

BZA APPLICATION FORM
GENERAL INFORMATION

2017 JUL -6 AM 11:22
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: Cellco Partnership d/b/a Verizon Wireless

PETITIONER'S ADDRESS: 118 Flanders Road, 3d Floor, Westborough, MA 01581

LOCATION OF PROPERTY: 1815 Massachusetts Avenue

TYPE OF OCCUPANCY: Institutional/Retail/Mobile Tel ZONING DISTRICT: BC, Mass Ave Overlay, Lesley Porter Overlay

REASON FOR PETITION:

- | | |
|---|---------------------------------|
| <u> </u> Additions | <u> </u> New Structure |
| <u> </u> Change in Use/Occupancy | <u> </u> Parking |
| <u> </u> Conversion to Addi'l Dwelling Unit's | <u> </u> Sign |
| <u> </u> Dormer | <u> </u> Subdivision |
| <u> X </u> Other <u>Mobile Communication Facility modification (Eligible Facilities request under Section 6409 of the Federal Spectrum Act)</u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

Addition of wireless communications facility to an existing building housing previously approved wireless communications facilities.

The proposal includes four sectors of three panel antennas each, located on the face of the tower portion of the building and rooftop equipment mounted to existing steel frames. Antennas will be painted to match the facade.

SECTIONS OF ZONING ORDINANCE CITED:

Article 4 Section 4.32(g)(1) and Footnote 49 (4.40.49)

Article 10 Section 10.40 through 10.46

Article 6409(a) Section Middle Class Tax Relief Act (Spectrum Act)

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s): 

(Petitioner(s)/Owner)
* Michael S. Giaimo, attorney for Cellco Partnership d/b/a/ Verizon Wireless
(Print Name)

Address: Verizon Wireless, Attn: Ellen Dalmus
118 Flanders Road, 3rd Floor
Westborough, MA

Tel. No.: (508) 330-3300

E-Mail Address: mgiaimo@rc.com

Date: 6/22/2017

* Robinson & Cole
One Boston Place, 25th Floor, Boston, MA
(617) 557-5959

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Lesley University
(OWNER)

Address: 29 Everett Street, Cambridge MA 02138

State that I/We own the property located at 1815 Massachusetts Avenue, which is the subject of this zoning application.

The record title of this property is in the name of Lesley University

*Pursuant to a deed of duly recorded in the date 4/5/1995, Middlesex South County Registry of Deeds at Book 25269, Page 543; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Maylow Batt
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

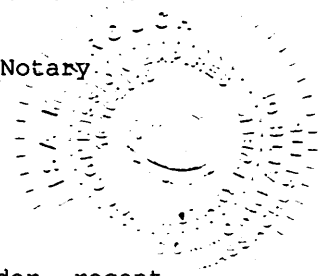
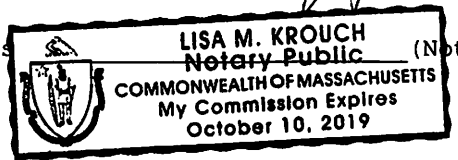
***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

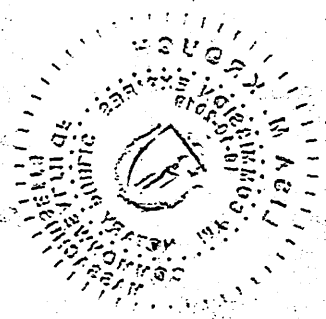
The above-name Maylow Batt personally appeared before me, this 27th of June, 2017, and made oath that the above statement is true.

Lisa M. Krouch Notary

My commission expires



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



LISA M. KROHN
Notary Public
COMMISSION EXPIRES OCTOBER 10, 2019



BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 1815 Massachusetts Avenue (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

As demonstrated by the documents and information provided with this application, and as will be further demonstrated at the hearing on this matter, the modification constitutes an Eligible Facilities Request which must be allowed and cannot be denied, pursuant to Section 6409 of the Federal Spectrum Act and regulations thereunder.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The upgraded facility will not change existing traffic demand or effect ingress or egress. The facility will generate only about one to two vehicle trips per month by a standard passenger vehicle during normal business hours for routine maintenance.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The facility will have no adverse effects on the operation or development of adjacent uses. The facility will emit no light, odor, dust or glare and generates no unusual noise or other adverse impacts.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The facility will generate no additional traffic or other negative impacts on surrounding properties or within the City of Cambridge. The facility requires no water or sewer service and emits no light, odor, dust, or glare and generates no unusual noise or other adverse impacts. The facility will be unoccupied, with no employees or customers. The availability of wireless communication enhances the health, safety, and welfare of the community.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The facility has been designed to minimize its visual impact and is in harmony with the general purpose of the Zoning Ordinance and in accordance with the requirements for an Eligible Facilities Request under Federal Law.

DIMENSIONAL INFORMATION

APPLICANT: Cellco Partnership
d/b/a Verizon Wireless PRESENT USE/OCCUPANCY: Institutional/Retail

LOCATION: 1815 Massachusetts Avenue ZONE: BC

PHONE: (617)557-5959 REQUESTED USE/OCCUPANCY: Mobile Communications

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
<u>LOT AREA:</u>	<u>N/A</u>	<u>No Change</u>	<u>None</u> (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>	<u>N/A</u>	<u>No Change</u>	<u>1.25/2.00</u> (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>SIZE OF LOT:</u>			
WIDTH	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
DEPTH			
<u>Setbacks in Feet:</u>			
FRONT	<u>29' +/-</u>	<u>No Change</u>	<u>None</u> (min.)
REAR	<u>401' +/-</u>	<u>No Change</u>	<u>20'</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>None</u> (min.)
RIGHT SIDE	<u>80' +/-</u>	<u>No Change</u>	<u>None</u> (min.)
<u>SIZE OF BLDG.:</u>			
HEIGHT	<u>78'0" (top of antenna)</u>	<u>No Change</u>	<u>55'</u> (max.)
LENGTH	<u>99' 10" (top of tower)</u>		
WIDTH			
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
<u>NO. OF DWELLING UNITS:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (max.)
<u>NO. OF PARKING SPACES:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min./max)
<u>NO. OF LOADING AREAS:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Not applicable

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 1815 Massachusetts Avenue DATE: 6/22/2017

PETITIONER OR REPRESENTATIVE: Michael S. Giaimo attorney for Cellco Partnership d/b/a Verizon Wireless

ADDRESS & PHONE: One Boston Place, 25th Floor, Boston, MA 02108 (617) 557-5959

BLOCK: 152 LOT: 51E

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION.
ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>X</u>	<u>X</u>
3 Forms with Original Signatures		
Supporting Statements - 2 Copies	<u>X</u>	<u>X</u>
Application Fee (\$) (SEE ATTACHED FEE SCHEDULE)	<u>X</u>	<u>X</u>
Assessor's Plat (Available at Engineering Dept. - 147 Hampshire Street)	<u>X</u>	<u>X</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - 2 Copies (Subject to further review by Zoning Specialist)	<u>X</u>	<u>X</u>
Ownership Certificate, Notarized - 2 Copies	<u>X</u>	<u>X</u>
Floor Plans - 2 Sets	<u>N/A</u>	
Elevations - 2 Sets *	<u>X</u>	<u>X</u>
Certified Plot Plan - 2 Copies (By Registered Land Surveyor)	<u>X</u>	<u>X</u>
Photographs of Property - 2 Copies	<u>X</u>	<u>X</u>
Parking Plan (if relevant to your application) 2 Copies	<u>N/A</u>	

FOR SUBDIVISION ALSO INCLUDE:**

Proposed Deeds	<u> </u>	<u> </u>
Evidence of Separate Utilities ***	<u> </u>	<u> </u>
Proposed Subdivision Plan	<u> </u>	<u> </u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.
It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.
** See attachment G.
*** Can be submitted after subdivision has been approved.

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|--|---------------------------------|
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| <u> </u> Conversion to Addi'l Dwelling Unit's | <u> </u> Sign |
| <u> </u> Dormer | <u> </u> Subdivision |
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DESCRIPTION OF PETITIONER'S PROPOSAL:

Addition of wireless communications facility to an existing building housing previously approved wireless communications facilities.

The proposal includes four sectors of three panel antennas each, located on the face of the tower portion of the building and rooftop equipment mounted to existing steel frames. Antennas will be painted to match the facade.

SECTIONS OF ZONING ORDINANCE CITED:

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Article 10 Section 10.40 through 10.46

Article 6409(a) Section Middle Class Tax Relief Act (Spectrum Act)

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Original Signature(s): 
(Petitioner(s)/Owner)

* Michael S. Giaimo, attorney for Cellco Partnership d/b/a/ Verizon Wireless
(Print Name)

Address: Verizon Wireless, Attn: Ellen Dalmus
118 Flanders Road, 3rd Floor
Westborough, MA

Tel. No.: (508) 330-3300

E-Mail Address: mgiaimo@rc.com

Date: 6/22/2017

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BZA APPLICATION FORM

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**CITY OF CAMBRIDGE, MASSACHUSETTS
BOARD OF ZONING APPEAL**

**STATEMENT IN SUPPORT OF
ELIGIBLE FACILITIES REQUEST UNDER SECTION 6409
and SPECIAL PERMIT, IN THE ALTERNATIVE**

Applicant: Cellco Partnership d/b/a Verizon Wireless
Property: 1815 Massachusetts Avenue
Zoning: BC- Business C
Massachusetts Avenue Overlay District
Lesley Porter Zoning Overlay District
Proposed Use: Mobile Communications Facility (Collocation on Existing Facility)

BACKGROUND

The Applicant, Cellco Partnership, d/b/a Verizon Wireless (“Applicant” or “Verizon Wireless”), is licensed by the Federal Communications Commission (“FCC”) to provide personal wireless services within the market area that includes the City of Cambridge. Pursuant to Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, Verizon Wireless proposes to collocate its antennas and supporting equipment on and within an existing building at 1815 Massachusetts Avenue (the “Subject Property”). The Cambridge Board of Zoning Appeal (“Board”) has previously authorized the use of the Subject Property as a base station for equipment associated with wireless communications services operated by other wireless service providers. Accordingly, Verizon Wireless is submitting this application as an “eligible facilities request.” As documented below, and in the additional materials submitted by the Applicant, this request satisfies the applicable standards under Federal law for an eligible facilities request, and therefore Verizon Wireless is entitled to approval on that basis.

