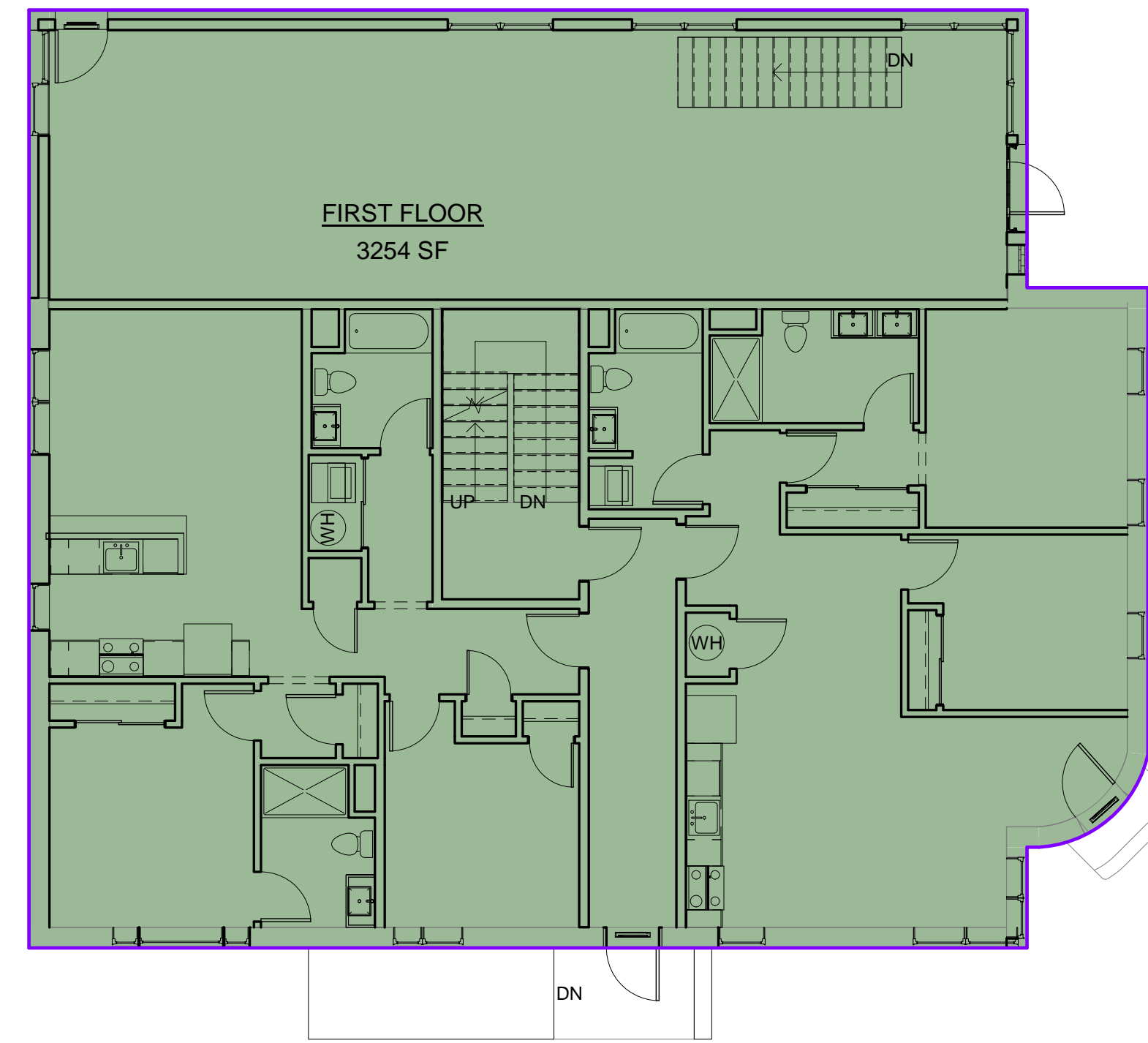
BIKE PARKING PLANS

A-021

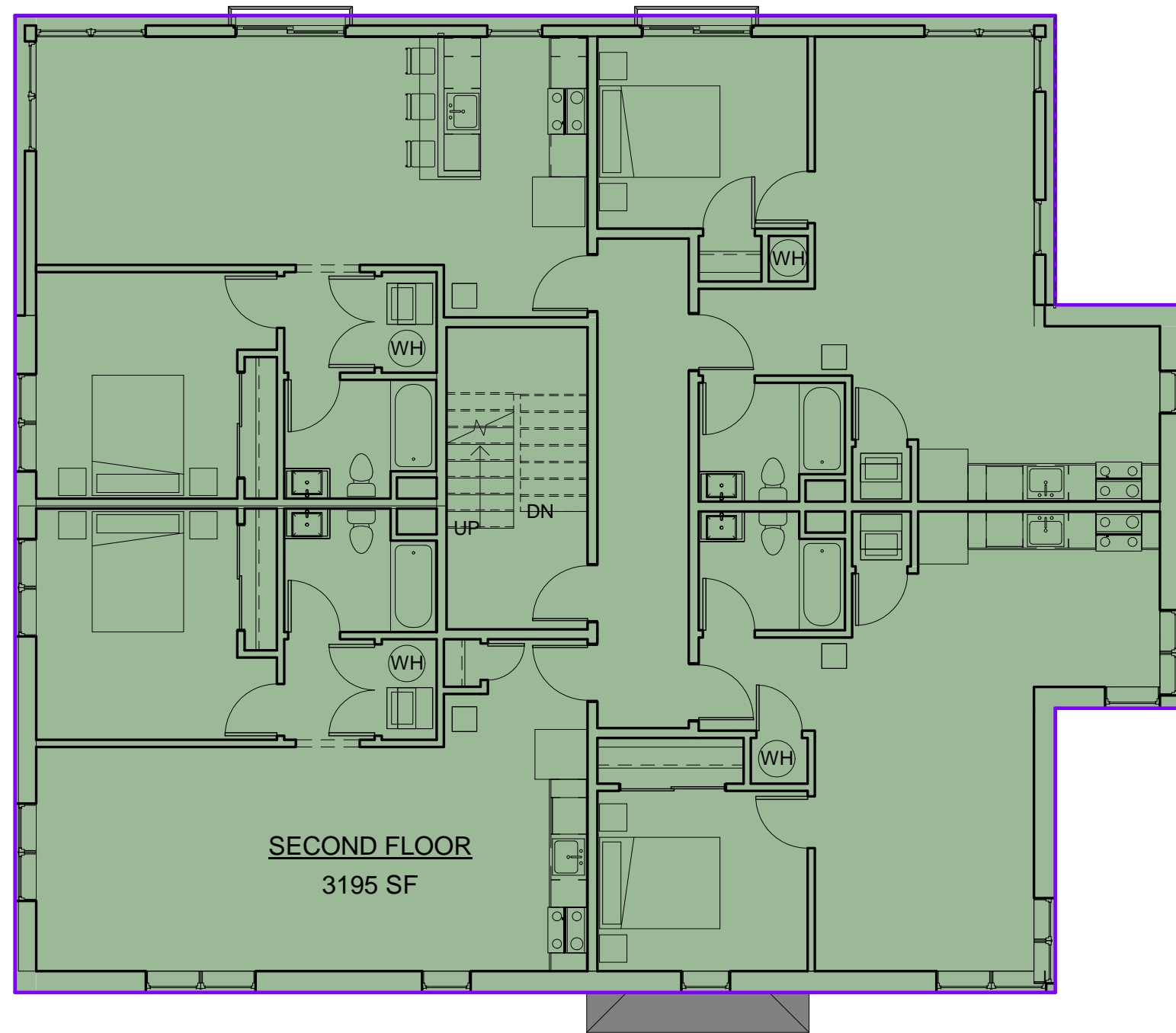
2161 MASS AVE RESIDENCES



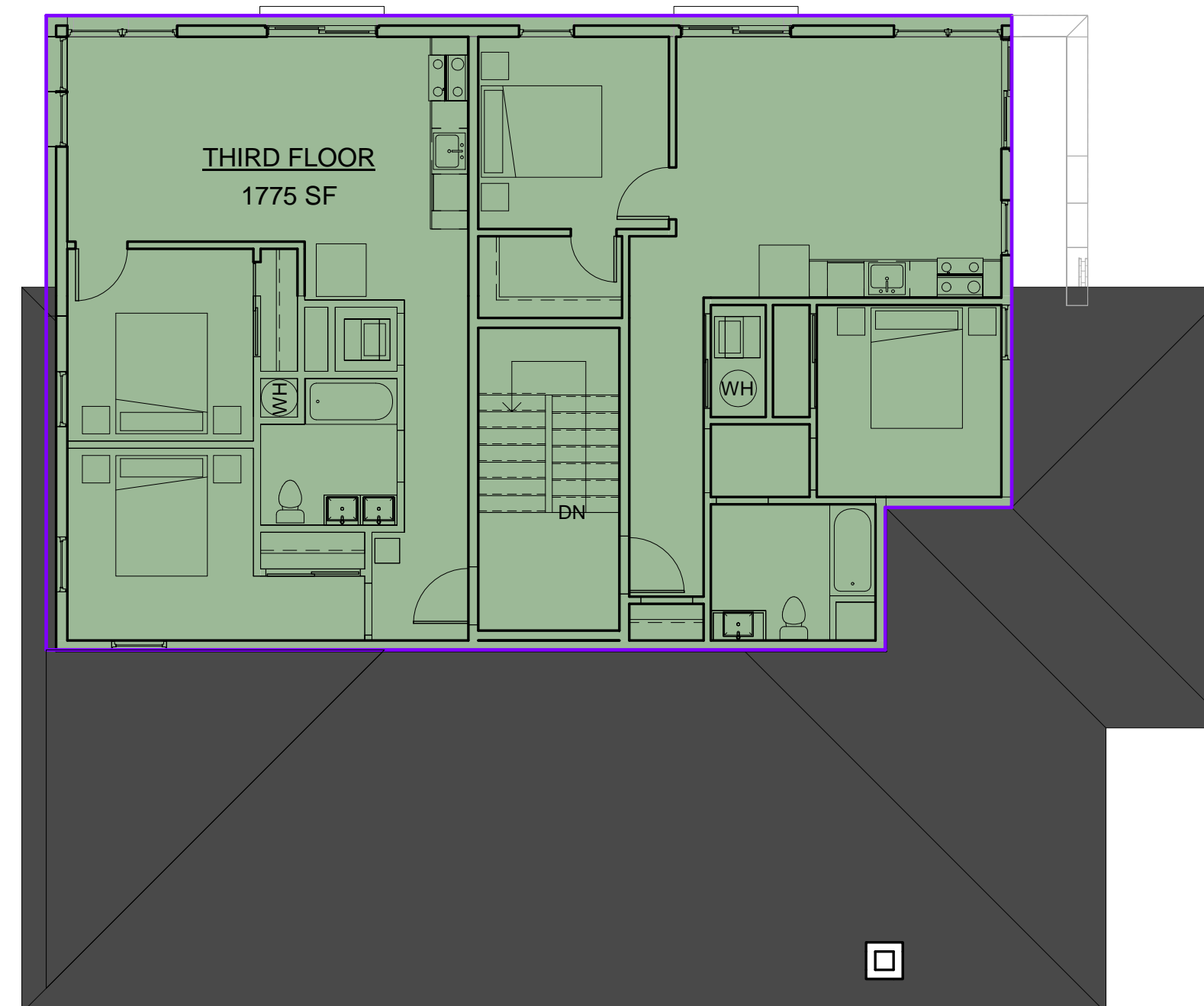
① 0 BASEMENT
1/8" = 1'-0"



② 1ST FLOOR
1/8" = 1'-0"



③ 2ND FLOOR
1/8" = 1'-0"



④ 3RD FLOOR
1/8" = 1'-0"

GROSS BUILDING - PROPOSED	
Level	Area
0 BASEMENT	1562 SF
1ST FLOOR	3254 SF
2ND FLOOR	3195 SF
3RD FLOOR	1775 SF
	9786 SF

PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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Project number	20089
Date	7/11/2023
Drawn by	Author
Checked by	TMC
Scale	1/8" = 1'-0"

