

RECEIVED

APR 10 2018



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

CAMBRIDGE HISTORICAL COMMISSION

APPLICATION FOR CERTIFICATE

- 1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): [X] Appropriateness, [] Nonapplicability, or [] Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.
2. Address of property: 34 Mt. Auburn Street, Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction or demolition in the space provided below: (An additional page can be attached, if necessary).

The Cambridge Housing Authority (CHA) currently leases and operates this property as single room occupancy housing with 2 adjacent family apartments. The building was originally built in 1924 as the rectory for St. Paul's Church. It underwent a substantial renovation in 1991-93 when it was converted to public SRO housing. Today CHA is proposing a comprehensive interior and exterior renovation which will increase the number of SRO units while improving the livability and energy efficiency of the building. The project scope includes full replacement of the existing elevator with an enlarged shaft to accommodate a code compliant sized cab. This will entail the demolition of the existing elevator penthouse. It will be replaced with a similar copper-clad penthouse.

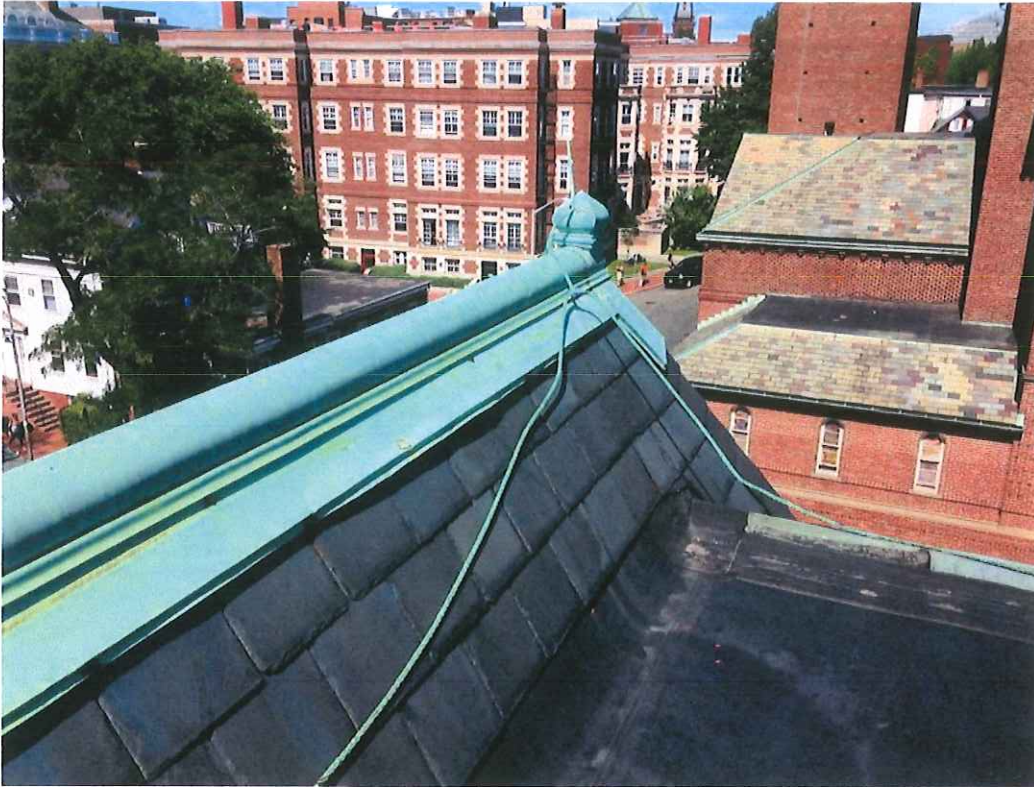
Continued on next page

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record: Cambridge Housing Authority
Mailing Address: 362 Green Street, Cambridge, MA 02139, ATTN: Margaret Keaveny
Telephone/Fax: (617) 864-3020 E-mail: mkeaveny@cambridge-housing.org
Signature of Property Owner of Record: Michael Johnston, Exec. Director
Name of proponent, if not record owner:
Mailing Address:
Telephone/Fax: E-mail:

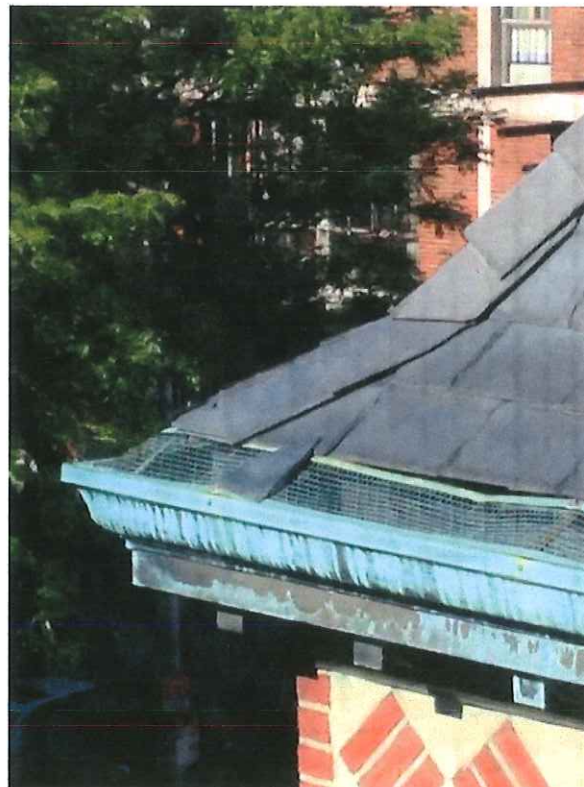
(for office use only):
Date Application Received: 4/10/18 Case Number: 3921 Hearing Date: 5/3/18
Type of Certificate Issued: Date Issued:

32-34 Mt. Auburn Street, Cambridge, MA



Copper flashing to be replaced with matching profiles; finials and other ornamental copperwork repaired.

Existing slates to be kept on most roof surfaces except the bottom three courses of the mansard and hip, valleys and ridge where they will be removed in order to replace the flashings below.



New gutters with profile to match existing.
New copper leaf screens.

32-34 Mt. Auburn Street, Cambridge, MA



Ornamental copperwork on sides and fronts of dormers to be maintained and repaired as necessary.



Copper at barrel-topped dormers to be repaired, splicing on new copper and flashing at the top and as necessary at the sides. Existing pilasters, side panels and front arch-top pediment to be repaired as necessary.

32-34 Mt. Auburn Street, Cambridge, MA



Windows proposed for replacement with aluminum clad wood windows with compatible historic appearance.



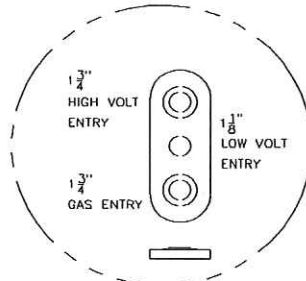
Brick and stone to be repointed where necessary.

RN SERIES A - CABINET ~ ECONOMIZER, ENERGY RECOVERY SECTION AND POWER EXHAUST ~ 6-10 TON

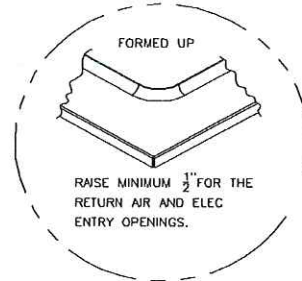
DOAS-1

CLEARANCES	
LOCATION	• UNIT SIZE • 6 - 10 TON
OUTSIDE AIR (BACK)	36
CONTROLS SIDE (FRONT)	48
LEFT SIDE	6
RIGHT SIDE	48
TOP	UNOBSTRUCTED

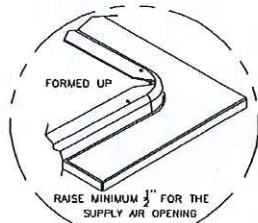
NOTE: THE RNA UNIT IS NOT COMPATIBLE WITH PREVIOUS GENERATIONS OF AAON CURBS. AN ADAPTER CURB IS AVAILABLE IN ECAT.



DETAIL A

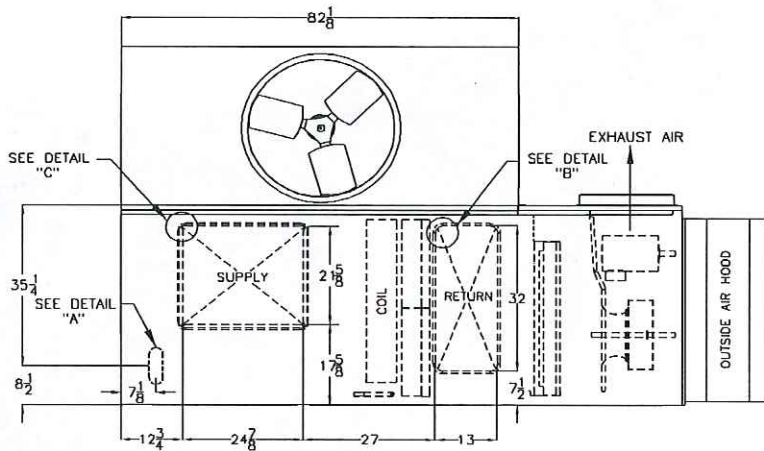


DETAIL B

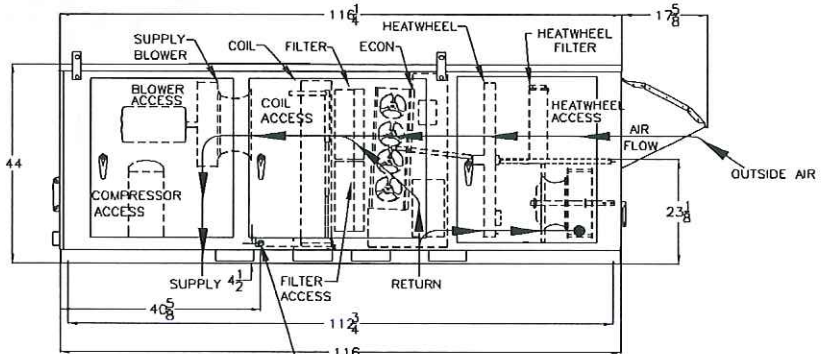


DETAIL C

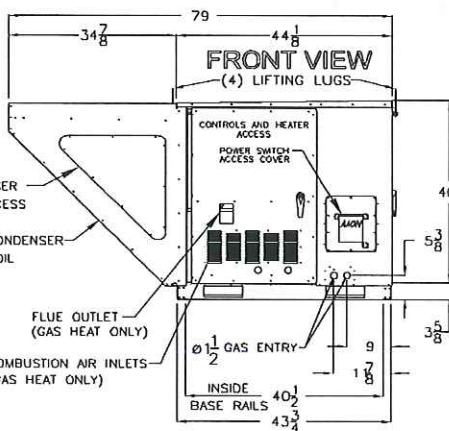
TOP VIEW



RIGHT SIDE VIEW



1" MPT STAINLESS CONDENSATE CONNECTION. "P" TRAP FURNISHED BY MANUFACTURER FOR DRAIN CONNECTION.



