

<p>NOTE: NOT ALL ITEMS PERTAIN TO THIS CONTRACT.</p> <p>AFF ABOVE FINISHED FLOOR ACT ACOUSTICAL CEILING TILE A/C AIR CONDITIONING ALT ALTERNATE AL ALUMINUM AB ANCHOR BOLT AND ANODIZED APPROX APPROXIMATE ARCH ARCHITECT or ARCHITECTURAL AUTO AUTOMATIC BD BOARD BF BARRIER FREE BIT BITUMINOUS BLDG BUILDING BLKG BLOCKING BO BY OTHERS BOT BOTTOM BRG BEARING CARP CARPET or CARPETED CIP CAST-IN-PLACE CI CHANNEL IRON CB CATCH BASIN CEIL'G CEILING CLG CEILING CT CERAMIC TILE CO CLEAN OUT CLO CLOSET COL COLUMN COMP COMPRESSIBLE CONC CONCRETE CMU CONCRETE MASONRY UNIT CONST CONSTRUCTION CONT CONTINUOUS CJ CONTROL JOINT CORR CORROSION DET DETAIL DPR DISPENSER DISP DISPOSAL DBL DOUBLE DIA DIAMETER DN DOWN DNG DRAWING DF DRINKING FOUNTAIN DS DOWNSPOUT EA EACH ELEC ELECTRIC or ELECTRICAL EL ELEVATION ELEV ELEVATOR EQ EQUAL EXH EXHAUST EXIST EXISTING EXP EXPANSION EJ EXPANSION JOINT EXP EXPOSED EXT EXTERIOR FAB FABRICATED FRP FIBERGLASS REINFORCED FIN FINISH or FINISHED FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER & CABINET FR FIRE RATING FXTR FIXTURE FL FLOOR or FLOORING FD FLOOR DRAIN FLUR FLUORESCENT FT FOOT FTC FOOTING GA GAGE, GAUGE CALV GALVANIZED GC GENERAL CONTRACTOR GL GLASS, GLAZING GB GLASSBORD (FIRE RETARD) GRB GRAB BAR GR GRADE GWB GYPSUM WALLBOARD HW HARDWARE HR HEATER HVAC HEATING/VENTILATING /AIR CONDITIONING HC HOLLOW CORE HM HOLLOW METAL HORIZ HORIZONTAL HW HOT WATER IN INCH ID INSIDE DIAMETER INSUL or INS INSULATE or INSULATION INV INVERT JAN JANITOR JT JOINT LAM LAMINATE or LAMINATED LAV LAVATORY LCC LEADCOATED COPPER</p>	<p>LG LONG MH MANHOLE MANUF MANUFACTURE or MANUFACTURER MARB MARBLE MAS MASONRY MO MATERIAL or MATERIALS M'L METAL MAX MAXIMUM MECH MECHANICAL MC MEDICINE CABINET MEZZ MEZZANINE MIN MINIMUM MISC MISCELLANEOUS MR MOISTURE RESISTANT MLDG MOLDING, MOULDING (N) NEW NA NOT APPLICABLE NIC NOT IN CONTRACT N/R NOT REQUIRED NTS NOT TO SCALE NO NUMBER OC ON CENTER OPNG OPENING OD OUTSIDE DIAMETER FIN/OR FINISHED OR PTD PART PARTN PARTITION P&M PATCH & MATCH PLAS PLASTER PLAM PLASTIC LAMINATE PL PLATE PLYWD PLYWOOD PVC POLYVINYL CHLORIDE PRE PRE-COLORED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PM PRESSED METAL PROP PROPOSED PTHW PRESSURE TREATED WOOD QT QUARRY TILE RAD RADIUS RNL RAINWATER LEADER REF REFERENCE REINF REINFORCE, REINFORCED, or REINFORCING REQ'D REQUIRED RESF RESIDENT FLOORING RA RETURN AIR RD ROOF DRAIN RM ROOM RO ROUGH OPENING SECT SECTION SEWER SEWER MANHOLE SM SHEET METAL SIM SIMILAR SC SOLID CORE SPEC SPECIFICATION or SPECIFICATIONS SQ SQUARE SS SOLID SURFACE SST STAINLESS STEEL STD STANDARD STO STORAGE STRUC STRUCTURAL STRBD STRAND BOARD SUSP SUSPENDED SAT SAT ST STONE STIT STONE TILE SUPP SUPPRESSION SYS SYSTEM TEL TELEPHONE TEMP TEMPORARY THK THICK or THICKNESS TOS TOP OF STEEL TPD TOLLET PAPER DISPENSER T&G TONGUE & GROOVE TYP TYPICAL UL UNDERWRITERS LABORATORY UNO UNLESS NOTED OTHERWISE VERT VERTICAL VEST VESTIBULE VCT VINYL COMPOSITION TILE VCB VINYL COVE BASE VIF VERIFY IN FIELD VSC VINYL SHEET FLOORING WC WATER COVERING WC WATER CLOSET WP WATERPROOFING WWF WELDED WIRE FABRIC W/ WITH WM WIRE MESH WD WOOD W/ WROUGHT IRON W/O WITHOUT</p>	<p>1ST FLOOR EL. 145.70' PROPOSED ELEVATION IN ELEVATION OR SECTION CENTER LINE HIDDEN EDGES/PROJECTIONS ABOVE BREAK LINE "INTERIOR" ELEVATIONS "EXTERIOR" ELEVATIONS WALL SECTION SECTION OR DETAIL REFERENCE DETAIL DRAWING WHERE DETAIL IS DRAWN ACOUSTICAL TILE CEILING GRID SUPPLY OR RETURN AIR DIFFUSER OR GRILLE RECESSED FLUORESCENT LIGHT FIXTURE SURFACE OR PENDANT MOUNTED FLUORESCENT LIGHT FIXTURE RECESSED INCANDESCENT LIGHT FIXTURE SURFACE OR PENDANT MOUNTED INCANDESCENT LIGHT FIXTURE WALL MOUNTED INCANDESCENT LIGHT FIXTURE EARTH (COMPACTED FILL) EARTH (UNDISTURBED SOIL) ROCK POROUS FILL(STONE,GRAVEL,ETC.) ASPHALT PAVING CONCRETE (LARGE SCALE) CONCRETE, PLASTER OR G.W.B. (SMALL SCALE) PRE-MOLDED FILLER BRICK CONCRETE MASONRY UNIT METAL (LARGE SCALE) WOOD, FINISHED WOOD, ROUGH SHM PLYWOOD (LARGE SCALE) PARTICLE BOARD INSULATION, LOOSE OR BAT INSULATION, RIGID G.W.B. W/GLASBORD COOLER PANELS GYPSUM WALLBOARD (LARGE SCALE) CERAMIC TILE OR Q.T.</p>	<p>COLUMN REFERENCE LINE OFFICE 129 ROOM NUMBER DOOR NUMBER XXX-XX WINDOW TYPE LOUVER TYPE BASE TYPE NEW FINISHED GRADE 138.6 EXISTING GRADE 138.0 CEILING HEIGHT 8'-6" LIGHTING TRACK RECESSED INCANDESCENT WALL WASHER EXIT LIGHT PAGING SPEAKER SMOKE OR HEAT DETECTOR SPRINKLER HEAD ACCESS PANEL FIRE EXTINGUISHER & CABINET FIRE EXTINGUISHER</p>
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ARCHITECTURAL ABBREVIATIONS			ARCHITECTURAL SYMBOLS		
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DWG NO.	DRAWING TITLE	DATE ISSUED	DWG NO.	DRAWING TITLE	DATE ISSUED
G1.0	GENERAL INFORMATION	MM/DD/16	A8.0	WINDOW + DOOR SCHEDULE	MM/DD/16
C2.0	INSULATION STANDARDS	MM/DD/16			
A0.0	SITE PLAN	MM/DD/16			
A0.1	BASEMENT DEMOLITION PLAN	MM/DD/16			
A0.2	FIRST FLOOR DEMOLITION PLAN	MM/DD/16			
A0.3	SECOND FLOOR DEMOLITION PLAN	MM/DD/16			
A0.4	THIRD FLOOR DEMOLITION PLAN	MM/DD/16			
A1.0	BASEMENT FLOOR PLAN	MM/DD/16			
A1.1	FIRST FLOOR PLAN	MM/DD/16			
A1.2	SECOND FLOOR PLAN	MM/DD/16			
A2.0	FIRST FLOOR REFLECTED CEILING PLAN	MM/DD/16			
A2.1	SECOND FLOOR REFLECTED CEILING PLAN	MM/DD/16			
A3.0	FIRST FLOOR FINISH PLAN	MM/DD/16			
A3.1	SECOND FLOOR FINISH PLAN	MM/DD/16			
A3.2	THIRD FLOOR FINISH PLAN	MM/DD/16			
A5.0	EXTERIOR ELEVATIONS	MM/DD/16			
A5.1	EXTERIOR ELEVATIONS	MM/DD/16			
A5.2	EXTERIOR ELEVATIONS	MM/DD/16			
A5.3	EXTERIOR ELEVATIONS	MM/DD/16			
A5.4	EXTERIOR ELEVATIONS	MM/DD/16			
A7.0	KITCHEN ELEVATIONS AND ENLARGED PLAN	MM/DD/16			
A7.1	KITCHEN ELEVATIONS	MM/DD/16			

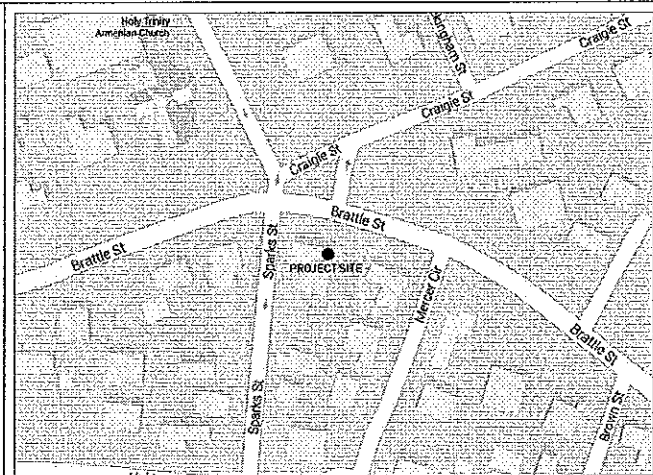
DRAWING INDEX

DESCRIPTION: EXTERIOR RESTORATION AND INTERIOR RENOVATION OF A UNIT WITHIN AN EXISTING TWO FAMILY HOUSE

USE GROUP: R-3, RESIDENTIAL TWO DWELLINGS

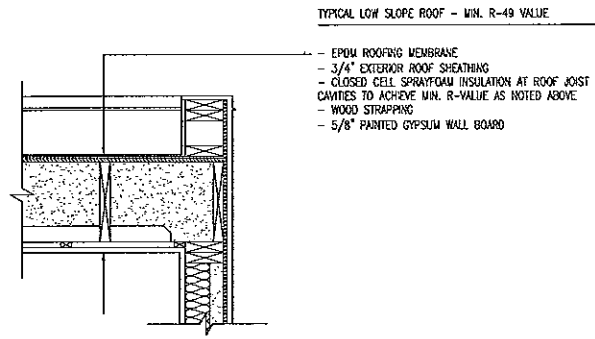
CONSTRUCTION TYPE: V-A

AREA: EXISTING GSF



BUILDING CODE NOTES

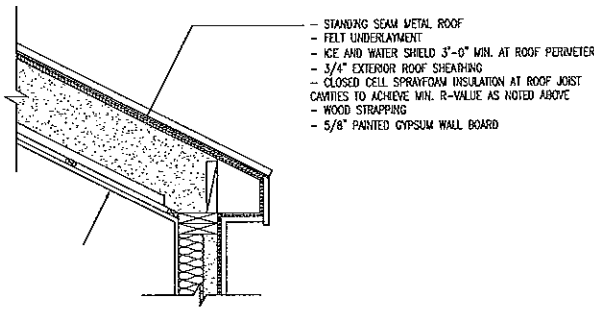
A LOCATION MAP
NOT TO SCALE



TYPICAL LOW SLOPE ROOF - MIN. R-49 VALUE

- EPDM ROOFING MEMBRANE
- 3/4" EXTERIOR ROOF SHEATHING
- CLOSED CELL SPRAYFOAM INSULATION AT ROOF JOIST CAVITIES TO ACHIEVE MIN. R-VALUE AS NOTED ABOVE
- WOOD STRAPPING
- 5/8" PAINTED GYPSUM WALL BOARD

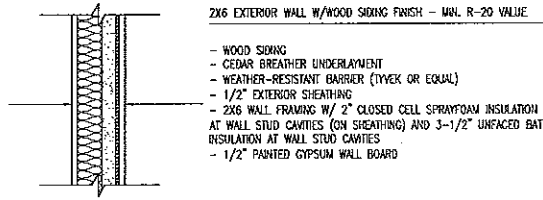
I TYPICAL LOW SLOPE ROOF
 1" = 1'-0"



TYPICAL SLOPED ROOF - MIN. R-49 VALUE

- STANDING SEAM METAL ROOF
- FELT UNDERLAYMENT
- ICE AND WATER SHIELD 3'-0" MIN. AT ROOF PERIMETER
- 3/4" EXTERIOR ROOF SHEATHING
- CLOSED CELL SPRAYFOAM INSULATION AT ROOF JOIST CAVITIES TO ACHIEVE MIN. R-VALUE AS NOTED ABOVE
- WOOD STRAPPING
- 5/8" PAINTED GYPSUM WALL BOARD

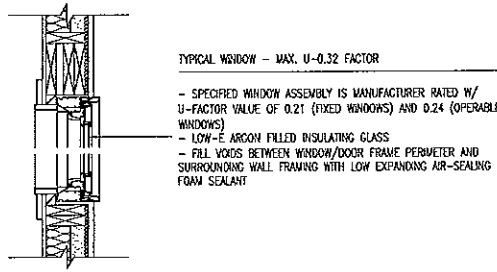
H TYPICAL SLOPED ROOF
 1" = 1'-0"



2X6 EXTERIOR WALL W/WOOD SIDING FINISH - MAX. R-20 VALUE

- WOOD SIDING
- CEDAR BREATHER UNDERLAYMENT
- WEATHER-RESISTANT BARRIER (TYVEK OR EQUAL)
- 1/2" EXTERIOR SHEATHING
- 2X6 WALL FRAMING W/ 2" CLOSED CELL SPRAYFOAM INSULATION AT WALL STUD CAVITIES (ON SHEATHING) AND 3-1/2" UNFACED BATT INSULATION AT WALL STUD CAVITIES
- 1/2" PAINTED GYPSUM WALL BOARD

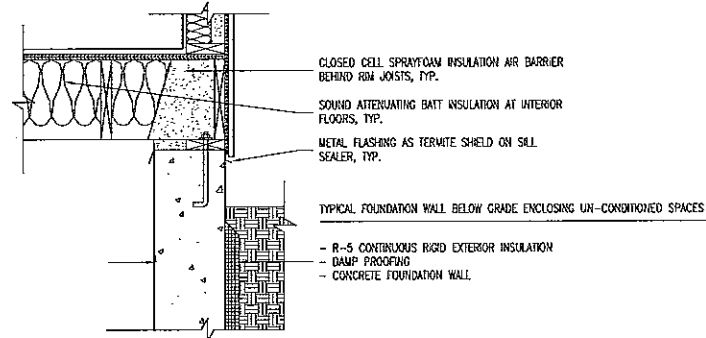
G TYPICAL EXTERIOR WALL
 1" = 1'-0"



TYPICAL WINDOW - MAX. U-0.32 FACTOR

- SPECIFIED WINDOW ASSEMBLY IS MANUFACTURER RATED W/ U-FACTOR VALUE OF 0.21 (FIXED WINDOWS) AND 0.24 (OPERABLE WINDOWS)
- LOW-E ARGON FILLED INSULATING GLASS
- FILL VOIDS BETWEEN WINDOW/DOOR FRAME PERIMETER AND SURROUNDING WALL FRAMING WITH LOW EXPANDING AIR-SEALING FOAM SEALANT

F TYPICAL WINDOW
 1" = 1'-0"

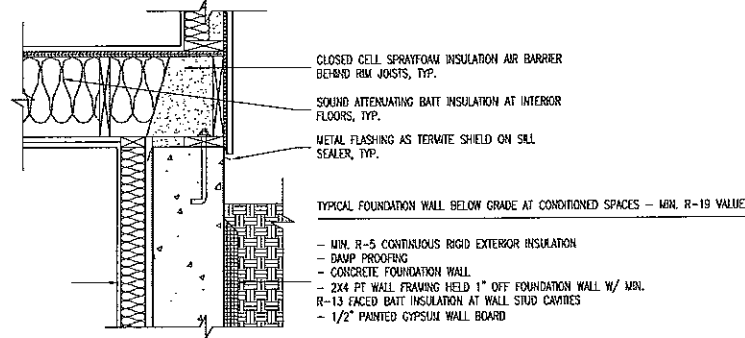


- CLOSED CELL SPRAYFOAM INSULATION AIR BARRIER BEHIND RIM JOISTS, TYP.
- SOUND ATTENUATING BATT INSULATION AT INTERIOR FLOORS, TYP.
- METAL FLASHING AS TERMITE SHIELD ON SILL SEALER, TYP.