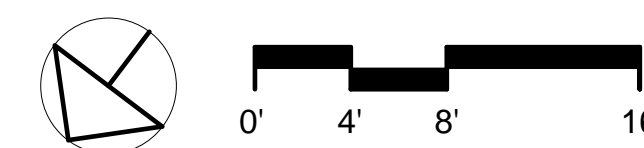
REVISIONS

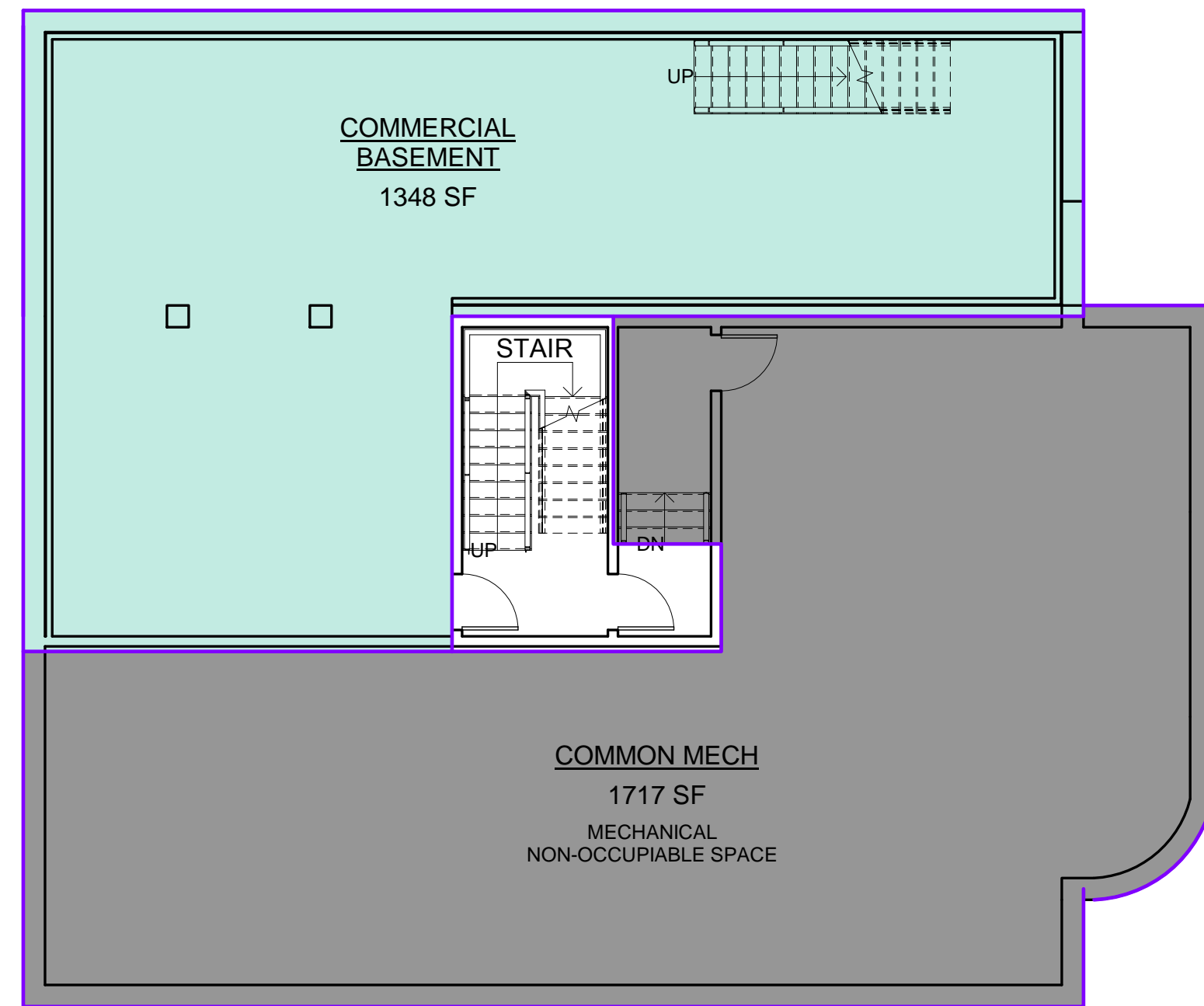
No.	Description	Date

**GROSS AREA
PLANS**

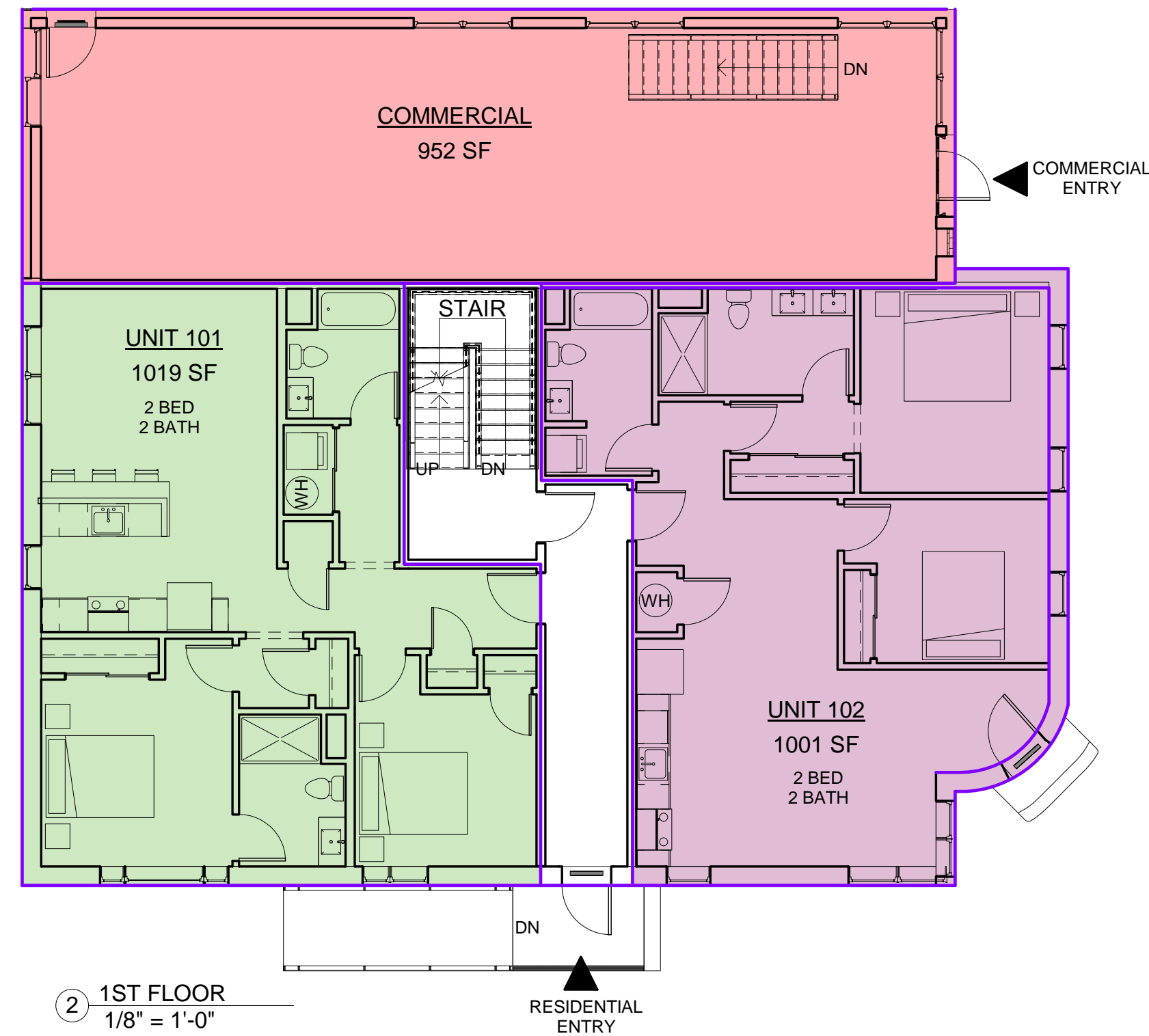
A-022

2161 MASS AVE RESIDENCES

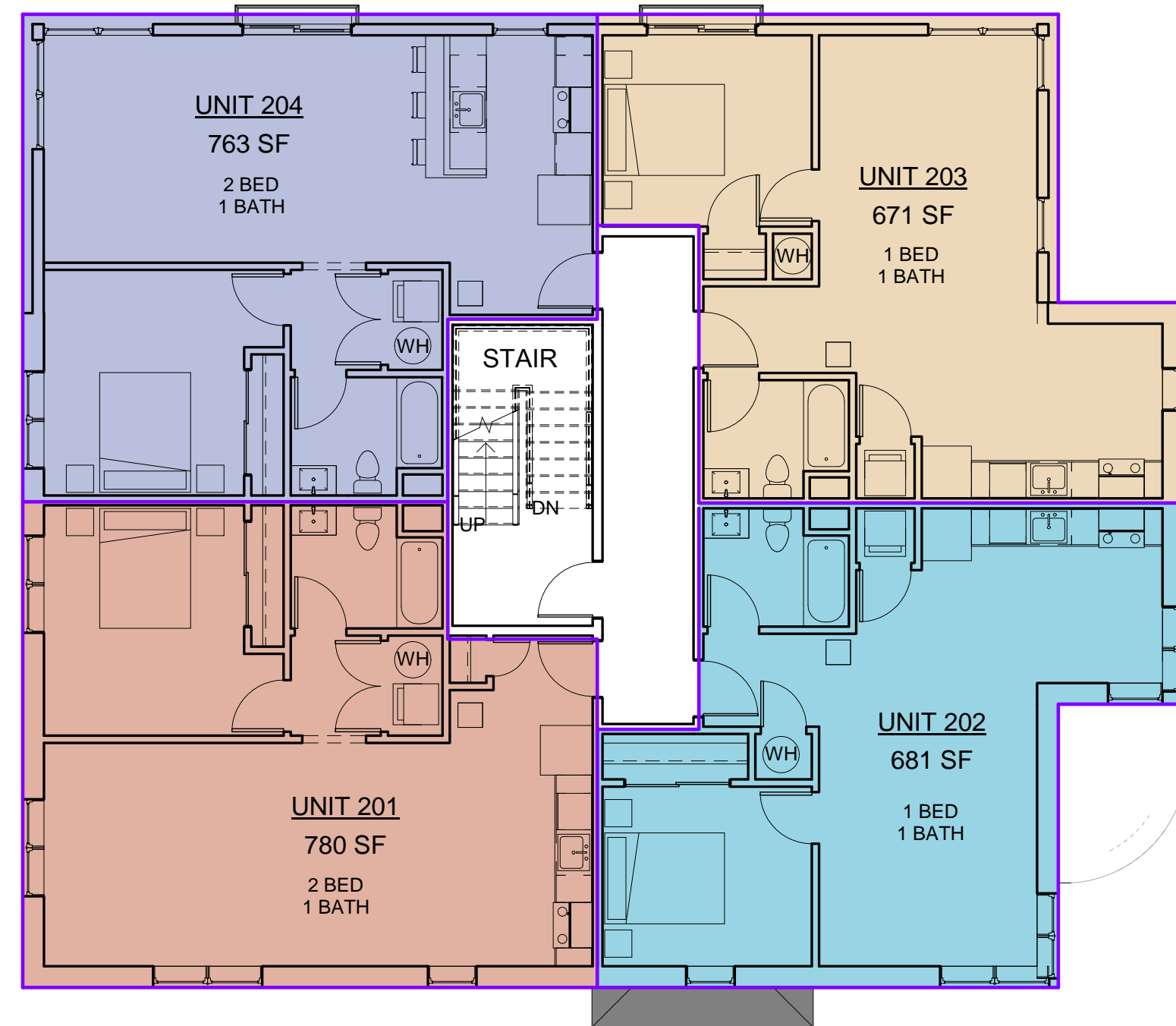




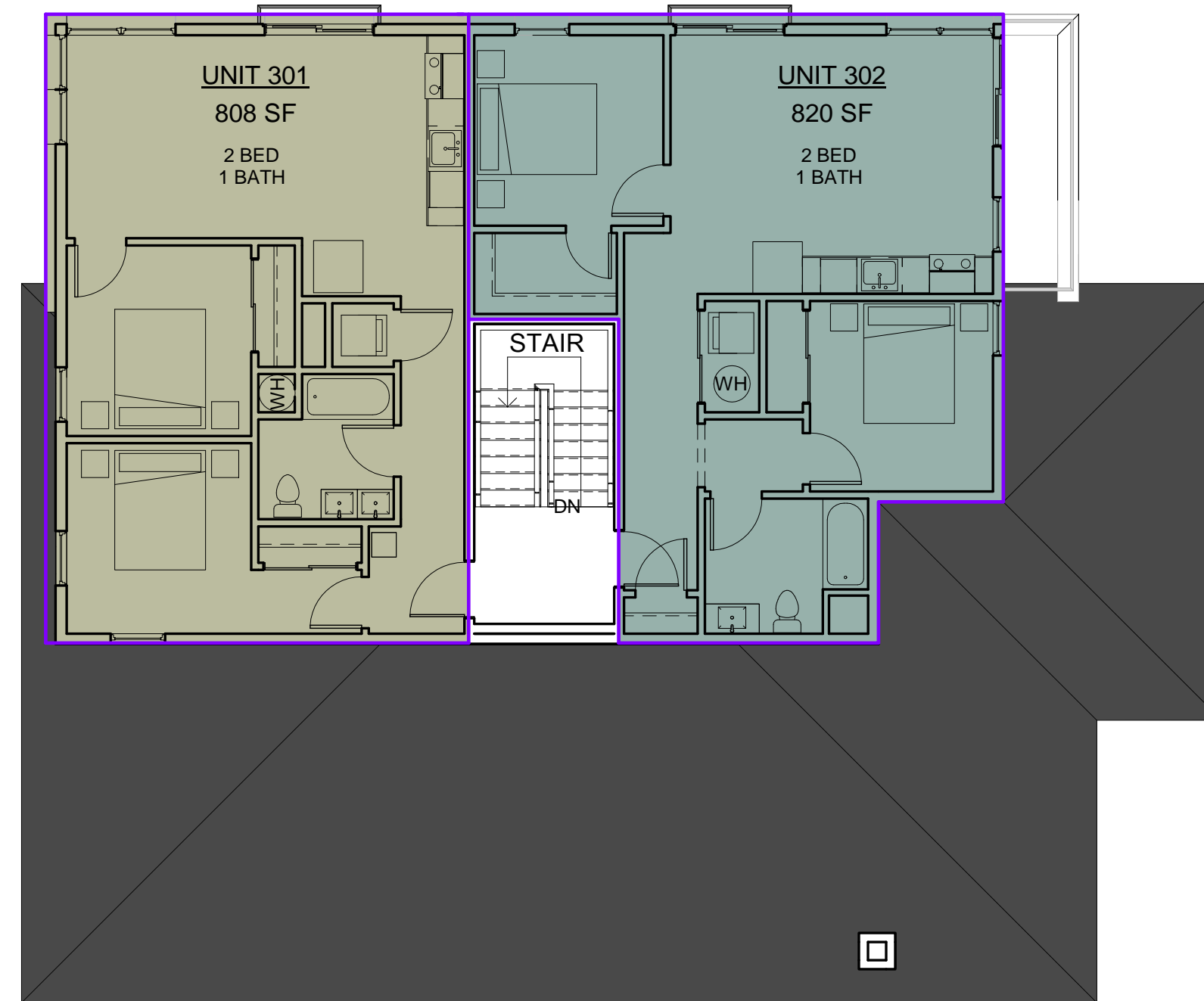
① 0 BASEMENT
1/8" = 1'-0"



② 1ST FLOOR
1/8" = 1'-0"

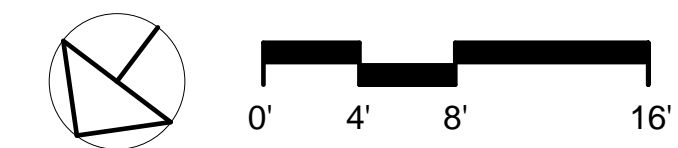


③ 2ND FLOOR
1/8" = 1'-0"



④ 3RD FLOOR
1/8" = 1'-0"

UNIT AREAS		
NAME	TYPE	AREA
COMMERCIAL		952 SF
COMMERCIAL BASEMENT		1348 SF
UNIT 101	2 BED 2 BATH	1019 SF
UNIT 102	2 BED 2 BATH	1001 SF
UNIT 201	2 BED 1 BATH	780 SF
UNIT 202	1 BED 1 BATH	681 SF
UNIT 203	1 BED 1 BATH	671 SF
UNIT 204	2 BED 1 BATH	763 SF
UNIT 301	2 BED 1 BATH	808 SF
UNIT 302	2 BED 1 BATH	820 SF
		8844 SF



PROJECT NAME
2161 MASS AVE RESIDENCES

PROJECT ADDRESS
2161 MASS AVE
CAMBRIDGE, MA

CLIENT
NELSON OLIVEIRA

ARCHITECT
DESIGN
KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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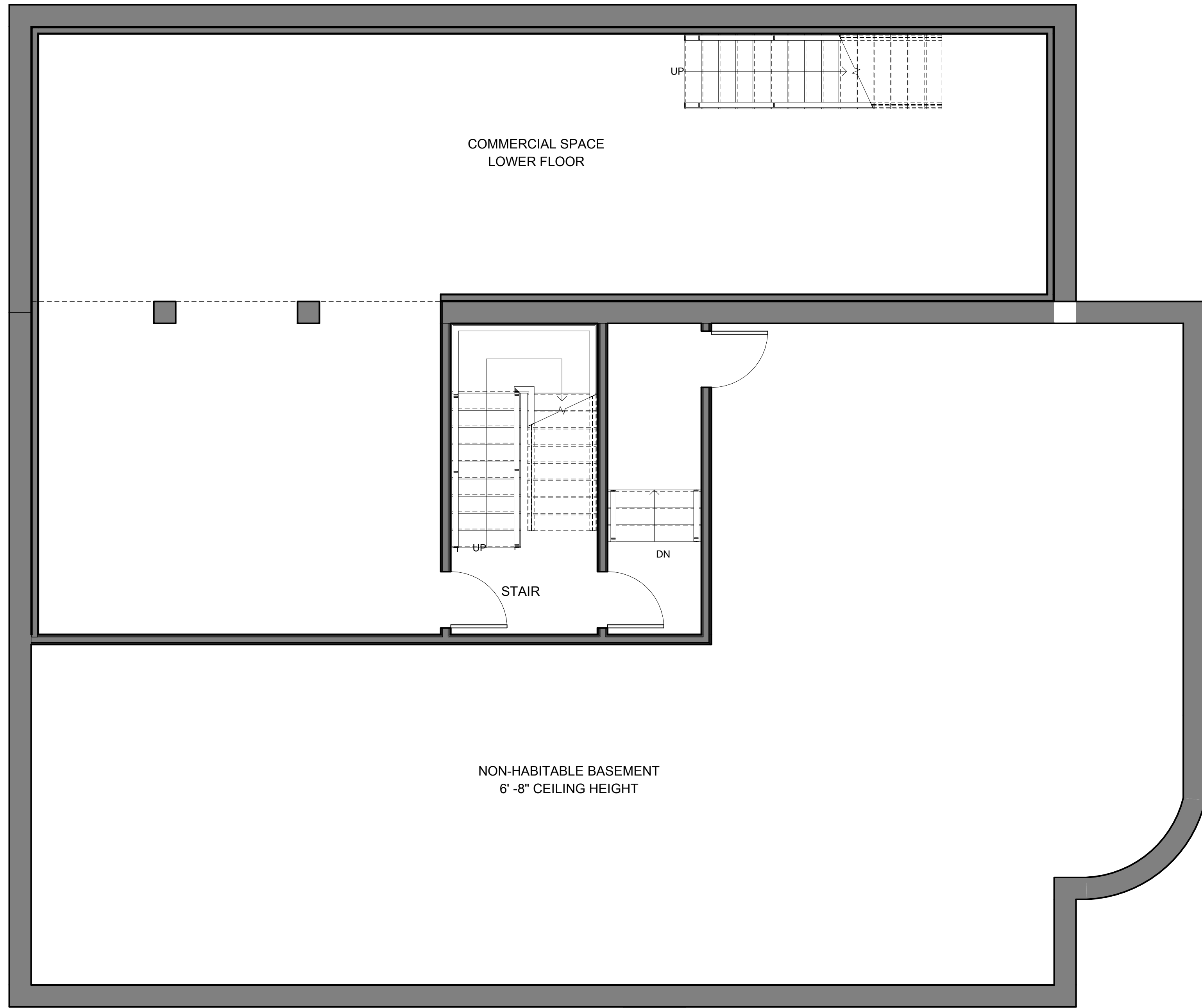
REVISIONS

No.	Description	Date

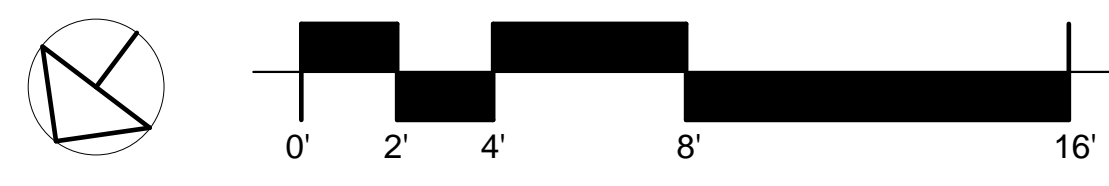
UNIT AREAS

A-023

2161 MASS AVE RESIDENCES



① 0 BASEMENT
1/4" = 1'-0"



UNIT AREAS		
NAME	TYPE	AREA
COMMERCIAL		952 SF
COMMERCIAL BASEMENT		1348 SF
UNIT 101	2 BED 2 BATH	1019 SF
UNIT 102	2 BED 2 BATH	1001 SF
UNIT 201	2 BED 1 BATH	780 SF
UNIT 202	1 BED 1 BATH	681 SF
UNIT 203	1 BED 1 BATH	671 SF
UNIT 204	2 BED 1 BATH	763 SF
UNIT 301	2 BED 1 BATH	808 SF
UNIT 302	2 BED 1 BATH	820 SF
		8844 SF

