

# DRAWING LIST

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
0-Cover		
A-000	COVER SHEET	3/27/2023
1-Civil		
C1	PLOT PLAN OF LAND	2/8/2021
2-Landscape Arch.		
L1	LANDSCAPE PLAN	3/3/2023
L2	LANDSCAPE MATERIALS PLAN	3/3/2023
3-Architectural		
A-011	EXISTING CONDITIONS & DEMO PLAN	3/27/2023
A-019	ZONING ANALYSIS	3/27/2023
A-020	ARCHITECTURAL SITE PLAN	3/27/2023
A-021	BIKE PARKING PLANS	3/27/2023
A-022	GROSS AREA PLANS	3/27/2023
A-023	UNIT AREAS	3/27/2023
A-100	FLOOR PLANS	3/27/2023
A-300	EAST & SOUTH ELEVATIONS	3/27/2023
A-301	NORTH & WEST ELEVATIONS	3/27/2023
AV-1	PERSPECTIVES	3/27/2023
AV-2	MILTON & MASS AVE CORNER RENDERING	3/27/2023
AV-3	MASS AVE. RENDERING	3/27/2023
AV-4	SHADOW STUDY	3/27/2023
AV-5	SHADOW STUDY	3/27/2023
AV-6	SHADOW STUDY	3/27/2023
AV-7	SITE TREES	3/27/2023
AV-8	EXISTING CONDITIONS/ CURRENT	3/27/2023
21		



# 2161 MASSACHUSETTS AVE.

3/27/2023

ARCHITECT: KHALSA DESIGN INC.

2161 MASS AVE RESIDENCES

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## PROJECT TEAM

**OWNER**  
 NELSON GROUP COMPANIES  
 ADDRESS:  
 264 SALEM ST.  
 MEDFORD, MA 02155

**ARCHITECT**  
 KHALSA DESIGN INC.  
 ADDRESS:  
 17 IVALOO ST., SUITE 400  
 SOMERVILLE, MA 02143

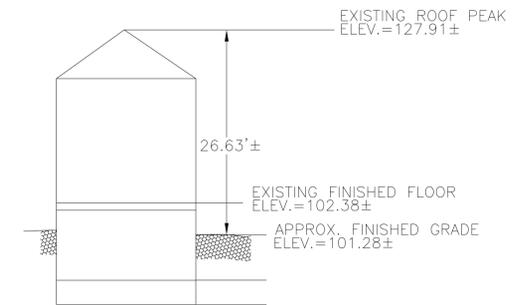
**LANDSCAPE ARCHITECT**  
 VERDANT  
 ADDRESS:  
 318 HARVARD ST., #25  
 BROOKLINE, MA 02446

**LEGAL**  
 ADAMS & RAFFERTY  
 ADDRESS:  
 907 MASS AVE., SUITE 300  
 CAMBRIDGE, MA 02139

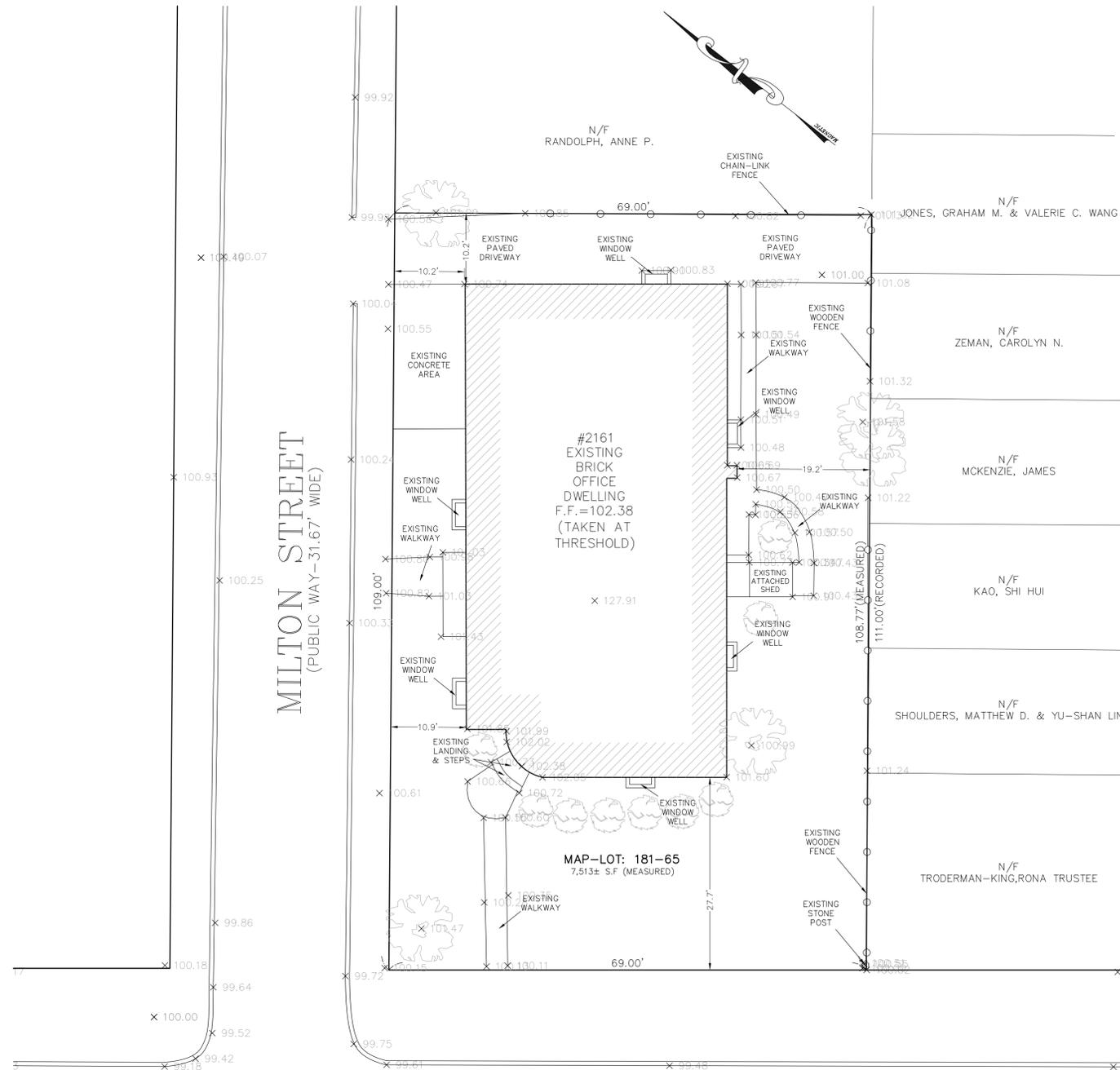


NOTES:

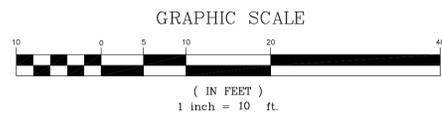
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 1/19/2021.
2. DEED REFERENCE: BOOK 13083, PAGE 528  
PLAN REFERENCE: PLAN BOOK 14509, PLAN 327  
PLAN REFERENCE: PLAN BOOK 15287, PLAN 343  
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0438E, IN COMMUNITY NUMBER: 250186, DATED 6/4/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM.



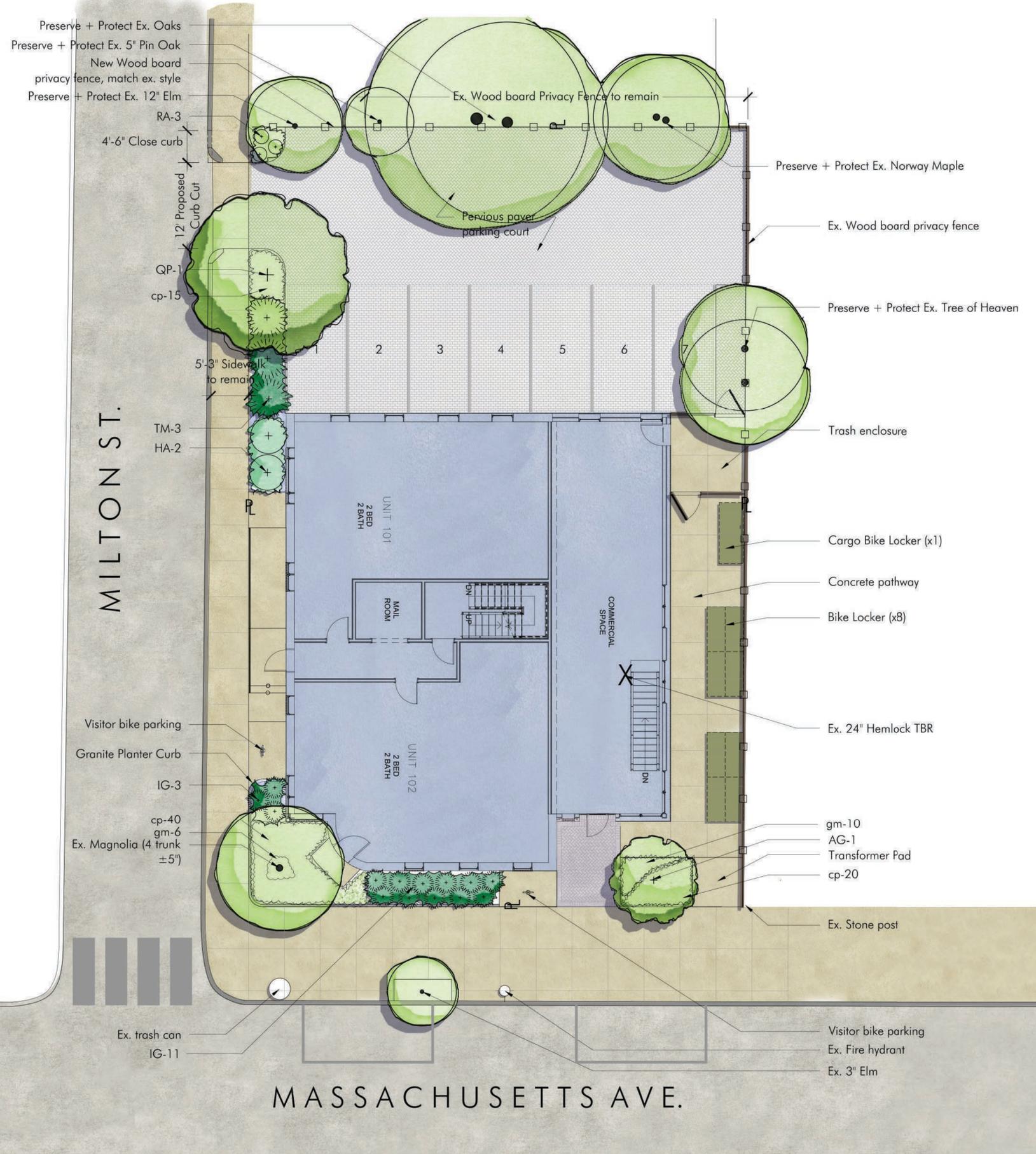
EXISTING PROFILE  
NOT TO SCALE



MASSACHUSETTS AVENUE  
(PUBLIC WAY-VARIABLE WIDTH)