RNA-00027 NEW 10/19/09 JRL

NOTE: ALL DIMENSIONS ARE IN INCHES

P-SERIES

SUBMITTAL DATA: PVA-A30AA7 & PUY-A30NHA7(-BS)
30,000 BTU/H AIR HANDLER AIR-CONDITIONING SYSTEM



Job Name: St. Paul's Residence

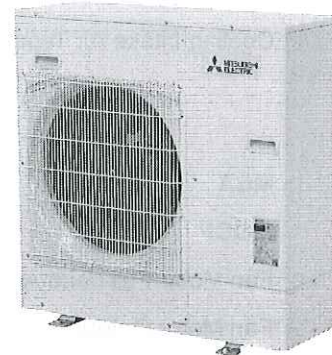
System Reference: AC-1

Date: 4/10/18

Indoor Unit:
PVA-A30AA7



Outdoor Unit:
 PUY-A30NHA7
 PUY-A30NHA7-BS



INDOOR UNIT FEATURES

- Ducted air handler provides a solution to cool and heat large zones
- Highly efficient totally enclosed ECM motor
- Selectable external static pressure: 0.30, 0.50 and 0.80 in.WG with 3 fan speeds at each static setting
- 1 inch R4.2 fiberglass free insulation reduces condensation and boosts efficiency
- Positive pressure cabinet with air leakage of less than 1.0% at 1.0 in. w.g.
- Unique blow through design allows simple coil cleaning when the blower is removed
- Multi-position installation: horizontal (left or right), vertical (up or down). For downflow configurations, the CMA-1 is recommended for proper management of condensate to prevent water blow-off in certain conditions
- Optional electric heat kit for additional heat capacity
- Optional humidifier control and ERV control

OUTDOOR UNIT FEATURES

- Variable speed INVERTER-driven compressor
- Suction accumulator pre-charged with refrigerant volume for piping length up to 100 ft (70 ft. for A12/18/24/30)
- Low ambient cooling down to -20°F providing 100% capacity (only for PUY models with wind baffles installed)
- 24-hour continuous operation (cooling mode)
- High pressure protection
- Fast restart due to bypass valve make it ideal for equipment cooling applications, such as data centers
- Superior energy and operational efficiency

Job Name: St. Paul's Residence

Schedule Reference: ACCU-4/ 1

Date: 4/10/18

OUTDOOR VRF HEAT PUMP WITH HEAT RECOVERY SYSTEM FEATURES

- Innovative flash injection technology for tremendous heating capacity at lower outdoor temperatures
- Built-in base pan heater to prevent ice in drain pan
- Air-source, simultaneous cooling and heating
- INVERTER-driven compressor
- Connects to CITY MULTI indoor units
- Controlled via CITY MULTI Controls Network

OPTIONAL PARTS

- Twinning Kit (required).....CMY-R100CBK2
- Joint Kit.....for details see Pipe Accesories Submittal
- BC Controller.....for details see BC Controller Submittals
- Low Ambient Kitfor details see Low Ambient Kit Submittal
- Snow/Hail Guards Kit.....for details see Snow/Hail Guards Kit Submittal
- Base Pan Heater Kit.....for details see Base Pan Heater Kit Submittal

Specifications		Model Name	Module 1	Module 2
Unit Type		PURY-HP144TSKMU-A-H	PURY-HP72TKMU-A-H	PURY-HP72TKMU-A-H
Nominal Cooling Capacity (208/230V)	Btu/h	144,000	72,000	72,000
Nominal Heating Capacity (208/230V)	Btu/h	160,000	80,000	80,000
Operating Temperature Range *1	Cooling (Outdoor) *2	Refer to Module Data	23 ~ 115° F (-5 ~ +46° C) DB	
	Heating (Outdoor)		-13 ~ +60°F (-25 ~ +15.5° C) WB	
External Dimensions (H x W x D)	In. / mm	Refer to Module Data	64-31/32 x 48-1/16 x 29-5/32 / 1,650 x 1,220 x 740	64-31/32 x 48-1/16 x 29-5/32 / 1,650 x 1,220 x 740
Net Weight	Lbs. / kg	1104 / 500	552 / 250	552 / 250
External finish		Refer to Module Data	Pre-coated galvanized steel sheet	
Electrical Power Requirements	Voltage, Phase, Hertz	Refer to Module Data**	208 / 230V, 3-phase, 60Hz	
Minimum Circuit Ampacity (MCA)	A	Refer to Module Data**	44 / 40**	44 / 40**
Maximum Fuse Size	A	Refer to Module Data**	60**	60**
Piping Diameter				
Piping Diameter (Brazed) (In. / mm)	Liquid (High Pressure)	7/8 / 22.2	Refer to System Data	
	Gas (Low Pressure)	1-1/8 / 28.58		
From Modules to Twinning Kit (Brazed) (In. / mm)	Liquid (High Pressure)	Refer to Module Data	5/8 / 15.88	5/8 / 15.88
	Gas (Low Pressure)		3/4 / 19.05	3/4 / 19.05
Indoor Unit	Total Capacity	50 to 150% of ODU's	Refer to System Data	
	Model / Quantity	P06 ~ P96 / 1 to 36		
Sound Pressure Levels	dB(A)	61	58	58
Fan				
Type x Quantity		Refer to Module Data	Propeller Fan x 1	Propeller Fan x 1
Airflow Rate	CFM		6200	6200
Compressor Operating Range		Cooling: 15% to 100%; Heating: 7% to 100%	Refer to System Data	
Compressor Type x Quantity		Refer to Module Data	Inverter-driven Scroll Hermetic x 1	Inverter-driven Scroll Hermetic x 1
Refrigerant		Refer to Module Data	R410A x 26 lbs + 1 oz (11.8 kg)	
Lubricant			MEL32	
Protection Devices	High-pressure	Refer to Module Data	High pressure sensor, High pressure switch at 4.15 MPa (601 psi)	High pressure sensor, High pressure switch at 4.15 MPa (601 psi)
	Inverter circuit (COMP./FAN)		Over-current protection	Over-current protection
	Fan motor		Thermal switch	Thermal switch
AHRI Ratings (Ducted/Non-Ducted)	EER	12.5 / 12.6	Refer to System Data	
	IEER	16.7 / 17.9		
	COP	3.47 / 3.41		
Simultaneous Rating (Ducted/Non-Ducted)	SCHE *3	22.1 / 22.0		

NOTES:

*1. Harsh weather environments may demand performance enhancing equipment. Ask your Mitsubishi Electric representative for more details about your region.
*2. For details on extended cooling operation range down to -10° F DB, see Low Ambient Kit Submittal.

*3. Simultaneous Cooling and Heating Efficiency
** Each individual module requires a separate electrical connection. Refer to electrical data for each individual module.

Job Name: St. Paul's Residence

Schedule Reference: ACCU-4 2+3

Date: 4/10/18

OUTDOOR VRF HEAT PUMP WITH HEAT RECOVERY SYSTEM FEATURES

- Innovative flash injection technology for tremendous heating capacity at lower outdoor temperatures
- Built-in base pan heater to prevent ice in drain pan
- Air-source, simultaneous cooling and heating
- INVERTER-driven compressor
- Connects to CITY MULTI indoor units
- Controlled via CITY MULTI Controls Network

OPTIONAL PARTS

- Joint Kit.....for details see Pipe Accessories Submittal
- BC Controller.....for details see BC Controller Submittals
- Low Ambient Kitfor details see Low Ambient Kit Submittal
- Snow/Hail Guards Kit.....for details see Snow/Hail Guards Kit Submittal
- Base Pan Heater Kit.....for details see Base Pan Heater Kit Submittal

Specifications		Model Name
Unit Type		PURY-HP96TKMU-A-H
Nominal Cooling Capacity (208/230V)	Btu/h	96,000
Nominal Heating Capacity (208/230V)	Btu/h	108,000
Operating Temperature Range *1	Cooling (Outdoor) *2	23 ~ 115° F (-5 ~ +46° C) DB
	Heating (Outdoor)	-13 ~ +60° F (-25 ~ +15.5° C) WB
External Dimensions (H x W x D)	In. / mm	64-31/32 x 48-1/16 x 29-5/32 / 1,650 x 1,220 x 740
Net Weight	Lbs. / kg	552 / 250
External finish		Pre-coated galvanized steel sheet
Electrical Power Requirements	Voltage, Phase, Hertz	208 / 230V, 3-phase, 60Hz
Minimum Circuit Ampacity (MCA)	A	60 / 54
Maximum Fuse Size	A	80
Piping Diameter (Brazed) (In. / mm)	Liquid (High Pressure)	3/4 / 19.05
	Gas (Low Pressure)	7/8 / 22.2
Indoor Unit	Total Capacity	50 to 150% of Outdoor Unit Capacity
	Model / Quantity	P06 to P96 / 1 to 24
Sound Pressure Levels	dB(A)	58
Fan		
Type x Quantity		Propeller Fan x 1
Airflow Rate	CFM	6,200
Compressor Operating Range		Cooling: 23% to 100%
		Heating: 13% to 100%
Compressor Type x Quantity		Inverter-driven Scroll Hermetic x 1
Refrigerant		R410A x 26 lbs + 1 oz (11.8 kg)
Lubricant		MEL32
Protection Devices	High-pressure	High pressure sensor, High pressure switch at 4.15 MPa (601 psi)
	Inverter circuit (COMP/FAN)	Over-current protection
	Fan motor	Thermal switch
AHRI Ratings (Ducted/Non-Ducted)	EER	11.4 / 12.5
	IEER	16.5 / 17.1
	COP	3.46 / 3.44
Simultaneous Rating (Ducted/Non-Ducted)	SCHE *3	17.4 / 22.0