The existing facility and the proposed Verizon Wireless mobile communications facility are personal wireless services facilities within the meaning of the Federal Telecommunications Act (“TCA”), 47 U.S.C. § 332(c)(7)(C)(ii). The proposed Verizon Wireless installation is also a mobile communications facility within the meaning of the Cambridge Zoning Ordinance (“Ordinance”). This application is submitted with full reservation of the Applicant’s rights under federal, state, and local law.

DESCRIPTION OF PROJECT

The Subject Property is improved with a building currently owned by Lesley University. The ground floor is occupied by retail space and the upper floors are used by the University. The building includes a central tower feature that rises above the roof to a height of 99’ 10”. As shown on the plans and photographs submitted with this application (Exhibits A and B) Verizon Wireless proposes to install four sectors of three antennas (a total of 12 antennas) on the façade of the tower portion of the building at a centerline height of 74’-10”. The antennas will be

mounted using low profile mounts and painted to match the building façade. Remote radioheads and surge protectors will be mounted behind the facade. Verizon Wireless also proposes to install equipment, including a natural gas fueled emergency generator, and a small GPS antenna on an existing steel frame on the roof of the building, and to use an existing cable tray for its equipment.

The Board has authorized the installation and modification of wireless communications equipment on the Subject Property several times in the past. Special Permit #8358, dated September 20, 2001 allowed Sprint to install 12 antennas and accessory rooftop equipment. Special Permit #9885, dated April 9, 2010 authorized the addition of antennas and equipment for Clear Wireless. Special Permit #10072, dated April 15, 2011, allowed New Cingular Wireless to add and relocate antennas and equipment. Special Permit #10252, dated June 21, 2012 authorized Sprint Spectrum to modify its installation and, Special Permit #5263-2014, dated December 22, 2014, allowed Sprint to further modify its installation.

Verizon Wireless now proposes to add four sectors (one per each façade) of three panel antennas each to the tower feature. Rooftop equipment including a natural gas generator and a GPS antenna will be added to the rooftop on an existing steel frame and will be largely invisible from ground level.

SECTION 6409(a) OF THE MIDDLE CLASS TAX RELIEF AND JOB CREATION ACT OF 2012 (“SPECTRUM ACT”)

Under the Spectrum Act and the implementing regulations adopted by the Federal Communications Commission on January 8, 2015 (the “FCC Regulations”),¹ the proposed modification to the Existing Facility constitutes an eligible facilities request that can and should be authorized by your office and should not require any zoning approvals from any City of Cambridge board or commission. The reasons for this are as explained below.

The Spectrum Act states, in pertinent part: “[n]otwithstanding section 704 of the Telecommunications Act of 1996² or any other provision of law, a state or local government may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.”³ The rules for implementing this requirement of the Spectrum Act (i.e., the FCC Regulations) went into effect on April 8, 2015.

Pursuant to the FCC Regulations, an “eligible facilities request” means “any request for modification of an existing wireless tower or *base station* that does not *substantially change* the physical dimensions of such tower or base station, involving ... collocation of new *transmission equipment* ... or replacement of transmission equipment.”⁴ The FCC Regulations define “base station” to mean:

¹ See 47 C.F.R. 1.40001 (Wireless Facility Modifications).

² The Telecommunications Act of 1996 is codified as 47 U.S.C. § 332(c)(7).

³ 47 U.S.C. 1455(a)(1) (emphasis added).

⁴ 47 C.F.R. § 1.40001(b)(3) (emphasis added).

(i) A structure or equipment at a fixed location that enables Commission-licensed or authorized wireless communications between user equipment and a communications network.

...

(iii) The term includes any structure other than a tower that, at the time the relevant application is filed with the State or local government under this section, supports or houses [equipment associated with wireless communications services] that has been reviewed and approved under the applicable zoning or siting process, or under another State or local regulatory review process, even if the structure was not built for the sole or primary purpose of providing such support.⁵

“Transmission equipment” is defined to include not only antennas but also all “equipment that facilitates transmission” for a FCC-licensed or authorized wireless communication service, including but not limited to “radio transceivers, antennas, coaxial or fiber-optic cable, and regular and backup power supply.”⁶

The proposed Verizon Wireless collocation on the Subject Property is an “eligible facilities request” under the Spectrum Act because:

- (1) the Subject Property constitutes a “base station” and an “eligible support structure” in that it currently exists and “supports or houses” wireless communications equipment that has been reviewed and approved under the City’s zoning ordinance – namely, the existing antennas and equipment installed pursuant to prior approvals of the Board including Special Permit #8358, #9885, #10072, #10252, and #5263-2014.
- (2) the proposed addition by Verizon Wireless of antennas, RRHs and other transmission equipment on the Subject Property for the purpose of transmitting and receiving radio frequency signals for communication purposes constitutes a “collocation of new transmission equipment.”
- (3) the proposed modification does not “substantially change the physical dimensions” of the base station. The proposed modification does not constitute a “substantial change” as defined under the FCC Regulations because it:
 - (i) does not involve the installation of more than the standard number of equipment cabinets (*Verizon Wireless proposes to install 2 equipment cabinets*);
 - (ii) does not entail excavation or deployment outside of the current site (*all changes are taking place on the building itself*);
 - (iii) does not defeat the concealment elements of the Existing Facility (*The prior decisions allowing wireless facilities at the Subject Property have required that antennas be painted to match the building, which Verizon Wireless intends to do. They have also required that mounts not exceed the length of the antenna, which would also be the case for the proposed Verizon Wireless installation. The rooftop equipment will be located where equipment of a prior wireless carrier was formerly*

⁵ 47 C.F.R. § 1.40001(b)(1).

⁶ 47 C.F.R. § 1.40001(b)(8).

located and will largely be screened from view by the fence enclosing the rooftop walking track.);

(iv) does not increase the height of the building by more than 10% or ten feet (*there will be no increase in height*);

(v) does not add any appurtenances that would protrude from the edge of the building by more than six feet (*new antennas and mounts will protrude no more than approximately two feet from the building façade*); and

(vi) complies with the conditions imposed by the BZA Decision (*the conditions imposed in the BZA Decision that would be relevant to this upgrade request are satisfied, in that the antennas will be painted to match the building and low profile mounts will be used that will not exceed the length of the antennas. See Photosimulation study attached as Exhibit B.*⁷

Pursuant to Section 1.40001(c)(1) of the FCC Regulations, an applicant asserting that a request for modification is covered by the Spectrum Act may be required to submit “documentation or information only to the extent reasonably related to determining whether the request meets the requirements of [the Spectrum Act].” Section 1.40001(c)(1) further states that a state or local government “may not require an applicant to submit any other documentation, including but not limited to documentation intended to illustrate the need for such wireless facilities or to justify the business decision to modify such wireless facilities.”⁸

An Eligible Facilities Request should not require a special permit.

There is no legal basis for the Commissioner to require Verizon Wireless to submit an application to modify the existing special permits in the BZA Decision in order to obtain approval of this Eligible Facility Request. First, the federal statute itself states that a municipality “may not deny and shall approve” a qualifying Eligible Facilities Request. 47 U.S.C. 1455(a)(1). Requiring that the party presenting an Eligible Facilities Request submit to a zoning special permit process is inconsistent with the federal statute because the special permit process is one that allows a municipal board to exercise discretion in determining whether to grant relief.⁹ In contrast, the federal statute is clear that a municipality reviewing an eligible facilities request shall approve the request if it meets the standards of the statute. There is no provision for the exercise of discretion. It is well established under Massachusetts law that “a use allowed as of right cannot be made subject to the grant of a special permit inasmuch as the concepts of a use as of right and a use dependent on discretion are mutually exclusive.”¹⁰ Moreover, as noted in the Verizon Wireless EFR, the Massachusetts Attorney General, in reviewing municipal bylaw amendments addressing wireless communications facilities, has interpreted Section 6409(a) as it relates to municipal zoning provisions and has ruled, repeatedly, that eligible facilities requests shall not be subject to a the special permit process.¹¹

⁷ See 47 C.F.R. § 1.40001(b)(7)(i)-(vi) (definition of “substantial change”).

⁸ 47 C.F.R. § 1.40001(c)(1) (emphasis added).

⁹ See *MacGibbon v. Board of Appeals*, 356 Mass.635, 638 (1970)(Special permit granting authority “is not compelled to grant the permit. It has discretionary power in acting thereon.”)

¹⁰ *Prudential Ins. Co. v. Board of Appeals*, 23 Mass. App. Ct. 278, 281 (1986), citing *SCIT, Inc. v. Planning Bd. of Braintree*, 19 Mass. App. Ct. 101 (1984).

¹¹ See e.g. letter dated November 28, 2016 to Town of Clarksburg Town Clerk, at pp 2-3, available at <http://www.mlu.go.state.ma.us/Default.aspx?sectionYear=1&year=2016> .

Furthermore, as a matter of state and local law, the Board lacks authority under the Cambridge Zoning Ordinance to review Eligible Facilities Requests through a special permit process. Even if federal and state law did permit local governments to require that Eligible Facilities Requests be reviewed as a special permit, Cambridge has not done so. Section 10.13 of the Zoning Ordinance specifies the powers and duties of the Board as they relate to special permits, those powers are specifically “[t]o hear and decide applications for special permits upon which the Board is empowered to act under Section 10.30 of this Article.”¹² (emphasis added). Section 10.41 provides that special permits “may be granted [by] the Board of Zoning Appeal . . . as specified elsewhere in this Ordinance.” No provision of the Ordinance authorizes the Board to review modifications of existing wireless facilities that qualify as “Eligible Facilities Requests” under Federal Law, let alone to do so through the special permit process. Moreover, the procedural and substantive standards set forth in the balance of Section 10.40 through 10.46 and in G.L. c. 40A are wholly inconsistent with the intent and substance of Section 6409(a) and its implementing regulations.

