



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-015893-2018

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following :

Special Permit : _____ Variance : √ Appeal : _____

PETITIONER : PAULA CHAUNCEY

PETITIONER'S ADDRESS : 135 GARDEN STREET CAMBRIDGE, MA 02138

LOCATION OF PROPERTY : 135 Garden St Cambridge, MA

TYPE OF OCCUPANCY : _____ ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

To build a conforming addition of greater than 25% to a pre-existing non-conforming structure and to replace and enlarge existing shutters.

SECTIONS OF ZONING ORDINANCE CITED :

Article 8.000 Section 8.22.3 (Non-Conforming Structure).

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Article 10.000 Section 10.30 (Variance).

Original Signature(s) :

Paula E. Chauncey
(Petitioner(s) / Owner)

Paula E. Chauncey
(Print Name)

Address :

135 Garden Street
Cambridge MA 02138

Tel. No. :

617.818.5514

E-Mail Address :

pchauncey@etnello.com

Date : _____

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Paula E. Chauncey (OWNER)

Address: 135 Garden Street, Cambridge, MA 02138

State that I/We own the property located at the address above, which is the subject of this zoning application.

The record title of this property is in the name of Paula E. Chauncey

*Pursuant to a deed of duly recorded in the date March 16, 2011, Middlesex South County Registry of Deeds at Book 51610, Page 172; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Paula E. Chauncey
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

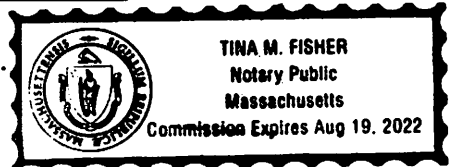
***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

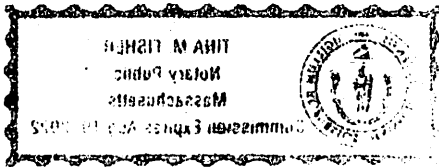
The above-name Paula E. Chauncey personally appeared before me, this 9th of March 2018, and made oath that the above statement is true.

Tina M. Fisher Notary

My commission expires 8/19/2022 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the the Ordinance would greatly limit the petitioner's ability to utilize the amount of gross floor area permitted on the property.

The allowable FAR on the property is 3,503 GSF. A literal enforcement of the Ordinance would allow just 2,200 GSF by standard building permit or 2,500 GSF by special permit.

The petitioner seeks a modest addition that would utilize 836 GSF for a total of 2,836 GSF.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or to pography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The property is a corner lot with a trapezoidal shape owing to the fact that the two streets fronting the property meet at an angle.

The existing building is aligned to Garden street while the side yard property lines are aligned to Fenno street. Therefore the side yard setbacks occur at an angle to the existing structure and overlap two of the existing building's corners. In a typical plot in this neighborhood, the side property lines would be perpendicular to the street and their setbacks would be parallel to the building on the the plot. It is this relationship of angled side property lines to the building structure that is the primary reason for the nonconformity.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

The public good will not suffer due to the proposed addition because the proposed addition will improve the character of the street and neighborhood for several reasons:

All surrounding buildings are two to three stories. The existing building is a single story. Adding a second level will create a massing that is consistent with the character of the neighborhood.

The proposed addition is justified to the corner of Garden and Fenno in order to clarify the street edge and to maintain a buffer space from the two directly adjacent properties.

The proposed addition will enhance the residential character of the existing concrete block building and will therefore be more consistent with the character of the neighborhood.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The intent and purpose of the Ordinance will not be nullified or derogated because the proposed addition seeks no dimensional relief from required setbacks, allowable building height or allowable FAR currently stipulated by the Ordinance.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM**DIMENSIONAL INFORMATION**APPLICANT: Aamodt Plumb Construction, LLC PRESENT USE/OCCUPANCY: SINGLE FAMILYLOCATION: 135 Garden St Cambridge, MA ZONE: Residence C-1 ZonePHONE: _____ REQUESTED USE/OCCUPANCY: SINGLE FAMILY

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>		2,195 SF	2,836 SF	3,504 SF	(max.)
<u>LOT AREA:</u>		4,672 SF		5,000 SF	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		.47	.61	.75	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		4,672 SF	NO CHANGE	1,500 SF	(min.)
<u>SIZE OF LOT:</u>	WIDTH	45.15'		50'	(min.)
	DEPTH				
<u>SETBACKS IN FEET:</u>	FRONT	10.83'	NO CHANGE	10'	(min.)
	REAR	15'	NO CHANGE	10'	(min.)
	LEFT SIDE	5'	NO CHANGE	8.09'	(min.)
	RIGHT SIDE	2'	NO CHANGE	9.16'	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	19'	26'	35'	(max.)
	LENGTH				
	WIDTH				
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		42%	NO CHANGE	35%	(min.)
<u>NO. OF DWELLING UNITS:</u>		1	NO CHANGE	3	(max.)
<u>NO. OF PARKING SPACES:</u>		3	NO CHANGE	1/D.U.	(min./max)
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		N/A	N/A	N/A	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

THE PROPOSED ADDITION WILL BE WOOD FRAME CONSTRUCTION.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS
MAR 22 PM 2:39

Plan No: BZA-015893-2018

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Paula E. Chauncey
(Petitioner(s) / Owner)

Paula E. Chauncey
(Print Name)

Address :

135 Garden Street
Cambridge MA 02138

Tel. No. :

617.818.5514

E-Mail Address :

pchauncey@etrella.com

Date : _____

Pacheco, Maria

From: Armond Cohen <armond@catf.us>
Sent: Sunday, March 25, 2018 2:03 PM
To: Pacheco, Maria
Cc: pchauncey@etrellc.com
Subject: Variance application for 135 Garden Street

Dear Ms. Pacheco,

I am writing in support of Paula Chauncey's application for a variance at 135 Garden Street to a second bedroom and bath in place of the current glass dome.

We are separated by the property by only one lot, and have a line of sight to the proposed addition, and have no objection. In fact, we think this change will add visual value to the block rear views.

Ms. Chauncey's renovations to date of the home's yard and exterior have also added tremendous value to the street and I expect the same quality of workmanship will be applied here.

Please contact me at the mobile number below if you have any questions.

Sincerely,

Armond Cohen
9 Fenno Street
Cambridge MA 02138
617-680-0341

Pacheco, Maria

From: Brian Dowley <bdowleyfilms@gmail.com>
Sent: Thursday, March 29, 2018 3:51 PM
To: Pacheco, Maria
Subject: letter of support for 135 Garden Street
Attachments: BZA letter of support.doc

Dear Maria Pacheco,

I am attaching a letter of support for Paula Chauncey's variance application to the BZA. We are in full support in support of her construction project at 135 Garden Street.

Please find that letter attached.

Respectively,

Brian Dowley

Brian Dowley
Cinematography
134 Garden Street
Cambridge, MA 02138
www.briandowley.com
Cell. 617-510-2320

Brian Dowley
Mimi Michaelson

134 Garden Street, Cambridge, MA 02138

(617) 547-2850

March 26, 2018

Attn: Cambridge Board of Zoning Appeal

Re: Zoning variance for construction at 135 Garden Street

Dear BZA,

My wife, Mimi Michaelson and I are in full support of the renovation and expansion of space being designed and put forth by Paula Chauncey who resides at 135 Garden Street. We are in full support of any variance needed.

Respectfully,

Mimi Michaelson
Brian Dowley

135 Garden St.

Petitioner

228-6
BARTON, PAUL I.
131 GARDEN ST.
CAMBRIDGE, MA 02138

228-17
STREIT, ROBIN BLACKBURN &
ANDREW P. ECCLES
10 STEARN ST
CAMBRIDGE, MA 02138

228-46
CHAUNCEY, PAULA E.
135 GARDEN ST
CAMBRIDGE, MA 02139

228-19
GARBER, JODY
18 STEARNS ST
CAMBRIDGE, MA 02138

228-26
DEXTER, EMILY & ARMOND M. COHEN
9-11 FENNO ST
CAMBRIDGE, MA 02138

228-27
5 FENNO ST LLC
216 BROADWAY
CAMBRIDGE, MA 02139

228-18
MAGUIRE, JOSEPH D.
16 STEARNS ST
CAMBRIDGE, MA 02138

228-53
REILLY, JOHN F. & DENNIS J. REILLY
4 STEARNS ST
CAMBRIDGE, MA 02138

229-3
EVANS, JEAN CRAIG
142 GARDEN ST.
CAMBRIDGE, MA 02138

229-113
MICHAELSON, MIRIAM D.
134 GARDEN STREET
CAMBRIDGE, MA 02138

229-114
BURKE, EILEEN BRODY,
TR. OF 132 GARDEN STREET REALTY TRUST
132 GARDEN ST.
CAMBRIDGE, MA 02138

229-128
THOMPSON, PAUL J. & SARAH E. GILBEY
140 GARDEN ST
CAMBRIDGE, MA 02138

Pacheco, Maria

From: Sam Osherson <sam@osherson.com>
Sent: Wednesday, March 21, 2018 10:20 PM
To: Pacheco, Maria
Subject: Chauncey variance application

To The Cambridge Board of Zoning Appeal:

We live on Fenno St and are neighbors of Paula Chauncey. We are writing to support her application for a zoning variance to allow her to build a bedroom and bath to replace the existing glass dome on her residence. When she first moved into her residence at 135 Garden St, Paula did a very tasteful renovation of the building and surrounding property which has very much improved its appearance. Paula has been an excellent neighbor and her proposed plans for this renovation seem to us to be tasteful and worthy of approval.