TYPICAL FOUNDATION WALL BELOW GRADE ENCLOSING UN-CONDITIONED SPACES

- R-5 CONTINUOUS RIGID EXTERIOR INSULATION
- DAMP PROOFING
- CONCRETE FOUNDATION WALL

E TYPICAL FOUNDATION WALL BELOW GRADE AT UN-CONDITIONED SPACES
 1" = 1'-0"

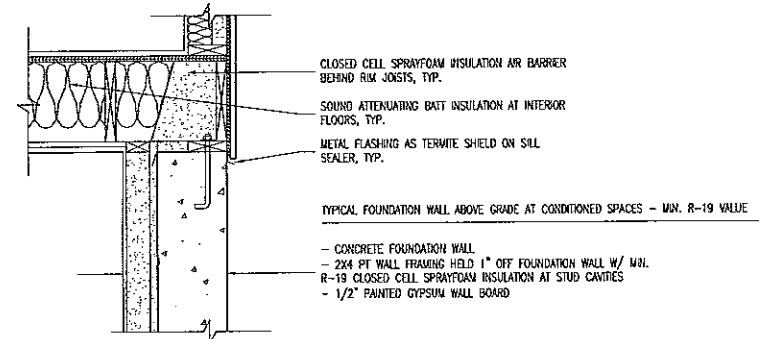


- CLOSED CELL SPRAYFOAM INSULATION AIR BARRIER BEHIND RIM JOISTS, TYP.
- SOUND ATTENUATING BATT INSULATION AT INTERIOR FLOORS, TYP.
- METAL FLASHING AS TERMITE SHIELD ON SILL SEALER, TYP.

TYPICAL FOUNDATION WALL BELOW GRADE AT CONDITIONED SPACES - MIN. R-19 VALUE

- MIN. R-5 CONTINUOUS RIGID EXTERIOR INSULATION
- DAMP PROOFING
- CONCRETE FOUNDATION WALL
- 2X4 PT WALL FRAMING HELD 1" OFF FOUNDATION WALL W/ MIN. R-13 FACED BATT INSULATION AT WALL STUD CAVITIES
- 1/2" PAINTED GYPSUM WALL BOARD

D TYPICAL FOUNDATION WALL BELOW GRADE AT CONDITIONED SPACES
 1" = 1'-0"

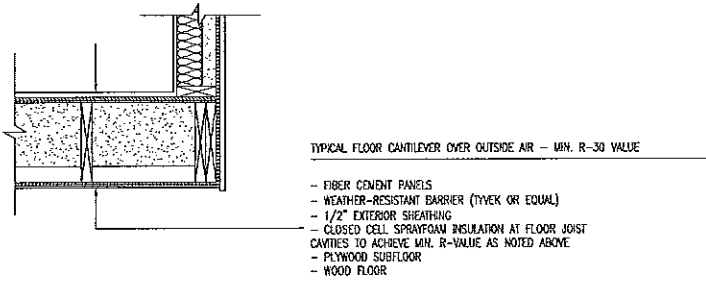


- CLOSED CELL SPRAYFOAM INSULATION AIR BARRIER BEHIND RIM JOISTS, TYP.
- SOUND ATTENUATING BATT INSULATION AT INTERIOR FLOORS, TYP.
- METAL FLASHING AS TERMITE SHIELD ON SILL SEALER, TYP.

TYPICAL FOUNDATION WALL ABOVE GRADE AT CONDITIONED SPACES - MAX. R-19 VALUE

- CONCRETE FOUNDATION WALL
- 2X4 PT WALL FRAMING HELD 1" OFF FOUNDATION WALL W/ MIN. R-19 CLOSED CELL SPRAYFOAM INSULATION AT STUD CAVITIES
- 1/2" PAINTED GYPSUM WALL BOARD

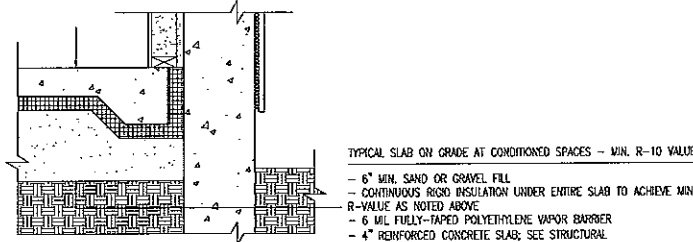
C TYPICAL FOUNDATION WALL ABOVE GRADE AT CONDITIONED SPACES
 1" = 1'-0"



TYPICAL FLOOR CANTILEVER OVER OUTSIDE AIR - MIN. R-30 VALUE

- FIBER CEMENT PANELS
- WEATHER-RESISTANT BARRIER (TYVEK OR EQUAL)
- 1/2" EXTERIOR SHEATHING
- CLOSED CELL SPRAYFOAM INSULATION AT FLOOR JOIST CAVITIES TO ACHIEVE MIN. R-VALUE AS NOTED ABOVE
- PLYWOOD SUBFLOOR
- WOOD FLOOR

B TYPICAL FLOOR CANTILEVER OVER OUTSIDE AIR DETAIL
 1" = 1'-0"



TYPICAL SLAB ON GRADE AT CONDITIONED SPACES - MIN. R-10 VALUE

- 6" MIN. SAND OR GRAVEL FILL
- CONTINUOUS RIGID INSULATION UNDER ENTIRE SLAB TO ACHIEVE MIN. R-VALUE AS NOTED ABOVE
- 6 MIL FULLY-TAPED POLYETHYLENE VAPOR BARRIER
- 4" REINFORCED CONCRETE SLAB, SEE STRUCTURAL

A TYPICAL SLAB ON GRADE DETAIL
 1" = 1'-0"

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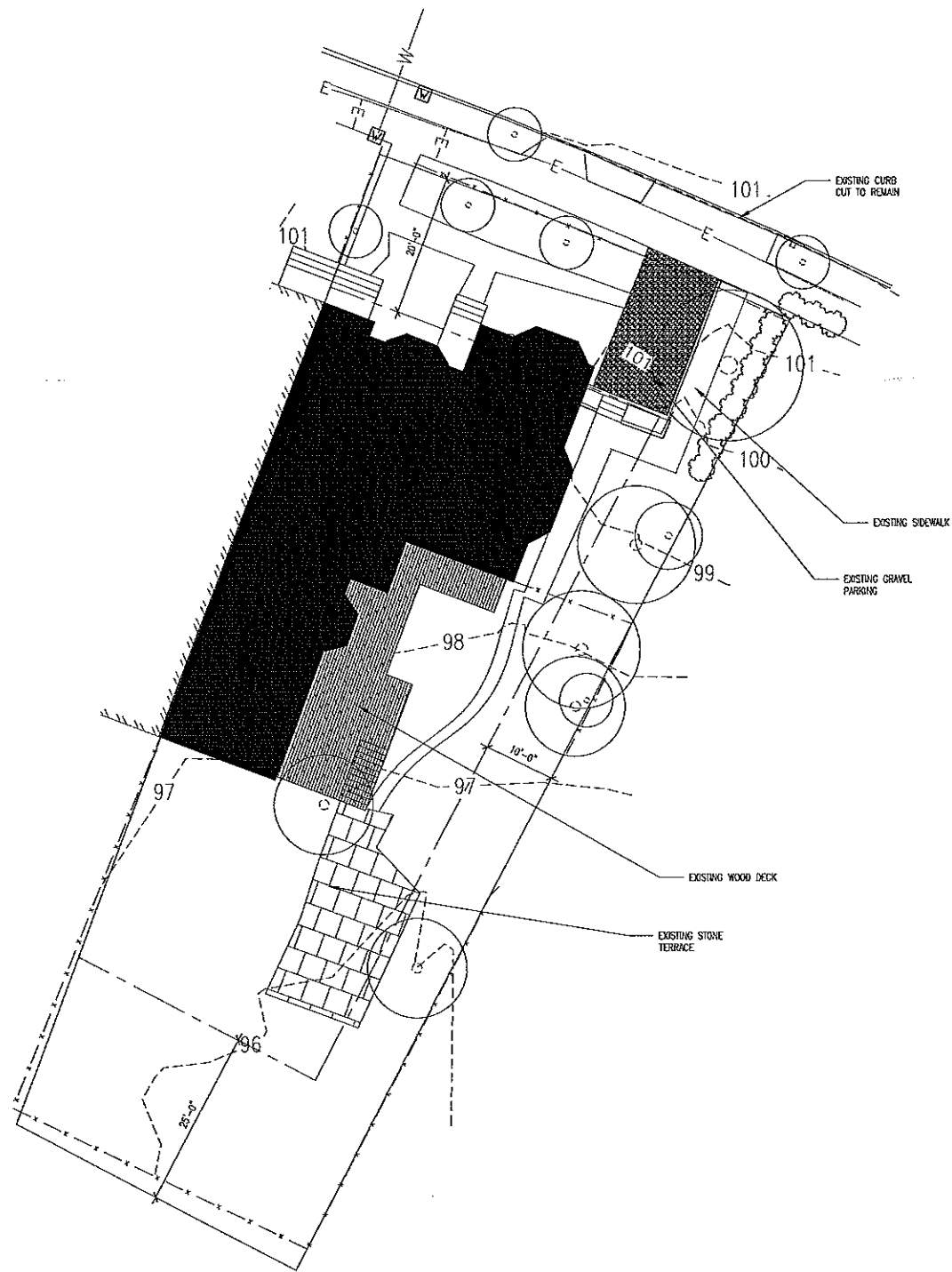
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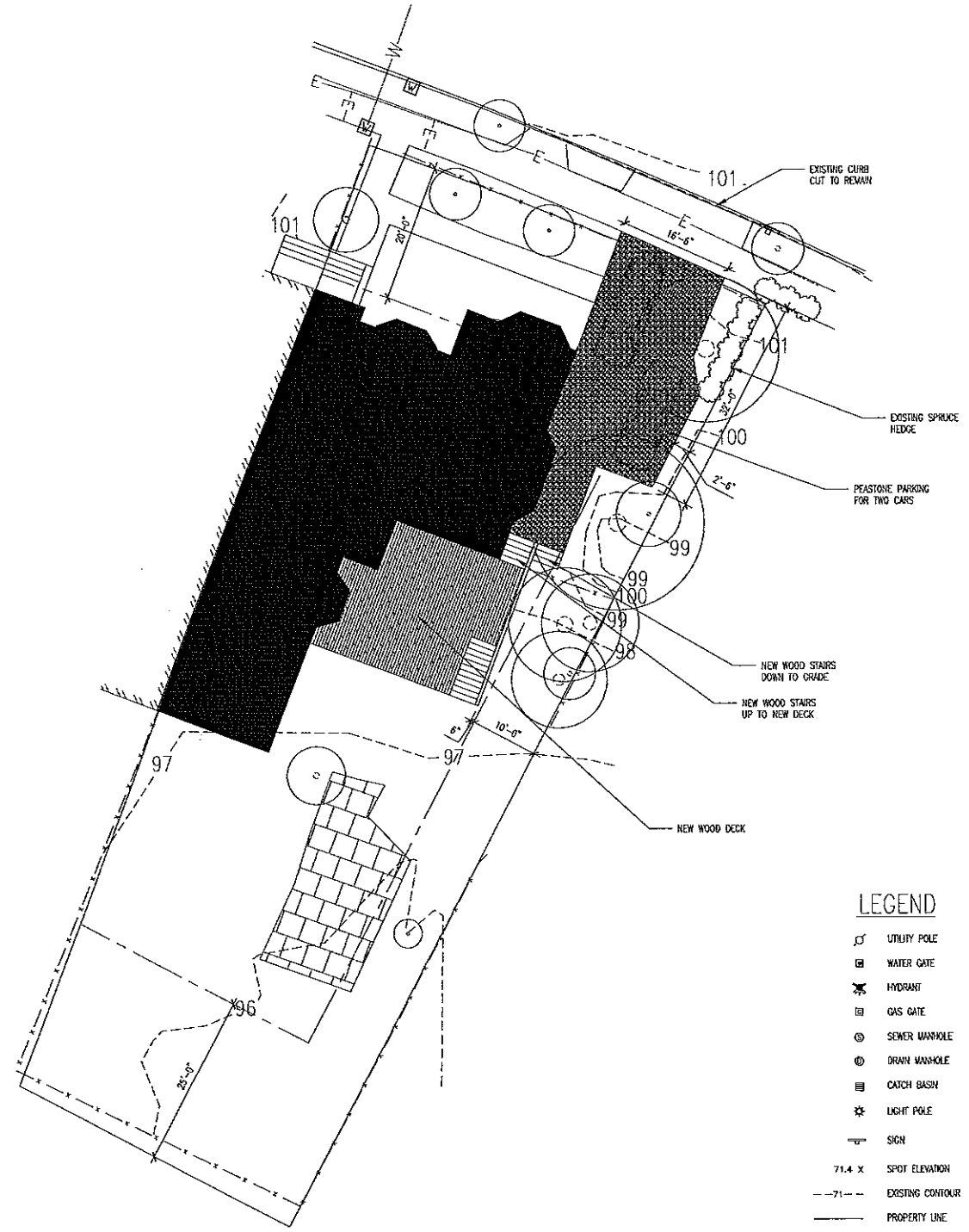
TYPICAL THERMAL ENVELOPE DETAILS

PROGRESS SET
 NOT FOR CONSTRUCTION

G2.0



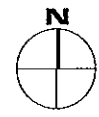
A EXISTING SITE PLAN
 3/32" = 1'-0"



B PROPOSED SITE PLAN
 3/32" = 1'-0"

LEGEND

- ☐ UTILITY POLE
- ☐ WATER GATE
- ☐ HYDRANT
- ☐ GAS GATE
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ☐ CATCH BASIN
- ☐ LIGHT POLE
- ☐ SIGN
- 71.4 X SPOT ELEVATION
- - - - EXISTING CONTOUR
- — — — PROPERTY LINE
- — — — SETBACKS
- D — DRAIN LINE
- W — WATER LINE
- S — SEWER LINE
- G — GAS LINE
- X — FENCE
- — — — STONEWALL



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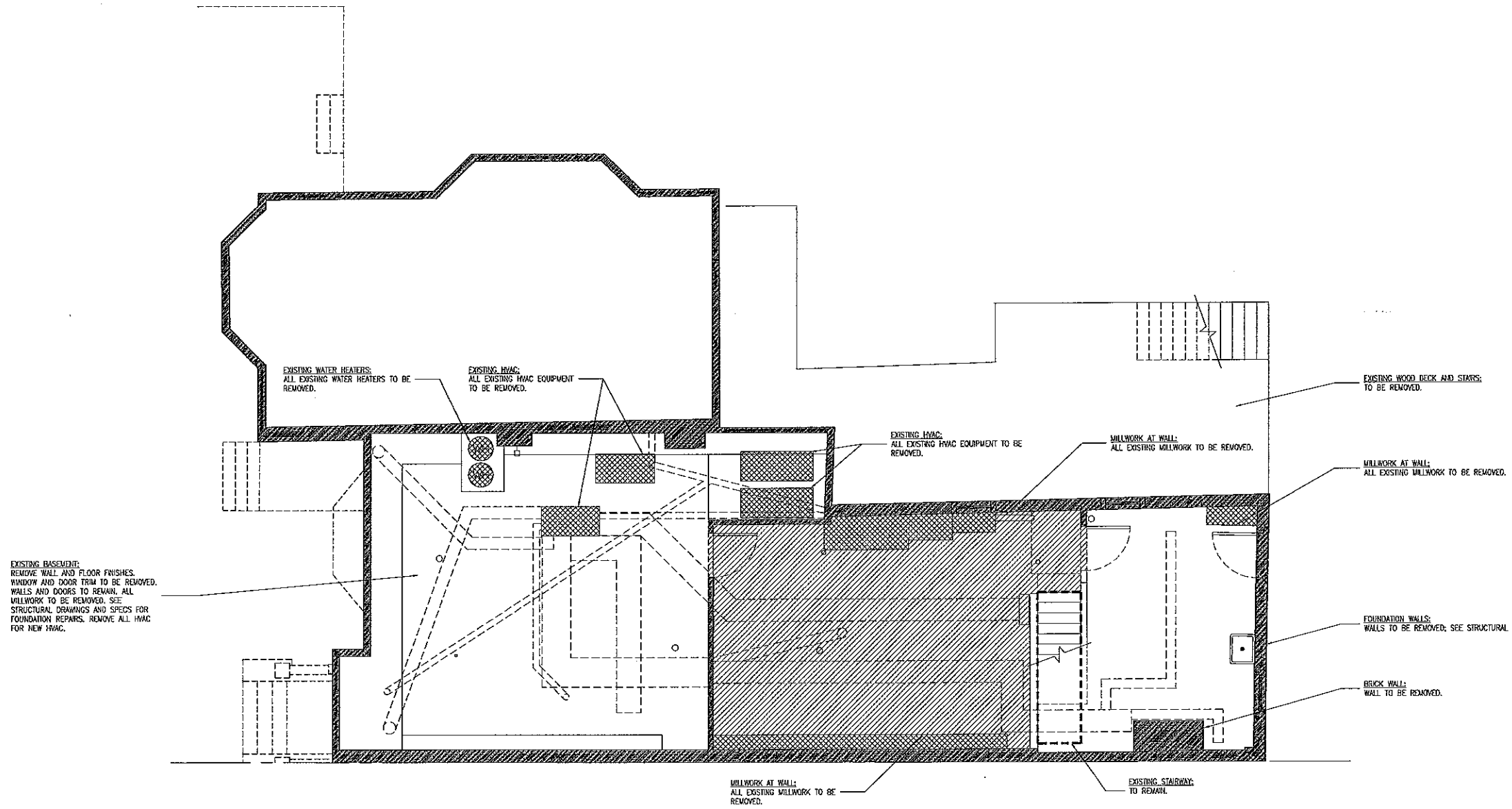
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SITE PLAN

PROGRESS SET
 NOT FOR CONSTRUCTION

AO.O



GENERAL NOTES - DEMOLITION PLAN

- INDICATES WALL TO BE REMOVED
 - INDICATES FINISHES TO BE REMOVED
 - INDICATES FIXTURES AND MILLWORK TO BE REMOVED
 - INDICATES ITEMS TO BE PROTECTED OR SALVAGED
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION. SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMAIN. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.
- EXISTING WORK NOT SCHEDULED FOR DEMOLITION IS TO BE PROTECTED DURING DEMOLITION, AND ALL RELATED DAMAGE SHALL BE REPAIRED.
- SEAMLESSLY PATCH AND REPAIR WALLS, CEILING AND FLOORS TO MATCH EXISTING AT LOCATIONS OF DEMOLISHED WORK.
- NOTIFY ARCHITECT OF ANY FIELD ISSUES THAT CONFLICT WITH DRAWINGS PRIOR TO BEGINNING WORK.
- SALVAGE ITEMS (DETERMINED BY THE OWNER) FOR POSSIBLE REUSE, SEE SPECIFICATIONS FOR ADDITIONAL INFO.
- UTILITIES: WHERE INDICATED DISCONNECT AND REMOVE EXISTING PLUMBING, HVAC DUCTS, ELECTRICAL, AND GAS SERVICE IN PLACE ACCORDING TO BUILDING CODE.
- PRESERVE FIRE BLOCKING AS REQUIRED BY THE BUILDING CODE.