SCALE	1"=10'			
DATE	2/8/2021	REV	DATE	REVISION
SHEET	1			BY
PLAN NO.	1 OF 1	2161 MASSACHUSETTS AVENUE CAMBRIDGE MASSACHUSETTS		
CLIENT:		PLOT PLAN OF LAND		
DRAWN BY	KK	<b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		
CHKD BY	ETS			
APPD BY	PJN			
				SHEET NO.
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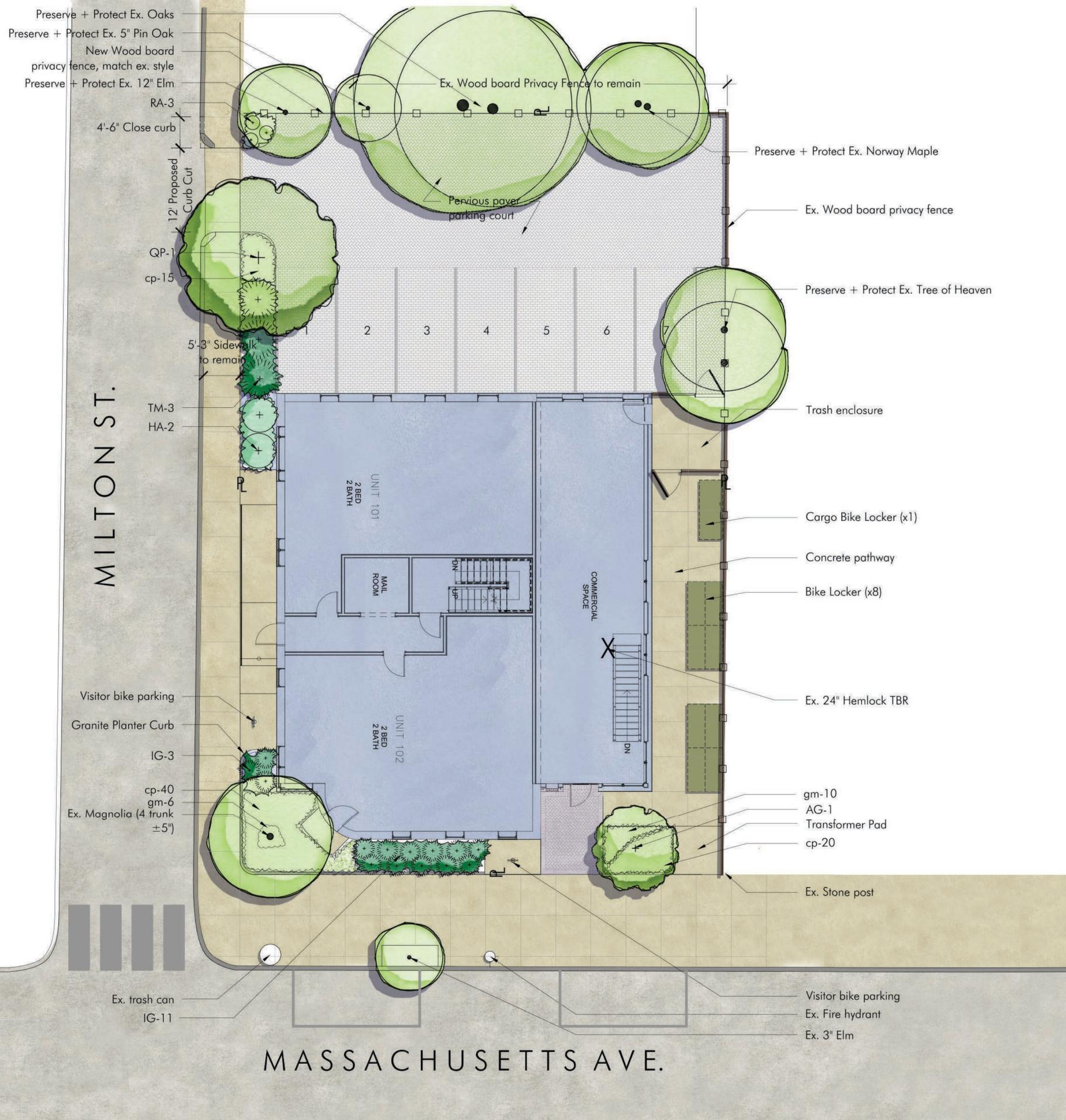
**PROPOSED PLANT LIST**

SYM #	LATIN NAME	COMMON NAME	NOTES
<b>Deciduous Trees:</b>			
AG 1	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	8'-10' multi stem
QP 1	Quercus palustris	Pine Oak	3-3.5' cal.
<b>Shrubs:</b>			
HA 2	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal.
IG 14	Ilex glabra 'Shamrock'	Inkberry- 1 male	24-30" ht.
RA 3	Rhus aromatica 'Gro-Low'	Fragrant Sumac	24-30" ht.
TM 3	Taxis x media "hicksii"	Hicks Yew	30-36" ht.
<b>Perennials:</b>			
pv 2	Panicum virgatum 'ruby ribbons'	Ruby Ribbons Switch grass	1 gal.
cp 75	Carex pennsylvanica	Pennsylvania sedge	1 gal.
gm 16	Geranium maculatum 'Espresso'	Wild Geranium	1 gal.

	Caliper of Trees To Be Removed	Caliper of Trees To Be Preserved	Caliper of Proposed Trees
Hemlock	24"		
Magnolia (4 Trunk ±5")		20"	
Serviceberry			3"
Pin Oak			3"
<b>Total Inches</b>	<b>24</b>	<b>20</b>	<b>6.0</b>

**Tree Protection Plan:**  
 Prior to initiating site work, the Contractor shall install a 6' ht. chain link construction fence as shown on the plan to establish the Tree Protection Zone (TPZ).

- Existing pavement shall be maintained during construction since it will provide a durable and non-erosive platform for construction.
- An arborist shall prune limbs that may hinder or be damaged by construction equipment or that may interfere with building construction.
- At the conclusion of construction, the existing pavement shall be carefully removed, leaving the existing base in place to the dimensions shown on the plan.



Pervious paver parking court



Visitor bike parking, Hitch and Loop by Dero



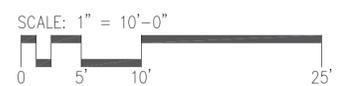
Bike lockers by Dero



Cargo Bike Locker



4" Landscape curb





# ZONING CHART

**BA-2=6,900  
RES-B =613  
TOTAL: 7,513**

Lot Contains Identified Historic Structure		REQUIRED	PROPOSED	REMARKS
<b>ZONE : BUS A-2 MASS AVE. OVERLAY DISTRICT</b>				
LOT AREA, MIN S.F.	NONE	NONE	NONE	
LOT AREA, MIN S.F. / DU	600 S.F. / DU 6,900 SF/ 600 SF= 11 DU ALLOWED	8 DU's	COMPLIES	
MAX. FAR (See 5.30.11 & 5.30.12 BELOW)	1.75 FOR RESIDENTIAL LOT AREA: BA-2: 6,900 SF MAX RESIDENTIAL FAR = 12,075 SF	9,626 SF	COMPLIES	
MIN. LOT WIDTH	0 65 RES-B LOT AREA: RES-B: 613 SF MAX RESIDENTIAL FAR = 398 SF	0 SF		
MIN. FRONT YARD	5'-0" (FOOTNOTE M)	5'-0" @ MILTON ST.	5'-0" MASS AVE.	COMPLIES
MIN SIDE YARDS	10'-0" (FOOTNOTE I) 20'-0" ON RES-B SIDE	LEFT (MILTON ST.): 40' - 0' RIGHT (MASS AVE.): 10' - 0'		COMPLIES
MIN REAR YARD	23'-4" (FOOTNOTE J)	N/A (CORNER LOT)		NONE
MAX HEIGHT	35'- 0" (FOOTNOTE K) 60'-0" MASS AVE OVERLAY	31'-0"		COMPLIES
OPEN SPACE (% of lot area)	BA-2: NONE RES-B: 40%			
MIN RATIO OF PRIVATE OP. SP. TO LOT AREA	NONE	NONE		NONE
VEHICLE- PARKING	NOT REQUIRED	7 PROVIDED		COMPLIES
BICYCLE PARKING	RESIDENTIAL: LONG TERM= 1 SPACE/ DU = 8  SHORT TERM= 0.10 SPACE / DU = 1 SPACE	RESIDENTIAL: LONG-TERM: 9 LOCKERS  SHORT-TERM: 2		COMPLIES

**FOOTNOTES**

(i) The maximum height of a building may be increased to sixty (60) feet provided the average height of the building is fifty (50) feet (excluding any portion of the building devoted to parking which is not covered with building included in gross floor area). The heights of the several parts of the building shall be such that the volume of building exceeding fifty (50) feet in height shall be equal to or less than the volume of space lying between the fifty (50) feet height and portion of building less than fifty (50) feet in height, as illustrated below:  
 Volume 1 (area of building at a single height - 1 above fifty feet x the difference between height - 1 and fifty feet) + Volume 2 (area of building at a single height - 2 above fifty feet x the difference between the height - 2 and fifty feet) MUST EQUAL OR BE LESS THAN THE SUM OF  
 Volume 1 (area of building at a single height - 1 below fifty feet x the difference between height 1 and fifty feet) + Volume 2 (area of building at single height - 2 below fifty feet x the difference between height - 2 and fifty feet).

(j) Or two-thirds (2/3) of the height of the rear wall whichever is greater; however in the Business C and Business C-1 districts no rear yard shall be required where the rear lot line abuts a lot of all of which lies in a business or industrial district.

(k) Provided however that any portion of a building having a height greater than thirty-five (35) feet shall be set back of a bulk control plane rising at an angle of forty-five (45) degrees from the plane of the principal front wall and rear wall planes beginning at a height of thirty-five (35) feet.

(l) Where the parcel has frontage on two or more streets, this setback plane provision shall apply only to the front wall plane facing the principal abutting arterial street and to the opposite wall plane facing either a side or front property line.

In addition to the above provisions, that portion of a building located within fifty (50) feet of a residential zoning district line shall be limited to thirty-five (35) feet where the maximum height permitted in the residential district is thirty-five (35) feet or less.

(m) Or the setback of the principal front wall plane of any adjacent building facing the same street, whichever is less.

**20.110 Additional Standards Applicable in the Business A-2 Districts.**

20.110 Additional Standards Applicable in the Business A-2 Districts. Within the portions of the Overlay District having a base Business A-2 zoning district designation (the BA-2 Districts) the regulations set forth above in Subsections 20.103 to 20.109 shall apply except as modified by this Section 20.110. However, the provisions of this Section 20.110 shall not apply in the portion of the BA-2 District north of the centerline of Richard Avenue.

20.110 Purpose and Intent. The purpose of the Massachusetts Avenue Overlay District shall apply equally within the included BA-2 Districts. The intent of the additional standards applicable in the BA-2 Districts is to encourage the retention and expansion of pedestrian-friendly ground floor retail and other active non-residential uses on the ground floors of buildings along the Avenue. Additionally, as sites are redeveloped in the future, new buildings and streetscapes should have a scale, urban design, and mix of uses that strengthens the urban character of the Avenue as the principal commercial corridor serving the North Cambridge, Agassiz and Neighborhood Nine neighborhoods while also respecting the historic characteristics of the Avenue.

20.110.2 Use Regulations. In addition to the requirements set forth in Section 20.106, the following regulations shall apply.

20.110.21 Required Ground Floor Non-Residential Uses. The ground floor of any building that fronts directly onto Massachusetts Avenue shall consist of at least one (1) active non-residential use meeting the following requirements:

- a. Range of Qualifying Uses. The required ground floor active non-residential uses shall be limited to one or a combination of the following uses, to the extent permitted in the base zoning district:
  - a. Section 4.34 a (office of a physician, dentist or other medical practitioner not located in a clinic listed under subsection 4.26(d)), b (office of an accountant, attorney, or other non-medical professional person (includes properly licensed massage therapists), c (real estate, insurance or other agency office), d (general office use), e (bank, trust company or similar financial institution (real banking only)),
  - b. Section 4.35 a-1 (Convenience Store), a-2 (Merchandise Store), a-3 (Grocery Store), c (Personal Services Establishment), f-1 (Restaurant), f-2 (Bar), f-3 (Craft Beverage Establishment), f-4 (Food Stand or Kiosk), f-5 (Food Hall), g (Dance Hall or Nightclub), h (Theater), i-1 (Commercial Recreation Establishment), i-2 (Fitness Center), j (Animal Services Facility), k (Fast Order or Quick-Service Food Establishment), q-1 (Art/Craft Studio), q-2 (Performing Arts Studio), r (Bakery, retail),
  - c. Section 4.36 a (Open-Lair Retail Sales Establishment), c. Section 4.56 a(4) (religious or social recreation center), c(4) (college theater), e(4,5,6) (medical clinics), f (social service or community center), g(3) (museum), g(5) (public park, playground, or public recreation building), h(2) (museum or non-commercial gallery).
- 2. Minimum Depth. The required ground floor uses shall have a minimum depth of forty (40) feet measured from the Massachusetts Avenue frontage of the building (or the full depth of the building if less than forty (40) feet).
- 3. Floor Elevation. The floor elevation of the required ground floor uses shall be at the mean grade of the adjacent public sidewalk.
- 4. Minimum Linear Frontage. The required ground floor non-residential use shall occupy a minimum of 75% of the linear frontage of the building facing Massachusetts Avenue.
- 5. Individual Store Size.
  - a. In portions of the included BA-2 Districts north of Porter Square, any separately leased required ground floor non-residential use shall contain no more than 5,000 square feet of Gross Floor Area, which calculation of square footage shall include any floor area located below grade.
  - b. In portions of the included BA-2 Districts south of Porter Square, any separately leased required ground floor non-residential use shall contain no more than 2,500 square feet of Gross Floor Area, which calculation of square footage shall exclude any floor area located below grade. However, the Planning Board may grant modifications to such Gross Floor Area limitation, pursuant to Section 20.110.22 below, to accommodate a pre-existing non-residential use of building or for other reasons that are in support of the non-residential use purposes of the Massachusetts Avenue Overlay District.
  - 6. Minimum Ground Floor Height. For any ground floor portion of a building containing a required non-residential use the minimum ground floor height shall be fifteen (15) feet measured in the manner described in Paragraph 20.110.42. If the ground floor height is reduced below fifteen (15) feet by special permit or variance, there shall be a commensurate reduction in the total height of the building.
  - 7. Maximum Bank Frontage. No bank, trust company or similar financial institution may occupy a building frontage of more than twenty-five (25) feet.

20.110.22 Modifications to Standards. As set forth below, the Planning Board may grant a special permit to waive certain requirements of Subsection 20.110.21 above. A project receiving a special permit pursuant to this Subsection 20.110.22 shall be considered to meet the requirements of Subsection 20.110.21 for the purpose of applying the other provisions of this Section 20.110.

1. Modifications to the Dimensional Provisions of Subsection 20.110.21. The Planning Board may approve modifications to the dimensional requirements set forth in Subsection 20.110.21 Paragraphs (2-7) upon making a determination that:

- (a) the proposed modified dimensions do not substantially derogate from the intent of the requirement to provide for a reasonably continuous active ground floor frontage along the public street and
- (b) the overall floor area of required active non-residential ground floor uses is not substantially reduced and
- (c) the modifications are the minimum necessary to reasonably accommodate the new construction or use on the lot.