If you have any questions, please do not hesitate to contact us.

Sincerely,
Sam and Julie Osherson
15 Fenno St

Pacheco, Maria

From: Jean Evans <jevans9647@icloud.com>
Sent: Wednesday, March 21, 2018 8:54 AM
To: Pacheco, Maria
Subject: Letter of support for Paula Chauncey

Dear Maria,

Paula Chauncey lives across the street from me. She is a good neighbor and adds a beautiful garden and good cheer to our neighborhood. Dogs love her. Dogs drag their owners to her corner where there are dog treats for all and a place to socialize with other pups and humans.

I strongly support Paula's plans to remove the leaky glass dome on her roof and to add a second bedroom/ bath in its place.

Thank you for supporting our good neighbor.

Sincerely,
Jean C Evans

142 Garden Street
Cambridge 02138

Chauncey House

135 Garden Street, Cambridge MA 02138
BZA Application Set, March 16th, 2018

ARCHITECTURAL DRAWINGS

T0.0	TITLE SHEET
Z0.0	ASSESSORS BLOCK MAP
Z1.0	SURVEY
Z1.1	ZONING ANALYSIS
Z2.0	EXISTING PHOTOS
Z2.1	EXISTING EXTERIOR ELEVATIONS
D1.1	DEMOLITION - FIRST FLOOR PLAN
D1.2	DEMOLITION - SECOND FLOOR PLAN
A1.1	PROPOSED FIRST FLOOR PLAN
A1.2	PROPOSED SECOND FLOOR PLAN
A2.1	PROPOSED EXTERIOR ELEVATIONS
A2.2	PROPOSED EXTERIOR ELEVATIONS

Project 1706

Chauncey House

135 Garden Street
Cambridge, MA 02138

Architect

Aamodt Plumb Architects, LLC
91 Harvey Street, Suite 2
Cambridge, MA 02140
Tel: 617.876.9300

Contractor

Aamodt Plumb Construction, LLC
91 Harvey Street, Suite 2
Cambridge, MA 02140
Tel: 617.876.9300

Structural Engineer

LeBrasseur Engineering
23 Pleasant Street
Newton Centre, MA 02459
Tel: 617.965.5955



BZA APPLICATION SET 03/16/2018
NO. ISSUED FOR DATE

TITLE SHEET

T0.0

Chauncey House

135 Garden Street
Cambridge, MA 02138

Architect
Aamodt Plumb Architects, LLC
91 Harvey Street, Suite 2
Cambridge, MA 02140
Tel: 617.876.9300

Contractor
Aamodt Plumb Construction, LLC
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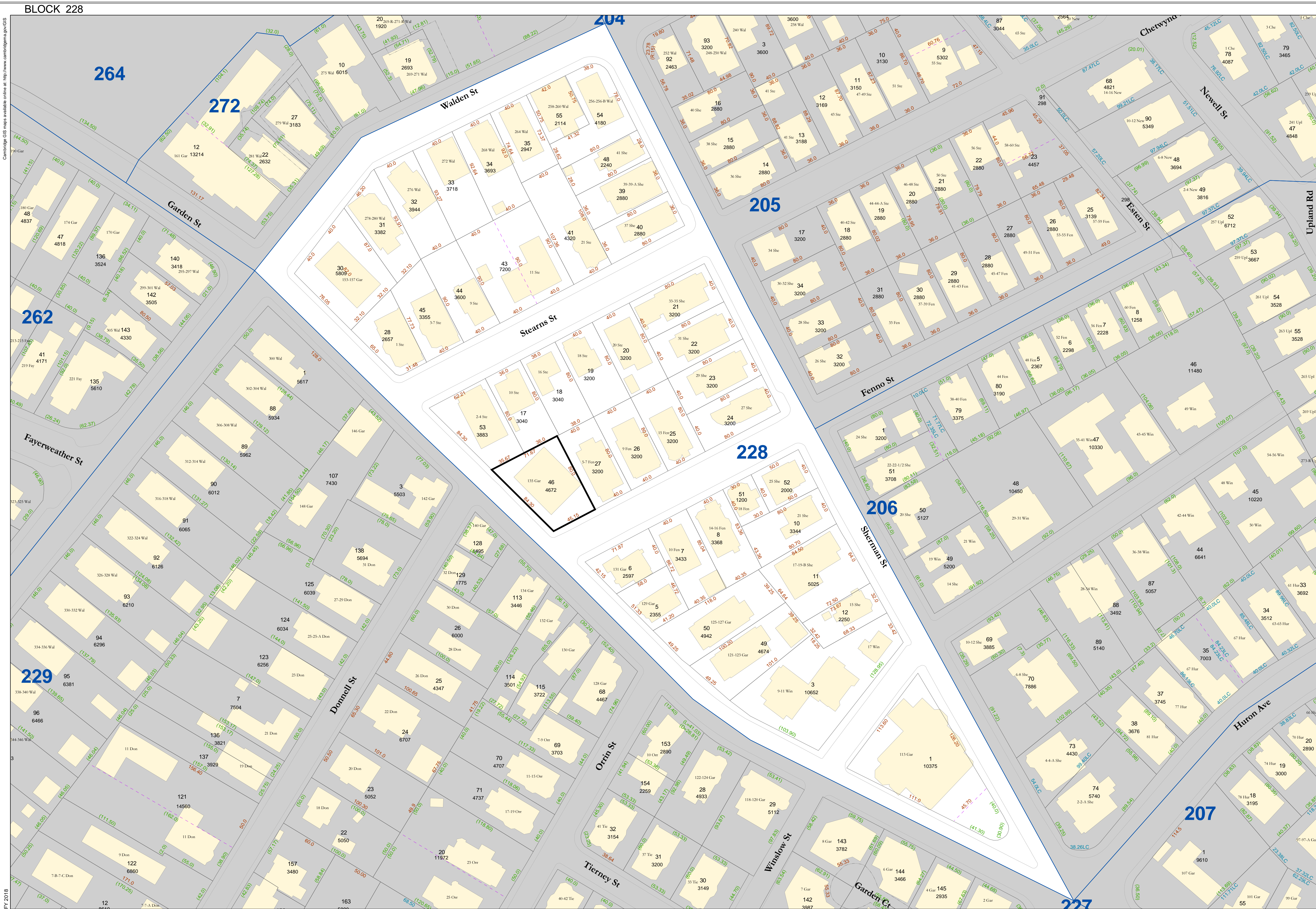
BZA APPLICATION SET 03/16/2018
NO. ISSUED FOR DATE

ASSESSORS BLOCK MAP

Z0.0

Parcel Block Map

228



City of Cambridge Assessing Department

795 Massachusetts Ave.
Cambridge, MA 02139

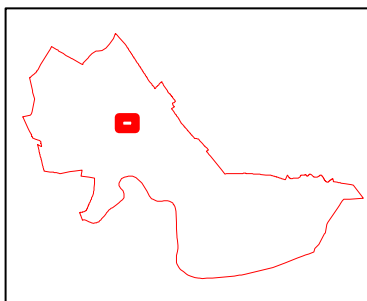
- Buildings
- Lot Line
- Block Line
- City Boundary
- Water
- Sub-Parcel Line
- Easement
- Railway

- 10 Lot Number
- 228 Block Number
- 10 Cam Street Number
- (125.0) Deed Dimension
- 100 Parcel size in Sq. Ft.
- 44.0LC Land Court Dimension
- 65.0 Survey Dimensions

DISCLAIMER:
All Real Property shown on this map was compiled from existing Assessor's Tax Maps dated 1920 to 2017 and maintained by the City Assessor's Office and the Department of Public Works. Subsequent maintenance has been completed using the City of Cambridge Geographic Information System (GIS). Parcels have not been created from survey, and map is suitable for assessing purposes only.
The City of Cambridge assumes no legal responsibility for information shown on this map.



