



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 MAR 13 PM 2:21

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 261310

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: Margaret J. Blumenreich, Trustee of the 123 Brattle Street Realty Trust C/O Michael W. Wiggins, Attorney.

PETITIONER'S ADDRESS: ONE LIBERTY SQUARE STE 600, Boston, MA 02109

LOCATION OF PROPERTY: 123 Brattle St., Cambridge, MA

TYPE OF OCCUPANCY: Single Family

ZONING DISTRICT: Residence A-1 Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Small one story addition to existing house to add first floor bedroom and bath

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000 Section: 8.22.3 (Non-Conforming Structure).
Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

*Margaret J. Blumenreich Trustee
of the 123 Brattle Street Realty Trust
by Michael W. Wiggins Attorney duly
authorized*

MARGARET J. BLUMENREICH TRUSTEE OF THE
123 BRATTLE STREET REALTY TRUST BY
MICHAEL W. WIGGINS (Print Name)
DULY AUTHORIZED

Address:

One Liberty Square Ste 600 Boston, MA 02109

Tel. No.

617 880 6313

E-Mail Address:

mww@westonpatrick.com

Date: 3/13/2024

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Margaret J. Blumenreich Trustee of 123 Brattle Street Realty Trust
(OWNER)

Address: 123 Brattle Street, Cambridge MA

State that I/We own the property located at 123 Brattle Street, which is the subject of this zoning application.

The record title of this property is in the name of Margaret J. Blumenreich Trustee of the 123 Brattle Street Realty Trust

*Pursuant to a deed of duly recorded in the date Aug 1, 2022, Middlesex South County Registry of Deeds at Book 80515, Page 359; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

Margaret J. Blumenreich Trustee of 123 Brattle Street Realty Trust by Michael W. Wiggins Attorney
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT* duly authorized

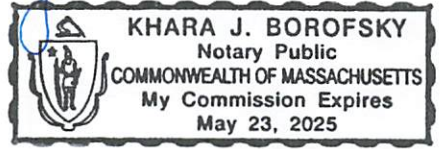
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

The above-name Michael W. Wiggins personally appeared before me, this 8th of March, 2024, and made oath that the above statement is true.

Khara J. Borofsky Notary

My commission expires May 23, 2025 (Notary Seal).



• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

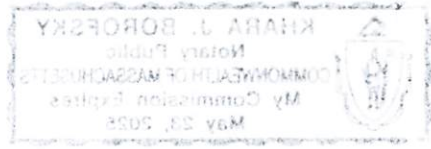
198 Franklin Street, Cambridge, MA
198 Franklin Street

198 Franklin Street, Cambridge, MA
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198 Franklin Street, Cambridge, MA
198 Franklin Street

198 Franklin Street
198 Franklin Street



May 23, 2025

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The addition of a very small first floor bedroom and bath will provide first floor aging in place space for the owner with only a very small portion of the addition, consisting of an area of only 6.45 square feet, projecting 2.5 feet into the rear yard. Such a de minimis encroachment is needed in order to afford adequate space for the proposed bedroom and bathroom

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

There is more than sufficient of floor area to accommodate the addition, and the only reason that a variance is needed is due to the unusual shape of the lot which results in an a typical rear yard calculation that results in a very slight encroachment being needed.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The relief to be granted is truly de minimis and will not intrude upon any abutters' privacy or views. It will not be visible either from Brattle Street or the common driveway off of Brattle Street that this property shares with other lots, and it will be well shielded from abutting lots to the rear by a high common fence and mature vegetation that will not be disturbed by the construction of this small addition.

2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The small area of encroachment in the rear yard that is needed in order for the addition meet the owner's needs for a first floor bedroom to permit aging in place will in no way interfere with the use and enjoyment of other abutting lots, and is clearly justified by the unusual shape of the lot.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Margaret J. Blumenreich, Trustee of the 123
Brattle Street Realty Trust
Location: 123 Brattle St., Cambridge, MA
Phone: 617 880 6313

Present Use/Occupancy: Single Family
Zone: Residence A-1 Zone
Requested Use/Occupancy: single family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2,167.82	2,340.66	3,355.50	(max.)
<u>LOT AREA:</u>		6,711	6,711	8,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.33	.35	.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>		6,711	6,711	6,000	
<u>SIZE OF LOT:</u>	WIDTH	77.9	77.9	80	
	DEPTH	112.0	112.0	100	
<u>SETBACKS IN FEET:</u>	FRONT	20	20	25	
	REAR	30.2	25.5	28	
	LEFT SIDE	30.1	30.1	15.0 sum to 35	
	RIGHT SIDE	13.8	13.8	15 sum to 35	
<u>SIZE OF BUILDING:</u>	HEIGHT	24.7	24.7	35	
	WIDTH	49	59	n/a	
	LENGTH	32.0	32.0	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		82%	80%	50%	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		2	2	1	
<u>NO. OF LOADING AREAS:</u>		n/a	n/a	n/a	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		12	n/a	10	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Existing shed in rear yard to be removed. Construction of addition to be wood frame with pitched shingle roof.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BLUMENREICH ADDITION

123 Brattle Street, Cambridge, MA 02138

ARCHITECT

CHARLES R. MYER & PARTNERS, LTD.
875 MAIN STREET
CAMBRIDGE, MA 02139
617.876.9062 tel.
617.576.9109 fax

GENERAL CONTRACTOR

S+H CONSTRUCTION
45 BRIGHTON ST.
BELMONT, MA 02478
617.876.8286 tel.

STRUCTURAL ENGINEERING

LEBRASSEUR ENGINEERING
1194 WALNUT STREET, SUITE #202
NEWTON HIGHLANDS, MA 02461
617.965.5955 tel.

SURVEYORS

MERIDIAN ASSOCIATES, INC.
500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MA 01915
978.299.0447 tel.

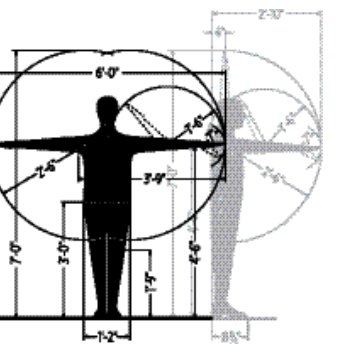
VALUES FOR PROPOSED NEW CONSTRUCTION 225 CMR 22, MA Residential Specialized Stretch Code; IECC 2021 With MA Amendments (Note: Section R502 Additions, subsection R502.1)

Project Address:	123 Brattle Street – Cambridge, MA
General Contractor:	S+H Construction – Belmont, MA
Architect:	Charles R. Myer & Partners, Ltd. – Cambridge, MA
Climate Zone:	5
Roof R-value:	R60 – 9 1/2" of high-density closed cell foam insulation (6.5/inch)
Floor R-value:	R50 – 8" of high-density closed cell foam insulation (6.5/ inch)
Above grade walls R-value:	R30 – Full depth high-density closed cell spray foam insulation (6.5/inch)
Foundation walls R-value:	R20 – Closed cell spray foam insulation applied to interior of foundation wall within stick framing
	R10 – 2 3/8" thk. continuous rigid insulation applied to exterior of foundation walls
Under slab R-value:	R10 – 2" thk. continuous rigid insulation
Double hung window U-value:	0.29
Double hung window SHGC:	0.26
Fixed window U-value:	0.28
Fixed window SHGC:	0.28
Lighting:	100% high-efficiency
Duct insulation R-value:	R8
HW circulation pipes:	R3
Air barrier:	See note below*
HVAC:	Utilize existing system
Domestic hot water:	Utilize existing system

*Air barrier: New sheathing to be glued to framing and taped, use high-density closed cell spray foam insulation in all framing cavities, and seal all openings for windows, doors, & mechanical penetrations with caulk, gaskets, or spray foam.

SCOPE OF WORK

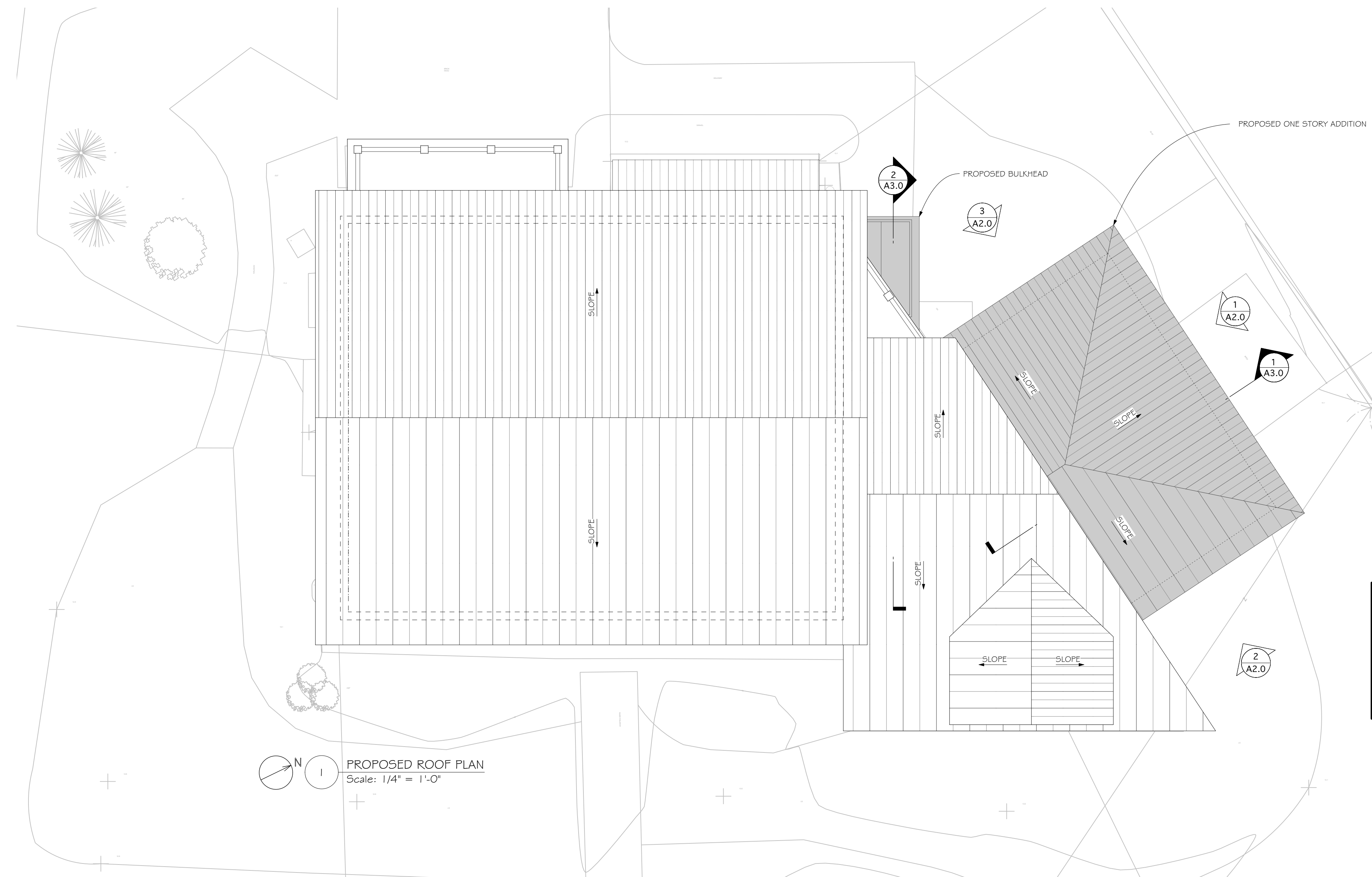
THE PROPOSED WORK SHOWN ON THE DRAWINGS PROVIDES FOR A ONE-STORY ADDITION, WITH A FULL HEIGHT BASEMENT BELOW, AND A NEW BULKHEAD BASEMENT ENTRY TO REPLACE AN EXISTING BULKHEAD. THE ADDITION IS COMPRISED OF A BEDROOM AND FULL BATHROOM TO REPLACE AN EXISTING POWDER ROOM.



Charles R. Myer & Partners
875 Main Street
Cambridge, MA
02139
617.876.9062

List of Drawings

AO.0	COVER SHEET
AO.1	ZONING ANALYSIS
AO.2	GFA CALCULATIONS & SUMMARY
SURVEY	
PG. 1 OF 1	RECORD CONDITIONS PLAN
PG. 1 OF 1	PROPOSED PLOT PLAN
A1.0	
A1.0	DEMOLITION PLANS
A1.1	BASEMENT FLOOR PLAN
A1.2	FIRST FLOOR PLAN & DETAILS
A2.0	
A2.0	ADDITION & BULKHEAD EXTERIOR ELEVATIONS
A3.0	
A3.0	BULKHEAD ENTRY & ADDITION SECTIONS
A4.0	
A4.0	WALL SECTIONS & DETAILS @ ADDITION & BULKHEAD ENTRY
A5.0	
A5.0	PROPOSED BASEMENT STORAGE SPACE & FIRST FLOOR BEDROOM ELEVATIONS
A5.1	FIRST FLOOR BATHROOM ELEVATIONS
E1.0	
E1.0	BASEMENT & FIRST FLOOR ELECTRICAL PLANS
STRUCTURAL	
S-0	STRUCTURAL NOTES & DETAILS
S-1	FOUNDATION PLAN & DETAILS
S-2	FIRST FLOOR FRAMING PLAN & DETAILS
S-3	CEILING FRAMING PLAN & DETAILS
S-4	ROOF FRAMING PLAN & DETAILS
S-5	BUILDING SECTIONS & DETAILS

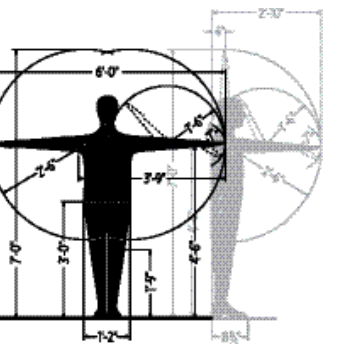


BLUMENREICH ADDITION
123 Brattle Street, Cambridge, MA 02138

Issue	Date
PERMIT SET	03/07/24

Cover Sheet

A0.0



Charles R. Myer & Partners
 875 Main Street
 Cambridge, MA
 02139
 617.876.9062

Zoning District: Residential A-1				
		Required	Existing	Proposed
LOT	Lot Size	8,000 s.f. (min.)	6,611 s.f. (parcel 2) 100 s.f. (parcel 1)	No change
	Lot Width	80' (min.)	77.9'	No change
	F.A.R.	.50 (max.)	0.33 (2,167.82 s.f. / 6,611 s.f.) ²	.35 (2,340.66 s.f. / 6,611 s.f.) ²
	Frontage	20' (min.)	79.88'	No change
	Lot Area/ D.U.	6,000 (min.)	6,611 s.f.	No change
	Ratio of Private Open Space to Lot Area	50% (min.)	82% (parcel 2) (see survey)	80% ³
	Permeable Open Space	50% of private open space (min.)	69% (parcel 2) (see survey)	66% ⁴
BUILDING HEIGHT		35' (max.)	24.7' (see survey)	No change
# OF PARKING SPACES		NA	-	No change
SETBACKS	Front	25' (min.)	30'	No change
	Side	15' sum to 35' (min.)	13.8' sum to 43.9'	No change
	Rear	28' (min.) ⁷	30.2'	Proposed addition encroaches 2.5' into set-back (see survey)

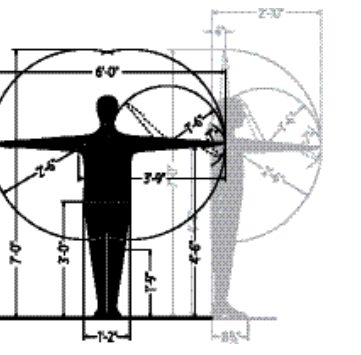
Notes:
 1. Parcel 2 is pre-existing non-conforming in area.
 2. See accompanying plans & tables for G.F.A. information.
 3. 5,430 s.f. (existing open space) + 48.6 s.f. (existing shed to be removed) - 221.5 s.f. (addition) = 5,208.5 s.f. (proposed private open space) / 6,611 s.f. (parcel 1 area) = 0.80 = 80%
 4. 4,560 s.f. (existing permeable open space) + 48.6 s.f. (existing shed to be removed) - 29 s.f. (net proposed bulkhead area) - 221.5 s.f. (addition) = 4,358.1 s.f. (proposed permeable open space) / 6,611 s.f. (parcel 1 area) = .66 = 66%
 5. Existing house extends into the front yard setback, and is therefore pre-existing, non-conforming.
 6. Existing house extends into the side yard setback, and is therefore pre-existing, non-conforming.
 7. Survey indicates rear yard setback. Determination of front, side and rear lot lines and associated setbacks was made by Stephen Natola and Ranjit Singanayagam at Cambridge Inspectional Services Department.
 8. Area of proposed addition that encroaches into rear yard setback = 46.45 sq. ft.

BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138

Issue	Date
PERMIT SET	03/07/24

Zoning Analysis

A0.1



Charles R. Myer & Partners
 875 Main Street
 Cambridge, MA
 02139
 617.876.9062

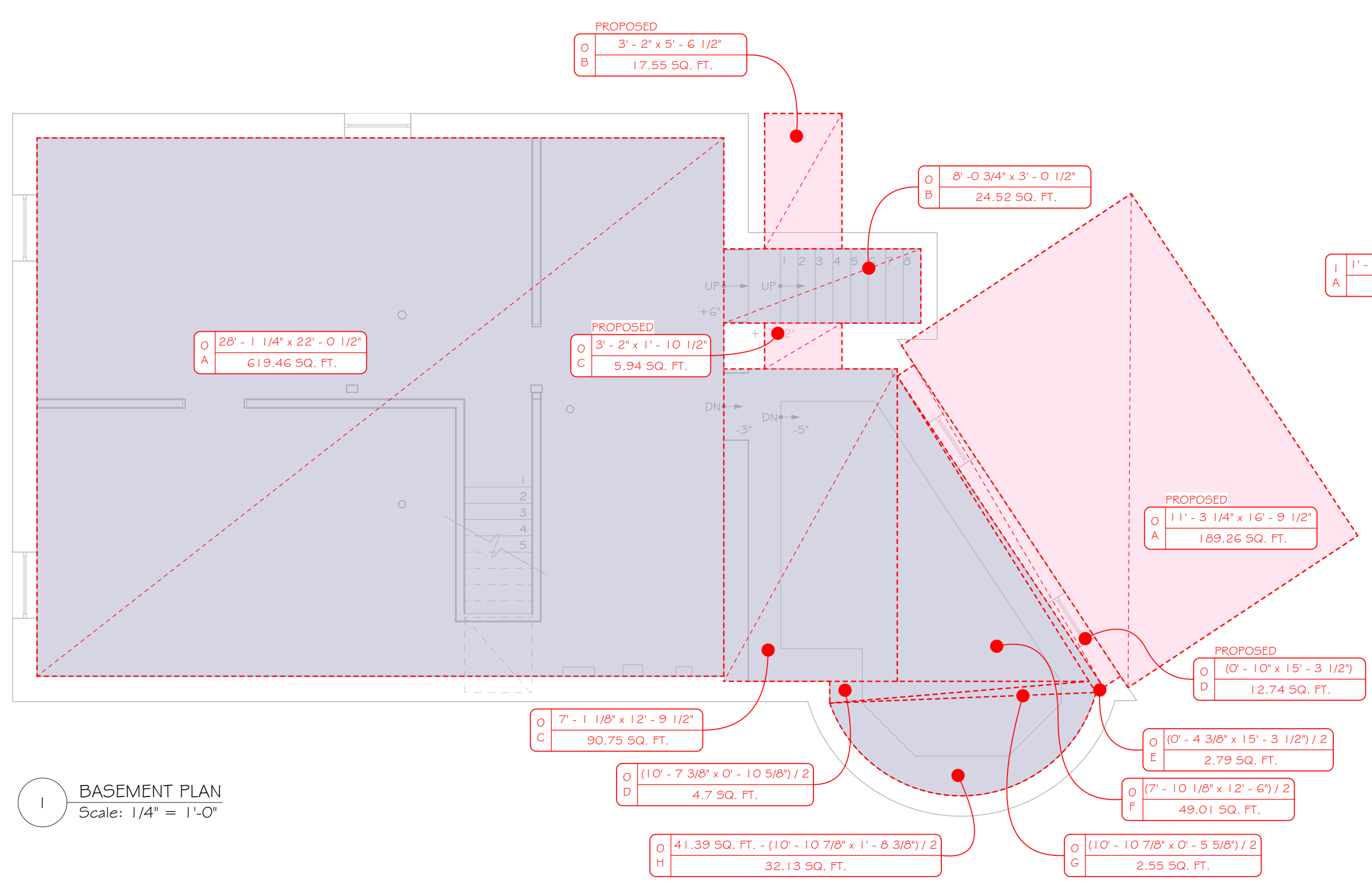
BLUMENREICH ADDITION

123 Brattle Street, Cambridge, MA 02138

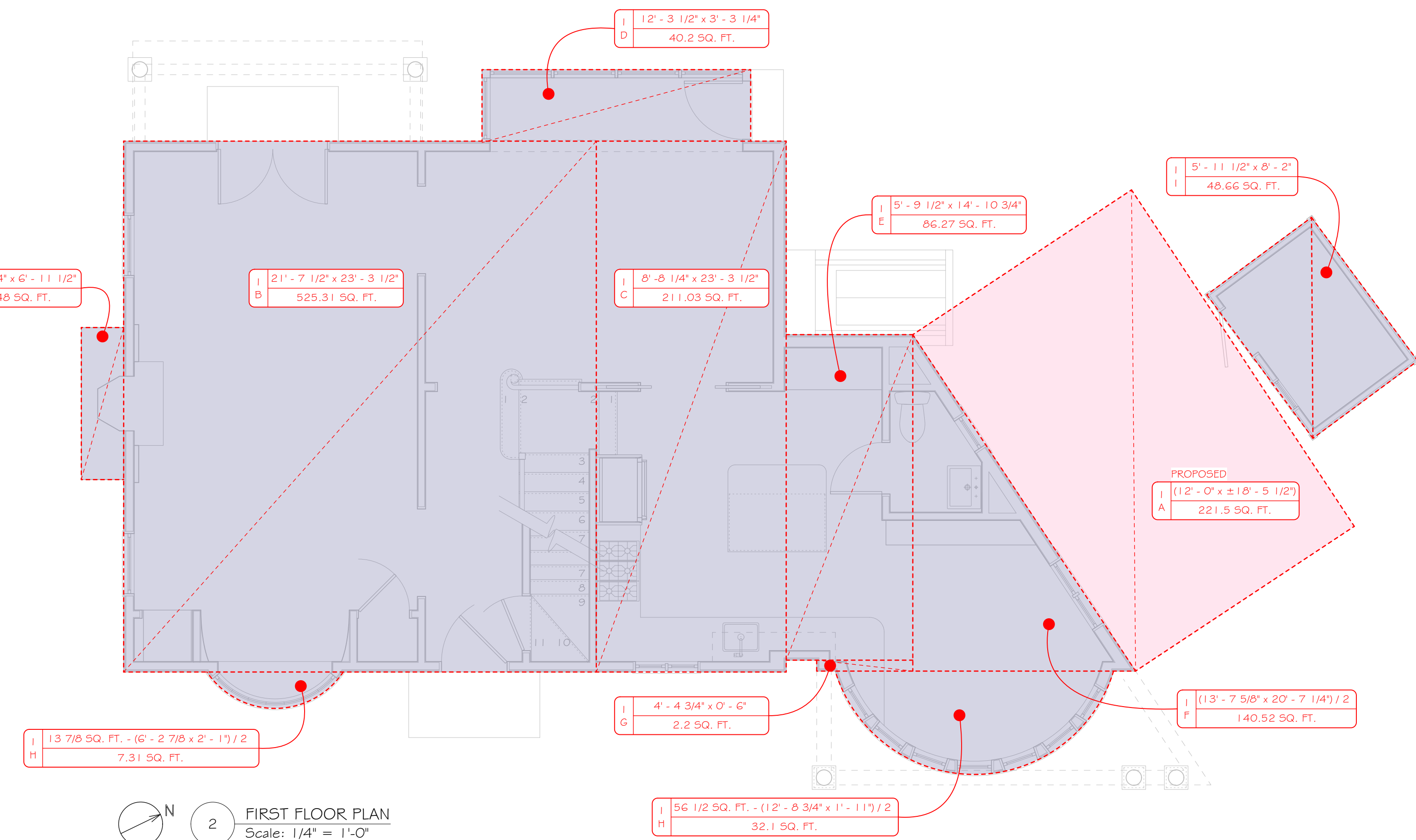
Issue: _____ Date: _____
 PERMIT SET: 03/07/24

G.F.A. Calculations & Summary

A0.2



1 BASEMENT PLAN
 Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

G.F.A. KEY:

	EXISTING HOUSE
	PROPOSED HOUSE

EXISTING SQ. FT. (BASEMENT)	G.F.A. TOTAL
OA	619.46
OB	24.52
OC	90.75
OD	4.70
OE	2.79
OF	49.01
OG	2.55
OH	32.13
TOTAL	825.91

PROPOSED SQ. FT. (BASEMENT)	G.F.A. TOTAL
OA	189.26
OB	17.55
OC	5.94
OD	12.74
TOTAL	225.49

PROPOSED SQ. FT. (FIRST FLOOR)	G.F.A. TOTAL
IA	221.50
TOTAL	221.50

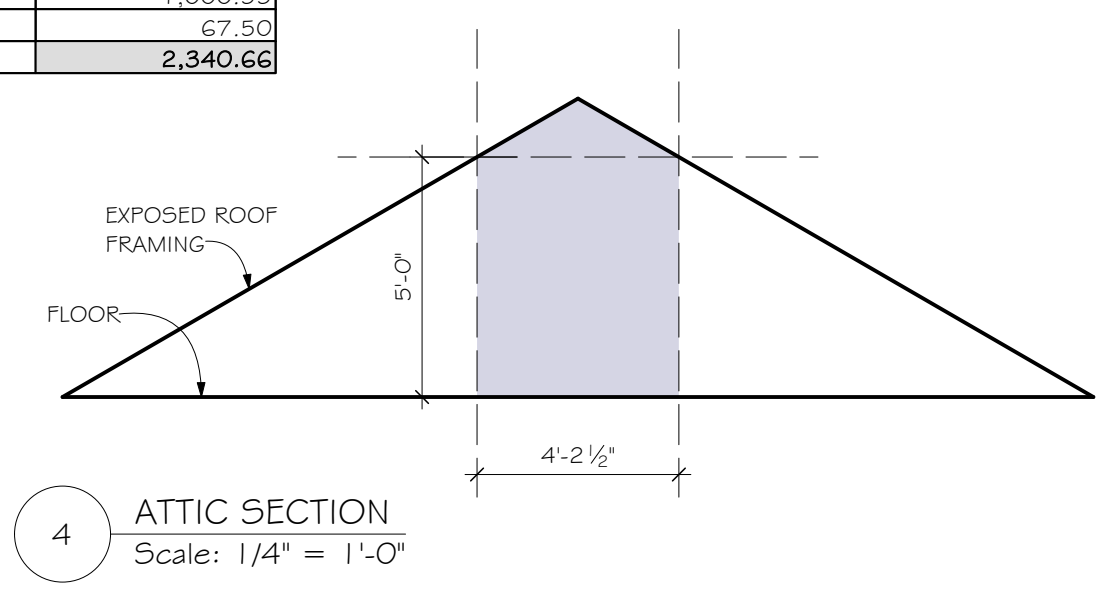
EXISTING SQ. FT. (FIRST FLOOR)	G.F.A. TOTAL
IA	13.48
IB	525.31
IC	211.03
ID	40.20
IE	86.27
IF	140.52
IG	2.20
IH	32.10
II	48.66
TOTAL	1,099.77