SATISFACTION OF SPECIAL PERMIT STANDARDS

The Applicant is confident that all of the standards for the approval of this petition as an Eligible Facilities Request under Section 6409(a) have been met. Nonetheless, this petition also satisfies the requirements of the Cambridge Zoning Ordinance for the grant of a special permit pursuant to Sections 4.32.(g).1, 4.40 (Footnote 49) and 10.40 through 10.46 of the Cambridge Zoning Ordinance, and if the Board determines that the proposed installation does not qualify as an Eligible Facilities Request, the Board should approve the proposed facility and grant a special permit under these provisions.

In reviewing a special permit application for a mobile communications facility, the BZA considers the standards set forth at Footnote 49 to the Table of Use Regulations (Zoning Ordinance section 4.40.49). The following analysis demonstrates that the proposed modification of the existing wireless installation meets these standards.¹³

1. *The scope of or limitations imposed by any license secured from any state or federal agency having jurisdiction over such matters.*

As documented at Exhibit D, Verizon Wireless is licensed by the Federal Communications Commission (“FCC”) to provide personal wireless services within the market area that includes the City of Cambridge. There are no limitations imposed on Verizon Wireless’ licenses that would prevent it from installing and operating a mobile communications facility on the Subject Property as proposed in this application.

¹² Zoning Ordinance Section 10.13(b). Section 10.30 of the Ordinance pertains only to Variances – presumably the intended reference is to Section 10.40, captioned “Special Permits.”

¹³ In providing information addressing the standards set forth in the Ordinance that concern the proposed wireless communications use, Verizon Wireless does not concede, and expressly reserves all of its rights with respect to, any attempt by the City to exercise jurisdiction over matters concerning Verizon Wireless’s license or the technical performance of the proposed site or its network.

2. *The extent to which the visual impact of the various elements of the proposed facility is minimized: (1) through the use of existing mechanical elements on a building's roof or other features of the building as support and background; (2) through the use of materials that in texture and color blend with the materials to which the facilities are attached; or (3) other effective means to reduce the visual impact of the facility from off the site.*

As depicted on the Plans, the proposed Verizon Wireless installation satisfies these standards. The proposal includes the addition of twelve panel antennas mounted below existing antenna arrays of other carriers on the tower portion of the building, and painted to match, thereby minimizing visual impact. The proposal also includes the installation of rooftop equipment on an existing steel frame that will be largely screened from view at ground level.

3. *Where it is proposed to erect such a facility in any residential zoning district, the extent to which there is a demonstrated public need for the facility at the proposed locations, the existence of alternative, functionally suitable sites in nonresidential locations, the character of the prevailing uses in the area, and the prevalence of other, existing mechanical systems and equipment carried on or above the roof of nearby structures. The Board of Zoning Appeal shall grant a special permit to erect such a facility in a residential zoning district only upon a finding that nonresidential uses predominate in the vicinity of the proposed facility's location and that the telecommunication facility is not inconsistent with the character that does prevail in the surrounding neighborhood.*

Not applicable. The Subject Property is not located in a residential zoning district.

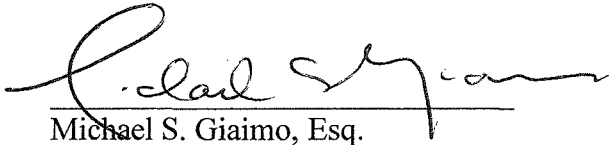
The proposed modification of the existing wireless communications installation also satisfies the criteria of Section 10.43 of the Ordinance relating to the granting of special permits. The project conforms to the standards of Section 4.40.49 as discussed above. It will not have any traffic impacts and will not affect the operation or development of adjacent uses. It will not be detrimental to the health, safety or welfare of the City, and indeed the availability of reliable wireless communications enhances health, safety and welfare. The proposed modification of the existing installation will also not impair the integrity of the district or adjoining districts, or derogate from the intent and purpose of the Ordinance. The availability of reliable wireless communications service for both voice and data communications benefits businesses and residents which increasingly rely on these services for a wide variety of purposes. Reliable wireless service also enhances community safety, because it is used by public safety officials as well as the public in times of crisis, natural disaster, inclement weather, and similar circumstances.

Because the proposed Verizon Wireless installation satisfies the criteria for granting a special permit, the applicant respectfully requests that if the Board determines that this collocation proposal does not qualify as an Eligible Facilities Request under federal law, it grant a special permit to allow the proposed Verizon Wireless facility.

CONCLUSION

For all of the foregoing reasons, Verizon Wireless respectfully requests that the Board determine that the proposed Verizon Wireless collocation on the Subject Property, as described in the Plans and other submittals, constitutes an Eligible Facility entitled to the Board's approval. In the alternative, Verizon Wireless requests that the Board grant a special permit and any other relief that may be appropriate or necessary, to authorize the proposed wireless communications facility.

Respectfully submitted,
Cellco Partnership d/b/a Verizon Wireless
By its attorney,



Michael S. Giaimo, Esq.
Robinson & Cole LLP
One Boston Place, 25th Floor
Boston, MA 02108
(617) 557-5959

Dated: June 26, 2017

verizon[✓]

WIRELESS

CAMBRIDGE 5 MA (LESLEY UNIVERSITY) 1815 MASSACHUSETTS AVENUE CAMBRIDGE, MA 02140

verizon[✓]
WIRELESS

VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

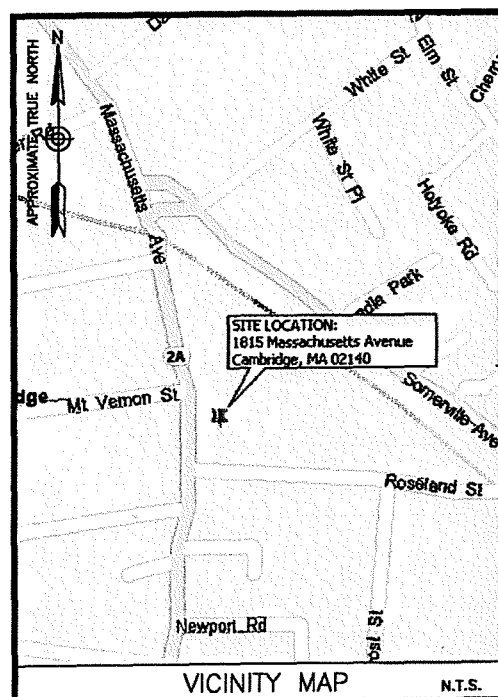
**CAMBRIDGE 5 MA
(LESLEY UNIVERSITY)**

CONSTRUCTION DRAWINGS

NO.	DATE	DESCRIPTION
1	04/14/17	FOR SUBMITTAL
0	05/24/16	FOR SUBMITTAL
A	04/12/16	FOR REVIEW

Dewberry

Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.895.3400
FAX: 617.895.3310



ENGINEER
DEWBERRY ENGINEERS INC.
280 SUMMER ST.
10TH FLOOR
BOSTON, MA 02210
PHONE # (617) 531-0819
FAX # (617) 685-3310
CONTACT: BENJAMIN REVETTE P.E.

CONSTRUCTION
VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956
PHONE # (617) 921-9716
CONTACT: ERIC WAINWRIGHT

CONSULTANT TEAM

SITE NAME:
CAMBRIDGE 5 MA
(LESLEY UNIVERSITY)

PROPERTY OWNER:
LESLEY REALTY CORP.
29 EVERETT ST.
CAMBRIDGE, MA 02138

APPLICANT:
BELL ATLANTIC MOBILE OF MASSACHUSETTS
CORPORATION LTD D/B/A
VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

ELECTRIC UTILITY:
NSTAR (800) 592-2000

TELEPHONE UTILITY:
VERIZON (800) 941-9980

PARCEL ID:
MAP 152 LOT 51

COORDINATES*:
LATITUDE: 42° 23' 13.67" N.
LONGITUDE: 71° 07' 7.80" W.
*PER FAA-2C

PROJECT SUMMARY

SITE ADDRESS:
1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

ZONING DISTRICT:
BC - BUSINESS C

PROJECT DIRECTORY

THE SITE CONSIST OF INSTALLING NEW EQUIPMENT CABINETS ON AN EXISTING STEEL FRAME. TWELVE (12) ANTENNAS (3/SECTOR) ARE TO BE INSTALLED ON THE AN EXISTING BUILDING TOWER FACADE. ASSOCIATED RRH AND SURGE PROTECTION ARE TO BE INSTALLED INSIDE EXISTING BUILDING TOWER. POWER AND TELCO TO COME FROM EXISTING SOURCES ON SITE.

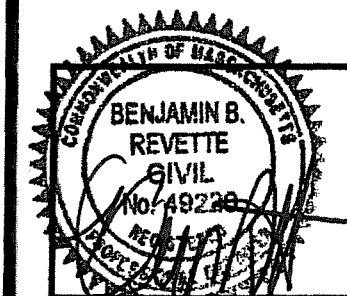
PROJECT DESCRIPTION

THIS DOCUMENT WAS DEVELOPED TO REFLECT A SPECIFIC SITE AND ITS SITE CONDITIONS AND IS NOT TO BE USED FOR ANOTHER SITE OR WHEN OTHER CONDITIONS PERTAIN. REUSE OF THIS DOCUMENT IS AT THE SOLE RISK OF THE USER.

A.D.A. COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

SHT. NO.	DESCRIPTION
T-1	TITLE SHEET
G-1	GENERAL NOTES
Z-1	ABUTTERS & PLOT PLANS
A-1	ROOF PLAN
A-2	WEST ELEVATION
A-3	NORTH & SOUTH ELEVATIONS
A-4	CONSTRUCTION DETAILS-I
A-5	CONSTRUCTION DETAILS-II
A-6	CABINET & GENERATOR DETAILS
S-1	FRAMING PLAN & STRUCTURAL DETAILS
E-1	RISER DIAGRAMS
E-2	GROUNDING DIAGRAM & DETAILS
P-1	NATURAL GAS DETAILS
P-2	NATURAL GAS PIPING NOTES & DETAILS

SHEET INDEX



DRAWN BY: MR

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50068466

SITE ADDRESS:

1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

DIRECTIONS FROM WESTBOROUGH, MA:

TAKE TO I-90 E. TAKE EXIT 14 TOWARD S SHORE/N.H.-MAIN/1-85/MA-128. TAKE EXIT 28A TO MERGE ONTO MA-2 E TOWARD ARLINGTON/CAMBRIDGE. SLIGHT RIGHT ONTO ALEWIFE BROOK PKWY. TURN RIGHT ONTO BAY STATE RD. CONTINUE ONTO FIELD ST. FIELD ST. TURN LEFT AND BECOMES GARDEN ST. TURN LEFT ONTO LINNAEAN ST. TURN LEFT ONTO MASSACHUSETTS AVE. THE SITE WILL BE ON THE RIGHT.