2. Additional Non-Residential Uses Not Otherwise Permitted in Subsection 20.110.21. The Planning Board may approve active non-residential ground floor uses not specifically listed in Subsection 20.110.21 Paragraph (1), to the extent permitted in the base zoning district, making a determination that an alternate ground floor use will provide services or amenities to the general public, and will promote an active, pedestrian-friendly street front consistent with the objectives of this Overlay District and the purposes of the standards applicable in the BA-2 Districts.

ADDITIONAL REQUIREMENTS FOR MASS AVE. OVERLAY DISTRICT	REQUIRED	PROPOSED	REMARKS
REQUIRED GROUND FLOOR NON-RESIDENTIAL USE	YES	YES (OFFICE SPACE)	COMPLIES
MIN. NON-RESIDENTIAL USE DEPTH IN FT.	40'-0" MIN.	56'-11"	COMPLIES
MIN. NON-RESIDENTIAL USE FLOOR ELEVATION	SHOULD BE AT MEAN GRADE OF ADJACENT PUBLIC SIDEWALK	AT MEAN GRADE OF ADJACENT PUBLIC SIDEWALK	COMPLIES
MIN. NON-RESIDENTIAL USE LINEAR FRONTAGE	MIN 75% OF LINEAR FRONTAGE FACING MASS AVE. (63'-6" * 0.75 = 40'-2" MIN.)	15'-10"	DOES NOT COMPLY
MIN. NON-RESIDENTIAL USE DROUND FLOOR HEIGHT	15'-0"	10'-5"	DOES NOT COMPLY

**BA-2 NOTES:**

(i) Wherever the side yard of any lot abutting another lot (where that lot does not abut Massachusetts Avenue and where all or a majority of it is located in a residence district) no building shall be set nearer than twenty feet to (1) either the residence/Business A-2 zoning district line where the lot line is located in the BA-2 District or (2) the side lot line itself where that lot line is located in the residence district. Nevertheless, the provisions of the following paragraph shall continue to apply.

(ii) A building is hereafter erected on a lot adjacent to a building having a blank wall directly on the side lot line, the new building may be so designed and erected that it will be flush with that portion of the blank wall of the former building which extends along the lot line; otherwise no less than the required side yard setback shall be provided. In the case that any portion of a side wall of the existing building contains windows or is set back from the property line, then a building hereafter erected on the lot adjacent to such an existing building shall be set back from the side lot line as required.

(j) Or two-thirds (2/3) of the height of the rear wall whichever is greater; however in the Business C and Business C-1 districts no rear yard shall be required where the rear lot line abuts a lot of all of which lies in a business or industrial district.

(k) Provided however that any portion of a building having a height greater than thirty-five (35) feet shall be set back of a bulk control plane rising at an angle of forty-five (45) degrees from the plane of the principal front wall and rear wall planes beginning at a height of thirty-five (35) feet. Where the parcel has frontage on two or more streets, this setback plane provision shall apply only to the front wall plane facing the principal abutting arterial street and to the opposite wall plane facing either a side or front property line. In addition to the above provisions, that portion of a building located within fifty (50) feet of a residential zoning district line shall be limited to thirty-five (35) feet where the maximum height permitted in the residential district is thirty-five (35) feet or less.

(l) Or the setback of the principal front wall plane of any adjacent building facing the same street, whichever is less.

**RES-B NOTES:**

(i) In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3, C-3A, C-3B districts. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet. In Residence A-1, A-2, B-1 districts, no 6-15 building may be nearer the rear lot line than twenty-two (22) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds one hundred (100) feet, up to a maximum of thirty-five (35) feet. For purposes of this Footnote C, the lot depth shall be that distance measured along a line perpendicular to the front lot line and extending to that point on the rear lot line most distant from the front lot line.

5.27.1 The total number of dwelling units allowed shall be the sum of the total dwelling units allowed in each district, determined by adding the lot area in each district divided by the minimum lot area per dwelling unit for each district.

Max # dwelling units = Lot area in district 1 / district 1 min. lot area + Lot area in district 2 / district 2 min. lot area

5.27.2 The maximum gross floor area shall be the sum of the total allowed gross floor area in two fractional numbers and where the sum of the resulting remainders from both districts equals or exceeds one, an additional unit shall be permitted.

5.27.3 The maximum gross floor area shall be the sum of the total allowed gross floor area in each district, determined by adding the lot area in each district multiplied by the maximum allowed floor area ratio (FAR) for each district. Maximum Gross Floor Area = (Lot area in district 1 x district 1 FAR) + (Lot area in district 2 x district 2 FAR)

**20.104.2 Modifications to the Definition of Gross Floor Area.** Notwithstanding the definition of Gross Floor Area contained in Article 2.000 - Definitions, the following shall not be included as part of the gross floor area of any building in the Overlay District:

- Enclosed bays and other small projections from the principal wall plane of a building normally included as gross floor area, provided they are three (3) feet or less in depth and further provided that the following conditions are met:
  - No more than fifty (50) percent of the area of each principal wall plane is covered with such projections.
- Private open space shall be provided on every lot used for residential purposes except for those in the Cambridge Center M/D District, and shall be a percentage of the lot area as set forth in Section 5.31. An area designated as private open space must have both a width and a length of at least three (3) feet, except for balconies, and may not have a slope greater than ten (10) percent. With the exception of balcony areas, private open space shall be accessible to all occupants of a building; not less than one half of the required private open space shall be provided at ground level or within ten (10) feet of the level of the lowest floor used for residential purposes. Areas at other levels, such as balconies, decks, and roofs of garages and buildings, which are accessible to all occupants of buildings, which are not used as walkways or corridors, and which have both a width and a length of at least six (6) feet and a minimum area of seventy-two (72) square feet, may be calculated as private open space, but not exceed twenty-five (25) percent of the total private open space.

5.22.2 Where nonresidential and residential uses are mixed in a building, the required minimum private open space for residential use shall be calculated in the portion of the lot which the residential floor area is to the total floor area in the building.

5.22.3 Special Requirements in Residence A-1, A-2, B, C, and C-1. At least fifty (50) percent of the required private open space in these districts shall meet all of the requirements of Section 5.22.1 above. At least fifty (50) percent of the required private open space shall meet the definition of Permissible Open Space and shall not be subject to the dimensional limitations of Section 5.22.1 as applied to Private open space.

5.30.11 FAR and Height.

Where two numbers appear in Column (1) - Maximum Ratio of Floor Area to Lot Area and Column (6) Maximum Height in Feet, the first number shall apply to all permitted uses in the district except Residential Uses, Section 4.31 a-h, and Dormitory (but excluding resident fraternity or sorority) Uses, Section 4.33.17f, both of which shall be governed by the second number.

5.30.12 Calculation of Permitted Gross Floor Area on a Lot. Where two numbers regulate the permitted FAR on a lot, the Gross Floor Area of any uses proposed on the lot shall be determined by the following formula:  
 Gross Floor Area Permitted = (A x FAR1) x Lot Area + (B x FAR2) x Lot Area

Where A equals the percentage of Gross Floor Area in the building to be used for nonresidential use(s), and Where B equals the percentage of Gross Floor Area in the building to be used for residential and dormitory use(s), and  
 Where A + B = 100% (or 1.0) or less, and FAR1 equals permitted FAR for nonresidential uses, and FAR2 equals permitted FAR for residential and dormitory uses.

5.34 Parking Space Size Allocation. In all parking facilities required to have five or more spaces, a combination of regular and compact spaces may be provided; however, no more than fifty (50) percent of the required spaces shall be designed for compact cars (as specified in Subsection 6.42). All off street parking facilities shall contain spaces designed for handicapped access. The number of such spaces shall be determined by the requirements of the currently applicable Rules and Regulations of the Architectural Barriers Board of the Commonwealth of Massachusetts.

6.47.8 Screening requirements may be waived in the following cases: (a) if said parking facility is already effectively screened by an existing building, wall, fence, or hedge on an adjoining lot and within five feet of the common property line, screening shall not be required so long as such adjoining screening is maintained; (b) if said parking facility is already effectively screened by a natural terrain feature, railroad tracks, or change in grade; (c) if said parking facility abuts another parking facility under different use or ownership, a landscaped planting strip at least five (5) feet in width may be used in lieu of screening along the common property line.

**Gross Floor Area shall include:**

- (a)Roofed porches and balconies whether enclosed or unenclosed;
- (b)Roofed porches and balconies above third floor, with the exception of porch and balcony spaces associated with Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
- (c)Elevator shafts and stairwells on each floor, not included in (b) below;
- (d)Attic space, whether finished or unfinished, within the area of a horizontal plane that is five (5) feet above the attic floor and which touches the side walls and/or the underside of the roof rafters and which is not excluded in (5) below;
- (e)Interior balconies, mezzanines, and penthouses;
- (f)Decks;
- (g)Areas of parking facilities in structures except as excluded in (2) below; and
- (h)Any accessory parking spaces not in above ground structures if in excess of the maximum number permitted on the premises as set forth in Sections 5.25 and 6.30.

**Gross Floor Area shall not include:**

- (1)Areas used for off street loading purposes;
- (2)Areas of parking facilities in structures located underground and the area of on grade open parking spaces outside the building footprint at or below the maximum number permitted on the premises as set forth in Sections 5.25 and 6.30;
- (3)Basement and cellar areas devoted to the operations and maintenance of the building such as heating and cooling equipment, electrical and telephone facilities, and fuel storage;
- (4)Open and lattice-work fire escapes;
- (5)Roofed porches and balconies no higher than the third floor;
- (6)Attic space and other areas devoted to elevator machinery or mechanical equipment necessary for the operation of the building, including sustainable mechanical systems and related equipment and chassis for systems including, but not limited to, solar energy systems, geothermal systems and heat pumps, solar hot water systems and related tubes and tanks, equipment related to radiant heating, hydronic cooling, heat recovery ventilators, and energy recovery ventilators;
- (7)Elevator shafts and stairwells on floors where there is no other area which qualifies to be included in gross floor area;
- (8)Attic space not otherwise included in (6) above;
- (9)Basement and cellar spaces with less than seven (7) feet of ceiling height measured from the floor to the line of the bottom of the floor joists, or to any subfloor or finished surface above any floor joists that are spaced not less than four (4) feet on center, and further provided that the basement or cellar is a Story Above Grade as defined in the State Building Code;
- (10)Bicycle parking meeting or exceeding the requirements of Article 6.000, which shall include all areas occupied by Bicycle Parking Spaces and access routes intended exclusively for use by bicycles, which shall be clearly indicated in the bicycle parking plan requirements set forth in Section 6.52, whether located in a principal use structure, any parking facility for motor vehicles, or in an accessory structure;
- (11)Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
- (12)Interior air spaces within Double-Skin Façades and additional exterior wall thickness to accommodate insulation, in accordance with the regulations in Section 22.40 of this Zoning Ordinance; and
- (13)Space directly beneath overhangs, awes, awnings, canopies, eaves, trellises or other sun-shading devices, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
- (14)Public Bicycle-Sharing Stations;
- (15)Any basement or cellar living space in any single-family or two-family home;
- (16)Any basement or cellar living space in any other type of structure with the issuance of a special permit. In granting such a special permit, the permit granting authority may approve the exemption of any portion of Gross Floor Area (GFA) located in a basement or cellar from the calculation of GFA, provided the permit granting authority finds that the uses occurring such exempted GFA support the character of the neighborhood or district in which the applicable lot is located.