EXISTING G.F.A. CALCULATION SUMMARY	
Basement	N/A*
First Floor	1,099.77
Second Floor	1,000.55
Attic	67.50
Total G.F.A.	2,167.82

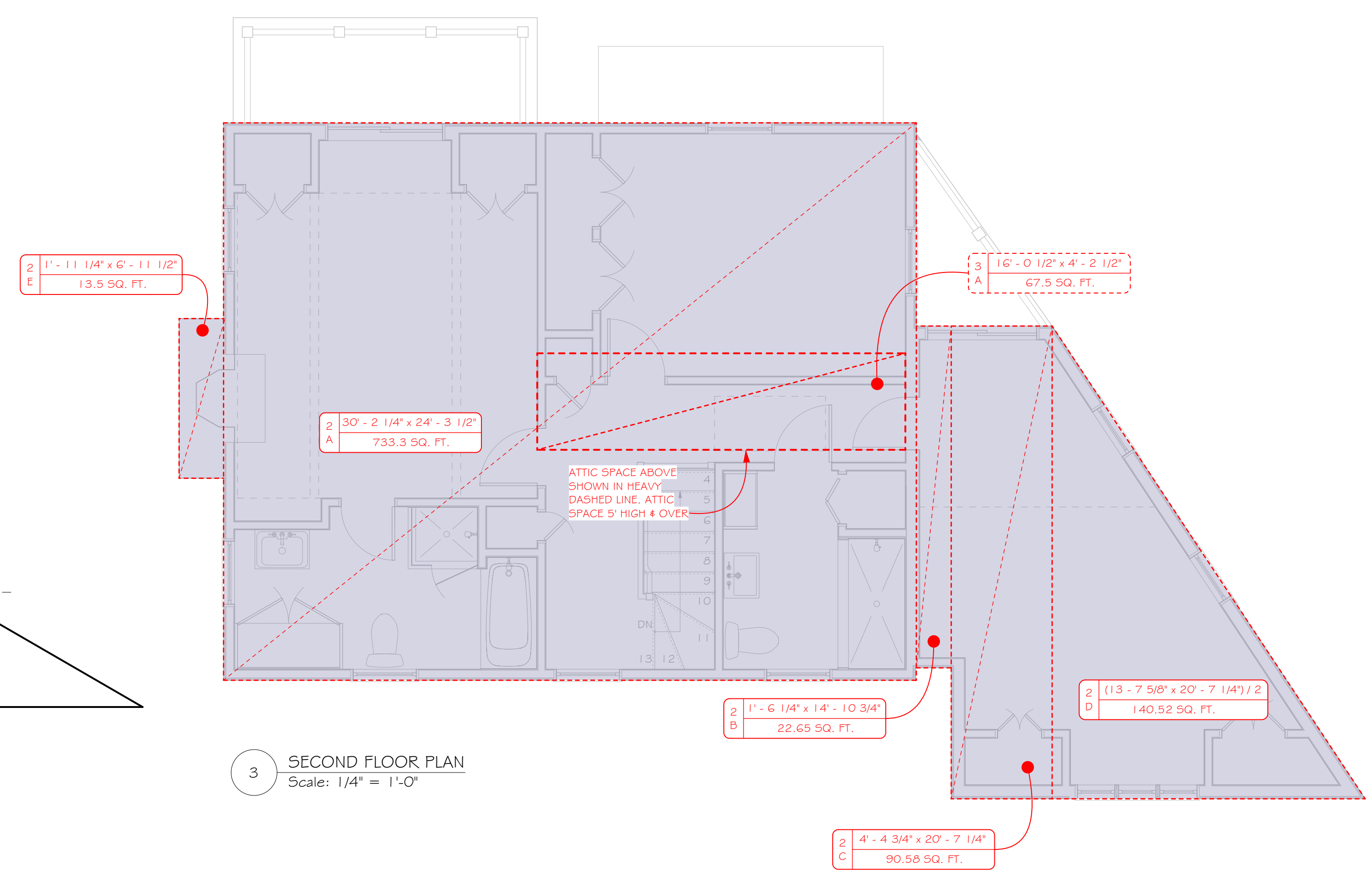
PROPOSED G.F.A. CALCULATION SUMMARY	
Basement	N/A*
First Floor	1,272.61
Second Floor	1,000.55
Attic	67.50
Total G.F.A.	2,340.66

EXISTING SQ. FT. (SECOND FLOOR)	G.F.A. TOTAL
2A	733.30
2B	22.65
2C	90.58
2D	140.52
2E	13.50
TOTAL	1,000.55

EXISTING SQ. FT. (ATTIC)	G.F.A. TOTAL
3A	67.50
TOTAL	67.50



4 ATTIC SECTION
 Scale: 1/4" = 1'-0"



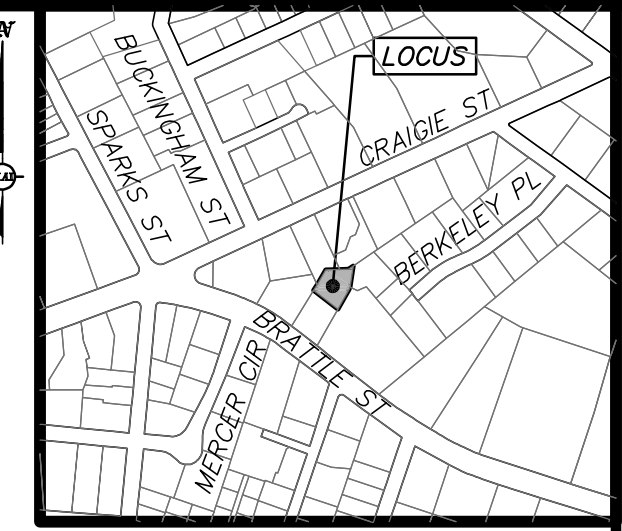
3 SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"

*AS PER THE 'CAMBRIDGE FLOODVIEWER' LONG-TERM FLOOD ELEVATIONS, THE LOT IS NOT AT FLOOD RISK. THEREFORE, BASEMENT FLOOR AREA IS NOT COUNTED TOWARDS GFA AS PER 5.25.2 (ii).

TEMPORARY BENCHMARK CHART:

T.B.M.#	DESCRIPTION	ELEVATION
1	RAILROAD SPK	12.38
2	CUT SPK IN TREE 1" A.G.	14.67

(SEE NOTE 6)



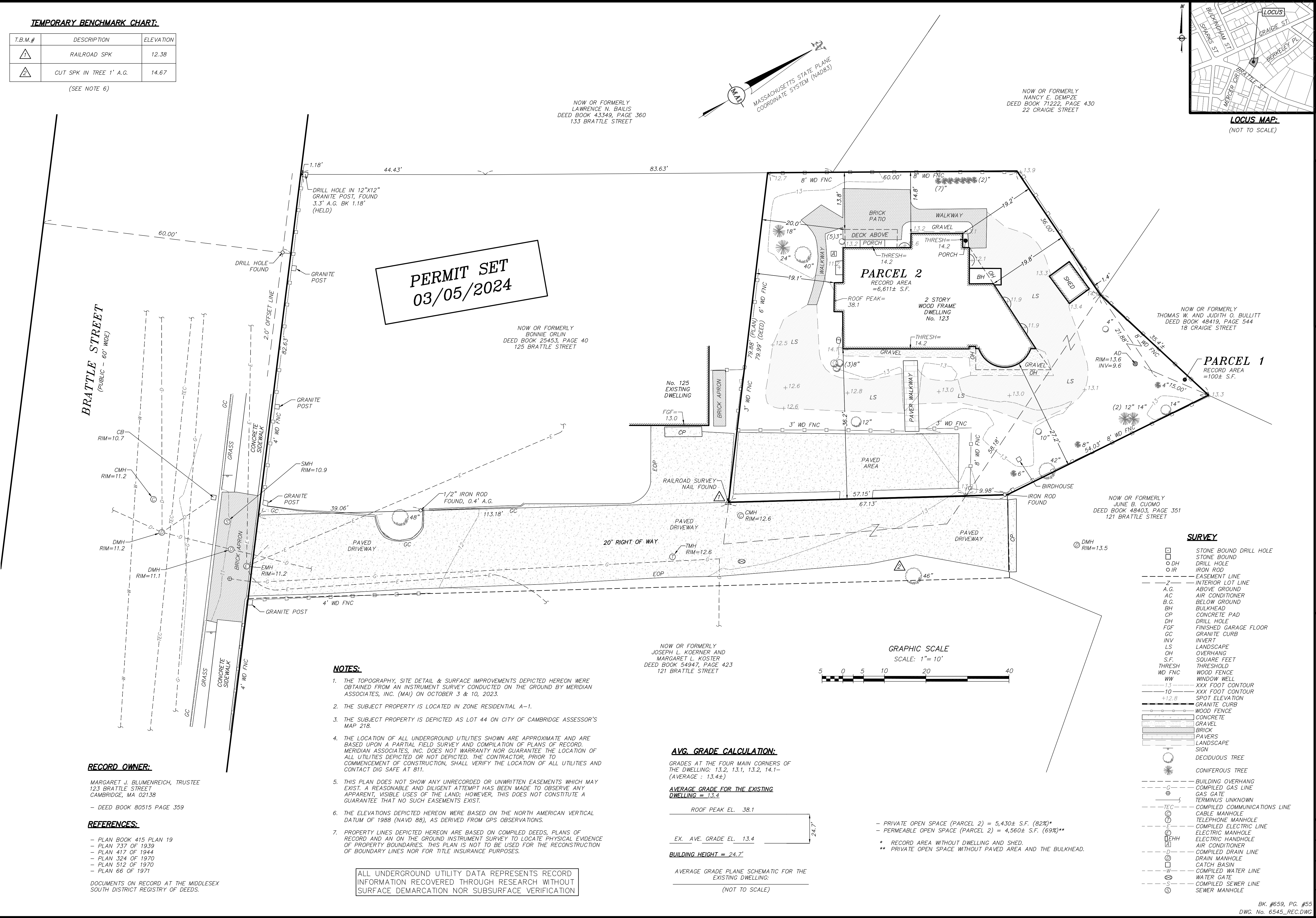
LOCUS MAP:
(NOT TO SCALE)

REVISIONS	DATE	DESCRIPTION

123 BRATTLE STREET
RECORD CONDITIONS PLAN
 LOCATED IN
CAMBRIDGE, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
GENE & MARGARET J. BLUMENREICH

MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER SUITE 600
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 299-9447
 WWW.MERIDIANASSOC.COM

DATE: DECEMBER 14, 2023
 SCALE: 1"=10'
 SHEET No. **1 of 1**
 PROJECT No. **6545**



PERMIT SET
03/05/2024

NOW OR FORMERLY
LAWRENCE N. BAILIS
DEED BOOK 43349, PAGE 360
133 BRATTLE STREET

NOW OR FORMERLY
NANCY E. DEMPZE
DEED BOOK 71222, PAGE 430
22 CRAIGIE STREET

NOW OR FORMERLY
BONNIE ORLIN
DEED BOOK 25453, PAGE 40
125 BRATTLE STREET

NOW OR FORMERLY
THOMAS W. AND JUDITH O. BULLITT
DEED BOOK 48419, PAGE 544
18 CRAIGIE STREET

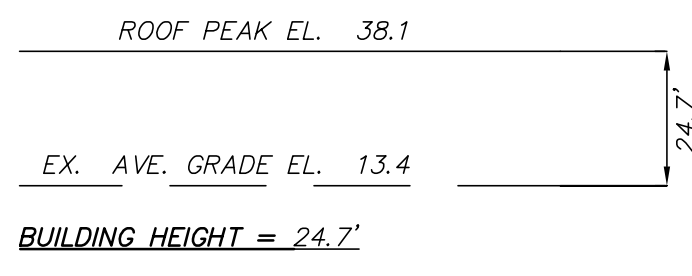
NOW OR FORMERLY
JUNE B. CUOMO
DEED BOOK 48403, PAGE 351
121 BRATTLE STREET

NOW OR FORMERLY
JOSEPH L. KOERNER AND
MARGARET L. KOSTER
DEED BOOK 54947, PAGE 423
121 BRATTLE STREET

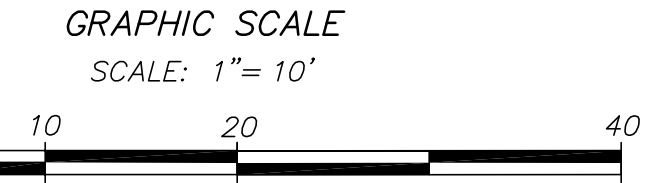
- NOTES:**
- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. (MAI) ON OCTOBER 3 & 10, 2023.
 - THE SUBJECT PROPERTY IS LOCATED IN ZONE RESIDENTIAL A-1.
 - THE SUBJECT PROPERTY IS DEPICTED AS LOT 44 ON CITY OF CAMBRIDGE ASSESSOR'S MAP 218.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 811.
 - THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DERIVED FROM GPS OBSERVATIONS.
 - PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS, PLANS OF RECORD AND AN ON THE GROUND INSTRUMENT SURVEY TO LOCATE PHYSICAL EVIDENCE OF PROPERTY BOUNDARIES. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES NOR FOR TITLE INSURANCE PURPOSES.

AVG. GRADE CALCULATION:
 GRADES AT THE FOUR MAIN CORNERS OF THE DWELLING: 13.2, 13.1, 13.2, 14.1—
 (AVERAGE : 13.4±)

AVERAGE GRADE FOR THE EXISTING DWELLING = 13.4



BUILDING HEIGHT = 24.7'
 AVERAGE GRADE PLANE SCHEMATIC FOR THE EXISTING DWELLING:
 (NOT TO SCALE)



SURVEY

□	STONE BOUND DRILL HOLE
○	STONE BOUND DRILL HOLE
○	DRILL HOLE
○	IRON ROD
-	EASEMENT LINE
-	INTERIOR LOT LINE
A.G.	ABOVE GROUND
AC	AIR CONDITIONER
B.G.	BELOW GROUND
BH	BULKHEAD
CP	CONCRETE PAD
DH	DRILL HOLE
FGF	FINISHED GARAGE FLOOR
GC	GRANITE CURB
INV	INVERT
LS	LANDSCAPE OVERHANG
OH	SQUARE FEET
S.F.	SQUARE FEET
THRESH	THRESHOLD
WD FNC	WOOD FENCE
WW	WINDOW WELL
-13-	XXX FOOT CONTOUR
-10-	XXX FOOT CONTOUR
+12.8	SPOT ELEVATION
-	GRANITE CURB
-	WOOD FENCE
-	CONCRETE
-	GRAVEL
-	BRICK
-	PAVERS
-	LANDSCAPE SIGN
○	DECIDUOUS TREE
○	CANIFEROUS TREE
-	BUILDING OVERHANG
-	COMPILED GAS LINE
-	GAS GATE
-	TERMINUS UNKNOWN
-	COMPILED COMMUNICATIONS LINE
-	CABLE MANHOLE
-	TELEPHONE MANHOLE
-	COMPILED ELECTRIC LINE
-	ELECTRIC MANHOLE
-	ELECTRIC HANDHOLE
-	AIR CONDITIONER
-	COMPILED DRAIN LINE
-	DRAIN MANHOLE
-	CATCH BASIN
-	COMPILED WATER LINE
-	WATER GATE
-	COMPILED SEWER LINE
-	SEWER MANHOLE

RECORD OWNER:
 MARGARET J. BLUMENREICH, TRUSTEE
 123 BRATTLE STREET
 CAMBRIDGE, MA 02138
 - DEED BOOK 80515 PAGE 359

REFERENCES:
 - PLAN BOOK 415 PLAN 19
 - PLAN 737 OF 1939
 - PLAN 417 OF 1944
 - PLAN 324 OF 1970
 - PLAN 512 OF 1970
 - PLAN 66 OF 1971

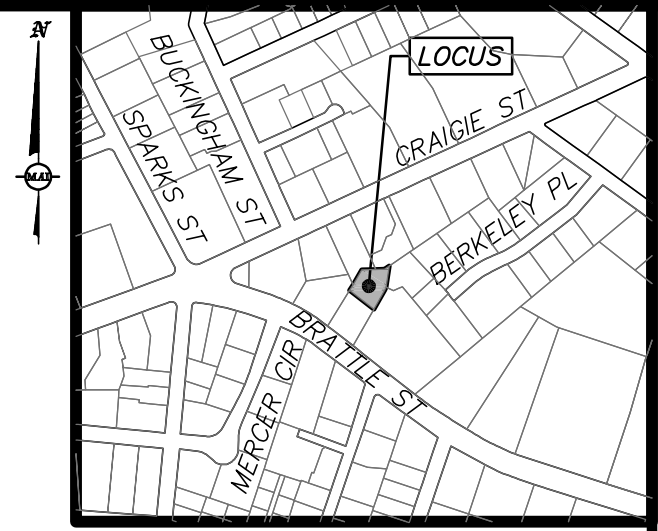
DOCUMENTS ON RECORD AT THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION

TEMPORARY BENCHMARK CHART:

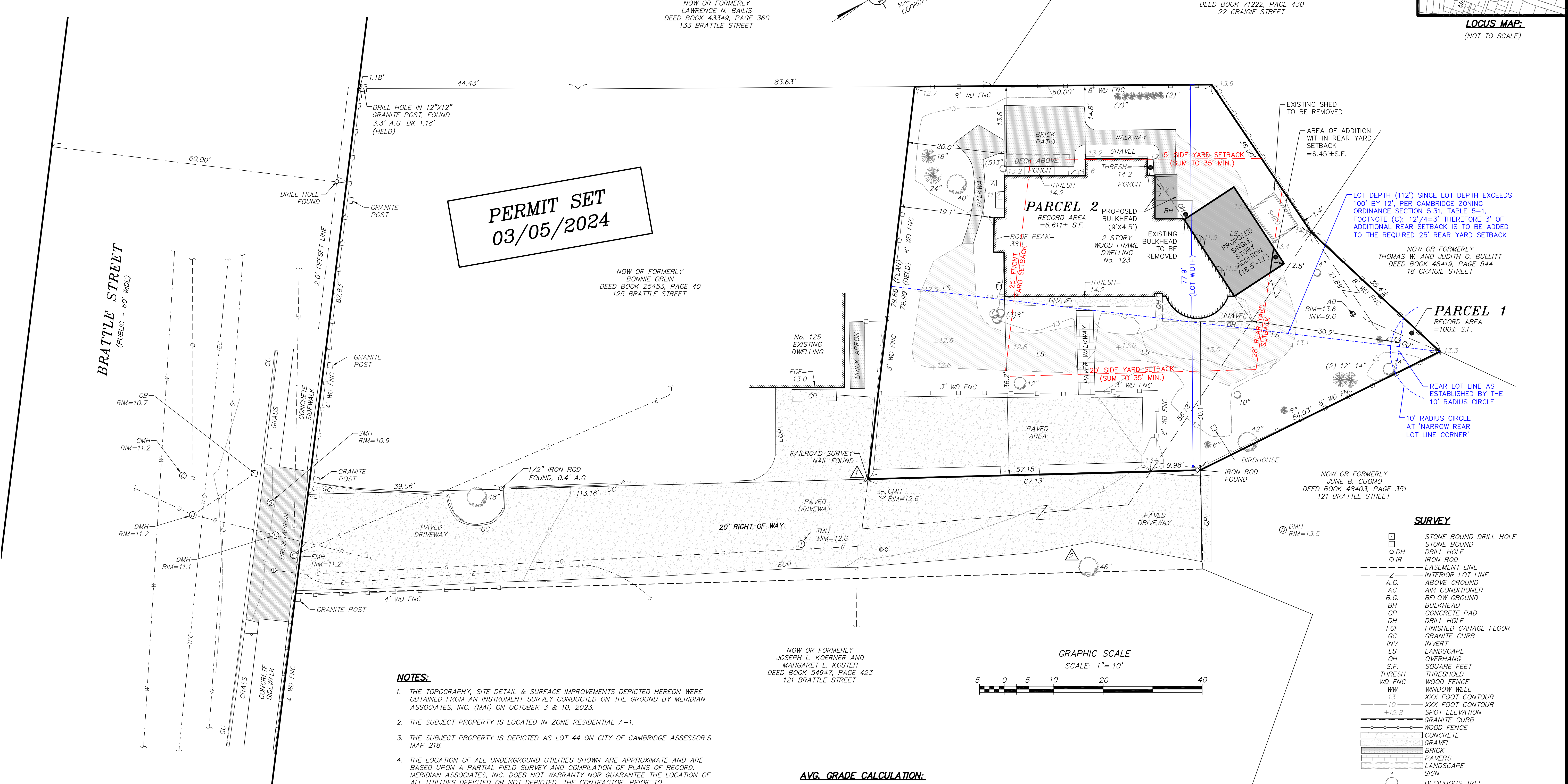
T.B.M.#	DESCRIPTION	ELEVATION
1	RAILROAD SPK	12.38
2	CUT SPK IN TREE 1" A.G.	14.67

(SEE NOTE 6)



LOCUS MAP:
(NOT TO SCALE)

REVISIONS	DATE	DESCRIPTION



PERMIT SET
03/05/2024

NOW OR FORMERLY
LAWRENCE N. BAILIS
DEED BOOK 43349, PAGE 360
133 BRATTLE STREET

NOW OR FORMERLY
NANCY E. DEMPZE
DEED BOOK 71222, PAGE 430
22 CRAIGIE STREET

NOW OR FORMERLY
BONNIE ORLIN
DEED BOOK 25453, PAGE 40
125 BRATTLE STREET

NOW OR FORMERLY
THOMAS W. AND JUDITH O. BULLITT
DEED BOOK 48419, PAGE 544
18 CRAIGIE STREET

NOW OR FORMERLY
JUNE B. CUOMO
DEED BOOK 48403, PAGE 351
121 BRATTLE STREET

NOW OR FORMERLY
JOSEPH L. KOERNER AND
MARGARET L. KOSTER
DEED BOOK 54947, PAGE 423
121 BRATTLE STREET

BRATTLE STREET
(PUBLIC - 60' WIDE)

123 BRATTLE STREET
PROPOSED PLOT PLAN
LOCATED IN
CAMBRIDGE, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
GENE & MARGARET J. BLUMENREICH

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER SUITE 600
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-9447
WWW.MERIDIANASSOC.COM

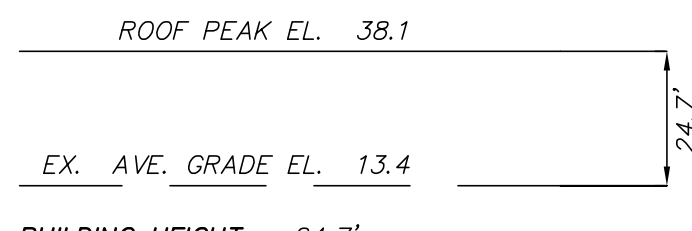
DATE: FEBRUARY 12, 2024
SCALE: 1"=10'
SHEET No. **1 of 1**
PROJECT No. **6545**

- NOTES:**
- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. (MAI) ON OCTOBER 3 & 10, 2023.
 - THE SUBJECT PROPERTY IS LOCATED IN ZONE RESIDENTIAL A-1.
 - THE SUBJECT PROPERTY IS DEPICTED AS LOT 44 ON CITY OF CAMBRIDGE ASSESSOR'S MAP 218.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 811.
 - THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DERIVED FROM GPS OBSERVATIONS.
 - PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS, PLANS OF RECORD AND AN ON THE GROUND INSTRUMENT SURVEY TO LOCATE PHYSICAL EVIDENCE OF PROPERTY BOUNDARIES. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES NOR FOR TITLE INSURANCE PURPOSES.