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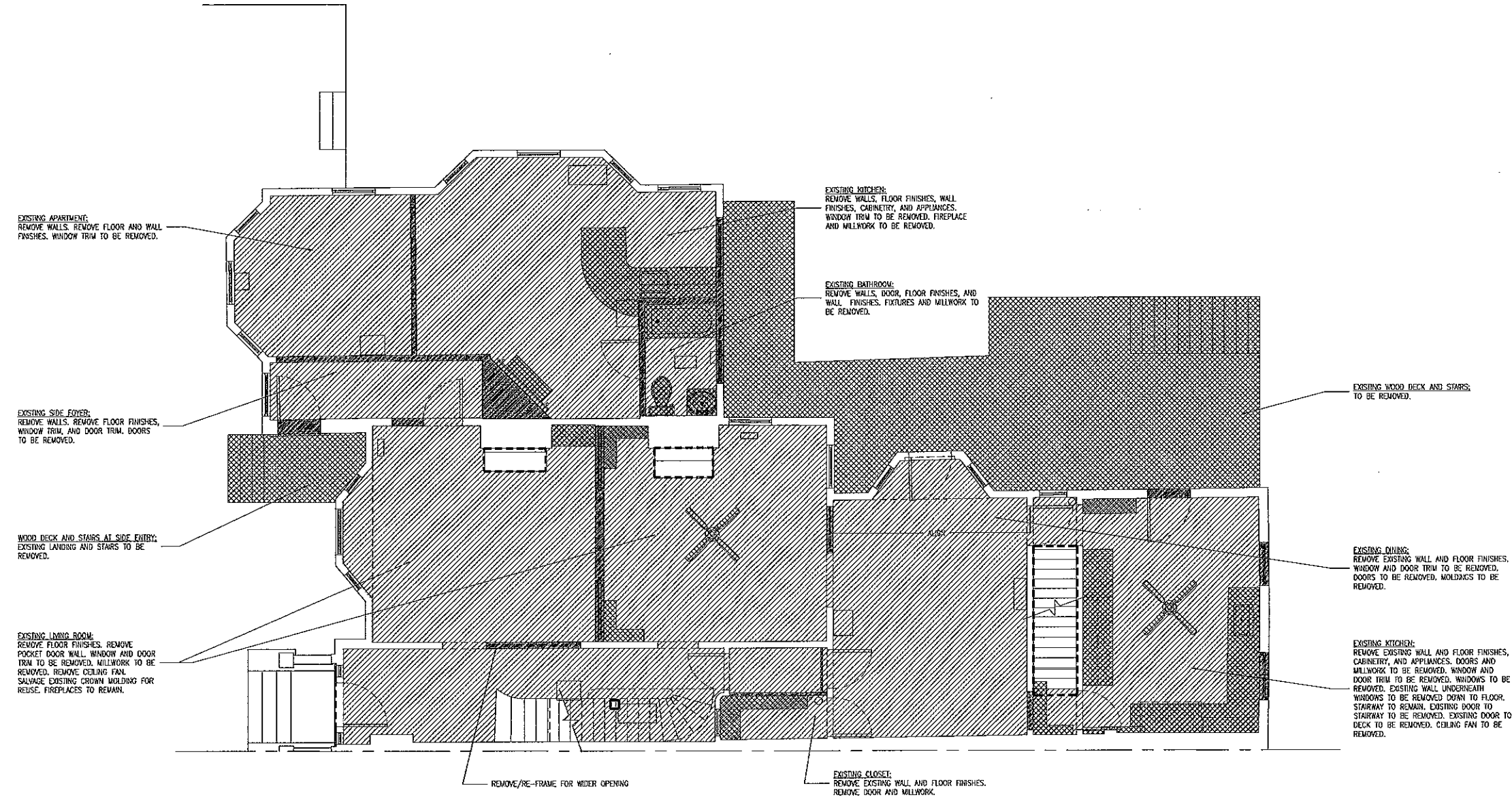
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BASEMENT DEMOLITION PLAN

PROCESSED SET
 NOT FOR CONSTRUCTION



GENERAL NOTES - DEMOLITION PLAN

- INDICATES WALL TO BE REMOVED
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- PRESERVE FIRE BLOCKING AS REQUIRED BY THE BUILDING CODE.

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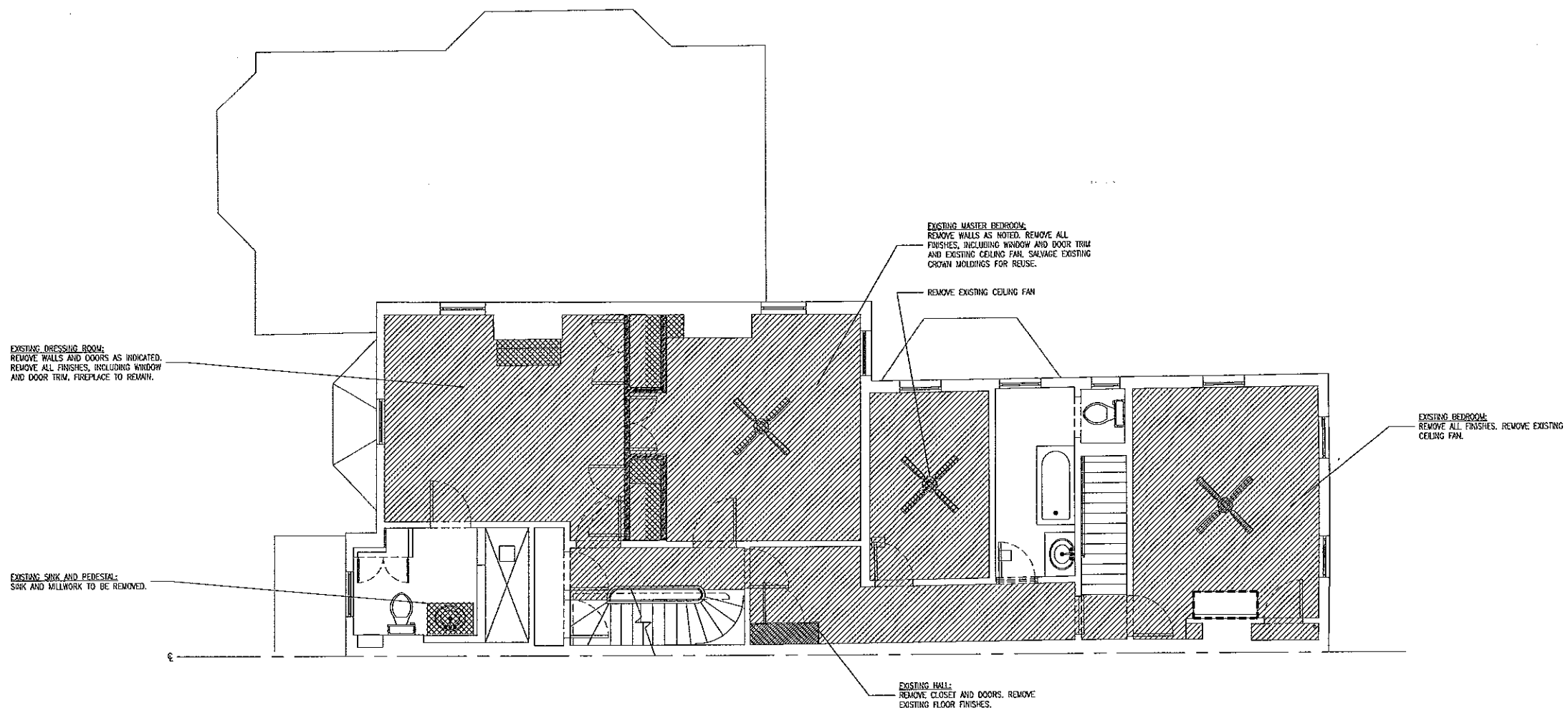
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**FIRST FLOOR
 DEMOLITION PLAN**

PROGRESS SET
 NOT FOR CONSTRUCTION

A0.2



GENERAL NOTES - DEMOLITION PLAN

- INDICATES WALL TO BE REMOVED
- INDICATES FINISHES TO BE REMOVED
- INDICATES FIXTURES AND MILLWORK TO BE REMOVED
- INDICATES ITEMS TO BE PROTECTED OR SALVAGED

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION. SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMAIN. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.

EXISTING WORK NOT SCHEDULED FOR DEMOLITION IS TO BE PROTECTED DURING DEMOLITION, AND ALL RELATED DAMAGE SHALL BE REPAIRED.

SEAMLESSLY PATCH AND REPAIR WALLS, CEILING AND FLOORS TO MATCH EXISTING AT LOCATIONS OF DEMOLISHED WORK.

NOTIFY ARCHITECT OF ANY FIELD ISSUES THAT CONFLICT WITH DRAWINGS PRIOR TO BEGINNING WORK.

SALVAGE ITEMS (DETERMINED BY THE OWNER) FOR POSSIBLE REUSE. SEE SPECIFICATIONS FOR ADDITIONAL INFO.

UTILITIES: WHERE INDICATED DISCONNECT AND REMOVE EXISTING PLUMBING, HVAC DUCTS, ELECTRICAL AND GAS SERVICE IN PLACE ACCORDING TO BUILDING CODE.

PRESERVE FIRE BLOCKING AS REQUIRED BY THE BUILDING CODE.

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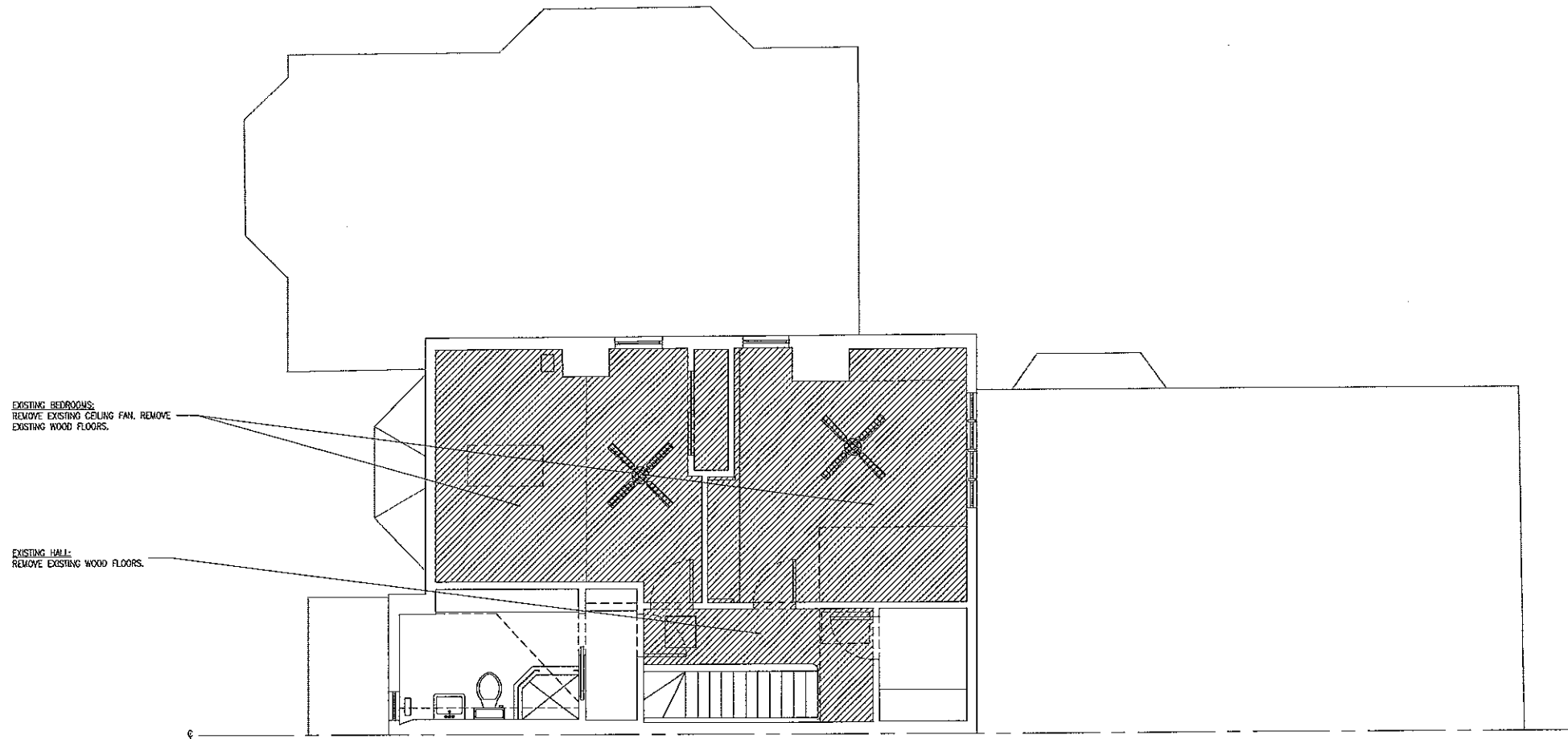
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SECOND FLOOR
DEMOLITION PLAN

PROGRESS SET
NOT FOR CONSTRUCTION

A0.3



GENERAL NOTES - DEMOLITION PLAN

- INDICATES WALL TO BE REMOVED
 - INDICATES FINISHES TO BE REMOVED
 - INDICATES FIXTURES AND MILLWORK TO BE REMOVED
 - INDICATES ITEMS TO BE PROTECTED OR SALVAGED
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION. SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMAIN. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.
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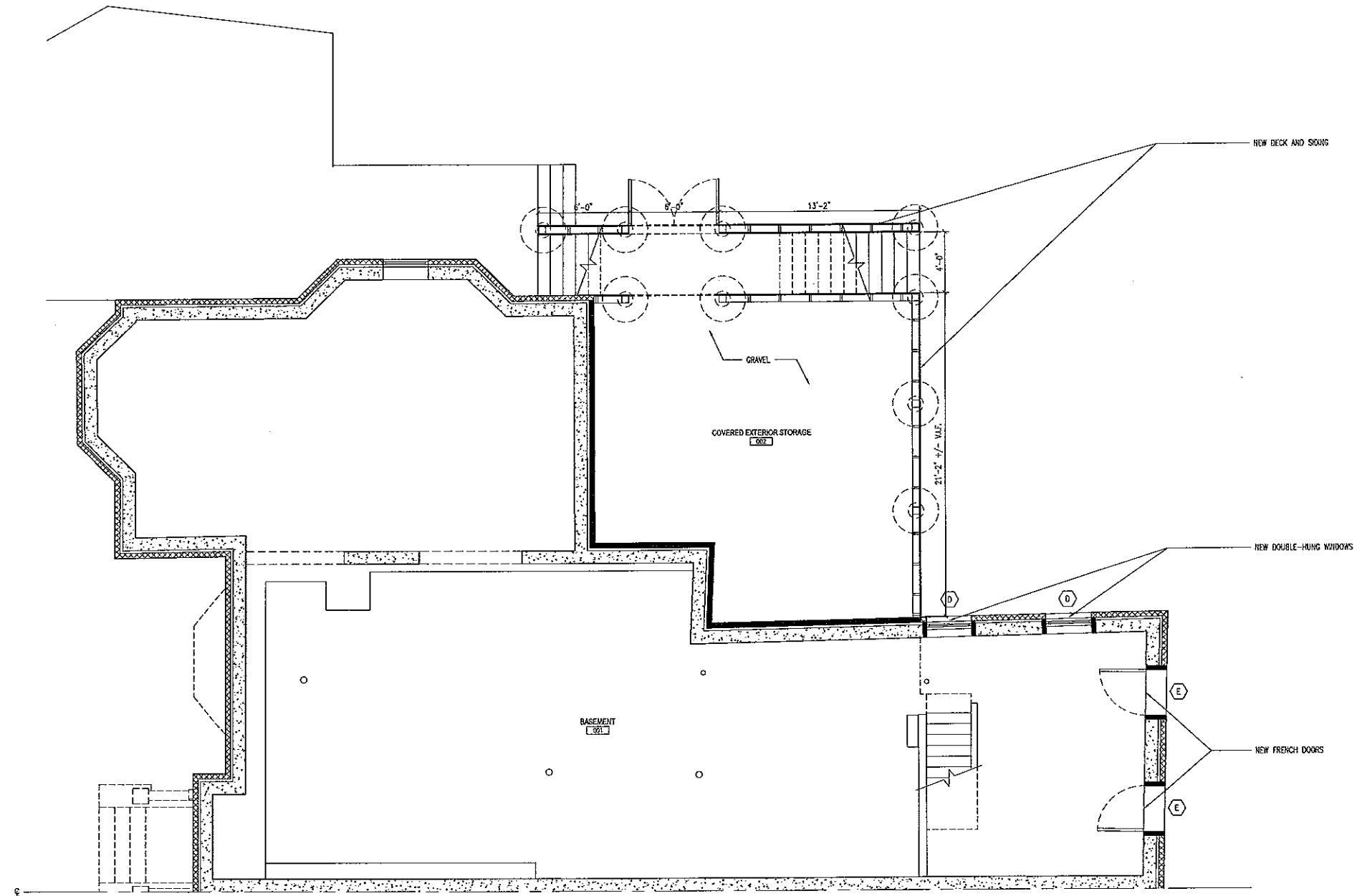
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**THIRD FLOOR
 DEMOLITION PLAN**

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GENERAL NOTES - FLOOR PLAN

- INDICATES EXISTING WALL
- ▨ INDICATES NEW WALL
- SEE SPECIFICATIONS FOR COMPLETE REQUIREMENTS.
- DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE SPECIFIED.
- ALL EXISTING AND NEW WALL PENETRATIONS SHALL BE FIRE-STOPPED TO ENSURE THAT FIRE SEPARATION IS PROVIDED PER CODE.