EXISTING FAR	
NAME	AREA
BASEMENT	2,226 SF
1ST FLOOR	2,857 SF
2ND FLOOR	2,749 SF
ATTIC	154 SF
TOTAL:	7,986 SF

GROSS BUILDING - EXISTING	
NAME	AREA
BASEMENT	2,226 SF
1ST FLOOR	2,857 SF
2ND FLOOR	2,749 SF
ATTIC	2,184 SF
TOTAL:	10,016 SF

GROSS BUILDING - PROPOSED	
Level	Area

0 BASEMENT	1562 SF
1ST FLOOR	3254 SF
2ND FLOOR	3195 SF
3RD FLOOR	1775 SF
	9786 SF

UNIT AREAS		
NAME	TYPE	AREA
COMMERCIAL		952 SF
COMMERCIAL BASEMENT		1348 SF
UNIT 101	2 BED 2 BATH	935 SF
UNIT 102	2 BED 2 BATH	1007 SF
UNIT 201	2 BED 1 BATH	780 SF
UNIT 202	1 BED 1 BATH	681 SF
UNIT 203	1 BED 1 BATH	671 SF
UNIT 204	2 BED 1 BATH	763 SF
UNIT 301	2 BED 1 BATH	808 SF
UNIT 302	2 BED 1 BATH	820 SF
		8765 SF

**PROJECT NAME**

**2161 MASS AVE  
RESIDENCES**

**PROJECT ADDRESS**

**2161 MASS AVE  
CAMBRIDGE, MA**

**CLIENT**

**NELSON OLIVEIRA**

**ARCHITECT**



**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8862

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**NOT FOR  
CONSTRUCTION**

Project number	20089
Date	3/27/2023
Drawn by	NB
Checked by	TMC
Scale	1/4" = 1'-0"

**REVISIONS**

No.	Description	Date

**ZONING  
ANALYSIS**

**A-019**

2161 MASS AVE RESIDENCES

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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Project number 20089 Date 3/27/2023 Drawn by NB Checked by TMC Scale As indicated

REVISIONS

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ARCHITECTURAL SITE PLAN

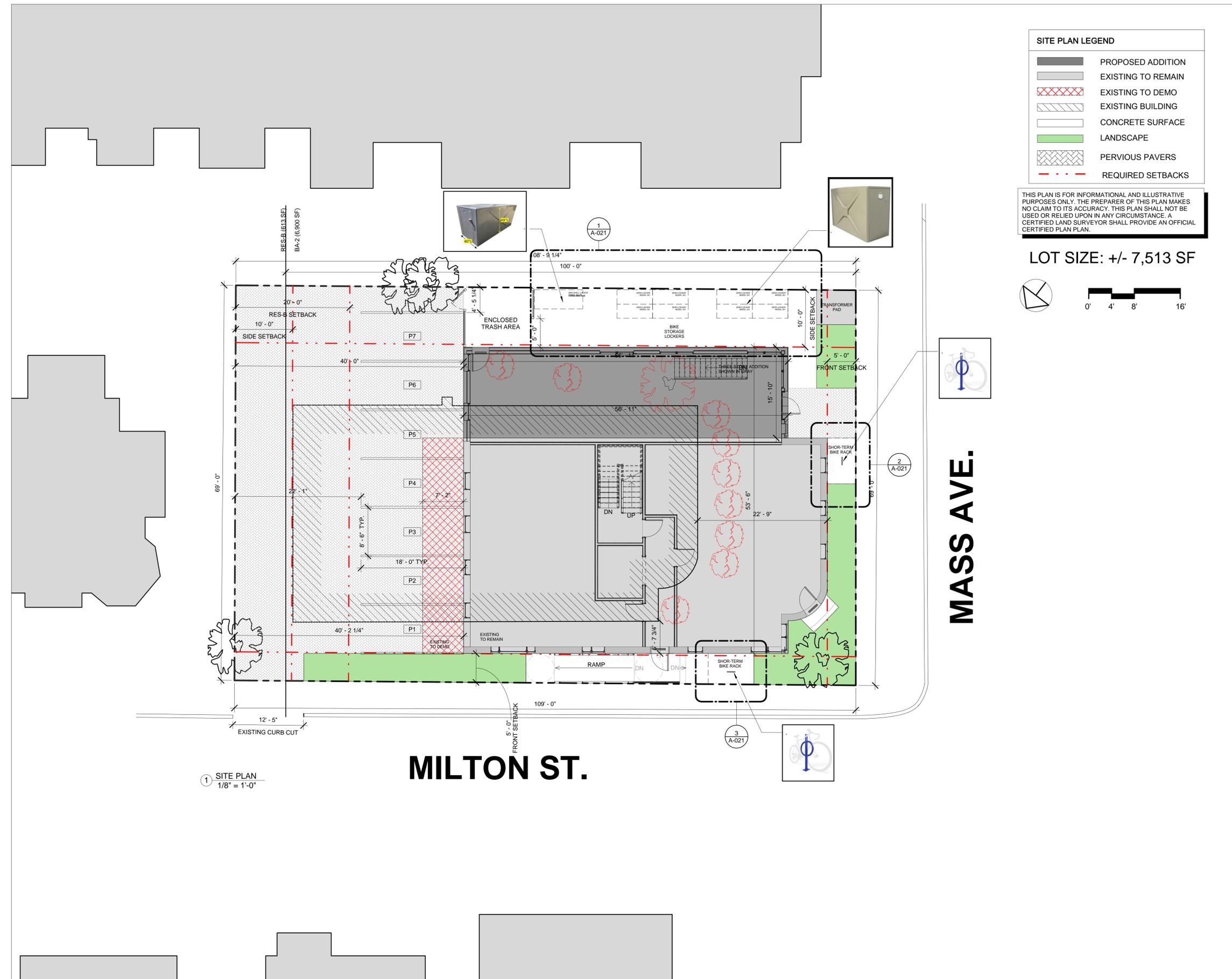
A-020

2161 MASS AVE RESIDENCES

SITE PLAN LEGEND: PROPOSED ADDITION (dark grey), EXISTING TO REMAIN (light grey), EXISTING TO DEMO (red cross-hatch), EXISTING BUILDING (diagonal lines), CONCRETE SURFACE (white), LANDSCAPE (green), PERVIOUS PAVERS (cross-hatch), REQUIRED SETBACKS (dashed red line).

THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLAN PLAN.

LOT SIZE: +/- 7,513 SF

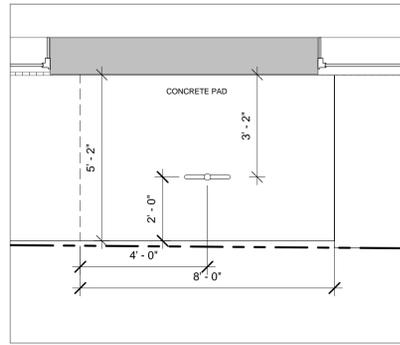


1 SITE PLAN 1/8" = 1'-0"

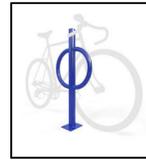
MILTON ST.

MASS AVE.

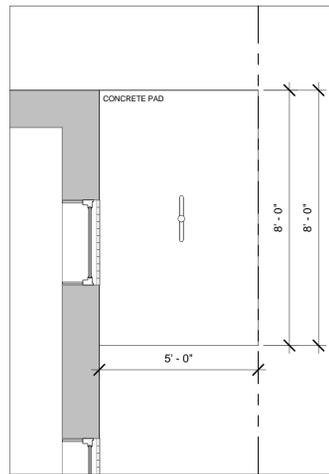
\\Tkg-server\Drawings\20\20089\_Nelson\_2161 Mass Ave Cambridge\03 Drawings\00\_ARCH\_SD\_DD\20089\_Nelson\_2161 Mass Ave\_ZBA\_Sch.rvt 3/27/2023 11:27:48 AM



③ SHORT TERM BIKE PARKING MILTON ST.  
3/8" = 1'-0"



SHORT TERM BIKE PARKING HITCH



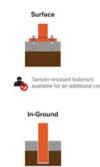
② SHORT TERM BIKE PARKING MASS AVE.  
3/8" = 1'-0"



**Bike Hitch™**  
The Bike Hitch uses thick tube construction and a full radius bend for the ring, making it extremely difficult to cut with a pipe cutter. This unique design has three options: a semi-adjustable, one-dimensional, and a two-dimensional design.



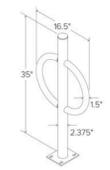
**MOUNT OPTIONS**



**FINISH OPTIONS**



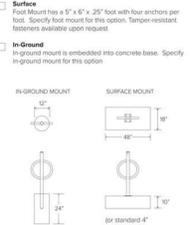
**DERO Bike Hitch™ Submittal Sheet**



**CAPACITY:** 2 Bikes  
**MATERIALS:** Centerbeam: 2" schedule 40 pipe (2.375" OD) Ring: 1.5" OD 11 gauge tube

**FINISHES:**  
 **Galvanized:** An after fabrication hot dipped galvanized finish is our standard option.  
 **Powder Coat:** Our powder coat finish assures a high level of adhesion and durability by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final finish: TG-1 polyester powder coat.  
 **Stainless:** Stainless Steel: 304 grade stainless steel material finished in either a high gloss or satin finish.

**MOUNT OPTIONS:**  
 **Surface:** Foot Mount has a 5" x 8" x 2 1/2" foot with four anchors per foot. Specify foot mount for this option. Tamper-resistant footers available upon request.  
 **In-Ground:** In-ground mount is embedded into concrete base. Specify in-ground mount for this option.



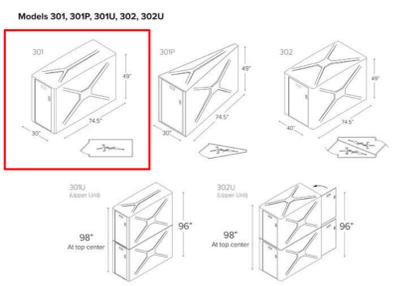
**STANDARD SIZE**



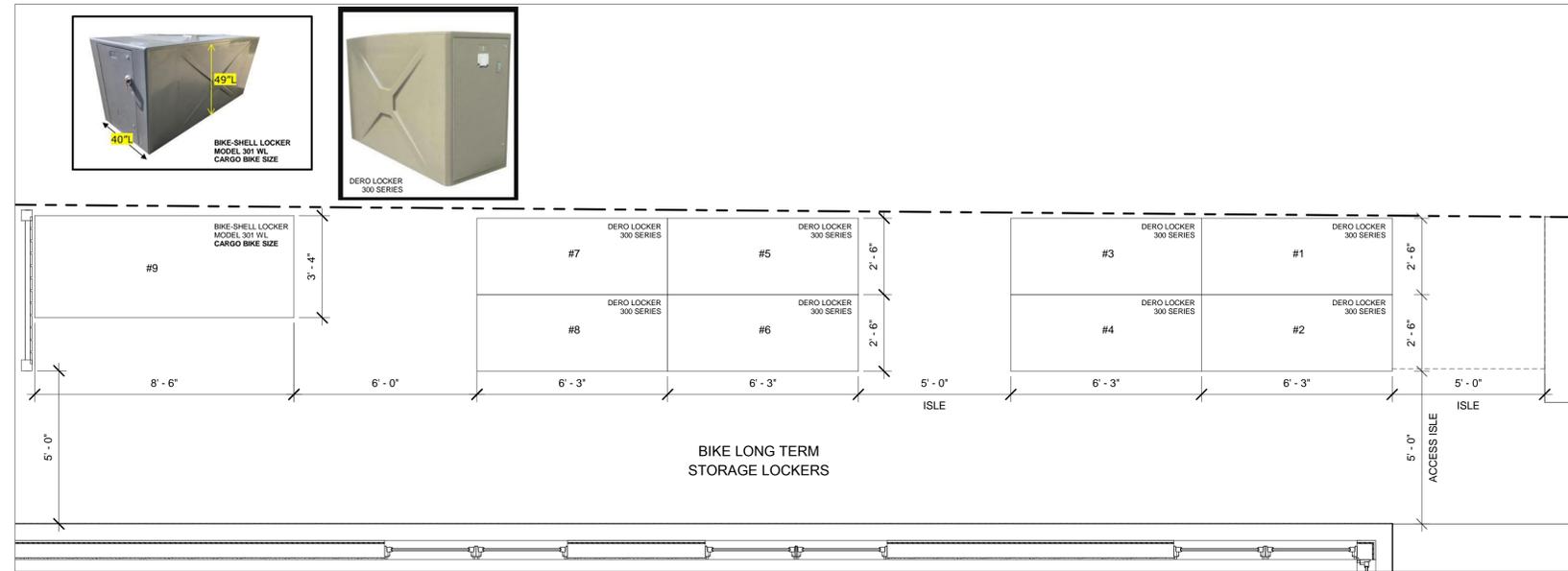
**300 Series Bike Locker**

Bike lockers provide protection from less savory elements, whether environmental or human. Mount options include storage for one or two bikes, stacked models, and rectangular or wedge shaped. The 300 model comes complete, no assembly required.

**DERO 300 Series Bike Locker Specifications**



**Structure and Finish:**  
• 1 door, 1 bike capacity  
• One piece molded fiberglass plastic composite, UV and graffiti resistant  
• Comes in choice of two colors - medium grey or tan  
• Comes standard with choice of T-handle lock with three keys or padlock/lock handle system. Available in 1/2 bike capacity  
• Rectangular or pre-tilted  
• Stackable option available for 301 and 302  
• All lockers are shipped assembled and can stand alone or be grouped.  
• No common walls - Lockers are easily relocated.  
• Fiberglass reinforced plastic is highly resistant to impact and stains and will not corrode.  
• High security with standard key locks recessed in door face and internal locking bar mechanism.



① LONG TERM BIKE PARKING  
3/8" = 1'-0"

**CARGO SIZE**

**Bike-Shell™ Model 301WL**  
NEW design, one piece FRP Composite bike locker  
NO ASSEMBLY required

\*Ride a recumbent or need more room for storage than our model 301WL locker, then our model 301WL is the answer, at 40" wide and 102" long it is the biggest bike locker available!

Specify the 300 Series lockers for the highest customer satisfaction from the no-assembly, ready-to-use delivery through years of trouble free operation.

Architects, designers and government agencies specify the 300 Series due to its high quality manufacturing which means virtually no installation costs!

•The 300 Series is the first one piece locker available that is not molded of soft and flammable HDPE plastic material.

•The construction of fiberglass reinforced plastic is highly resistant to impact, stains and will not corrode.

•Designed after our very popular 350 Series lockers and available in 6 styles providing flexibility for site locations.

All lockers are shipped assembled and can be stand alone or grouped - NO COMMON WALLS. Lockers easily relocated.