AVG. GRADE CALCULATION:

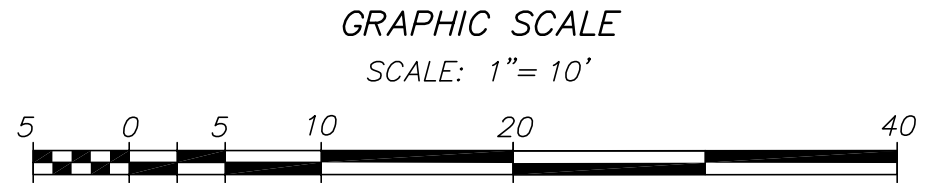
GRADES AT THE FOUR MAIN CORNERS OF THE DWELLING: 13.2, 13.1, 13.2, 14.1 - (AVERAGE : 13.4±)

AVERAGE GRADE FOR THE EXISTING DWELLING = 13.4



BUILDING HEIGHT = 24.7'

AVERAGE GRADE PLANE SCHEMATIC FOR THE EXISTING DWELLING:
(NOT TO SCALE)



SURVEY

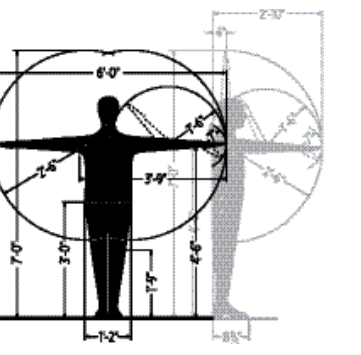
□	STONE BOUND DRILL HOLE
□	STONE BOUND
○	DRILL HOLE
○	IRON ROD
-	EASEMENT LINE
-	INTERIOR LOT LINE
A.G.	ABOVE GROUND
AC	AIR CONDITIONER
B.G.	BELOW GROUND
BH	BULKHEAD
CP	CONCRETE PAD
DH	DRILL HOLE
FGF	FINISHED GARAGE FLOOR
GC	GRANITE CURB
INV	INVERT
LS	LANDSCAPE
OH	OVERHANG
S.F.	SQUARE FEET
THRESH	THRESHOLD
WD FNC	WOOD FENCE
WW	WINDOW WELL
-13-	XXX FOOT CONTOUR
-10-	XXX FOOT CONTOUR
+12.8	SPOT ELEVATION
-	GRANITE CURB
-	WOOD FENCE
-	CONCRETE
-	GRAVEL
-	BRICK
-	PAVERS
-	LANDSCAPE SIGN
○	DECIDUOUS TREE
★	CONIFEROUS TREE
-	BUILDING OVERHANG
-	COMPILED GAS LINE
-	GAS GATE
-	TERMINUS UNKNOWN
-	COMPILED COMMUNICATIONS LINE
-	CABLE MANHOLE
-	TELEPHONE MANHOLE
-	COMPILED ELECTRIC LINE
-	ELECTRIC MANHOLE
-	ELECTRIC HANDHOLE
-	AIR CONDITIONER
-	COMPILED DRAIN LINE
-	DRAIN MANHOLE
-	CATCH BASIN
-	COMPILED WATER LINE
-	WATER GATE
-	COMPILED SEWER LINE
-	SEWER MANHOLE

RECORD OWNER:
MARGARET J. BLUMENREICH, TRUSTEE
123 BRATTLE STREET
CAMBRIDGE, MA 02138
- DEED BOOK 80515 PAGE 359

REFERENCES:
- PLAN BOOK 415 PLAN 19
- PLAN 737 OF 1939
- PLAN 417 OF 1944
- PLAN 324 OF 1970
- PLAN 512 OF 1970
- PLAN 66 OF 1971

DOCUMENTS ON RECORD AT THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION



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 02139

617.876.9062

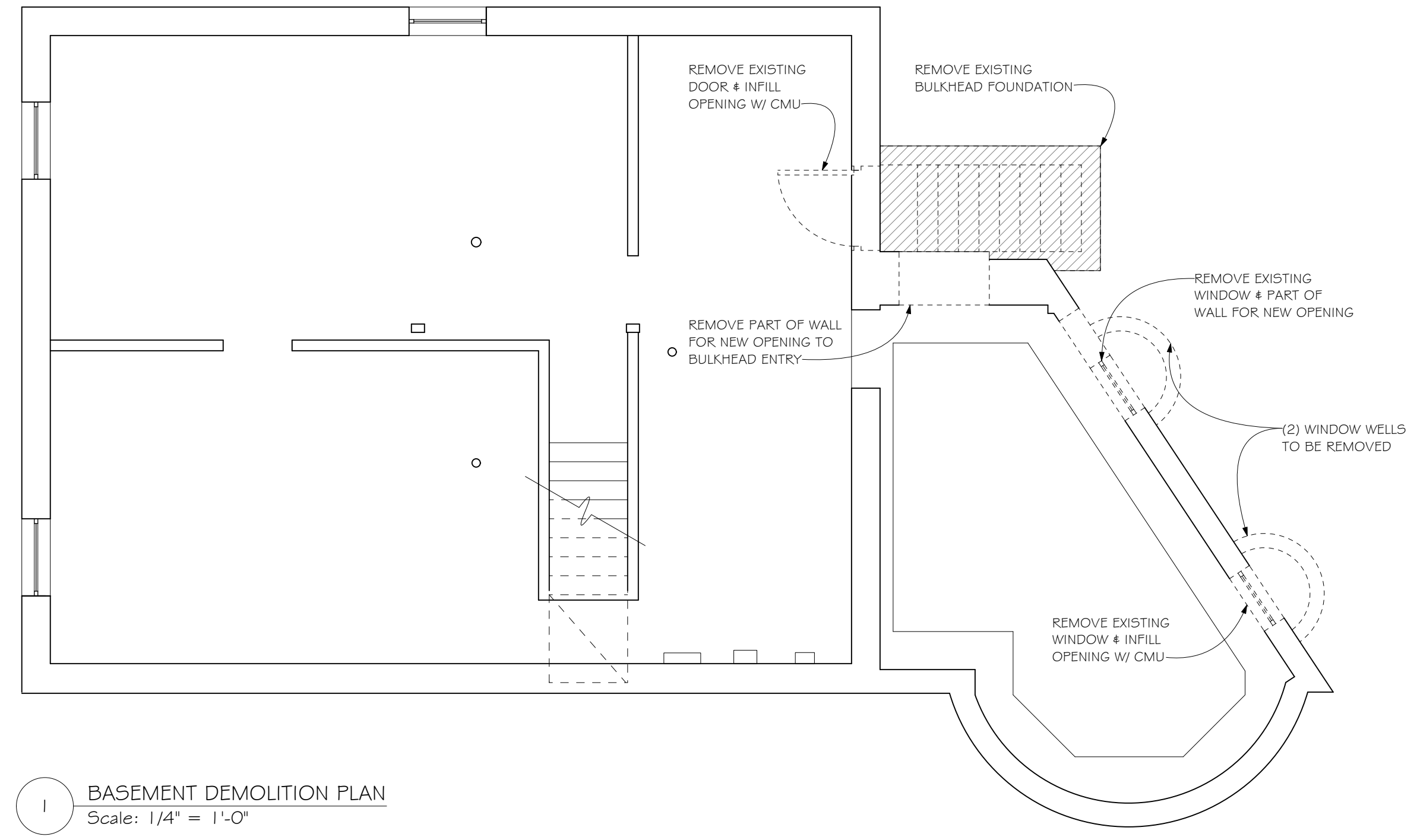
BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138

DEMOLITION NOTES:

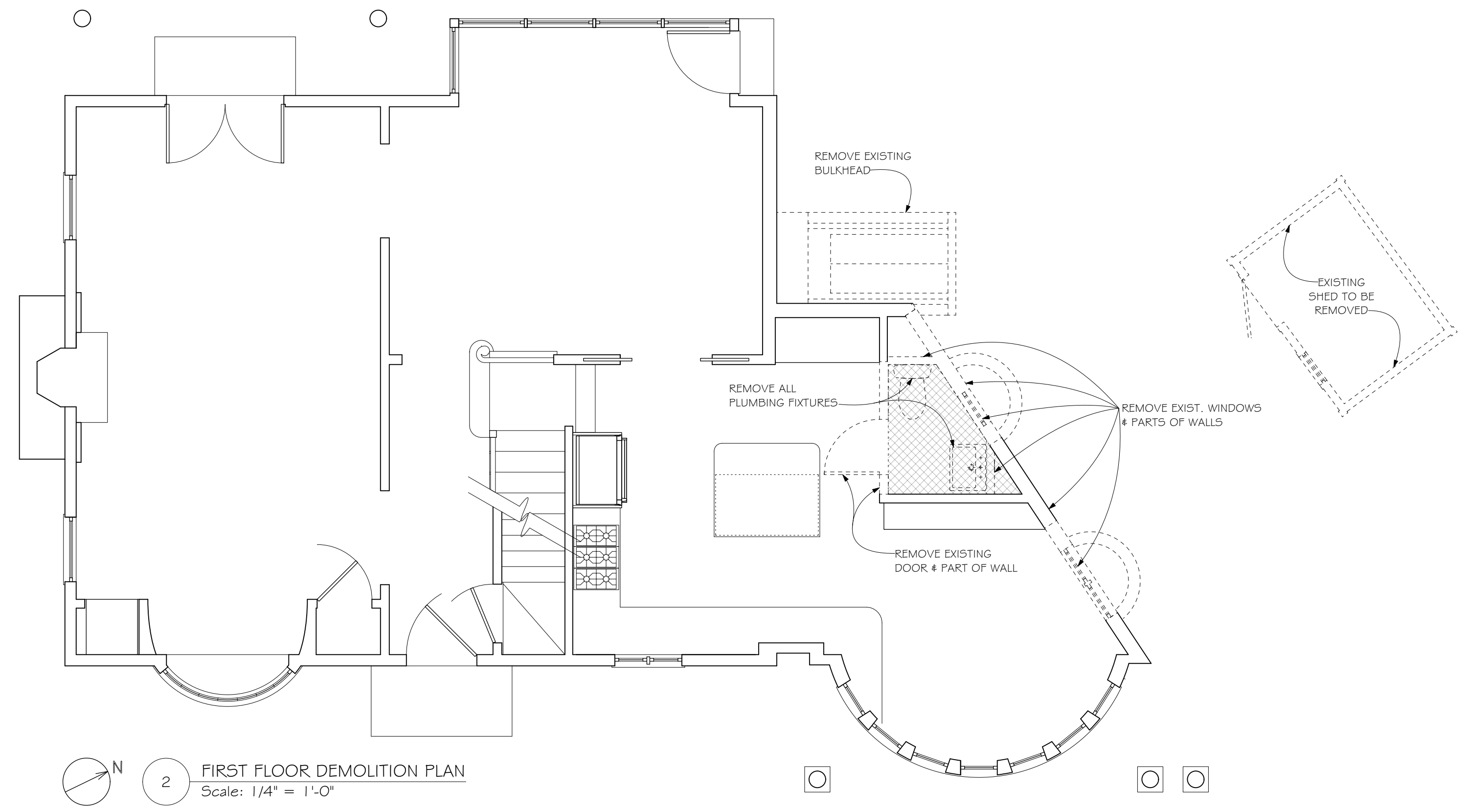
1. PROVIDE ALL NECESSARY SHORING DURING DEMOLITION, COORDINATE W/ STRUCTURAL ENGINEER AS REQUIRED.
2. STORE AND REMOVE DEBRIS IN ACCORDANCE WITH THE REGULATIONS OF THE CITY OF CAMBRIDGE, MA.
3. FIXTURES OR OTHER ITEMS WHICH ARE TO REMAIN OR TO BE REUSED ARE TO BE CONFIRMED WITH OWNER.
4. EXTERIOR WALLS TO REMAIN. REMOVE ONLY AS MADE NECESSARY BY NEW CONSTRUCTION.

KEY

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- - - EXISTING ABOVE TO REMAIN
- ▨ EXISTING CEILING FRAMING ABOVE TO BE REMOVED
- EXISTING FLOOR OR ROOF FRAMING TO BE REMOVED
- ▤ EXISTING FINISH FLOOR TO BE REMOVED



1 BASEMENT DEMOLITION PLAN
 Scale: 1/4" = 1'-0"

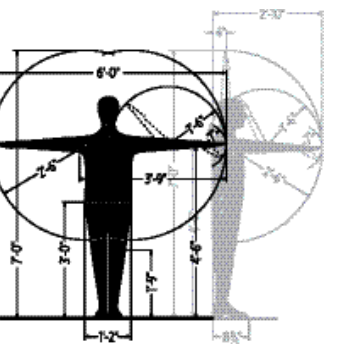


2 FIRST FLOOR DEMOLITION PLAN
 Scale: 1/4" = 1'-0"

Issue	Date
PERMIT SET	03/07/24

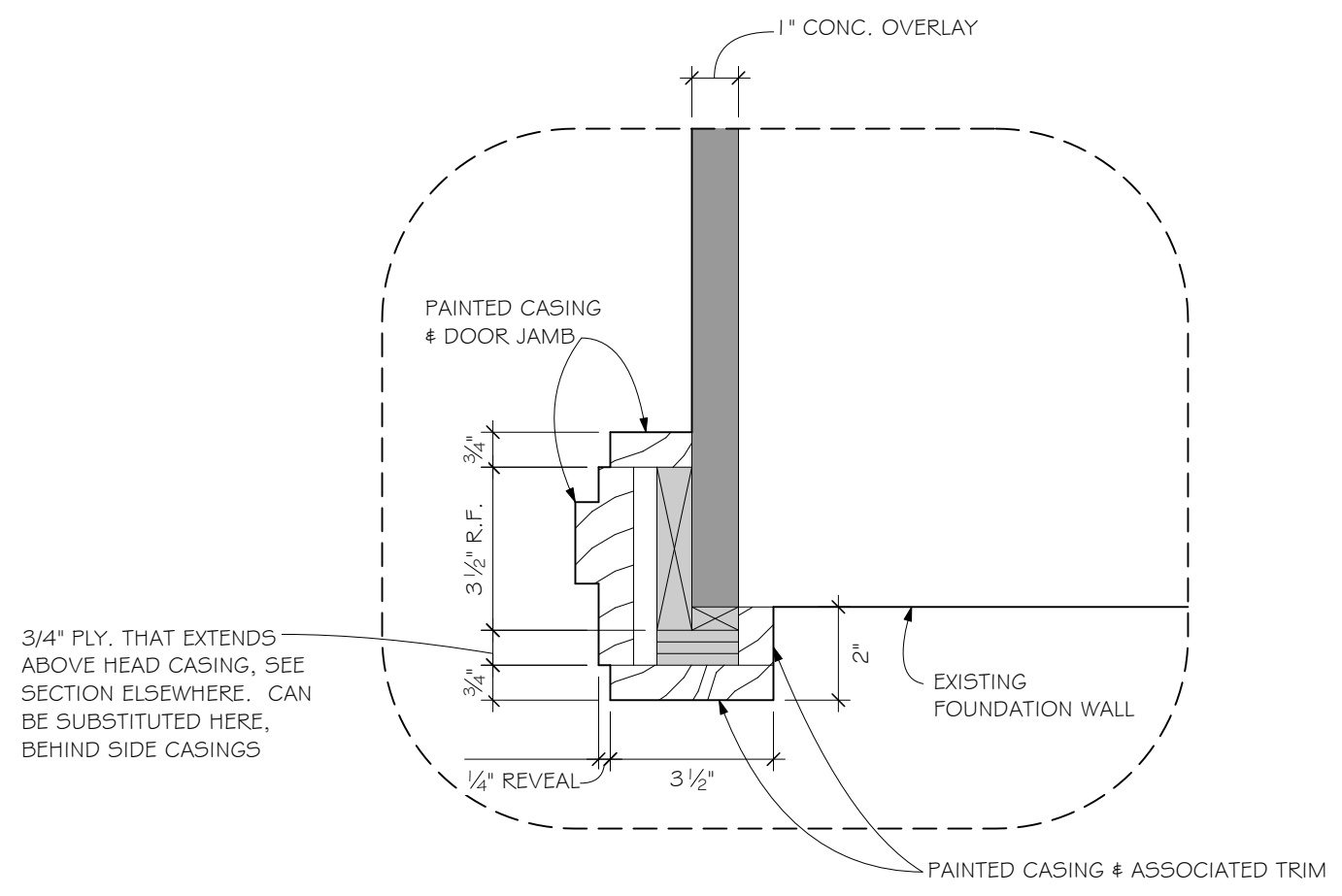
Demolition Plans

A1.0

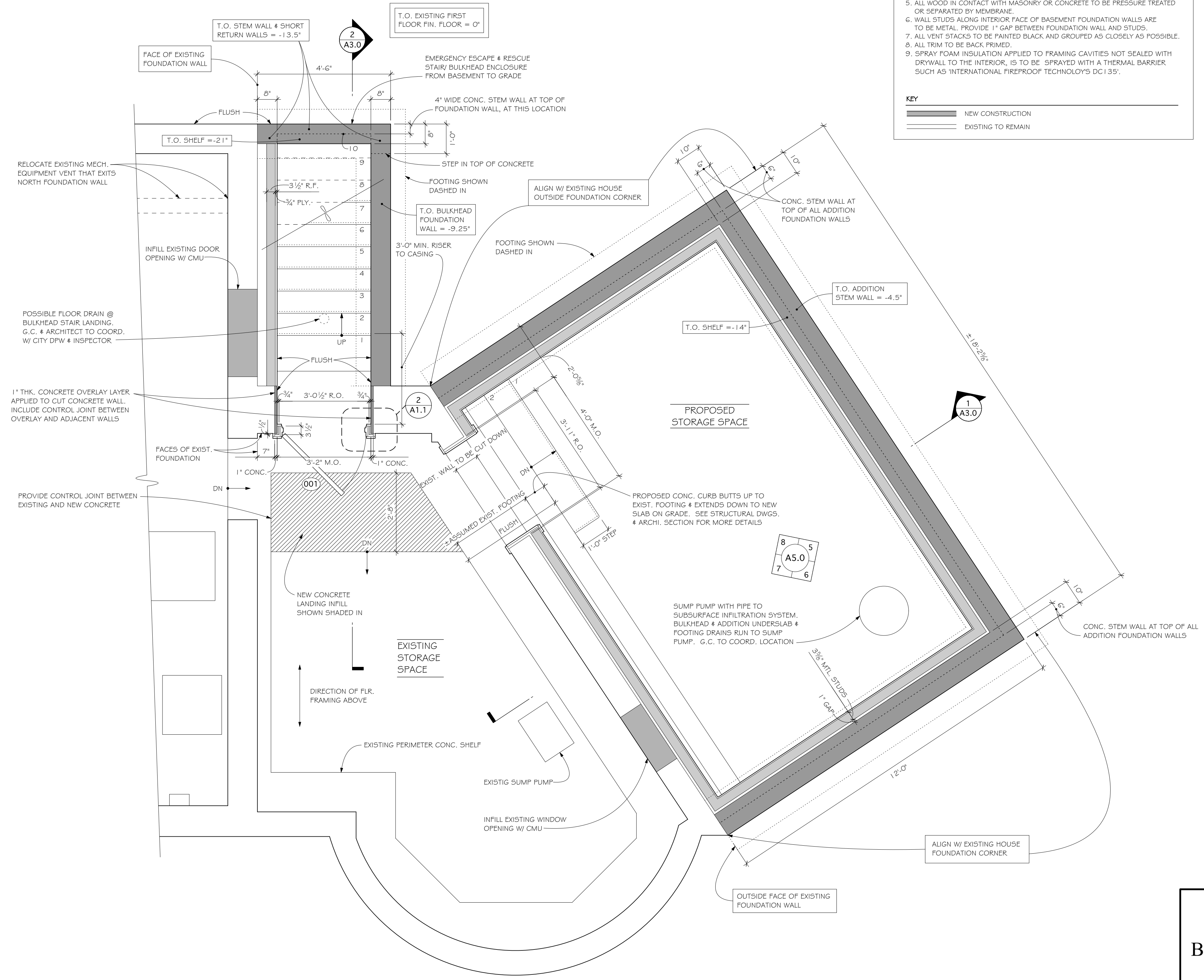


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- NOTES**
1. REFER TO STRUCTURAL ENGINEERING DRAWINGS, FOR MORE INFORMATION ON CONCRETE WORK & FRAMING.
 2. IF STRUCTURAL ELEMENT LOCATIONS, DIMENSIONS AND/OR DETAILS ARE UNCLEAR, CONFIRM W/ ARCHITECT & STRUCTURAL ENGINEER.
 3. ALL DIMENSIONS ARE ROUGH TO ROUGH ON 1/2" = 1'-0" PLANS, UNLESS OTHERWISE NOTED.
 4. ALL CONCRETE TO INCLUDE 'KRYTOL'S KM' WATERPROOFING ADMIXTURE.
 5. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED OR SEPARATED BY MEMBRANE.
 6. WALL STUDS ALONG INTERIOR FACE OF BASEMENT FOUNDATION WALLS ARE TO BE METAL. PROVIDE 1" GAP BETWEEN FOUNDATION WALL AND STUDS.
 7. ALL VENT STACKS TO BE PAINTED BLACK AND GROUPED AS CLOSELY AS POSSIBLE.
 8. ALL TRIM TO BE BACK PRIMED.
 9. SPRAY FOAM INSULATION APPLIED TO FRAMING CAVITIES NOT SEALED WITH DRYWALL TO THE INTERIOR, IS TO BE SPRAYED WITH A THERMAL BARRIER SUCH AS INTERNATIONAL FIREPROOF TECHNOLOGY'S DC135.
- KEY**
- NEW CONSTRUCTION
 - EXISTING TO REMAIN



2 DOOR '00 1' SIDE JAMB DETAIL
 Scale: 3" = 1'-0"



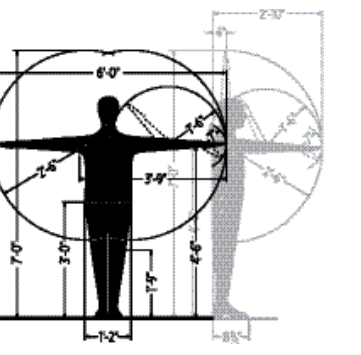
1 BASEMENT FLOOR PLAN
 Scale: 1/2" = 1'-0"

BLUMENREICH ADDITION
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Basement Floor Plan