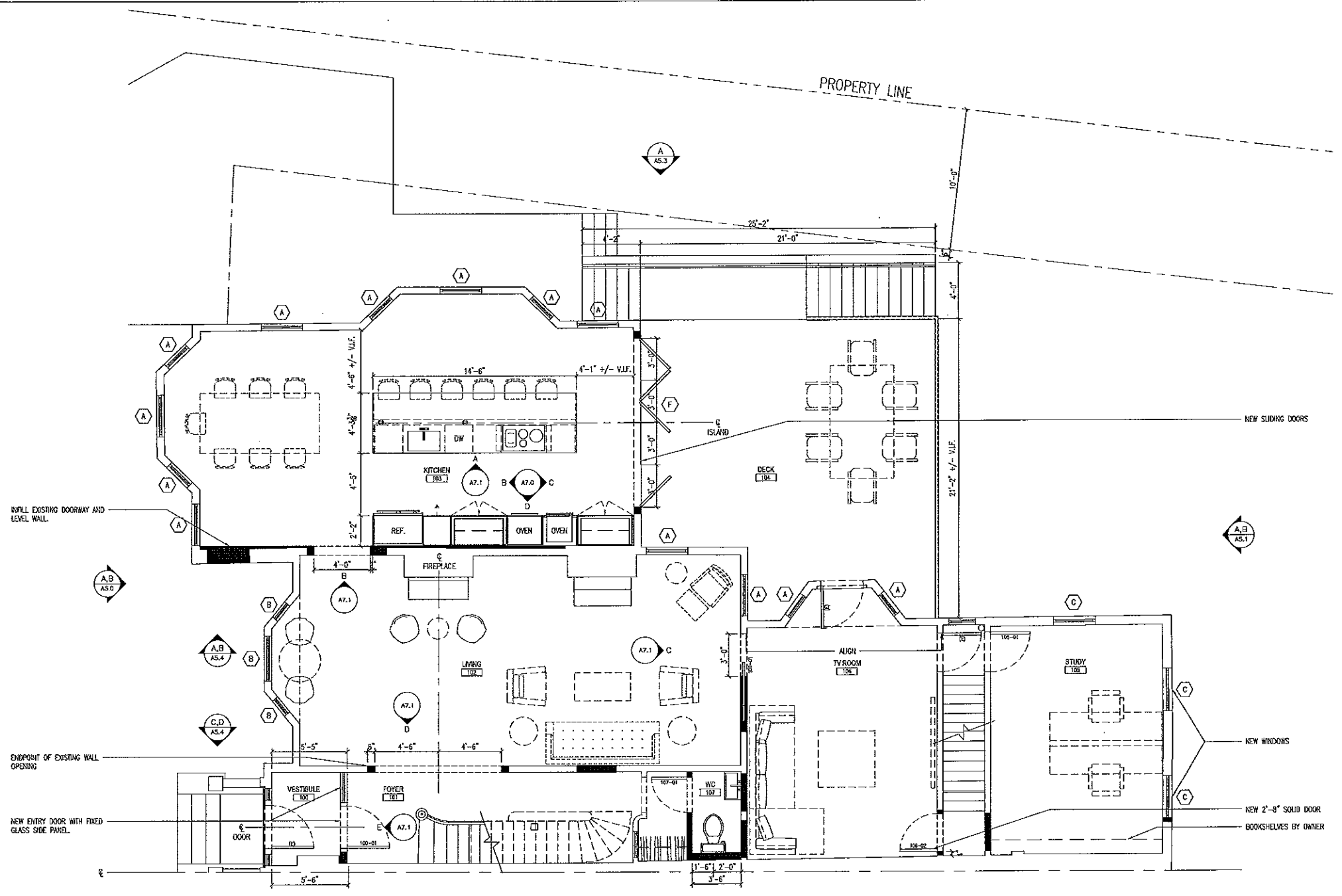
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BASEMENT FLOOR PLAN

PROGRESS SET
 NOT FOR CONSTRUCTION



GENERAL NOTES - FLOOR PLAN

- INDICATES EXISTING WALL
- ▬▬▬▬▬▬ INDICATES NEW WALL

SEE SPECIFICATIONS FOR COMPLETE REQUIREMENTS.

DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE SPECIFIED.

ALL EXISTING AND NEW WALL PENETRATIONS SHALL BE FIRE-STOPPED TO ENSURE THAT FIRE SEPARATION IS PROVIDED PER CODE.

A FIRST FLOOR PLAN
 1/4" = 1'-0"

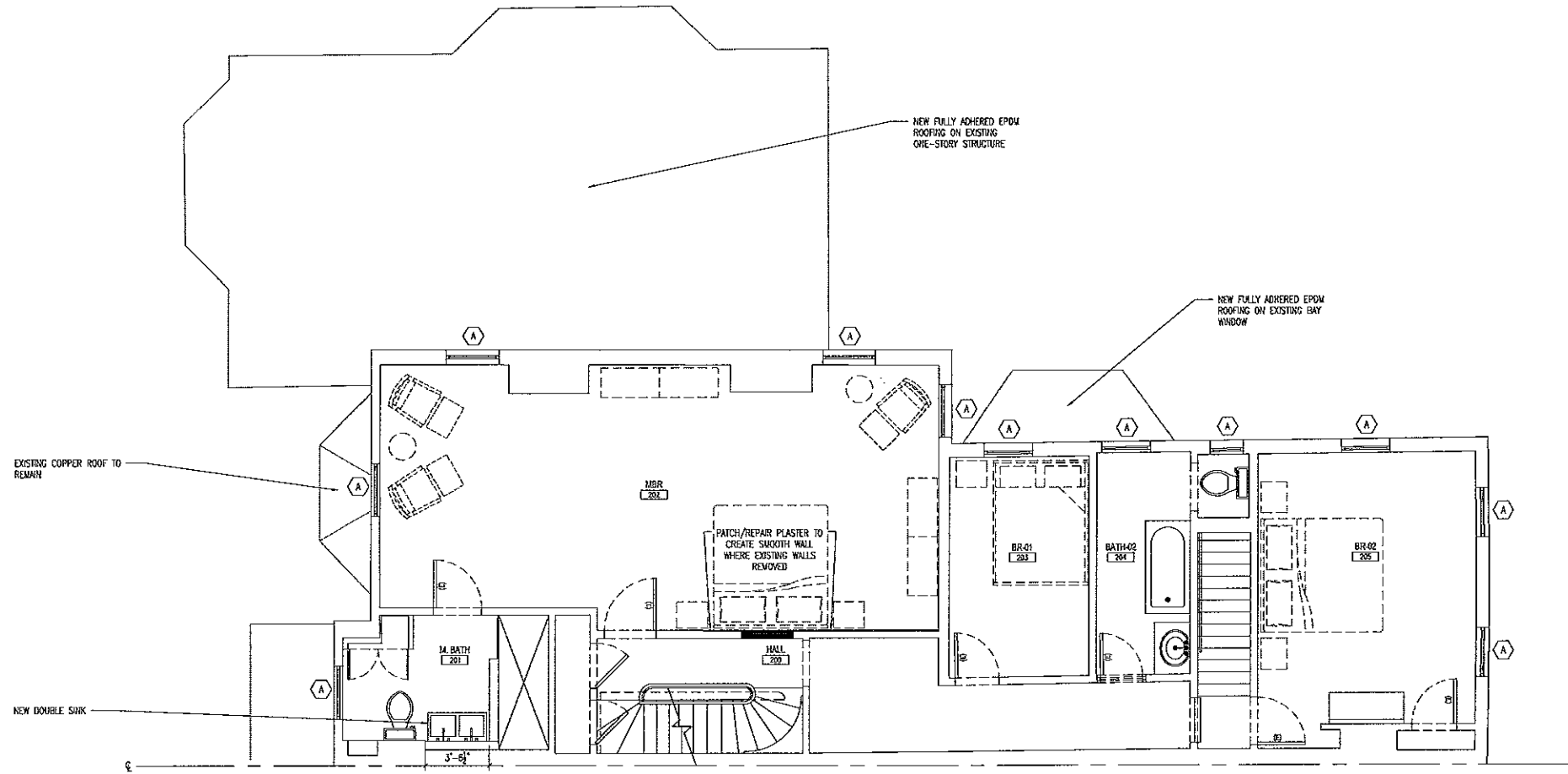
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FIRST FLOOR PLAN

PROGRESS SET
 NOT FOR CONSTRUCTION



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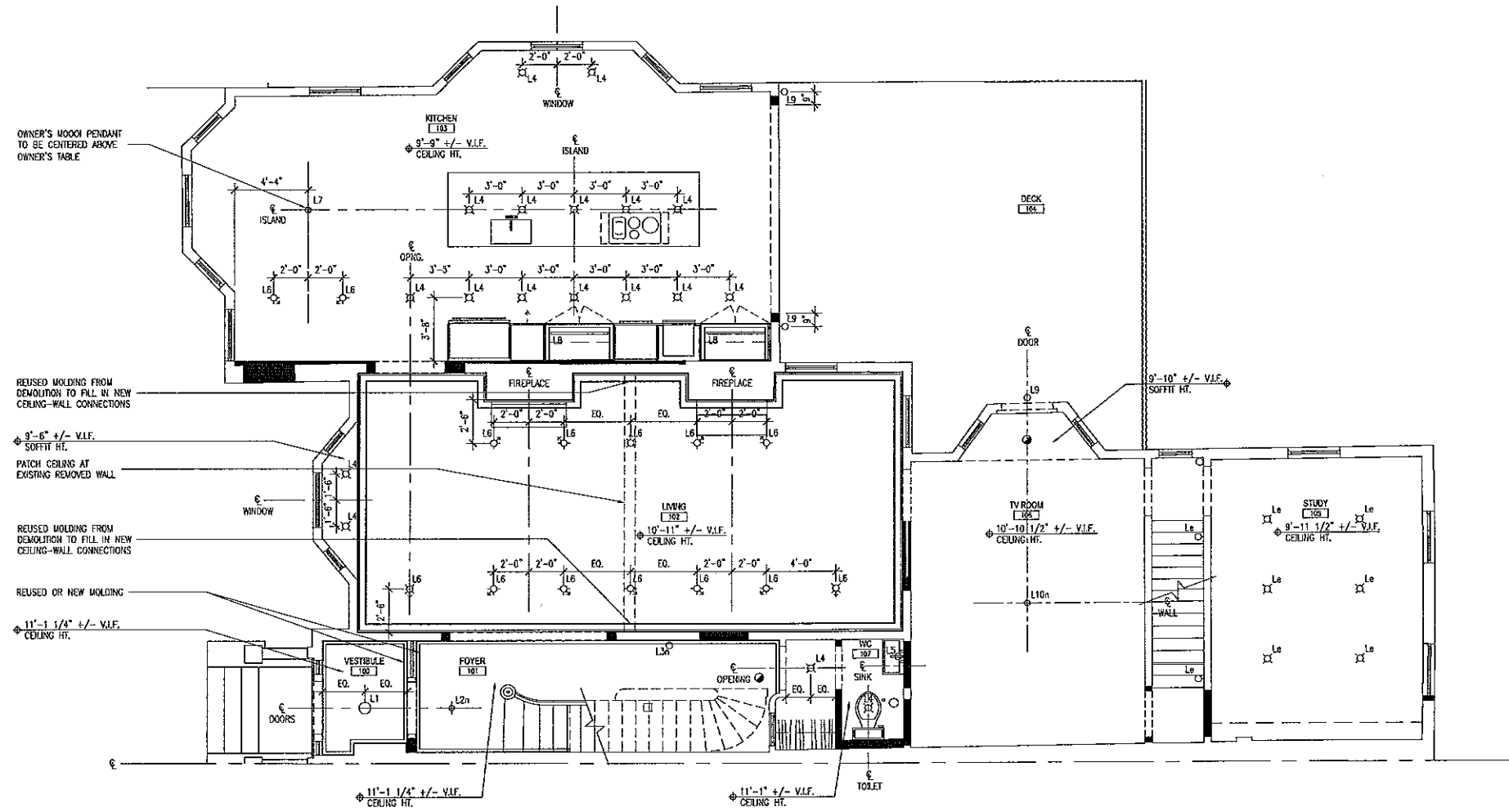
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SECOND FLOOR PLAN

PRECISE SET
 NOT FOR CONSTRUCTION



REFLECTED CEILING PLAN NOTES

SEE SPECIFICATIONS FOR COMPLETE REQUIREMENTS

LOCATIONS OF ALL FIXTURES AND OBJECTS MARKED (e) ARE APPROXIMATE. VERIFY LOCATIONS IN FIELD.

ROP SHOWS NEW/MODIFIED SWITCHING AND RECEPTABLES ONLY. REFER TO DEMO RCP FOR EXISTING SWITCHING AND RECEPTABLE LOCATIONS AND HOLES.

REPLACE ALL EXISTING RECESSED LIGHTS AND TRIMS.

REPLACE ALL EXISTING BATHROOM EXHAUST FAN COVERS.

NEW FIXTURES IN EXISTING LOCATIONS TO PRESERVE EXISTING WIRING AND SWITCH LOCATIONS WITH NEW DRAWERS (SWITCHING PATHS OMITTED)

CONFIRM CODE-COMPLIANCE OF EXISTING RECEPTABLES AND LAYOUT IN EXISTING WALLS.

POWER AND SWITCHING PLANS REPRESENT THE DESIRED ARCHITECTURAL LOCATION OF RECEPTABLES AND SWITCHES AND ARE IN NO WAY COMPREHENSIVE OR CONCLUSIVE. CONTRACTOR SHALL

CONFIRM THAT NEW RECEPTABLES AND SWITCHING IN CONJUNCTION WITH THAT WHICH IS EXISTING, MEET ALL REQUIREMENTS BY CODE.

PLAN INDICATION OF POWER IS DIAGRAMMATIC ONLY. CONTRACTOR TO DETERMINE REQUIRED CIRCUITS.

PROVIDE POWER TO ALL EQUIPMENT, APPLIANCES AND LIGHTING SHOWN ON OTHER DRAWINGS OR INDICATED IN THE SPECIFICATIONS.

MOUNT DEVICES 18" ABOVE FINISH FLOOR OR 6" ABOVE WORK SURFACE UNLESS NOTED OTHERWISE.

GANG ADJACENT DEVICES, INCLUDING POWER, TELEPHONE, AND CABLE TV, BEHIND SINGLE UNINTERRUPTED COVERPLATES.

SEE ELEVATIONS AND CASEWORK DETAILS FOR FURTHER INFO.

ALL NEW LIGHT FIXTURES + SWITCHING TO BE DIMMABLE

MARK LIGHTING LOCATIONS AND IDENTIFY CONFLICTS; MARK PROPOSED REALIGNMENTS AND SUBMIT TO ARCHITECT FOR REVIEW IN FIELD.