PROJECT NAME
2161 MASS AVE
RESIDENCES

PROJECT ADDRESS
2161 MASS AVE
CAMBRIDGE, MA

CLIENT
NELSON OLIVEIRA

ARCHITECT

DESIGN
KHALSA

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Project number 20089
Date 7/11/2023
Drawn by NB
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Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

BASEMENT PLAN

A-100
2161 MASS AVE RESIDENCES

PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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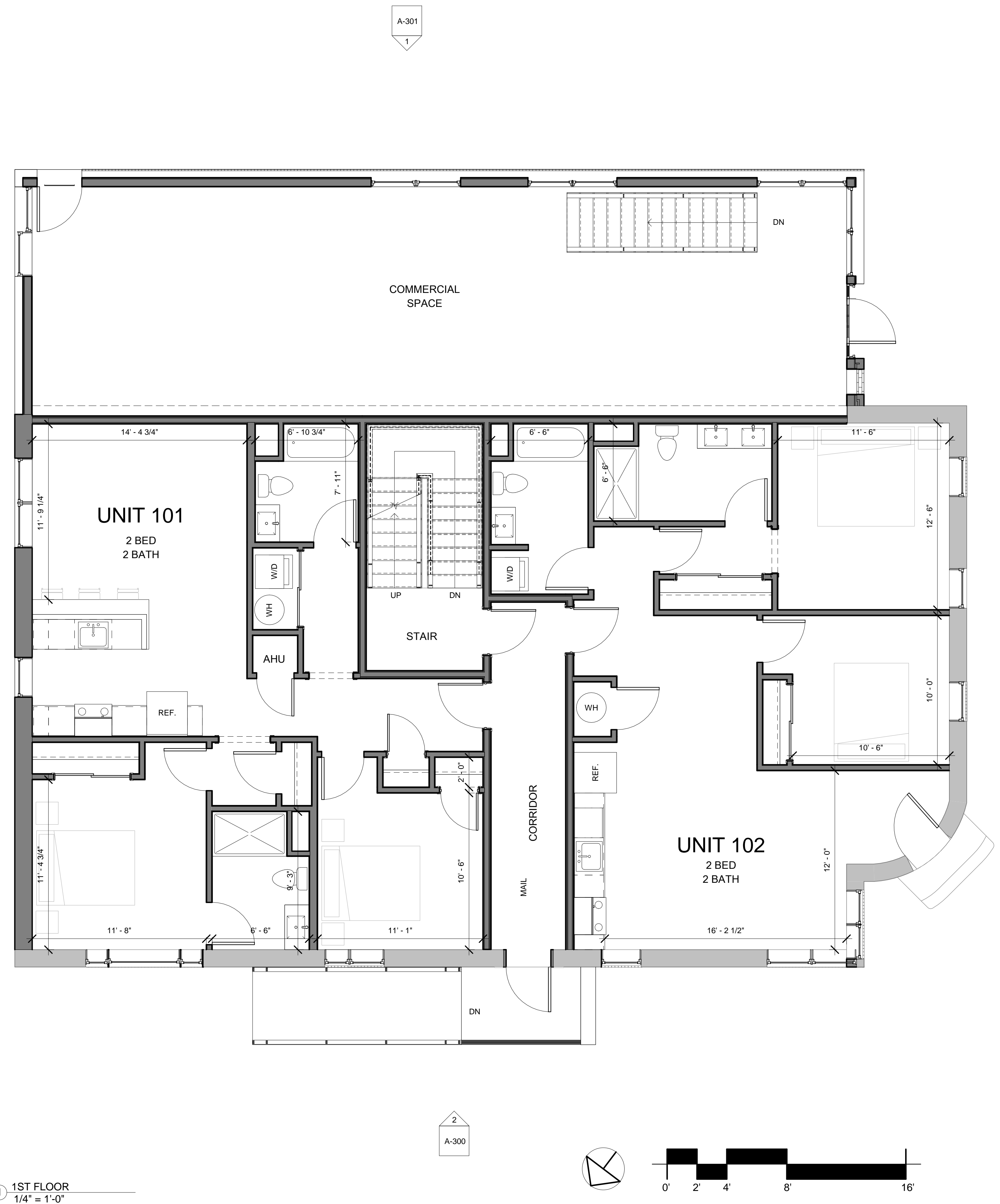
REVISIONS

No.	Description	Date

1ST FLOOR PLAN

A-101

2161 MASS AVE RESIDENCES



1 1ST FLOOR
1/4" = 1'-0"

\\Tkg-server\Drawings\2020089_Nelson_2161 Mass Ave Cambridge\03 Drawings\00_ARCH_SD_DD\20089_Nelson_2161 Mass Ave_ZBA #2 Set.rvt 7/16/2023 12:13:26 AM

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

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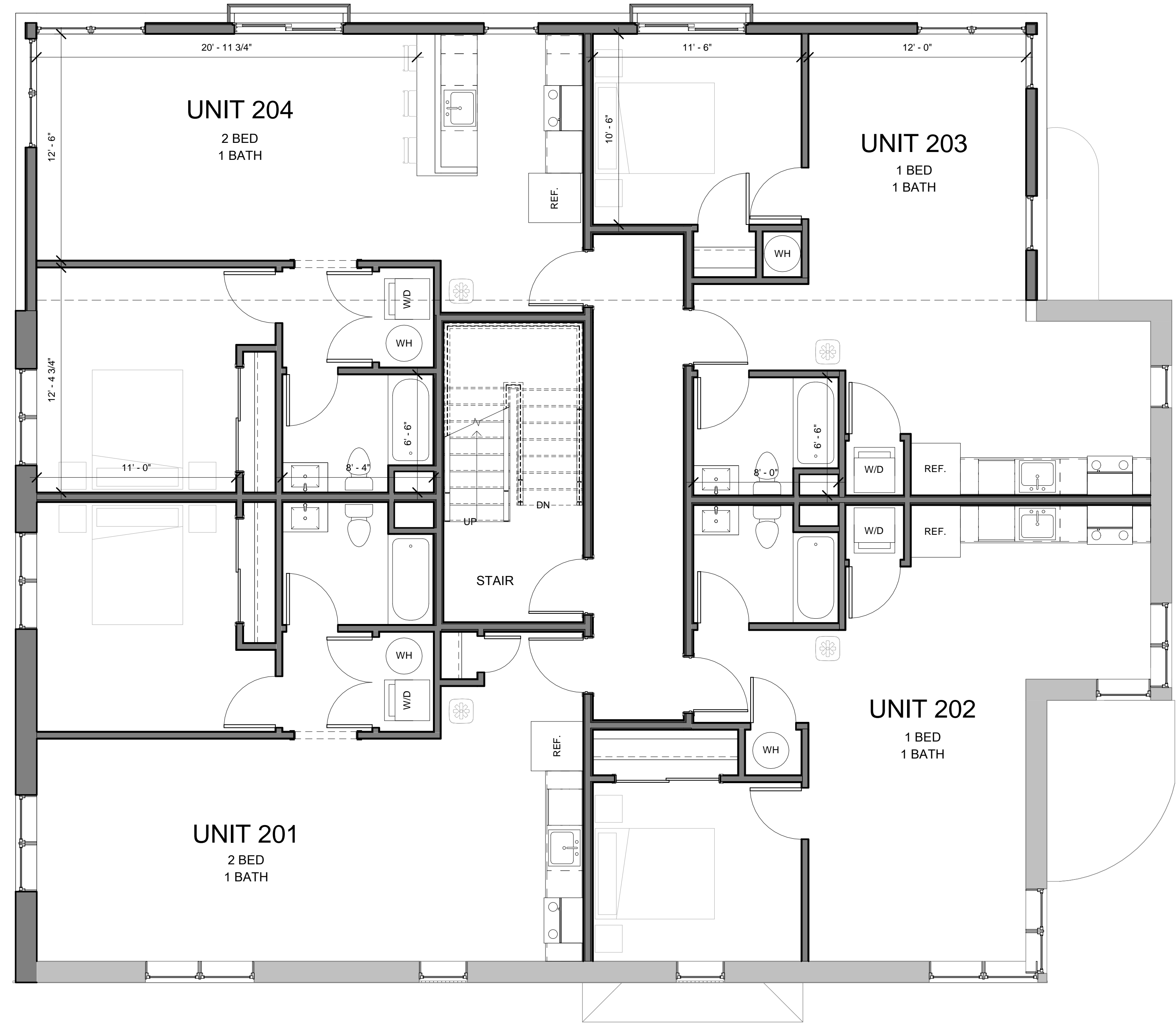
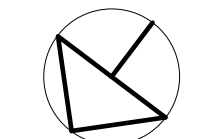
2ND FLOOR PLAN

A-102

2161 MASS AVE RESIDENCES

1 2ND FLOOR 1/4" = 1'-0"

2 A-300



A-301 2

1 A-300

A-301 1

\\Tkg-server\Drawings\2020089_Nelson_2161 Mass Ave Cambridge\03 Drawings\00_ARCH_SD_DD\20089_Nelson_2161 Mass Ave_ZBA #2 Set.rvt 7/16/2023 12:13:27 AM

PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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REVISIONS

No.	Description	Date

**3RD FLOOR
PLAN**

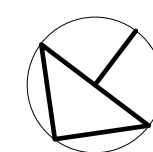
A-103

2161 MASS AVE RESIDENCES



① 3RD FLOOR
1/4" = 1'-0"

2
A-300



PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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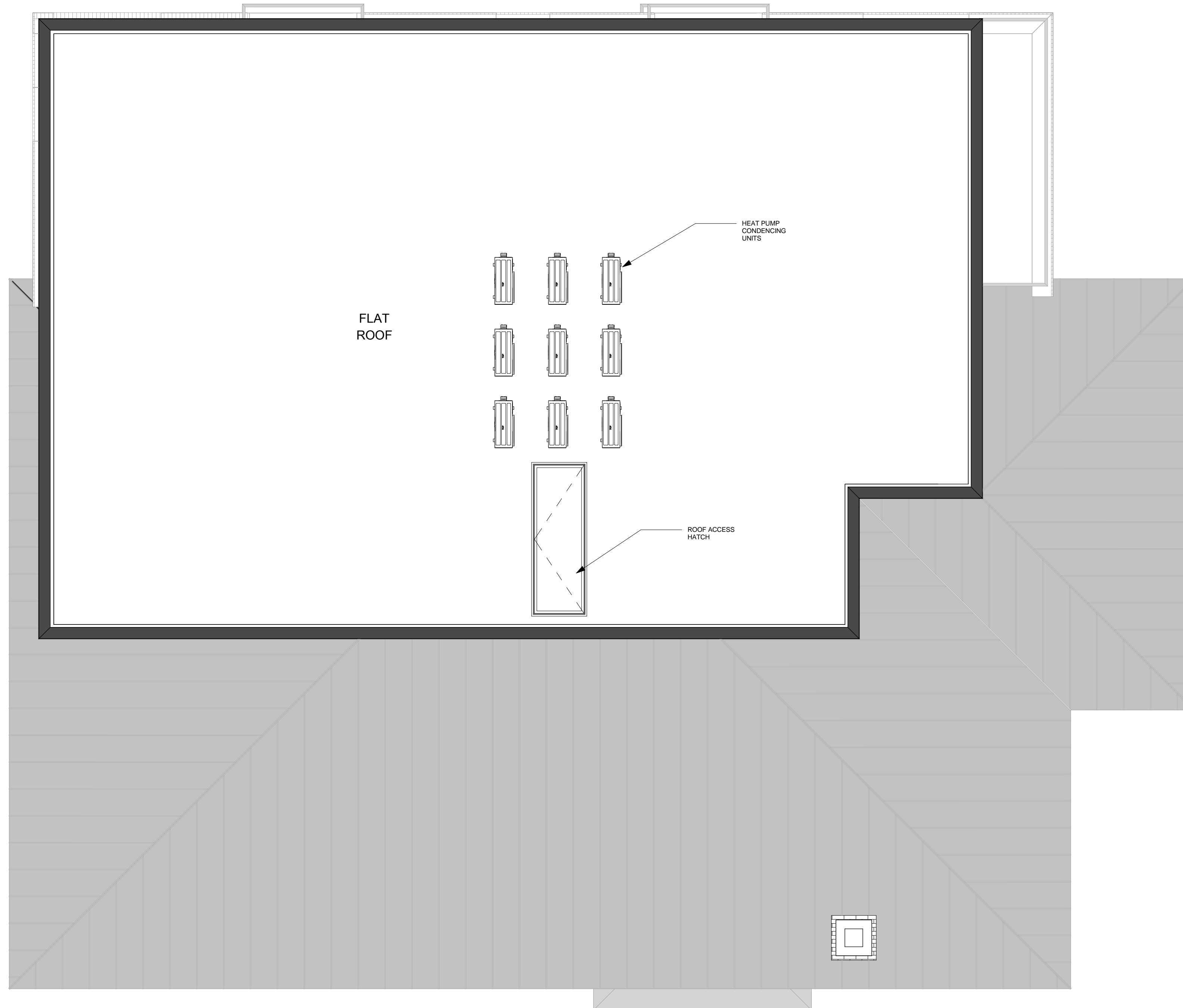
REVISIONS

No.	Description	Date

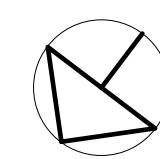
ROOF PLAN

A-104

2161 MASS AVE RESIDENCES



1 ROOF PLAN
1/4" = 1'-0"



PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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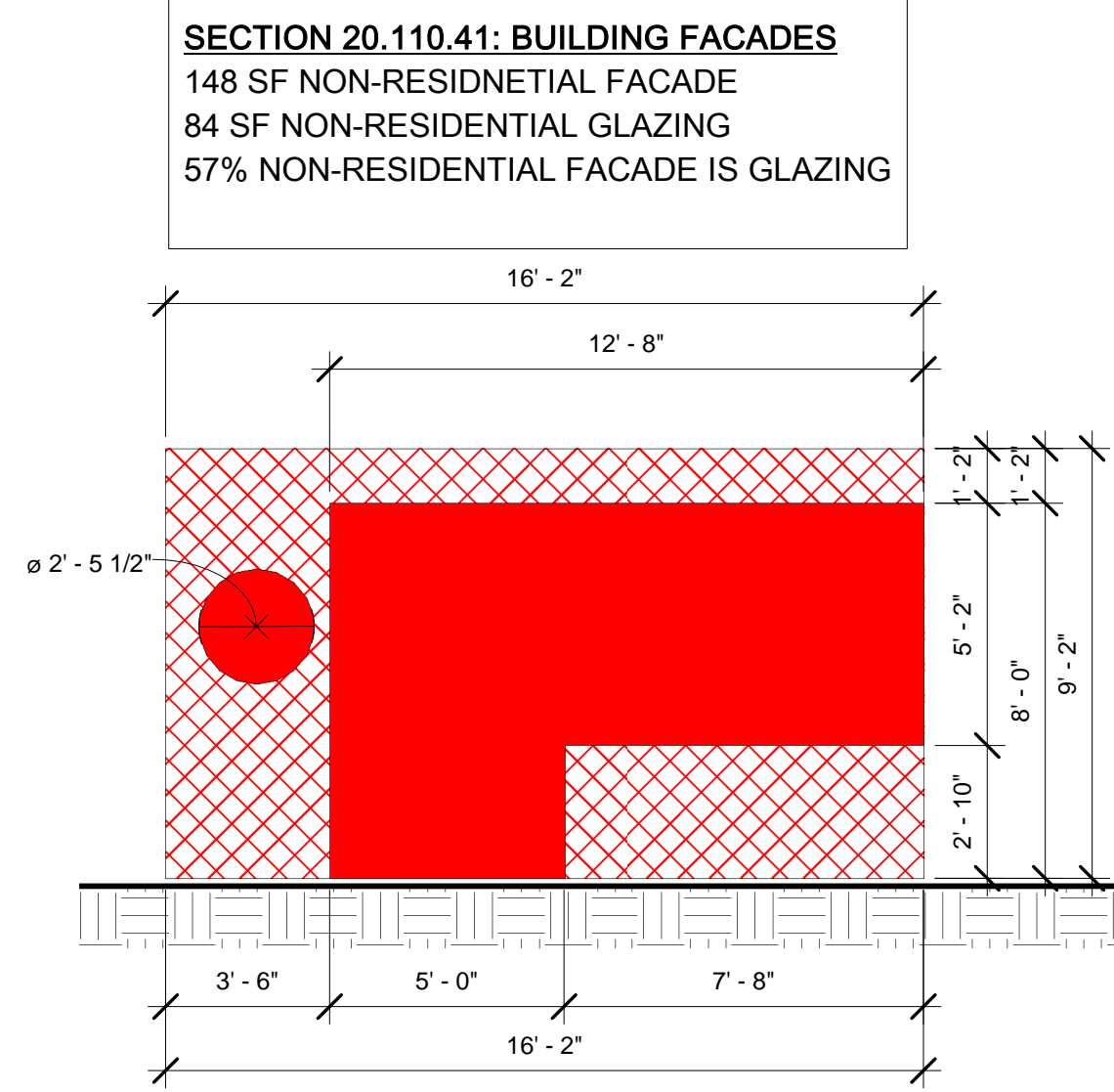
EAST & SOUTH ELEVATIONS