**American Bicycle Security Company**  
P.O. Box 7559  
Ventura, CA 93006  
Ph: (805) 245-3723 or (805) 933-3688  
Fax: (805) 933-3865  
www.amerbike.com  
Email: turtle@amerbike.com

**Bike-Shell™ Model 301WL**

**Product:** Bike-Shell™ Model 301WL  
**Capacity:** 1 door/1 Recumbent Bike  
**Material:** Locker shall be manufactured of molded fiberglass reinforced plastic composite with a smooth "X" pattern on exterior walls and top, with smooth door frame and stippled door. Material shall be E-glass and polyester resin at 25% ratio.

**Tensile Strength:** 18,000 psi. Locker shall be one piece with no internal or external joints. Finish of UV stabilized gelcoat does not need painting, allows solvent removal of graffiti and is resistant to impact and/or abuse.

**NO ON SITE ASSEMBLY SHALL BE REQUIRED.**  
Roof shall be crowned for water run-off and all corners shall have a smooth radius finish. Finish of UV stabilized gelcoat does not need painting, allows solvent removal of graffiti and is resistant to impact and/or abuse.

**Setback:** Please allow 18" clearance for door.  
**Hardware:** High quality custom continuous door hinge will not rust. All fasteners on locking system shall be zinc plated or better. Locker shall anchor in all four corners through base flanges using expansion anchors. See last page for anchoring details.

**Locks:**  
• 2 Standard Lock Options (No charge)  
• #1: Lock 2 pin handle key lock. T-handle locks with three keys and removable lock cylinders. Internal locking hardware consists of three stacked hardened steel cams controlling an extruded aluminum locking bar which engages the door frame over three foot span.  
• #2: Heavy duty stainless steel Padlock/U-Lock handle will accommodate high security Padlocks and U-Locks. For U-Locks from 1 1/2" to 2" Diameter. Padlocks and U-Locks not included.

**Colors:**  
• 2 Standard Color Options (No charge)  
• Tan  
• Medium Grey  
Please call for custom color, or color match information.

**American Bicycle Security Company**  
P.O. Box 7559  
Ventura, CA 93006  
Ph: (805) 245-3723 or (805) 933-3688  
Fax: (805) 933-3865  
www.amerbike.com  
Email: turtle@amerbike.com

**PROJECT NAME**  
2161 MASS AVE RESIDENCES

**PROJECT ADDRESS**  
2161 MASS AVE CAMBRIDGE, MA

**CLIENT**  
NELSON OLIVEIRA

**ARCHITECT**  
DESIGN  
KHALSA

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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Drawn by	Author
Checked by	TMC
Scale	As indicated

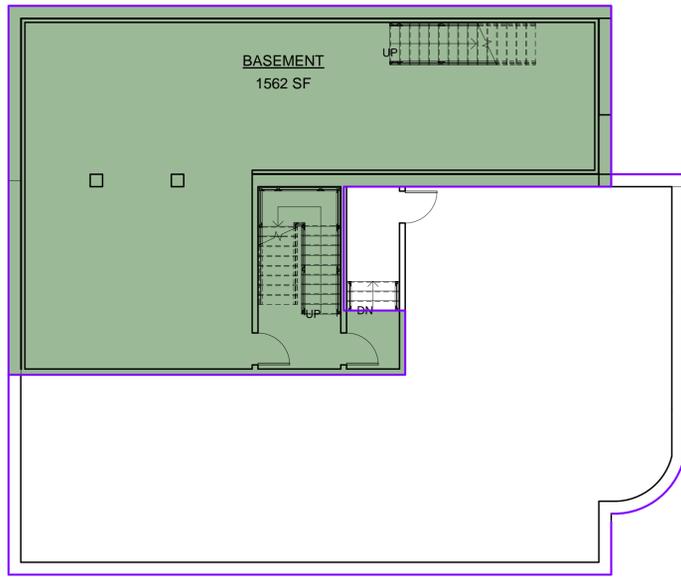
**REVISIONS**

No.	Description	Date

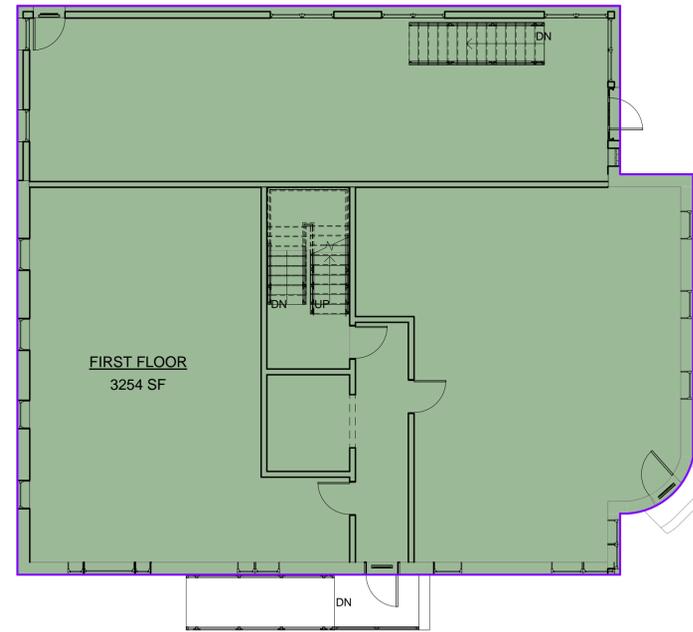
**BIKE PARKING PLANS**

**A-021**

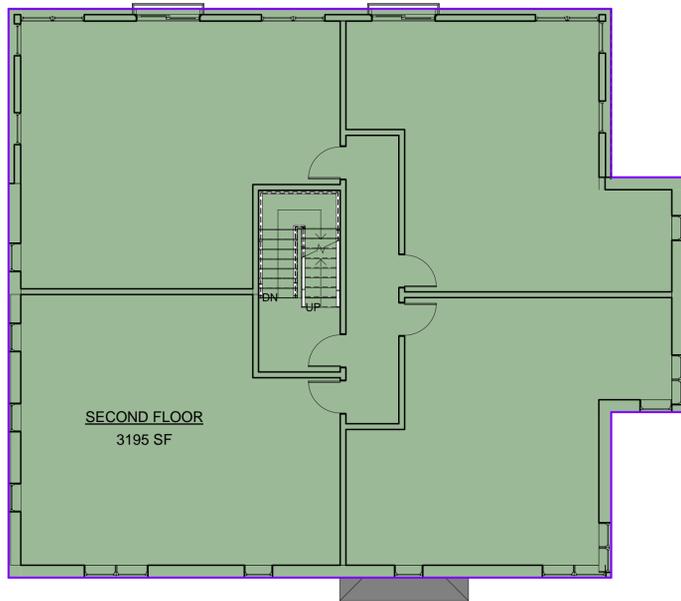
2161 MASS AVE RESIDENCES



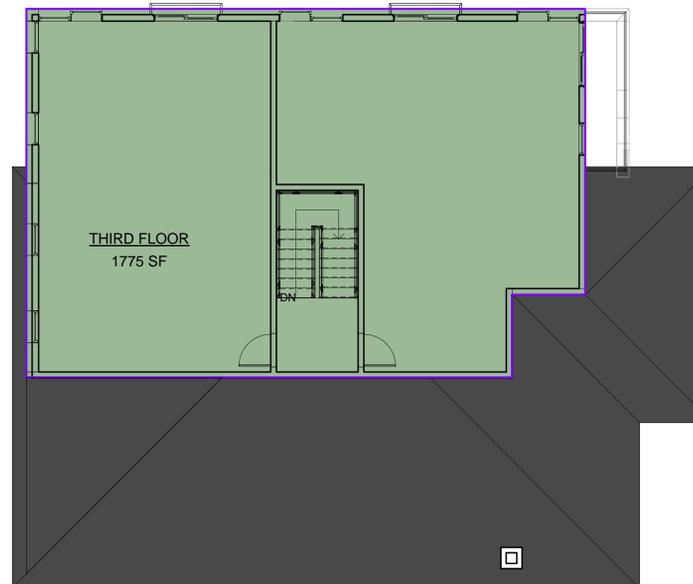
① 0 BASEMENT  
1/8" = 1'-0"



② 1ST FLOOR  
1/8" = 1'-0"



③ 2ND FLOOR  
1/8" = 1'-0"



④ 3RD FLOOR  
1/8" = 1'-0"

GROSS BUILDING - PROPOSED	
Level	Area
0 BASEMENT	1562 SF
1ST FLOOR	3254 SF
2ND FLOOR	3195 SF
3RD FLOOR	1775 SF
	9786 SF

PROJECT NAME

**2161 MASS AVE  
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE  
CAMBRIDGE, MA

CLIENT

**NELSON OLIVEIRA**

ARCHITECT



**KHALSA**

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Checked by	TMC
Scale	1/8" = 1'-0"

REVISIONS

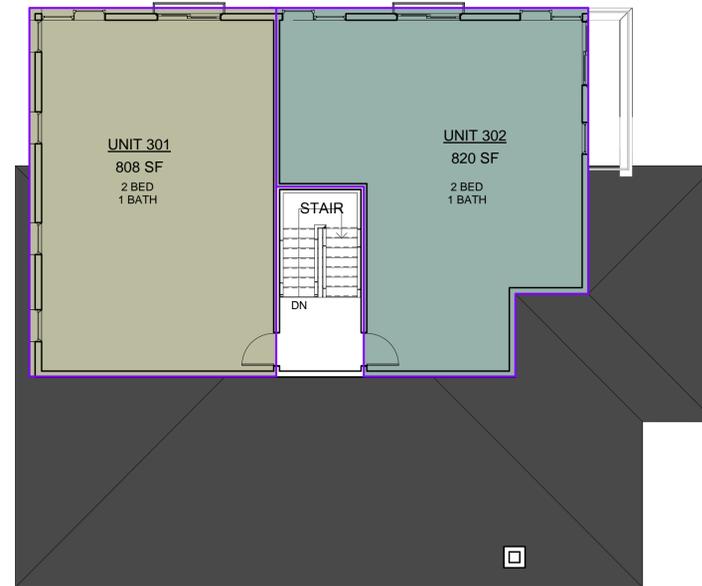
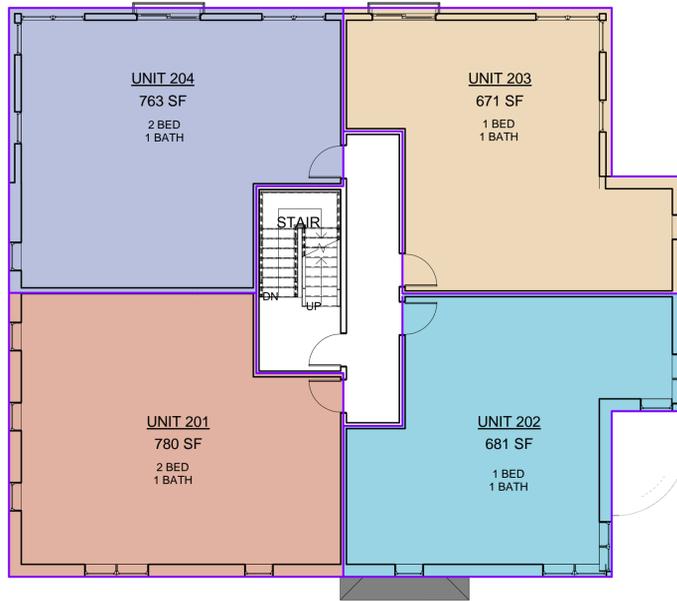
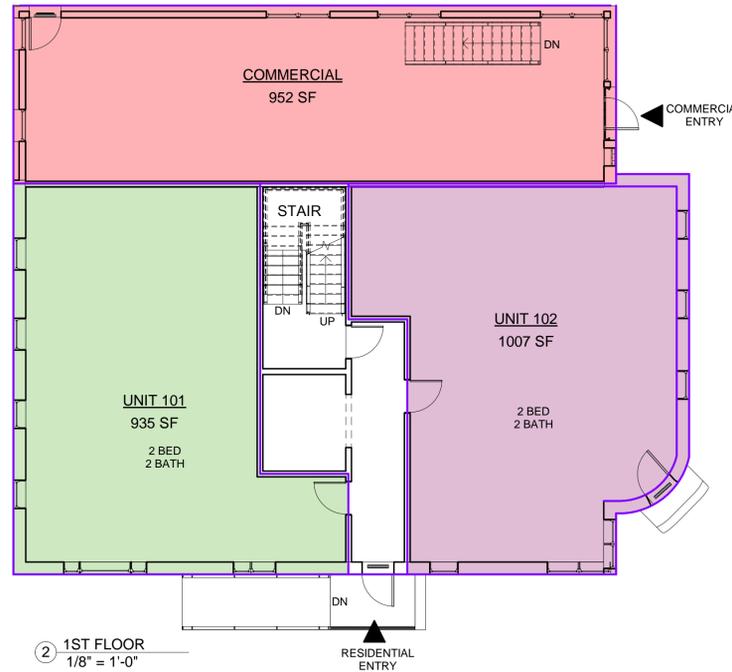
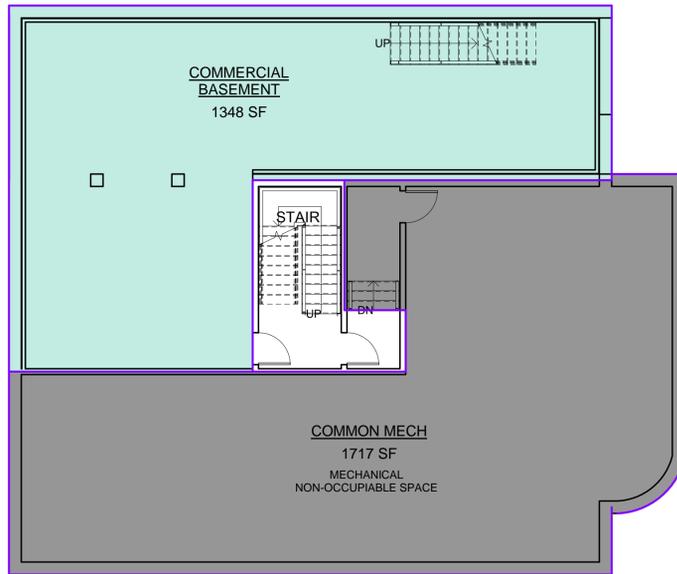
No.	Description	Date