NOTES:

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- *2. For details on extended cooling operation range down to -10° F DB, see Low Ambient Kit Submittal.
- *3. Simultaneous Cooling and Heating Efficiency

Job Name: St. Paul's Residence

Schedule Reference: ACCU-4

Date: 4/10/18

OUTDOOR VRF HEAT PUMP WITH HEAT RECOVERY SYSTEM FEATURES

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- BC Controller.....for details see BC Controller Submittals
- Low Ambient Kitfor details see Low Ambient Kit Submittal
- Snow/Hail Guards Kit.....for details see Snow/Hail Guards Kit Submittal
- Base Pan Heater Kit.....for details see Base Pan Heater Kit Submittal

Specifications		Model Name
Unit Type		PURY-HP72TKMU-A-H
Nominal Cooling Capacity (208/230V)	Btu/h	72,000
Nominal Heating Capacity (208/230V)	Btu/h	80,000
Operating Temperature Range *1	Cooling (Outdoor) *2	23 ~ 115° F (-5 ~ +46° C) DB
	Heating (Outdoor)	-13 ~ +60° F (-25 ~ +15.5° C) WB
External Dimensions (H x W x D)	In. / mm	64-31/32 x 48-1/16 x 29-5/32 / 1,650 x 1,220 x 740
Net Weight	Lbs. / kg	552 / 250
External finish		Pre-coated galvanized steel sheet
Electrical Power Requirements	Voltage, Phase, Hertz	208 / 230V, 3-phase, 60Hz
Minimum Circuit Ampacity (MCA)	A	44 / 40
Maximum Fuse Size	A	60
Piping Diameter (Brazed) (In. / mm)	Liquid (High Pressure)	5/8 / 15.88
	Gas (Low Pressure)	3/4 / 19.05
Indoor Unit	Total Capacity	50 to 150% of Outdoor Unit Capacity
	Model / Quantity	P06 to P96 / 1 to 18
Sound Pressure Levels	dB(A)	58
<i>Fan</i>		
Type x Quantity		Propeller Fan x 1
Airflow Rate	CFM	6,200
Compressor Operating Range		Cooling: 30% to 100%
		Heating: 15% to 100%
Compressor Type x Quantity		Inverter-driven Scroll Hermetic x 1
Refrigerant		R410A x 26 lbs + 1 oz (11.8 kg)
Lubricant		MEL32
Protection Devices	High-pressure	High pressure sensor, High pressure switch at 4.15 MPa (601 psi)
	Inverter circuit (COMP/FAN)	Over-current protection
	Fan motor	Thermal switch
AHRI Ratings (Ducted/Non-Ducted)	EER	12.9 / 13.0
	IEER	17.2 / 18.4
	COP	3.61 / 3.55
Simultaneous Rating (Ducted/Non-Ducted)	SCHE *3	22.7 / 22.6

NOTES:

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- *2. For details on extended cooling operation range down to -10° F DB, see Low Ambient Kit Submittal.
- *3. Simultaneous Cooling and Heating Efficiency

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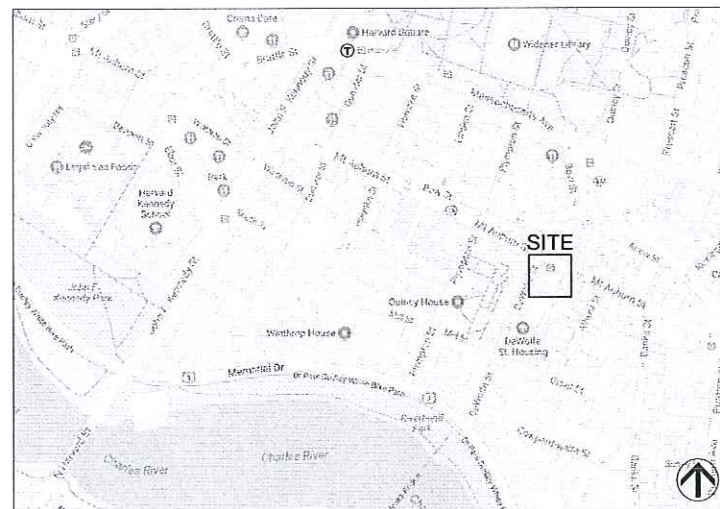
ARCHITECT:
THE NARROW GATE
 architecture LTD
 121 E. BERKELEY STREET, FL. 3, BOSTON MA 02118
 T: 617 956 4012 F: 617 956 4015
 WWW.THE-NARROW-GATE.COM

St. Paul's Residence Renovation

Cambridge Housing Authority

32-34 Mt. Auburn Street, Cambridge, Massachusetts

LOCATION MAP



DRAWING LIST

- CIVIL
- C-1.0 PARKING PLAN
- ARCHITECTURAL
- D-1.5 DEMO PLAN - ROOF
- A-1.5 PROPOSED PLAN - ROOF
- A-2.0 PROPOSED BUILDING ELEVATIONS
- A-6.1 WINDOW DETAILS
- A-6.2 WINDOW DETAILS
- A-8.0 EXISTING & PROPOSED ROOFTOP EQUIPMENT
- A-8.1 EXISTING & PROPOSED ROOFTOP EQUIPMENT

PROJECT INFORMATION

- Owner:** Cambridge Housing Authority
 362 Green Street, 3rd Floor
 Cambridge, MA 02139
 T: (617) 864-3020
 F: (617) 868-5372
 www.cambridge-housing.org
- Architect:** The Narrow Gate Architecture, LTD
 121 East Berkeley Street, 3rd Floor
 Boston, MA 02118
 T: (617) 956-4012
 F: (617) 956-4015
 www.the-narrow-gate.com
- Civil Engineer:** Hancock Associates
 185 Centre Street
 Danvers, MA 01923
 T: (978) 777-3050
 F: (978) 774-7816
 www.hancockassociates.com
- Structural Engineer:** Structures North Consulting Engineers, Inc.
 60 Washington Street, Suite 401 / P.O. 8560
 Salem, MA 01970
 T: (978) 745-8817
 F: (978) 745-6067
 www.structures-north.com
- MEP Engineer:** DTC Engineering
 305 N. Main Street, Suite 202
 Andover, MA 01810
 T: (978) 475-2935
 www.teamdlc.com
- Envelope Consultant:** Building Envelope Technologies, Inc.
 417 Purchase Street
 South Easton, MA 02375
 T: (508) 238-3587
 F: (508) 238-3718
 www.buildingenvelopetech.com
- Elevator Consultant:** Syska Hennessy Group, Inc.
 10 Post Office Square, Suite 725
 Boston, MA 02109
 T: (617) 577-9900
 F: (617) 577-9191

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CAMBRIDGE HISTORICAL COMMISSION