GENERAL CONSTRUCTION NOTES :

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND COMPLY WITH VERIZON WIRELESS SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT "DIG SAFE" (888-344-7233) FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE VERIZON WIRELESS CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY ENGINEER, VERIZON WIRELESS PROJECT CONSTRUCTION MANAGER, AND LANDLORD IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH VERIZON WIRELESS WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- ANTENNAS AND CABLES ARE TYPICALLY PROVIDED BY VERIZON WIRELESS. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH VERIZON WIRELESS PROJECT MANAGER TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED BY VERIZON WIRELESS. ALL ITEMS NOT PROVIDED BY VERIZON WIRELESS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED BY VERIZON WIRELESS.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH VERIZON WIRELESS PROJECT MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY VERIZON WIRELESS. ALL REQUIRED PERMITS NOT OBTAINED BY VERIZON WIRELESS MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL HAVE A LICENSED HVAC CONTRACTOR START THE HVAC UNITS, SYNCHRONIZE THE THERMOSTATS, ADJUST ALL SETTINGS ON EACH UNIT ACCORDING TO VERIZON WIRELESS CONSTRUCTION MANAGER'S SPECIFICATIONS, AND THOROUGHLY TEST AND BALANCE EACH UNIT TO ENSURE PROPER OPERATION PRIOR TO TURNING THE SITE OVER TO OWNER.
- CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH VERIZON WIRELESS SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED VERIZON WIRELESS SHALL PROVIDE ALL REQUIRED RF MATERIAL FOR CONTRACTOR TO INSTALL INCLUDING ANTENNAS, TMA'S, BIAS-T'S, COMBINERS, PDU, DC BLOCKS, SURGE ARRESTORS, GPS ANTENNA, GPS SURGE ARRESTOR, COAXIAL CABLE.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE PROVIDED BY VERIZON WIRELESS FOR INSTALLATION BY CONTRACTOR.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO VERIZON WIRELESS SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO CONSTRUCTION START, MORE SPECIFICALLY BEFORE SEALING ANY FLOOR, WALL OR ROOF PENETRATION, FINAL UTILITY CONNECTIONS, POURING CONCRETE, BACKFILLING UTILITY TRENCHES AND STRUCTURAL POST OR MOUNTING CONNECTIONS, FOR ENGINEERING REVIEW AND INSPECTION.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED D FIRE CODE APPROVED MATERIALS.
- REPAIR ANY DAMAGE DURING CONSTRUCTION TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE CONSTRUCTION MANAGER AND LANDLORD.
- ALL DISRUPTIVE WORK AND WORK WITHIN TENANT SPACES TO BE COORDINATED WITH BUILDING REPRESENTATIVE.

CODE SPECIFICATIONS:

- ALL GENERAL WORK TO BE DONE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, 8TH EDITION (780 CMR).
- ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE 2014 (NEC 2014).
- ALL STRUCTURAL WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL, 13TH EDITION (AISC 13TH ED.)
- ALL CONCRETE WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI 301) SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 318) AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL REINFORCING STEEL WORK TO BE DONE IN ACCORDANCE WITH THE (ACI 315) MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.

GENERAL ELECTRICAL NOTES :

- SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
- CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATION TESTS, AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- HEIGHTS SHALL BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.
- THESE PLANS ARE DIAGRAMMATIC ONLY, FOLLOW AS CLOSELY AS POSSIBLE.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, J-BOX, SWITCH BOX, ETC., IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT (O.S.H.A.)
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORY AND SHALL BEAR THE INSPECTION LABEL "J" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA AND NBFU.
- ALL CONDUIT INSTALLED MAY BE SURFACE MOUNTED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND O.S.H.A.
- CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND PAY ALL REQUIRED FEES.
- COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONDUIT ONLY (C.O.) SHALL HAVE A PULL WIRE OR ROPE.
- PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
- ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.
- USE T-TAP CONNECTIONS ON ALL MULTI-CIRCUITS WITH COMMON NEUTRAL CONDUCTOR FOR LIGHTING FIXTURE.
- ALL CONDUCTORS SHALL BE COPPER.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
- PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, M PIPE RUNS, ETC., IT MUST BE CLEARLY UNDERSTOOD THAT TENDONS AND/OR REINFORCING STEEL WILL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES.
- LOCATION OF TENDONS AND/OR REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND, THEREFORE, MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT VIA X-RAY OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING AND/OR STEEL TENDONS.
- PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH SECTION NO. 4305 AND NO. 4304 OF THE U.B.C.
- WIRE AND CABLE CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM UNLESS SPECIFICALLY STATED OTHERWISE ON DRAWINGS.
- VERIFY ALL CONDUIT ROUTING W/OWNER REP. & VERIZON C.M.
- ALL MATERIALS SHALL BE U.L. LISTED.
- CONDUIT:
 - RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
 - ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL. FITTINGS SHALL BE GLAND RING COMPRESSION TYPE. EMT SHALL BE USED ONLY FOR INTERIOR RUNS.
 - FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE. SEAL TIGHT FLEXIBLE CONDUIT. ALL CONDUIT IN EXCESS OF SIX FEET IN LENGTH SHALL HAVE FULL SIZE GROUND WIRE.
 - CONDUIT RUNS MAY BE SURFACE MOUNTED IN CEILINGS OR WALLS UNLESS INDICATED OTHERWISE. CONDUIT INDICATED SHALL RUN PARALLEL OR AT RIGHT ANGLES TO CEILING, FLOOR OR BEAMS. VERIFY EXACT ROUTING OF ALL EXPOSED CONDUIT WITH ARCHITECT PRIOR TO INSTALLING.
- ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.
- COORDINATE THE ELECTRICAL SERVICE WITH BUILDING OWNER.
- GROUNDING SYSTEM RESISTANCE SHALL NOT EXCEED 5 OHMS. IF THE RESISTANCE VALUE IS EXCEEDED, NOTIFY THE OWNER FOR FURTHER INSTRUCTION ON METHODS FOR REDUCING THE RESISTANCE VALUE. SUBMIT TEST REPORTS AND FURNISH TO DISPATCH COMMUNICATIONS ONE COMPLETE SET OF PRINTS SHOWING "INSTALLED WORK".
- UPON COMPLETION OF WORK, CONDUCT CONTINUITY, AND FALL POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
- ALL WALL PENETRATIONS SHALL BE FIRE STOPPED WITH FS-ONE HIGH PERFORMANCE INTUMESCENT FIRE STOP BY HILTI OR APPROVED EQUAL. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

GROUNDING NOTES:

- GROUNDING SHALL COMPLY WITH NEC ART. 250.
- GROUNDING CONDUCTORS SHALL BE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR INDOOR USE.
- ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONNECTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NOT BE BENT AT RIGHT ANGLE. ALWAYS MAKE 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY.
- CONNECTIONS TO GROUNDING BAR SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- TEST COMPLETED GROUNDING SYSTEM AND RECORD RESISTANCE VALUES FOR PROJECT CLOSE-OUT DOCUMENTATION. GROUND RESISTANCE SHALL NOT EXCEED 5 OHMS.
- GROUNDING CONDUCTORS BETWEEN MGB AND WATERMAIN SHALL BE #2/0. BONDING JUMPERS FROM METALLIC SURFACES SHALL BE #2 MINIMUM. ALL GROUND CONDUCTORS AND BONDING JUMPERS SHALL BE SOFT DRAWN ANNEALED, TINNED, BARE STRANDED COPPER WIRE. COAXIAL CABLES SHALL BE GROUNDED AT A MINIMUM OF TWO LOCATIONS USING VERIZON PROVIDED GROUNDING KITS. EXACT LOCATIONS SHALL BE FINALIZED IN THE FIELD BY THE CONSTRUCTION MANAGER.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- STRUCTURAL STEEL ROLLED SHAPES, PLATES, AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:

ASTM A-992, GRADE 50	ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE.
ASTM A-36	ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE.
ASTM A-500, GRADE B	HSS SECTION (SQUARE, RECTANGULAR, ROUND)
ASTM A-325, TYPE SC OR N	ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS.
F1554, GRADE 36	ALL ANCHORS BOLTS, UNLESS NOTED OTHERWISE.
ASTM A-53, GRADE B	STEEL PIPE
- ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1 WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 14TH EDITION, WHERE WELD LENGTH IS NOT INDICATED, USE FULL LENGTH WELD. AT THE COMPLETION OF ALL WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED.
- BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA) SUPPLIED WITH A NUT AND WASHER UNDER TURNED END AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
- DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
- USE PRECAUTIONS & PROCEDURES PER AWS D1.1 WHEN WELDING GALVANIZED METALS.
- ALL EXISTING BEAM AND COLUMN DIMENSIONS SHALL BE FIELD VERIFY BY CONTRACTOR PRIOR TO FABRICATION. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN SHALL BE REPORTED TO DEWBERRY ENGINEER IMMEDIATELY.
- CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER.
- ALL EXTERIOR STEEL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH SPECIFICATION ASTM A123/A123M-00 HOT-DIP GALVANIZED FINISH UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARKS, AND WELDS IN THE GALVANIZED AREAS SHALL BE REPAIRED. REPAIR DAMAGED GALVANIZED COATINGS ON GALVANIZED ITEMS WITH GALVANIZED REPAIR PAINT ACCORDING TO ASTM A780 AND MANUFACTURER'S WRITTEN INSTRUCTIONS, PRIOR TO COMPLETION OF WORK. TOUCHUP ALL DAMAGED GALVANIZED STEEL WITH APPROVED COLD ZINC, "GALVANOX", "DRY GALV", "ZINC-IT", OR APPROVED EQUIVALENT, IN ACCORDANCE WITH MANUFACTURERS GUIDELINES. TOUCHUP DAMAGED NON GALVANIZED STEEL WITH SAME PAINT APPLIED IN SHOP OR FIELD.