A-300

2161 MASS AVE RESIDENCES

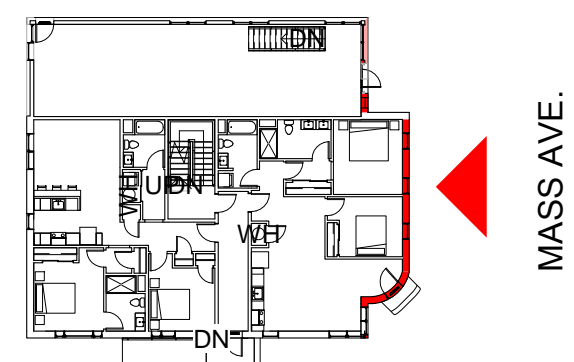


1 SOUTH WEST ELEVATION 1/4" = 1'-0"

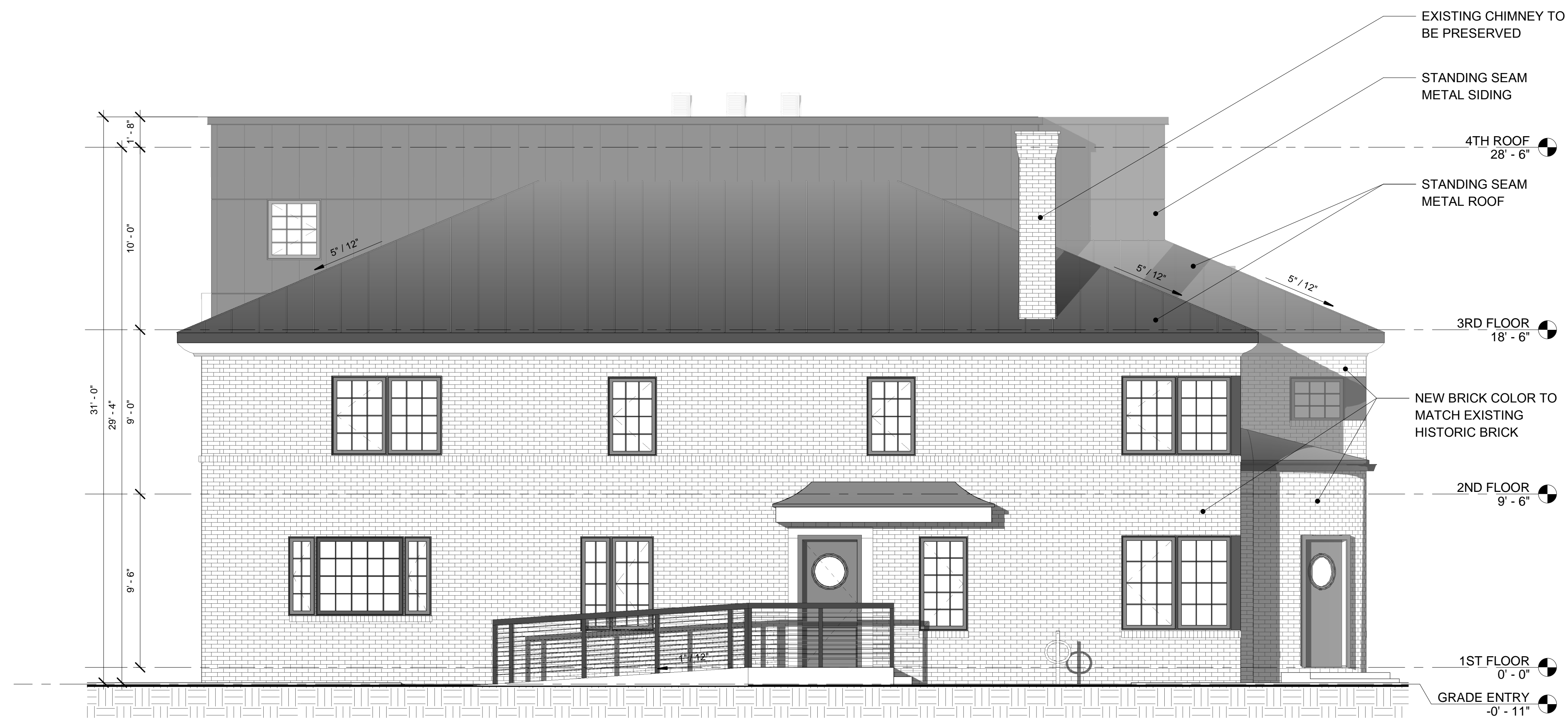


SECTION 20.110.41: BUILDING FACADES 148 SF NON-RESIDENTIAL FACADE 84 SF NON-RESIDENTIAL GLAZING 57% NON-RESIDENTIAL FACADE IS GLAZING

KEY

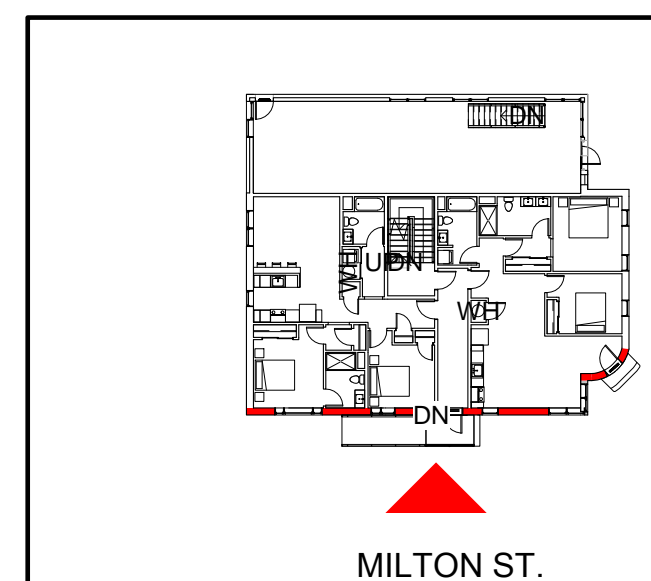


MILTON ST.



2 NORTH WEST ELEVATION 1/4" = 1'-0"

KEY



MASS AVE.

MILTON ST.

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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NORTH & WEST ELEVATIONS

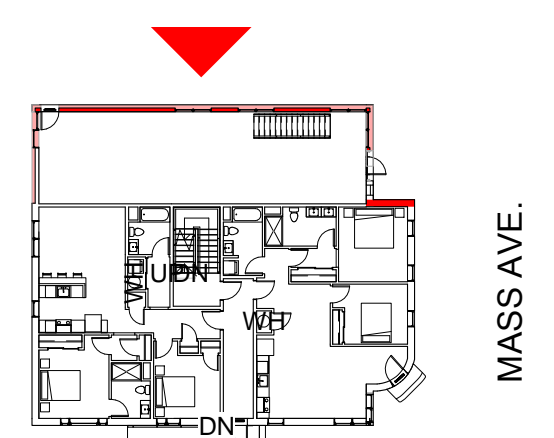
A-301

2161 MASS AVE RESIDENCES



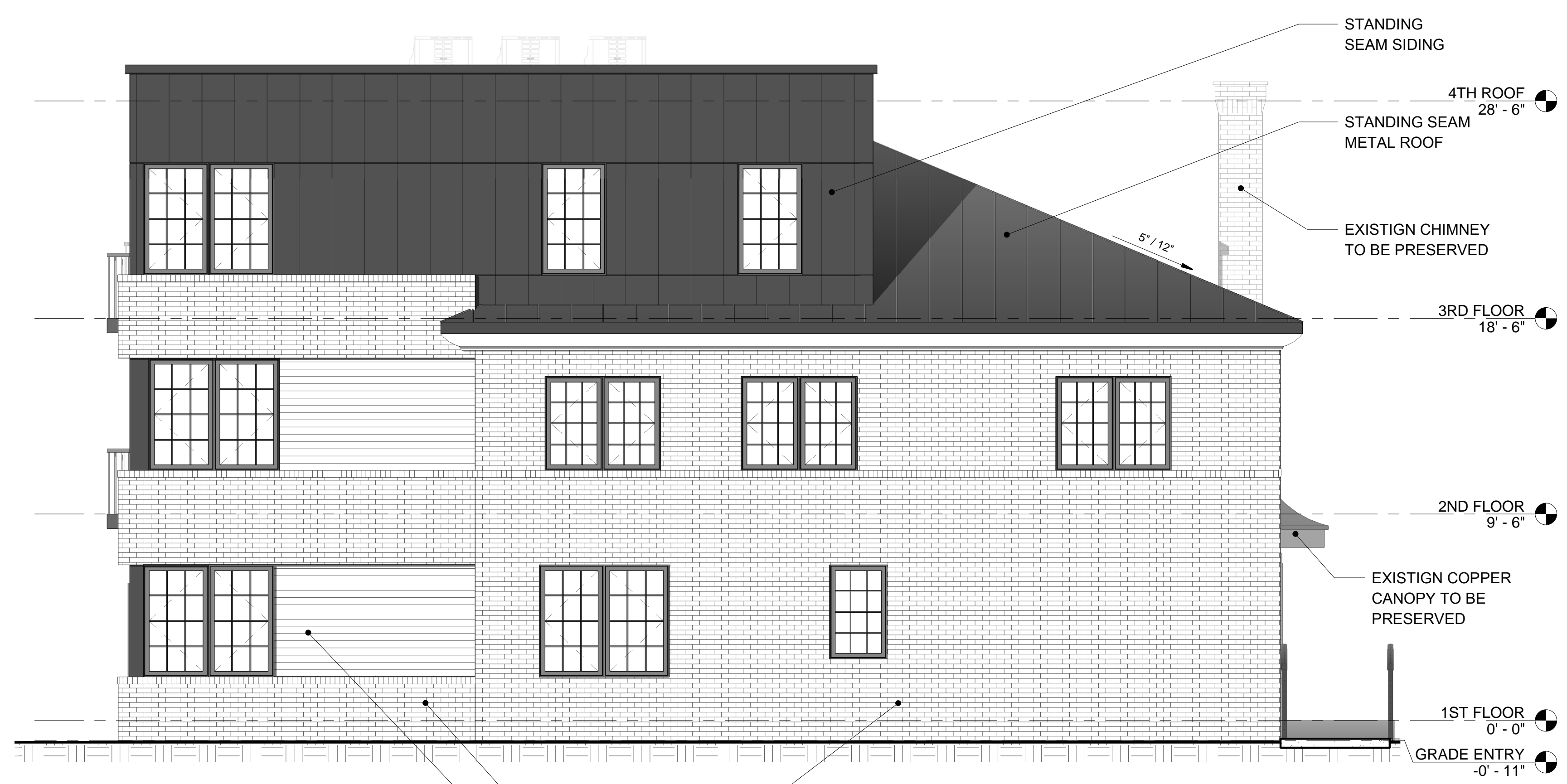
1 SOUTH EAST ELEVATION 1/4" = 1'-0"

KEY



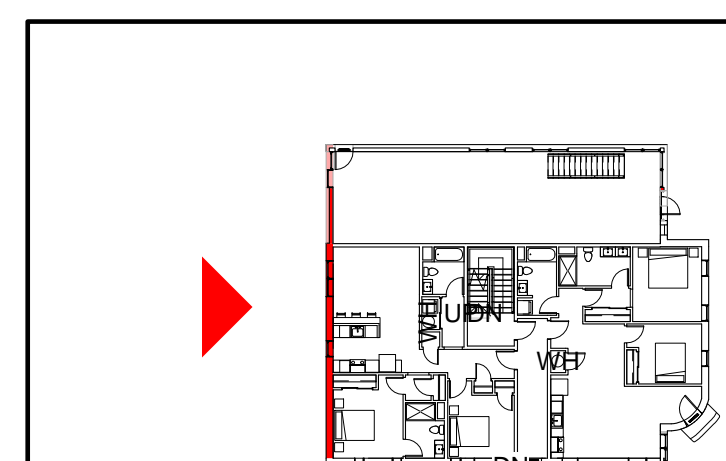
MASS AVE.

MILTON ST.



2 NORTH EAST ELEVATION 1/4" = 1'-0"

KEY



MASS AVE.

MILTON ST.

PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

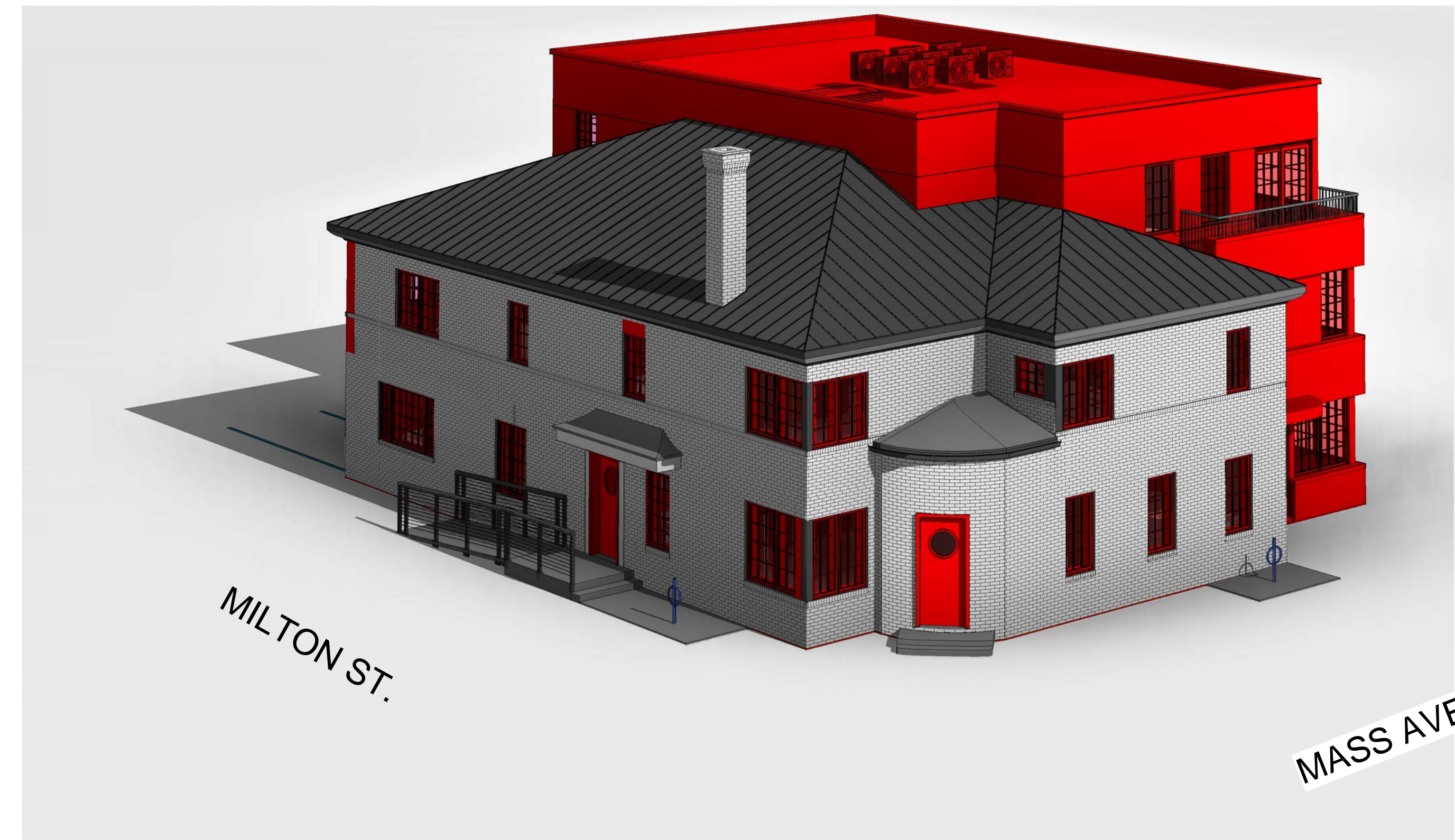
ARCHITECT



KHALSA

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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

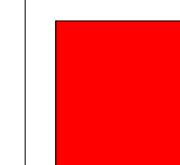


5 Birds Eye



1 Mass Ave & Milton St. View

LEGEND



BUILDING ADDITION OR
REPLACED BUILDING ELEMENTS

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REVISIONS

No.	Description	Date

PERSPECTIVES

AV-1

2161 MASS AVE RESIDENCES





AV-2.1 MILTON & MASS AVE CORNER RENDERING

DATE: 7/11/2023
SCALE:









ARCHITECT: KHALSA DESIGN INC.