No.	Date	Revision Notes

No.	Date	Issue Notes

CLIENT:
 CAMBRIDGE HOUSING AUTHORITY

ST. PAUL'S RESIDENCE

32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
COVER

DATE: 04-09-18
 SCALE: AS NOTED

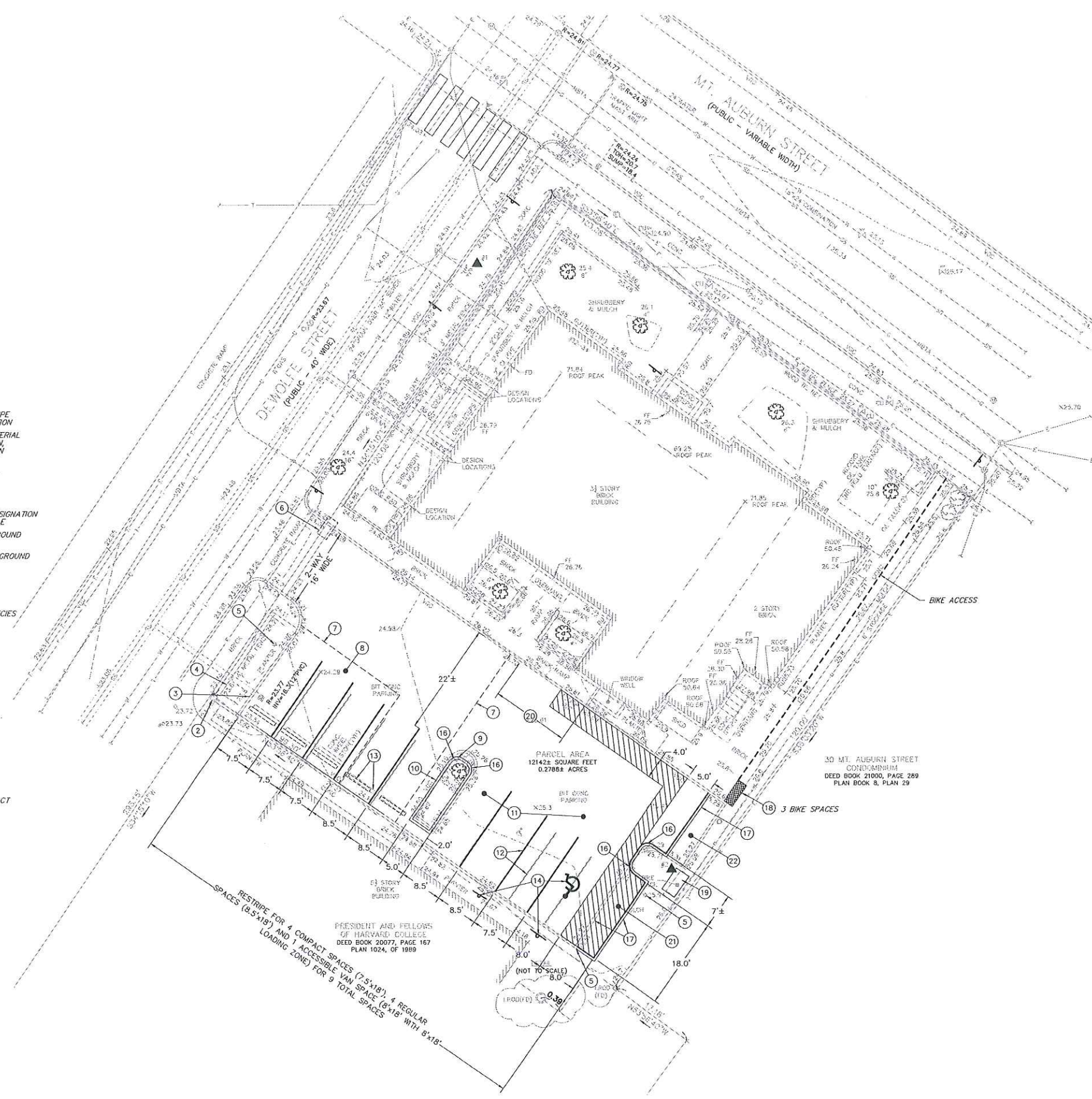
DRAWING NO.
 DESIGN DEVELOPMENT

A-0.0

PLAN 1024 OF 1989

LEGEND

- 2.34 --- SURFACE CONTOUR
- EDGE OF PAVEMENT
- x—x— CHAIN LINK FENCE
- o—o— WOOD FENCE
- 26.75—
—26.25— CURB WITH TOP AND BOTTOM CURB ELEVATION
- 8" CI— SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
- 12" RCP— DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- W 6" CI— WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- G 10" DI— GAS MAIN WITH SIZE & GATE VALVE
- OHW— EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- E— ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- T— TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
- RETAINING WALL
- × 232.6 SPOT ELEVATION
- ⊙ 26.8
⊙ 12.1 PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
- ★ LIGHT POLE
- ⊙ TYPICAL SHRUB
- CB CATCH BASIN
- D D GRATE CATCHBASIN
- TOH TOP OF HOODED PIPE
- BOLLARD
- SIGN
- MANHOLE (UNKNOWN UTILITY)
- TR TRANSFORMER
- ⊙ FIRE ALARM
- RD ROOF DRAIN
- VGC VERTICAL GRANITE CURB
- CONC CONCRETE
- ADA AMERICANS WITH DISABILITIES ACT WARNING PAD
- I.ROD IRON ROD
- NFO NOT FIELD OBSERVED
- CU CONNECTION UNKNOWN
- FD FIRE DEPARTMENT CONNECTION



- CONSTRUCTION NOTES:**
- ① ELEVATIONS SHOWN HEREON REFER TO CAMBRIDGE CITY BASE. TOPOGRAPHIC SURVEY TAKEN FROM PLAN TITLED, "EXISTING CONDITIONS PLAN OF LAND IN CAMBRIDGE, MA" PREPARED BY HANCOCK ASSOCIATES, DATED OCTOBER 25, 2016, LAST REVISED OCTOBER 27, 2016.
 - ② PROTECT 88 +/- LF OF EXISTING VGC AND CONCRETE WALK ON ABUTTING SITE. THE CONTRACTOR SHALL REPAIR EXISTING CURB AND SIDEWALK DAMAGED DURING CONSTRUCTION AT HIS EXPENSE. MAINTAIN REVEAL OF EXISTING CURB.
 - ③ REMOVE 20 +/- LF OF EXISTING VGC TO MODIFY DRAINAGE SYSTEM AND LOWER EXISTING CATCH BASIN GRATE. RESET EXISTING CURB AS REQUIRED.
 - ④ REMOVE AND RESET OR PROTECT-IN-PLACE EXISTING METAL FENCE AND SHRUBS. RESTORE LANDSCAPED AREA TO ORIGINAL CONDITIONS.
 - ⑤ SUPPORT AND PROTECT EXISTING LIGHT POLE AND ELECTRICAL CONNECTION. GRIND DOWN EXISTING CONCRETE SIDEWALK APPROXIMATELY ONE INCH AT EDGE OF BRICK SIDEWALK.
 - ⑥ SAWCUT PAVEMENT.
 - ⑦ REMOVE AND RECONSTRUCT 530 +/- SF OF EXISTING PAVEMENT AND SUBBASE (3" BIT CONC. OVER 6" GRAVEL) FOR MODIFICATIONS TO DRAINAGE SYSTEM. REMOVE TWO EXISTING BOLLARDS IN ISLAND. AT HIS EXPENSE, THE CONTRACTOR SHALL HAVE LICENSED ARBORIST EXAMINE EXISTING TREE AND SUBMIT OPINION TO ARCHITECT REGARDING NEED FOR ROOT PRUNING AND ADJUSTMENTS TO POSITION OF VGC AND SAWCUTTING OF VGC NECESSARY TO ENSURE SURVIVABILITY OF TREE. ARCHITECT SHALL DIRECT CONTRACTOR REGARDING TREATMENTS FOR ROOT PRUNING AND VGC MODIFICATIONS.
 - ⑧ REMOVE AND RESET EXISTING VGC TO PROVIDE FOR PROPERLY DIMENSIONED PARKING SPACES. THE 2 FT. RADII AT NOSE OF ISLAND SHALL BE GRANITE CURB STONES.
 - ⑨ REMOVE AND RECONSTRUCT 1800 +/- SF OF EXISTING PAVEMENT (3" BIT CONC. OVER 6" GRAVEL) FOR RECONSTRUCTION OF ISLAND AND LOT TO CORRECT GRADES FOR ADA REASONS.
 - ⑩ PAINT BLACK THE REMNANTS OF EXISTING PARKING LOT STRIPES AND ACCESSIBILITY SYMBOL. PAINT NEW 4 INCH WHITE LINES TO DIMENSIONS SHOWN.
 - ⑪ REMOVE AND RESET/REANCHOR FIVE (5) EXISTING CONCRETE WHEELSTOPS TO ALIGN WITH NEW SPACES.
 - ⑫ REMOVE EXISTING ACCESSIBLE SIGN AND INSTALL NEW ACCESSIBLE VAN PARKING SIGN (WITH 7 FT. MOUNTING HEIGHT) PER CITY/MAAB REQUIREMENTS. PAINT NEW INTERNATIONAL ACCESSIBILITY SYMBOL ON PAVEMENT.
 - ⑬ PAINT WHITE 8 FT. WIDE ACCESSIBLE VAN LOADING SPACE AND 4 FT. WIDE ACCESSIBLE ROUTE TO EXISTING ACCESSIBLE CURB RAMP WITH 4 INCH WHITE LINES AROUND PERIMETER AND AT 18 INCHES ON CENTER AT 45 DEGREE SLANT. NO FINISHED PAVEMENT SURFACE IN THIS PAINTED AREA SHALL EXCEED 2% IN ANY DIRECTION.
 - ⑭ INSTALL 2 FT. RADIUS GRANITE CURBSTONE. NO SUBSTITUTIONS FOR CURBSTONE WILL BE ACCEPTED.
 - ⑮ INSTALL NEW VGC AND/OR RESET EXISTING VGC FOR TOTAL OF 46 +/- LF EXCLUSIVE OR THE TWO 2 FT. RADIUS CURBSTONES.
 - ⑯ RELOCATE EXISTING 5 FT. X 2 FT. BIKE RACK.
 - ⑰ CONSTRUCT PROPOSED 5 FT. X 3 FT. COMPOSTING SHED AND FOUNDATION. SEE ARCHITECTURAL PLANS.
 - ⑱ RETAIN EXISTING ACCESSIBLE CURB RAMP.
 - ⑲ REMOVE AND RECONSTRUCT 170 +/- SF OF EXISTING PAVEMENT AND SUBBASE (3" BIT CONC. OVER 6" GRAVEL). REMOVE EXISTING PAVEMENT AND REPLACE WITH EXCAVATED CLEAN MATERIAL TOPPED WITH 6 INCHES LOOSE MULCH.

ARCHITECT:
THE NARROW GATE
 architecture LTD
 121 E. BUCKLEY STREET, FL 3, CAMBRIDGE MA 02116
 T: 617.666.4012 F: 617.465.4015
 WWW.THENARROWGATE.COM

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01923
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No.	Date	Revision Notes