0 15 30 60 Feet



Project 1706

Chauncey House

135 Garden Street
Cambridge, MA 02138

Architect

Aamodt Plumb Architects, LLC

91 Harvey Street, Suite 2
Cambridge, MA 02140
Tel: 617.876.9300

Contractor

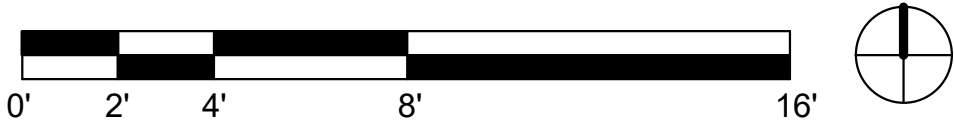
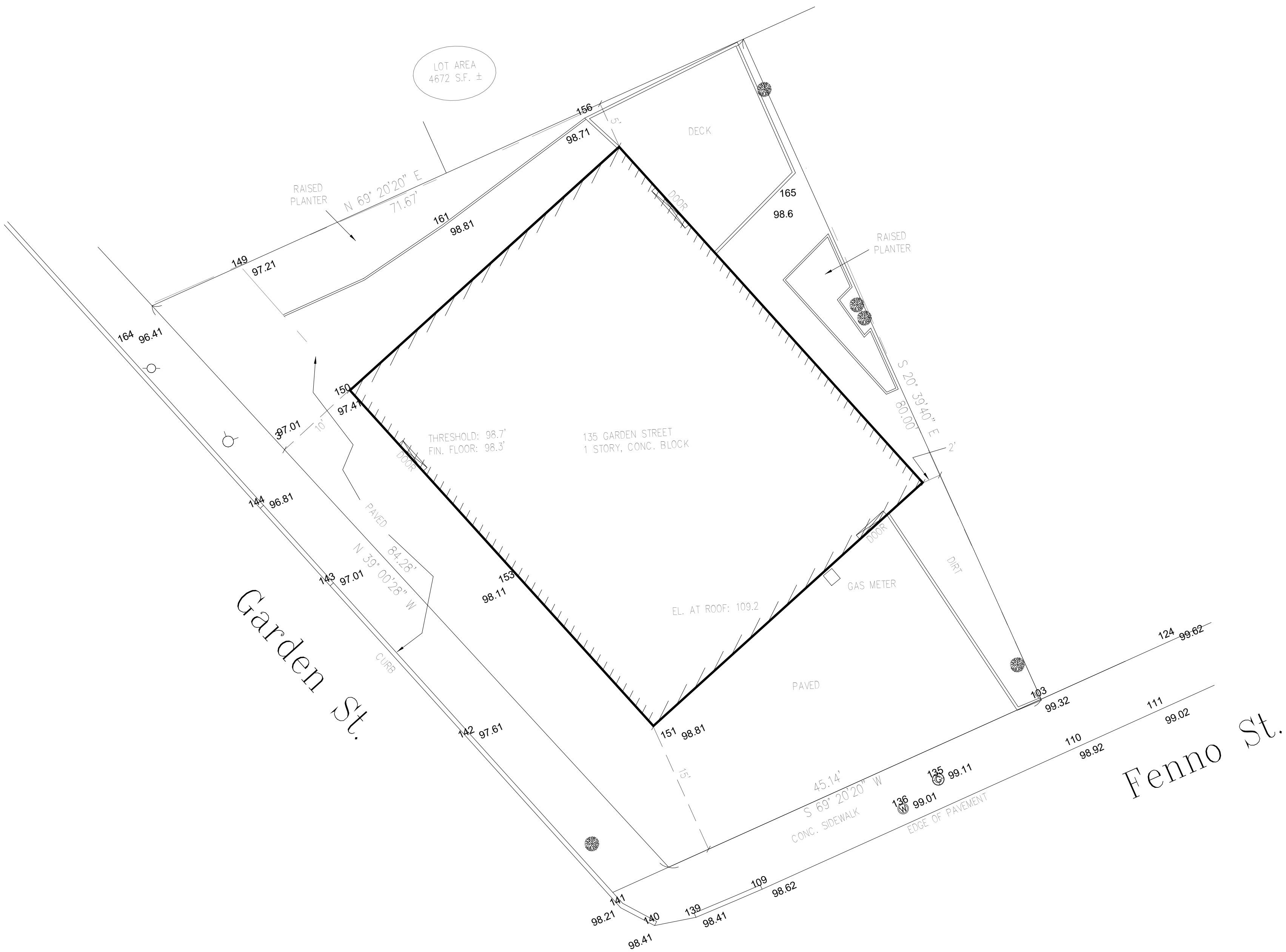
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Newton Centre, MA 02459
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BZA APPLICATION SET
NO. ISSUED FOR
DATE

SURVEY

Z1.0



ZONING ANALYSIS FOR VARIANCE	
AREA OF EXISTING STRUCTURE AT TIME IT BECAME NON-CONFORMING (1943)	2,000 SF
VOLUME OF EXISTING STRUCTURE AT TIME IT BECAME NON-CONFORMING (1943)	20,000 CF
25% OF AREA OF EXISTING STRUCTURE AS PERMITTED BY SPECIAL PERMIT IN ARTICLE 8 SECTION 8.22.2.C	500 SF
25% OF VOLUME OF EXISTING STRUCTURE AS PERMITTED BY SPECIAL PERMIT IN ARTICLE 8 SECTION 8.22.2.C	5,000 CF
PROPOSED AREA OF CONFORMING ADDITION	836 SF (42% OF EXISTING STRUCTURE)
PROPOSED VOLUME OF CONFORMING ADDITION	10,261 CF (51% OF EXISTING STRUCTURE)
AREA RELIEF REQUESTED IN ADDITION TO 25% ALLOWED BY SPECIAL PERMIT	336 SF (17% OF EXISTING STRUCTURE)
VOLUME RELIEF REQUESTED IN ADDITION TO 25% ALLOWED BY SPECIAL PERMIT	5,261 CF (26% OF EXISTING STRUCTURE)



1 ZONING ANALYSIS DIAGRAM
1/8" = 1'-0"



EXISTING VIEW FROM GARDEN STREET



EXISTING VIEW FROM CORNER OF GARDEN STREET AND FENNO STREET



EXISTING VIEW FROM FENNO STREET



EXISTING VIEW FROM GARDEN STREET



EXISTING VIEW FROM CORNER OF GARDEN STREET AND FENNO STREET



EXISTING VIEW FROM FENNO STREET

Chauncey House

135 Garden Street
Cambridge, MA 02138

Architect

Aamodt Plumb Architects, LLC
91 Harvey Street, Suite 2
Cambridge, MA 02140
Tel: 617.876.9300

Contractor

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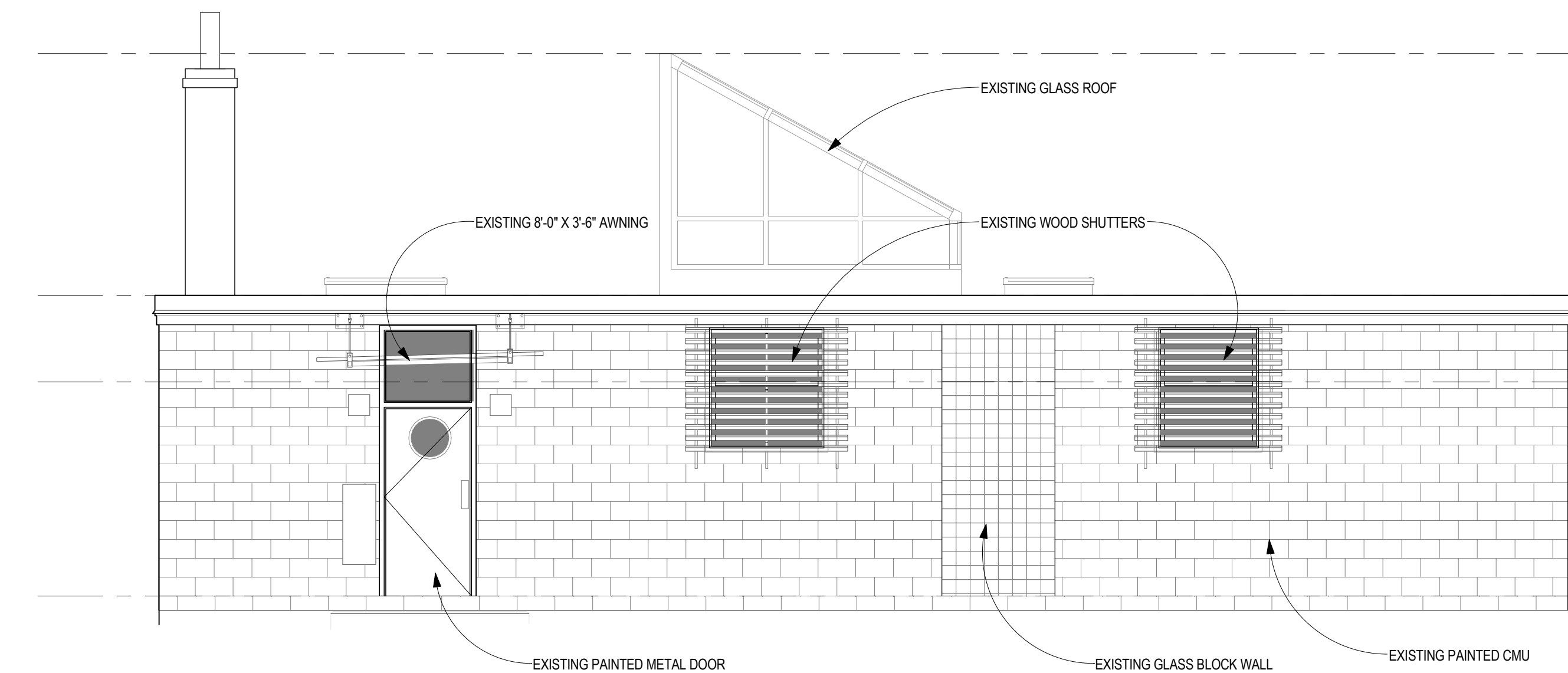