- ◆ PENDANT LIGHT FIXTURE
- WALL SCONCE
- ⊠ RECESSED DOWN LIGHT
- ⊠ DIRECTIONAL RECESSED LIGHT
- SURFACE-MOUNTED LIGHT FIXTURE
- LINEAR COVE LIGHTING
- SMOKE/HEAT DETECTOR

LIGHT FIXTURE SCHEDULE

- (n) DENOTES USE OF NEW FIXTURE IN EXISTING LOCATION
- (e) DENOTES EXISTING FIXTURE TO REMAIN
- L1 NEW SURFACE-MOUNTED LIGHT FIXTURE
- L2n NEW PENDANT IN EXISTING LOCATION
- L3n NEW WALL SCONCE IN EXISTING LOCATION
- L4 NEW RECESSED DOWN LIGHT
- L5 NEW WALL SCONCE
- L6 NEW DIRECTIONAL RECESSED DOWN LIGHT
- L7 OWNER'S MOOD PENDANT
- L8 LINEAR COVE LIGHTING UNDER KITCHEN SHELF
- L9 EXTERIOR WALL SCONCE
- L10n NEW PENDANT LIGHT FIXTURE IN EXISTING LOCATION
- L11n NEW SURFACE-MOUNTED LIGHT AT EXISTING FAN LOCATION
- L12n NEW SURFACE-MOUNTED LIGHT AT EXISTING LOCATION

A FIRST FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"

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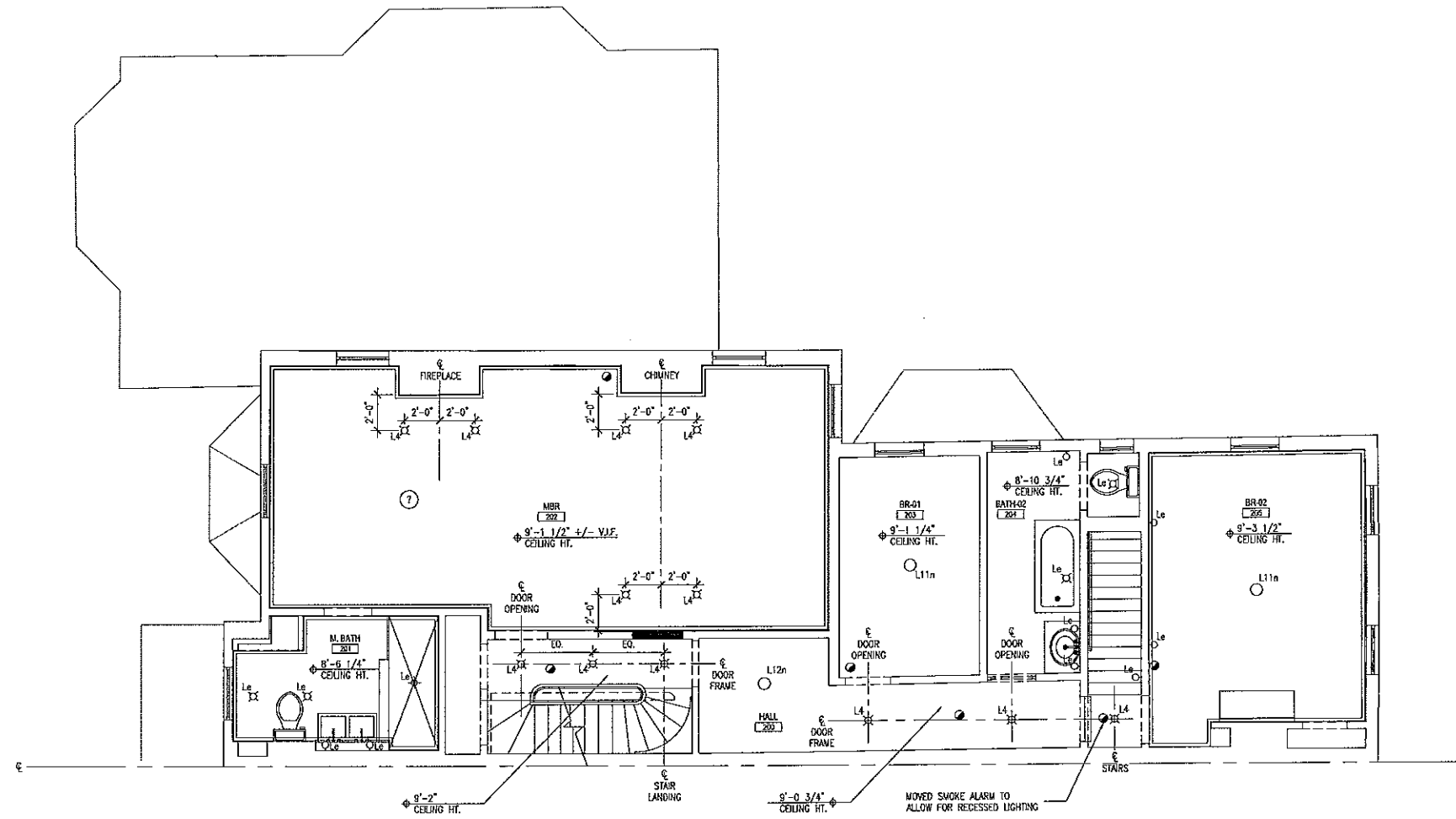
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 DRAWN BY: SK
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FIRST FLOOR REFLECTED CEILING PLAN

PROGRESS SET
 NOT FOR CONSTRUCTION

A2.0



REFLECTED CEILING PLAN NOTES

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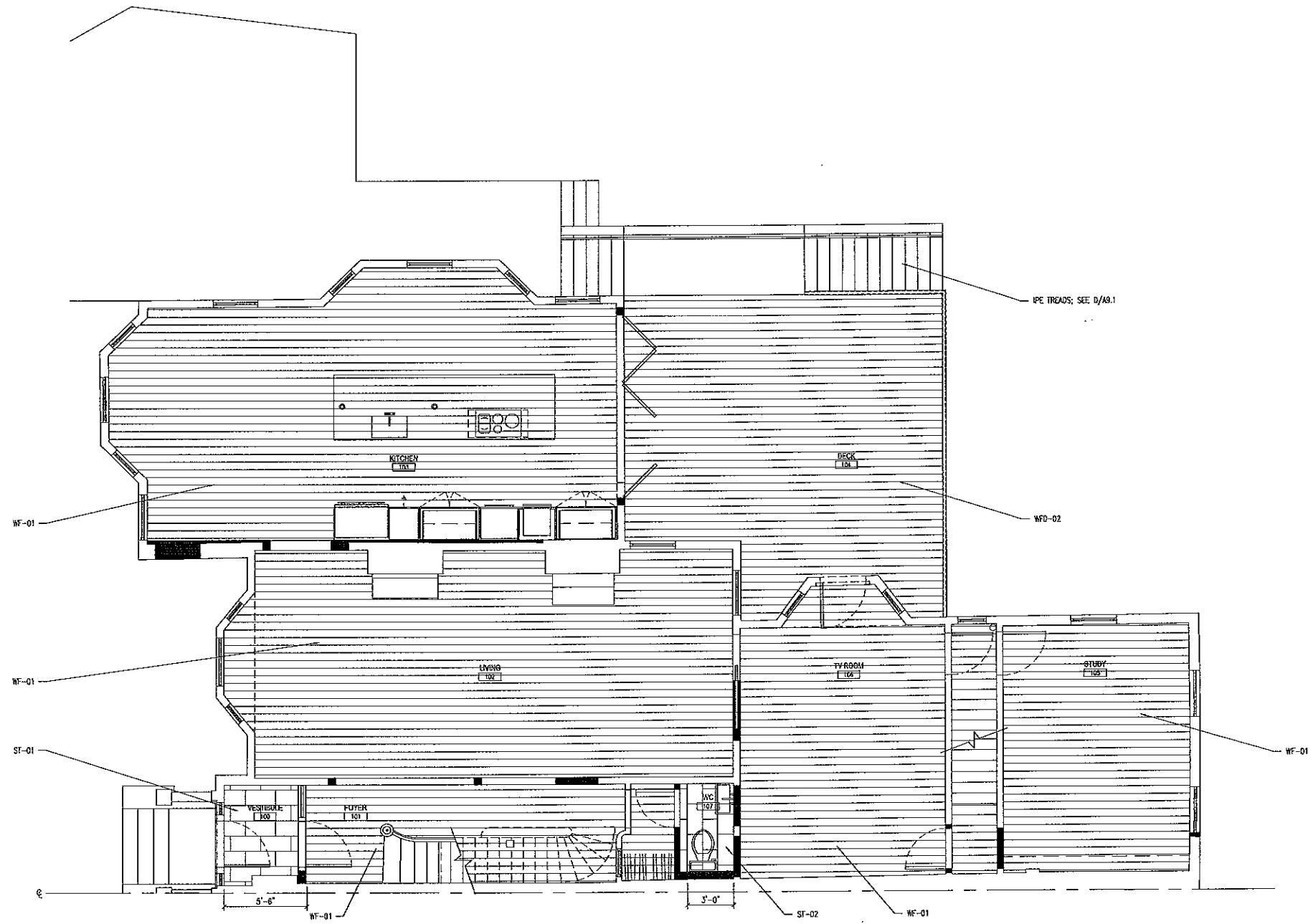
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SECOND FLOOR REFLECTED CEILING PLAN

PROGRESS SET
NOT FOR CONSTRUCTION



GENERAL NOTES - FLOOR FINISH PLAN

SEE SPECIFICATIONS FOR FINISH PRODUCTS AND ADDITIONAL REFORMATION.
 RAISED DOOR THRESHOLDS WHERE NEW FLOORING MATERIAL IS BEING INSTALLED, TYP., TO ALLOW FOR ELEVATION ADJUSTMENTS.
 TRANSITION FLOORING MATERIALS UNDER DOOR SLAB, TYP.
 CONTINUE FLOORING MATERIALS UNDER ALL MILLWORK, TYP.



DENOTES 6" WOOD FLOORING



DENOTES 12" X 24" TILE FLOORING

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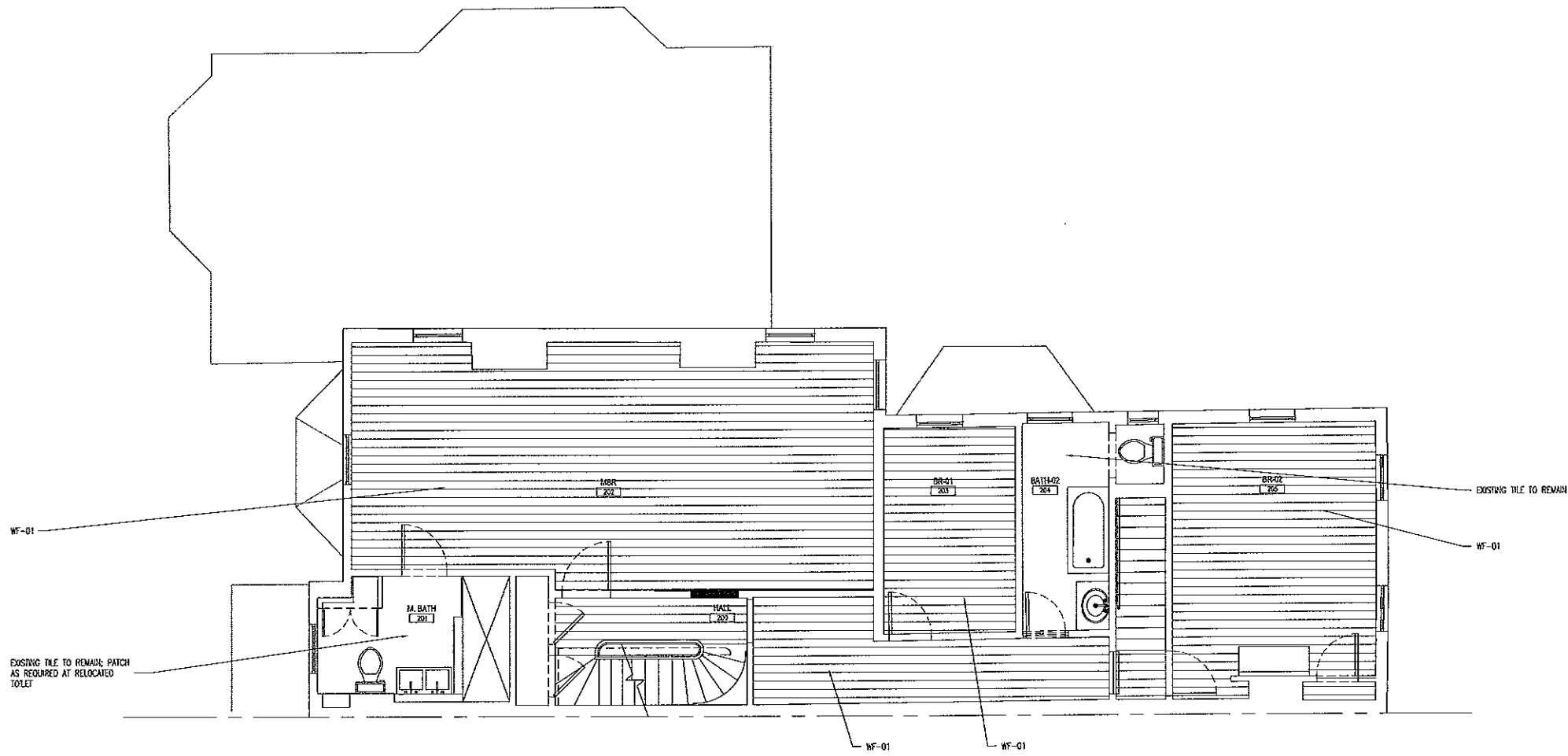
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FIRST FLOOR FINISH PLAN

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A3.0

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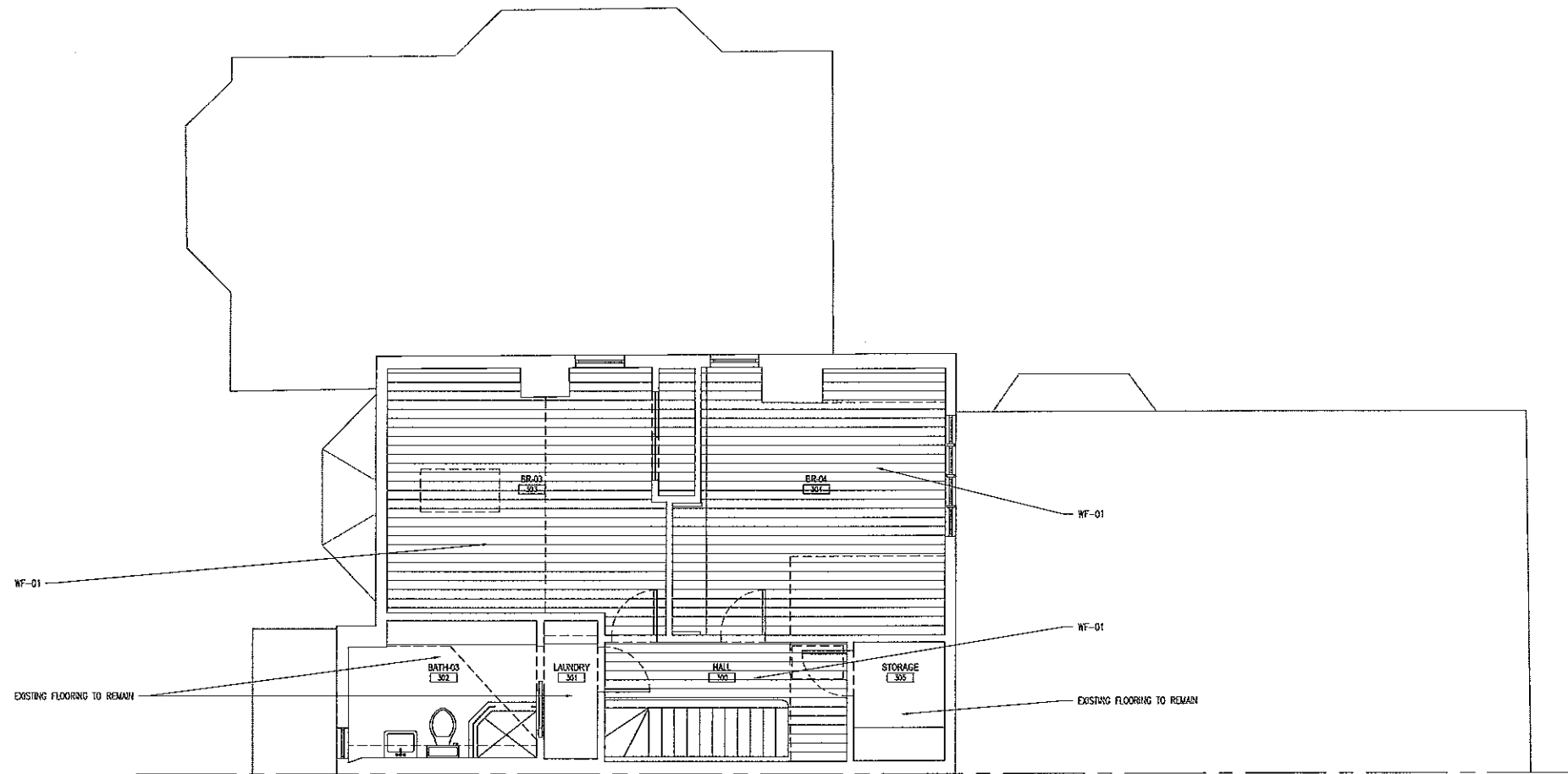
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SECOND FLOOR FINISH PLAN