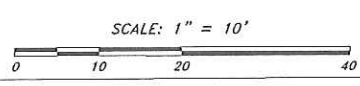
CLIENT:
CAMBRIDGE HOUSING AUTHORITY

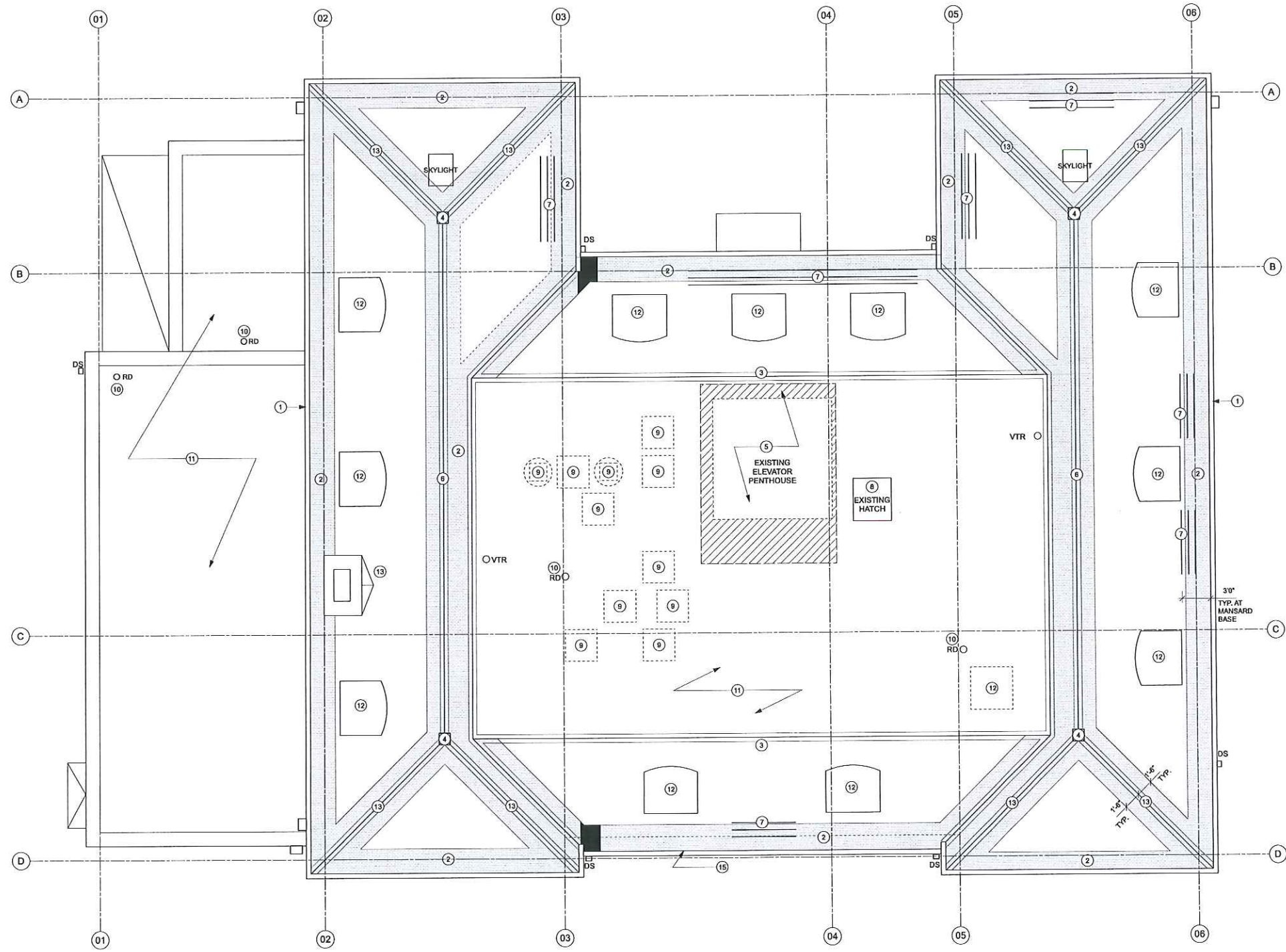
ST. PAUL'S RESIDENCE

32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

PARKING PLAN

DATE: 2-21-2018
 SCALE: 1" = 10'
 DRAWING NO: DESIGN DEVELOPMENT
C-1.0





- NUMBERED ROOF DEMOLITION NOTES**
- 1 REMOVE EXISTING COPPER GUTTERS AT ENTIRE PERIMETER OF BUILDING; SEPARATE EXISTING GUTTERS FROM DENTIL CORNICE MOULDING BELOW
 - 2 REMOVE EXISTING SLATES AS SHOWN IN SHADED AREA; REMOVE EXISTING FLASHING BELOW TO PREPARE FOR NEW FLASHING AND SLATES
 - 3 REMOVE EXISTING COPPER FASCIA AND FLASHING
 - 4 TEMPORARILY REMOVE EXISTING FINIALS AND STORE FOR REPAIR/REFURBISHMENT
 - 5 REMOVE EXISTING ELEVATOR PENHOUSE STRUCTURE AND REMOVE ROOF DECK AND FRAMING AS NECESSARY TO INSTALL NEW ELEVATOR SHAFT
 - 6 REMOVE EXISTING ORNAMENTAL RIDGE CAP
 - 7 REMOVE EXISTING ICE GUARDS
 - 8 REMOVE EXISTING ROOF HATCH
 - 9 REMOVE EXISTING MECHANICAL EQUIPMENT
 - 10 REMOVE EXISTING ROOF DRAIN BODYS
 - 11 REMOVE EXISTING MEMBRANE ROOFING AND INSULATION DOWN TO EXISTING ROOF SHEATHING
 - 12 REMOVE EXISTING VENTILATION EQUIPMENT
 - 13 REMOVE EXISTING CHIMNEY FLASHING, CRICKET, AND FLASHING AT BASE

2 DEMO PLAN - ROOF
Scale: 1/4" = 1'-0"

No.	Date	Revision Notes

CLIENT:
CAMBRIDGE HOUSING AUTHORITY

ST. PAUL'S RESIDENCE

32-34 MT. AUBURN STREET
CAMBRIDGE, MA

DRAWING TITLE:
DEMO PLAN - ROOF

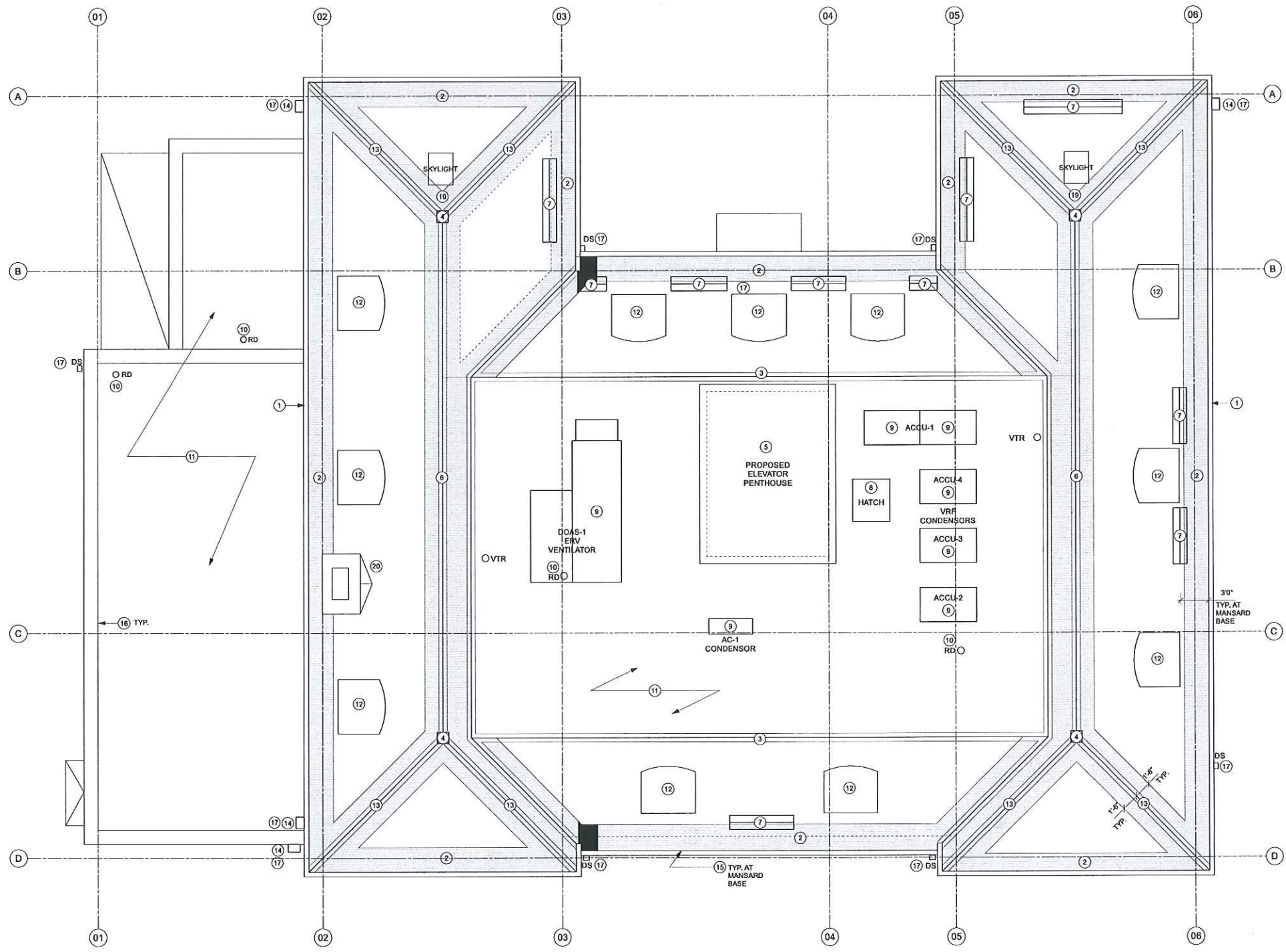
DATE:
04-09-18

SCALE:
1/4" = 1'-0"

DRAWING NO.
DESIGN DEVELOPMENT

D-1.5





5 PROPOSED PLAN - ROOF
Scale: 1/4" = 1'-0"

- NUMBERED NOTES**
- 1 INSTALL NEW COPPER GUTTER AND LEAF SCREEN TO MATCH EXISTING PROFILE (TYP. PERIMETER OF MANSARD ROOF)
 - 2 INSTALL NEW SLATES AND COPPER FLASHING AT BOTTOM OF MANSARD (TYP. PERIMETER OF MANSARD)
 - 3 NEW COPPER FASCIA & FLASHING
 - 4 REPAIR/REFURBISH EXISTING COPPER FINIALS.
 - 5 NEW ELEVATOR PENTHOUSE WITH MEMBRANE ROOF AND TAPERED INSULATION
 - 6 INSTALL NEW ORNAMENTAL COPPER RIDGE CAP TO MATCH EXISTING PROFILE.
 - 7 NEW ICE GUARDS
 - 8 INSTALL NEW INSULATED STEEL ROOF HATCH.
 - 9 ROOF TOP MECHANICAL EQUIPMENT. SEE MECHANICAL DWGS.
 - 10 NEW ROOF DRAIN BODY.
 - 11 NEW MEMBRANE ROOF AND TAPERED INSULATION.
 - 12 REPAIR COPPER DORMER ROOFS. REFURBISH ORNAMENTAL COPPER PANELS, INSTALL NEW COPPER FLASHING
 - 13 REPAIR RIDGE SLATES, INSTALL ICE & WATER SHIELD.
 - 14 REPAIR/REFURBISH EXISTING COPPER COLLECTOR BOXES.
 - 15 REPAIR/REFURBISH EXISTING COPPER DENTIL CORNICE, TYPICAL PERIMETER OF MANSARD.
 - 16 NEW COPPER COUNTERFLASHING ST MASONRY WALLS.
 - 17 MINOR REPAIRS AT DOWNSPOUTS. REINFORCE ATTACHMENTS.
 - 18 REPAIR COPPER PILASTER AT ONE SIDE OF DORMER.
 - 19 REPAIR FLASHING AT SKYLIGHTS AS REQ'D RELATED TO HIP OR RIDGE FLASHING
 - 20 INSTALL NEW CHIMNEY FLASHING, CRICKET AND FLASHING AT BASE.