**GROSS AREA  
PLANS**

**A-022**

2161 MASS AVE RESIDENCES





UNIT AREAS		
NAME	TYPE	AREA
COMMERCIAL		952 SF
COMMERCIAL BASEMENT		1348 SF
UNIT 101	2 BED 2 BATH	935 SF
UNIT 102	2 BED 2 BATH	1007 SF
UNIT 201	2 BED 1 BATH	780 SF
UNIT 202	1 BED 1 BATH	681 SF
UNIT 203	1 BED 1 BATH	671 SF
UNIT 204	2 BED 1 BATH	763 SF
UNIT 301	2 BED 1 BATH	808 SF
UNIT 302	2 BED 1 BATH	820 SF
		8765 SF



**PROJECT NAME**  
2161 MASS AVE RESIDENCES

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2161 MASS AVE  
CAMBRIDGE, MA

**CLIENT**  
NELSON OLIVEIRA

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DESIGN  
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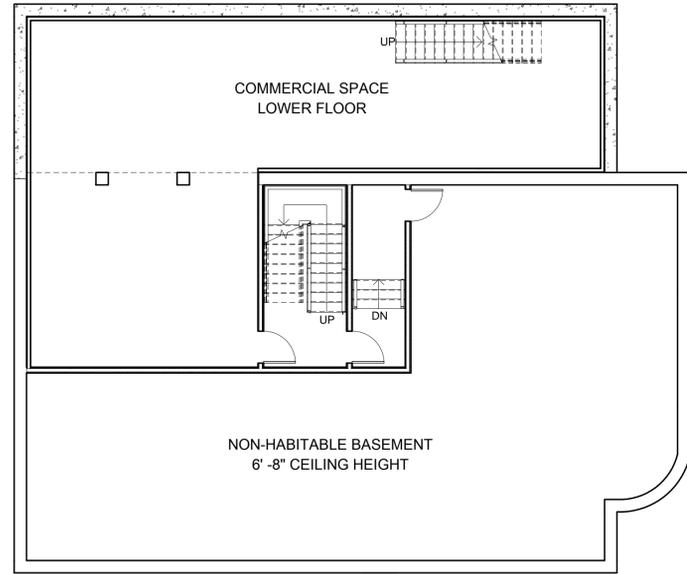
**REVISIONS**

No.	Description	Date

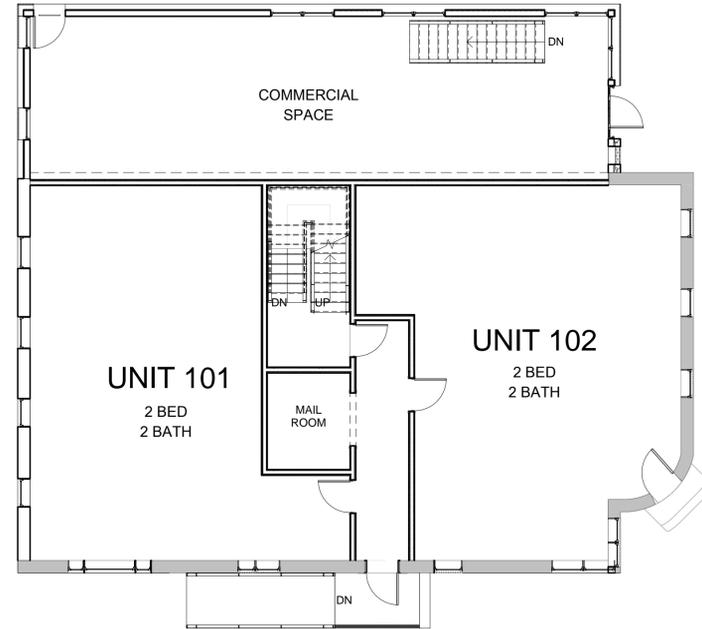
**UNIT AREAS**

**A-023**

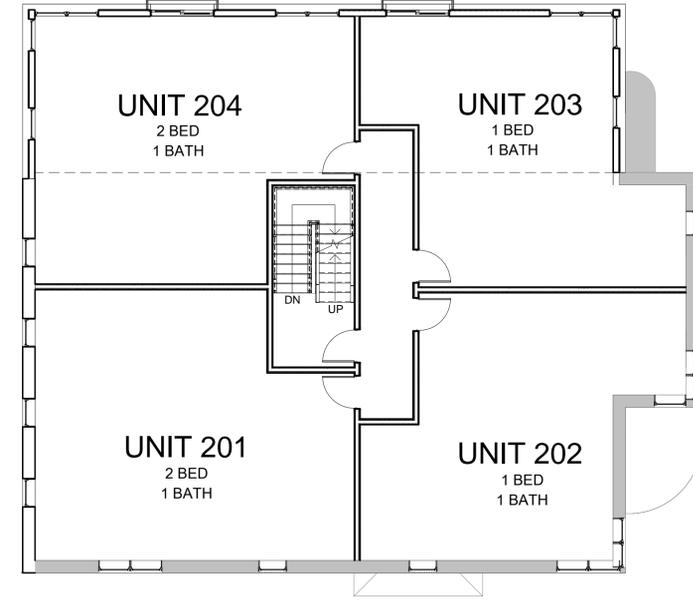
2161 MASS AVE RESIDENCES



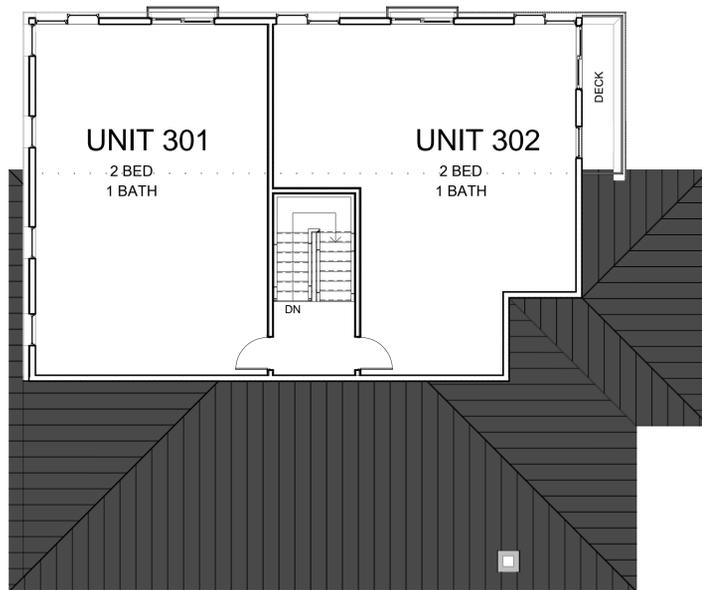
① 0 BASEMENT  
1/8" = 1'-0"



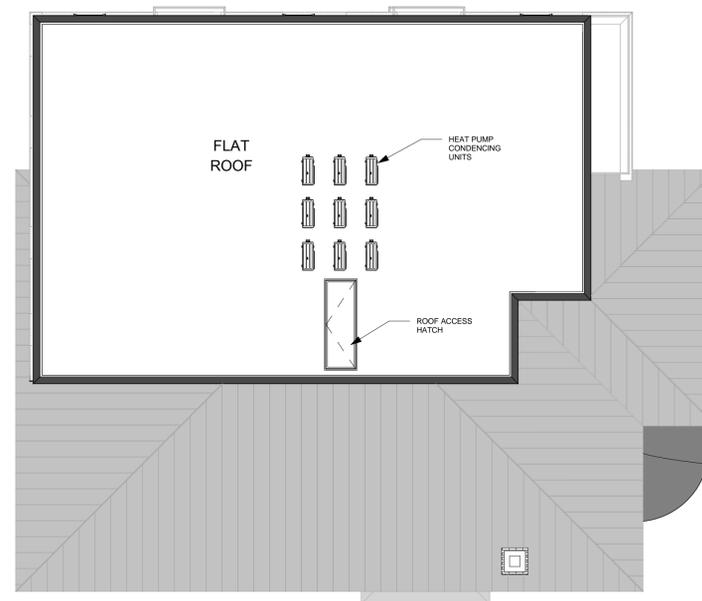
② 1ST FLOOR  
1/8" = 1'-0"



③ 2ND FLOOR  
1/8" = 1'-0"



④ 3RD FLOOR  
1/8" = 1'-0"



⑤ ROOF PLAN  
1/8" = 1'-0"



UNIT AREAS		
NAME	TYPE	AREA
COMMERCIAL		952 SF
COMMERCIAL BASEMENT		1348 SF
UNIT 101	2 BED 2 BATH	935 SF
UNIT 102	2 BED 2 BATH	1007 SF
UNIT 201	2 BED 1 BATH	780 SF
UNIT 202	1 BED 1 BATH	681 SF
UNIT 203	1 BED 1 BATH	671 SF
UNIT 204	2 BED 1 BATH	763 SF
UNIT 301	2 BED 1 BATH	808 SF
UNIT 302	2 BED 1 BATH	820 SF
		8765 SF

PROJECT NAME

**2161 MASS AVE RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE  
CAMBRIDGE, MA

CLIENT

**NELSON OLIVEIRA**

ARCHITECT



17 IVALOO STREET SUITE 400  
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TELEPHONE: 617-591-8682

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Date 3/27/2023  
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Checked by TMC  
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

FLOOR PLANS

**A-100**

2161 MASS AVE RESIDENCES

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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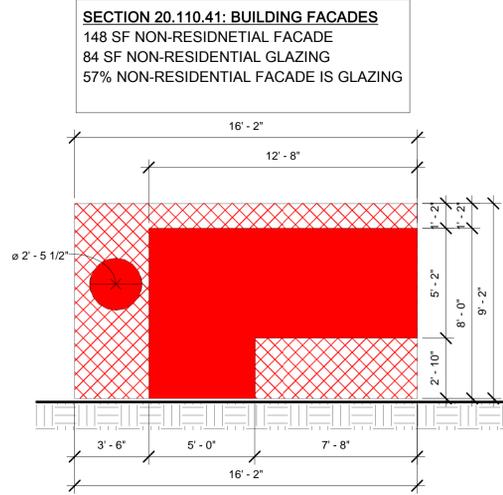
EAST & SOUTH ELEVATIONS