CONSTRUCTION NOTES:

- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED D FIRE CODE APPROVED MATERIALS.
- REPAIR ANY DAMAGE DURING CONSTRUCTION TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE CONSTRUCTION MANAGER AND LANDLORD.
- THE DOOR SHALL BE A STEELCRAFT STEEL UNIT, L-SERIES TYPE, OR APPROVED EQUAL, (1) 3'x7'. THE UNIT SHALL BE INSULATED AND WEATHER-STRIPPED, WITH ALUMINUM THRESHOLD, STANLEY 4 1/2" X 4 1/2" BALL BEARING HINGES (PART# FBB170), AND A "BEST" DEAD BOLT CYLINDRICAL LOCK OR AS SPECIFIED BY VERIZON WIRELESS REPRESENTATIVE. THE DOOR SHALL BE SET IN A 16 GAUGE STEEL FRAME. BOTH DOOR & FRAME SHALL BE FACTORY PAINTED AND SHALL HAVE A FIRE RATING OF 2 HOURS, MINIMUM. WWW.STEELCRAFT.COM
- FINISH ALL DRYWALL SCREWS OR NAILS, AND JOINTS, UNLESS OTHERWISE NOTED. INTERIOR WALL FINISH SHALL BE 1/8" FRP CLASS A PANELS. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR SHALL INSTALL NEW RESILIENT FLOOR TILE WITHIN LIMITS OF PROPOSED VERIZON WIRELESS EQUIPMENT ROOM AS FOLLOWS: PREPARATION - CONTRACTOR SHALL INSTALL NEW RESILIENT FLOOR TILE WHICH SHALL BE ASTM F1066 12"x12"x1/8" THICK, ARMSTRONG IMPERIAL TEXTURE TILE #51836, COLOR-SHELTER WHITE. BASE - PROVIDE FS SS-W-40, TYPE II, 4" H. ROPPE VINYL COVE BASE, COLOR BLACK.
- TURN OVER ALL SALVAGEABLE BUILDING MATERIAL TO BUILDING MANAGER.
- ALL GYPSUM WALL BOARD SHALL BE TYPE GOLD BOND FIRE-SHIELD TYPE X HI-IMPACT WALLBOARD - FIRE RESISTANCE RATING - ANSI/UL263, TO ACHIEVE 2 HOUR FIRE RESISTANCE USE DESIGN NO. U495 FOR MATERIALS AND SCREW SPACINGS.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- SHIM NEW SILLS, AS NECESSARY, TO LEVEL AND PLUMB WALL.
- ALL DISRUPTIVE WORK AND WORK WITHIN TENANT SPACES TO BE COORDINATED WITH BUILDING REPRESENTATIVE.
- ALL ROOF PENETRATIONS SHALL BE RESTORED TO MAINTAIN ALL ROOF WARRANTIES AND ENSURE A PERMANENT WATERPROOF SEAL.



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

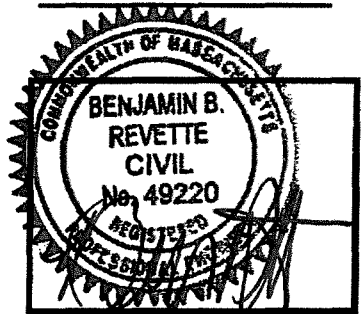
**CAMBRIDGE 5 MA
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CONSTRUCTION DRAWINGS

1	04/14/17	FOR SUBMITTAL
0	05/24/16	FOR SUBMITTAL
A	04/12/16	FOR REVIEW



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REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50069466

SITE ADDRESS:

1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

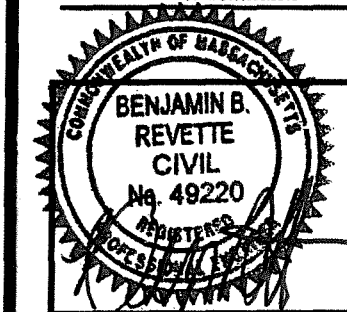
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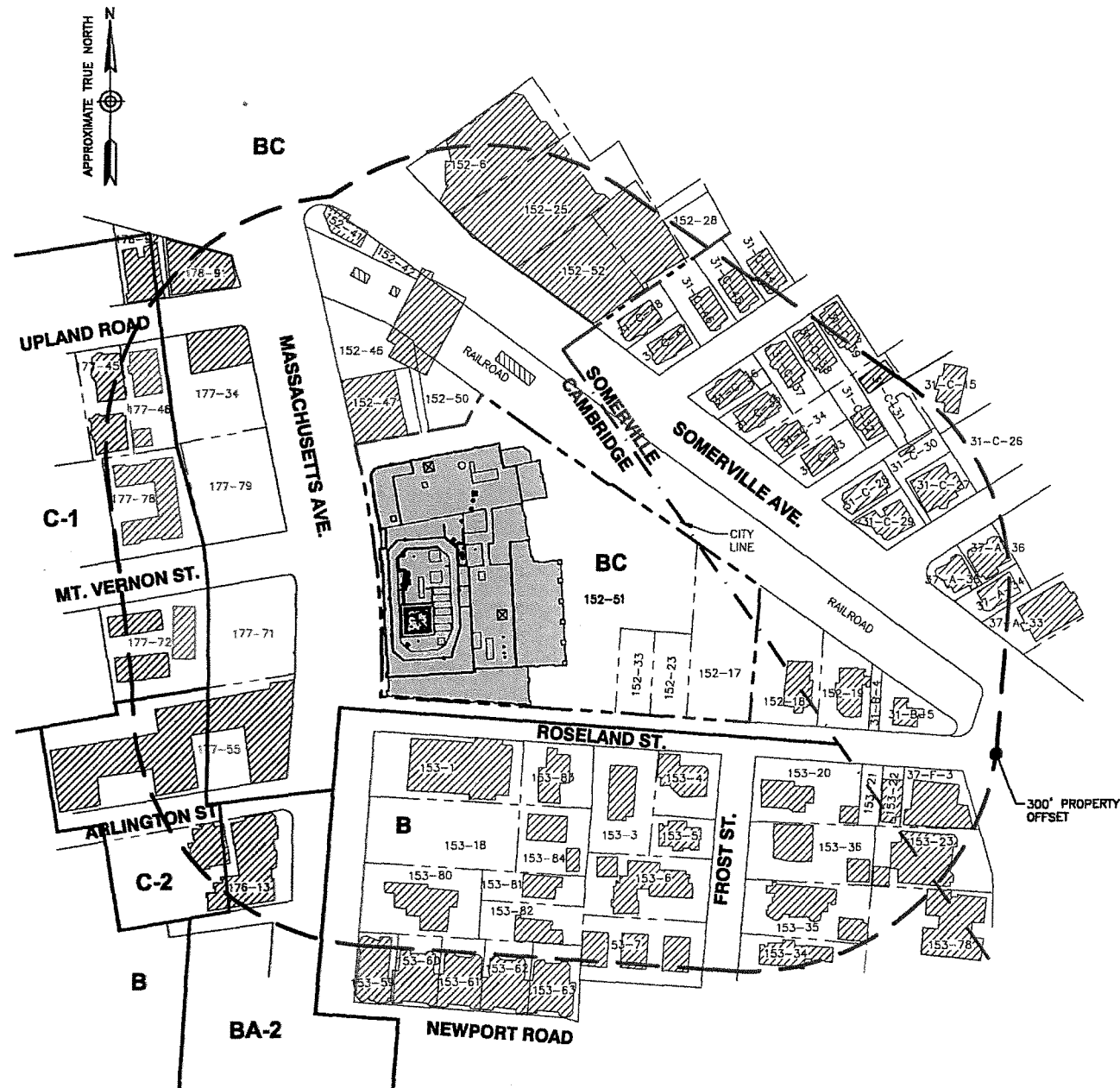
SITE ADDRESS:

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CAMBRIDGE, MA 02140

SHEET TITLE

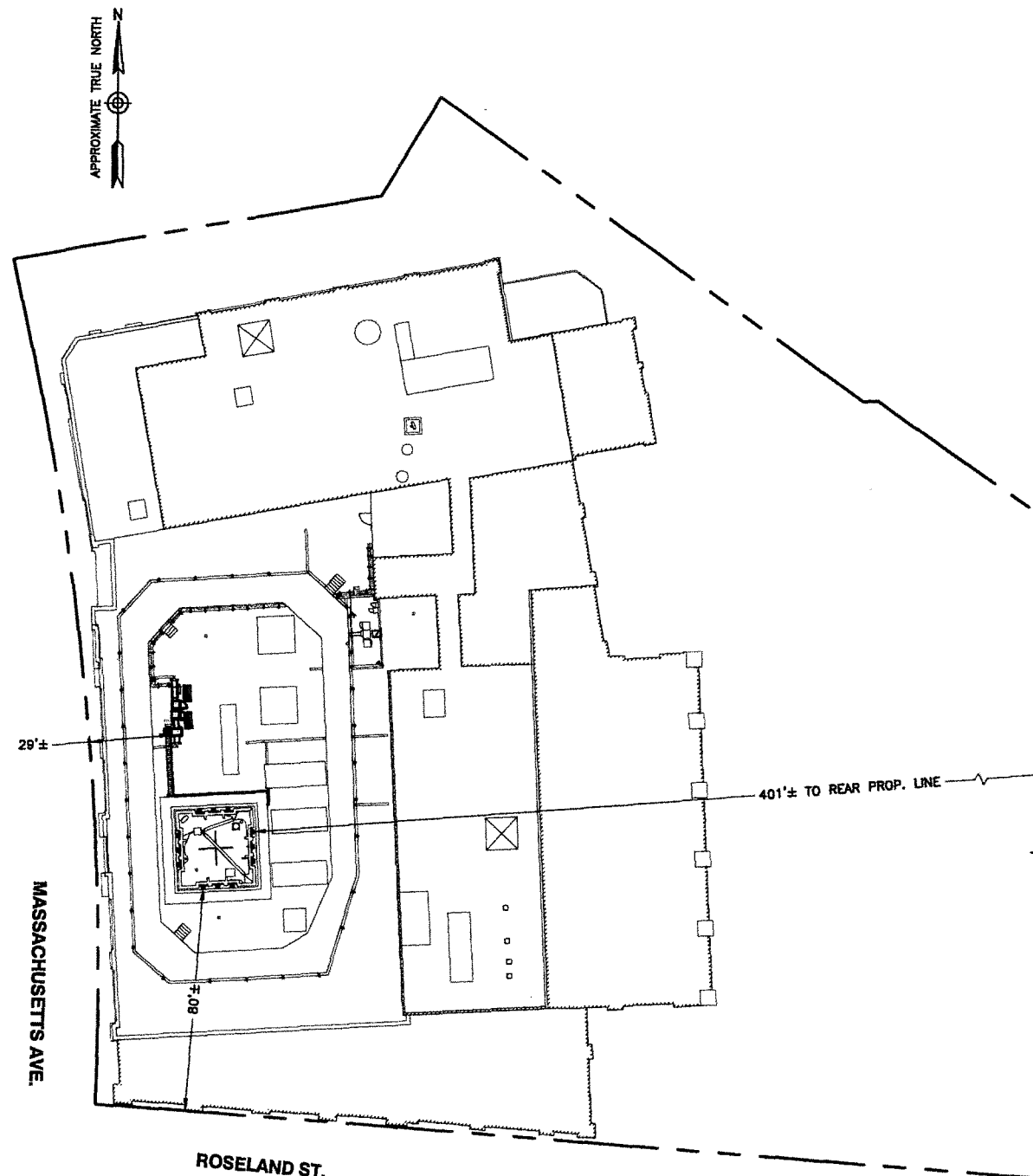
ABUTTERS & PLOT PLANS

SHEET NUMBER



ABUTTERS PLAN
SCALE: 1"=200' FOR 11"x17"
1"=100' FOR 22"x34"
0' 100' 200'

LEGEND	ZONING DISTRICTS
LOCUS PARCEL	B - RESIDENCE B
PROPERTY LINE	BA-2 - BUSINESS A-2
SETBACK LINE	BC - BUSINESS C
ZONING BOUNDARY	C-1 - RESIDENCE C-1
CITY BOUNDARY	C-2 - RESIDENCE C-2
LOCUS BUILDING	152-51 PROPERTY MAP-LOT
EXISTING BUILDINGS	



PLOT PLAN
SCALE: 1"=60' FOR 11"x17"
1"=30' FOR 22"x34"
0' 30' 60'

	DIMENSIONAL REQUIREMENTS *	
	BUSINESS C (BC)	PROPOSED**
LOT AREA	NONE	N/A
FRONT YARD	NONE	29'±
SIDE YARD	NONE	80'±
REAR YARD	20'	401'±
HEIGHT	55'	78'± TOP OF ANTENNA

*PER TABLE 5-2 OF THE CAMBRIDGE BYLAWS.
**DIMENSION IS APPROXIMATE AND REPRESENTS DISTANCE FROM VERIZON WIRELESS EQUIPMENT TO PROPERTY LINE.

- NOTES:
- ALL BUILDINGS, PARKING LOTS, ROADS & PROPERTY LINES SHOWN AS APPROXIMATE AND HAVE NOT BEEN VERIFIED THROUGH FIELD SURVEY.
 - PLOT PLAN BASED ON CITY OF CAMBRIDGE, MA ASSESSORS ON LINE INFORMATION.
 - NORTH IS APPROXIMATE & SHOULD BE VERIFIED IN FIELD.



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

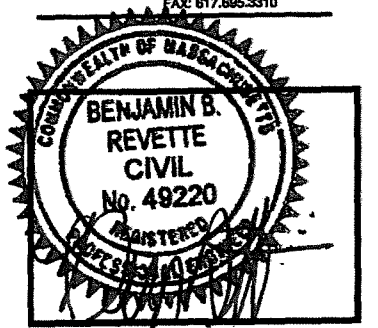
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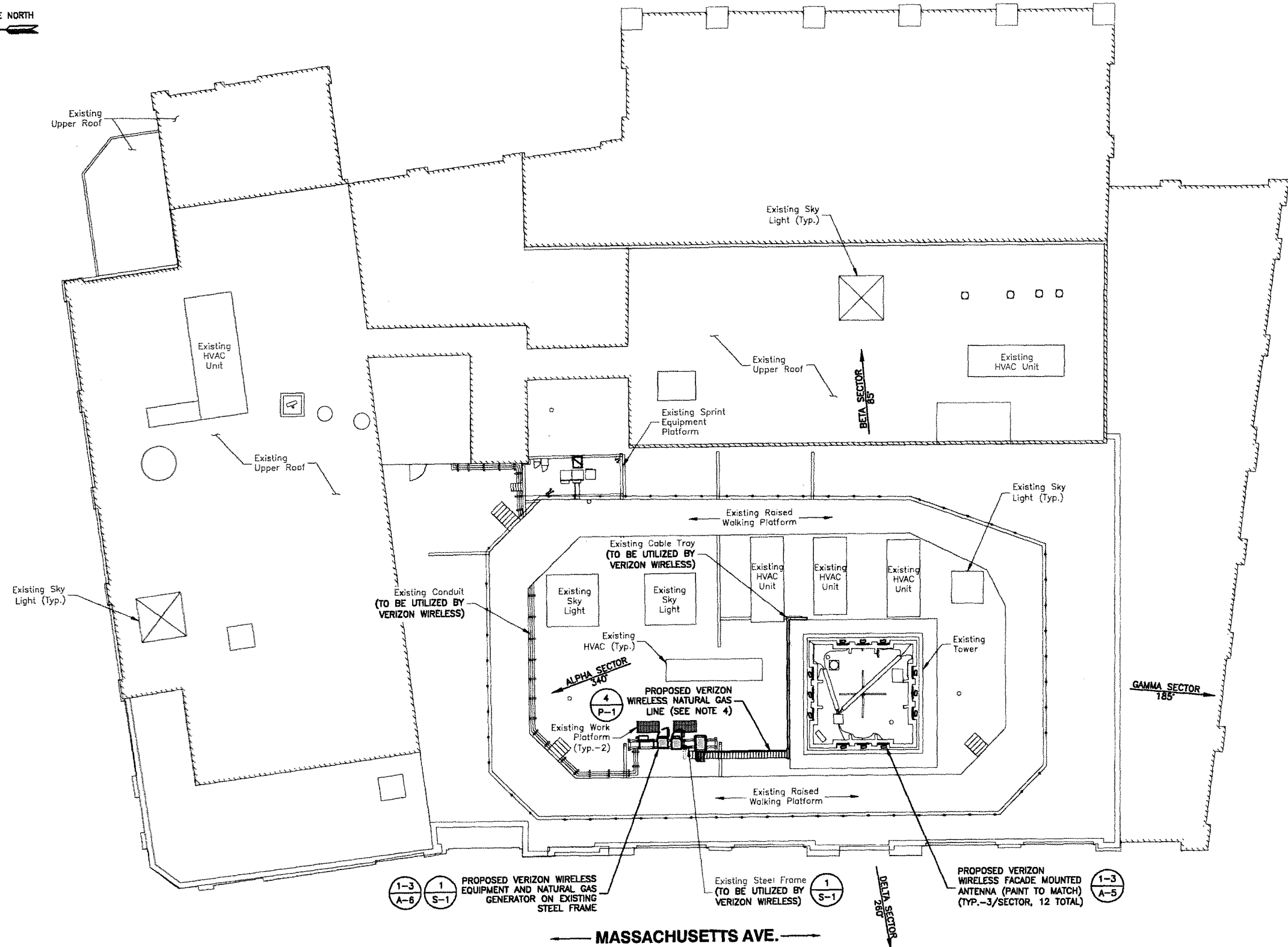
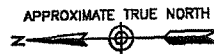
1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A-1

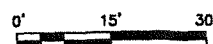


NOTES:

1. NORTH ARROW & ELEVATIONS SHOWN AS APPROXIMATE.
2. SOME ITEMS NOT SHOWN FOR CLARITY.
3. VERIZON WIRELESS TO UTILIZE EXISTING ABANDONED METROPICS CONDUITS WHERE FEASIBLE.
4. PROPOSED VERIZON WIRELESS FINAL GAS LINE LOCATION PENDING LANDLORD APPROVAL.

ROOF PLAN

SCALE: 1"=30' FOR 11'x17'
1"=15' FOR 22'x34'





VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

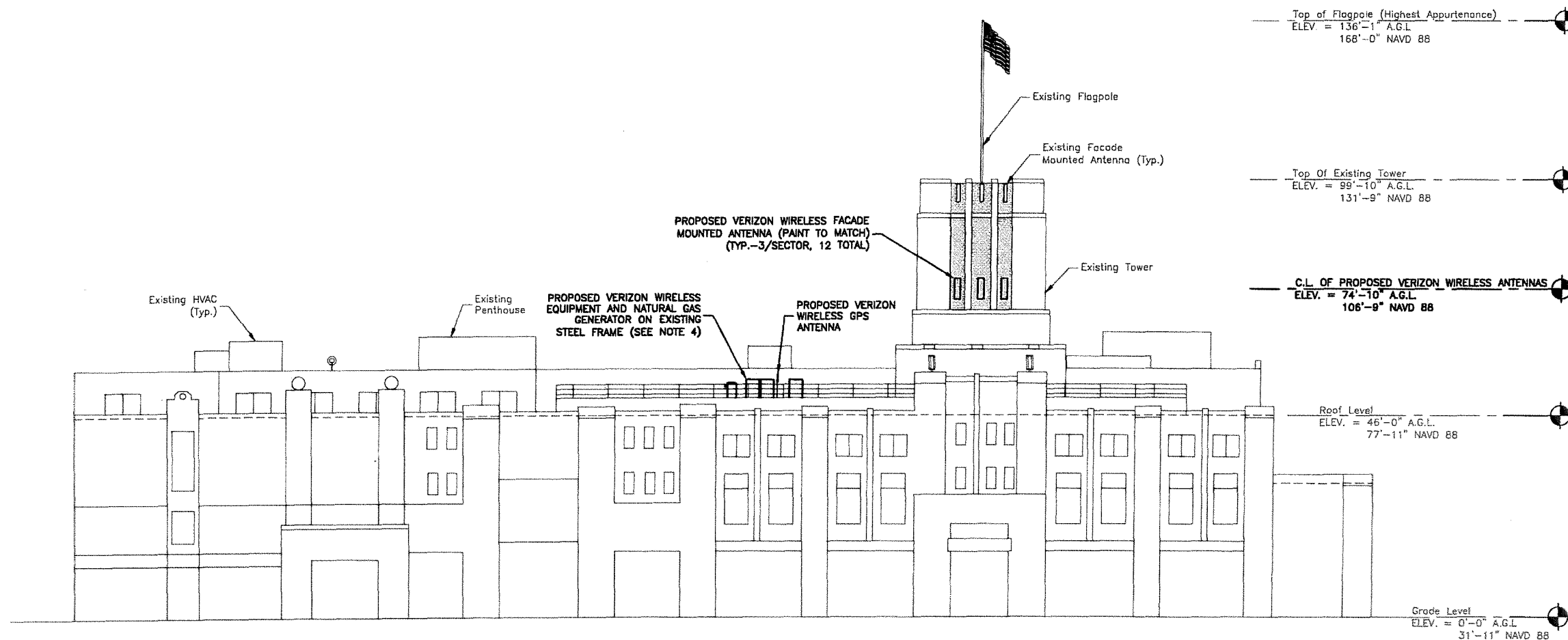
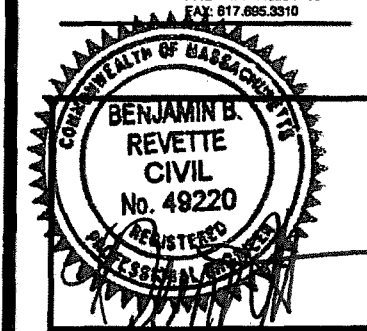
**CAMBRIDGE 5 MA
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WEST ELEVATION ①
SCALE: 1"=30' FOR 11"x17"
1"=15' FOR 22"x34"
0' 15' 30'