REPAIR ALLOWANCE NOTES:

SHEATHING: REPAIR ISOLATED AREAS OF ROOF SHEATHING. ALLOW FOR 10% SHEATHING REPLACEMENT.

SLATE: REPLACE ALL LOOSE, DAMAGED AND MISSING SLATES. ALLOW FOR 5% OF AREA OF EXISTING SLATE

CORNICE: ALLOW FOR REPAIRS AT 5% OF CORNICE PERIMETER OF ROOF.

No.	Date	Revision Notes
No.	Date	Issue Notes

CLIENT:
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32-34 MT. AUBURN STREET
CAMBRIDGE, MA

DRAWING TITLE:
PROPOSED PLAN - ROOF

DATE:
04-09-18

SCALE:
1/4" = 1'-0"

DRAWING NO.
DESIGN DEVELOPMENT

A-1.5

KEY:
 REPOINT MASONRY AS MARKED
 REPLACE LINTELS AS MARKED



5 WEST (DEWOLFE STREET) ELEVATION
 Scale: 1/8" = 1'-0"

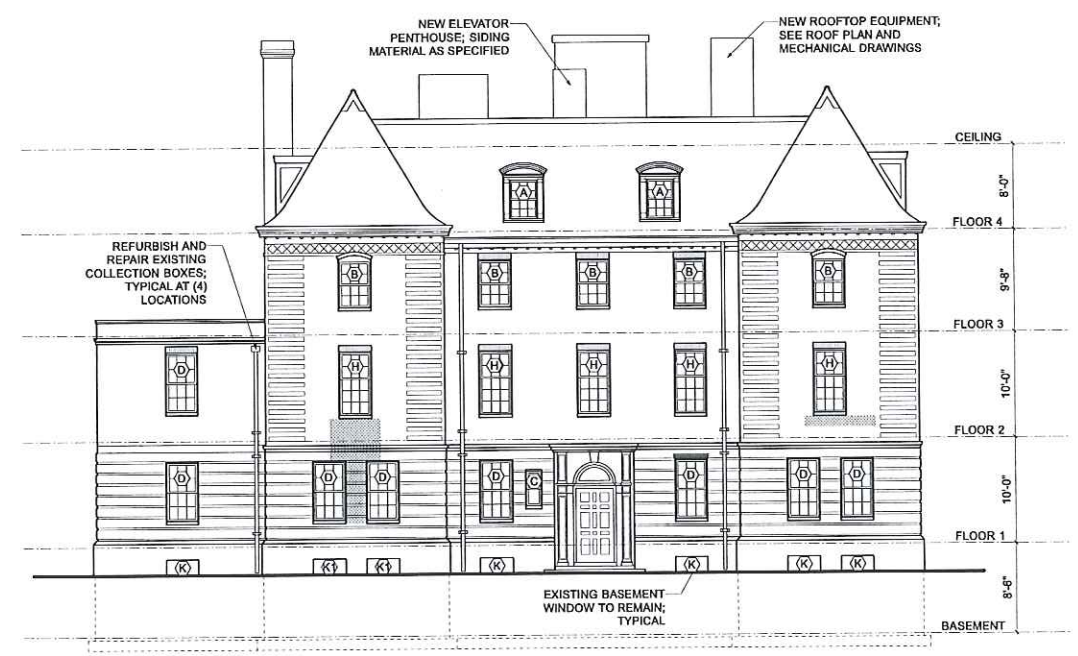
4 EAST COURTYARD ELEVATION
 Scale: 1/8" = 1'-0"
 NOTE: WEST COURTYARD ELEVATION OPP.



3 SOUTH (COURTYARD) ELEVATION
 Scale: 1/8" = 1'-0"



2 EAST ELEVATION
 Scale: 1/8" = 1'-0"



1 NORTH (MT. AUBURN STREET) ELEVATION
 Scale: 1/8" = 1'-0"

No.	Date	Revision Notes

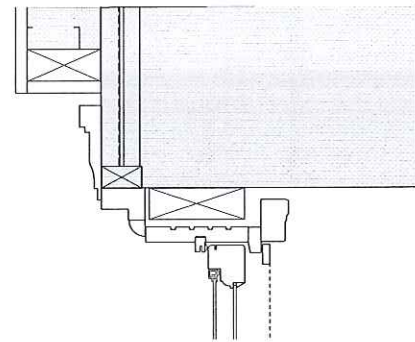
CLIENT:
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 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

PROPOSED BUILDING ELEVATIONS

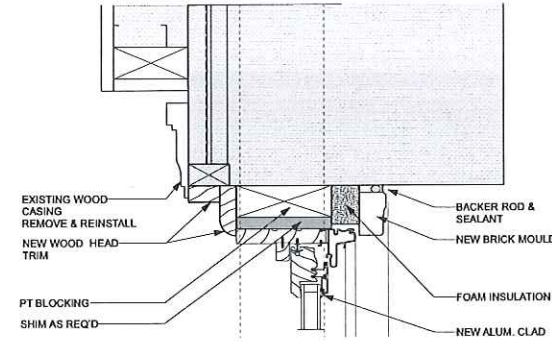
DATE:
 04-09-18
 SCALE:
 AS NOTED

DRAWING NO.
 DESIGN DEVELOPMENT

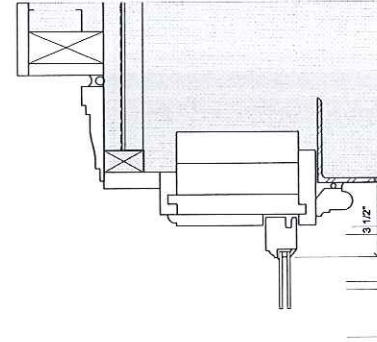
A-2.0



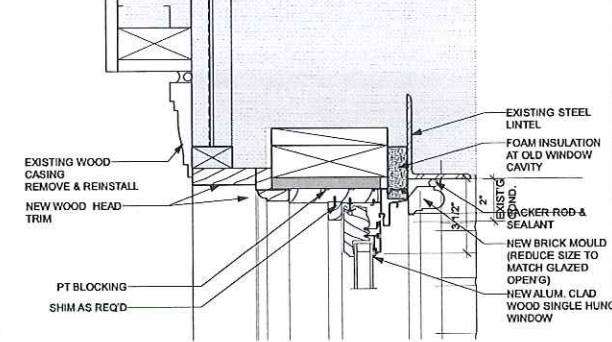
12 Head Detail - Existing (Type J)
 Scale: 3" = 1'-0"



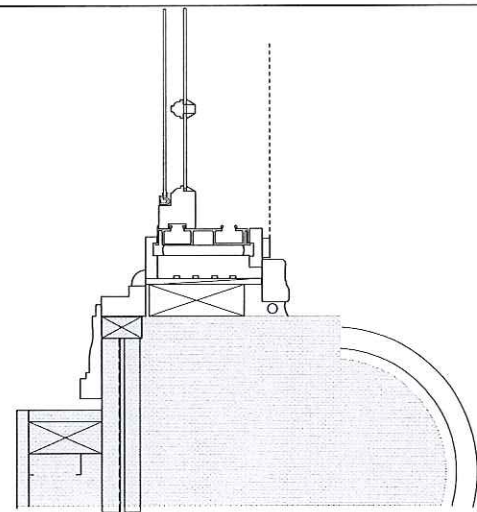
9 Head Detail - Proposed (Type J)
 Scale: 3" = 1'-0"



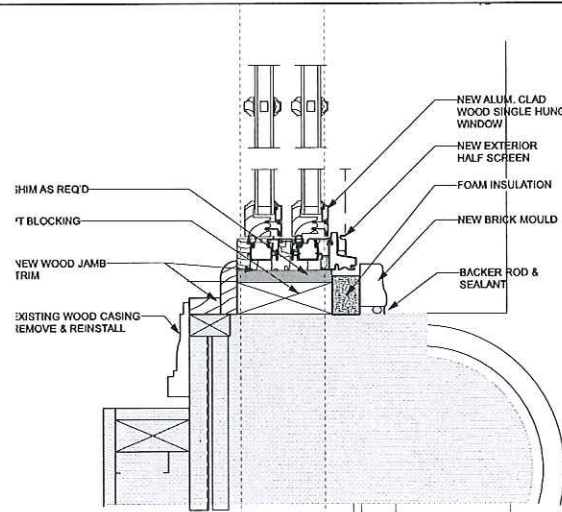
6 Head Detail - Existing (Types B, C, D, E, F, G, H, I)
 Scale: 3" = 1'-0"



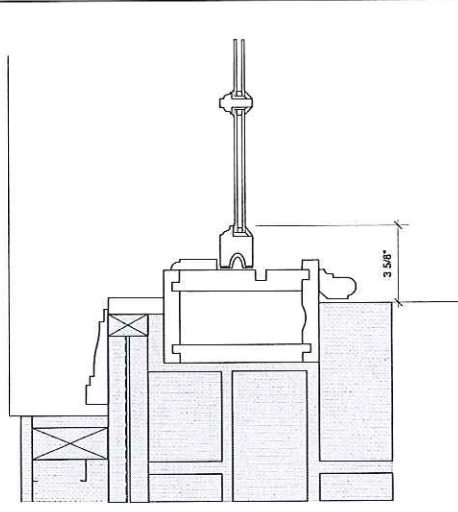
3 Head Detail - Proposed
 Scale: 3" = 1'-0"



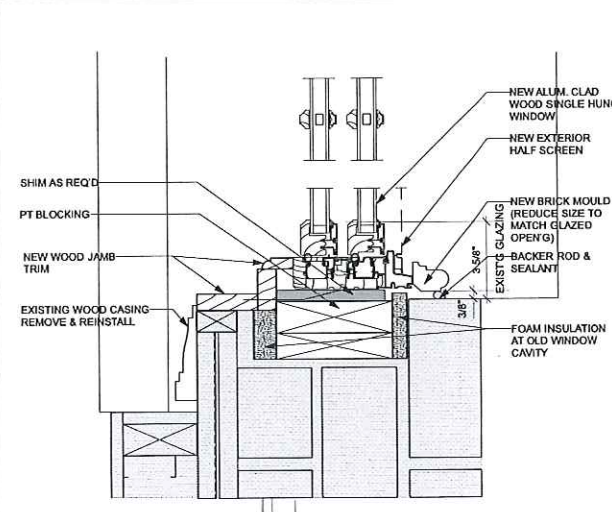
11 Jamb Detail - Existing (Type J)
 Scale: 3" = 1'-0"