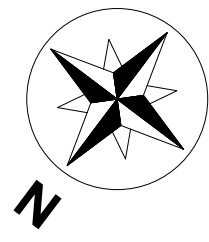
2161 MASS AVE RESIDENCES

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AV-3.1 MASS. AVE. RENDERING

DATE: 7/11/2023
SCALE:





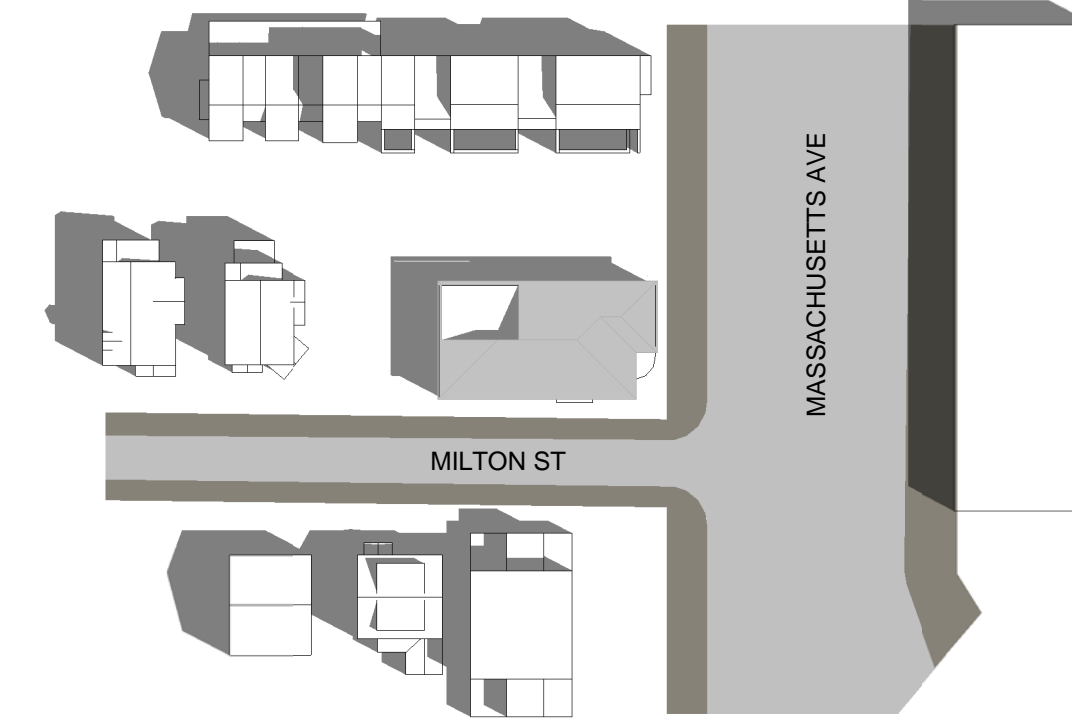
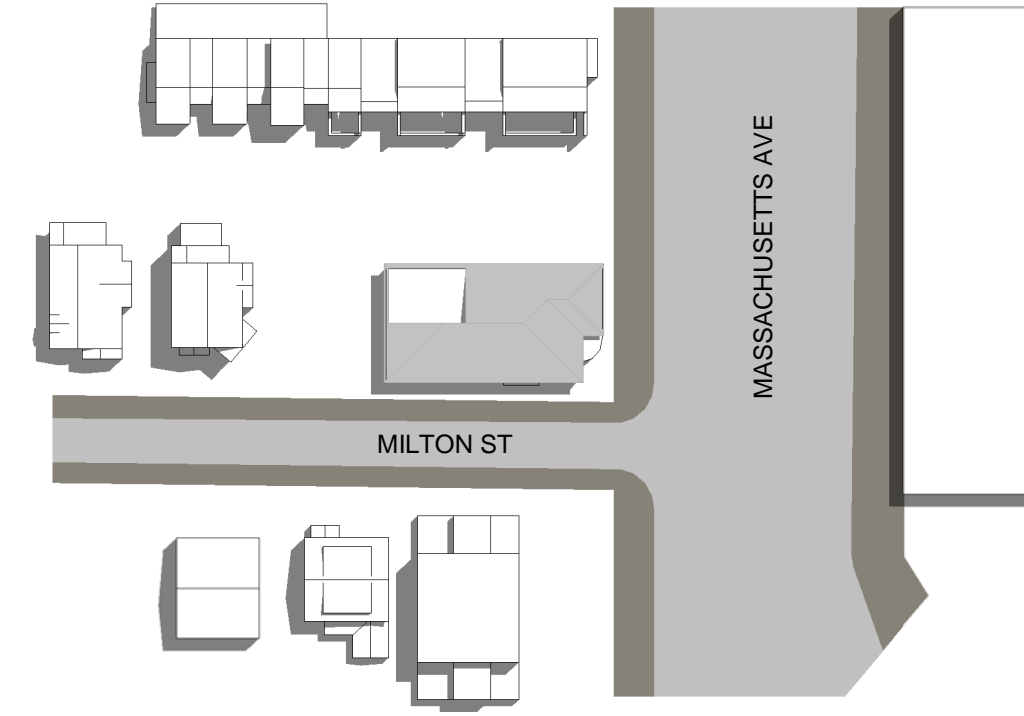
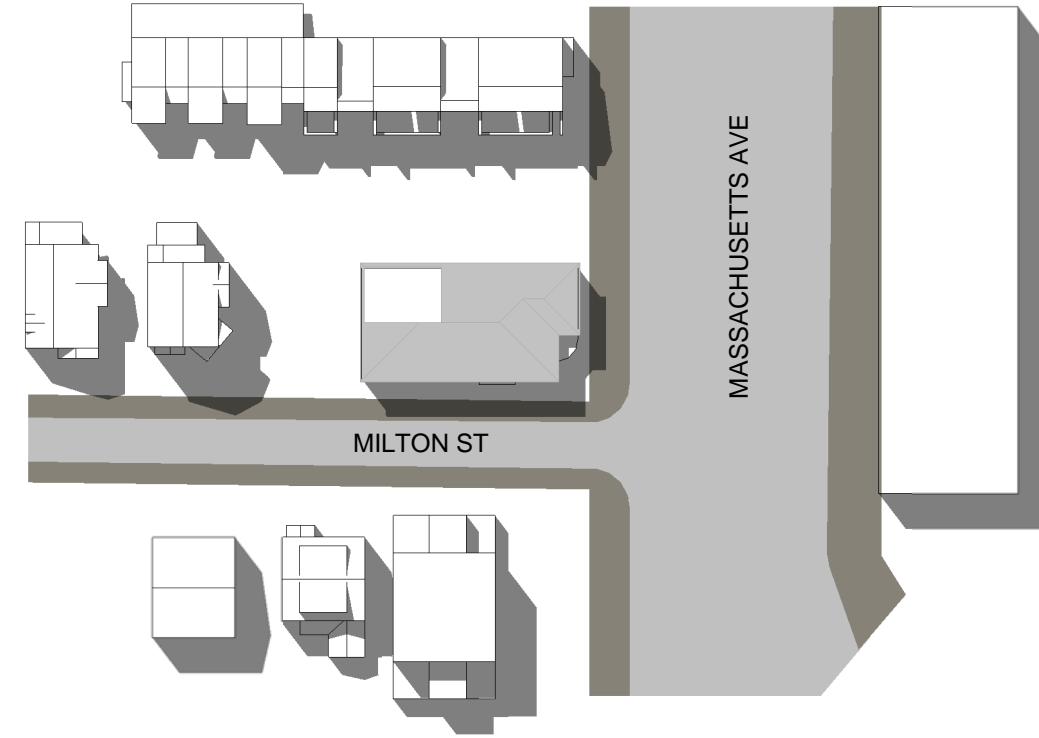
SUMMER SOLSTICE

MORNING (9 AM - 10 AM)

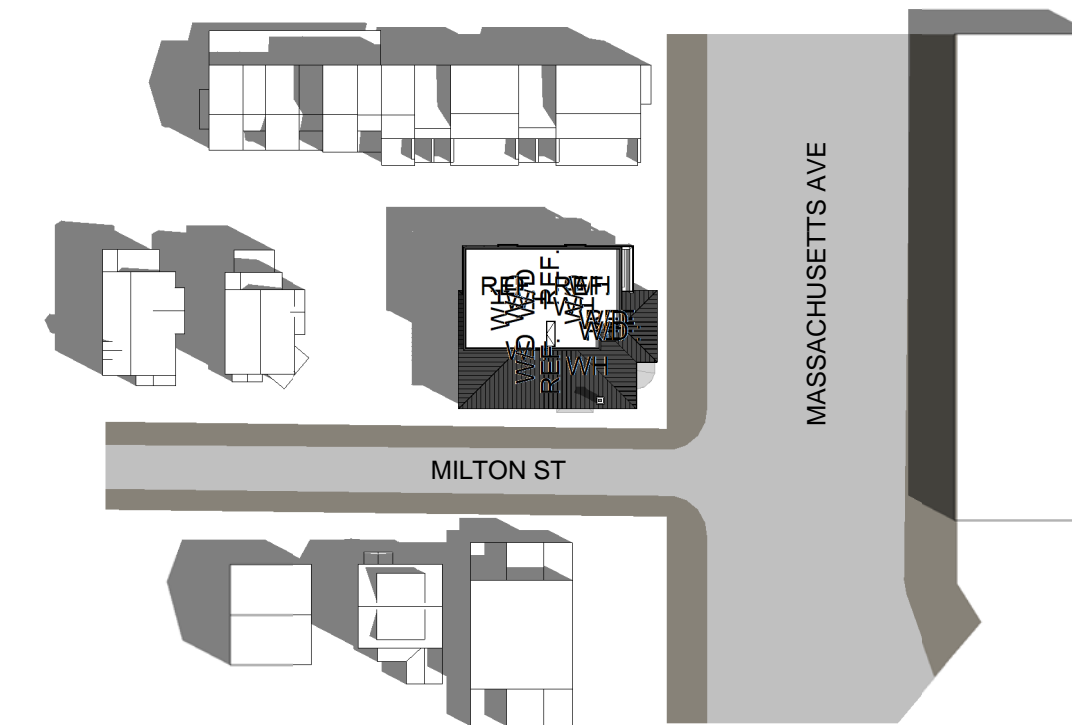
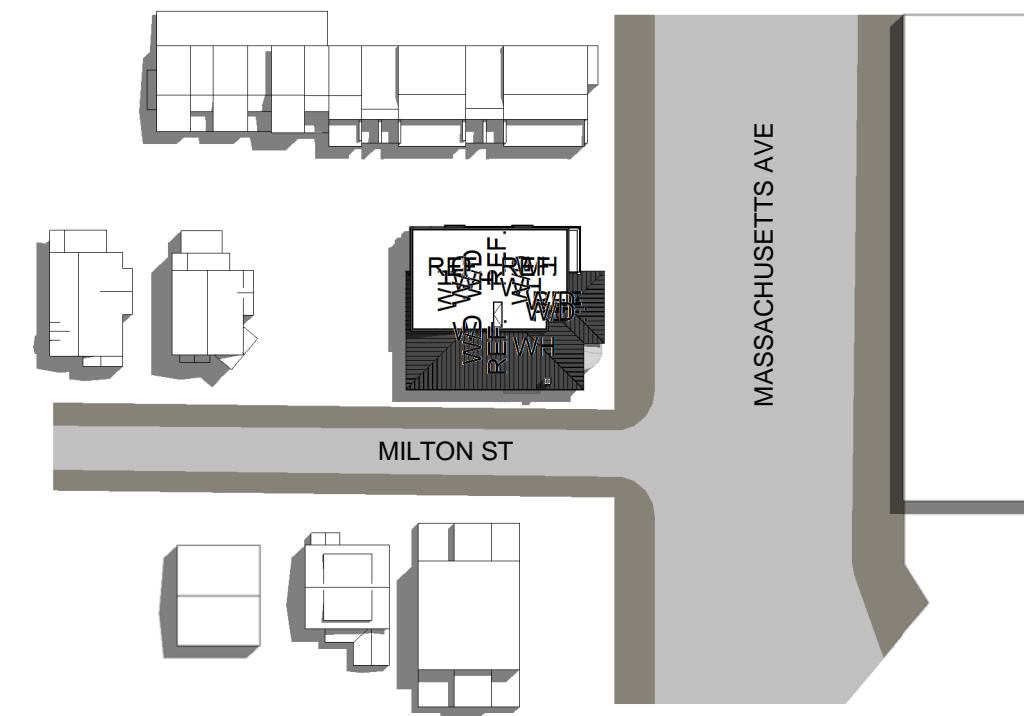
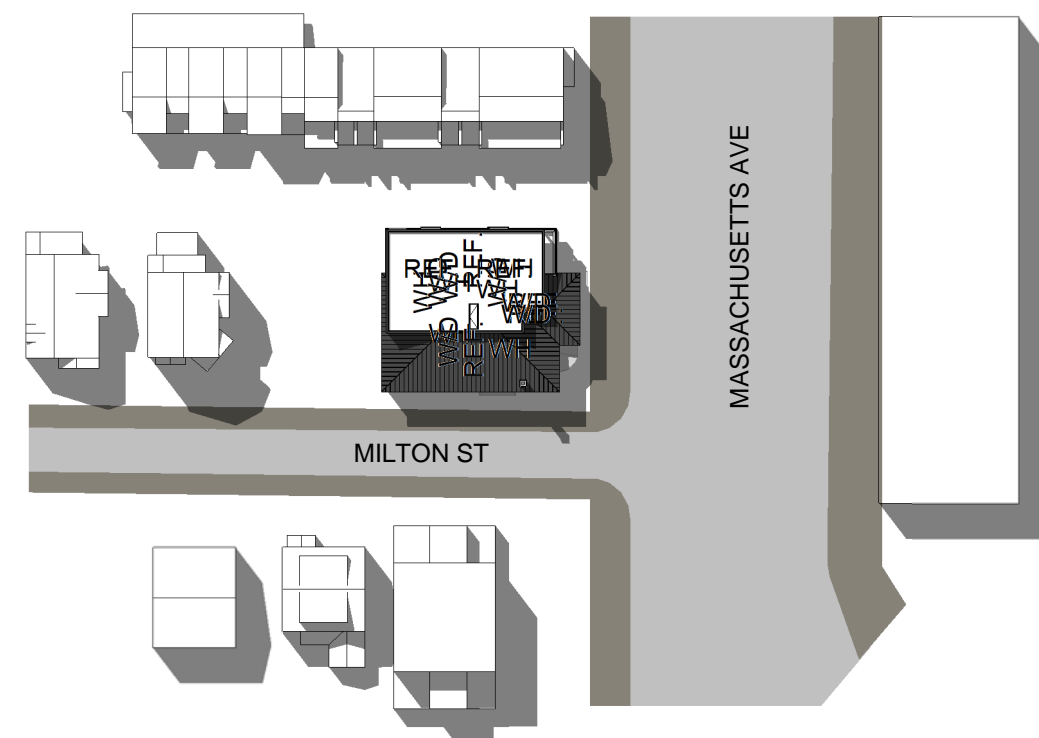
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

EXISTING CONDITION



PROPOSED CONDITION



PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

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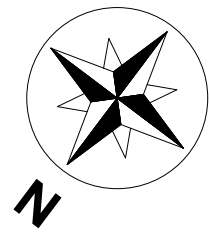
REVISIONS