A1.1

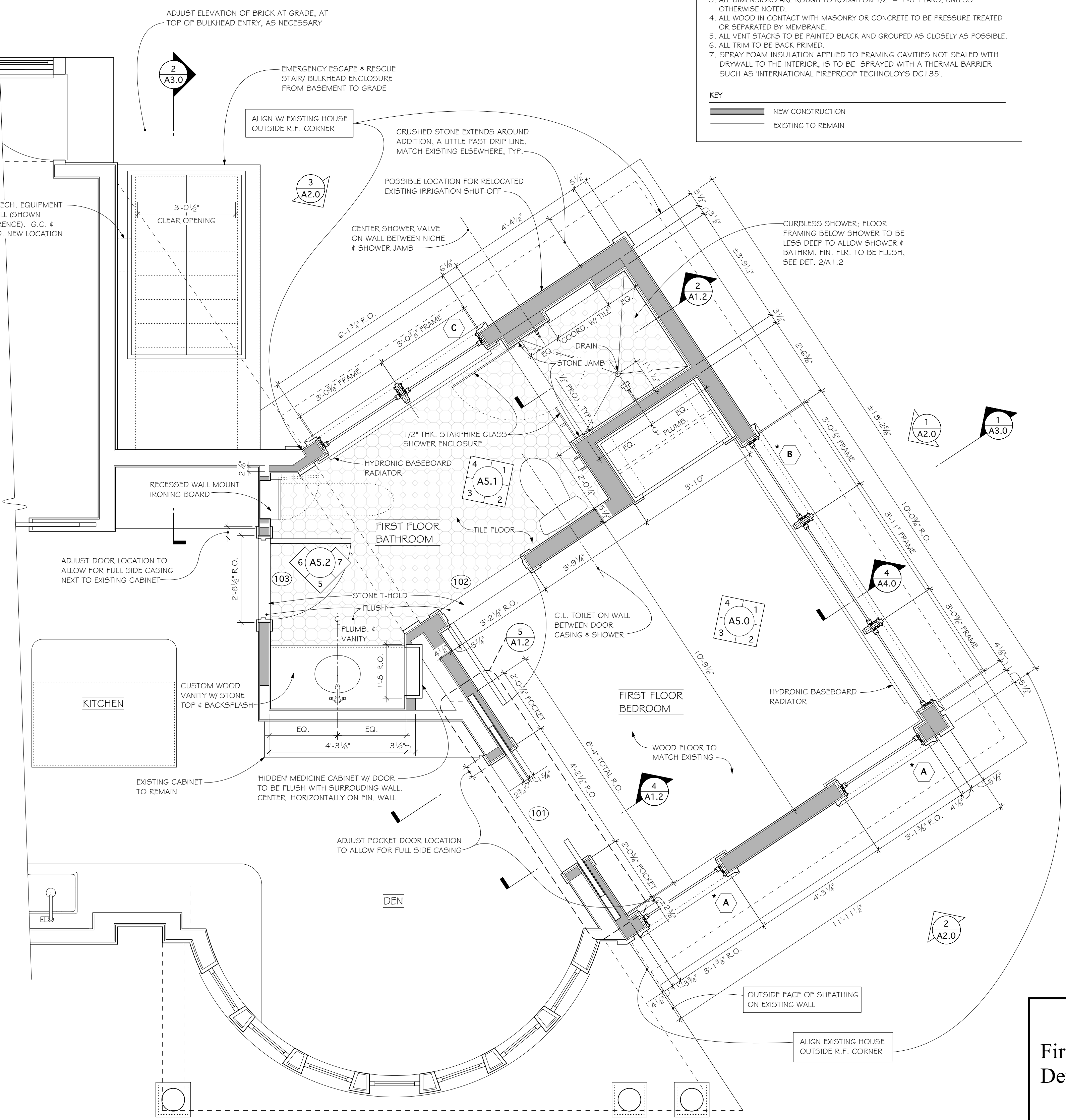
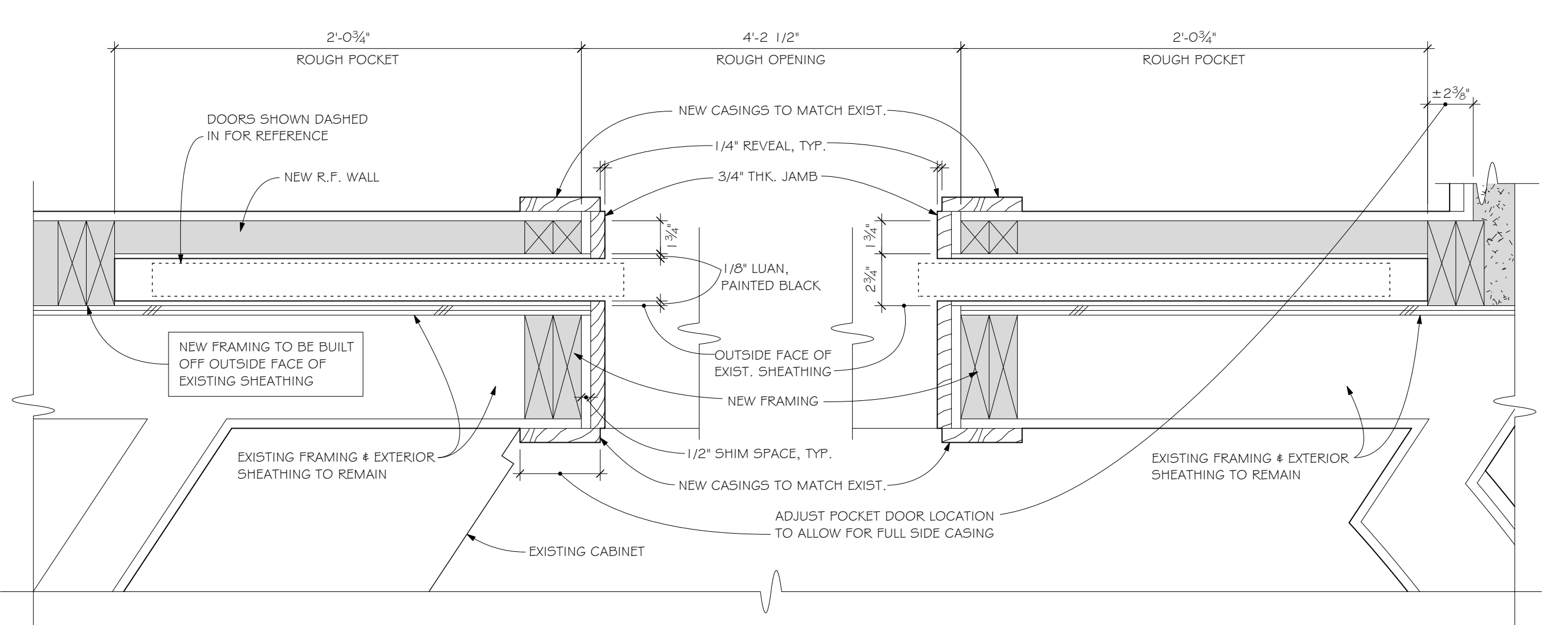
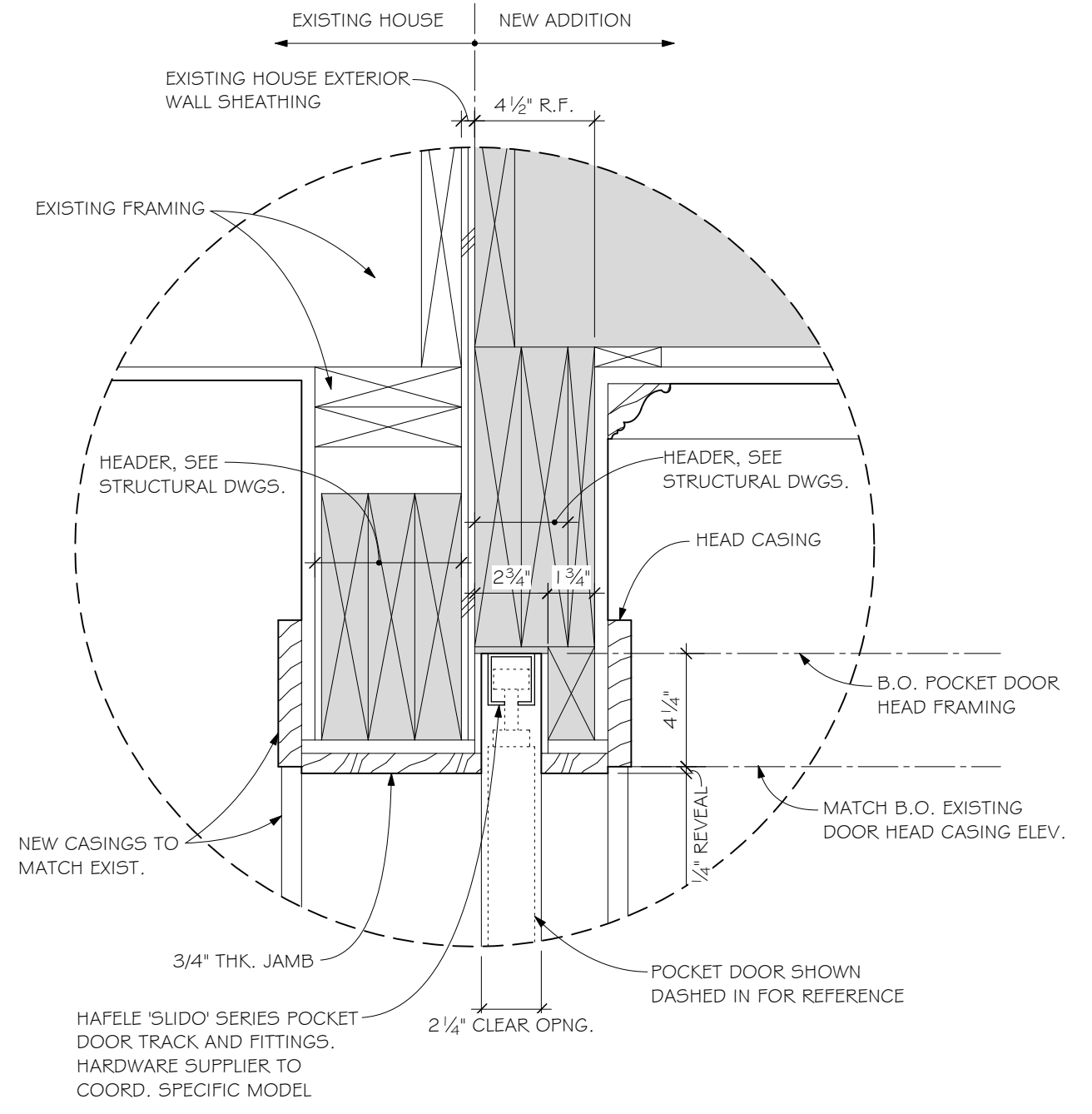
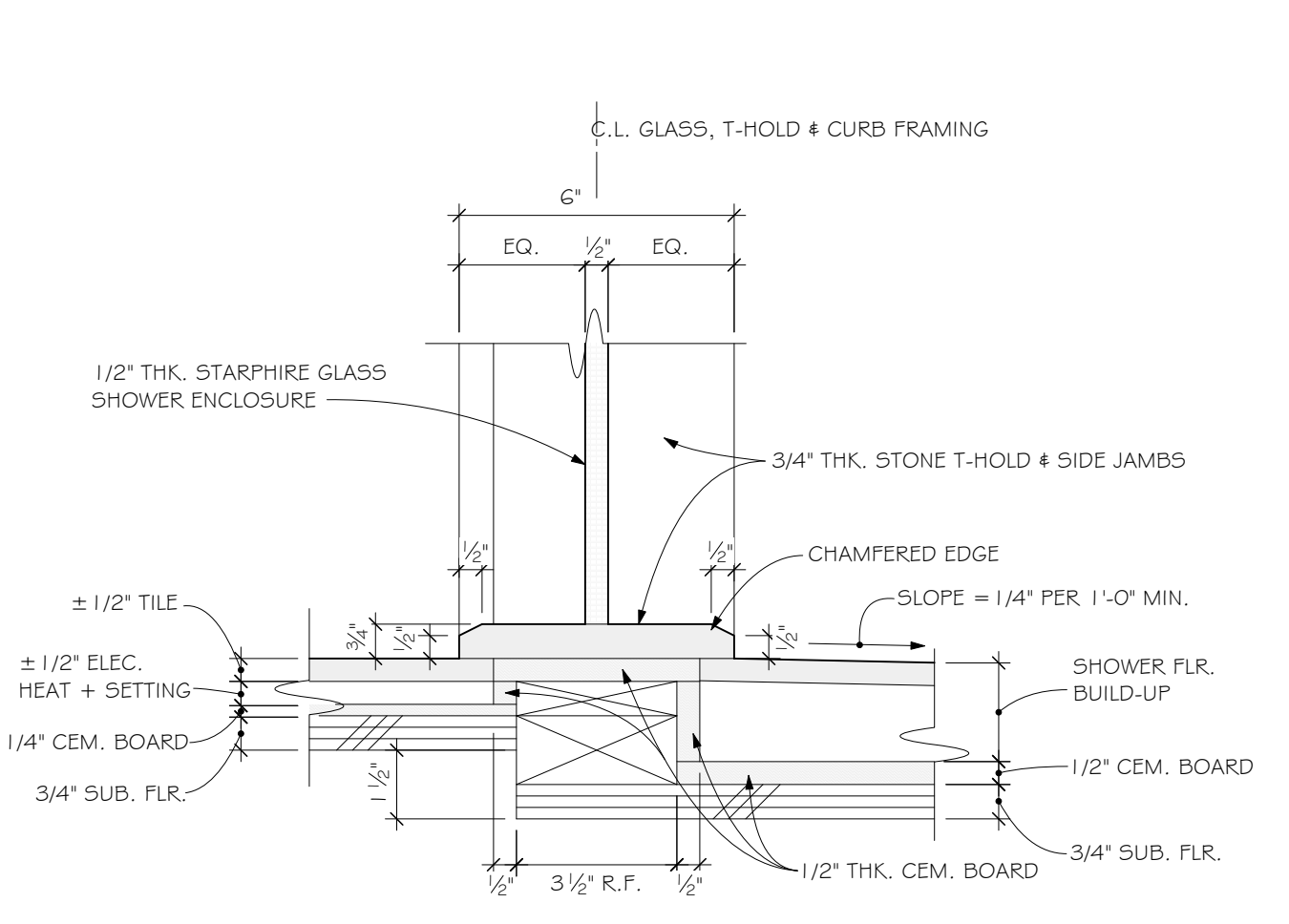
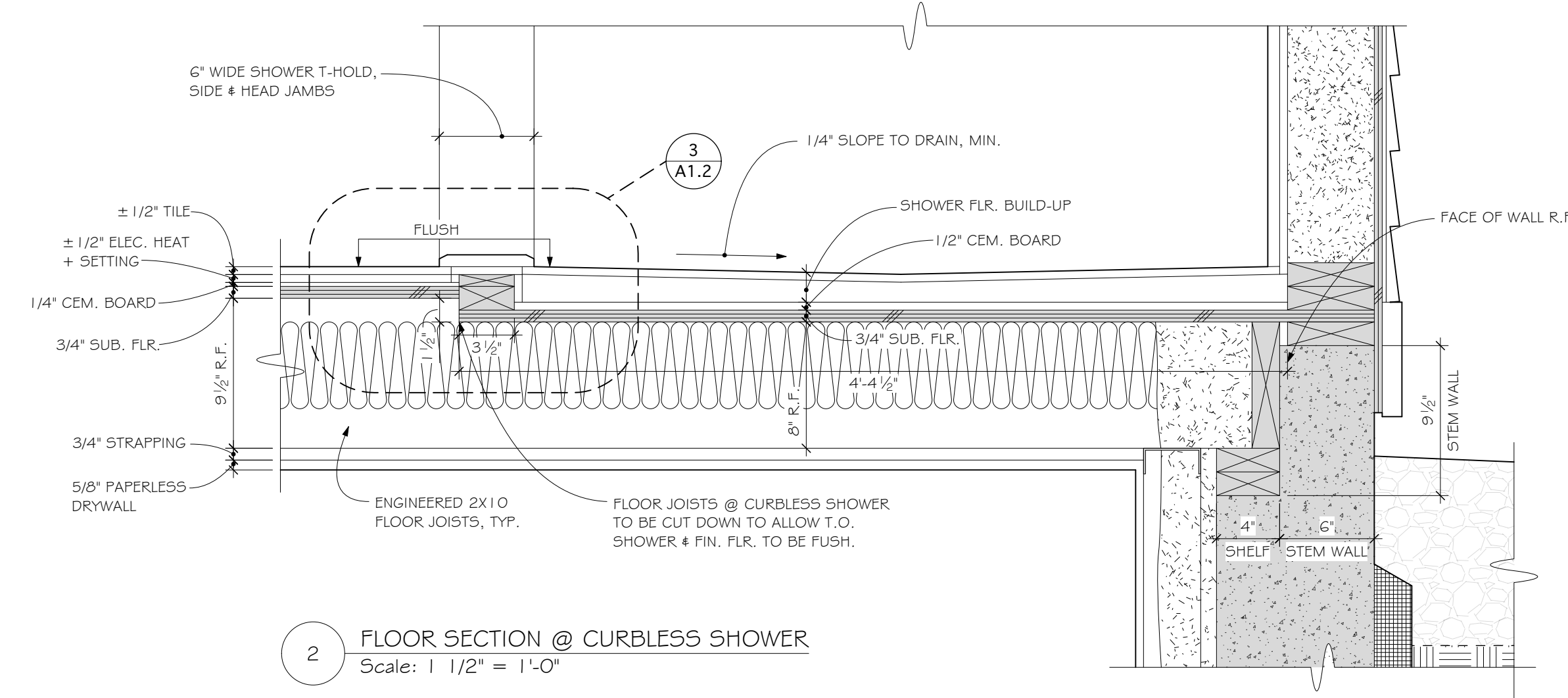
Issue	Date
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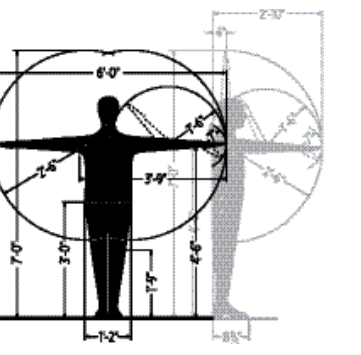
- NOTES**
1. REFER TO STRUCTURAL ENGINEERING DRAWINGS, FOR MORE INFORMATION ON CONCRETE WORK & FRAMING.
 2. IF STRUCTURAL ELEMENT LOCATIONS, DIMENSIONS AND/OR DETAILS ARE UNCLEAR, CONFIRM W/ ARCHITECT & STRUCTURAL ENGINEER.
 3. ALL DIMENSIONS ARE ROUGH TO ROUGH ON 1/2" = 1'-0" PLANS, UNLESS OTHERWISE NOTED.
 4. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED OR SEPARATED BY MEMBRANE.
 5. ALL VENT STACKS TO BE PAINTED BLACK AND GROUPED AS CLOSELY AS POSSIBLE.
 6. ALL TRIM TO BE BACK PRIMED.
 7. SPRAY FOAM INSULATION APPLIED TO FRAMING CAVITIES NOT SEALED WITH DRYWALL TO THE INTERIOR, IS TO BE SPRAYED WITH A THERMAL BARRIER SUCH AS INTERNATIONAL FIREPROOF TECHNOLOGY'S DC 135.
- KEY**
- NEW CONSTRUCTION
 - EXISTING TO REMAIN



Issue	Date
PERMIT SET	03/07/24

First Floor Plan & Details

A1.2

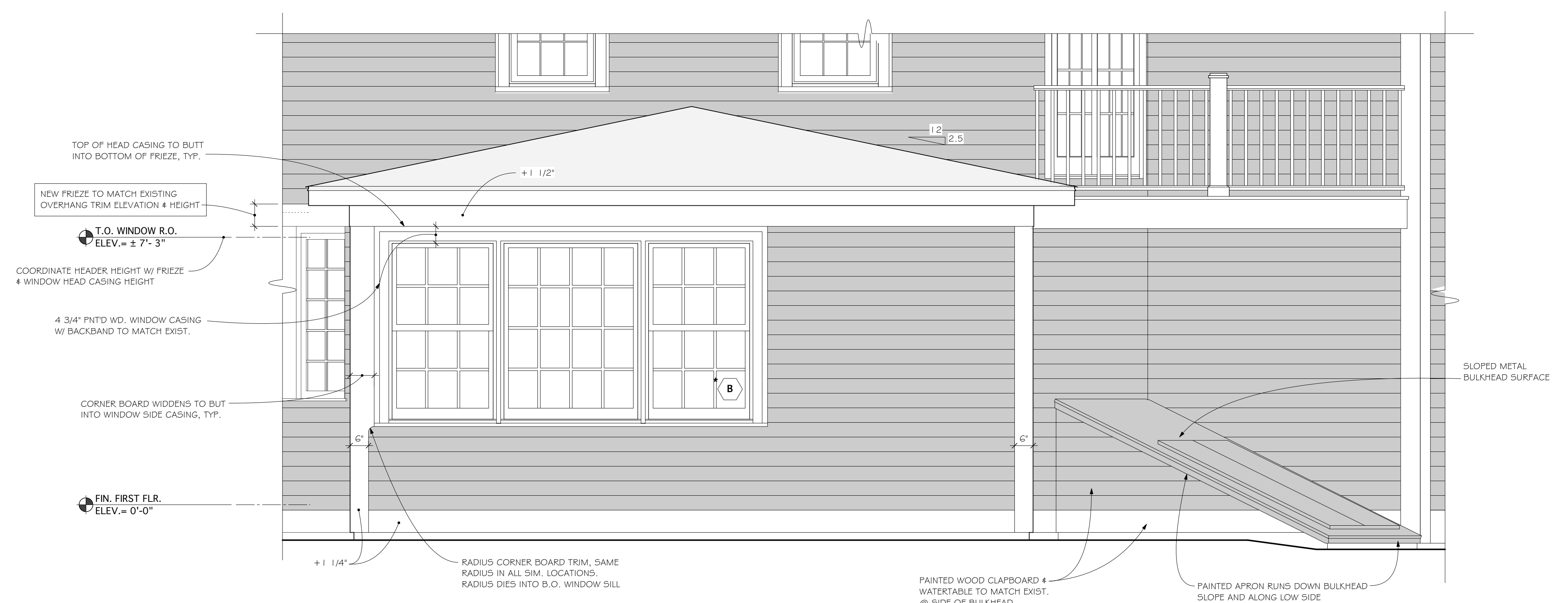


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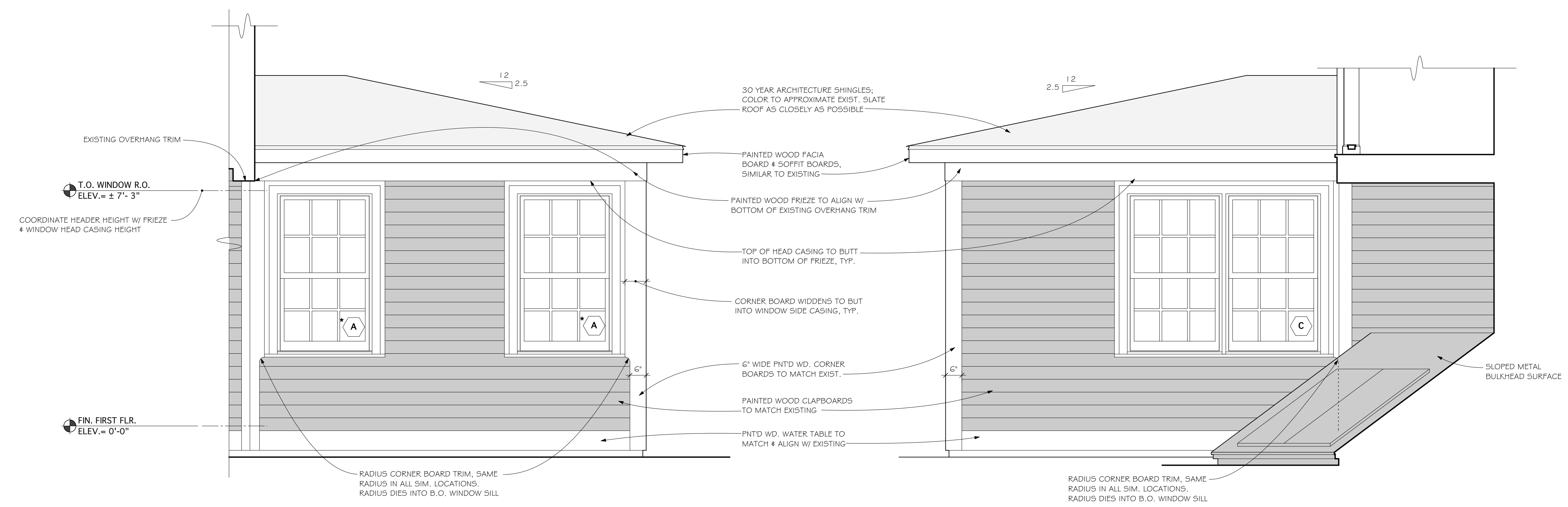
BLUMENREICH ADDITION
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Issue	Date
PERMIT SET	03/07/24

**Addition &
 Bulkhead Exterior
 Elevations**



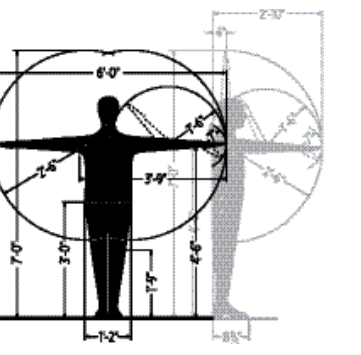
1 PROPOSED EXTERIOR ELEVATION - NORTH
 Scale: 1/2" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION - EAST
 Scale: 1/2" = 1'-0"

3 PROPOSED EXTERIOR ELEVATION - WEST
 Scale: 1/2" = 1'-0"

A2.0



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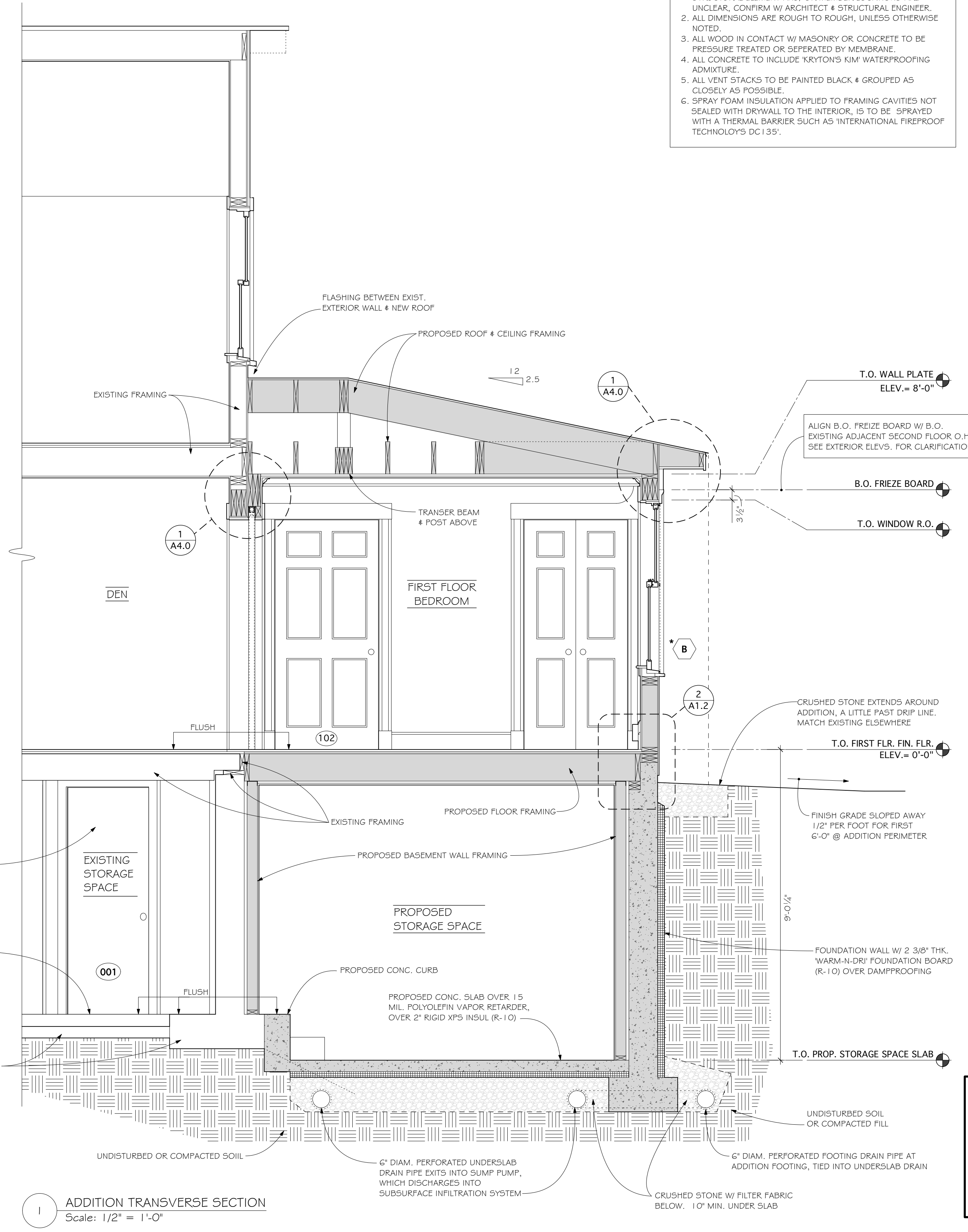
- GENERAL NOTES:
1. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR MORE INFORMATION ON CONCRETE WORK & FRAMING. IF STRUCTURAL ELEMENT AND/OR MEMBER LOCATIONS ARE UNCLEAR, CONFIRM W/ ARCHITECT & STRUCTURAL ENGINEER.
 2. ALL DIMENSIONS ARE ROUGH TO ROUGH, UNLESS OTHERWISE NOTED.
 3. ALL WOOD IN CONTACT W/ MASONRY OR CONCRETE TO BE PRESSURE TREATED OR SEPERATED BY MEMBRANE.
 4. ALL CONCRETE TO INCLUDE KRYTONS-KM WATERPROOFING ADMIXTURE.
 5. ALL VENT STACKS TO BE PAINTED BLACK & GROUPED AS CLOSELY AS POSSIBLE.
 6. SPRAY FOAM INSULATION APPLIED TO FRAMING CAVITIES NOT SEALED WITH DRYWALL TO THE INTERIOR, IS TO BE SPRAYED WITH A THERMAL BARRIER SUCH AS INTERNATIONAL FIREPROOF TECHNOLOGY'S DC135.

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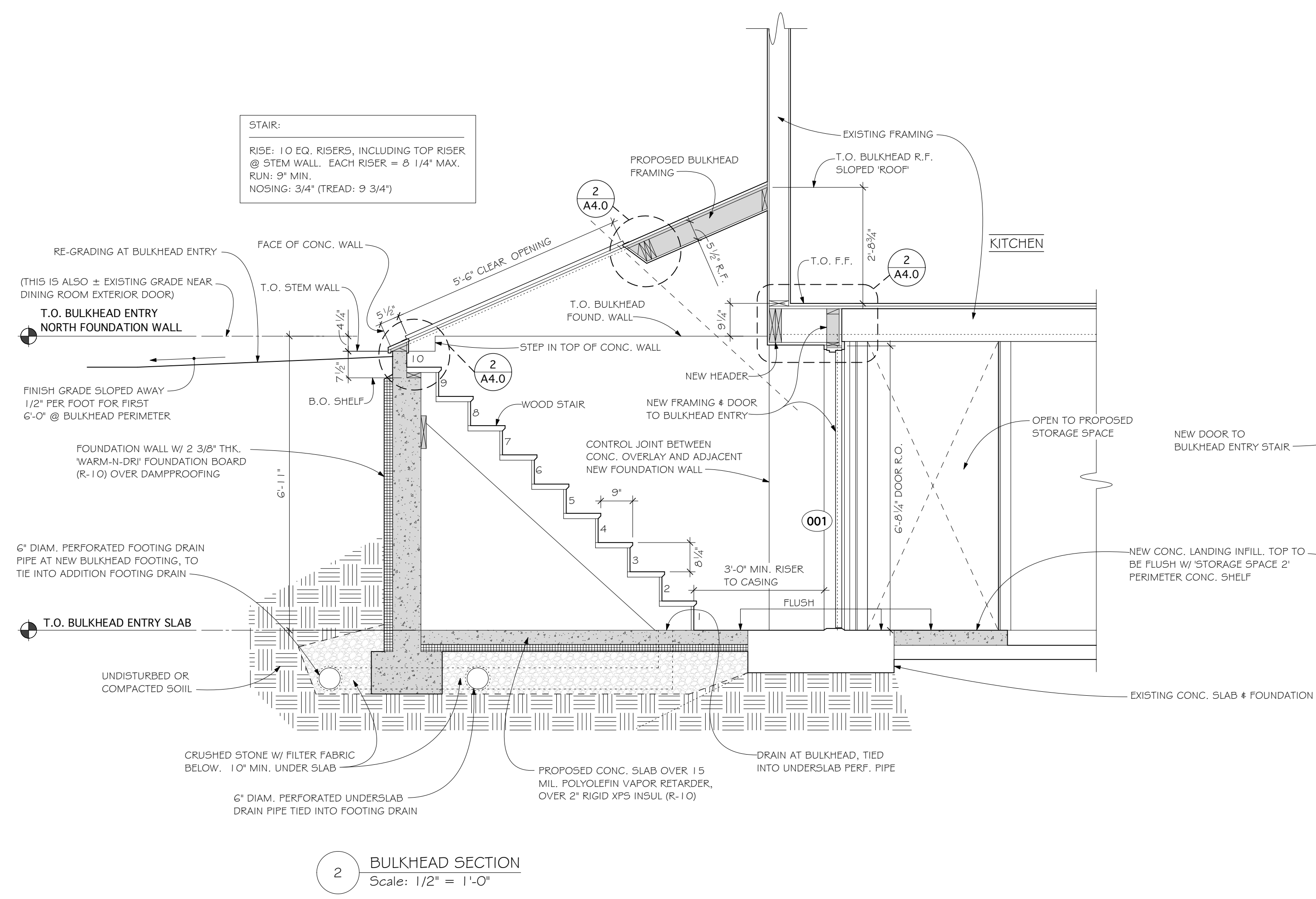
Issue	Date
PERMIT SET	03/07/24

Bulkhead Entry & Addition Sections

A3.0



1 ADDITION TRANSVERSE SECTION
 Scale: 1/2" = 1'-0"



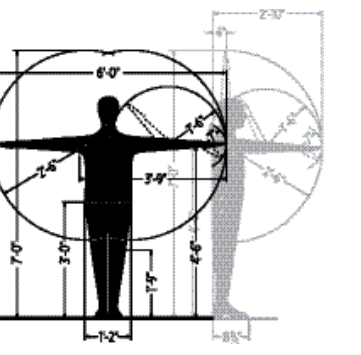
2 BULKHEAD SECTION
 Scale: 1/2" = 1'-0"

STAIR:
 RISE: 1'0" EQ. RISERS, INCLUDING TOP RISER @ STEM WALL. EACH RISER = 8 1/4" MAX. RUN: 9" MIN. NOSING: 3/4" (TREAD: 9 3/4")

RE-GRADING AT BULKHEAD ENTRY (THIS IS ALSO ± EXISTING GRADE NEAR DINING ROOM EXTERIOR DOOR)
 T.O. BULKHEAD ENTRY NORTH FOUNDATION WALL
 FINISH GRADE SLOPED AWAY 1/2" PER FOOT FOR FIRST 6'-0" @ BULKHEAD PERIMETER
 FOUNDATION WALL W/ 2 3/8" THK. 'WARM-N-DRY' FOUNDATION BOARD (R-10) OVER DAMPPROOFING
 6" DIAM. PERFORATED FOOTING DRAIN PIPE AT NEW BULKHEAD FOOTING, TO TIE INTO ADDITION FOOTING DRAIN
 T.O. BULKHEAD ENTRY SLAB
 UNDISTURBED OR COMPACTED SOIL
 CRUSHED STONE W/ FILTER FABRIC BELOW. 1'0" MIN. UNDER SLAB
 6" DIAM. PERFORATED UNDERSLAB DRAIN PIPE TIED INTO FOOTING DRAIN