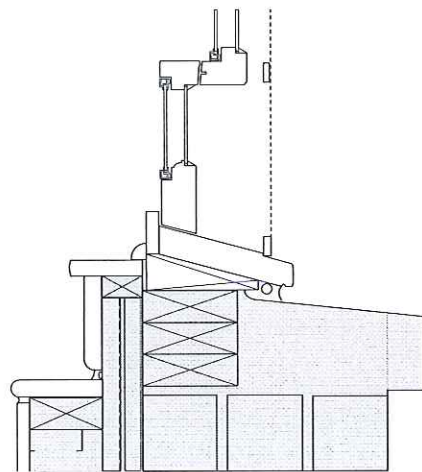
8 Jamb Detail - Proposed (Type J)
 Scale: 3" = 1'-0"



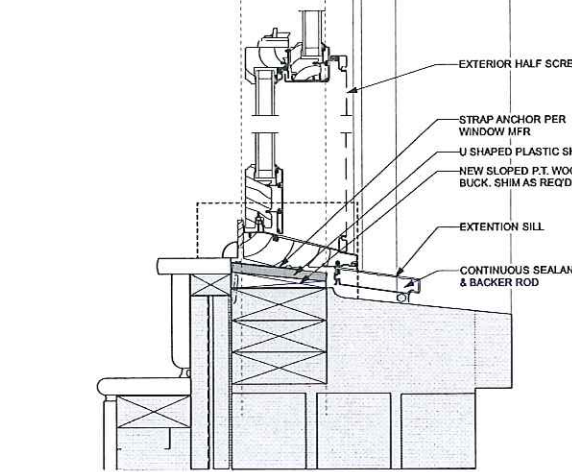
5 Jamb Detail - Existing (Types B, C, D, E, F, G, H, I)
 Scale: 3" = 1'-0"



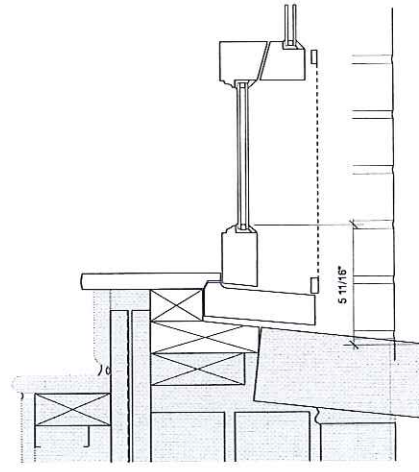
2 Jamb Detail - Proposed
 Scale: 3" = 1'-0"



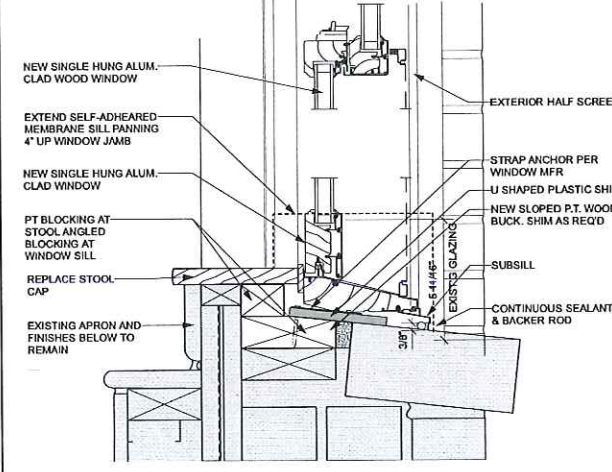
10 Sill Detail - Existing (Type J)
 Scale: 3" = 1'-0"



7 Sill Detail - Proposed (Type J)
 Scale: 3" = 1'-0"



4 Sill Detail (Types B, C, D, E, F, G, H, I)
 Scale: 3" = 1'-0"



1 Sill Detail
 Scale: 3" = 1'-0"

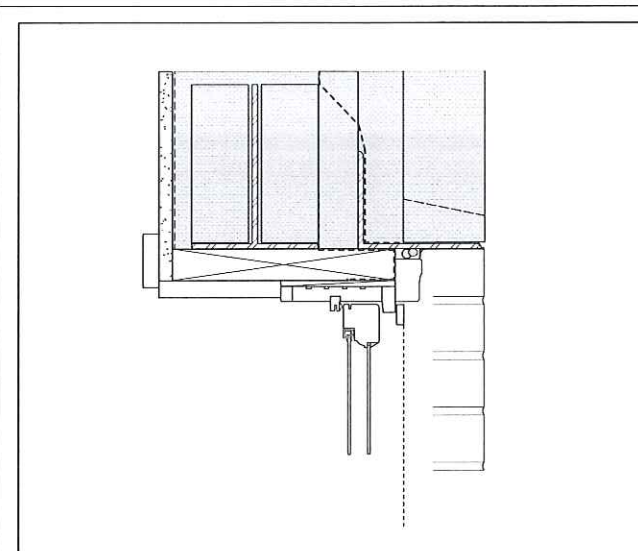
No.	Date	Revision Notes

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 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

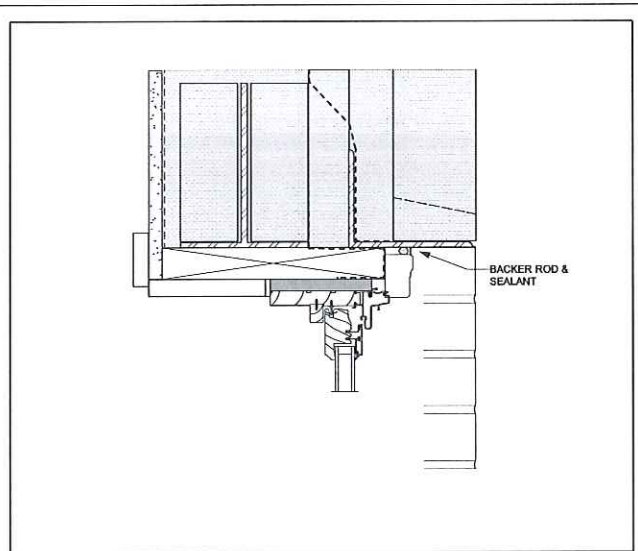
DRAWING TITLE:
WINDOW DETAILS

DATE: 04-09-18
 SCALE: AS NOTED
 DRAWING NO. DESIGN DEVELOPMENT

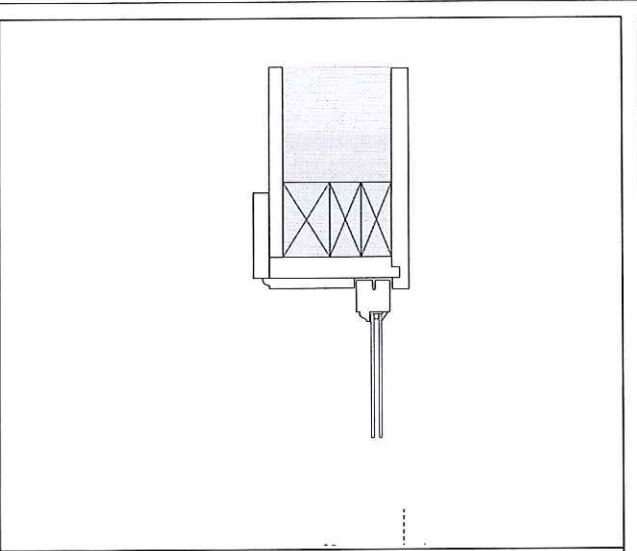
A-6.1



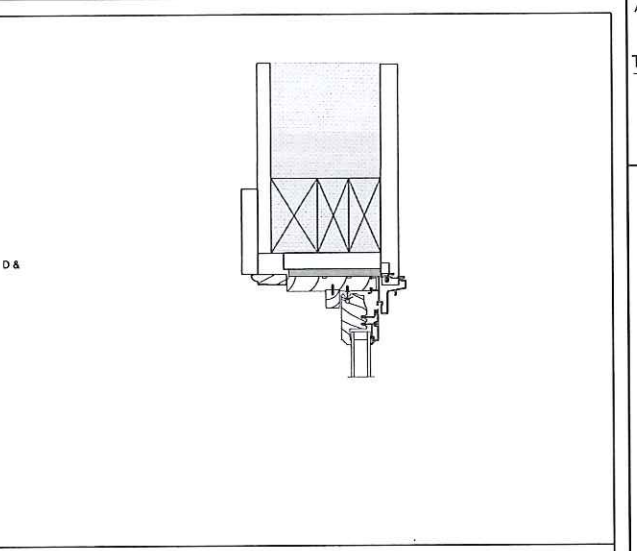
12 Head Detail - Existing (Type D1)
 Scale: 3" = 1'-0"



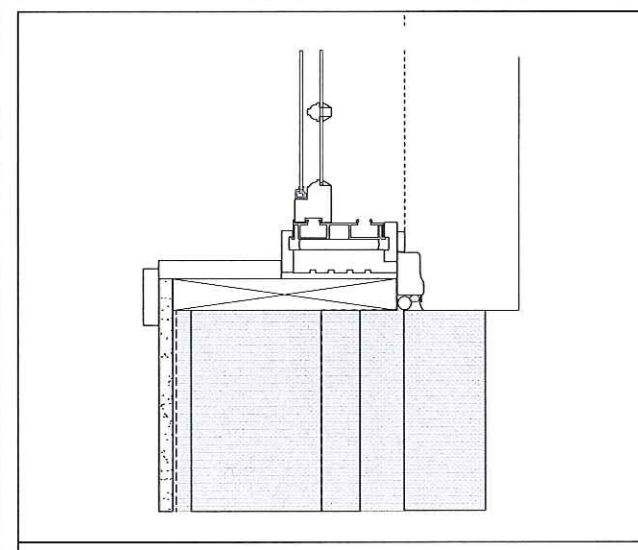
9 Head Detail - Proposed (Type D1)
 Scale: 3" = 1'-0"