No.	Description	Date

SHADOW STUDY

AV-4

2161 MASS AVE RESIDENCES



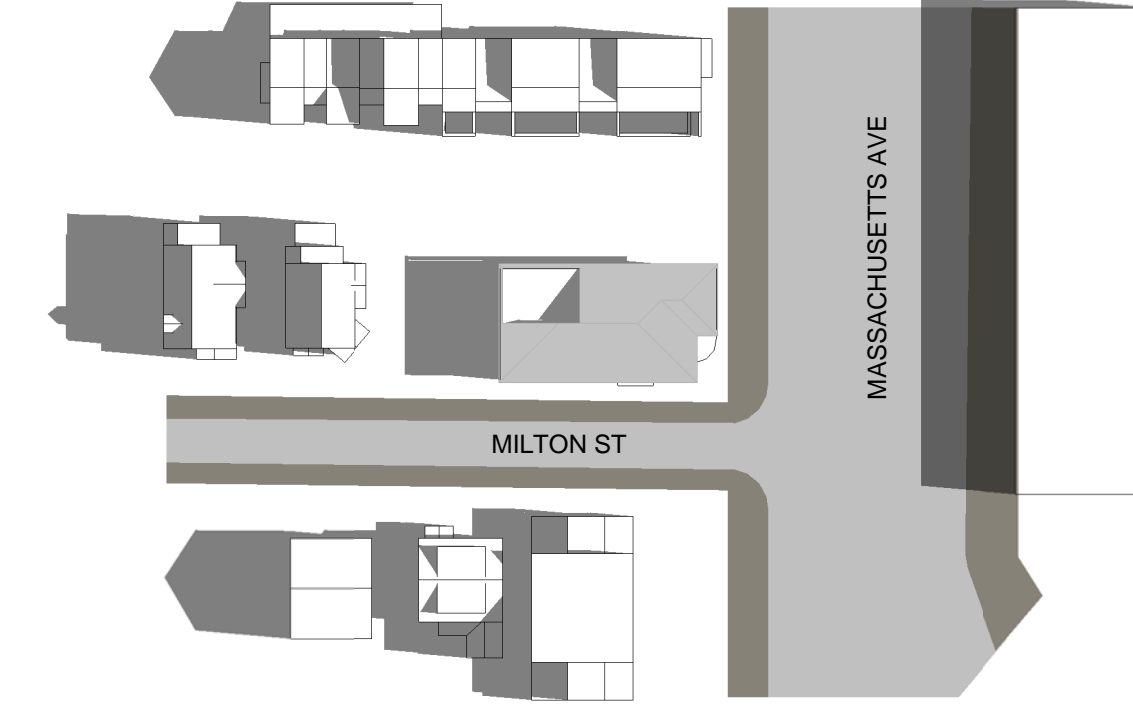
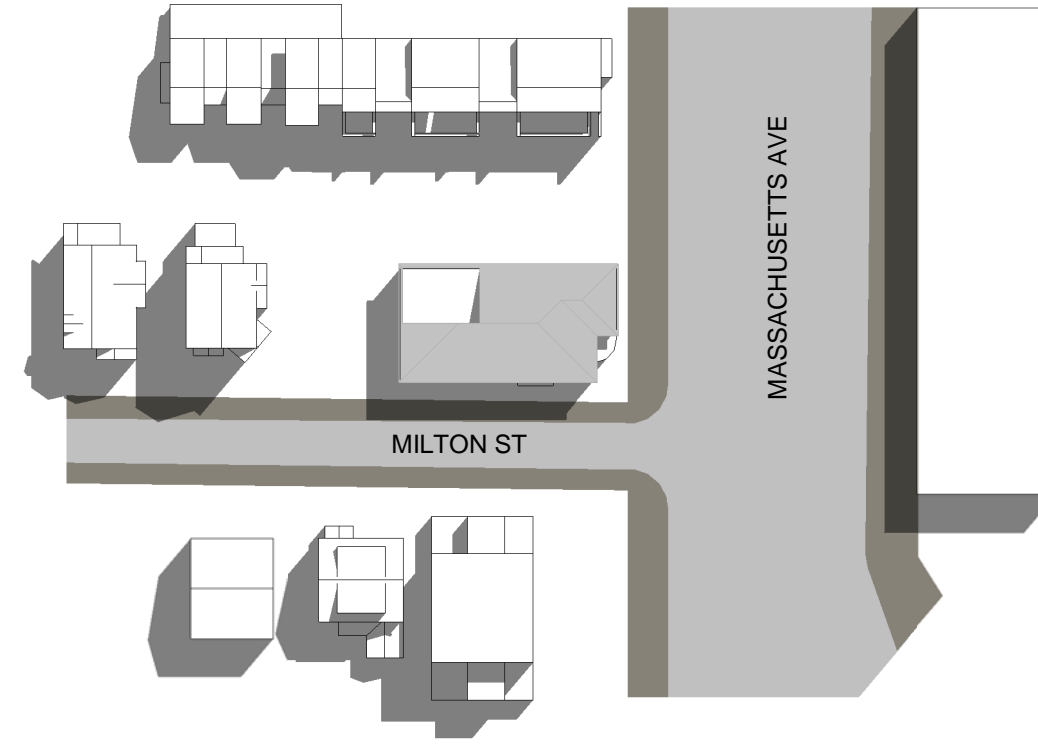
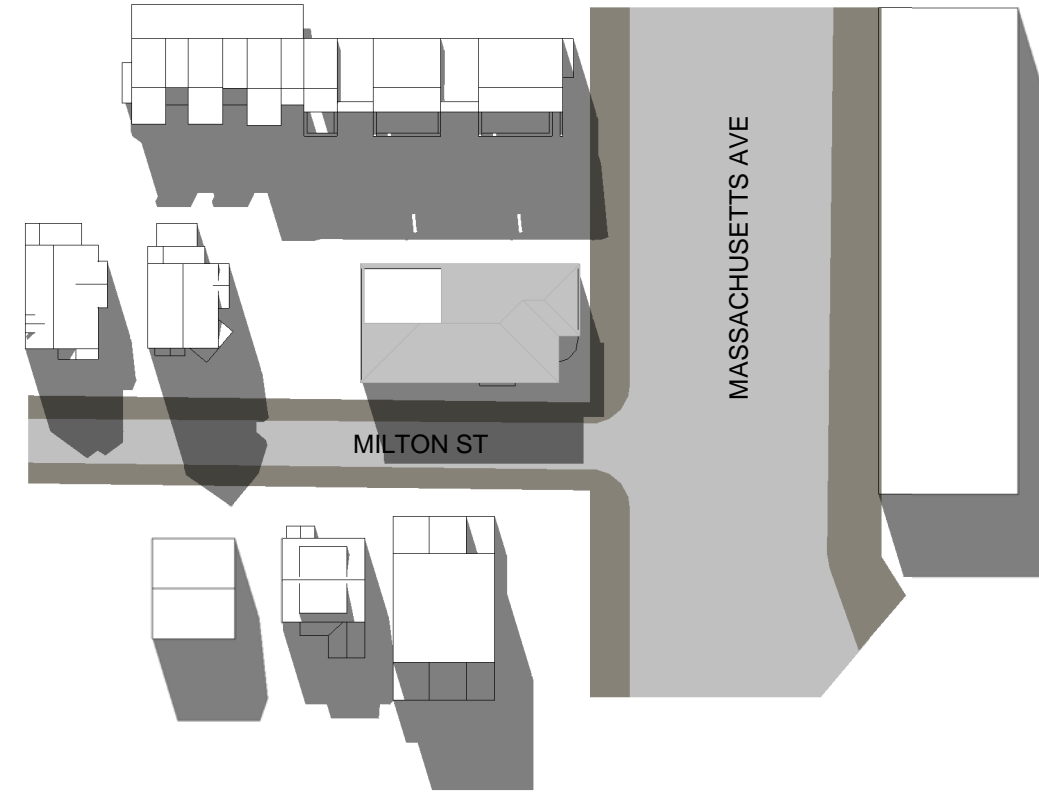
SPRING / FALL EQUINOX

MORNING (9 AM - 10 AM)

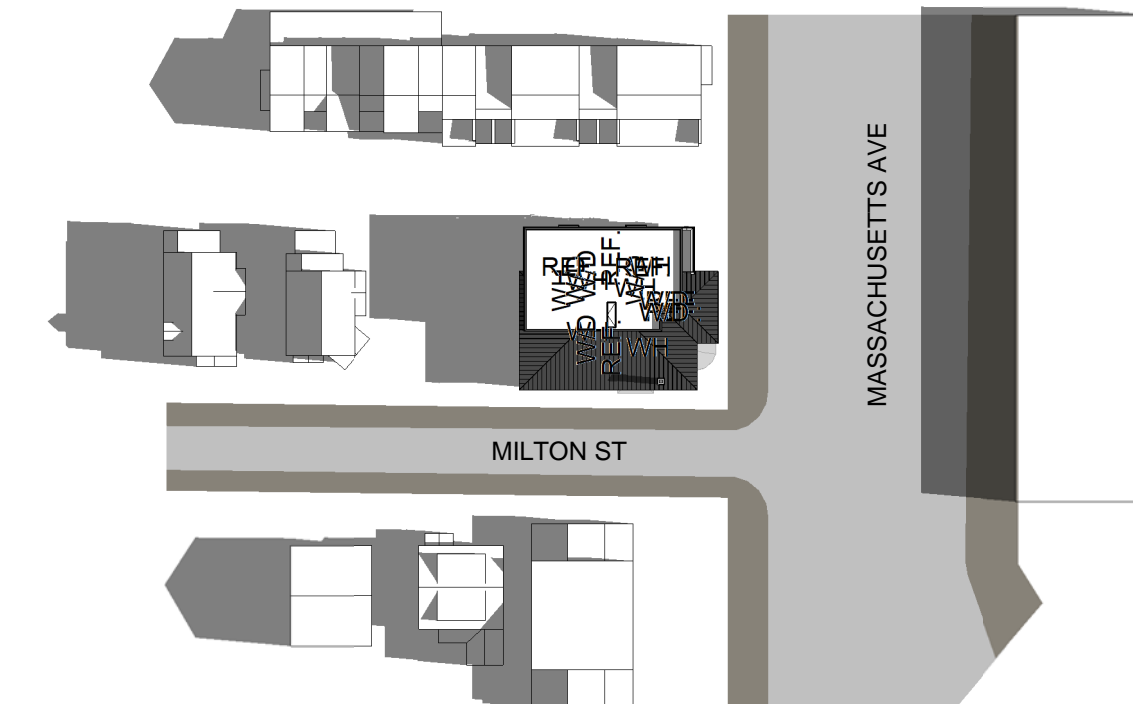
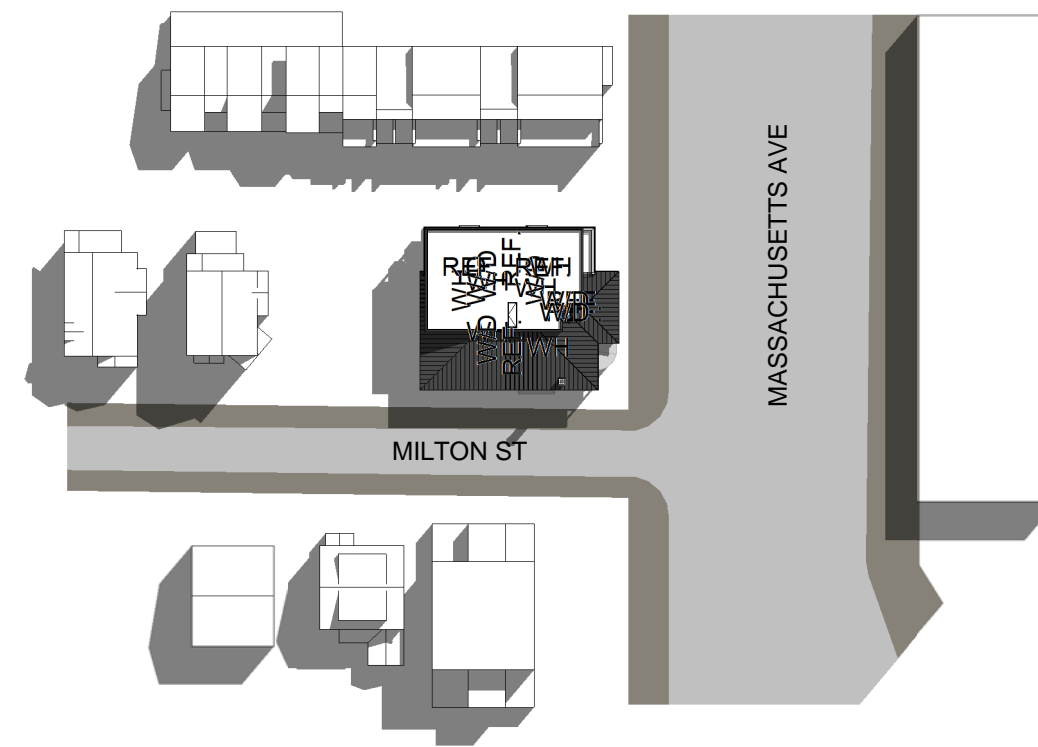
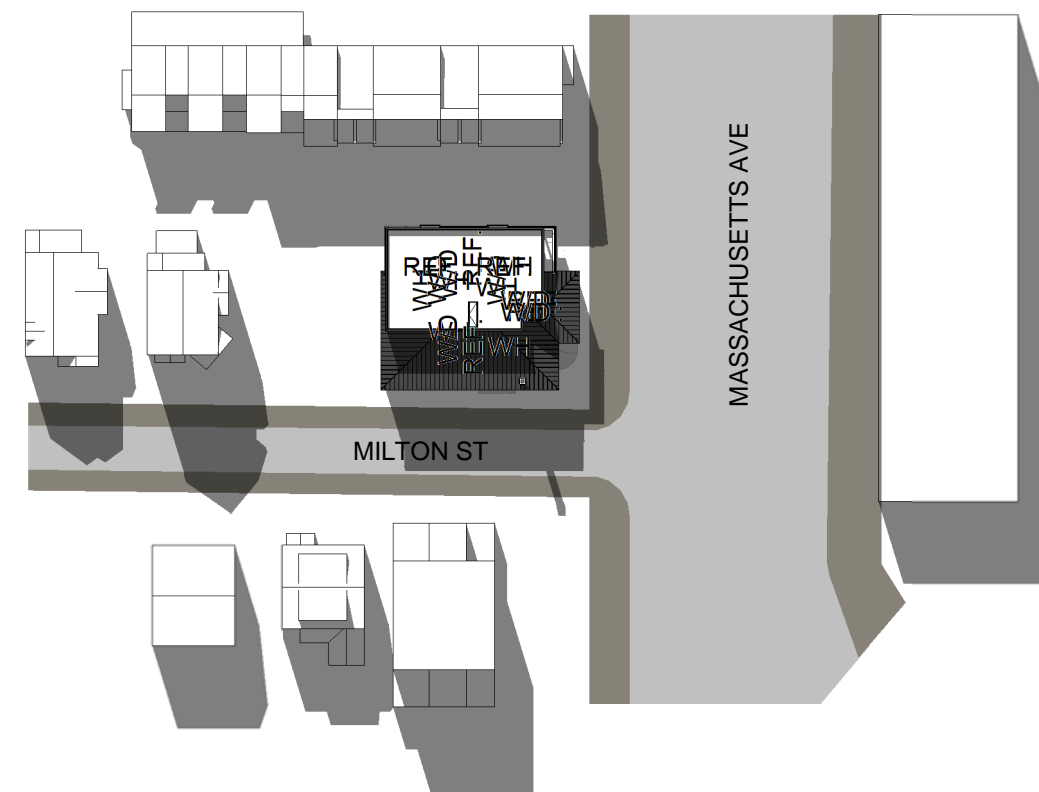
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

EXISTING CONDITION



PROPOSED CONDITION



PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

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Project number 20089 Date 7/11/2023 Drawn by Author Checked by TMC Scale 1/64" = 1'-0"

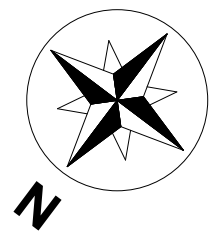
REVISIONS

Table with 3 columns: No., Description, Date. It is currently empty.