EXISTING
MEZZANINE ROOF
19' - 2"

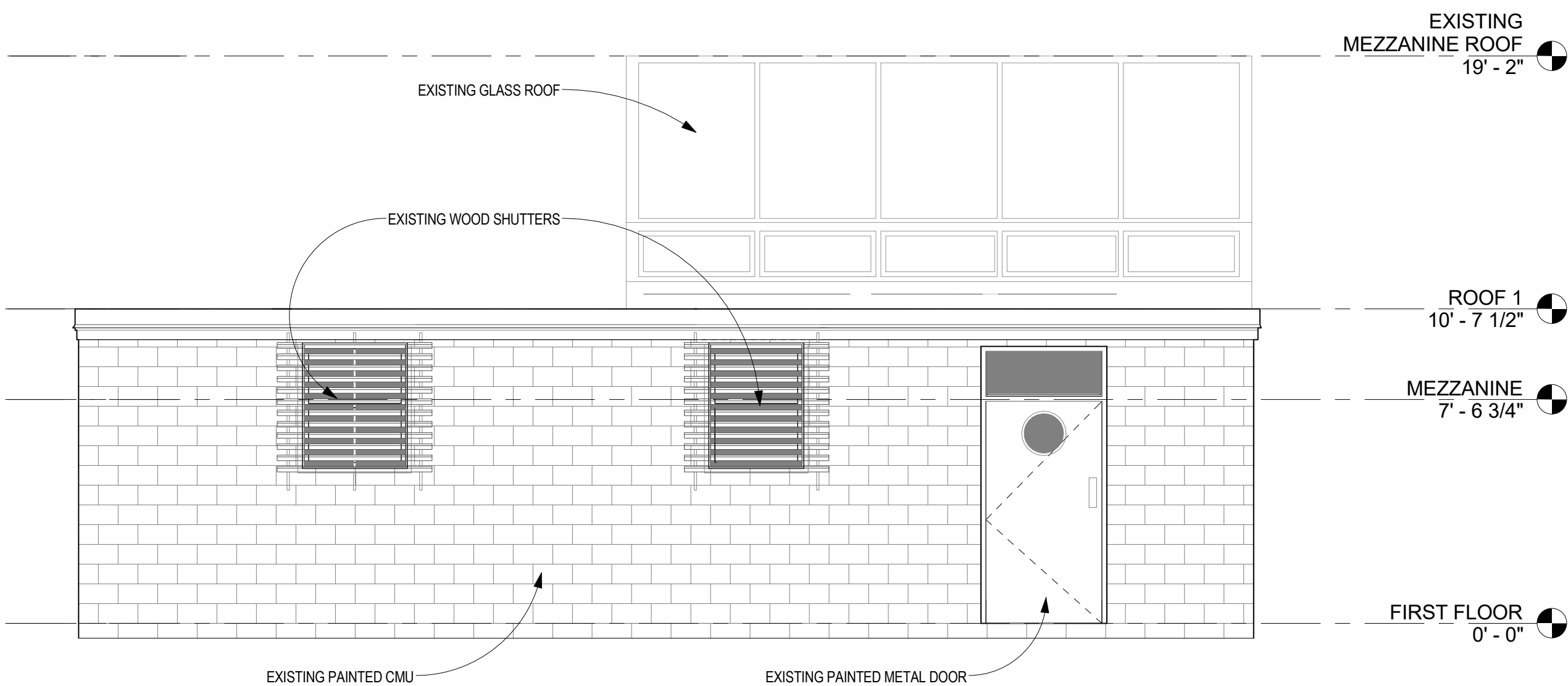
ROOF 1
10' - 7 1/2"

MEZZANINE
7' - 6 3/4"

FIRST FLOOR
0' - 0"



① Existing Exterior Elevation - Southwest (Garden Street)
1/4" = 1'-0"



② Existing Exterior Elevation - Southeast (Fenno Street)
1/4" = 1'-0"

BZA APPLICATION SET
NO. ISSUED FOR
03/16/2018
DATE

EXISTING
EXTERIOR
ELEVATIONS

Z2.1

GENERAL DEMOLITION NOTES

1 - **FLOOR REMOVALS:** ALL FLOORING IS EXISTING TO REMAIN.

2 - **DOOR REMOVALS:** WHERE DOORS, FRAME & TRIM ARE INDICATED TO BE REMOVED, REMOVE RELATED TRIM AS NOT TO DISTRUPT EXISTING ADJACENT WALL FINISHES, AND LEAVE ROUGH OPENING OF DOOR READY TO RECEIVE NEW WORK.

3 - **WINDOW REMOVALS:** ALL WINDOWS ARE EXISTING TO REMAIN.

4 - **WALL & PARTITION REMOVALS:** WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE RELATED DOORS, FRAMES, TRIM, BORROWED LIGHTS, SURFACE MOUNTED ITEMS, AND THE LIKE, UNO. AFTER REMOVAL, PREPARE AREA TO RECEIVE NEW WORK.

5 - **WALL & PARTITION REMOVALS:** WHERE NEW OPENINGS ARE INDICATED TO BE CREATED IN EXISTING WALLS OR PARTITIONS FOR NEW DOOR AND FRAME, GLAZING, OR FRAMED OPENING, SAW CUT ALONG EDGE OF AREA TO BE REMOVED TO ALLOW FOR CLEAN INTERFACE OF NEW AND EXISTING CONSTRUCTION. TEMPORARILY SHORE OPENING AS REQUIRED AFTER REMOVAL AND PREPARE TO RECEIVE NEW WORK. SEE ARCHITECTURAL DRAWINGS/SCHEDULES TO DETERMINE SIZE OF OPENING.

6 - **ROOF REMOVALS:** WHERE NEW OPENINGS ARE INDICATED TO BE CREATED IN EXISTING ROOF, SAW CUT ALONG EDGE OF AREA TO BE REMOVED TO ALLOW FOR CLEAN INTERFACE OF NEW AND EXISTING CONSTRUCTION. TEMPORARILY SHORE OPENING AS REQUIRED AFTER REMOVAL AND PREPARE TO RECEIVE NEW WORK. SEE ARCHITECTURAL DRAWINGS/SCHEDULES TO DETERMINE SIZE OF OPENING.

7 - **ROOF REMOVALS:** WHERE EXISTING ROOFING IS INDICATED TO BE REMOVED, CUT ALONG EDGE OF AREA TO BE REMOVED TO ALLOW FOR CLEAN INTERFACE OF NEW AND EXISTING CONSTRUCTION. REMOVE RELATED ROOFING MEMBRANE AND INSULATION AS NOT TO DISTRUPT EXISTING ADJACENT ROOF ASSEMBLY, AND LEAVE ROOF DECK READY TO RECEIVE NEW WORK.

8 - **MISCELLANEOUS REMOVALS:** REMOVE ITEM(S) OF TYPE NOTED. PATCH/REPAIR WALL/FLOOR ITEM(S) WAS ANCHORED TO AND PREPARE TO RECEIVE NEW WORK

9 - **SALVAGE ITEMS:** CAREFULLY REMOVE, PROTECT & STORE ITEM(S) OF TYPE NOTED WITH INTENT TO RE-INSTALL. ITEM(S) IS TO BE STORED AND REINSTALLED AS INDICATED ON NEW CONSTRUCTION DRAWINGS. PATCH/REPAIR WALL/FLOOR ITEM(S) WAS ANCHORED TO AND PREPARE TO RECEIVE NEW WORK

10 - **STRUCTURAL REMOVALS:** REMOVE EXISTING STRUCTURAL MEMBER PER WRITTEN APPROVAL BY STRUCTURAL ENGINEER WHERE STRUCTURAL ITEMS AR INDICATED TO BE REMOVED. SUBCONTRACTOR IS RESPONSIBLE FOR SHORING EXISTING STRUCTURE TEMPORARILY. IF EXISTING STRUCTURE IN WALLS OR PARTITIONS INDICATED TO BE REMOVED, INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, LINTELS & BEARING WALLS, THAT ISNT INDICATED IN DEMOLITION DRAWINGS IS DISCOVERED DURING CONSTRUCTION INFORM ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO REMOVAL.

11 - **HAZARDOUS MATERIALS:** THE SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR FOLLOWING LOCAL AND STATE BUILDING CODES & REGULATIONS IN REGARD TO REMOVAL OF LEAD OR OTHER HAZARDOUS MATERIALS, IF DISCOVERED. IF HAZARDOUS MATERIALS ARE DISCOVERED, NOTIFY THE ARCHITECT AND GENERAL CONTRACTOR PROMPTLY. THE ARCHITECT AND GENERAL CONTRACTOR BEAR NO RESPONSIBILITY FOR IDENTIFICATION OR REMOVAL OF HAZARDOUS MATERIALS.

GENERAL DEMOLITION SCOPE NOTES:

1 - **ACCESSORIES:** ALL EXISTING WALL-MTD ACCESSORIES ARE EXISTING TO REMAIN, UNO.