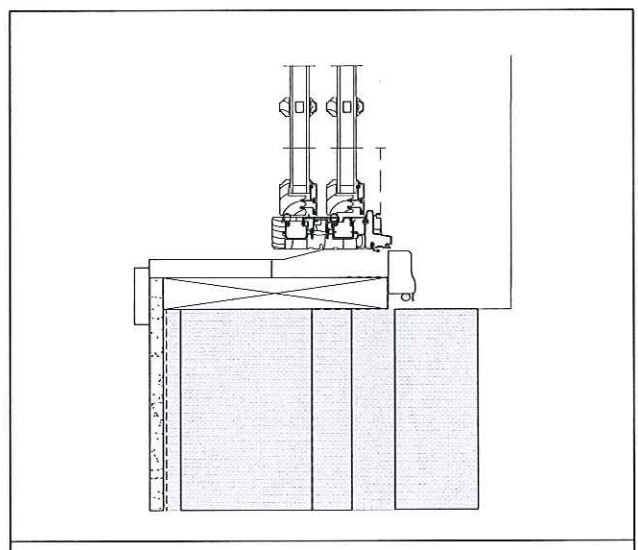
6 Head Detail - Existing (Type A @ Dormers)
 Scale: 3" = 1'-0"



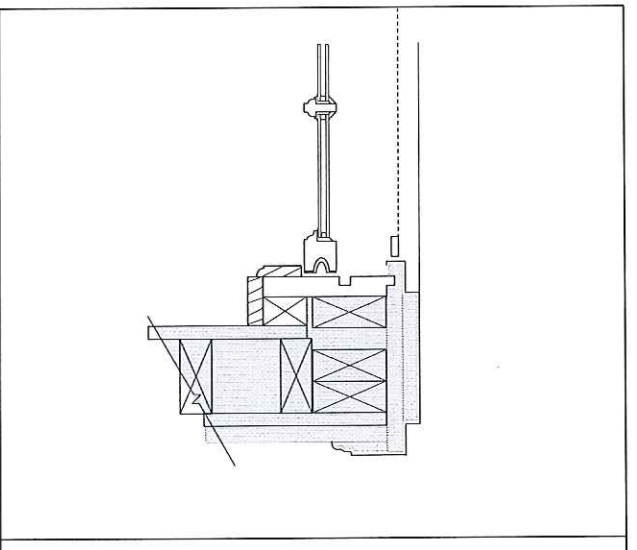
3 Head Detail - Proposed (Type A @ Dormers)
 Scale: 3" = 1'-0"



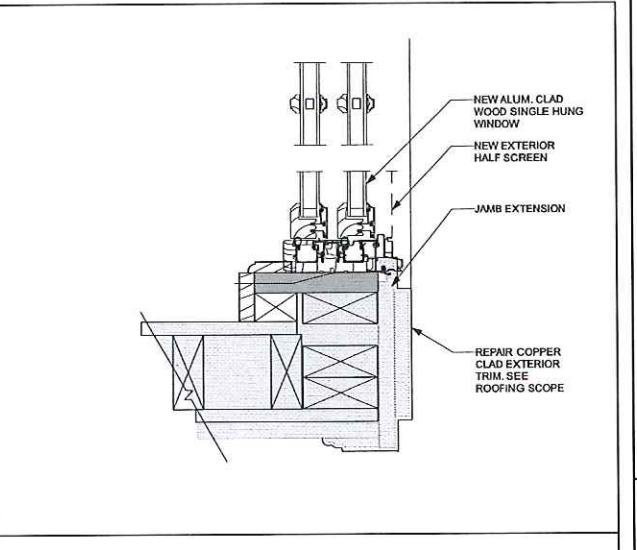
11 Jamb Detail - Existing (Type D1)
 Scale: 3" = 1'-0"



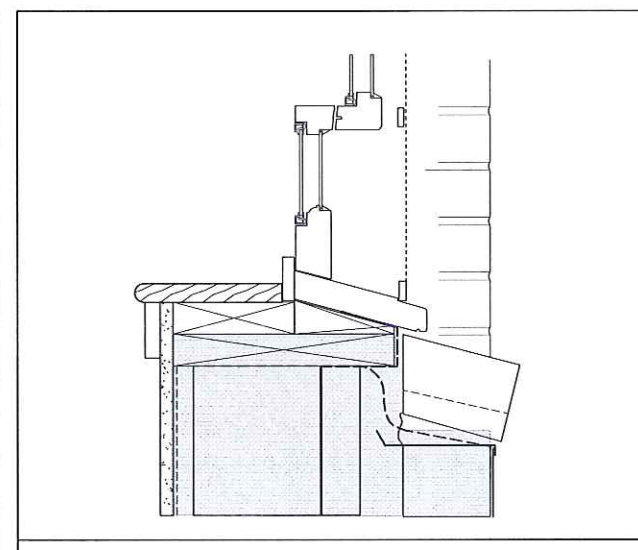
8 Jamb Detail - Proposed (Type D1)
 Scale: 3" = 1'-0"



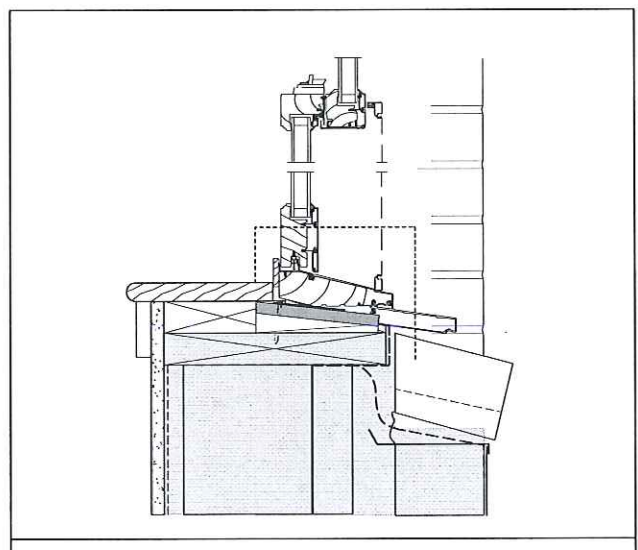
5 Jamb Detail - Existing (Type A @ Dormers)
 Scale: 3" = 1'-0"



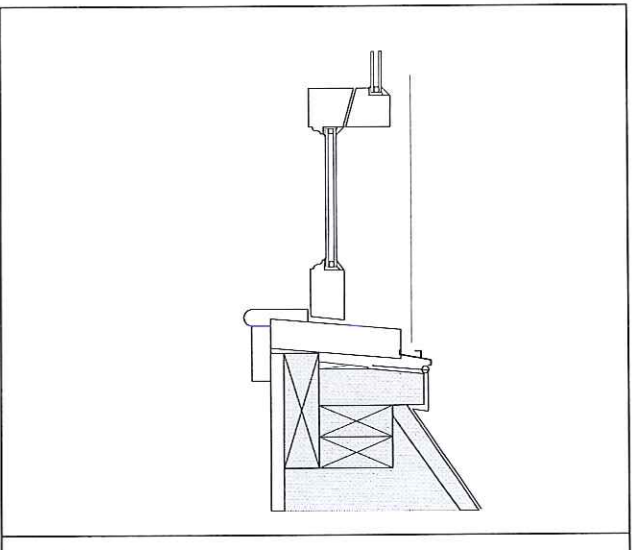
2 Jamb Detail - Proposed (Type A @ Dormers)
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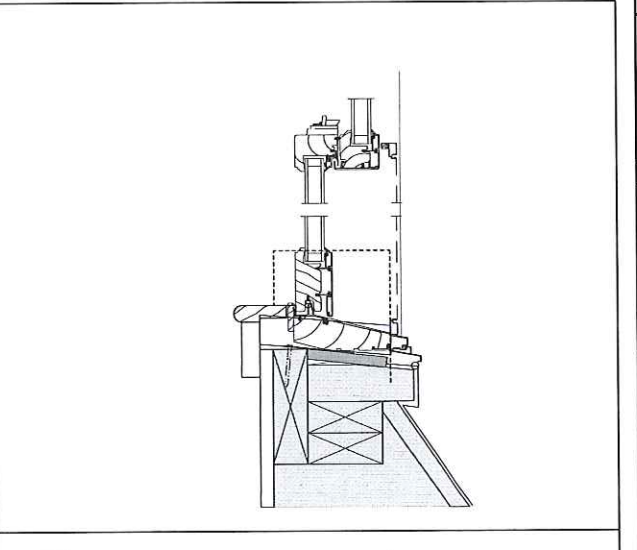
10 Sill Detail - Existing (Type D1)
 Scale: 3" = 1'-0"



7 Sill Detail - Proposed (Type D1)
 Scale: 3" = 1'-0"



4 Sill Detail - Existing (Type A @ Dormers)
 Scale: 3" = 1'-0"



1 Sill Detail - Proposed (Type A @ Dormers)
 Scale: 3" = 1'-0"

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 CAMBRIDGE HOUSING AUTHORITY

ST. PAUL'S RESIDENCE

32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
WINDOW DETAILS

DATE:
 04-09-18

SCALE:
 AS NOTED

DRAWING NO.
 DESIGN DEVELOPMENT

A-6.2



EXISTING



PROPOSED



EXISTING



PROPOSED

ARCHITECT:
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No.	Date	Revision Notes

No.	Date	Issue Notes

CLIENT:
 CAMBRIDGE HOUSING AUTHORITY

ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
**EXISTING AND
 PROPOSED ROOFTOP
 EQUIPMENT**

DATE: 04-09-18 DRAWING NO. DESIGN DEVELOPMENT
 SCALE: 1/4" = 1'-0"

A-8.0



EXISTING



PROPOSED

No.	Date	Revision Notes

CLIENT:
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 CAMBRIDGE, MA

EXISTING AND PROPOSED ROOFTOP EQUIPMENT

DATE: 04-09-18
 SCALE: 1/4" = 1'-0"
 DRAWING NO. DESIGN DEVELOPMENT

A-8.1