PROGRESS SET
 NOT FOR CONSTRUCTION

A3.1



GENERAL NOTES - FLOOR FINISH PLAN

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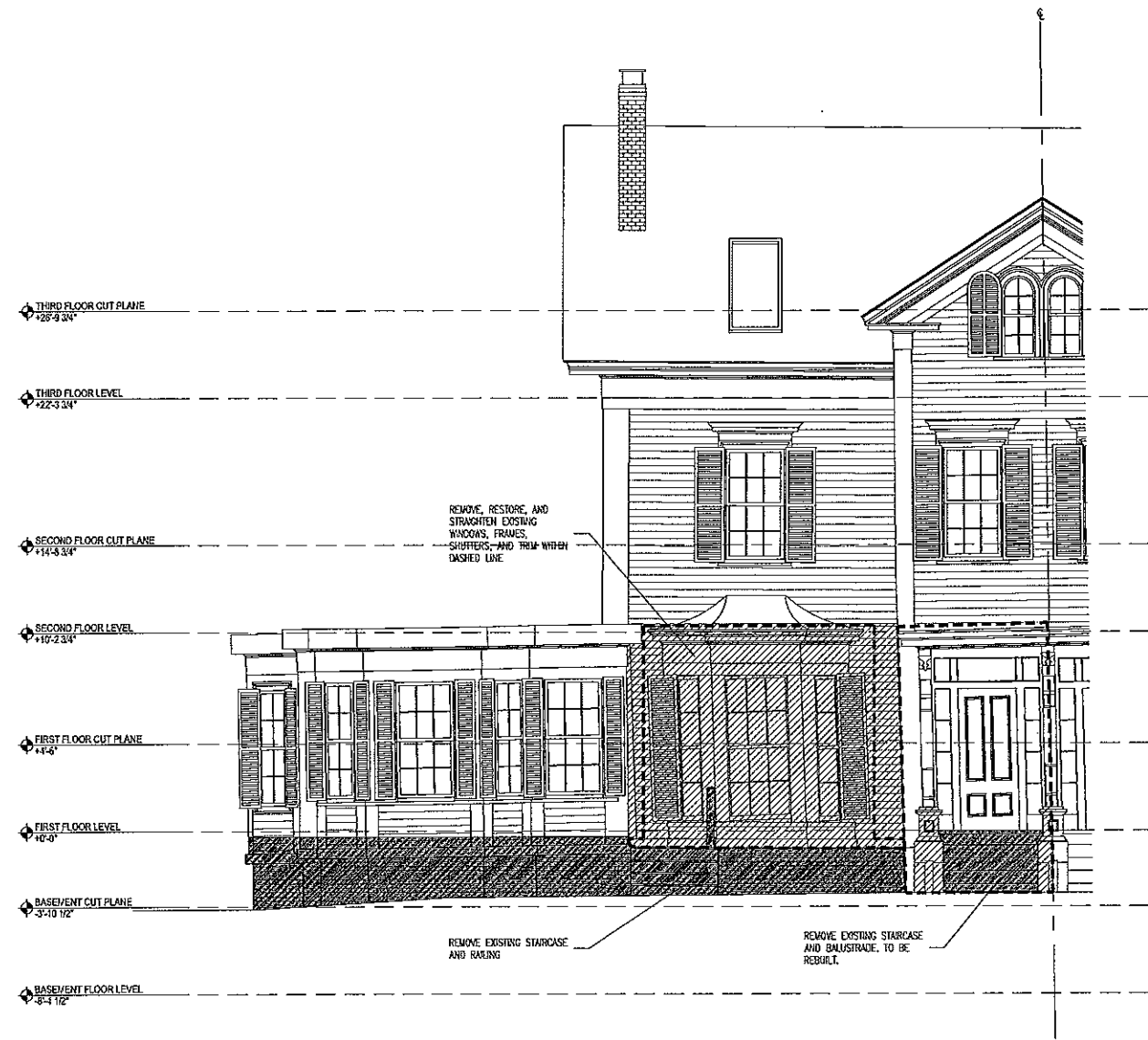
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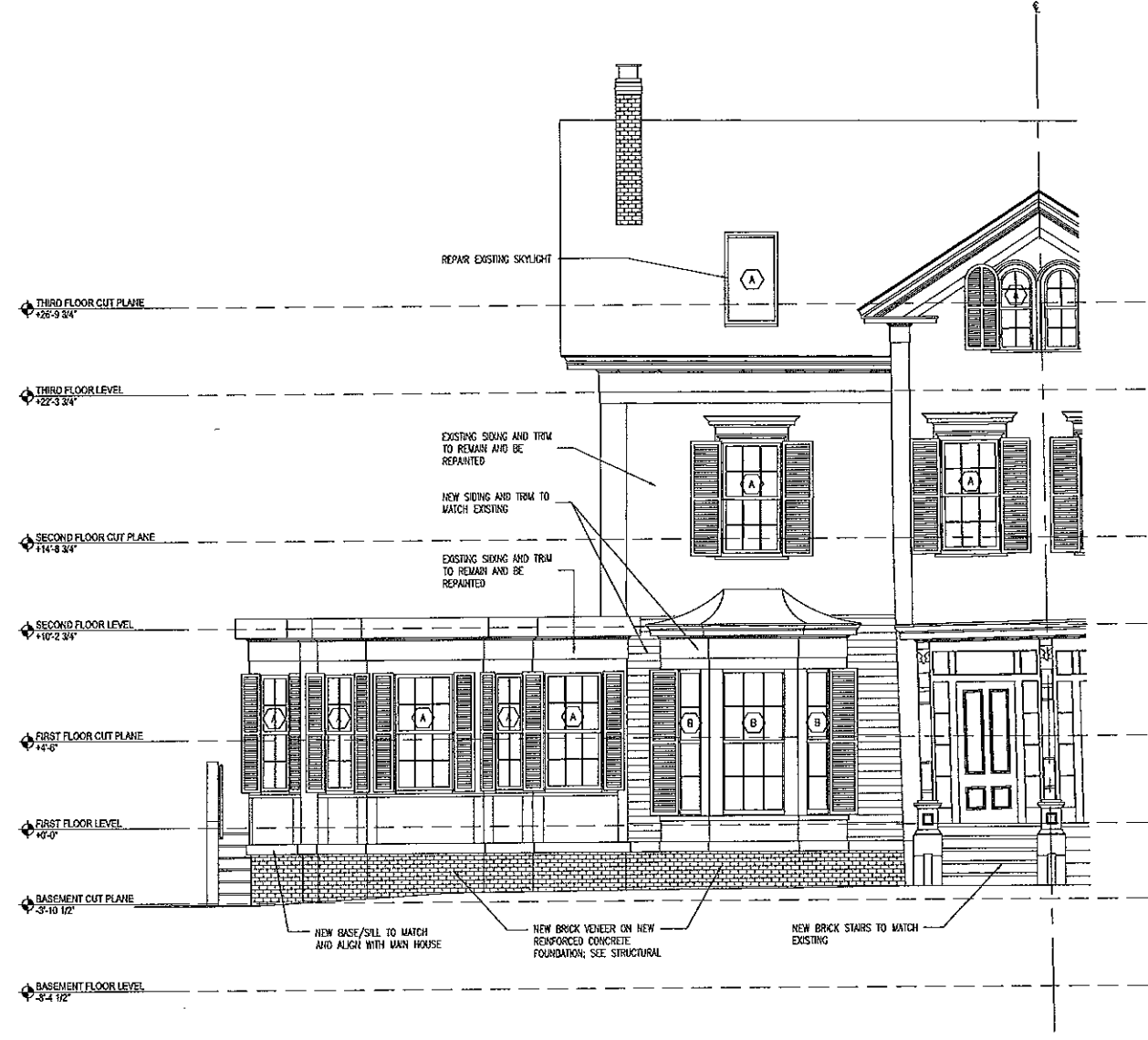
THIRD FLOOR FINISH PLAN

PROGRESS SET
 NOT FOR CONSTRUCTION

A3.2



A NORTH ELEVATION - EXISTING
 1/4" = 1'-0"



B NORTH ELEVATION - NEW
 1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

- INDICATES STRUCTURE TO BE REMOVED
- INDICATES FINISHES TO BE REMOVED
- INDICATES ITEMS TO BE PROTECTED OR SALVAGED

- A** INDICATES EXISTING WINDOW WITH RESTORED SASH, SASH CORD, HARDWARE, AND PAINT
- B** INDICATES LEVELED EXISTING WINDOW WITH RESTORED SASH, SASH CORD, HARDWARE, AND PAINT
- C** NEW DOUBLE-HUNG WINDOW WITH BOTTOM AIRING
- D** NEW DOUBLE-HUNG WINDOW WITH BOTTOM FIXED PANEL
- E** NEW DOUBLE-HUNG WINDOW
- F** NEW FOLDING DOORS
- G** NEW GLASS INSET DOOR

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION, SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMAIN. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.
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 SEE STRUCTURAL FOR NEW FOUNDATION.

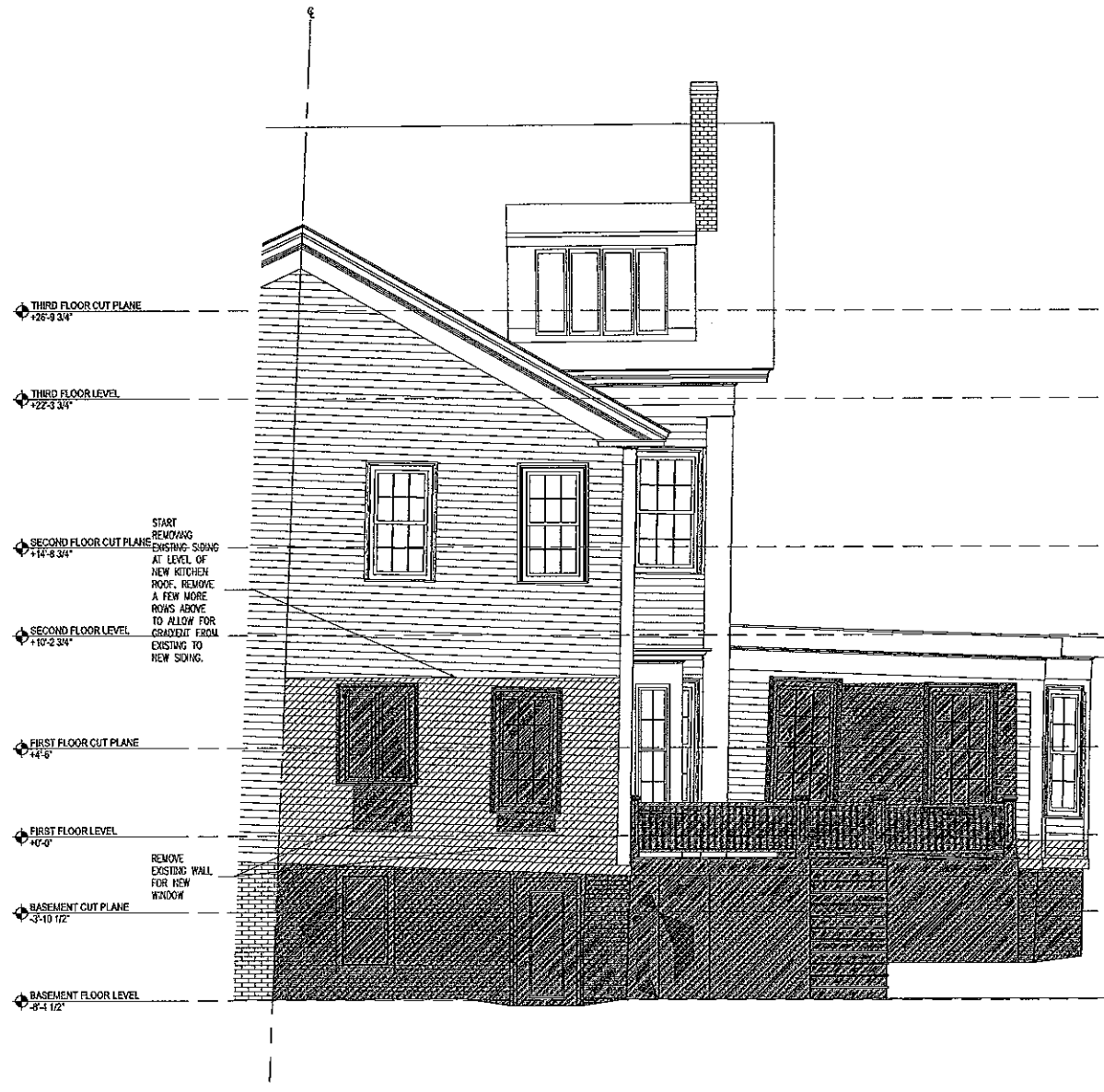
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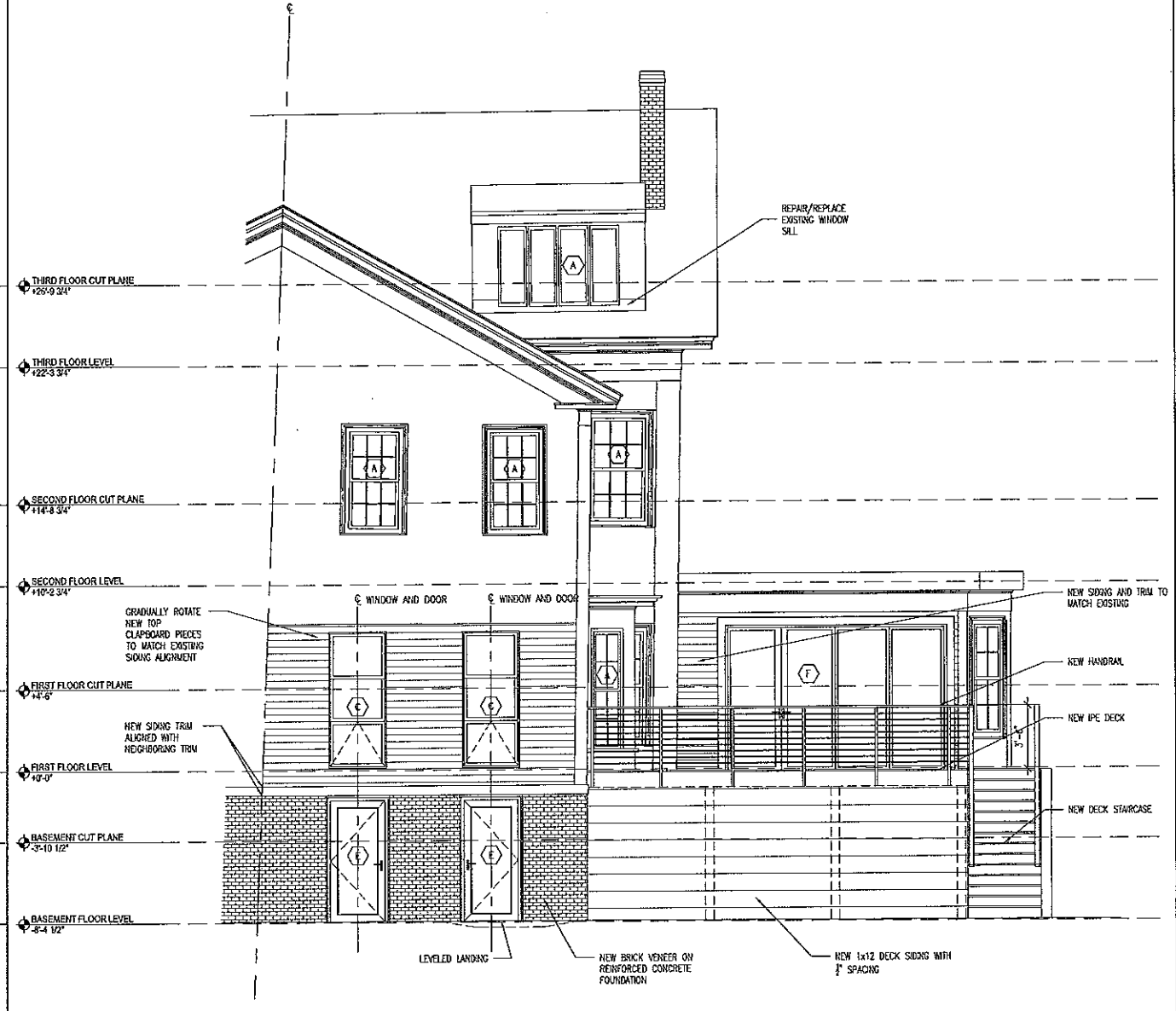
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EXTERIOR ELEVATIONS

PROGRESS SET
 NOT FOR CONSTRUCTION



A SOUTH ELEVATION - EXISTING
 1/4" = 1'-0"