2 - **WINDOW TREATMENTS & HARDWARE:** ALL EXISTING WINDOW TREATMENTS & HARDWARE ARE EXISTING TO REMAIN, UNO.

3 - **ELECTRICAL:** ALL EXISTING LIGHTING & ELECTRICAL DEVICES ARE EXISTING TO REMAIN, UNO.

4 - **PLUMBING:** ALL EXISTING PLUMBING FIXTURES AND ROUGH ARE EXISTING TO REMAIN, UNO.

5 - **MILLWORK:** ALL EXISTING MILLWORK IS EXISTING TO REMAIN, UNO.

6 - **TRIM:** ALL EXISTING WALL & CEILING TRIM IS EXISTING TO REMAIN, UNO.

7 - **BASE:** ALL EXISTING BASE (WOOD & TILE) IS EXISTING TO REMAIN, UNO.

8 - **FLOORING:** ALL EXISTING FLOORING IS EXISTING TO REMAIN, UNO.

9 - **CEILINGS:** ALL CEILING FINISHES ARE EXISTING TO REMAIN, UNO.

10 - **FINISHES:** ON EXTERIOR WALLS AND PARTITIONS EXISTING TO REMAIN, ALL EXISTING WALL FINISHES ARE EXISTING TO REMAIN, UNO.

11 - **HVAC:** ALL EXISTING HVAC RETURNS, DUCTS, AND RELATED EQUIPMENT IS EXISTING TO REMAIN, UNO.

12 - **WINDOWS:** ALL EXISTING WINDOWS AND SKYLIGHTS ARE EXISTING TO REMAIN, UNO.

13 - **DOORS:** ALL INTERIOR DOORS ARE EXISTING TO REMAIN, UNO. REMOVE EXTERIOR DOORS AS INDICATED.

DEMOLITION KEYNOTE LEGEND:

ETR: EXISTING TO REMAIN

WALL & PARTITION REMOVALS:

WR1: REMOVE EXISTING EXTERIOR WALL & ASSOCIATED DOORS, WINDOWS, TRIM, ETC. AS INDICATED.

WR2: REMOVE EXTERIOR DOOR AND ASSOCIATED FRAME, TRIM, HARDWARE & FASTENERS.

ROOF REMOVALS:

RR1: REMOVE PORTION OF ROOFING MEMBRANE AND EXTERIOR INSULATION AT LOCATION INDICATED.

RR2: REMOVE PORTION OF ROOF TO CREATE OPENING FOR NEW STAIR FROM MEZZANINE TO SECOND FLOOR ADDITION.

MISCELLANEOUS REMOVALS:

MR1: REMOVE MISCELLANEOUS ITEM INDICATED.

SALVAGE ITEMS:

SV1: SALVAGE & STORE ITEM INDICATED.

STRUCTURAL REMOVALS

SR1: REMOVE STRUCTURE AS INDICATED - CONFIRM WITH STRUCTURAL ENGINEER.

DRAWING LEGEND:

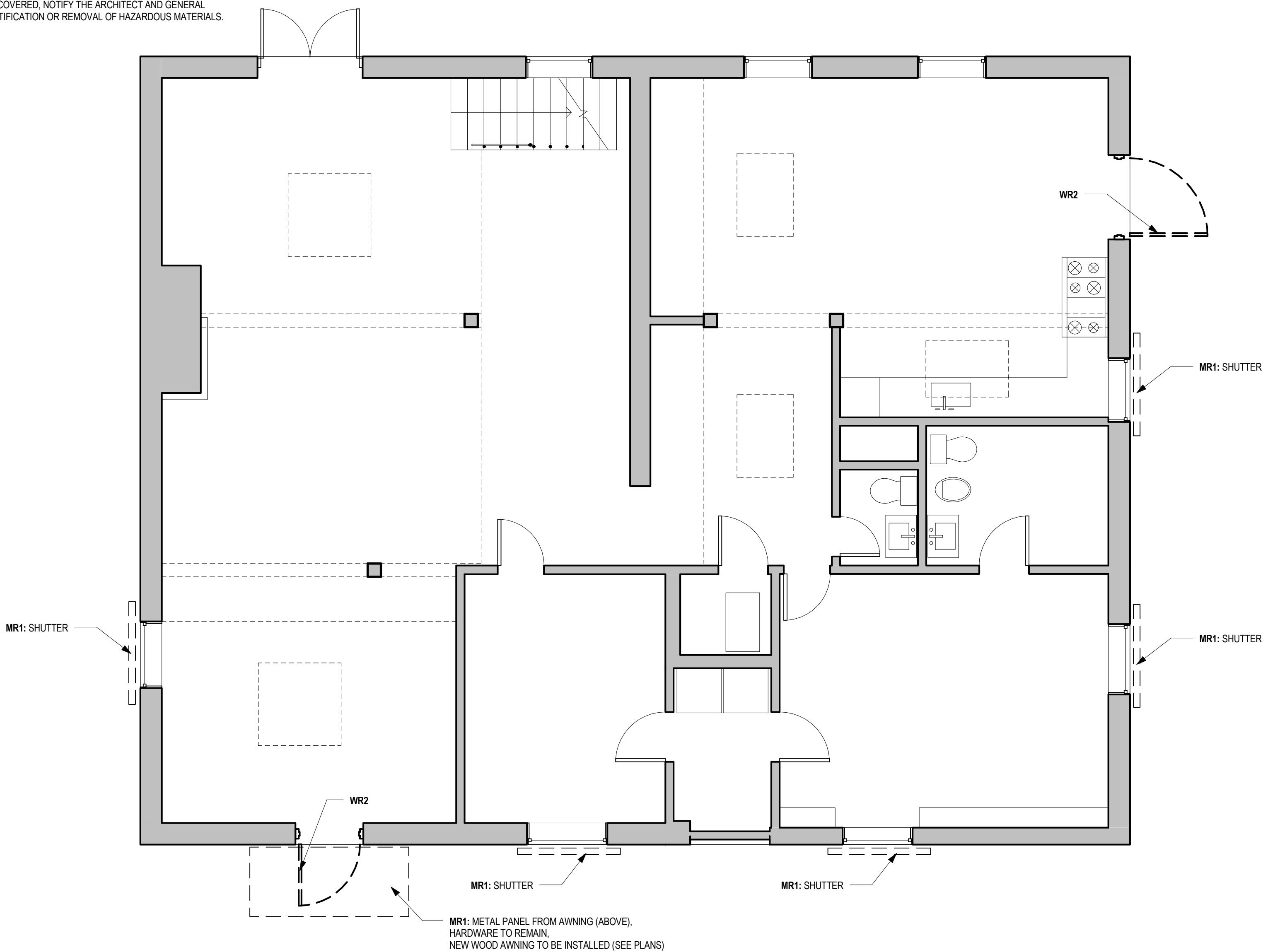
EXISTING TO REMAIN, UNO

NEW CONSTRUCTION, UNO

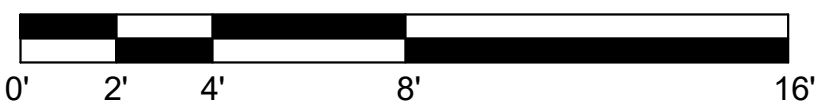
PARTITION/ITEM TO BE REMOVED

OBJECT INDICATED ABOVE

FENCE



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



Project 1706

Chauncey House

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DEMOLITION - FIRST FLOOR PLAN

D1.1

GENERAL DEMOLITION NOTES

1 - **FLOOR REMOVALS:** ALL FLOORING IS EXISTING TO REMAIN.

2 - **DOOR REMOVALS:** WHERE DOORS, FRAME & TRIM ARE INDICATED TO BE REMOVED, REMOVE RELATED TRIM AS NOT TO DISTRUPT EXISTING ADJACENT WALL FINISHES, AND LEAVE ROUGH OPENING OF DOOR READY TO RECEIVE NEW WORK.

3 - **WINDOW REMOVALS:** ALL WINDOWS ARE EXISTING TO REMAIN.

4 - **WALL & PARTITION REMOVALS:** WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE RELATED DOORS, FRAMES, TRIM, BORROWED LIGHTS, SURFACE MOUNTED ITEMS, AND THE LIKE, UNO. AFTER REMOVAL, PREPARE AREA TO RECEIVE NEW WORK.

5 - **WALL & PARTITION REMOVALS:** WHERE NEW OPENINGS ARE INDICATED TO BE CREATED IN EXISTING WALLS OR PARTITIONS FOR NEW DOOR AND FRAME, GLAZING, OR FRAMED OPENING, SAW CUT ALONG EDGE OF AREA TO BE REMOVED TO ALLOW FOR CLEAN INTERFACE OF NEW AND EXISTING CONSTRUCTION. TEMPORARILY SHORE OPENING AS REQUIRED AFTER REMOVAL AND PREPARE TO RECEIVE NEW WORK. SEE ARCHITECTURAL DRAWINGS/SCHEDULES TO DETERMINE SIZE OF OPENING.