A-300

2161 MASS AVE RESIDENCES

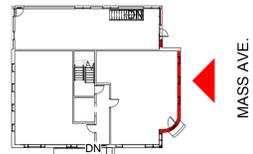


1 SOUTH WEST ELEVATION 1/4" = 1'-0"

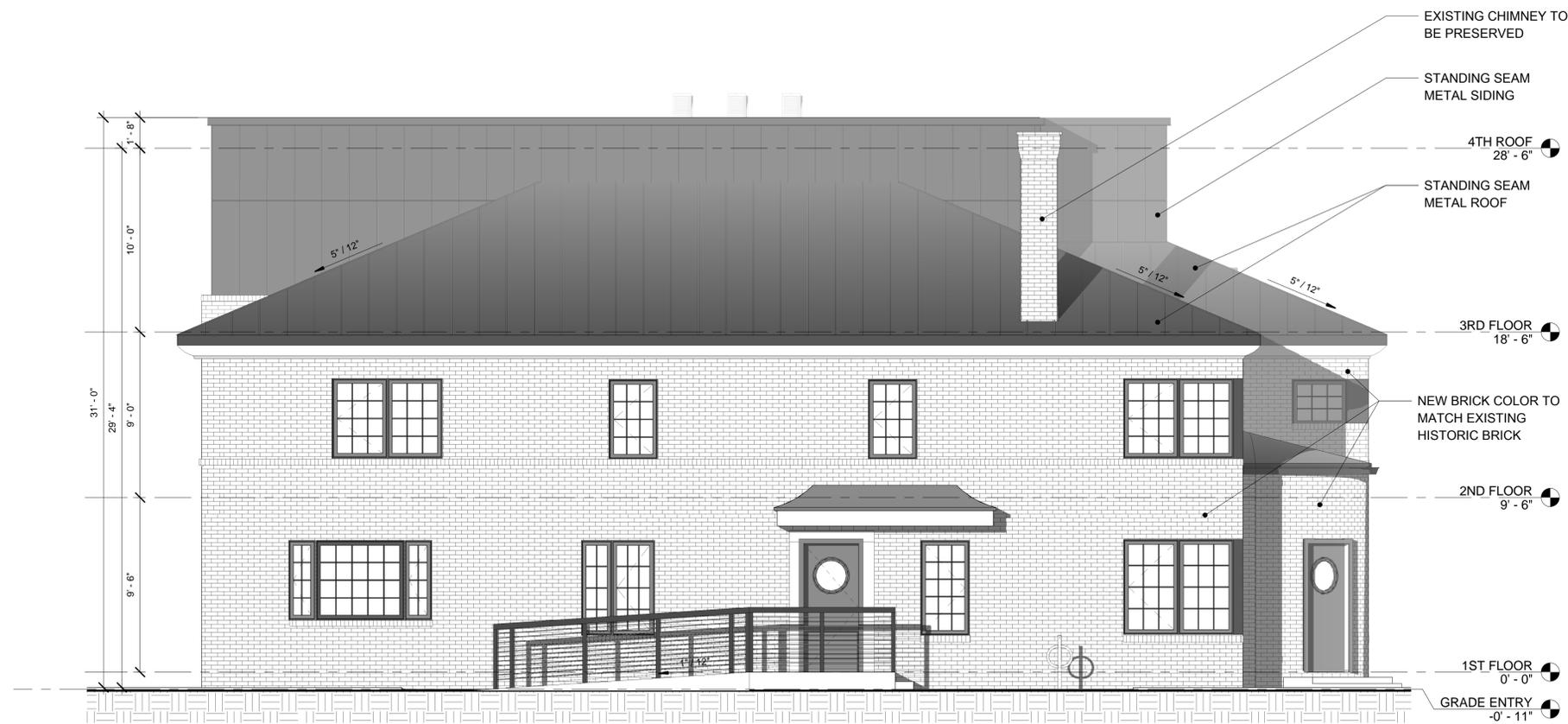


SECTION 20.110.41: BUILDING FACADES 148 SF NON-RESIDENTIAL FACADE 84 SF NON-RESIDENTIAL GLAZING 57% NON-RESIDENTIAL FACADE IS GLAZING

KEY

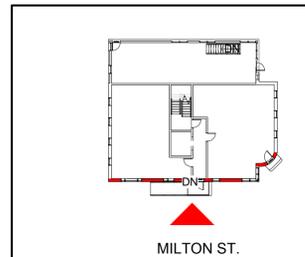


MILTON ST.



2 NORTH WEST ELEVATION 1/4" = 1'-0"

KEY



MILTON ST.

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

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REVISIONS

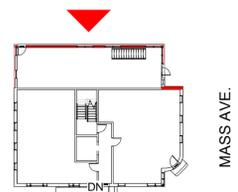
No.	Description	Date

NORTH & WEST ELEVATIONS

A-301

2161 MASS AVE RESIDENCES

KEY

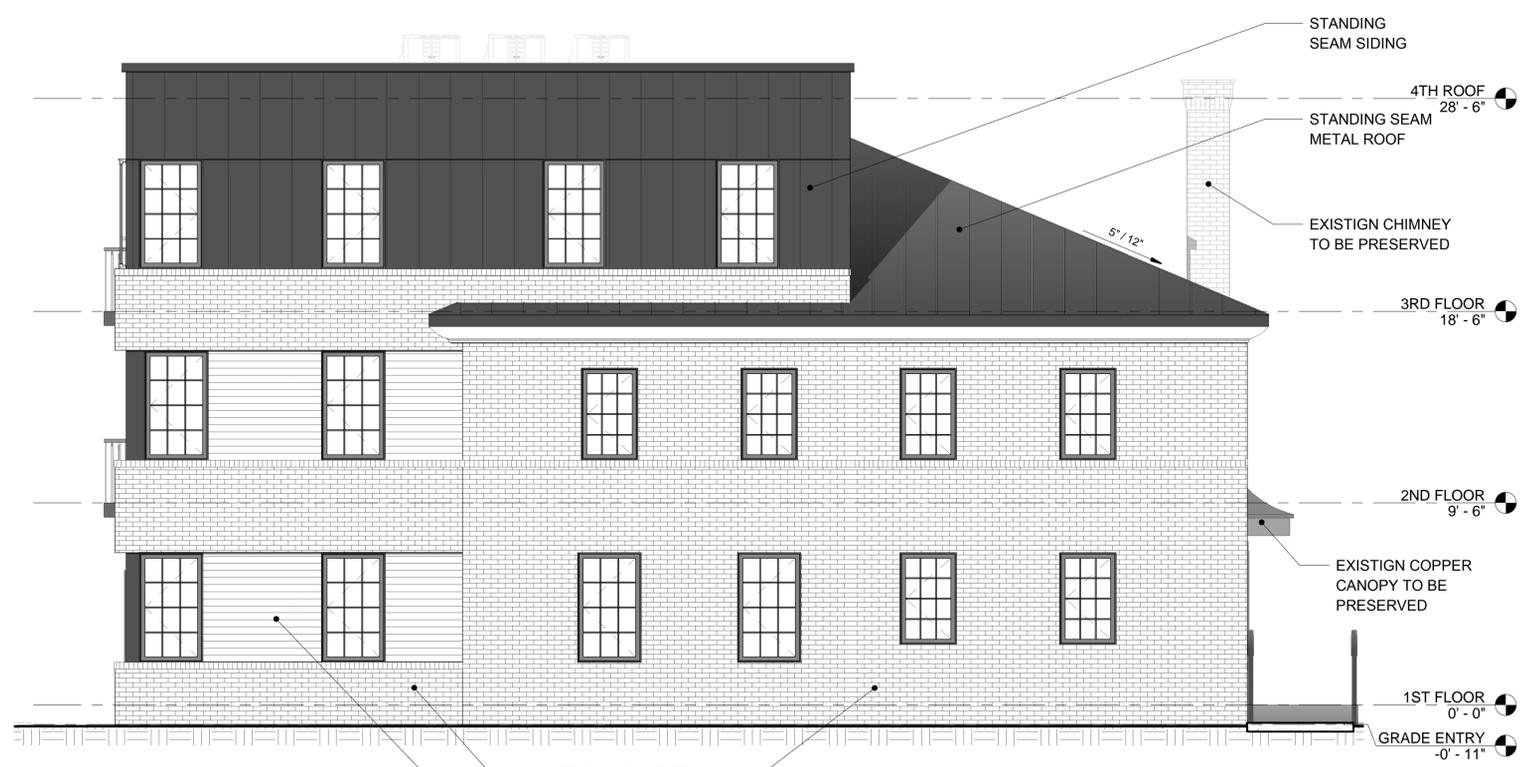


MASS AVE.

MILTON ST.

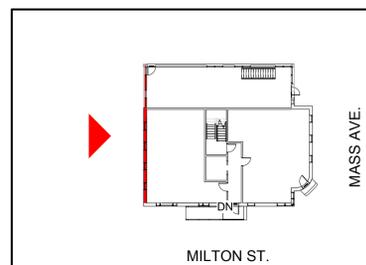


1 SOUTH EAST ELEVATION  
1/4" = 1'-0"



2 NORTH EAST ELEVATION  
1/4" = 1'-0"

KEY



MASS AVE.

MILTON ST.

\\Tkg-server\Drawings\2020\089\_Nelson\_2161 Mass Ave Cambridge\03 Drawings\00\_ARCH\_SD\_DD\20089\_Nelson\_2161 Mass Ave\_ZBA\_Sch.rvt  
3/27/2023 11:28:30 AM

PROJECT NAME

**2161 MASS AVE  
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE  
CAMBRIDGE, MA

CLIENT

**NELSON OLIVEIRA**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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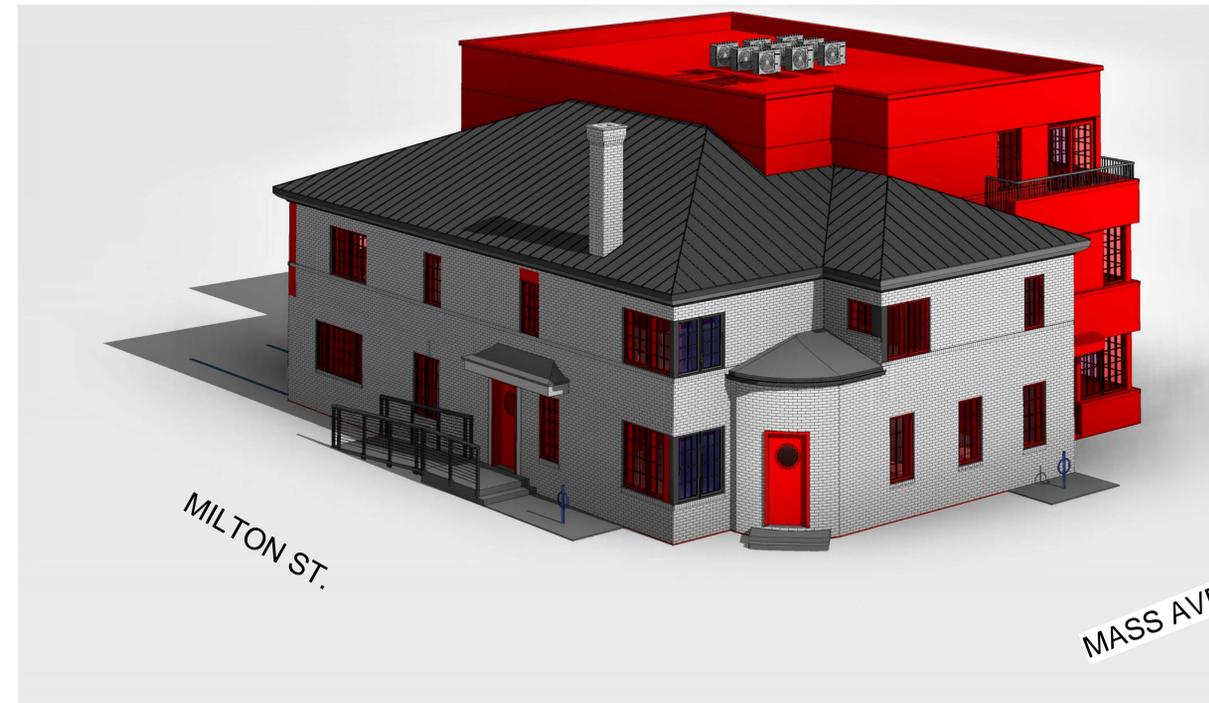
Project number	20089
Date	3/27/2023
Drawn by	Author
Checked by	TMC
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

LEGEND

BUILDING ADDITION OR  
REPLACED BUILDING ELEMENTS



5 Birds Eye



1 Mass Ave & Milton St. View

PERSPECTIVES

**AV-1**

2161 MASS AVE RESIDENCES



**PROJECT NAME**

**2161 MASS AVE  
RESIDENCES**

**PROJECT ADDRESS**

2161 MASS AVE  
CAMBRIDGE, MA

**CLIENT**

**NELSON OLIVEIRA**

**ARCHITECT**



**KHALSA**

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Project number 20089  
Date 3/27/2023  
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Checked by TMC  
Scale

**REVISIONS**

No.	Description	Date

**MILTON & MASS  
AVE CORNER  
RENDERING**

**AV-2**

2161 MASS AVE RESIDENCES



**PROJECT NAME**

**2161 MASS AVE  
RESIDENCES**

**PROJECT ADDRESS**

2161 MASS AVE  
CAMBRIDGE, MA

**CLIENT**

**NELSON OLIVEIRA**

**ARCHITECT**



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Date 3/27/2023  
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Checked by TMC  
Scale

**REVISIONS**

No.	Description	Date

**MASS AVE.  
RENDERING**

**AV-3**

2161 MASS AVE RESIDENCES



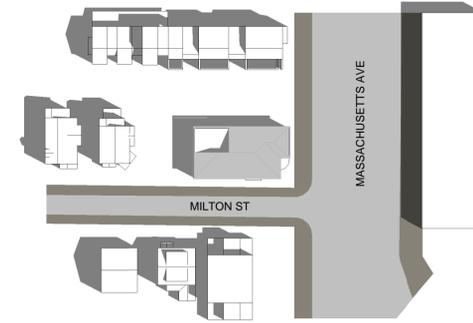
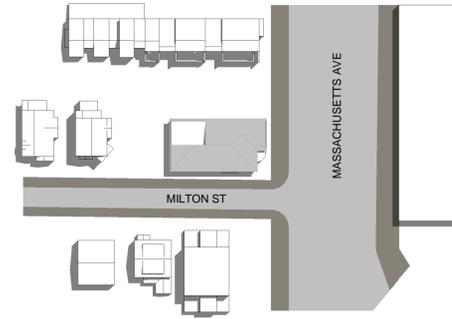
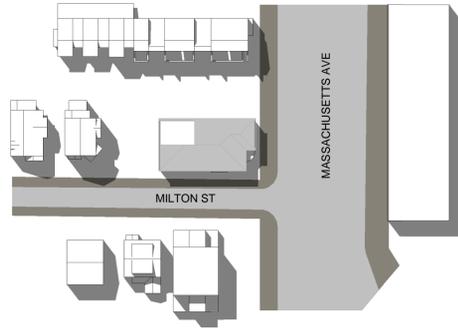
SUMMER SOLSTICE

MORNING (9 AM - 10 AM)

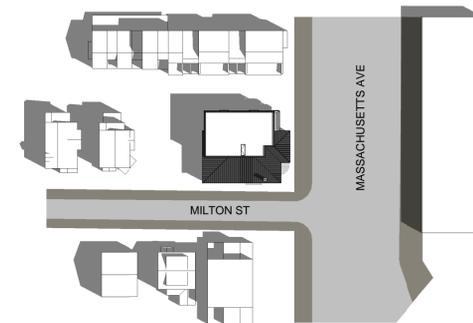
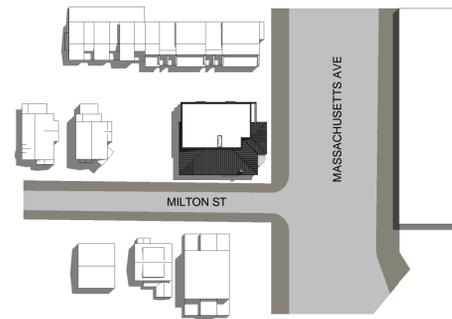
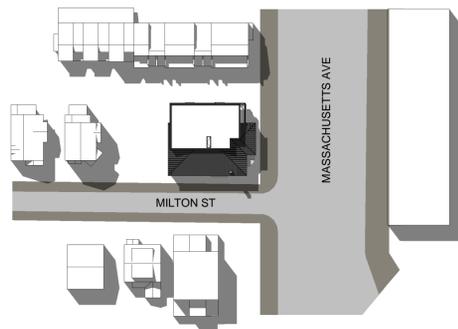
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

EXISTING CONDITION



PROPOSED CONDITION



PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

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REVISIONS

Table with 3 columns: No., Description, Date. The table is currently empty.