B SOUTH ELEVATION - NEW
 1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

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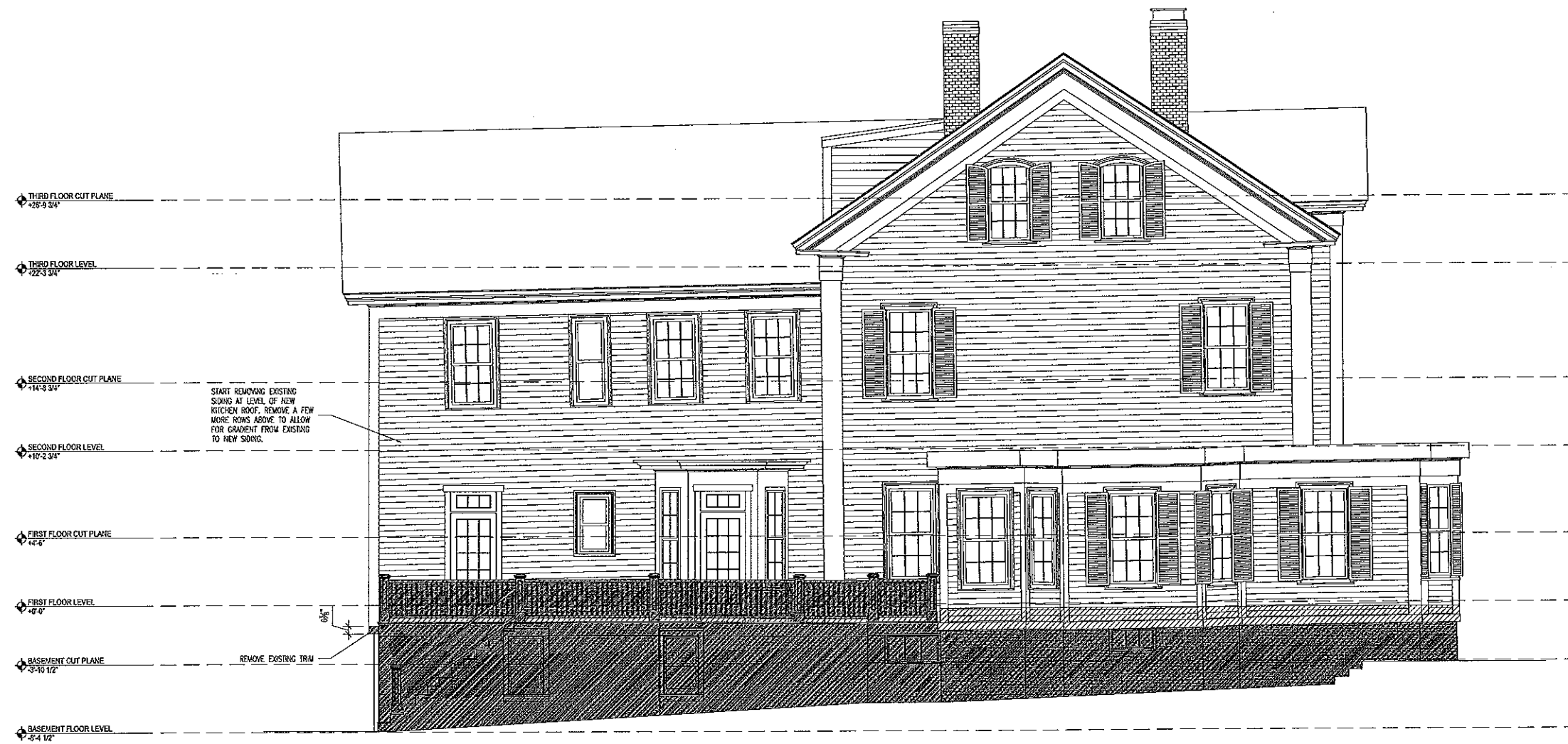
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EXTERIOR ELEVATIONS

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START REMOVING EXISTING SIDING AT LEVEL OF NEW KITCHEN ROOF. REMOVE A FEW MORE ROWS ABOVE TO ALLOW FOR GRADIENT FROM EXISTING TO NEW SIDING.

REMOVE EXISTING TRIM

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A EAST ELEVATION - EXISTING
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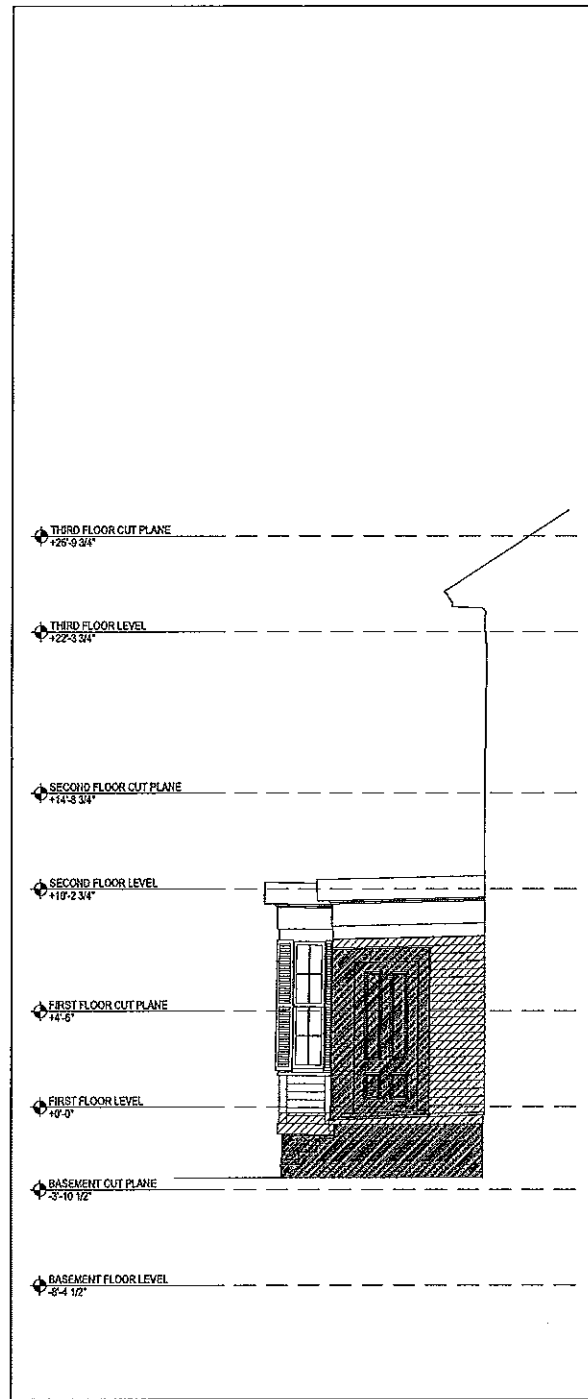
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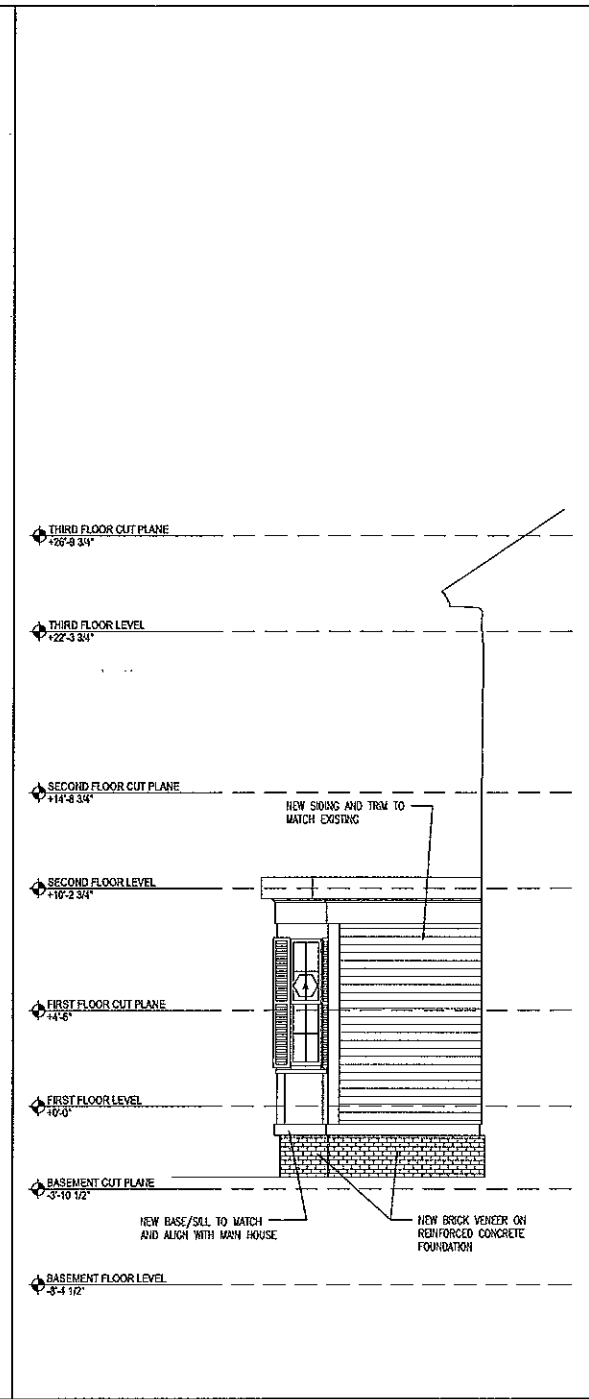
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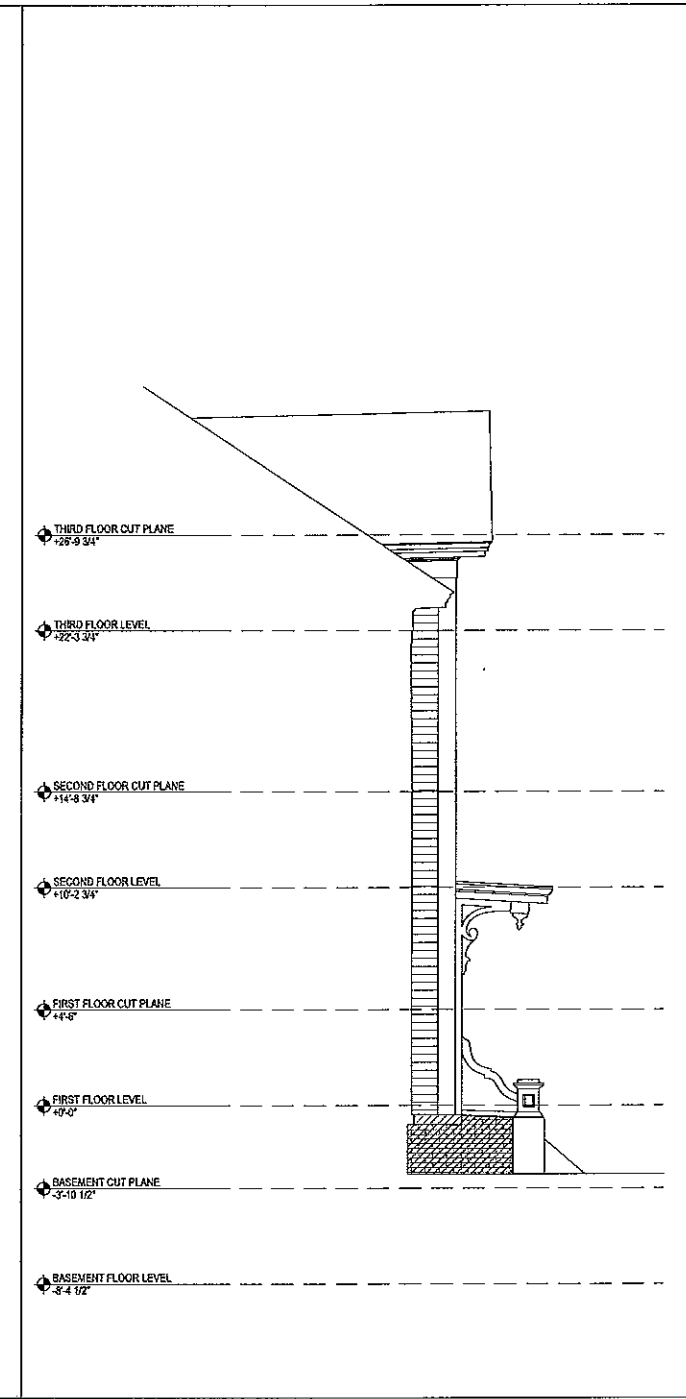
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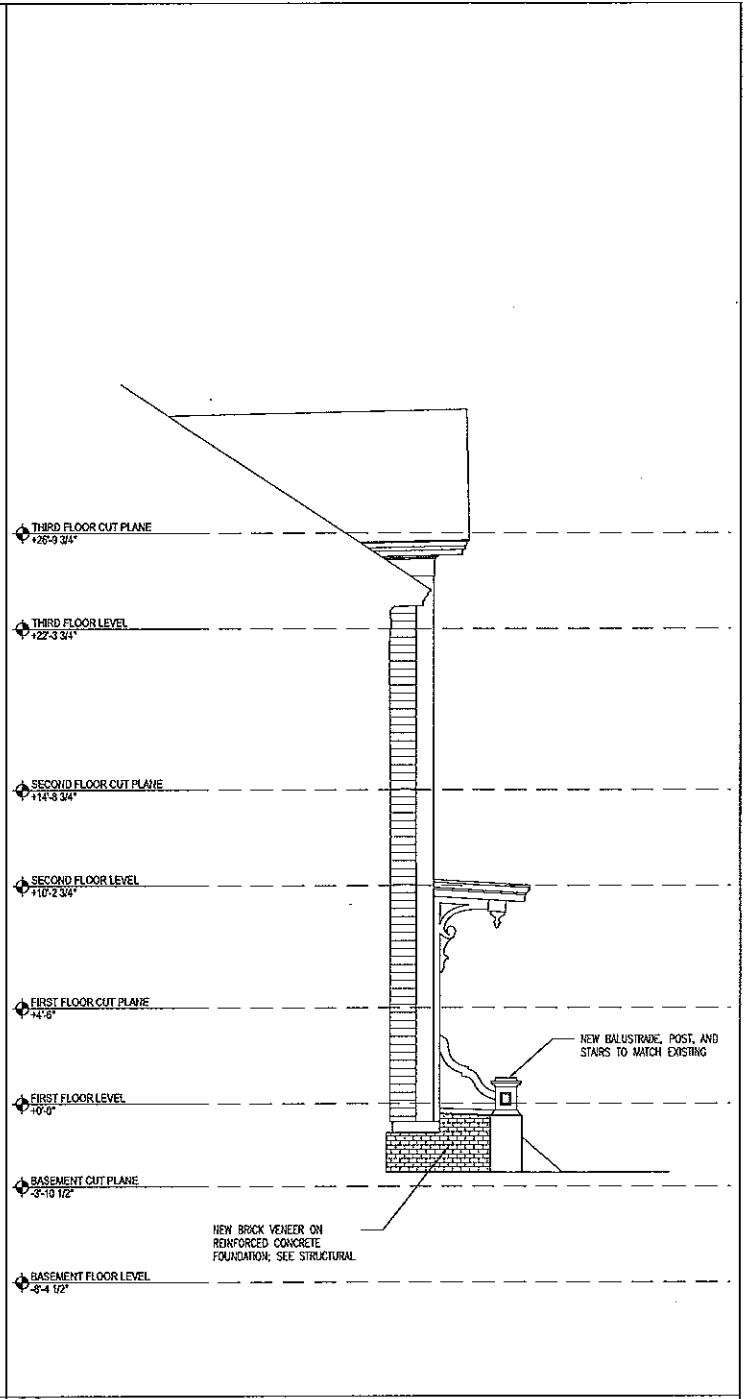
A PARTIAL WEST ELEVATION - EXISTING
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B PARTIAL WEST ELEVATION - NEW
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C PARTIAL EAST ELEVATION - EXISTING
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D PARTIAL EAST ELEVATION - NEW
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 SEE STRUCTURAL FOR NEW FOUNDATION.

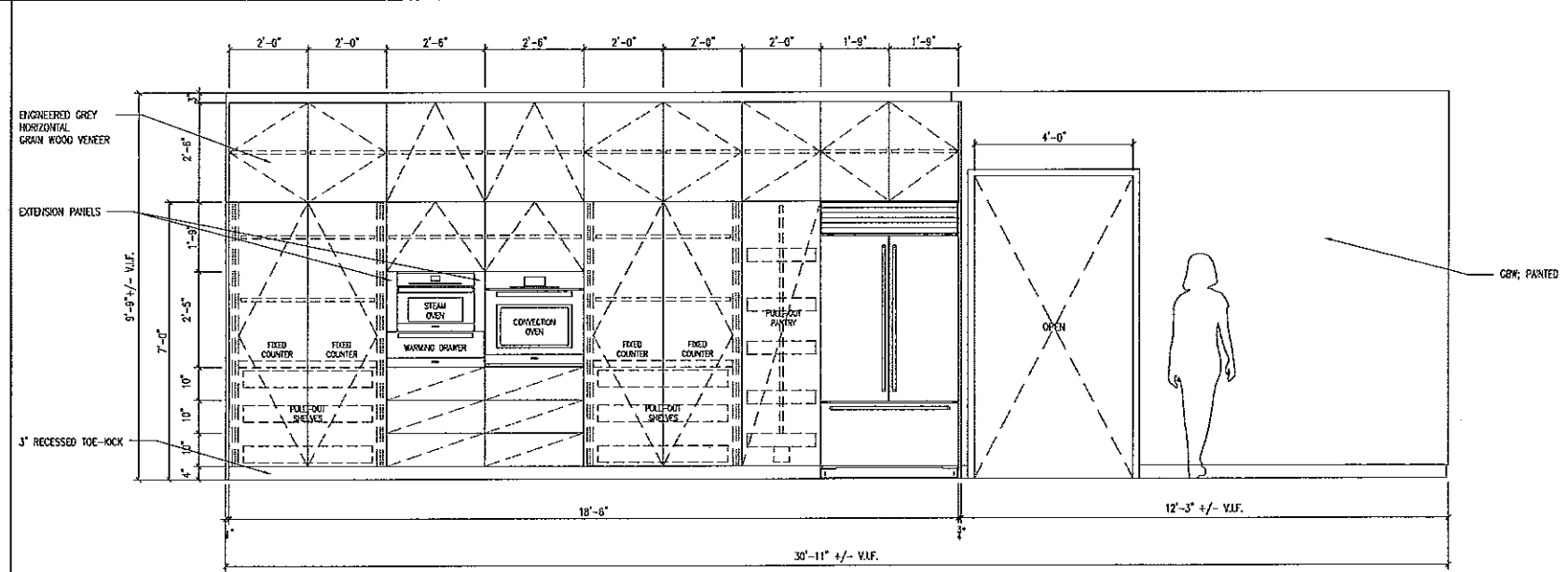
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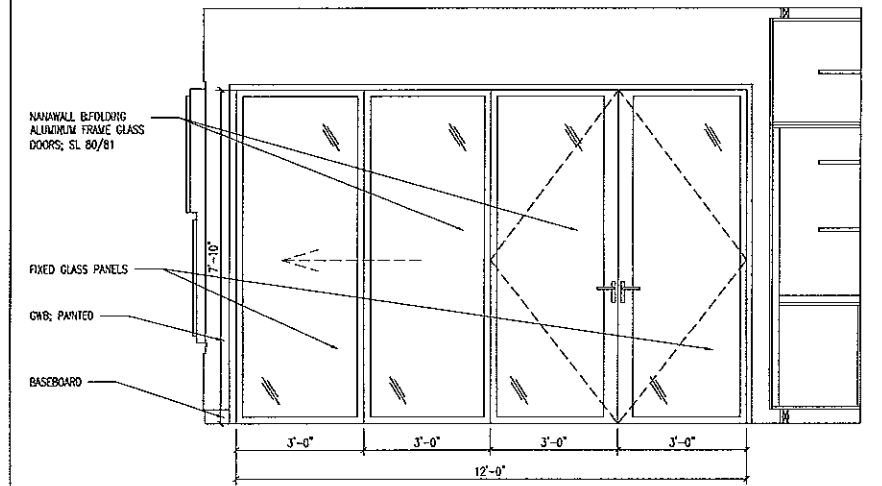
SCALE: AS NOTED
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EXTERIOR ELEVATIONS