NOTES:

- C.L. = CENTERLINE
A.G.L. = ABOVE GROUND LEVEL
A.R.L. = ABOVE ROOF LEVEL
NAVD 88 - NORTH AMERICAN VERTICAL DATUM OF 1988
- SOME ITEMS NOT SHOWN FOR CLARITY.
- VERIZON WIRELESS TO UTILIZE EXISTING ABANDONED METROPOLIS CONDUITS WHERE FEASIBLE.
- PROPOSED VERIZON WIRELESS FINAL GAS LINE LOCATION PENDING AND LANDLORD APPROVAL.

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REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50069466

SITE ADDRESS:

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CAMBRIDGE, MA 02140

SHEET TITLE

WEST ELEVATION

SHEET NUMBER

A-2



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

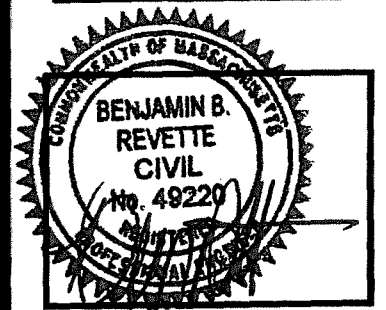
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CONSTRUCTION DRAWINGS

NO.	DATE	DESCRIPTION
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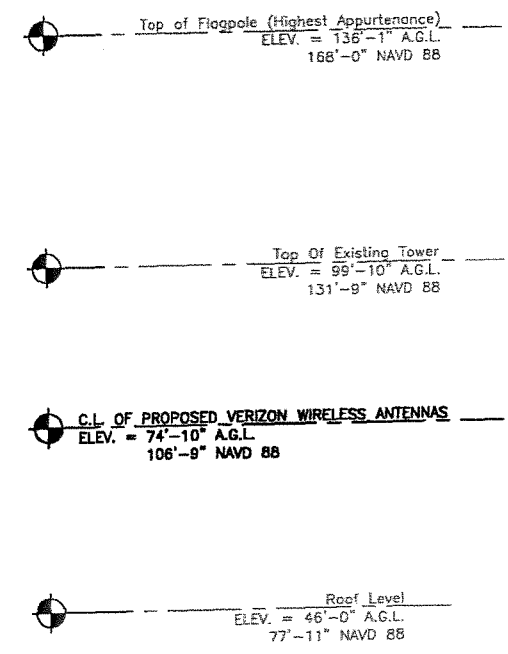
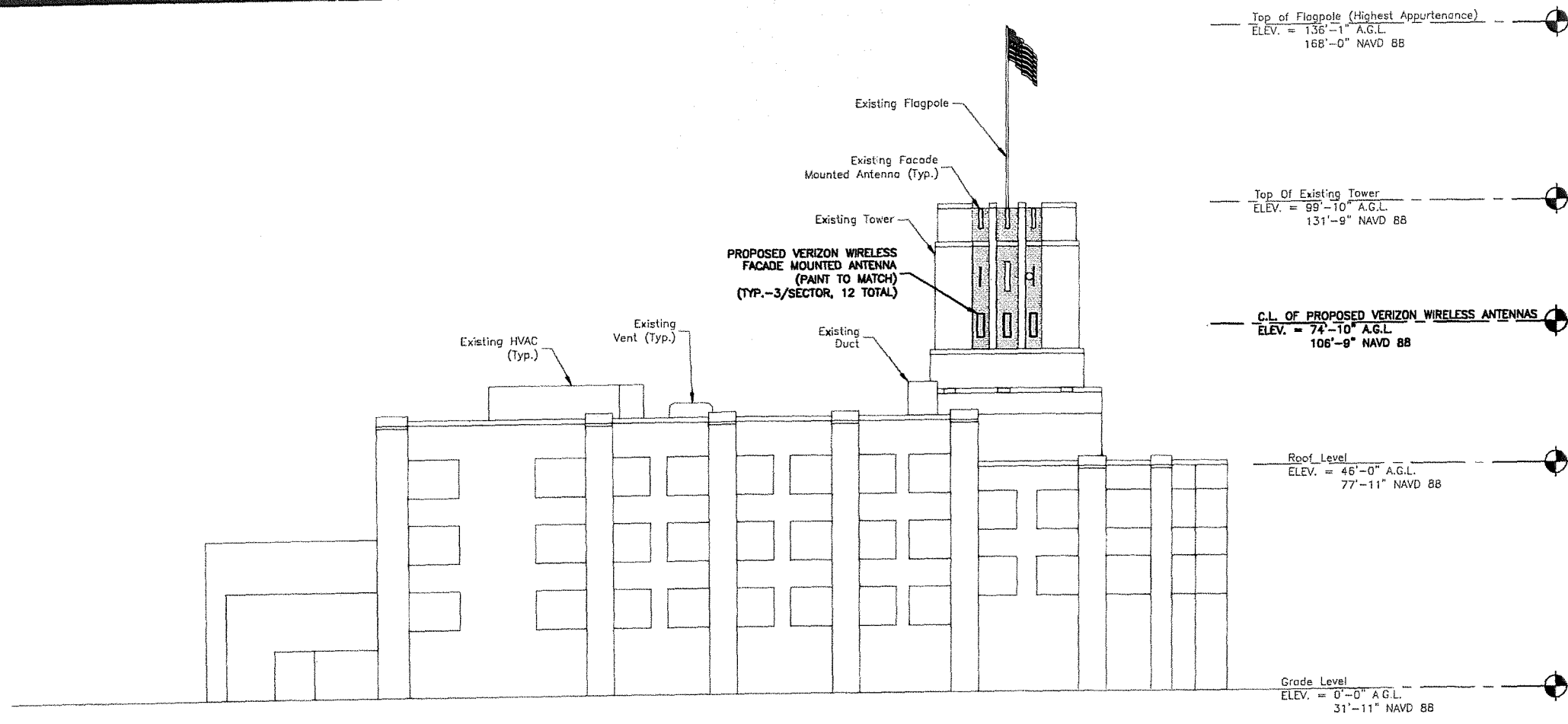
1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

NORTH & SOUTH ELEVATIONS

SHEET NUMBER

A-3



NORTH ELEVATION 1
SCALE: 1"=30' FOR 11"x17"
1"=15' FOR 22"x34"

SOUTH ELEVATION 2
SCALE: 1"=30' FOR 11"x17"
1"=15' FOR 22"x34"

- NOTES:**
- C.L. = CENTERLINE
A.G.L. = ABOVE GROUND LEVEL
A.R.L. = ABOVE ROOF LEVEL
NAVD 88 - NORTH AMERICAN VERTICAL DATUM OF 1988
 - SOME ITEMS NOT SHOWN FOR CLARITY.
 - VERIZON WIRELESS TO UTILIZE EXISTING ABANDONED METROPCS CONDUITS WHERE FEASIBLE.
 - PROPOSED VERIZON WIRELESS FINAL GAS LINE LOCATION PENDING LANDLORD APPROVAL.

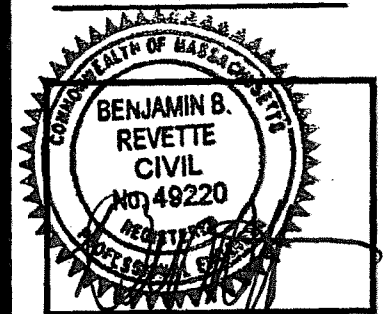
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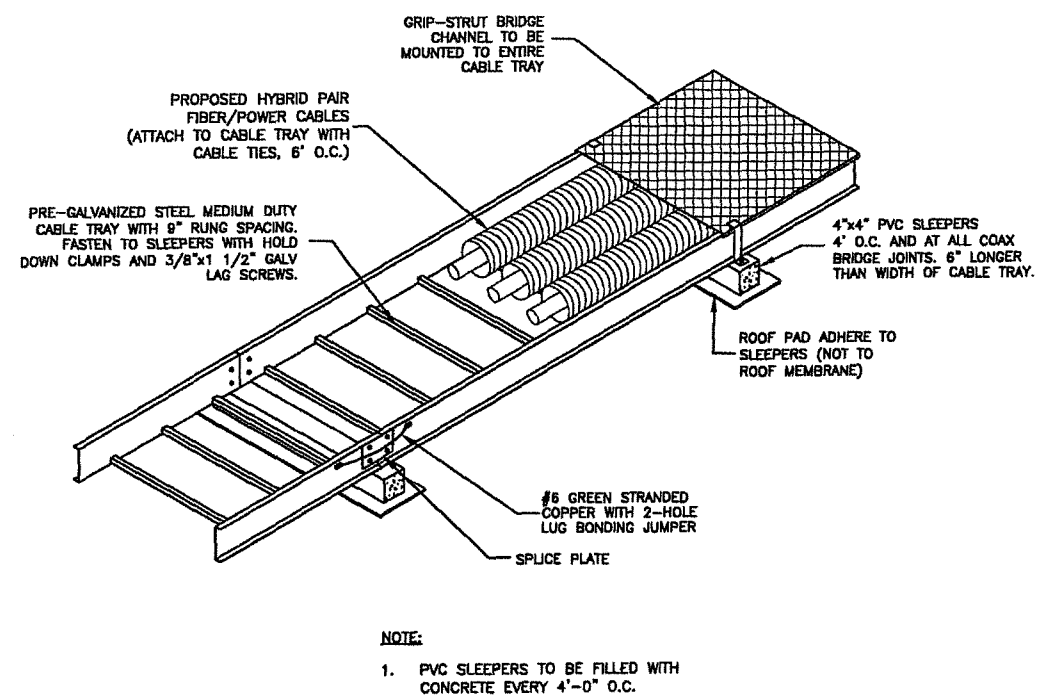
1815 MASSACHUSETTS
AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