6 - **ROOF REMOVALS:** WHERE NEW OPENINGS ARE INDICATED TO BE CREATED IN EXISTING ROOF, SAW CUT ALONG EDGE OF AREA TO BE REMOVED TO ALLOW FOR CLEAN INTERFACE OF NEW AND EXISTING CONSTRUCTION. TEMPORARILY SHORE OPENING AS REQUIRED AFTER REMOVAL AND PREPARE TO RECEIVE NEW WORK. SEE ARCHITECTURAL DRAWINGS/SCHEDULES TO DETERMINE SIZE OF OPENING.

7 - **ROOF REMOVALS:** WHERE EXISTING ROOFING IS INDICATED TO BE REMOVED, CUT ALONG EDGE OF AREA TO BE REMOVED TO ALLOW FOR CLEAN INTERFACE OF NEW AND EXISTING CONSTRUCTION. REMOVE RELATED ROOFING MEMBRANE AND INSULATION AS NOT TO DISTRUPT EXISTING ADJACENT ROOF ASSEMBLY, AND LEAVE ROOF DECK READY TO RECEIVE NEW WORK.

8 - **MISCELLANEOUS REMOVALS:** REMOVE ITEM(S) OF TYPE NOTED. PATCH/REPAIR WALL/FLOOR ITEM(S) WAS ANCHORED TO AND PREPARE TO RECEIVE NEW WORK

9 - **SALVAGE ITEMS:** CAREFULLY REMOVE, PROTECT & STORE ITEM(S) OF TYPE NOTED WITH INTENT TO RE-INSTALL. ITEM(S) IS TO BE STORED AND REINSTALLED AS INDICATED ON NEW CONSTRUCTION DRAWINGS. PATCH/REPAIR WALL/FLOOR ITEM(S) WAS ANCHORED TO AND PREPARE TO RECEIVE NEW WORK

10 - **STRUCTURAL REMOVALS:** REMOVE EXISTING STRUCTURAL MEMBER PER WRITTEN APPROVAL BY STRUCTURAL ENGINEER. WHERE STRUCTURAL ITEMS AR INDICATED TO BE REMOVED, SUBCONTRACTOR IS RESPONSIBLE FOR SHORING EXISTING STRUCTURE TEMPORARILY. IF EXISTING STRUCTURE IN WALLS OR PARTITIONS INDICATED TO BE REMOVED, INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, LINTELS & BEARING WALLS, THAT ISNT INDICATED IN DEMOLITION DRAWINGS IS DISCOVERED DURING CONSTRUCTION INFORM ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO REMOVAL.

11 - **HAZARDOUS MATERIALS:** THE SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR FOLLOWING LOCAL AND STATE BUILDING CODES & REGULATIONS IN REGARD TO REMOVAL OF LEAD OR OTHER HAZARDOUS MATERIALS, IF DISCOVERED. IF HAZARDOUS MATERIALS ARE DISCOVERED, NOTIFY THE ARCHITECT AND GENERAL CONTRACTOR PROMPTLY. THE ARCHITECT AND GENERAL CONTRACTOR BEAR NO RESPONSIBILITY FOR IDENTIFICATION OR REMOVAL OF HAZARDOUS MATERIALS.

GENERAL DEMOLITION SCOPE NOTES:

1 - **ACCESSORIES:** ALL EXISITNG WALL-MTD ACCESSORIES ARE EXISTING TO REMAIN, UNO.

2 - **WINDOW TREATMENTS & HARDWARE:** ALL EXISTING WINDOW TREATMENTS & HARDWARE ARE EXISTING TO REMAIN, UNO.

3 - **ELECTRICAL:** ALL EXISITNG LIGHTING & ELECTRICAL DEVICES ARE EXISTING TO REMAIN, UNO.

4 - **PLUMBING:** ALL EXISTING PLUMBING FIXTURES AND ROUGH ARE EXISTING TO REMAIN, UNO.

5 - **MILLWORK:** ALL EXISTING MILLWORK IS EXISTING TO REMAIN, UNO.

6 - **TRIM:** ALL EXISTING WALL & CEILING TRIM IS EXISTING TO REMAIN, UNO.

7 - **BASE:** ALL EXISTING BASE (WOOD & TILE) IS EXISTING TO REMAIN, UNO.

8 - **FLOORING:** ALL EXISTING FLOORING IS EXISTING TO REMAIN, UNO.

9 - **CEILINGS:** ALL CEILING FINISHES ARE EXISTING TO REMAIN, UNO.

10 - **FINISHES:** ON EXTERIOR WALLS AND PARTITIONS EXISTING TO REMAIN, ALL EXISTING WALL FINISHES ARE EXISTING TO REMAIN, UNO.

11 - **HVAC:** ALL EXISTING HVAC RETURNS, DUCTS, AND RELATED EQUIPMENT IS EXISTING TO REMAIN, UNO.

12 - **WINDOWS:** ALL EXISTING WINDOWS AND SKYLIGHTS ARE EXISTING TO REMAIN, UNO.

13 - **DOORS:** ALL INTERIOR DOORS ARE EXISTING TO REMAIN, UNO. REMOVE EXTERIOR DOORS AS INDICATED.

DEMOLITION KEYNOTE LEGEND:

ETR: EXISTING TO REMAIN

WALL & PARTITION REMOVALS:

WR1: REMOVE EXISTING EXTERIOR WALL & ASSOCIATED DOORS, WINDOWS, TRIM, ETC. AS INDICATED.

WR2: REMOVE EXTERIOR DOOR AND ASSOCIATED FRAME, TRIM, HARDWARE & FASTENERS.

ROOF REMOVALS:

RR1: REMOVE PORTION OF ROOFING MEMBRANE AND EXTERIOR INSULATION AT LOCATION INDICATED.

RR2: REMOVE PORTION OF ROOF TO CREATE OPENING FOR NEW STAIR FROM MEZZANINE TO SECOND FLOOR ADDITION.

MISCELLANEOUS REMOVALS:

MR1: REMOVE MISCELLANEOUS ITEM INDICATED.

SALVAGE ITEMS:

SV1: SALVAGE & STORE ITEM INDICATED.

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SR1: REMOVE STRUCTURE AS INDICATED - CONFIRM WITH STRUCTURAL ENGINEER.

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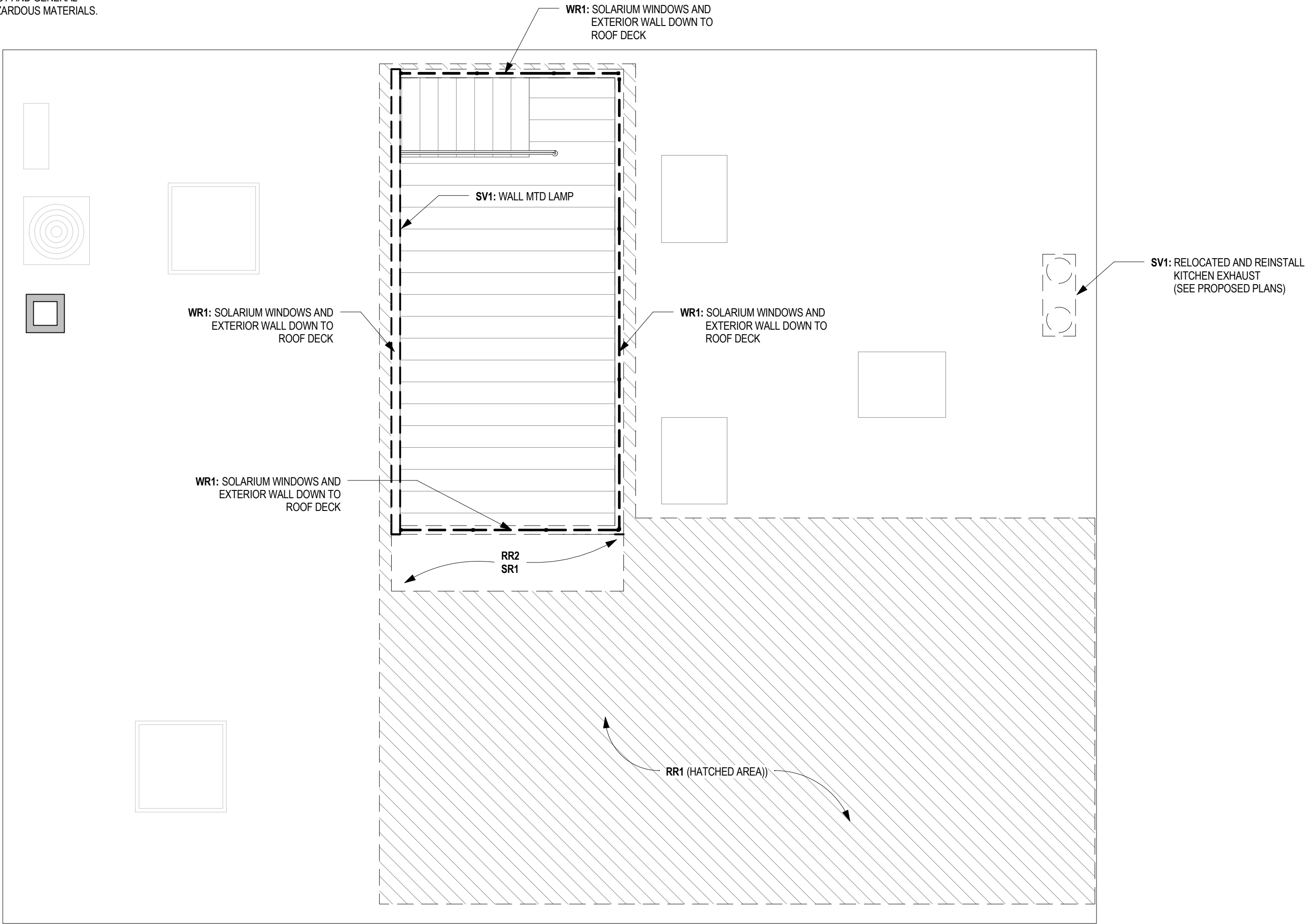
EXISTING TO REMAIN, UNO