SHADOW STUDY

AV-5

2161 MASS AVE RESIDENCES



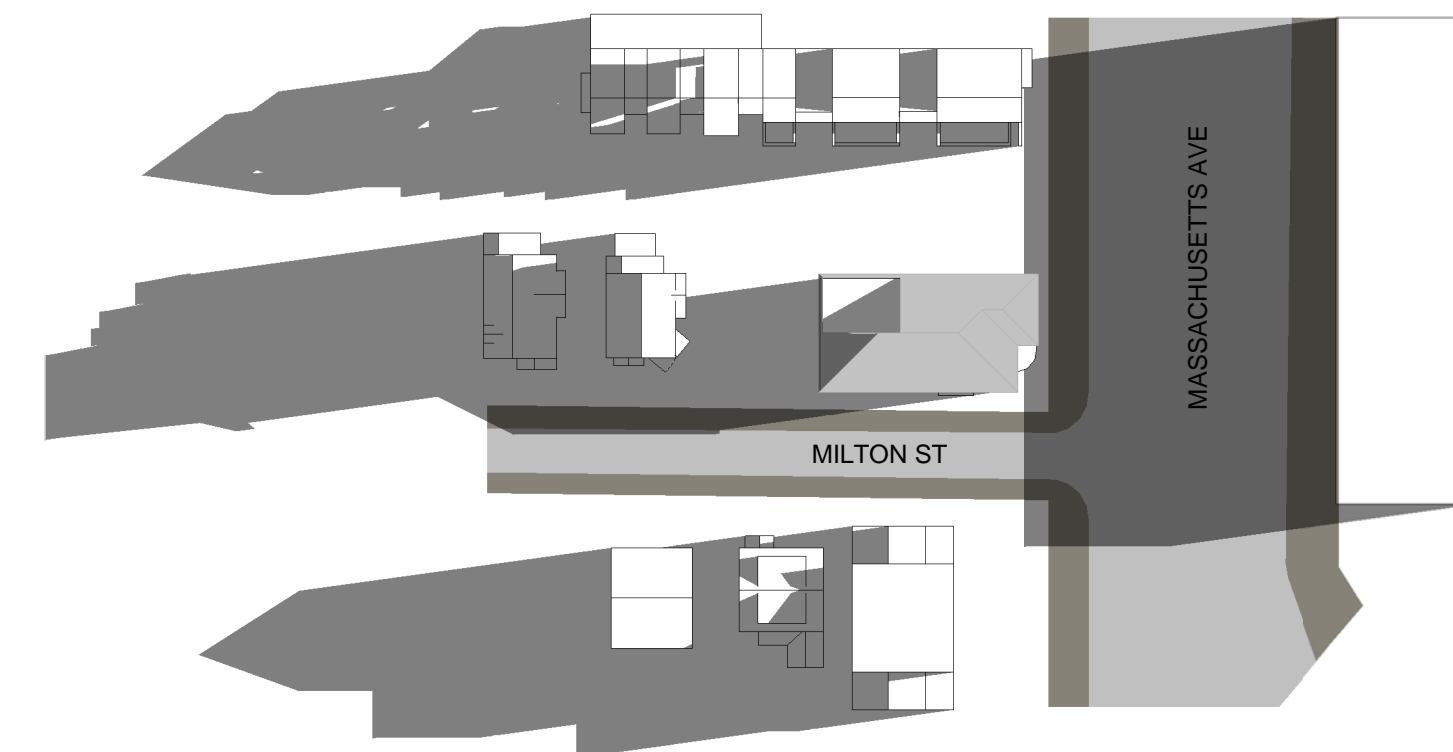
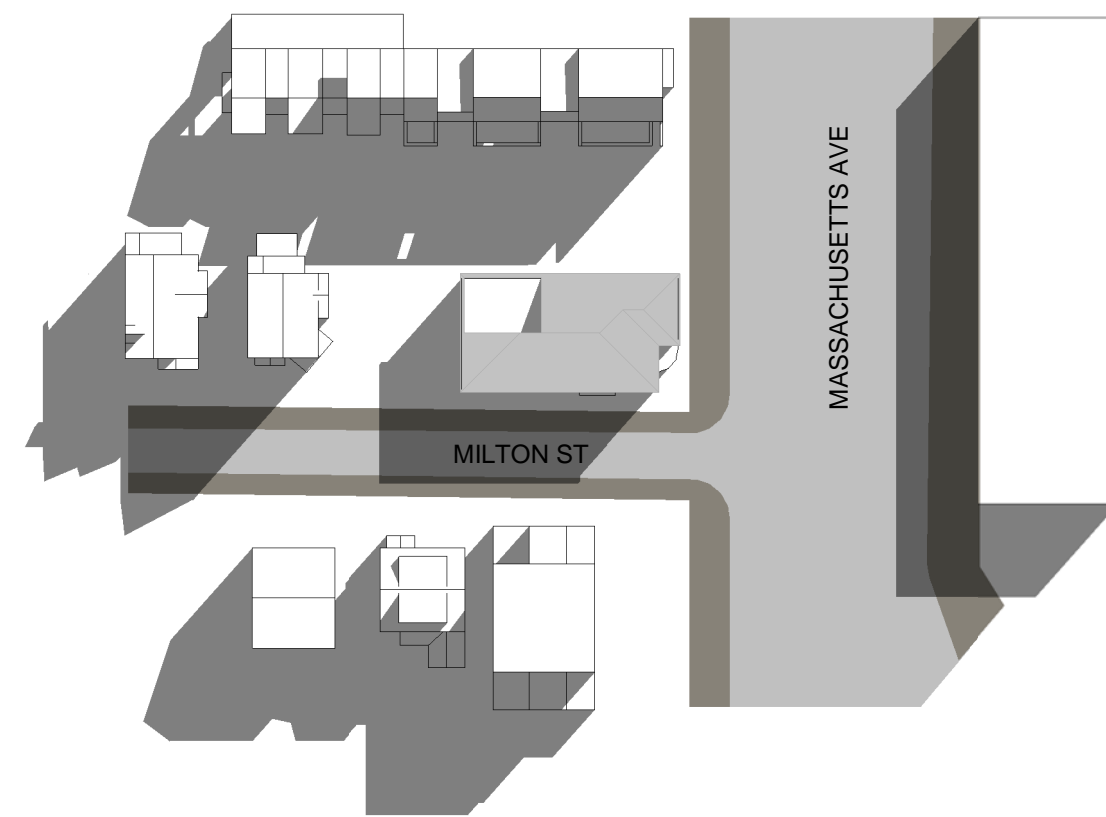
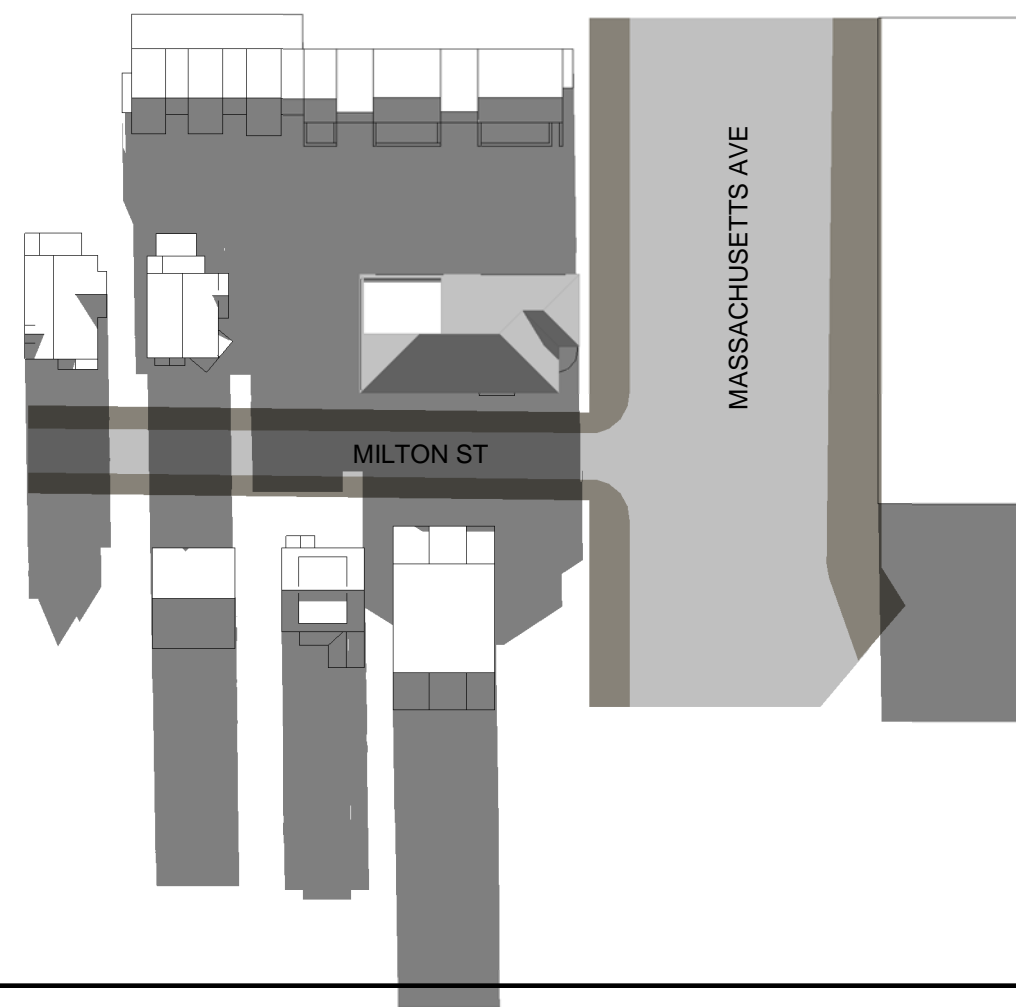
WINTER SOLSTICE

MORNING (9 AM - 10 AM)

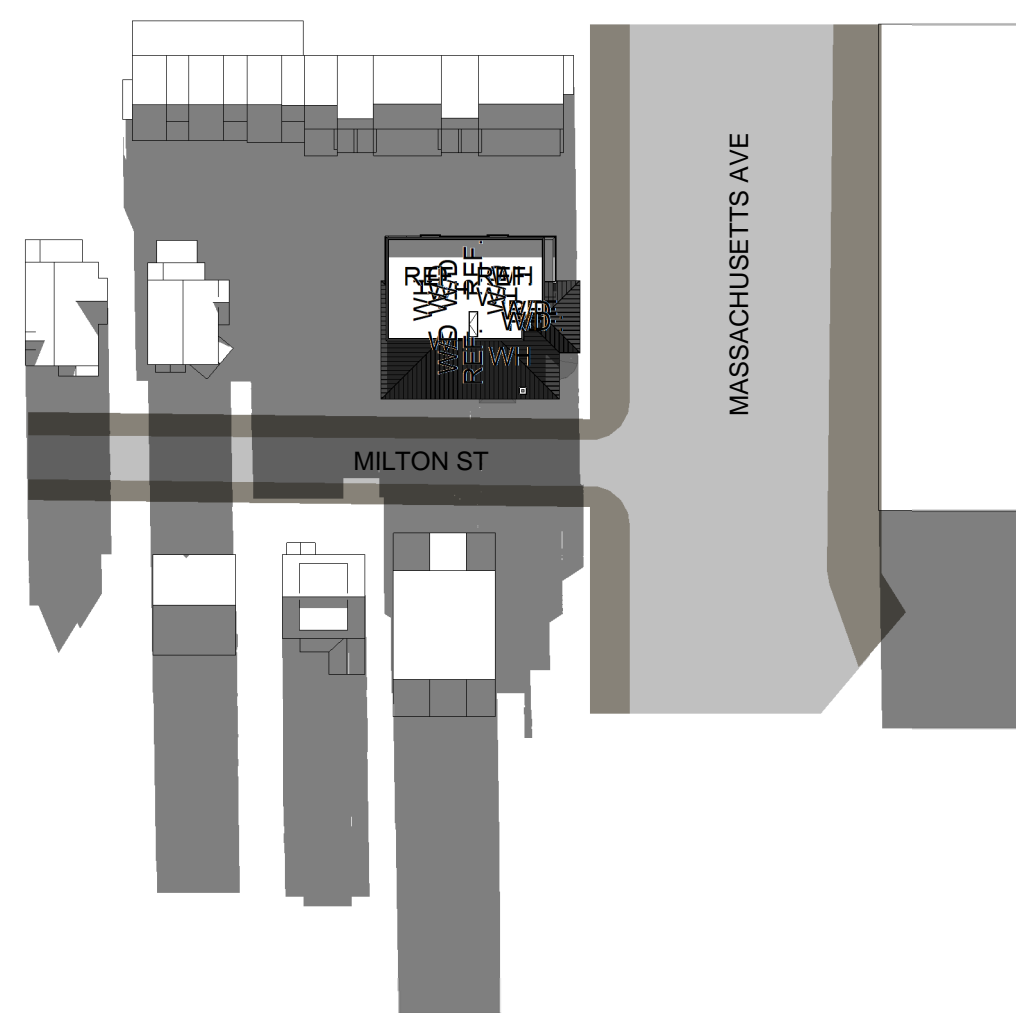
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

EXISTING CONDITION



PROPOSED CONDITION



PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

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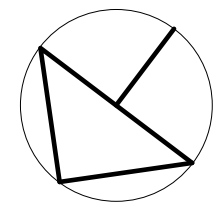
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SHADOW STUDY

AV-6




2161 MASS AVE RESIDENCES

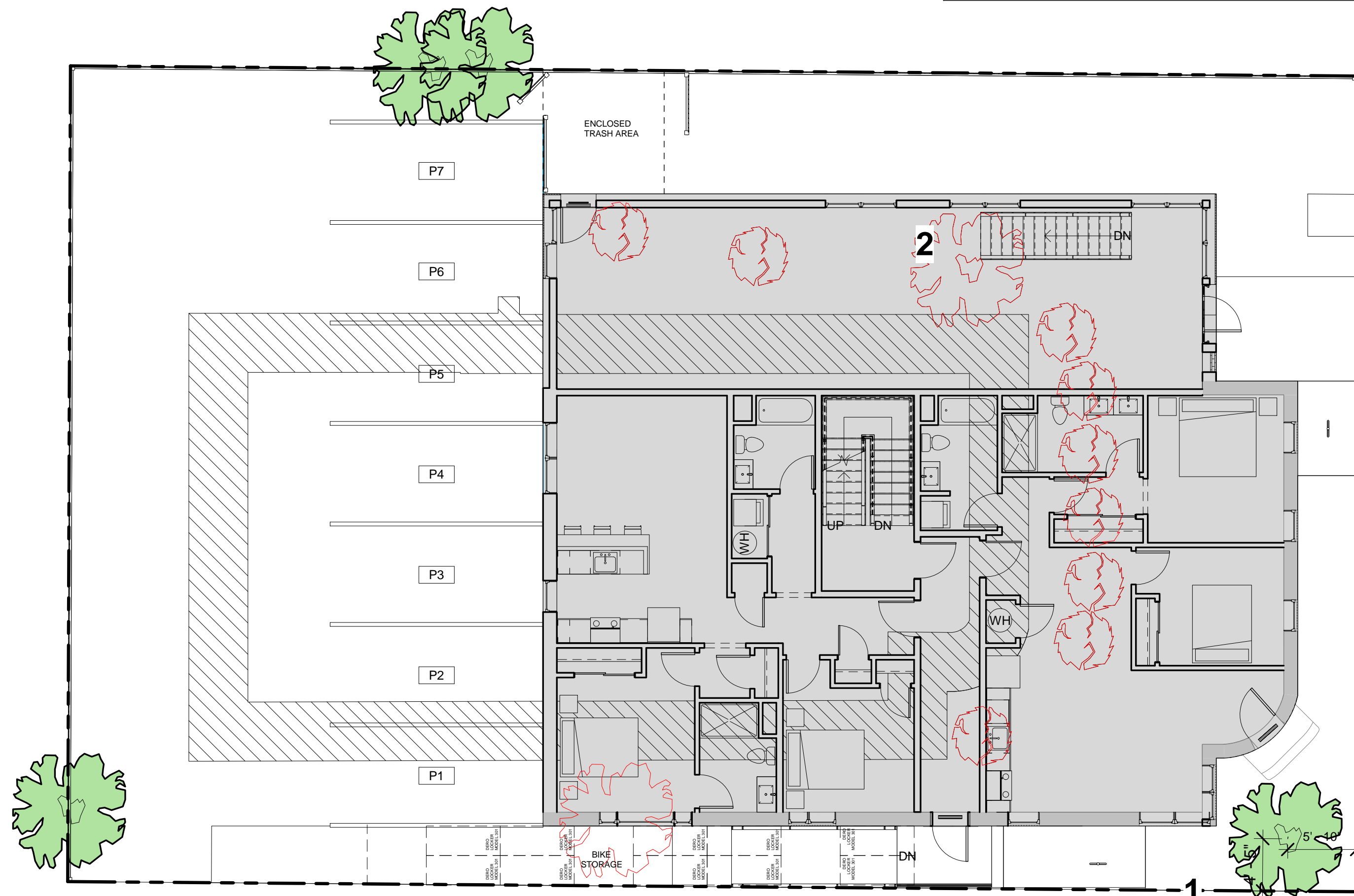
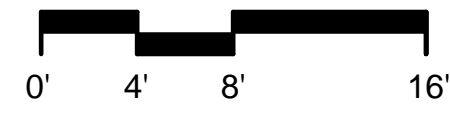


LOT SIZE:
+/- 7,513 SF

- 1. MAGNOLIA TREE
- 2. EASTERN RED CEDAR

LEGEND

-  TREE TO REMAIN
-  TREE TO DEMO
-  BUILDING FOOTPRINT



MILTON ST.



MASS AVE.



PROJECT NAME

2161 MASS AVE
RESIDENCES

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

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REVISIONS

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SITE TREES

AV-7

2161 MASS AVE RESIDENCES



MASS AVE. & MILTON ST. CORNER VIEW



MASS AVE. CORNER VIEW



MASS AVE. ENTRY



MILTON STREET VIEW

PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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REVISIONS

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**EXISTING
CONDITIONS/
CURRENT**

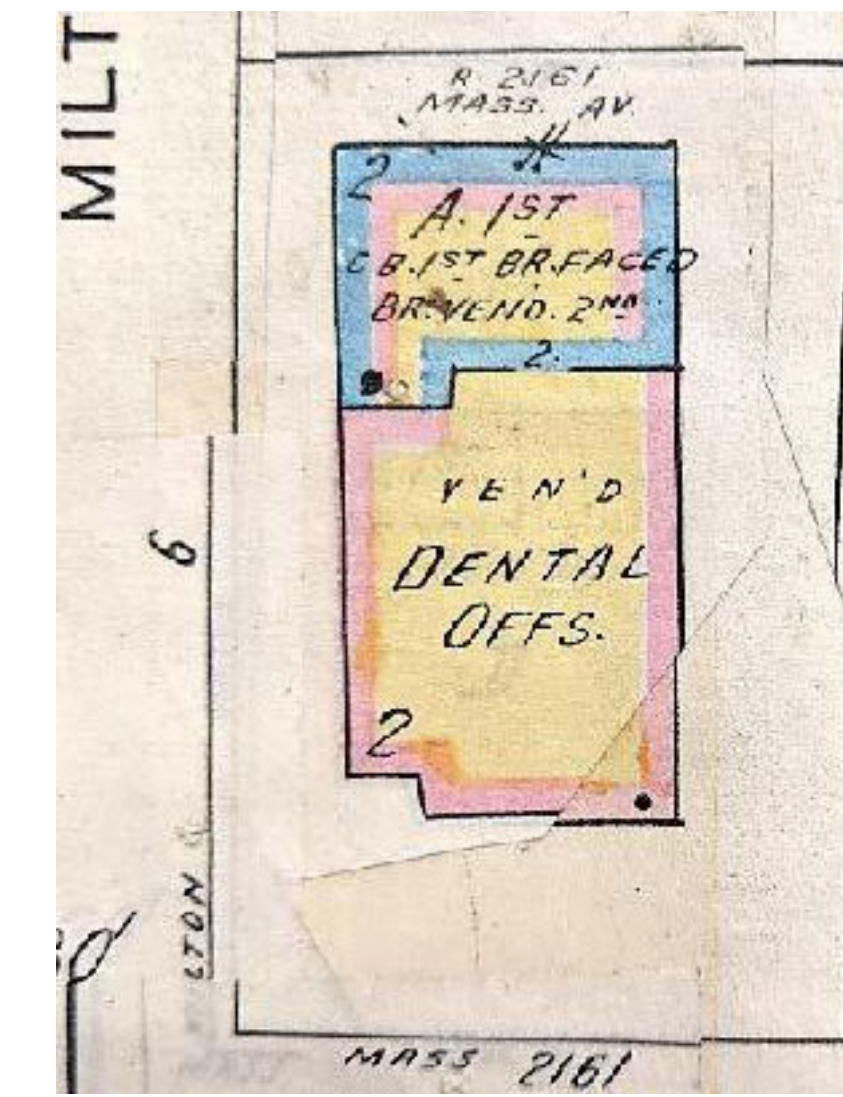
AV-8

2161 MASS AVE RESIDENCES



ORIGINAL DESIGN VISUALIZATION, 1939

1959 ADDITION REFERENCES



1934 Sanborn Atlas, updated through 1959 showing garage addition

ADDITION, 1959

PROJECT NAME

2161 MASS AVE
RESIDENCES

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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HISTORIC
REFERENCES