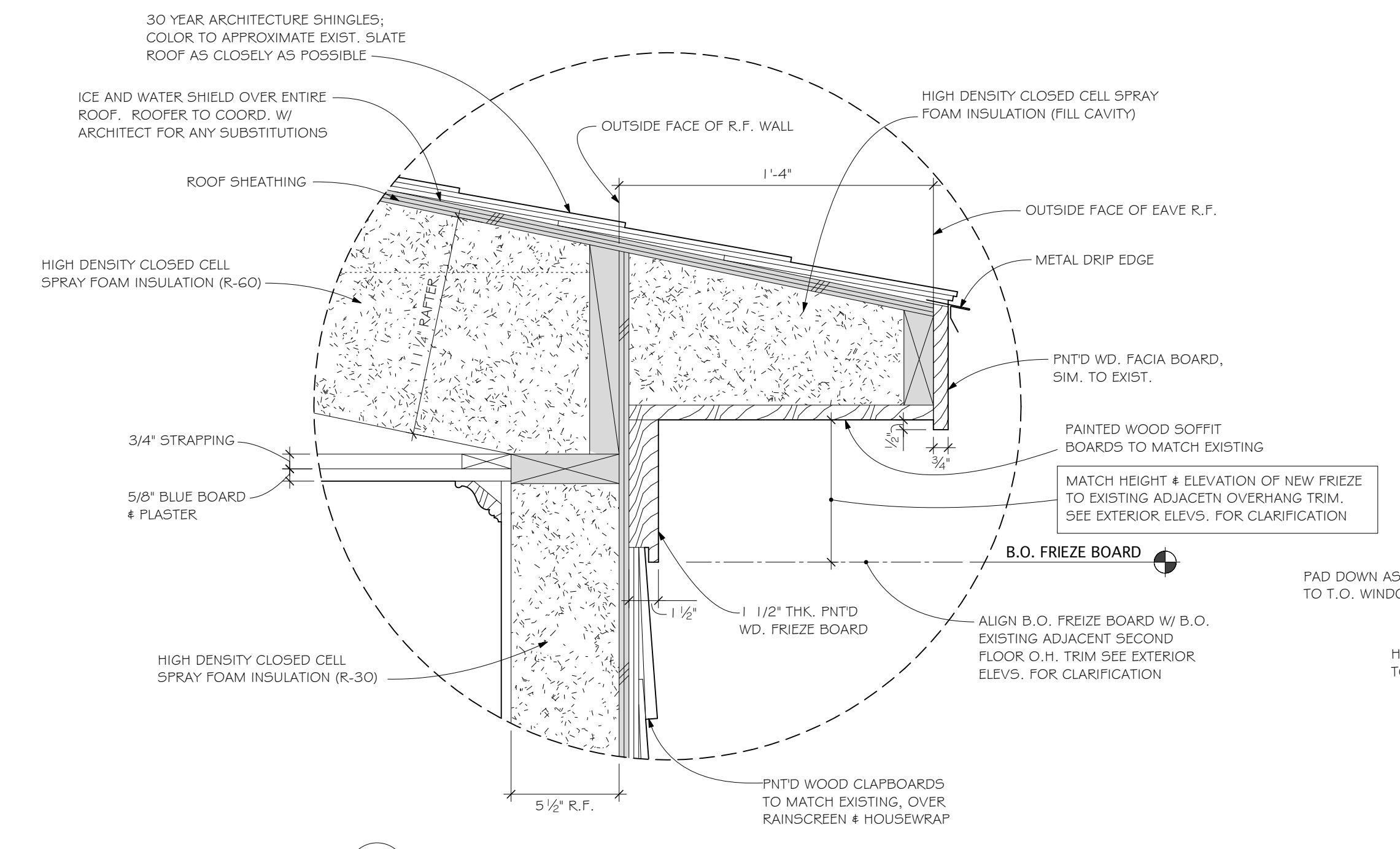
FACE OF CONC. WALL
 T.O. STEM WALL
 5'-6" CLEAR OPENING
 PROPOSED BULKHEAD FRAMING
 T.O. BULKHEAD R.F. SLOPED ROOF
 T.O. F.F. 2'-0 3/4"
 KITCHEN
 T.O. BULKHEAD FOUND. WALL
 STEP IN TOP OF CONC. WALL
 NEW HEADER
 NEW FRAMING & DOOR TO BULKHEAD ENTRY
 WOOD STAIR
 CONTROL JOINT BETWEEN CONC. OVERLAY AND ADJACENT NEW FOUNDATION WALL
 3'-0" MIN. RISER TO CASING
 FLUSH
 6'-0 1/2" DOOR R.O.
 OPEN TO PROPOSED STORAGE SPACE
 NEW DOOR TO BULKHEAD ENTRY STAIR
 NEW CONC. LANDING INFILL TOP TO BE FLUSH W/ STORAGE SPACE 2' PERIMETER CONC. SHELF
 EXISTING CONC. SLAB & FOUNDATION
 DRAIN AT BULKHEAD, TIED INTO UNDERSLAB PERF. PIPE
 PROPOSED CONC. SLAB OVER 1.5 MIL. POLYOLEFIN VAPOR RETARDER, OVER 2" RIGID XPS INSUL (R-10)
 6" DIAM. PERFORATED UNDERSLAB DRAIN PIPE TIED INTO FOOTING DRAIN

FLASHING BETWEEN EXIST. EXTERIOR WALL & NEW ROOF
 PROPOSED ROOF & CEILING FRAMING
 12:2.5
 EXISTING FRAMING
 1 A4.0
 T.O. WALL PLATE ELEV. = 8'-0"
 ALIGN B.O. FRIEZE BOARD W/ B.O. EXISTING ADJACENT SECOND FLOOR O.H. SEE EXTERIOR ELEV. FOR CLARIFICATION
 B.O. FRIEZE BOARD
 T.O. WINDOW R.O.
 TRANSVERSE BEAM & POST ABOVE
 3/4"
 102
 CRUSHED STONE EXTENDS AROUND ADDITION, A LITTLE PAST DRIP LINE. MATCH EXISTING ELSEWHERE
 T.O. FIRST FLR. FIN. FLR. ELEV. = 0'-0"
 FINISH GRADE SLOPED AWAY 1/2" PER FOOT FOR FIRST 6'-0" @ ADDITION PERIMETER
 9'-0 1/4"
 FOUNDATION WALL W/ 2 3/8" THK. 'WARM-N-DRY' FOUNDATION BOARD (R-10) OVER DAMPPROOFING
 T.O. PROP. STORAGE SPACE SLAB
 UNDISTURBED OR COMPACTED FILL
 6" DIAM. PERFORATED FOOTING DRAIN PIPE AT ADDITION FOOTING, TIED INTO UNDERSLAB DRAIN
 CRUSHED STONE W/ FILTER FABRIC BELOW. 1'0" MIN. UNDER SLAB
 6" DIAM. PERFORATED UNDERSLAB DRAIN PIPE EXITS INTO SUMP PUMP, WHICH DISCHARGES INTO SUBSURFACE INFILTRATION SYSTEM

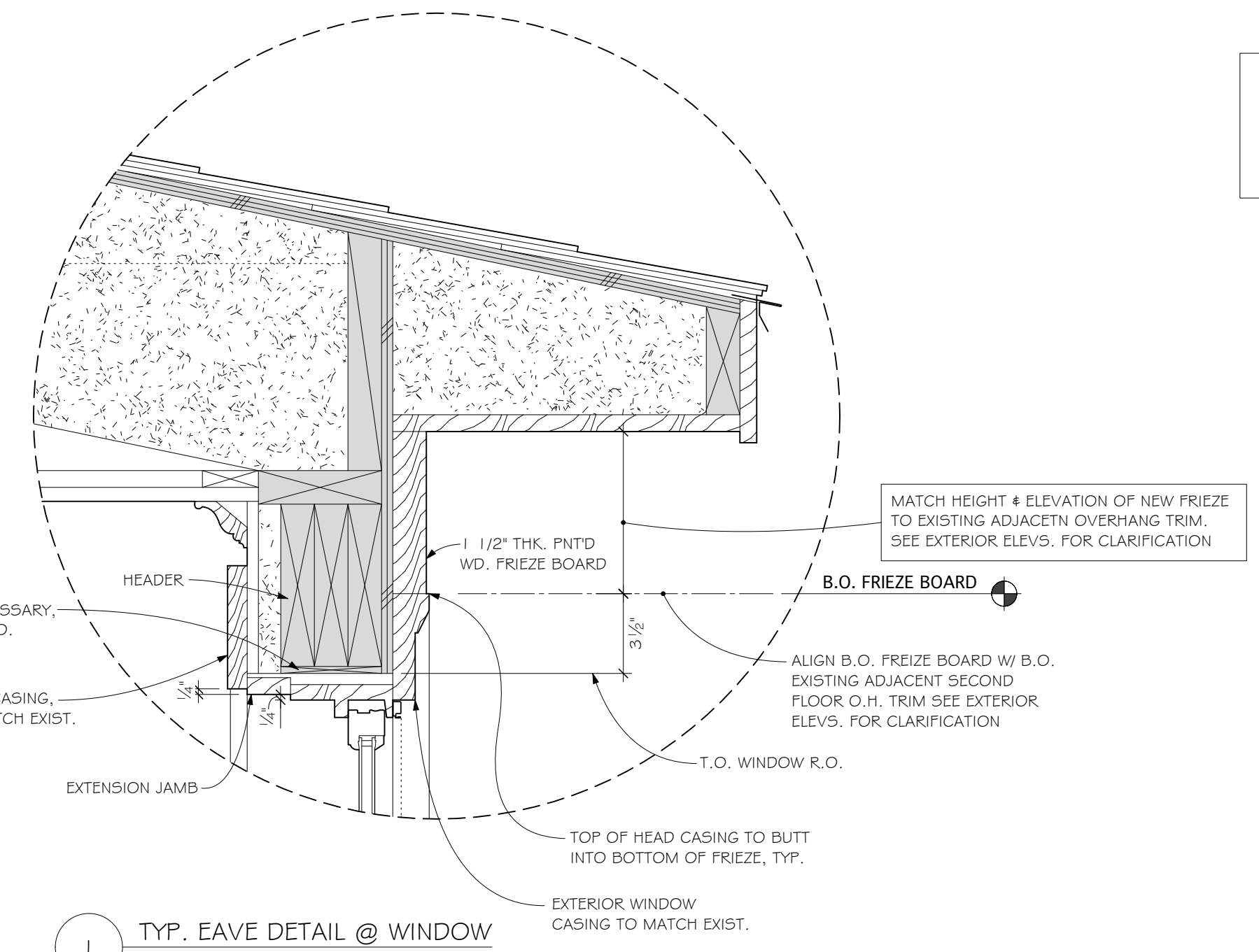


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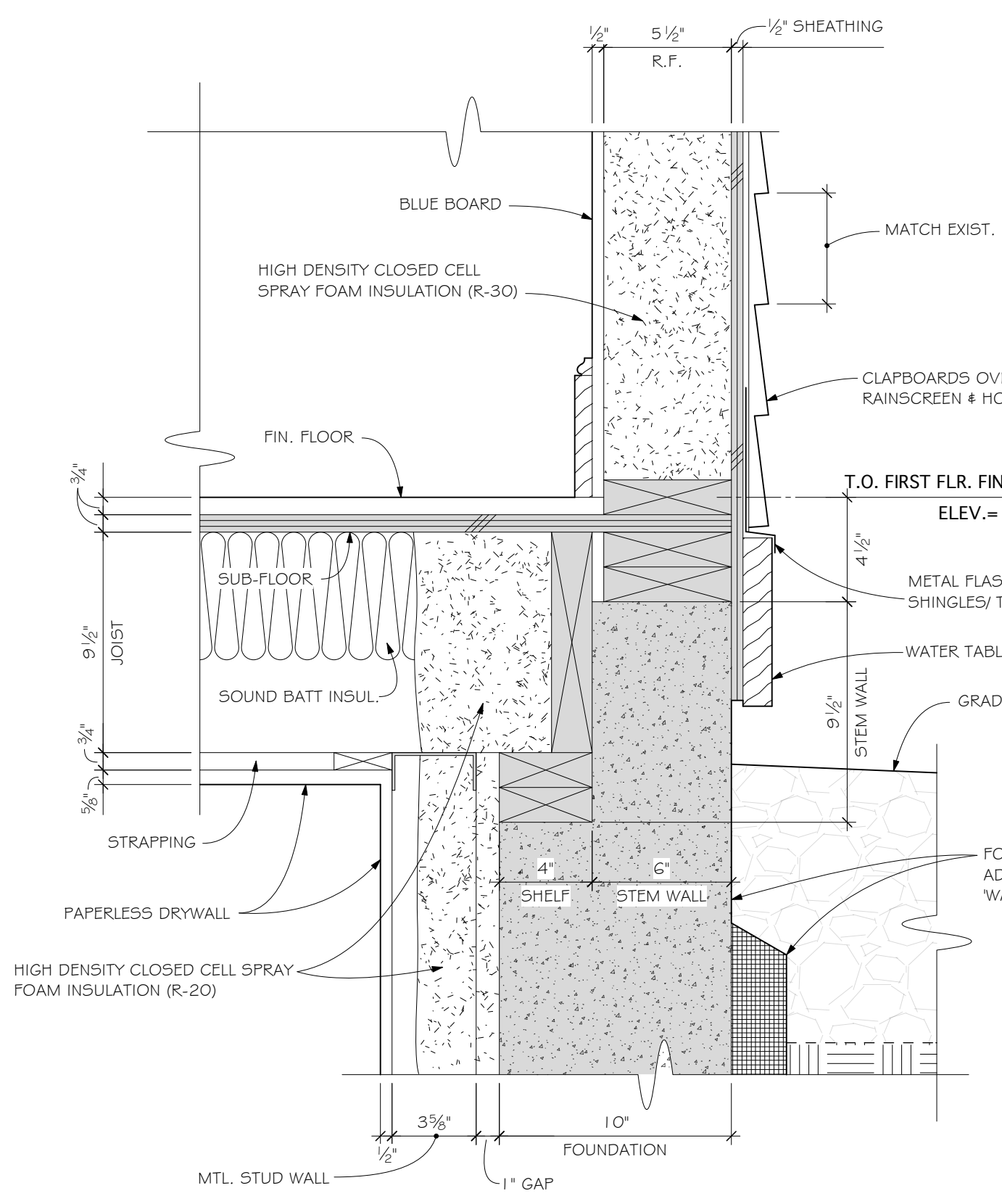
BLUMENREICH ADDITION
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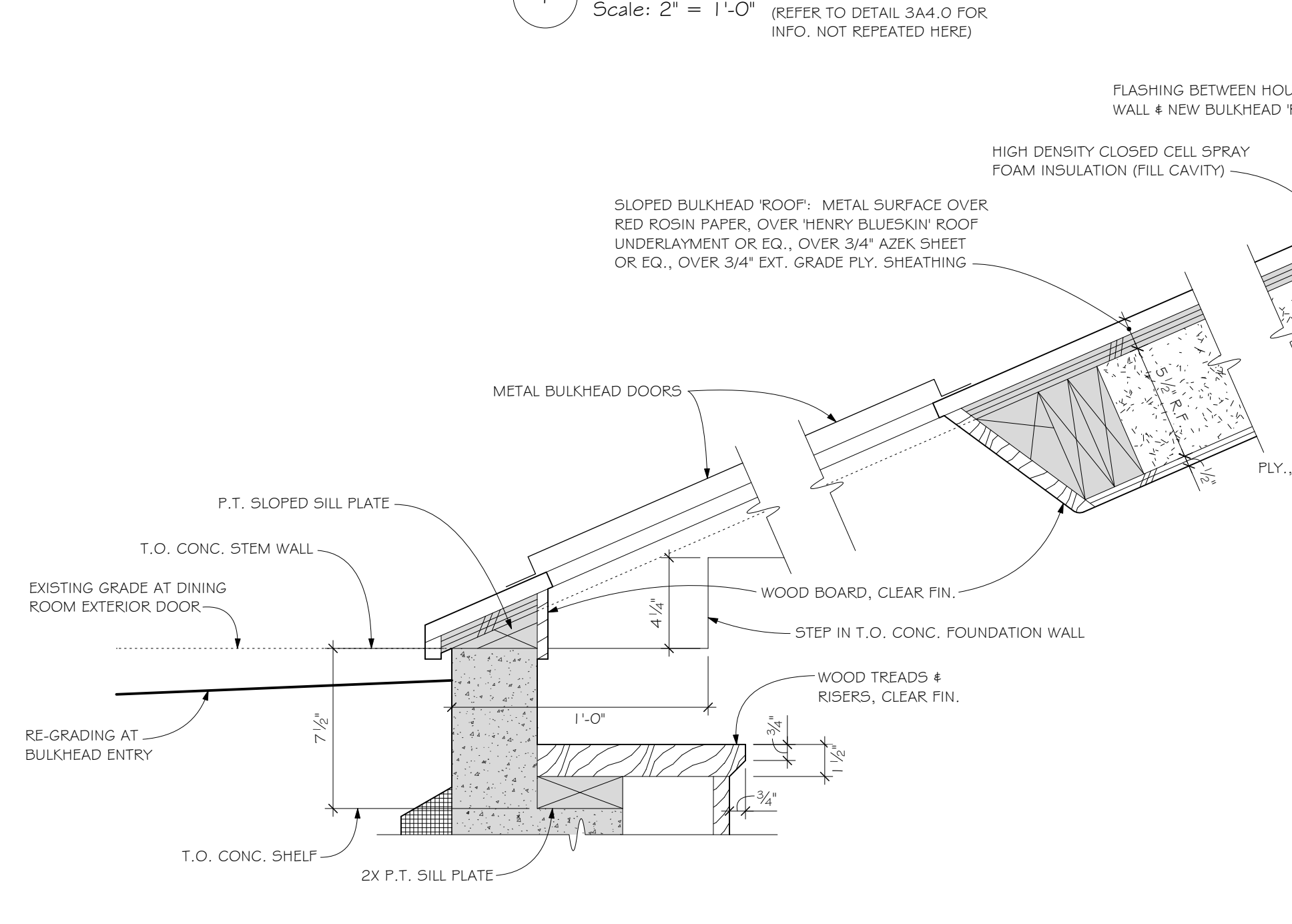
3 TYP. EAVE DETAIL
 Scale: 2" = 1'-0"



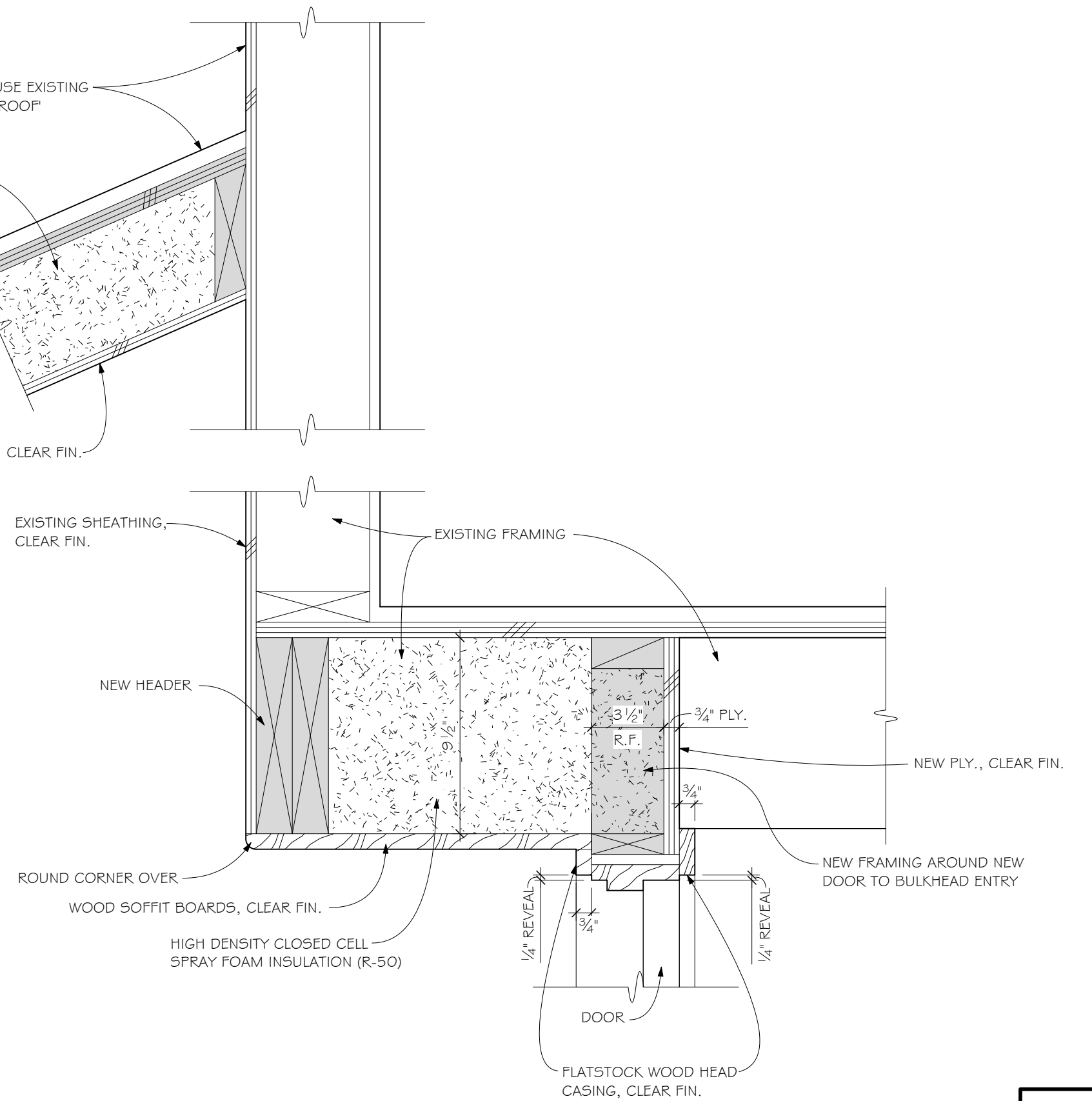
1 TYP. EAVE DETAIL @ WINDOW
 Scale: 2" = 1'-0" (REFER TO DETAIL 3A4.0 FOR INFO. NOT REPEATED HERE)



4 TYP. T.O. FOUNDATION SECTION @ ADDITION
 Scale: 2" = 1'-0"



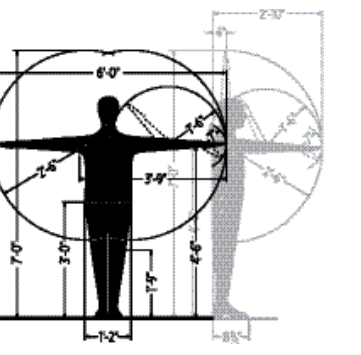
2 BULKHEAD ENTRY SECTION
 Scale: 2" = 1'-0"



NOTE:
 REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR MORE INFORMATION ON CONCRETE WORK & FRAMING. IF STRUCTURAL ELEMENT AND/OR MEMBER LOCATIONS ARE UNCLEAR, CONFIRM W/ ARCHITECT & STRUCTURAL ENGINEER.