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OBJECT INDICATED ABOVE

FENCE



1 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



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DEMOLITION -
SECOND FLOOR
PLAN

D1.2

GENERAL SCOPE NOTES:

- 1 - **WINDOWS:** ALL EXISTING WINDOWS ARE EXISTING TO REMAIN, UNO.
- 2 - **EXTERIOR DOORS:** ALL EXISTING EXTERIOR DOORS ARE TO BE REPLACED / NEW, UNO.
- 3 - **ROOFING:** ALL EXISTING ROOFING, ROOF INSULATION AND ROOF VAPOR BARRIER IS EXISTING TO REMAIN, UNO.
- 4 - **EXISTING EXTERIOR WALLS:** ALL EXISTING EXTERIOR CONCRETE BLOCK WALLS ARE EXISTING TO REMAIN, UNO. ALL EXISTING EXTERIOR CONCRETE BLOCK WALLS, FASCIA, AND FLASHING TO BE PAINTED, UNO.
- 5 - **INTERIOR PARTITIONS:** ALL INTERIOR PARTITIONS ARE TYPE 1C1, UNO.
- 6 - **FRAMING:** SEE STRUCTURAL DRAWINGS FOR FRAMING REQUIREMENTS.
- 7 - **FINISHES:** ALL EXISTING FIRST FLOOR FINISHES ARE EXISTING TO REMAIN, UNO. SEE ENLARGED PLANS & INTERIOR ELEVATIONS FOR SECOND FLOOR FINISHING.
- 8 - **HVAC:** RECONFIGURE HVAC AS REQUIRED IN EXISTING SPACES & PROVIDE NEW IN ADDITION. PROVIDE IN-FLOOR RADIANT HEATING FOR ROOMS 201, 202, AND 203.
- 9 - **PLUMBING:** PROVIDE FIXTURES AS NOTED AND CONNECT TO EXISTING SYSTEMS. RELOCATE EXISTING PLUMBING VENTS AND ROOF DRAINS AS REQUIRED.
- 10 - **ELECTRICAL:** ALL EXISTING FIRST FLOOR ELECTRICAL FIXTURES AND WIRING ARE EXISTING TO REMAIN. RECONFIGURE ELECTRICAL AS REQUIRED IN ROOM 101 - MEZZANINE, AND PROVIDE NEW IN ADDITION AND COURTYARD. PROVIDE OUTLETS PER CODE.

DRAWING LEGEND:

- EXISTING TO REMAIN, UNO
- NEW CONSTRUCTION, UNO
- PARTITION/ITEM TO BE REMOVED
- OBJECT INDICATED ABOVE
- FENCE

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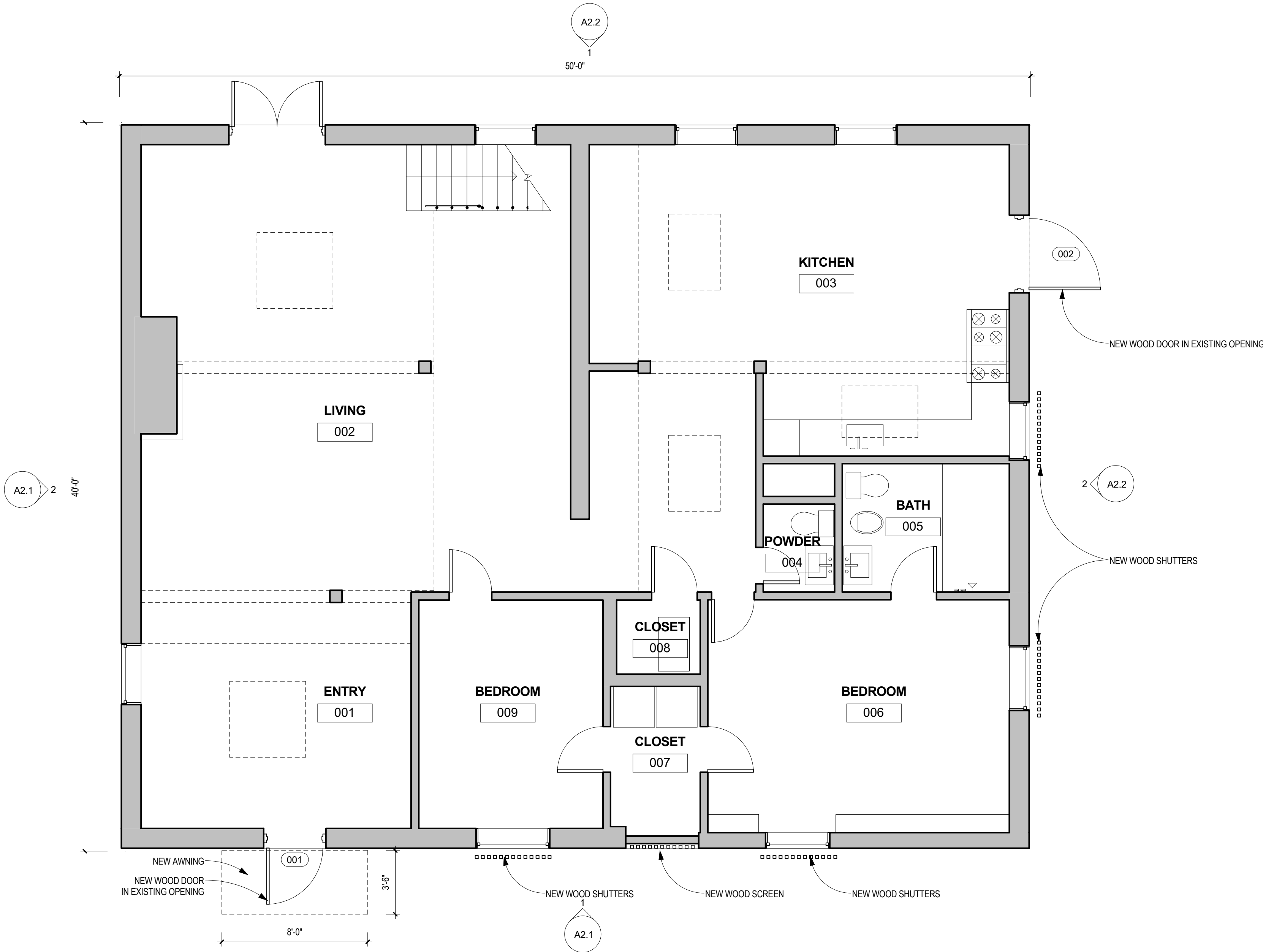
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1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