AV-20

2161 MASS AVE RESIDENCES

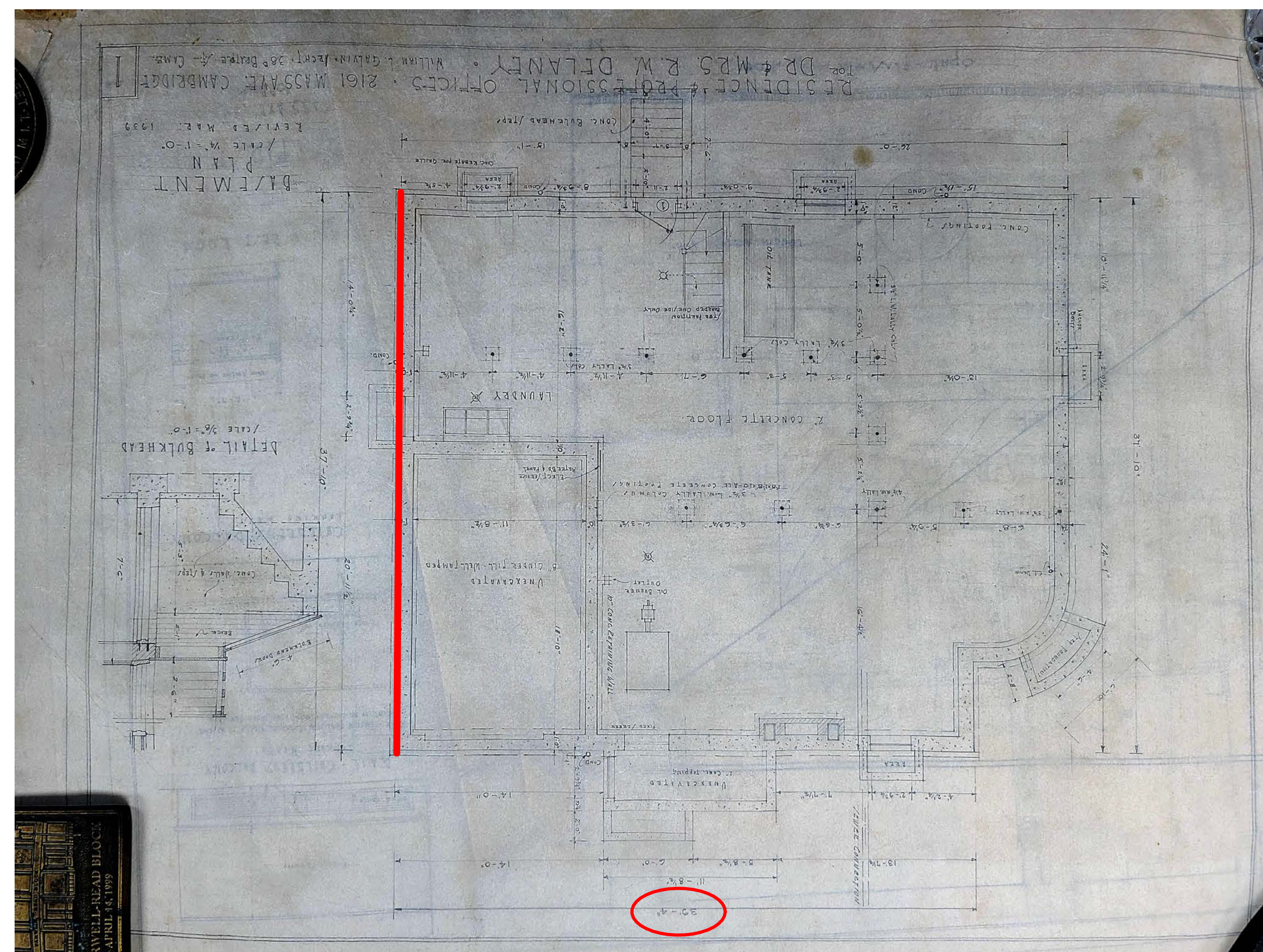
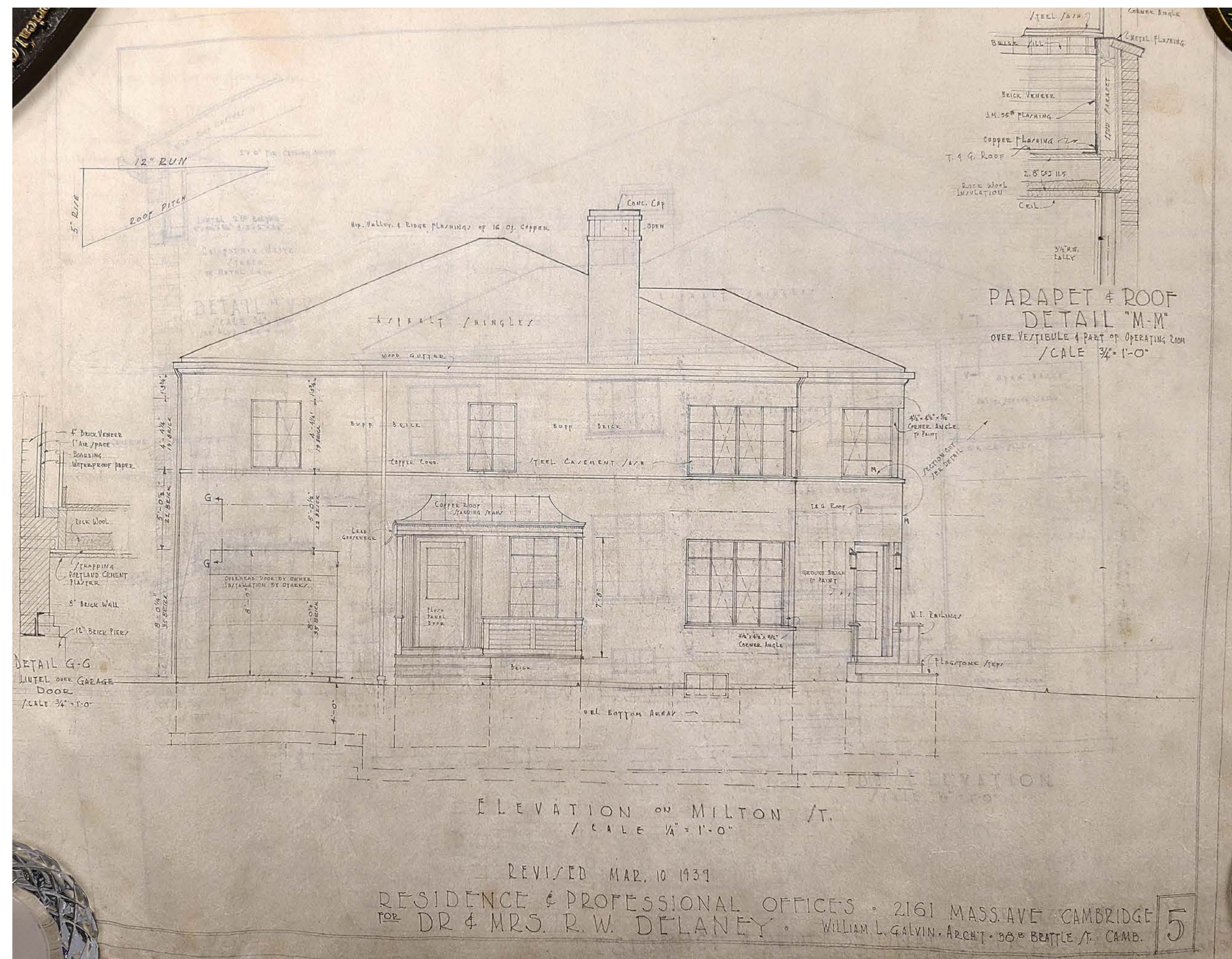


CURRENT, REAR VIEW



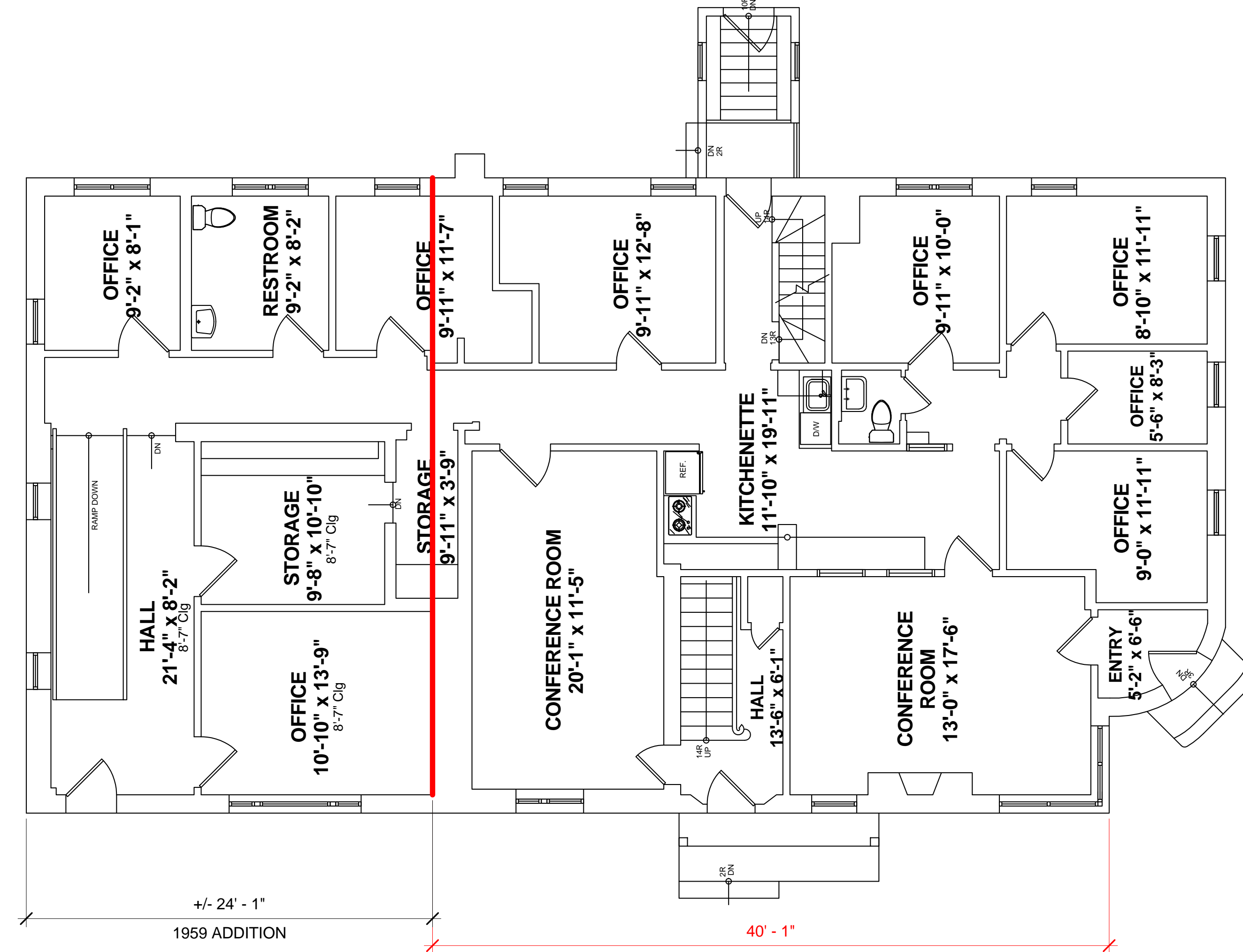
CURRENT, MILTON STREET VIEW

ORIGINAL HOUSE DESIGN, 1939

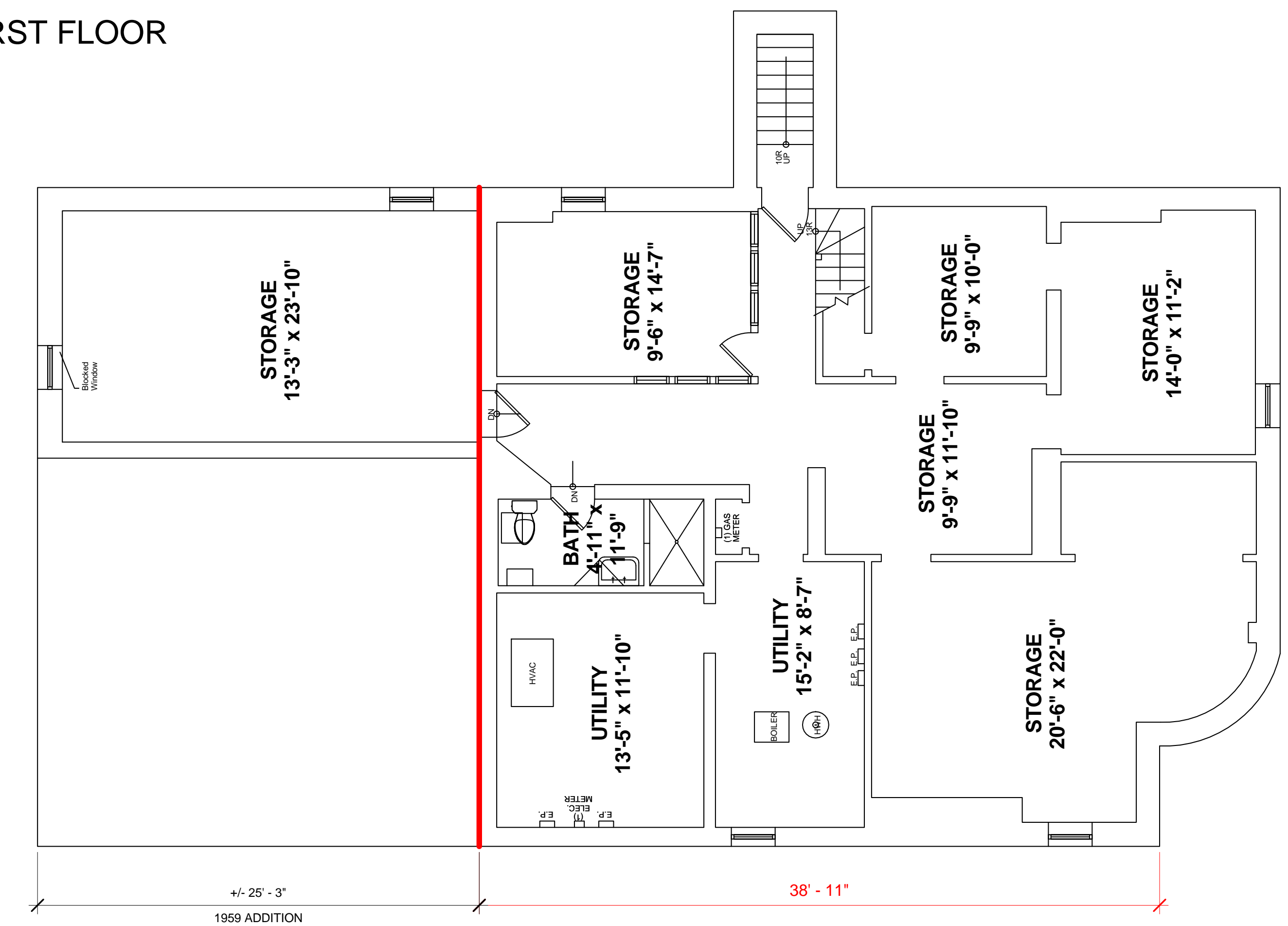


ORIGINAL HOUSE BASEMENT PLAN FROM 1939, ARCHITECT WILLIAM L. GALVIN

EXISTING CONDITIONS, 2020



FIRST FLOOR



BASEMENT

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS
2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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FIRST FLOOR PLAN

BASEMENT PLAN

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REVISIONS

No.	Description	Date

HISTORIC
REFERENCE

AV-21
2161 MASS AVE RESIDENCES

ART MODERNE



Club Moderne, Anaconda, Montana.
Designed by Fred F. Willson, 1937



1910 Greenwood Avenue Wilmette, IL
Architect: Andrew Rebori



ART MODERNE CHARACTERISTICS (1930-1950)

- SIMPLE GEOMETRY
- COMPACT CUBIC MASSING WITH LITTLE DECORATION
- CURVED FORMS, ROUNDED CORNERS
- LONG HORIZONTAL LINES, HORIZONTAL STREAMLINES
- OCCASIONALLY NAUTICAL ELEMENTS, MACHINE AGE ARCHITECTURE
- MOSTLY FLAT ROOFS
- CORNER WINDOWS
- PORTHOLE WINDOWS
- GLASS BLOCK OR MULTI-PANE WINDOWS
- SMOOTH WHITE WALLS

PROJECT NAME

**2161 MASS AVE
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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REVISIONS

No.	Description	Date

ART MODERNE

AV-22

2161 MASS AVE RESIDENCES