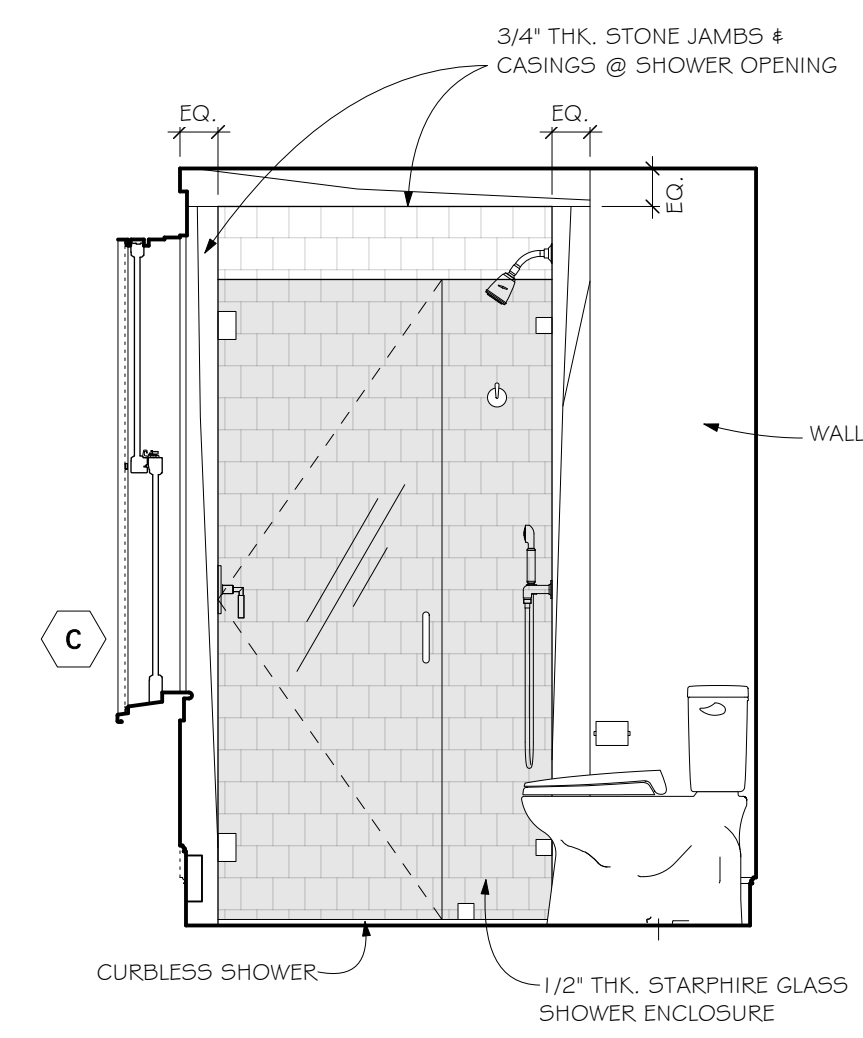
Issue	Date
PERMIT SET	03/07/24

Wall Sections &
 Details @ Addition
 & Bulkhead Entry

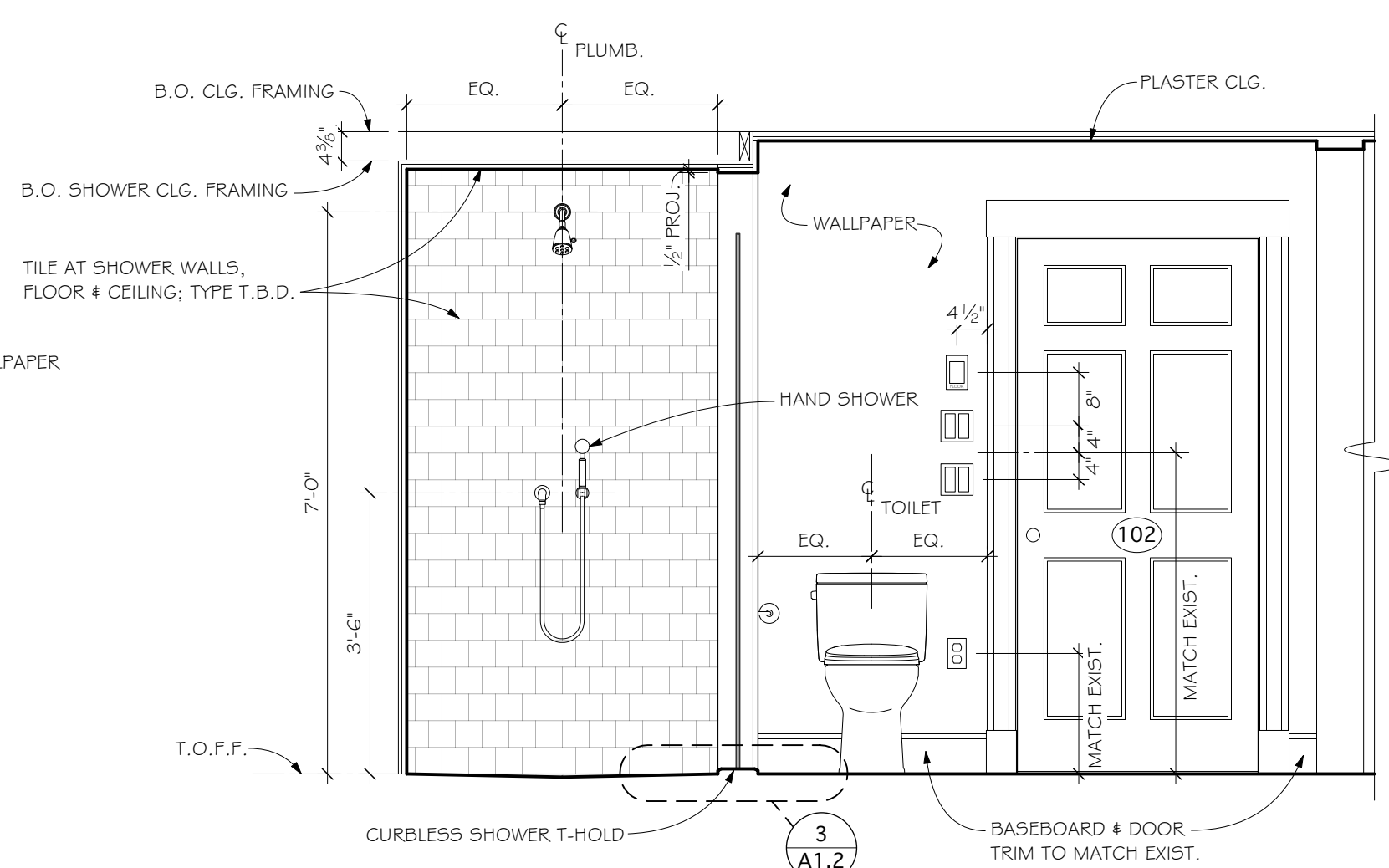


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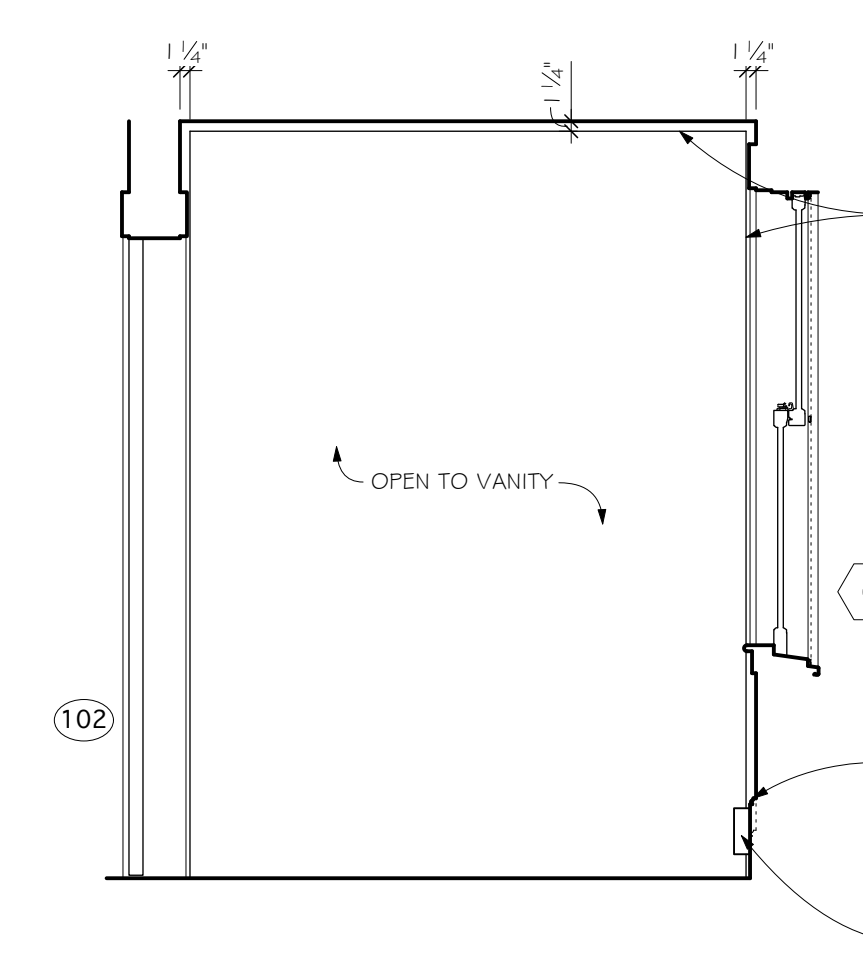
- GENERAL NOTES @ INTERIOR ELEVATIONS:**
1. ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF VARIATIONS.
 2. ALL ELEVATIONS ARE SHOWN AT 1/2" = 1'-0" UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE FINISH TO FINISH ON 1/2" = 1'-0".
 4. ALL TRIM WORK TO BE PAINTED, UNLESS OTHERWISE NOTED.
 5. ALL VISIBLE CABINET SURFACES TO BE PAINTED, UNLESS OTHERWISE NOTED.
 6. CAB. INTERIORS TO BE CLEAR FINISHED PAINT GRADE BIRCH PLY, UNLESS OTHERWISE NOTED.
 7. HINGES TO BE CONCEALED 'BLUM' 120 DEG., SOFT CLOSE.
 8. SLIDES TO BE BLUM TADEM SERIES, FULL EXTENSION, UNDERMOUNT, W/ BLU MOTION SELF CLOSING FUNCTION.



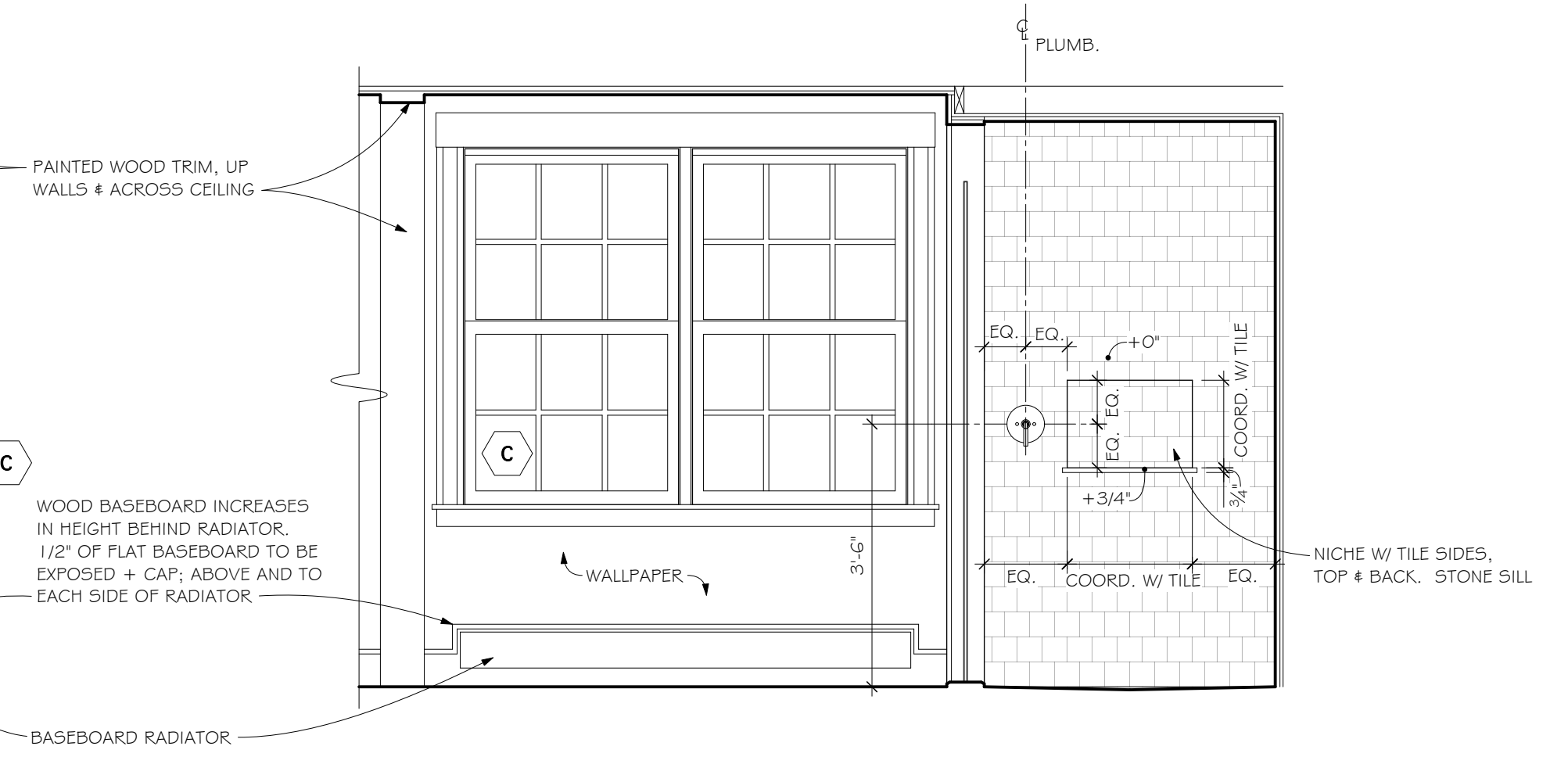
1 BATHROOM NORTH ELEVATION
 Scale: 1/2" = 1'-0"



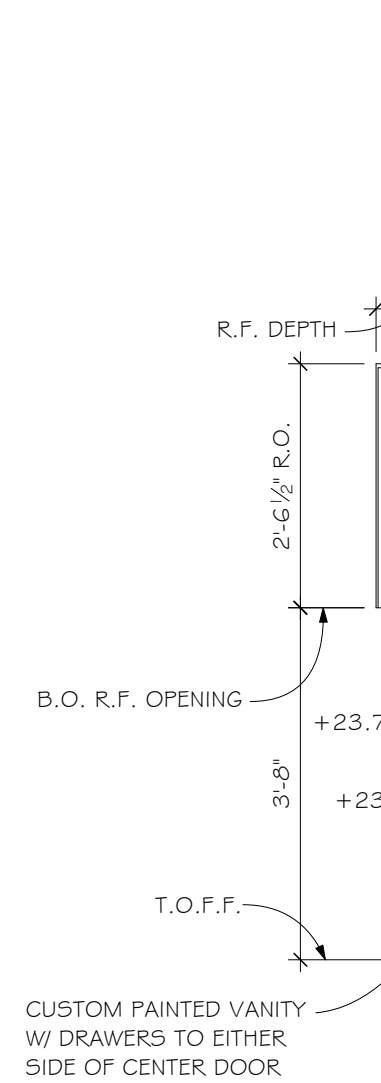
2 BATHROOM EAST ELEVATION
 Scale: 1/2" = 1'-0"



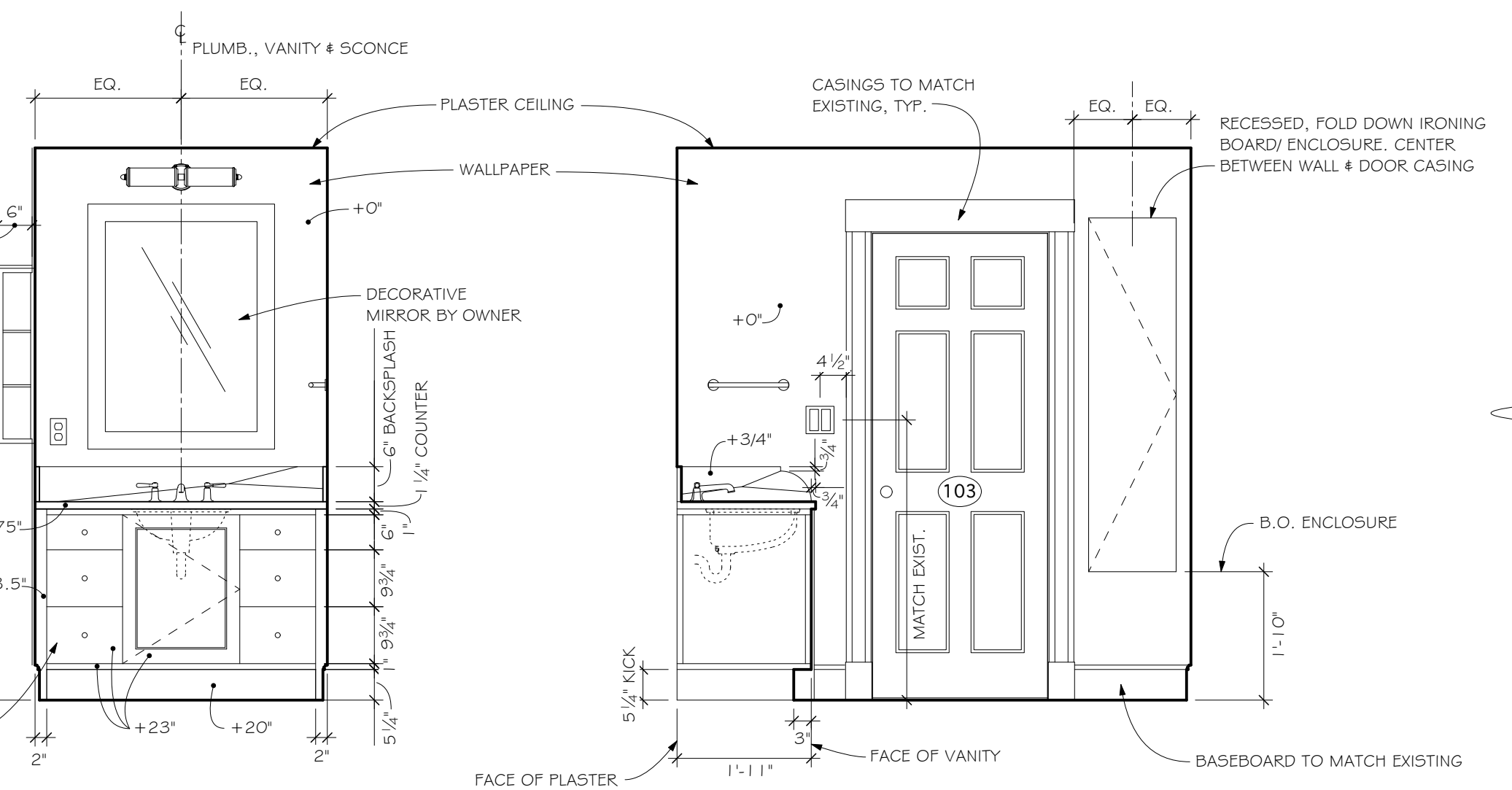
3 BATHROOM SOUTH ELEVATION
 Scale: 1/2" = 1'-0"



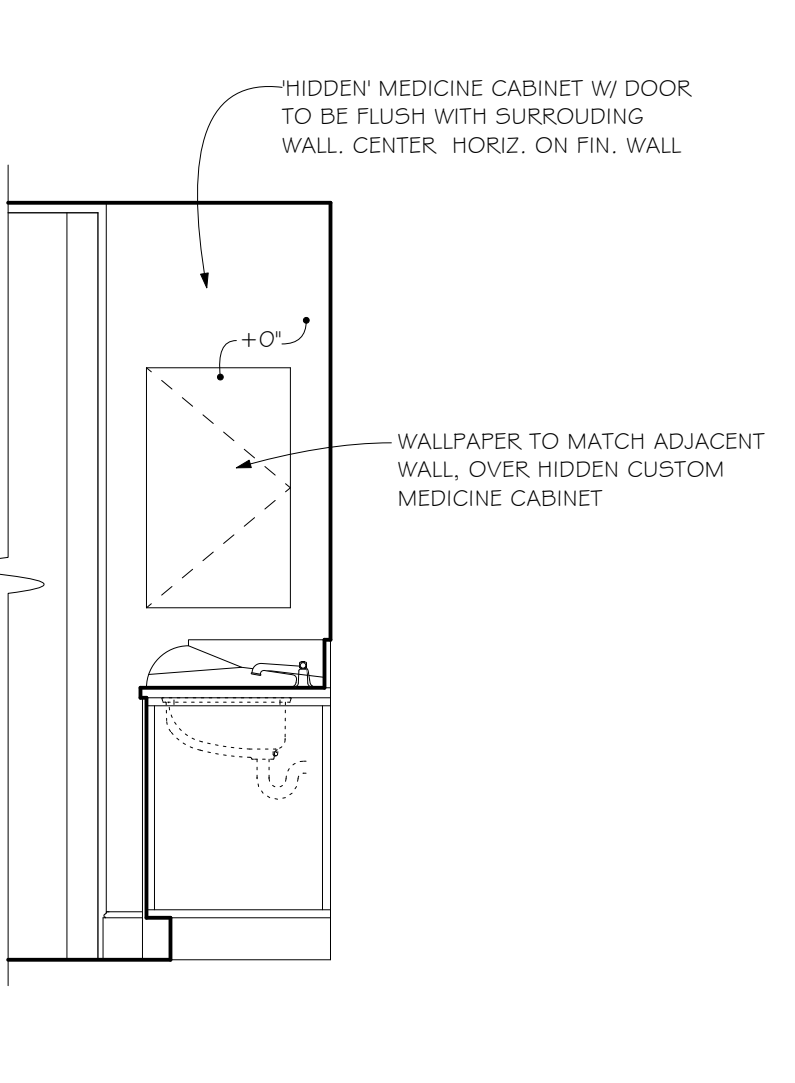
4 BATHROOM WEST ELEVATION
 Scale: 1/2" = 1'-0"



5 VANITY EAST ELEVATION
 Scale: 1/2" = 1'-0"



6 VANITY SECTION/ SOUTH ELEVATION
 Scale: 1/2" = 1'-0"

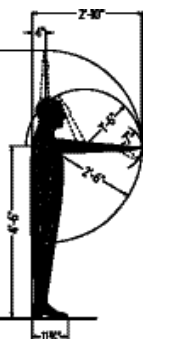


7 VANITY SECTION/ NORTH ELEVATION
 Scale: 1/2" = 1'-0"

BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138

Issue	Date
PERMIT SET	03/07/24

First Floor Bathroom
 Interior Elevations



Charles R. Myer & Partners

875 Main Street
Cambridge, MA
02139

617.876.9062

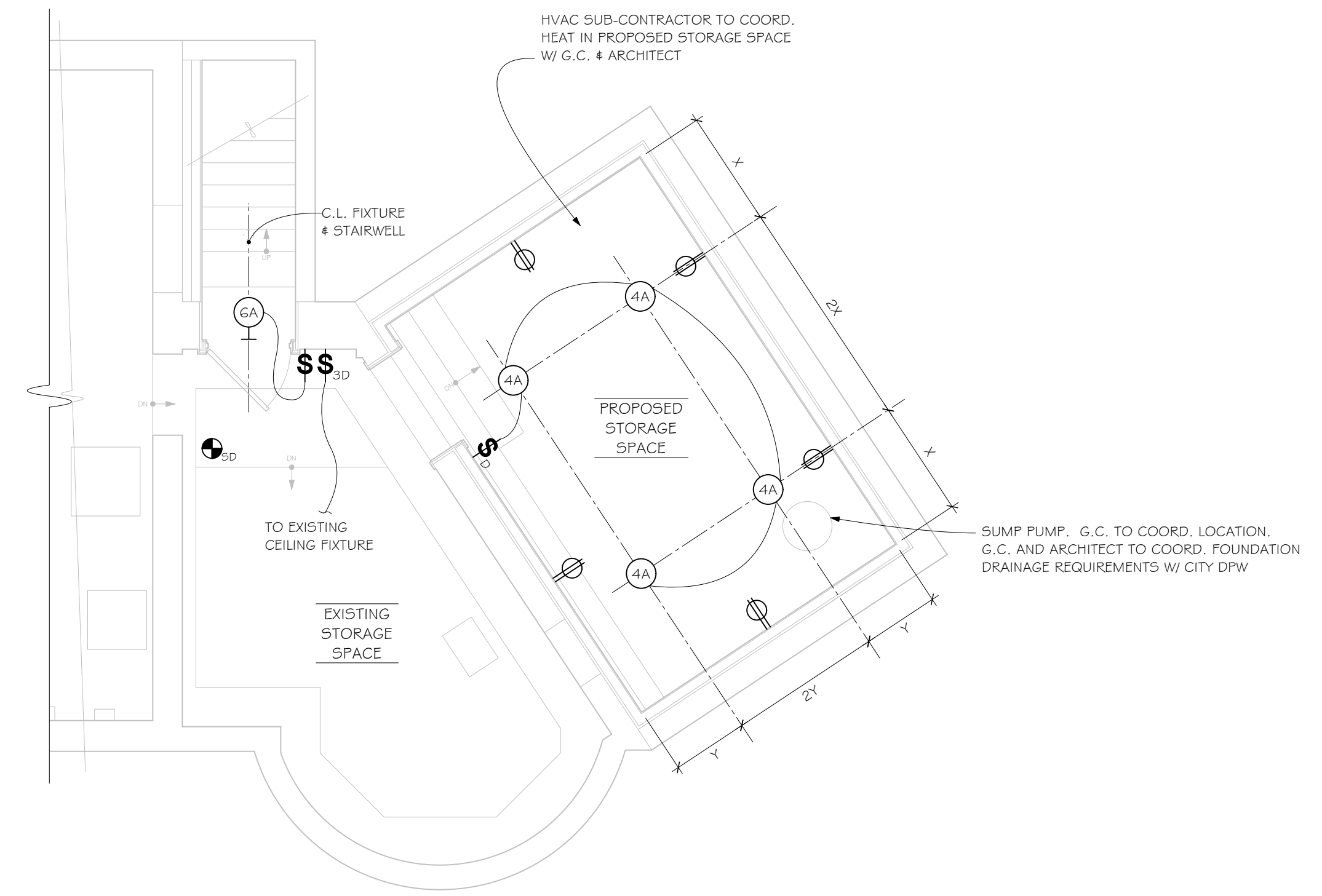
BLUMENREICH ADDITION

123 Brattle Street, Cambridge, MA 02138

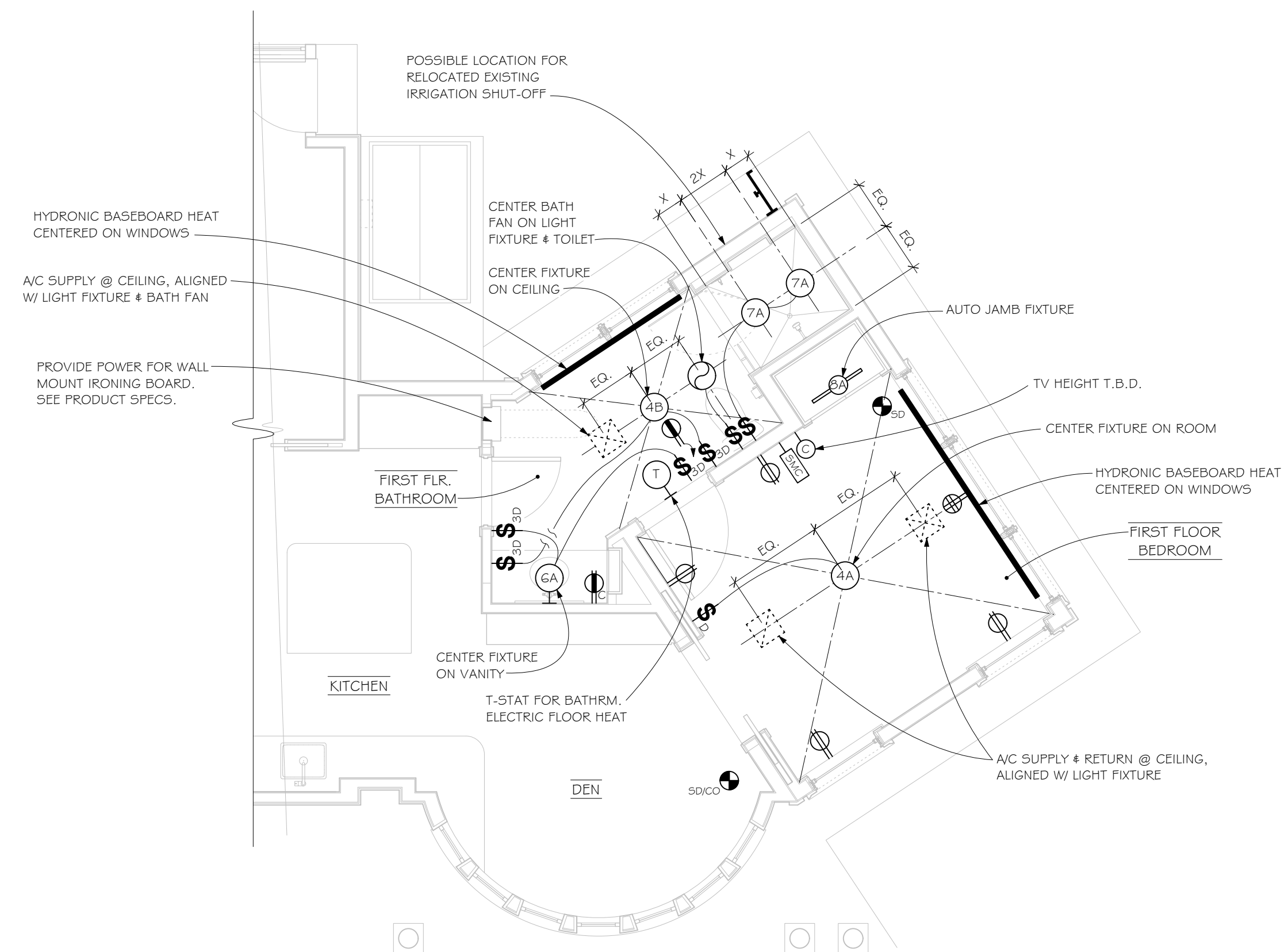
- CEILING MOUNTED FIXTURE
- RECESSED / DIRECTIONAL RECESSED FIXTURE
- WALL MOUNTED FIXTURE; "S" INDICATED PULL CHAIN
- UNDER CABINET FIXTURE
- FLOOD LIGHT FIXTURE; "M" INDICATES MOTION SENSOR
- FLUORESCENT LIGHT FIXTURE; "D" INDICATES DOOR SWITCH
- BATHROOM EXHAUST FAN; "L" INDICATES W/ LIGHTS
- SWITCH; MOUNT @ 48" AFF UNLESS NOTED OTHERWISE; "3" INDICATES 3-WAY; "4" INDICATES 4-WAY; "D" INDICATES DIMMER; "T" INDICATES TIMER.
- THERMOSTAT
- SUPPLY REGISTERS
- RETURN GRILLS
- RADIANT BASEBOARD HEAT
- HOSE BIB
- DUPLEX RECEPTACLE OUTLET; MOUNT 18" AFF; "C" INDICATES MOUNT AT 6" ABOVE COUNTER HEIGHT
- QUADRUPLEX OUTLET
- GFI DUPLEX RECEPTACLE; "WP" INDICATES WEATHER PROOF OUTLET
- DEDICATED RECEPTACLE OUTLET
- RECESSED CLOCK OUTLET
- FLOOR OUTLET
- STRUCTURED MEDIA CENTER
- SPEAKER JACK; "B" INDICATES SWITCHBOX
- IN-WALL SPEAKER OR SPEAKER JACK
- VOLUME CONTROL
- HEAT DETECTOR; SMOKE DETECTOR; CARBON MONOXIDE DETECTOR
- EXISTING TO REMAIN
- NEW FIXTURE AT EXIST. LOCATION

LIGHT FIXTURE TYPE

1. PORCELAIN MOUNTS
2. FLUORESCENT / UTILITY
3. STORAGE / CLOSET (LENSED)
4. CEILING SURFACE MOUNT
5. PENDANTS
6. SCONCES
7. CANISTER / RECESSED
8. SPECIALTY
9. EXTERIOR



1 BASEMENT ELECTRICAL PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

Basement & First Floor Electrical Plans

Issue	Date
PERMIT SET	03/07/24

E1.0

STRUCTURAL NOTES:

GENERAL STRUCTURAL:

- THIS STRUCTURE WAS DESIGNED FOR THE FOLLOWING MINIMUM DEAD AND LIVE LOADS:
 ROOF: DL=15 psf SL= 40 psf (GROUND SNOW LOAD)
 SNOW DRIFT CALCULATED PER ASCE7-10
 CEILING: DL=10 psf LL=10 psf
 FIRST FLOOR: DL=15 psf LL=40 psf
 WIND: 128 Miles per hour (3 SEC GUST)
 WIND EXPOSURE: B
- THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE 2015 EDITION .
- NOTIFY THE ENGINEER WHEN CONDITIONS UNCOVERED DURING CONSTRUCTION ARE UNANTICIPATED, VARY FROM THE DRAWINGS OR APPEAR TO PRESENT A DANGEROUS CONDITION.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS AND COMMENCING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS AND SITUATIONS.
- STABILIZE ALL CONSTRUCTION MEMBERS, WALLS AND FRAMES DURING ALL PHASES OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND/OR BRACING TO SAFELY SUPPORT THE BUILDING DURING CONSTRUCTION. ANY APPROVAL BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR SHORING AND/OR BRACING.
- FOOTINGS SHALL BE FOUNDED ON UNDISTURBED, INORGANIC GRANULAR SOIL HAVING A MINIMUM BEARING CAPACITY OF 2.0 KIPS PER SQUARE FOOT. IF EXISTING MATERIAL IS FOUND TO BE UNSUITABLE, IT SHALL BE REMOVED AND REPLACED WITH GRAVEL FILL. SUCH FILL SHALL BE COMPACTED TO 98 PERCENT OF THE MAXIMUM DRY DENSITY AS PER ASTM D698-78. UNDER NO CIRCUMSTANCES SHALL THE FOUNDATION CONCRETE BE PLACED IN WATER OR ON FROZEN GROUND.
- EXCAVATIONS FOR FOOTINGS SHALL BE FINISHED BY HAND.
- GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL ENGINEERED LUMBER AND STRUCTURAL STEEL FOR REVIEW BY ENGINEER. VERIFY ALL SIZE OF MEMBERS AND CONNECTIONS AS APPLICABLE.
- PLEASE REVIEW SIMPSON STRONG-TIE'S LATEST CATALOGUES AND CONTACT THEM AS NEEDED FOR ANY SPECIFIC INFORMATION RELATED TO APPLICABLE CONNECTIONS AND SHEAR WALL INFORMATION.