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PROPOSED FIRST FLOOR PLAN

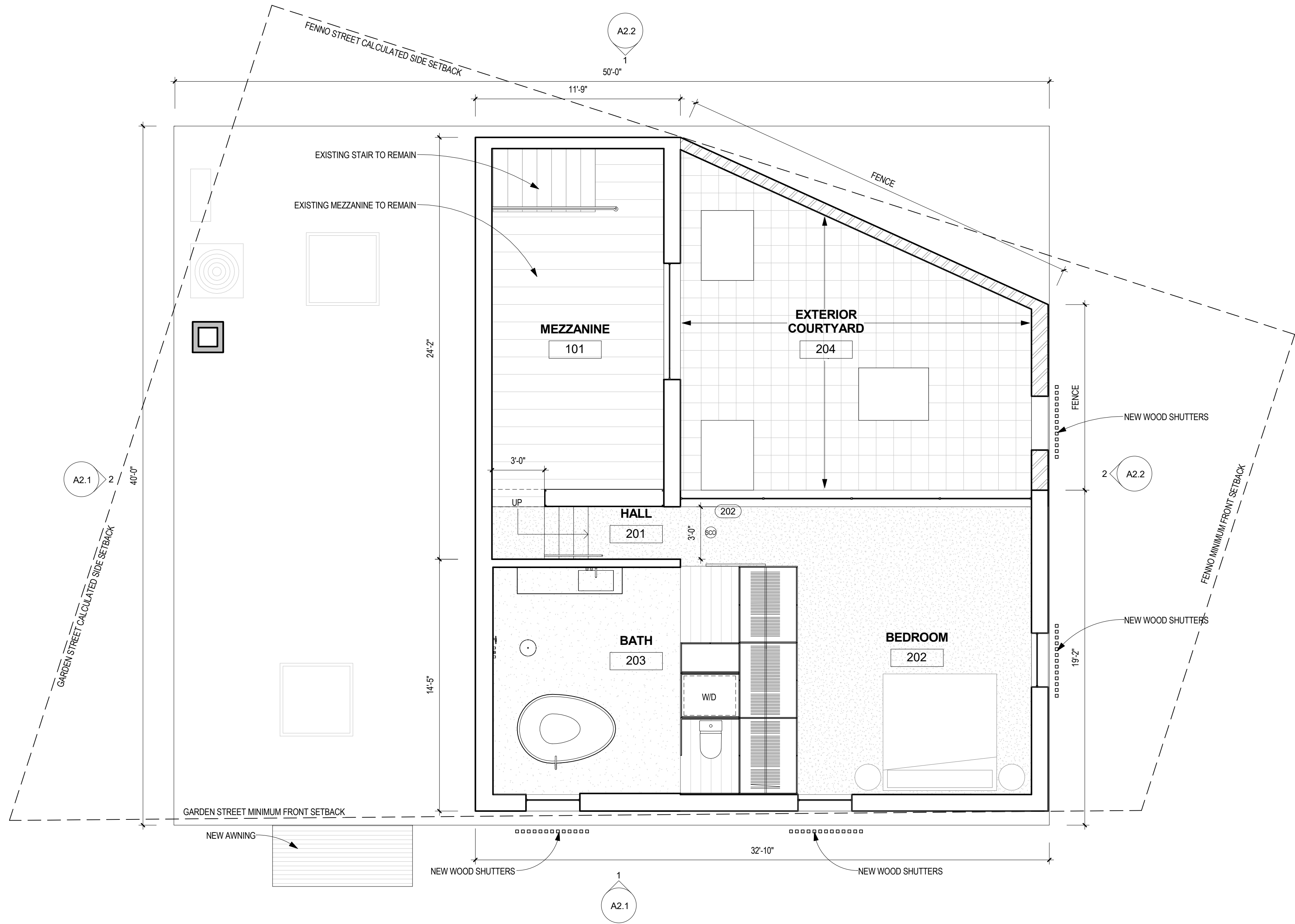
A1.1

GENERAL SCOPE NOTES:

- 1 - **WINDOWS:** ALL EXISTING WINDOWS ARE EXISTING TO REMAIN, UNO.
- 2 - **EXTERIOR DOORS:** ALL EXISTING EXTERIOR DOORS ARE TO BE REPLACED / NEW, UNO.
- 3 - **ROOFING:** ALL EXISTING ROOFING, ROOF INSULATION AND ROOF VAPOR BARRIER IS EXISTING TO REMAIN, UNO.
- 4 - **EXISTING EXTERIOR WALLS:** ALL EXISTING EXTERIOR CONCRETE BLOCK WALLS ARE EXISTING TO REMAIN, UNO. ALL EXISTING EXTERIOR CONCRETE BLOCK WALLS, FASCIA, AND FLASHING TO BE PAINTED, UNO.
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- 10 - **ELECTRICAL:** ALL EXISTING FIRST FLOOR ELECTRICAL FIXTURES AND WIRING ARE EXISTING TO REMAIN. RECONFIGURE ELECTRICAL AS REQUIRED IN ROOM 101 - MEZZANINE, AND PROVIDE NEW IN ADDITION AND COURTYARD. PROVIDE OUTLETS PER CODE.

DRAWING LEGEND:

- EXISTING TO REMAIN, UNO
- NEW CONSTRUCTION, UNO
- PARTITION/ITEM TO BE REMOVED
- OBJECT INDICATED ABOVE
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1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



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PROPOSED SECOND FLOOR PLAN

A1.2

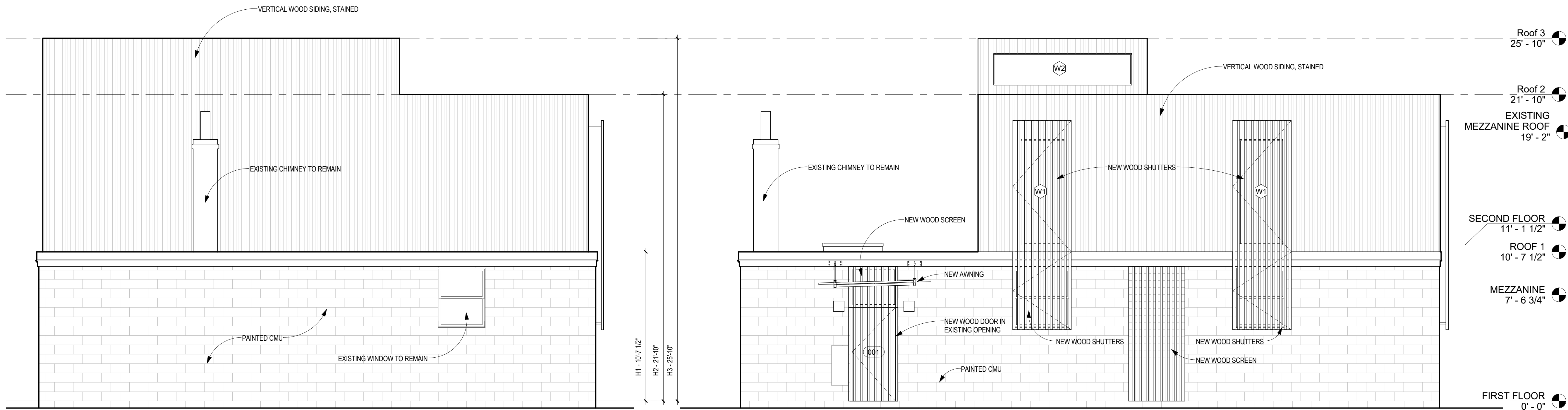
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② Proposed Exterior Elevation - Northwest
1/4" = 1'-0"

① Proposed Exterior Elevation - Southwest (Garden Street)
1/4" = 1'-0"

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PROPOSED
EXTERIOR
ELEVATIONS

A2.1

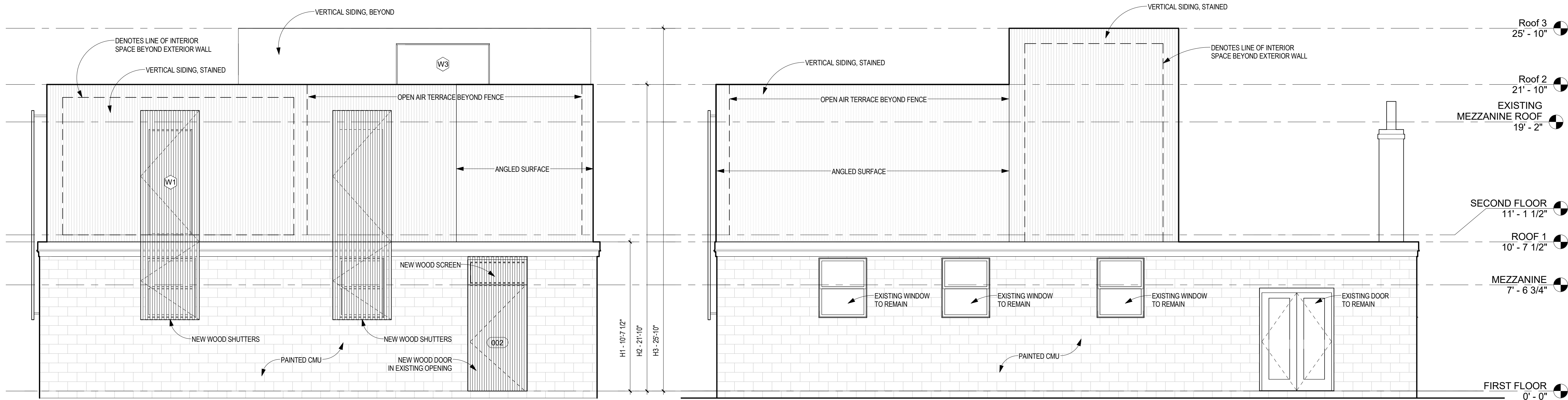
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② Proposed Exterior Elevation - Southeast (Fenno Street)
1/4" = 1'-0"

① Proposed Exterior Elevation - Northeast
1/4" = 1'-0"

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03/16/2018
DATE

PROPOSED
EXTERIOR
ELEVATIONS

A2.2

Pacheco, Maria

BZA-015893-2018

From: jody garber <jogarber@yahoo.com>
Sent: Friday, March 30, 2018 1:46 PM
To: Pacheco, Maria
Cc: pchauncey@etrellc.com
Subject: 135 Garden Street

Hello-

I am writing in support of the variance application for 135 Garden Street. Apparently my lot at 18 Stearns Street is considered an abutting property and I have zero concerns regarding the proposed addition to the Chauncey house. It's a unique building (the changes to which I have followed during the past 20 years), with a wonderful garden that benefits the many pedestrians who walk along Garden Street. Please count me as a voice in favor of the proposed changes.

Sincerely,

Jody Garber
18 Stearns Street