SHADOW STUDY

AV-4

2161 MASS AVE RESIDENCES



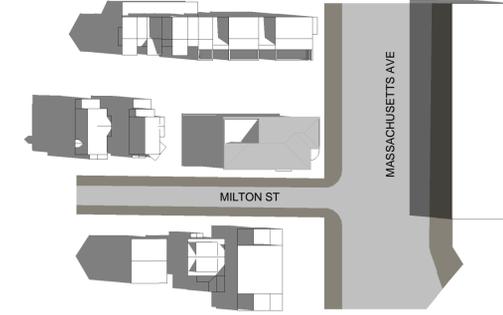
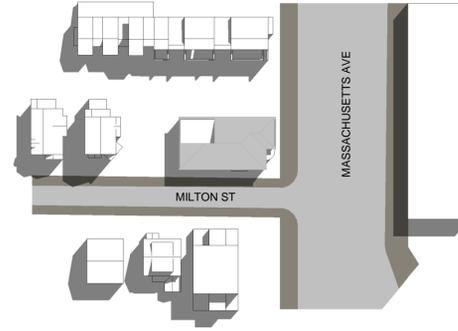
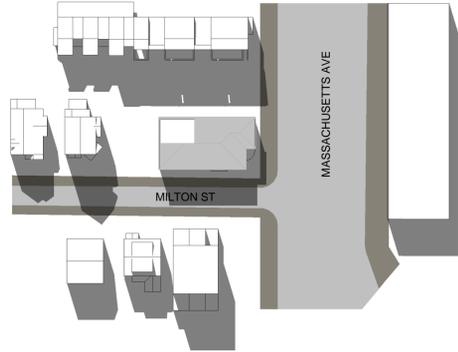
SPRING / FALL EQUINOX

MORNING (9 AM - 10 AM)

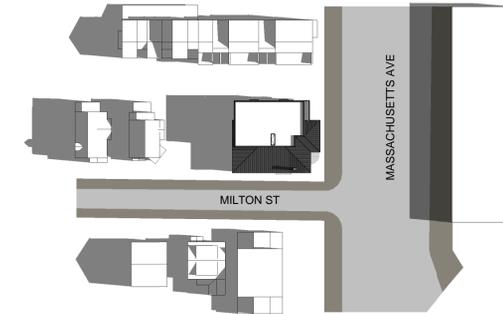
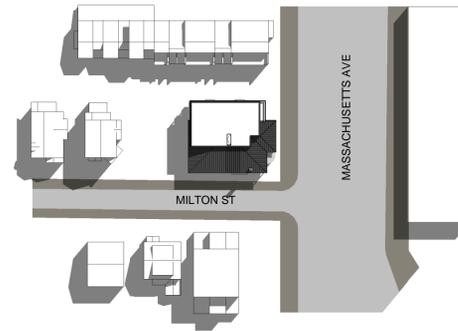
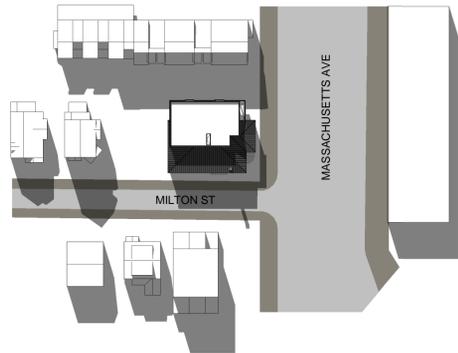
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

EXISTING CONDITION



PROPOSED CONDITION



PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

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REVISIONS

No.	Description	Date

SHADOW STUDY

AV-5

2161 MASS AVE RESIDENCES



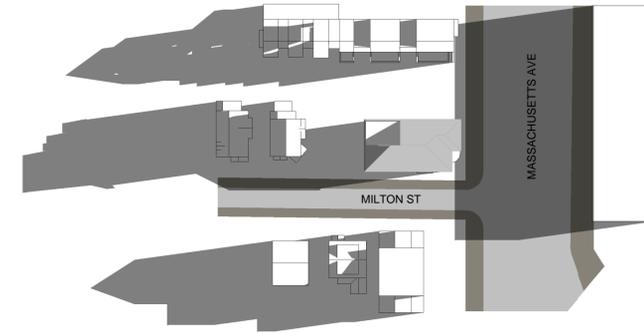
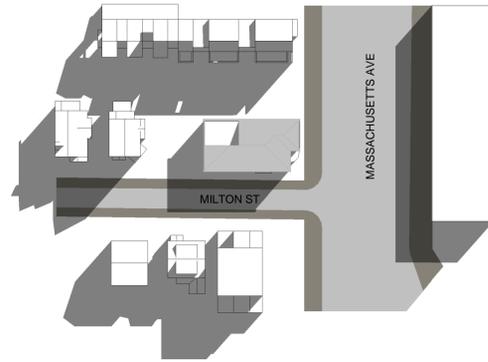
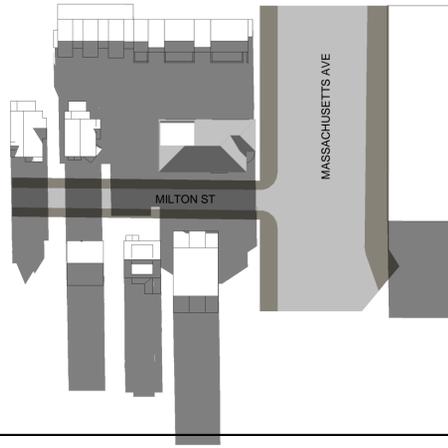
WINTER SOLSTICE

MORNING (9 AM - 10 AM)

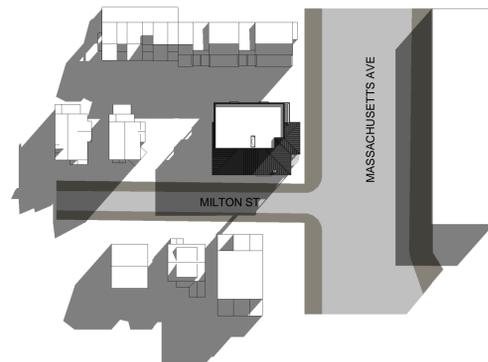
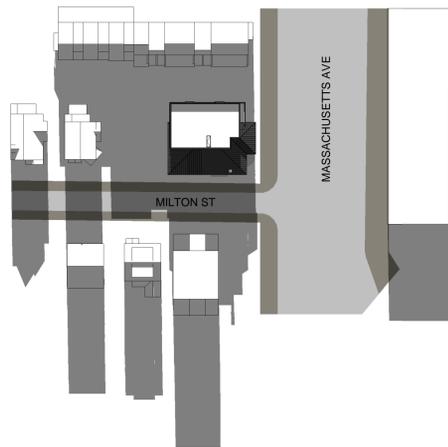
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

EXISTING CONDITION



PROPOSED CONDITION



PROJECT NAME

2161 MASS AVE  
RESIDENCES

PROJECT ADDRESS

2161 MASS AVE  
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



KHALSA

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REVISIONS

No.	Description	Date

SHADOW STUDY

AV-6

2161 MASS AVE RESIDENCES

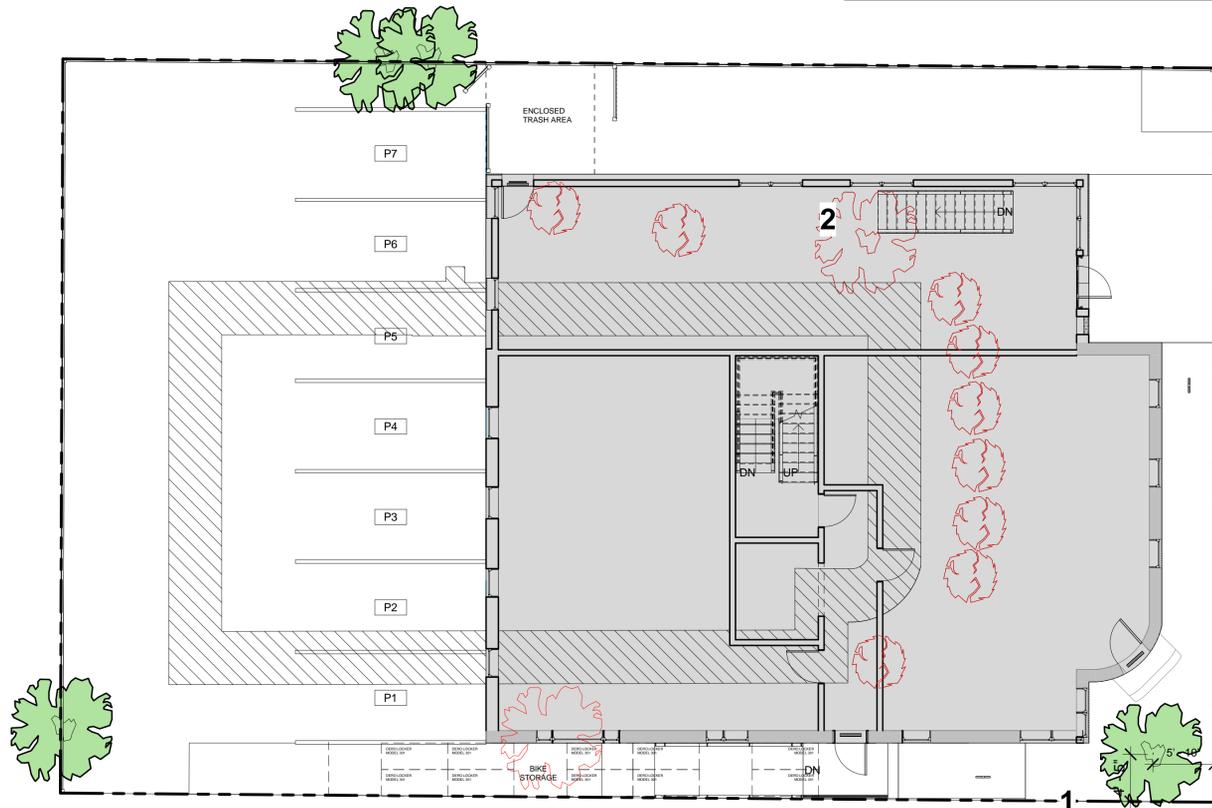


LOT SIZE:  
+/- 7,513 SF

- 1. MAGNOLIA TREE
- 2. EASTERN RED CEDAR

LEGEND

-  TREE TO REMAIN
-  TREE TO DEMO
-  BUILDING FOOTPRINT



MILTON ST.



MASS AVE.



PROJECT NAME

2161 MASS AVE  
RESIDENCES

PROJECT ADDRESS

2161 MASS AVE  
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



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REVISIONS

No.	Description	Date

SITE TREES

**AV-7**

2161 MASS AVE RESIDENCES



MASS AVE. & MILTON ST. CORNER VIEW



MASS AVE. CORNER VIEW



MASS AVE. ENTRY



MILTON STREET VIEW

PROJECT NAME

**2161 MASS AVE  
RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE  
CAMBRIDGE, MA

CLIENT

**NELSON OLIVEIRA**

ARCHITECT



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Project number 20089  
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Scale

REVISIONS

No.	Description	Date

**EXISTING  
CONDITIONS/  
CURRENT**

**AV-8**

2161 MASS AVE RESIDENCES