CONCRETE:

- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI) ACI, (LATEST EDITION), SPECIFICATIONS FOR STRUCTURAL CONCRETE, EXCEPT AS MODIFIED BELOW:
 * UNLESS NOTED OTHERWISE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 psi UNLESS NOTED @ 28 DAYS AND A MAXIMUM SLUMP OF 5".
 * CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE OF ¾" & AN AIR-CONTENT OF 5 ±1%.
 * REINFORCING STEEL SHALL CONFORM TO ASTM, GRADE 615, GRADE 60.
 * CLEARANCE OF REINFORCING STEEL FROM ADJACENT SURFACES SHALL BE 3" WHEN CASTING AGAINST GROUND AND 2" ELSEWHERE.
 * PROVIDE AND INSTALL ALL NECESSARY TIE BARS, SPACER BARS, CHAIRS, BOLSTERS, HIGH CHAIRS AND OTHER ACCESSORIES NECESSARY TO HOLD STEEL SECURELY IN PLACE.
 * MINIMUM LAP SPLICING OF BARS SHALL BE 24" OR 36"x BAR DIA WHICHEVER IS GREATER
 * WELDED WIRE FABRIC SHALL BE 6x6-W1.4 xW1.4, CONFORMING TO THE REQUIREMENTS OF ASTM A185. USE SHEETS, NOT ROLLS AND A 6" MINIMUM OVERLAP OF SHEETS.
- CONCRETE SHALL BE Poured CONTINUOUSLY WITH NO "COLD JOINTS" AND ADEQUATELY VIBRATED TO PREVENT AIR POCKETS AND HONEYCOMB EFFECTS.
- UNLESS NOTED OTHERWISE, ON THE DRAWINGS FOUNDATION WALL ANCHOR BOLTS TO BE ½" x10" LONG AND SPACED AT 32" O.C. LOCATE THE BOLTS NOT MORE THAN 1'-0" FROM SPLICES AND FOUNDATION CORNERS.
- PROVIDE CONCRETE WATERPROOFING. USE CONCRETE WATERPROOFING & DURABILITY ENHANCING ADMIXTURE. USE KRYSTOL INTERNAL MEMBRANE (KIM) BY KRYTON. ADMIXTURE TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO CONSULT DIRECTLY WITH MANUFACTURER TO ASSURE CORRECT APPLICATION OF THE PRODUCT.

STEEL:

- STRUCTURAL STEEL TO BE NEW AND CONFORM TO THE FOLLOWING:

		<u>YIELD STRESS</u>
BEAMS:	ASTM A529, A572 OR A992	50,000 psi
PIPE COLUMNS:	A500, GRADE B OR C	42,000 psi
TUBING:	A500, GRADE B OR C	46,000 psi
ANGLES & PLATES:	ASTM A-36	36,000 psi
- COMMON BOLTS AND NUTS SHALL CONFORM TO ASTM A325.
- METAL CONNECTIONS AND TIES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE, OR OTHER EQUIVALENT MANUFACTURER.

WOOD:

- ENGINEERED LUMBER TO BE INSTALLED ACCORDING TO SPECIFICATIONS AND RECOMMENDATIONS BY THE MANUFACTURER. SIZES SHALL BE AS SHOWN ON THE DRAWINGS. LVL MATERIAL SHALL HAVE THE FOLLOWING PROPERTIES:
 Fb = 2600 psi Fv = 285 psi E = 2,000,000 psi
 UNLESS OTHERWISE SHOWN, THE TOP EDGE OF LVL BEAMS SHALL BE CONTINUOUSLY Laterally SUPPORTED.
- SEE MANUFACTURER'S SPECIFICATIONS FOR FASTENING LVL PLIES TOGETHER. OTHERWISE LVL's WITH FLUSH-FRAMED JOISTS SHALL BE ASSEMBLED PER MANUFACTURER'S RECOMMENDATIONS OR HAVE ½" THRU-BOLTS SPACED AT 16" AND STAGGERED TOP AND BOTTOM. EDGE DISTANCE TO BOLTS SHALL BE 1½".
- CONTRACTOR IS REMINDED THAT LVL's HAVE BEEN PRESHRUNK AND SHALL DETAIL CONNECTIONS AT LVL's TO ACCOUNT FOR THE ANTICIPATED SHRINKAGE OF DIMENSIONAL LUMBER.
- UNLESS OTHERWISE SHOWN, FRAMING LUMBER SHALL BE SPRUCE-PINE-FIR (S-P-F), NUMBER 1 OR 2 OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19%. LUMBER SHALL HAVE THE FOLLOWING MINIMUM STRUCTURAL PROPERTIES:
 Fb=1000 psi (Repetitive use), Fb=875 psi (Single use), Fv=135 psi, E=1,400,000 psi
- UNLESS OTHERWISE SHOWN, COLUMN LUMBER SHALL BE SPRUCE-PINE-FIR (S-P-F), STUD GRADE OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19% AND THE FOLLOWING MINIMUM STRUCTURAL PROPERTIES:
 4" Thick Fc=725 psi, E=440,000 psi
 5" Thick and Larger Fc=725 psi, E=440,000 psi
 DUE TO INHERENT WARPING OF SOLID SAWN LUMBER, CONTRACTOR HAS OPTION TO SUBSTITUTE ANY SOLID WOOD POST MEMBER WITH ENGINEERED LUMBER OF THE SAME SIZE, SUCH AS PSL (PARALLEL STRAND LUMBER) BY TRUSS JOIST OR VL (VERSA-LAM) BY BOISE CASCADE.
- UNLESS OTHERWISE NOTED, A MINIMUM OF (2) STUDS ARE TO BE INSTALLED AT ENDS OF ALL HEADERS, INCLUDING A JACK AND KING STUD.
- UNLESS OTHERWISE NOTED, USE (2) 2x6 AND (3) 2x6 HEADERS IN 2x4 AND 2x6 WALLS RESPECTIVELY.
- INSTALL DOUBLE JOISTS UNDER ALL INTERIOR, PARALLEL WALLS.
- SUBFLOORING UNDER MARBLE OR CERAMIC TILE SHALL BE INSTALLED PER TILE MANUFACTURER'S RECOMMENDATION. BE ADVISED THAT DOUBLE PLYWOOD SUBFLOORING IS USUALLY RECOMMENDED TO ELIMINATE TILE CRACKING.
- PLYWOOD SHEATHING AND NAILING TO BE AS FOLLOWS:

	<u>Nail</u>	<u>Edge</u>	<u>Field</u>
ROOF	½"	8d	6" 12"
EXT. WALLS	½"	8d	6" 12"
FLOORS	¾"	10d	6" 12"

 LEAVE ½" SPACE BETWEEN ALL PANEL EDGES.
- GLUE SUBFLOOR CONTINUOUSLY TO JOISTS WITH ELASTOMERIC STRUCTURAL ADHESIVE.
- INSTALL SOLID 2x BLOCKING, SPACED NOT MORE THAN 8- FEET ON CENTER BETWEEN DIMENSIONAL LUMBER JOISTS ON ALL FLOORS. INSTALL BLOCKING (IF NECESSARY) ONLY AS REQUIRED BY MANUFACTURER OF ENGINEERED JOISTS OR ENGINEER.
- PROVIDE CONTINUOUS DOUBLE TOP PLATE WITH STAGGERED JOINTS AT ALL BEARING STUD WALLS.
- INSTALL SOLID BLOCKING IN FLOOR SYSTEMS BETWEEN BOTTOMS OF COLUMNS AND THEIR SUPPORT. USE EITHER LVL OR DIMENSIONAL LUMBER WITH GRAIN ORIENTED VERTICALLY.
- UNLESS NOTED OTHERWISE ON DRAWINGS, WOOD LEDGERS SHALL BE ATTACHED AS FOLLOWS:
 STUDS: 2 ROWS OF ½" x5" LAG SCREWS OR LEDGER-LOK SCREWS @ 16" O.C.
 CONCRETE: 2 ROWS OF ½" x5" EXPANSION ANCHORS @ 16" O.C.
 USE MINIMUM OF 1½" EDGE DISTANCE ON TOP AND BOTTOM OF LEDGER.



LeBrasseur Engineering
 1194 Walnut Street, Suite 202
 Newton Highlands, MA 02461
 lebrasseur@aol.com
 617-965-5955

BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138

Issue	Date
PERMIT SET	03/07/24

Structural notes
 and Details

S-0

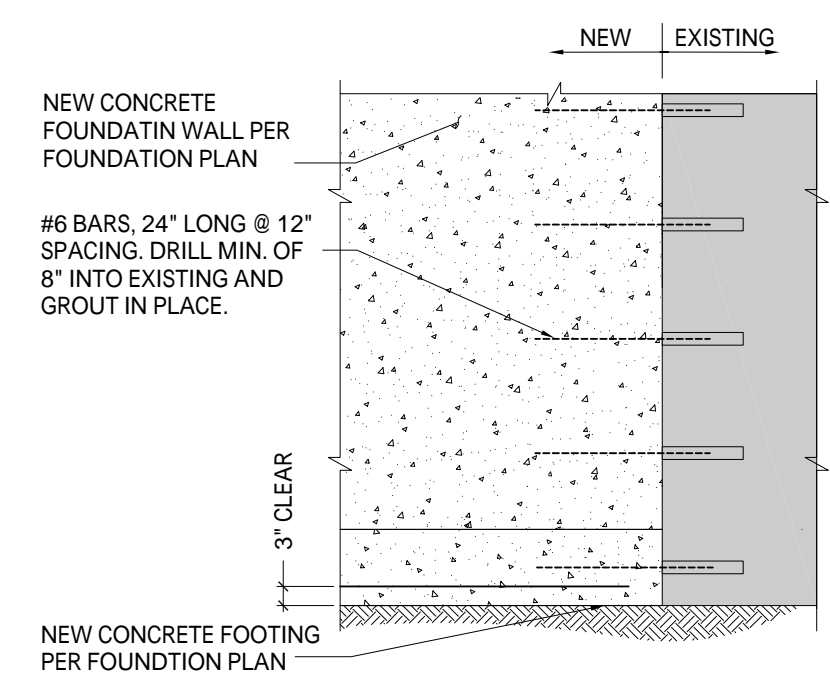


03/06/24
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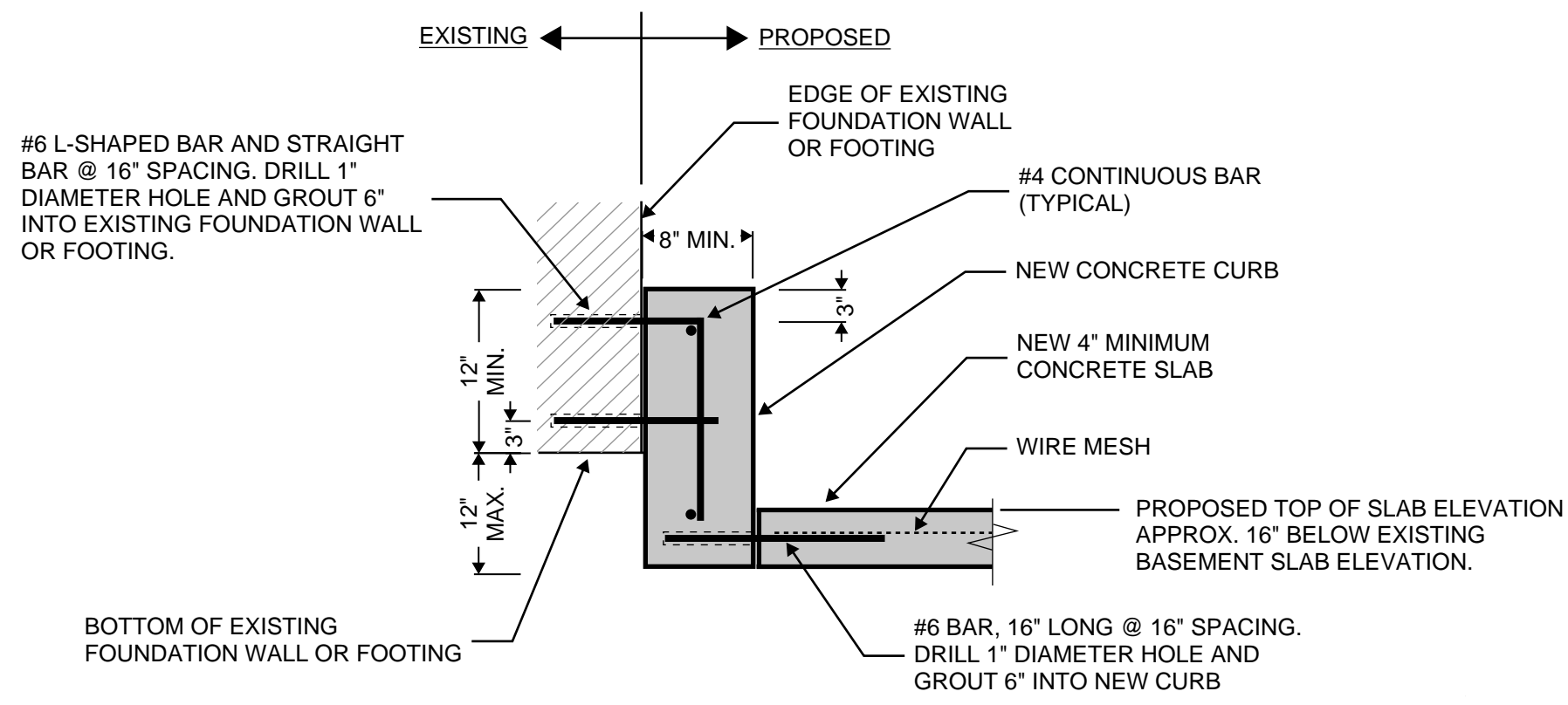
BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138

Issue	Date
PERMIT SET	03/07/24

Foundation Plan and Details



FOUNDATION WALL DOWEL DETAIL
 SCALE: None

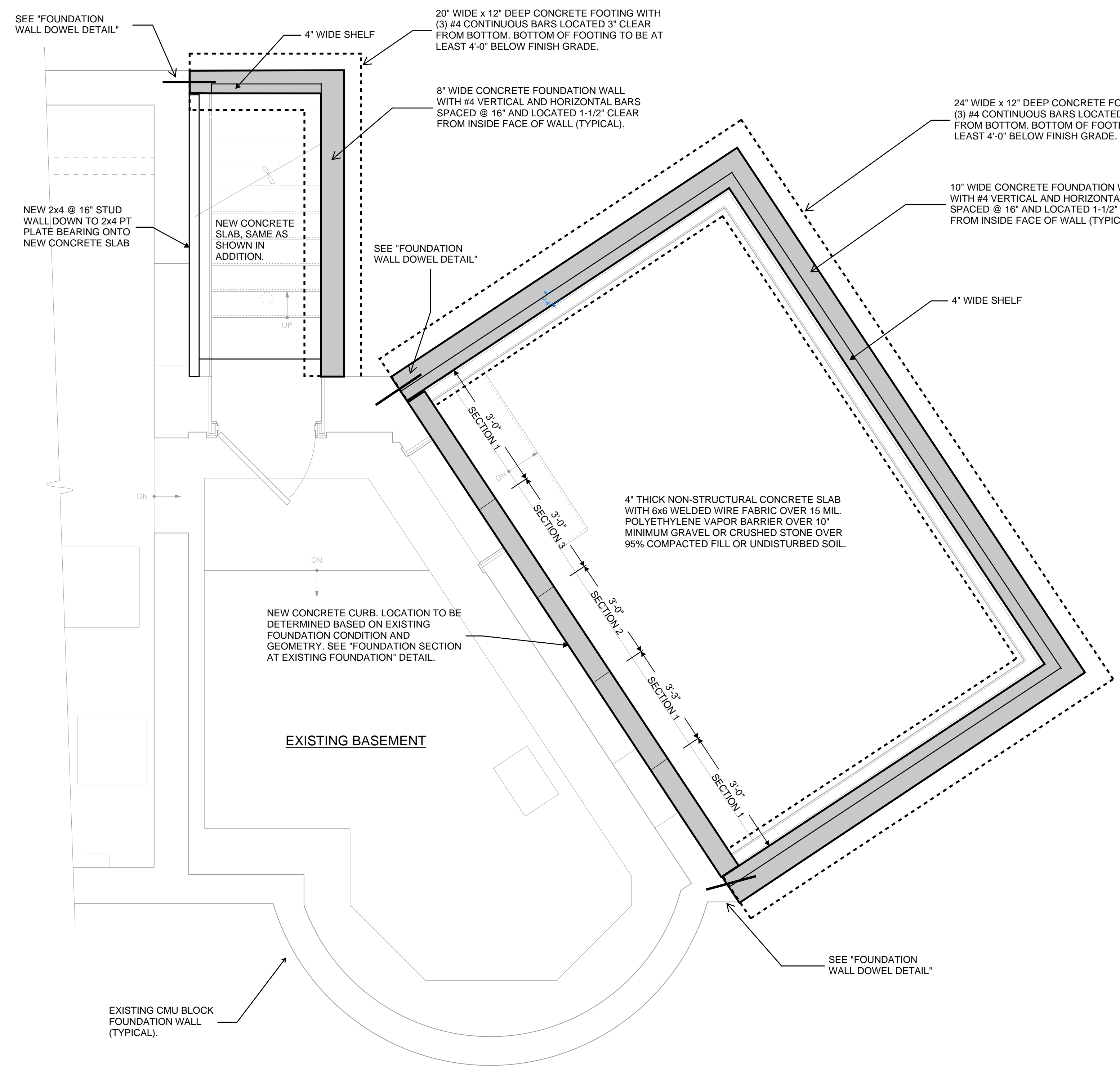


FOUNDATION SECTION AT EXISTING FOUNDATION
 SCALE: 1" = 1'-0"

THIS IS A SUGGESTED DETAIL THAT COULD BE REVISED BASED ON EXISTING CONDITIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY PROPOSED CHANGES OR SUGGESTIONS.

CONCRETE CURB NOTES:

- DETAILS SHOWN ARE FOR THE LOWERING OF SLAB BELOW THE EXISTING BASEMENT FLOOR SLAB.
- NOTIFY THE ENGINEER WHEN CONDITIONS UNCOVERED DURING CONSTRUCTION ARE UNANTICIPATED, VARY FROM THE DRAWINGS OR APPEAR TO PRESENT A DANGEROUS CONDITION.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS AND COMMENCING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- STABILIZE FOUNDATION WALLS DURING ALL PHASES OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND/OR BRACING TO SAFELY SUPPORT THE BUILDING DURING CONSTRUCTION. ANY APPROVAL BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR SHORING AND/OR BRACING.
- SEE STRUCTURAL 'CONCRETE' NOTES ON SHEET S-0 FOR CONCRETE INFORMATION.
- CURB SHALL BE PLACED IN INTERMITTENT SECTIONS NOT TO EXCEED 3'-0". SEE THE SUGGESTED SEQUENCE SHOWN ON THE FOUNDATION PLAN.
- ENGINEER TO OBSERVE AND APPROVE AT LEAST ONE SECTION OF REINFORCING PRIOR TO PLACEMENT OF CONCRETE.

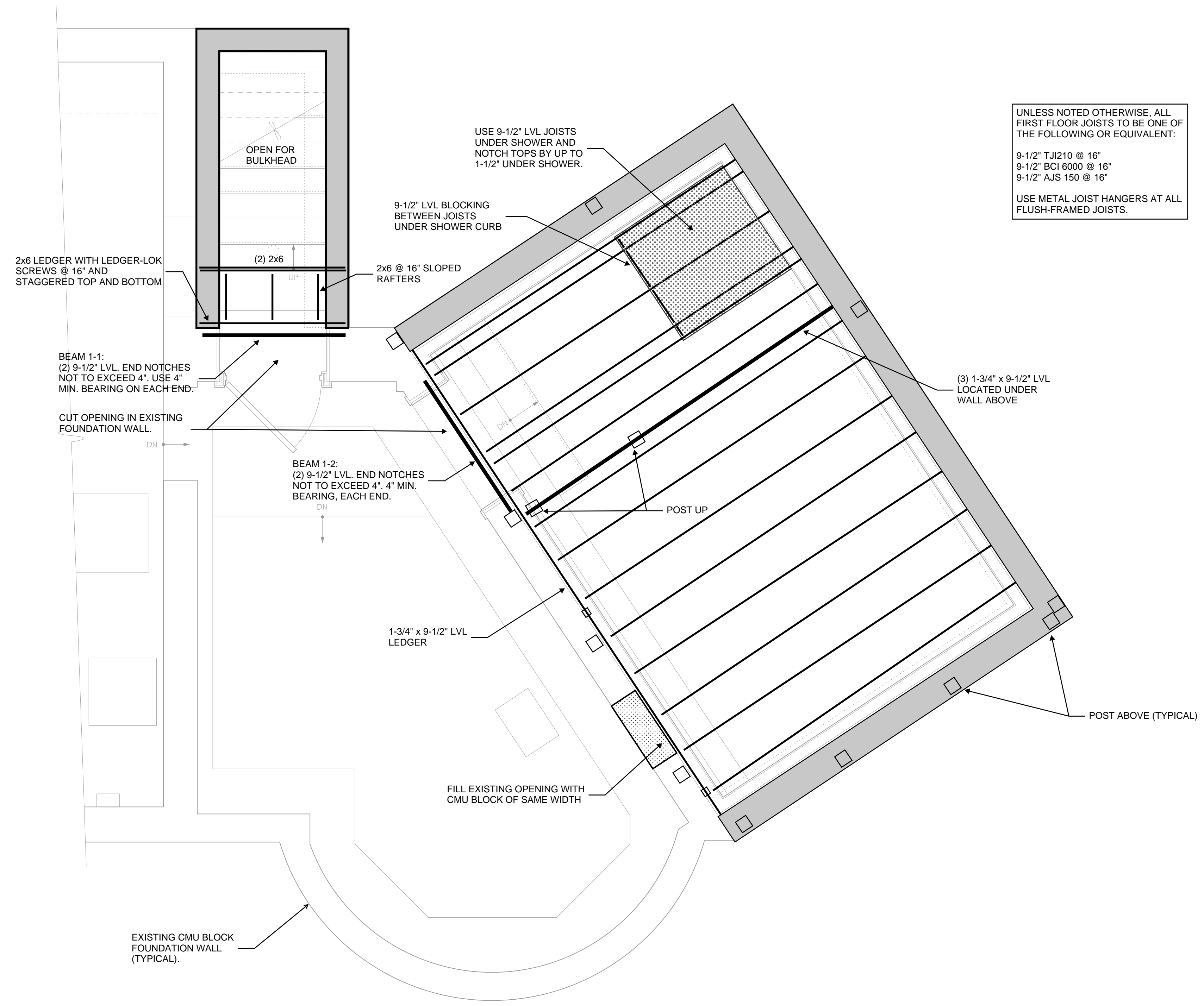


FOUNDATION PLAN
 SCALE: 1/2" = 1'-0"



03/06/24
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BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138



FIRST FLOOR FRAMING PLAN
 SCALE: 1/2" = 1'-0"

Issue	Date
PERMIT SET	03/07/24

**First Floor Framing
 Plan and Details**



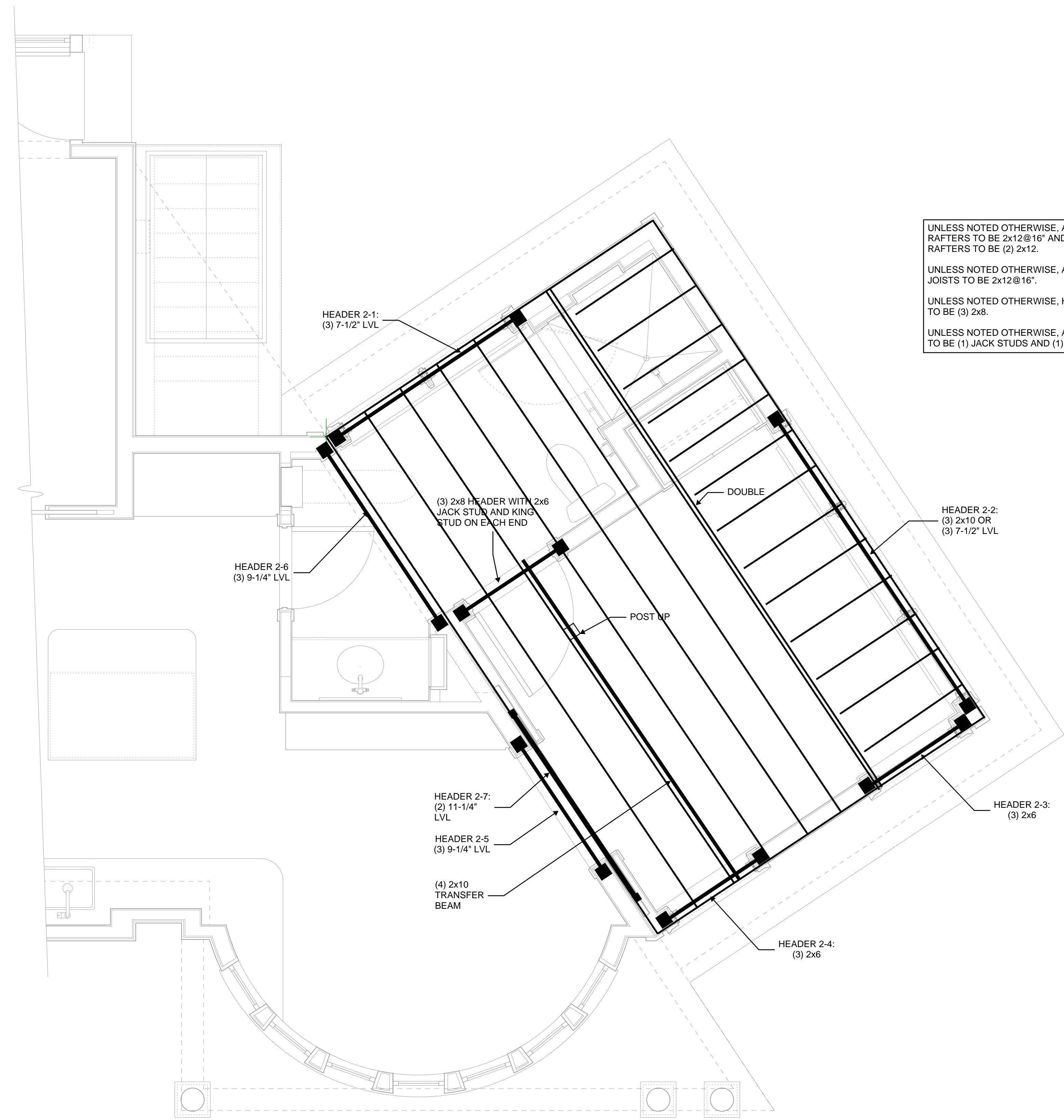
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BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138

Issue	Date
PERMIT SET	03/07/24

Ceiling Framing
 Plan and Details

S-3



UNLESS NOTED OTHERWISE, ALL ROOF
 RAFTERS TO BE 2x12@16" AND HIP
 RAFTERS TO BE (2) 2x12.
 UNLESS NOTED OTHERWISE, ALL CEILING
 JOISTS TO BE 2x12@16".
 UNLESS NOTED OTHERWISE, HEADERS
 TO BE (3) 2x8.
 UNLESS NOTED OTHERWISE, ALL POSTS
 TO BE (1) JACK STUDS AND (1) KING STUD.