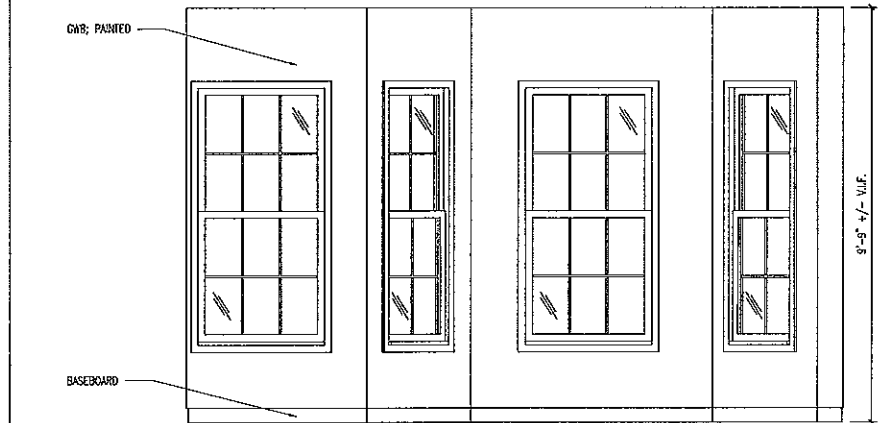
PROGRESS SET
 NOT FOR CONSTRUCTION



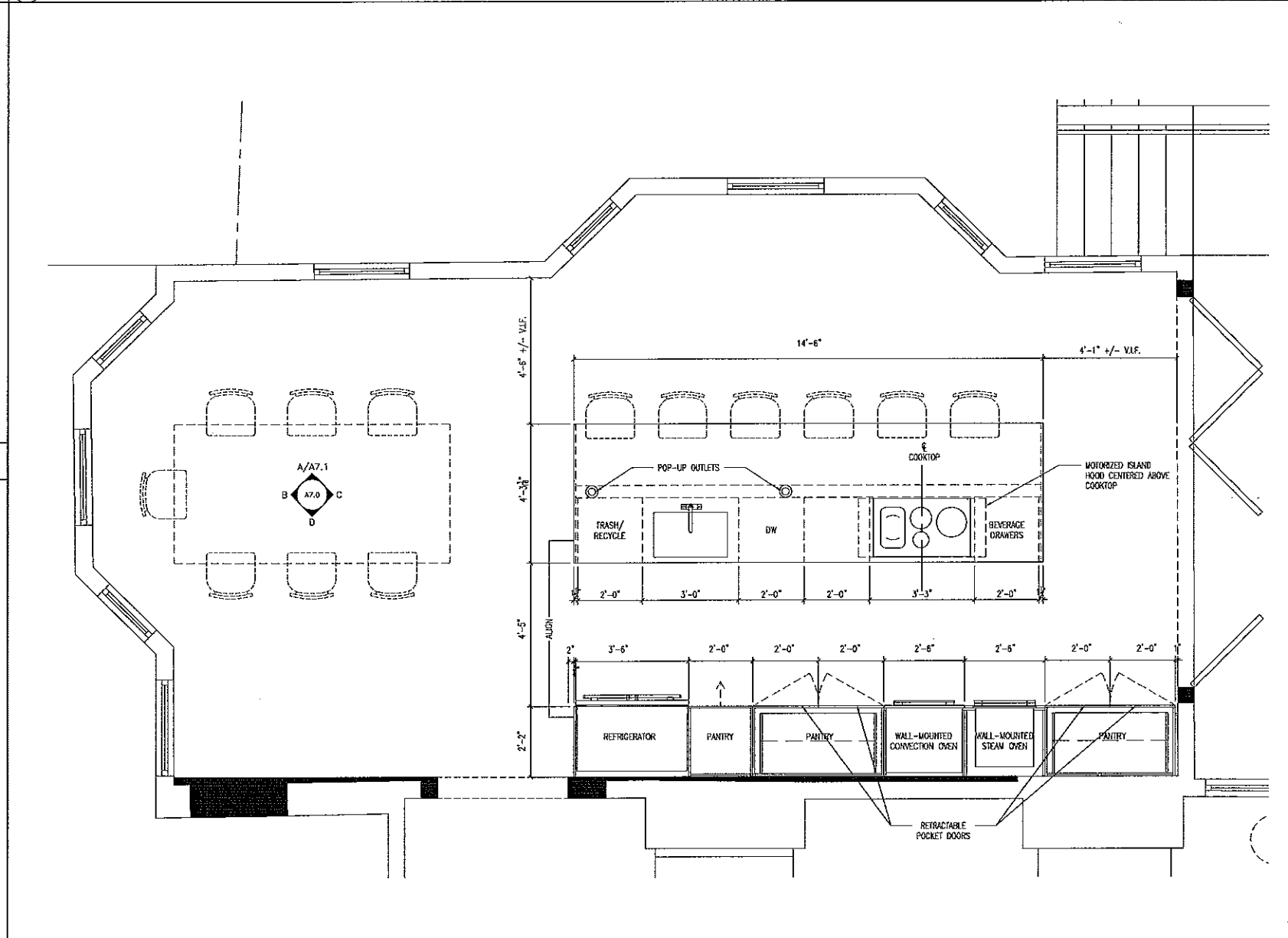
D INTERIOR ELEVATION - KITCHEN 103 WEST
 1/2" = 1'-0"



C INTERIOR ELEVATION - KITCHEN 103 SOUTH
 1/2" = 1'-0"



B INTERIOR ELEVATION - KITCHEN 103 NORTH
 1/2" = 1'-0"



A ENLARGED FLOOR PLAN - KITCHEN 103
 1/2" = 1'-0"

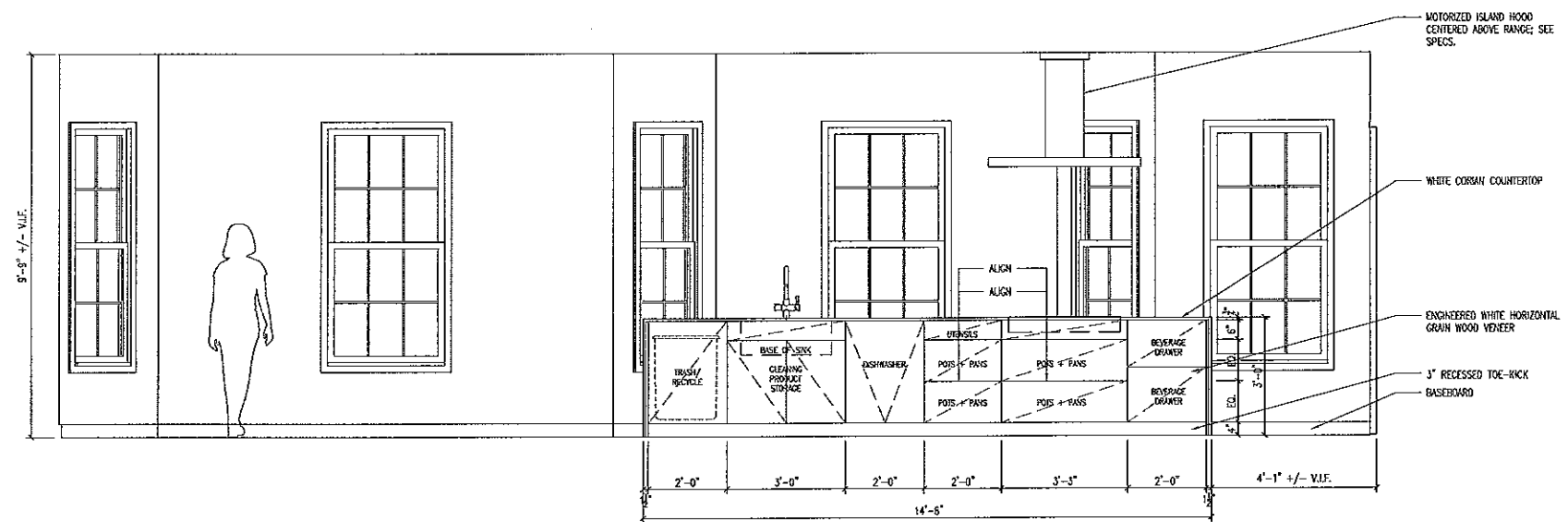
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KITCHEN ELEVATIONS

PROGRESS SET
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A INTERIOR ELEVATION - KITCHEN 103 EAST
 1/2" = 1'-0"

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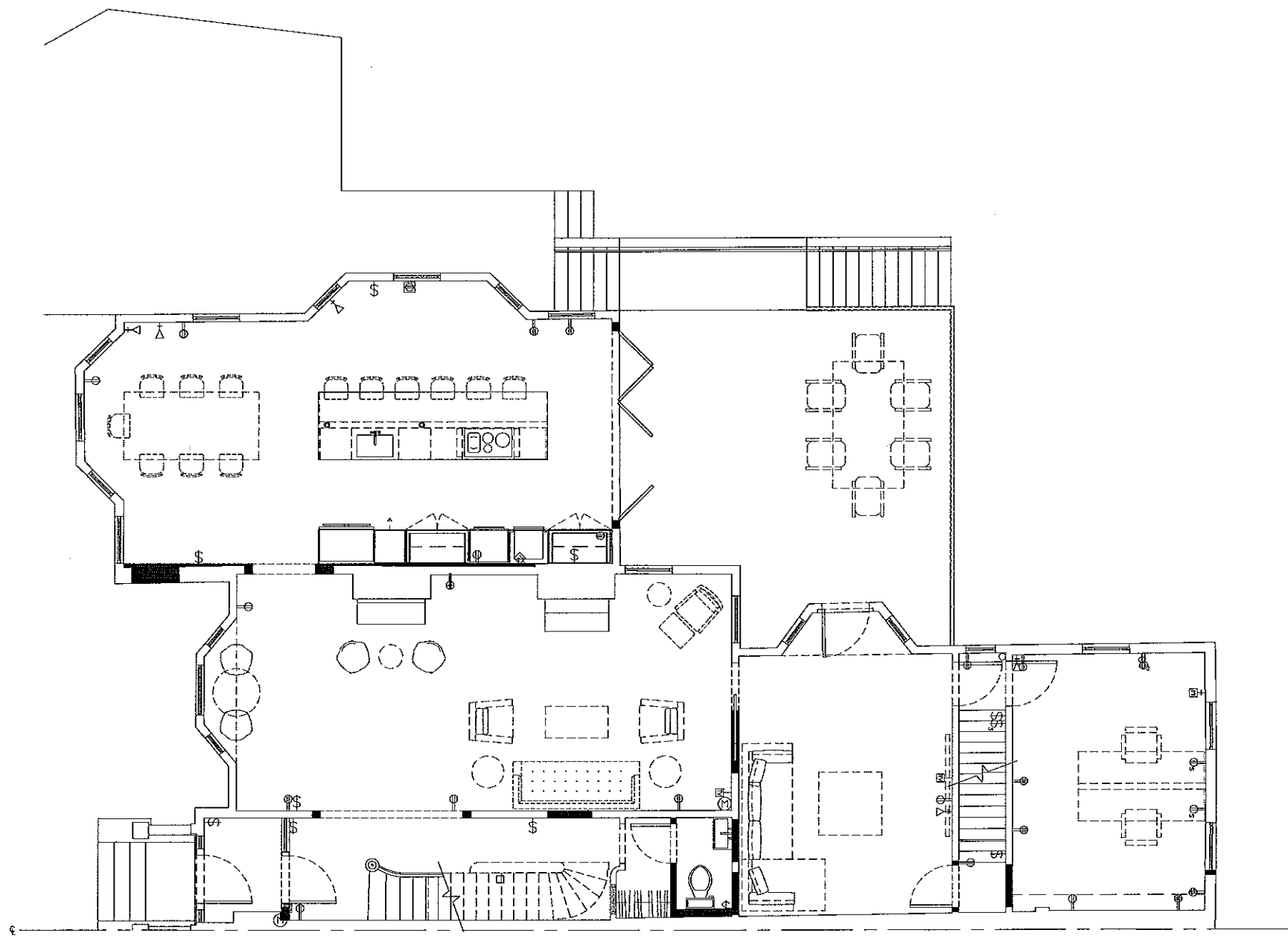
NUMBER	REVISION	DATE

SCALE: AS NOTED
 DRAWN BY: SK
 ISSUED: JANUARY 28, 2015

INTERIOR ELEVATIONS

PROGRESS SET
 NOT FOR CONSTRUCTION

A7.1



POWER & SWITCHING PLAN NOTES

SEE SPECIFICATIONS FOR COMPLETE REQUIREMENTS
LOCATIONS OF ALL FIXTURES AND OBJECTS MARKED (a) ARE APPROXIMATE, VERIFY LOCATIONS IN FIELD.
RCP SHOWS NEW/ADJUSTED SWITCHING AND RECEPTABLES ONLY. REFER TO DEMO RCP FOR EXISTING SWITCHING AND RECEPTABLE LOCATIONS AND NOTES.
REPLACE ALL EXISTING RECESSED LIGHTS AND TRIMS.
REPLACE ALL EXISTING BATHROOM EXHAUST FAN COVERS.
NEW FIXTURES IN EXISTING LOCATIONS TO PRESERVE EXISTING WIRING AND SWITCH LOCATIONS WITH NEW DIMMERS (SWITCHING PATHS OMITTED)
CONFIRM CODE-COMPLIANCE OF EXISTING RECEPTABLES AND LAYOUT IN EXISTING WALLS.
POWER AND SWITCHING PLANS REPRESENT THE DESIRED ARCHITECTURAL LOCATION OF RECEPTABLES AND SWITCHES AND ARE IN NO WAY COMPREHENSIVE OR CONCLUSIVE. CONTRACTOR SHALL

CONFIRM THAT NEW RECEPTABLES AND SWITCHING IN CONJUNCTION WITH THAT WHICH IS EXISTING, MEET ALL REQUIREMENTS BY CODE.
PLAN INDICATION OF POWER IS DIAGRAMMATIC ONLY. CONTRACTOR TO DETERMINE REQUIRED CIRCUITS.
PROVIDE POWER TO ALL EQUIPMENT, APPLIANCES AND LIGHTING SHOWN ON OTHER DRAWINGS OR INDICATED IN THE SPECIFICATIONS.
MOUNT DEVICES 18" ABOVE FINISH FLOOR OR 6" ABOVE WORK SURFACE UNLESS NOTED OTHERWISE.
GANG ADJACENT DEVICES, INCLUDING POWER, TELEPHONE, AND CABLE TV, BEHIND SINGLE UNINTERRUPTED COVERPLATES.
SEE ELEVATIONS AND CASEWORK DETAILS FOR FURTHER INFO.
ALL NEW LIGHT FIXTURES + SWITCHING TO BE DIMMABLE
MARK LIGHTING LOCATIONS AND IDENTIFY CONFLICTS; MARK PROPOSED REALIGNMENTS AND SUBMIT TO ARCHITECT FOR REVIEW IN FIELD.

- SWITCH CONNECTION
- ⌚ SINGLE POLE SWITCH
- ⌚⌚ 2-WAY SWITCH
- ⌚⌚⌚ 3-WAY SWITCH
- ⌚⌚⌚⌚ DUPLEX RECEPTACLE
- ⌚⌚⌚⌚⌚ TRIPLEX RECEPTACLE
- ⌚⌚⌚⌚⌚⌚ SWITCH AND DUPLEX RECEPTACLE
- ⌚⌚⌚⌚⌚⌚⌚ FLOOR RECEPTACLE
- ⌚ CABLE TV
- ⌚ PHONE JACK OR DATA JACK
- ⌚ THERMOSTAT, E= EXISTING
- ⌚ SWITCH?
- ⌚ ?

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FIRST FLOOR POWER + SWITCHING PLAN

PROCESSED SET
NOT FOR CONSTRUCTION

A FIRST FLOOR POWER + SWITCHING PLAN
1/4" = 1'-0"