CEILING FRAMING PLAN
 SCALE: 1/2" = 1'-0"



03/06/24

LeBrasseur Engineering
1194 Walnut Street, Suite 202
Newton Highlands, MA 02461
lebrasseur@aol.com
617-965-5955

BLUMENREICH ADDITION

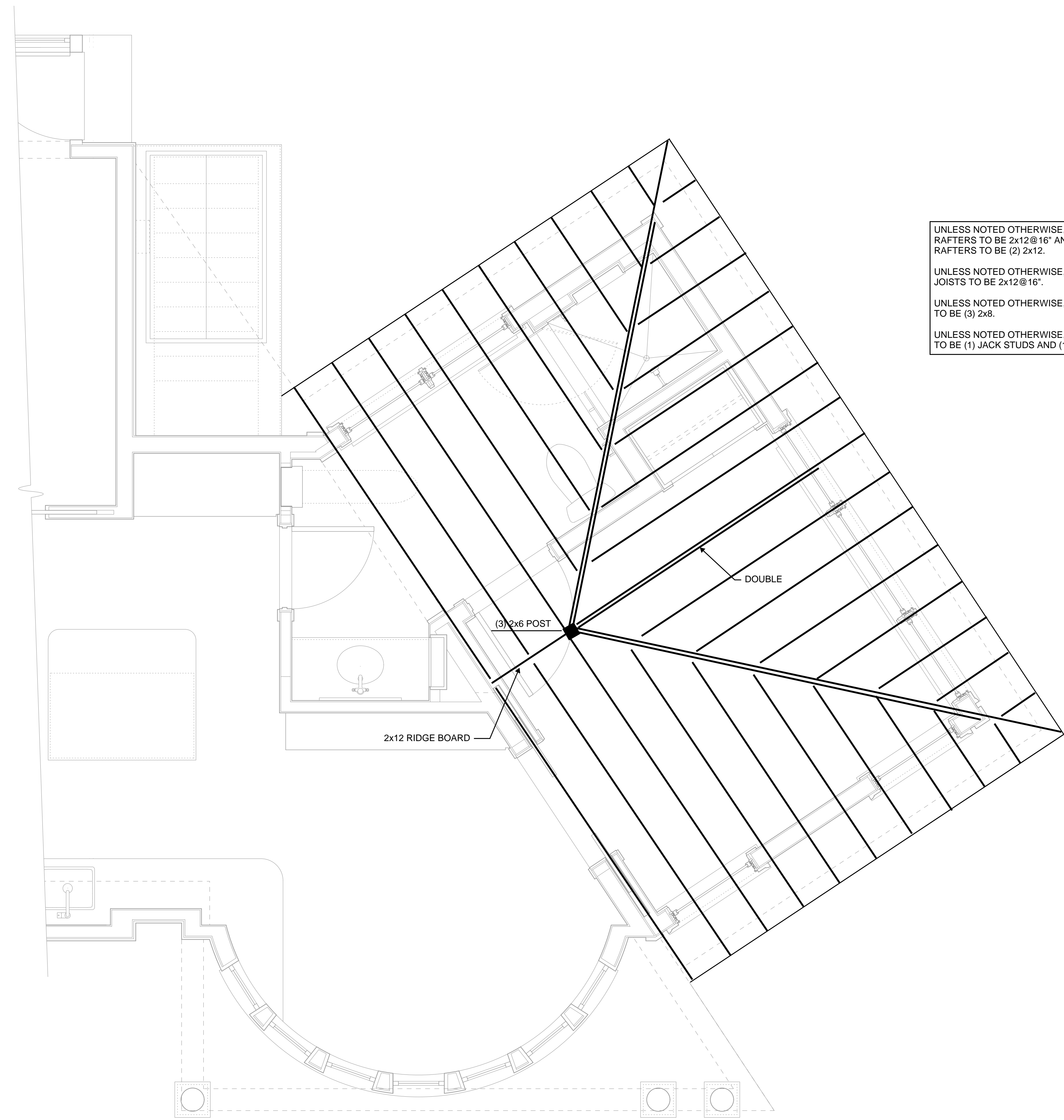
123 Brattle Street, Cambridge, MA 02138

UNLESS NOTED OTHERWISE, ALL ROOF
RAFTERS TO BE 2x12@16" AND HIP
RAFTERS TO BE (2) 2x12.

UNLESS NOTED OTHERWISE, ALL CEILING
JOISTS TO BE 2x12@16".

UNLESS NOTED OTHERWISE, HEADERS
TO BE (3) 2x8.

UNLESS NOTED OTHERWISE, ALL POSTS
TO BE (1) JACK STUDS AND (1) KING STUD.



Issue	Date
PERMIT SET	03/07/24

Roof Framing Plan
and Details

ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"



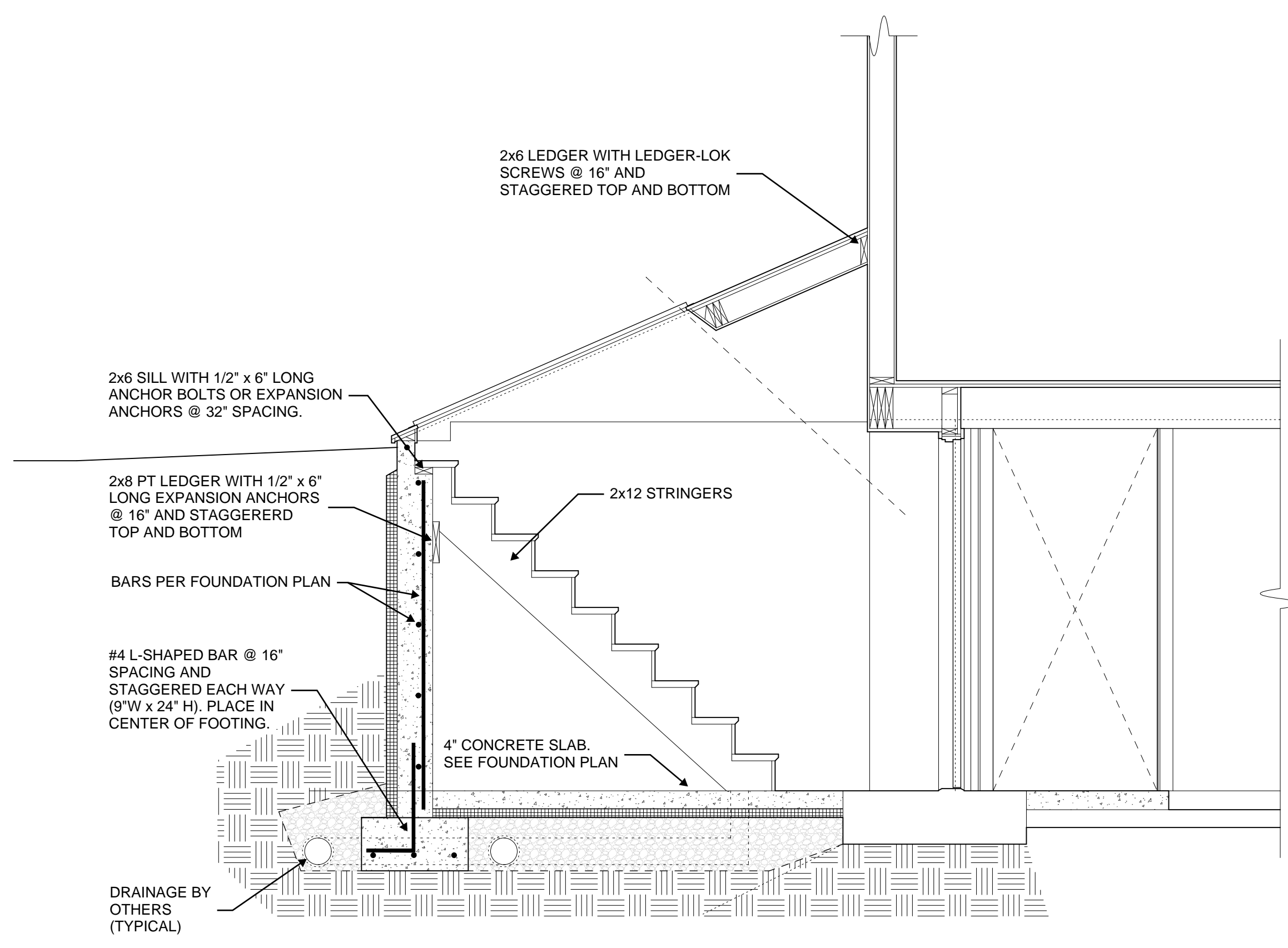
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 1194 Walnut Street, Suite 202
 Newton Highlands, MA 02461
 lebrasseur@aol.com
 617-965-9955

BLUMENREICH ADDITION
 123 Brattle Street, Cambridge, MA 02138

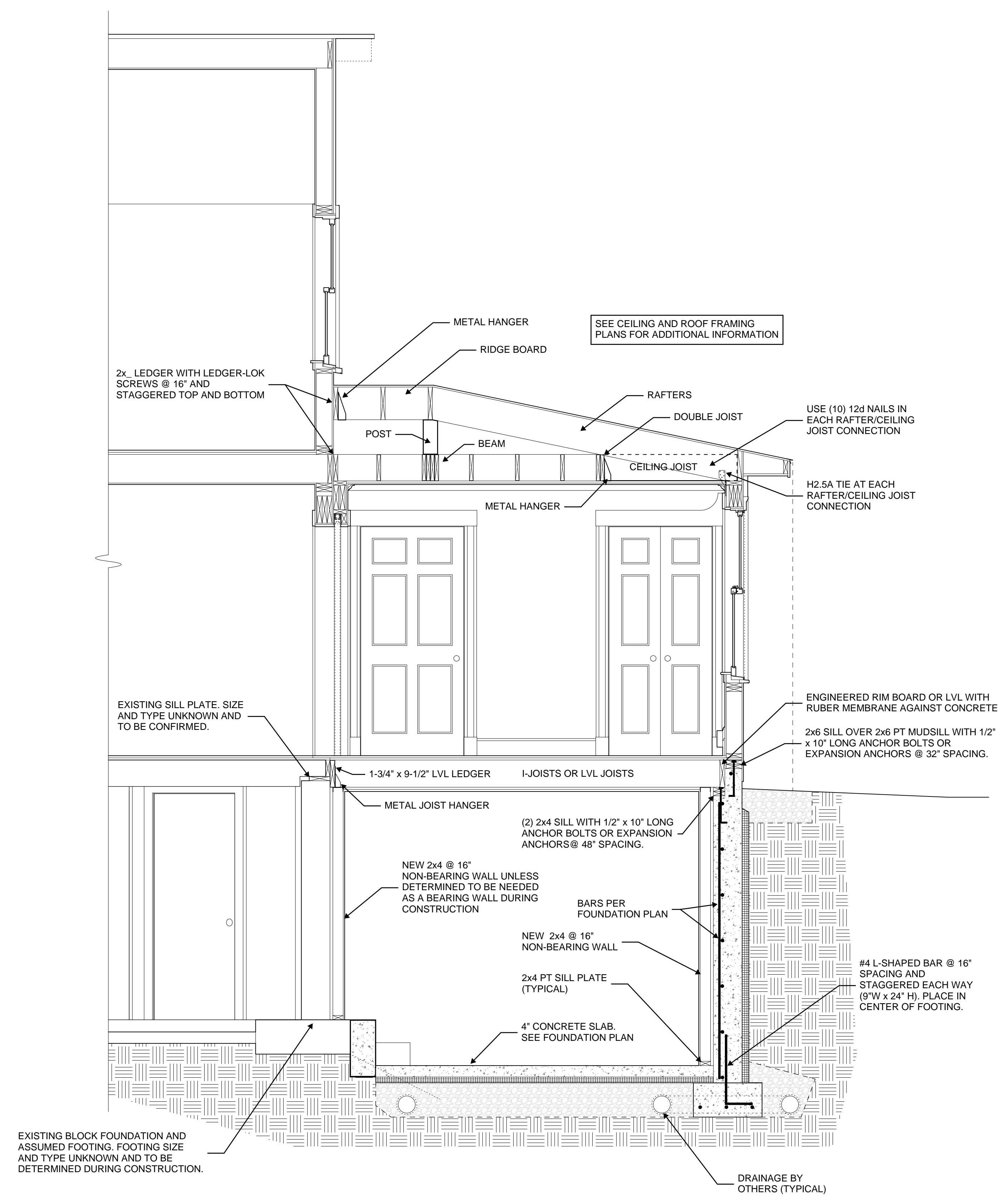
Issue	Date
PERMIT SET	03/07/24

Building Sections
 and Details

S-5



BULKHEAD STAIR SECTION
 SCALE: 1/2" = 1'-0"



TRANSVERSE BUILDING SECTION
 SCALE: 1/2" = 1'-0"





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25Z V37

PROPOSED ADDITION WOULD BE
LOCATED DIRECTLY AROUND
HOUSE CORNER



PROPOSED ADDITION WOULD SIT
BETWEEN HOUSE AND SHED
(SHED IS TO BE REMOVED)



PROPOSED ADDITION WOULD SIT
BETWEEN HOUSE AND SHED
(SHED IS TO BE REMOVED)



PROPOSED ADDITION WOULD SIT
BETWEEN HOUSE AND SHED
(SHED IS TO BE REMOVED)





PROPOSED ADDITION WOULD SIT
BETWEEN HOUSE AND SHED
(SHED IS TO BE REMOVED)

PROPOSED ADDITION EXTENDS OFF
OF THIS NORTH HOUSE FAÇADE





















123 Brattle St.

Petitioner

217-13
LINCOLN INSTITUTE OF LAND POLICY, INC.
C/O DENNIS W. ROBINSON, VP FINANCE
113 BRATTLE STREET
CAMBRIDGE, MA 02138

218-30
SUTHERLAND, MARY & JEREMY H. SILVERMAN
TRS, THE MARY SUTHERLAND 1989 FAM TR
8 BERKELEY PL
CAMBRIDGE, MA 02138

WESTON PATRICK P.A.
C/O MICHAEL W. WIGGINS, ESQ.
ONE LIBERTY SQUARE – SUITE 600
BOSTON, MA 02109

218-60
ROCKEFELLER, DIANA NEWELL ROWAN & STANLEY
SMITH WIRSIG, JR./SYLKIE BAY NOMINEE TR.
24 CRAIGIE ST
CAMBRIDGE, MA 02138

220-55
MOULTON, EBEN S. & HEATHER S. MOULTON
128 BRATTLE STREET
CAMBRIDGE, MA 02138

218-44
BLUMENREICH, MARGARET J.
TRS THE 123 BRATTLE STREET REALTY TR
123 BRATTLE ST
CAMBRIDGE, MA 02138

218-46
ROWLEY, GEOFFREY H.,
TR. THE GEOFFREY H. ROWLEY REVOC. TR
11 BERKELEY PL
CAMBRIDGE, MA 02138-3411

218-49
CUOMO, JUNE B. TRUSTEE OF JUNE B.
CUOMO 2006 QTIP TRUST
121A BRATTLE ST
CAMBRIDGE, MA 02138-3496

218-4
DEUEL, THOMAS F. &
INMACULADA SILOS-SANTIAGO
16 CRAIGIE ST
CAMBRIDGE, MA 02138

218-55
KOERNER, JOSEPH L. &
MARGARET KOSTER KOERNER
121 BRATTLE ST
CAMBRIDGE, MA 02138

218-61
BAILIS, LAWRENCE N.
133 BRATTLE ST
CAMBRIDGE, MA 02138

217-13
SORENSEN, CHARLOTTE R. &
RALPH Z. SORENSON TRUSTEE
603 SPRUCE STREET
BOULDER, CO 80302

218-2
DEMPZE, NANCY E.,
TRS THE 22 CRAIGIE REALTY TRUST
ATTN: JEFF CLEMENT & NANCY HESELTON
22 CRAIGIE ST
CAMBRIDGE, MA 02138

218-50
HOFHEINZ, HARRIET P.,
TR. THE HOFHEINZ FAMILY REALTY TRUST
10 BERKELEY PL
CAMBRIDGE, MA 02138

218-59
CAYNE AUDREY N & AMY SCHWARTZ TRS
DRC MARITAL TR
26 CRAIGIE ST
CAMBRIDGE, MA 02138

218-39
WILLIAMS, ELLEN K.
LAWRENCE G. MILLER, TRS
125 BRATTLE ST
CAMBRIDGE, MA 02138

218-28
HARRIS PAUL HARRIS JESSICA
20 CRAIGIE ST
CAMBRIDGE, MA 02138

220-56
BERGER, ADAM L.
TR. OF THE BROWN AND BRATTLE R. T.
126 BRATTLE ST
CAMBRIDGE, MA 02138

218-53
UGC CORPORATION
130 MOUNT AUBURN ST
CAMBRIDGE, MA 02138

218-56
CAMBRIDGE CITY OF PWD
147 HAMPSHIRE ST
CAMBRIDGE, MA 02139

218-56
CITY OF CAMBRIDGE
C/O MEGAN BAYER
CITY SOLICITOR

218-56
CITY CAMBRIDGE
C/O YI-AN HUANG
CITY MANAGER

Pacheco, Maria

From: Nancy Heselton <nancyheselton@gmail.com>
Sent: Saturday, March 30, 2024 8:17 AM
To: Pacheco, Maria
Subject: Zoning Appeal BZA case No. 261310

Hello,

My name is Nancy Heselton. I live at 22 Craigie St in Cambridge. My property abuts Gene and Peggy Blumenreich's property at 123 Brattle st. I have been shown the plans of their addition and am in support of their application for a variance, BZA case No. 261310.

Thank you.

Nancy Heselton

Pacheco, Maria

From: Margaret K Koerner <mkkoerner@me.com>
Sent: Saturday, April 6, 2024 7:41 PM
To: Pacheco, Maria
Cc: Peggy Blumenreich; Joseph Koerner; Ellen Williams
Subject: Case BZA-261310
Attachments: Blumenreich addition.pdf

Hello!

Please find attached a signed statement of support for the Blumenreich's addition at 123 Brattle. We are the neighbors most affected by the addition, if anyone is, because we look straight out at their nicely tended home from our kitchen windows. We welcome anything they would like to do to make their home more comfortable. We have been neighbors for 17 years. We are sure any decisions they make for their property are thoughtful, modest and carefully considered.

I regret that we are otherwise engaged, I had hoped to join the zoom call April 11 to voice my support at that time.

With sincere best,

Meg Koerner
(on behalf of myself and the Koerner family)

I forgot to provide the ZBA clerk's email address to which to send the statements of support. It is mpacheco@cambridgema.gov

The statement should reference BZA Case No. 261310

"To the Board of Zoning Appeal:

"We have been shown the plans of Gene and Peggy Blumenreich for a small single story addition to their residence at 123 Brattle Street, and are in support of their application for a variance.

"Signed: 
Margaret K. Koerner
[Print name and address]

121 Brattle Street
02138

Pacheco, Maria

From: Lawrence Bailis <bailis@brandeis.edu>
Sent: Monday, April 8, 2024 2:18 PM
To: Pacheco, Maria
Subject: BZA Case No 261310

To the Board of Zoning Appeal:

My wife and I have been shown the plans for Gene and Peggy Blumenreich for a single story addition to their residence at 123 Brattle Street, our next door neighbor, and we have discussed it with them, and we believe this is a sensible step to help them to remain in our neighborhood and continue to contribute to our neighborhood. They are good neighbors and so we are in support of their application for a variance.

Please let me know if you have any questions or concerns about this.

Thank you.

Lawrence Bailis

Lawrence Neil Bailis. (he, him, his)
Associate Professor
Heller School for Social Policy and Management
Brandeis University

133 Brattle Street
Cambridge, MA 02138

(617) 868-2468
bailis@brandeis.edu

Please consider the environment before printing this email.

"The Center for Youth and Communities: Making Knowledge Productive for 30 Years"
<http://cyc.brandeis.edu/>



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: EDWARD PITTS Date: 03/21/24
(Print)

Address: 123 Brattle St

Case No. BZA-261310

Hearing Date: 4/11/24

Thank you,
Bza Members



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139

Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

Bruce A. Irving, *Chair*, Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
Joseph V. Ferrara, Chandra Harrington, Elizabeth Lyster, Jo M. Solet, Yuting Zhang, *Members*
Gavin W. Kleespics, Paula A. Paris, Kyle Sheffield, *Alternates*

CERTIFICATE OF APPROPRIATENESS

Property: **123 Brattle Street**

Applicant: **Gene & Margaret Blumenreich**

Attention: **Gene & Margaret Blumenreich**
123 Brattle Street
Cambridge, Mass. 02138

Edward Pitts
Charles R. Myer & Partners
875 Main Street
Cambridge, Mass. 02139

The Cambridge Historical Commission hereby certifies, pursuant to the Massachusetts Historic Districts Act (MGL Ch. 40C) and the Cambridge Historical Buildings and Landmarks Ordinance (Cambridge City Code, Ch. 2.78), that the work described below is not incongruous to the historic aspects or architectural character of the building or district:

Construct a one-story addition at the rear of the house. Work is to be carried out as indicated on the plans by Charles R. Myer & Partners titled, "Blumenreich Residence 123 Brattle Street, Cambridge, MA 02138," and dated January 23, 2024.

Approval was granted on the condition that review of permit drawings and construction details be coordinated with Commission staff.

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issue. If the work authorized by this certificate is not commenced within six months after the date of issue, or if such work is suspended in significant part for a period of one year after the time

123 Brattle Street, Cambridge, MA
Zoning Analysis

Revised

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2024 APR -1 P 4:33

Zoning District: Residential A-1		Required	Existing	Proposed
LOT	Lot Size	8,000 s.f. (min.)	6,611 s.f. (parcel 2) ¹ 100 s.f. (parcel 1)	No change
	Lot Width	80' (min.)	77.9'	No change
	F.A.R.	.50 (max.)	0.33 (2,167.82 s.f. / 6,611 s.f.) ²	.35 (2,340.66 s.f. / 6,611 s.f.) ²
	Frontage	20' (min.)	79.88'	No change
	Lot Area/ D.U.	6,000 (min.)	6,611 s.f.	No change
	Ratio of Private Open Space to Lot Area	50% (min.)	67% of parcel 2 (see survey)	64% of parcel 2 (see survey)
	Permeable Open Space	50% of private open space (min.)	70% of parcel 2 (see survey)	67% of parcel 2 (see survey)
BUILDING HEIGHT		35' (max.)	24.7' (see survey)	No change
# OF PARKING SPACES		NA	-	No change
SETBACKS	Front	25' (min.)	20' ³	No change
	Side	15' sum to 35' (min.)	13.8' ⁴ sum to 43.9'	No change
	Rear	28' (min.) ⁵	30.2'	Proposed addition encroaches 2.5' into set-back (see survey) ⁶
Notes:				
<ol style="list-style-type: none"> 1. Parcel 2 is pre-existing non-conforming in area. 2. See accompanying plans & tables for G.F.A. information. 3. Existing house extends into the front yard setback, and is therefore pre-existing, non-conforming. 4. Existing house extends into the side yard setback, and is therefore pre-existing, non-conforming. 5. Survey indicates rear yard setback. Determination of front, side and rear lot lines and associated setbacks was made by Stephen Natola and Ranjit Singanayagam at Cambridge Inspectional Services Department. 6. Area of proposed addition that encroaches into rear yard setback = ±6.45 sq. ft. 				

Please send your statement of support to mpacheco@cambridgema.gov

Refer to BZA Case No. 261310

"To the Board of Zoning Appeal:

"We have been shown the plans of Gene and Peggy Blumenreich for a small single story addition to their residence at 123 Brattle Street, and are in support of their application for a variance.

"Signed: Gene Ceommo
[Print name and address]


I am in full support of the
Project.

I forgot to provide the ZBA clerk's email address to which to send the statements of support. It is mpacheco@cambridgema.gov

The statement should reference BZA Case No. 261310

"To the Board of Zoning Appeal:

"We have been shown the plans of Gene and Peggy Blumenreich for a small single story addition to their residence at 123 Brattle Street, and are in support of their application for a variance.

"Signed: 

[Print name and address]

Ellen K Williams
125 Brattle St.
Cambridge, MA
02138