CONSTRUCTION DETAILS-1

SHEET NUMBER

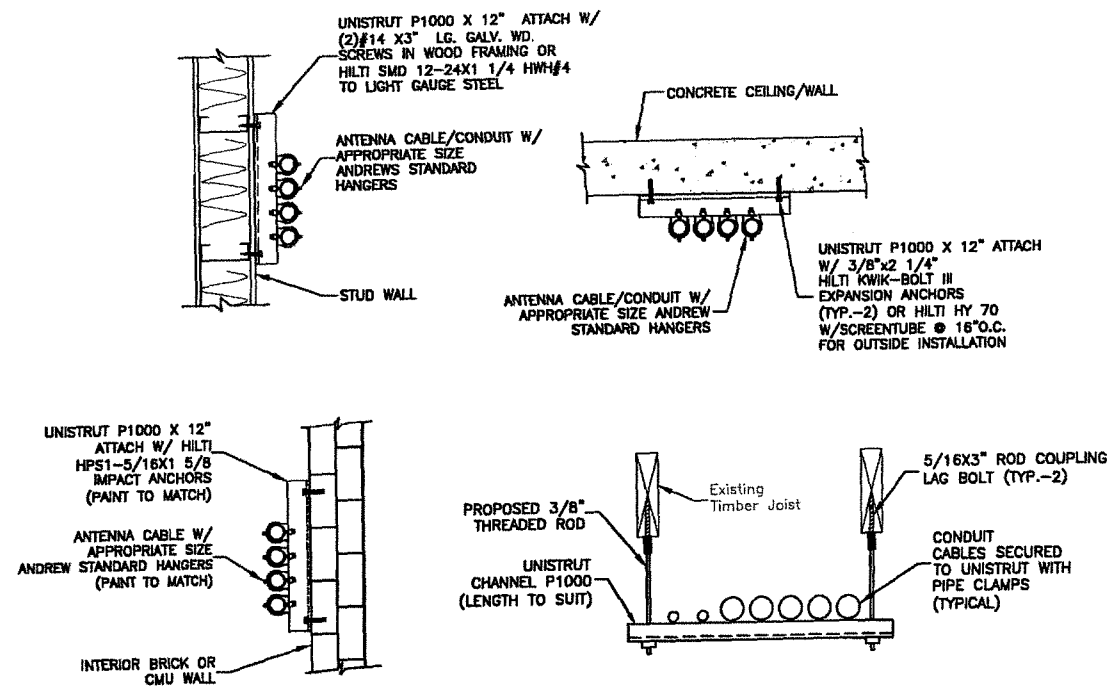
A-4



NOTE:

- PVC SLEEPERS TO BE FILLED WITH CONCRETE EVERY 4'-0" O.C.

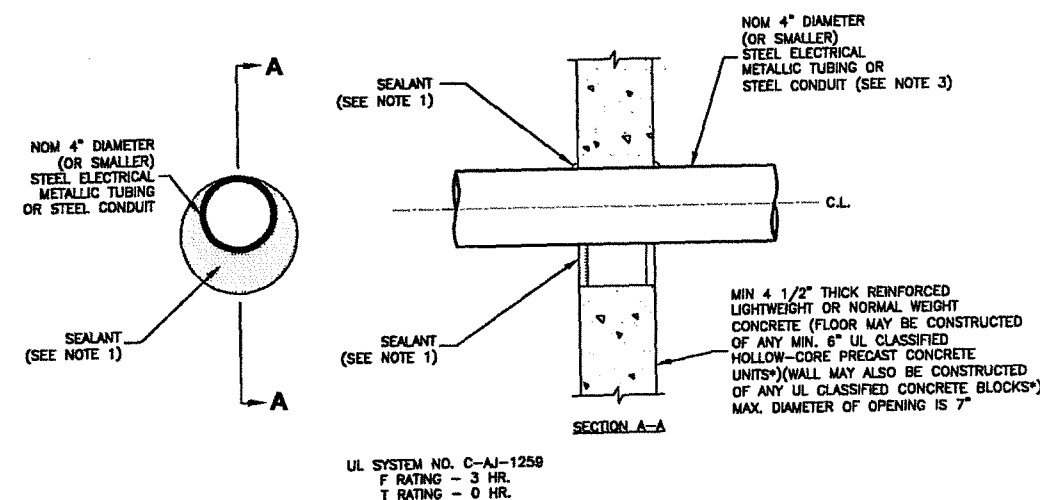
CABLE TRAY DETAIL 2
SCALE: N.T.S.



NOTES:

- ALL COAX SUPPORT SPACING: 4'-0" MAX.
- ALL CONDUIT SUPPORT SPACING: 10'-0" MAX.

CABLE/CONDUIT SUPPORT 1
SCALE: N.T.S.



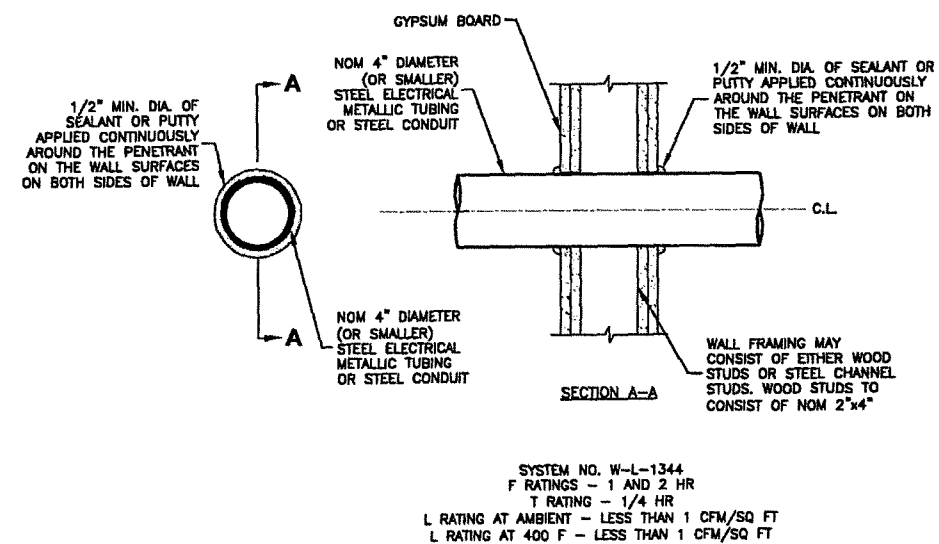
UL SYSTEM NO. C-AJ-1259
F RATING - 3 HR.
T RATING - 0 HR.

NOTES:

- FILL, VOID OR CAVTY MATERIAL* - SEALANT - MIN. 1/2" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH BOTH SURFACES OF FLOOR OR WALL. AT THE POINT CONTACT LOCATION BETWEEN PENETRATING ITEM AND CONCRETE, A MIN. 1/4" THICK BEAD OF FILL MATERIAL SHALL BE APPLIED AT THE CONCRETE/PENETRATING ITEM INTERFACE ON BOTH SIDES OF FLOOR OR WALL.
- FORMING MATERIAL - (OPTIONAL, NOT SHOWN) - MINERAL WOOL BATT PACKING MATERIAL OR POLYURETHANE BACKER ROD FRICION FITTED INTO OPENING AND RECESSED FROM FLOOR OR WALL SURFACES AS REQUIRED TO ACCOMMODATE THICKNESS OF FILL MATERIAL.
- ONE CONDUIT TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. THE ANNULAR SPACE BETWEEN THE CONDUIT AND THE PERIPHERY OF THE OPENING SHALL BE A MIN. OF 0" (POINT OF CONTACT) TO A MAX. OF 3". CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY.

* BEARING THE UL CLASSIFICATION MARK.

CORING DETAIL 3
SCALE: N.T.S.



SYSTEM NO. W-L-1344
F RATINGS - 1 AND 2 HR
T RATING - 1/4 HR
L RATING AT AMBIENT - LESS THAN 1 CFM/SQ FT
L RATING AT 400 F - LESS THAN 1 CFM/SQ FT

NOTES:

- THE 1 AND 2 HOUR FIRE RATED GYPSUM WALL BOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS & MANNER SPECIFIED IN THE INDIVIDUAL U300 OR U400 SERIES WALL & PARTITION DESIGNS IN THE UL FIRE RESISTANCE DIRECTORY.
- 5" DIAMETER OPENING MAX.

**SECTION - THROUGH PENETRATION
FIRESTOP SYSTEM** 4
SCALE: N.T.S.

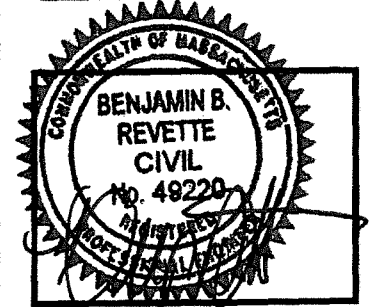
**CAMBRIDGE 5 MA
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CONSTRUCTION DRAWINGS

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REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50069466
SITE ADDRESS:	

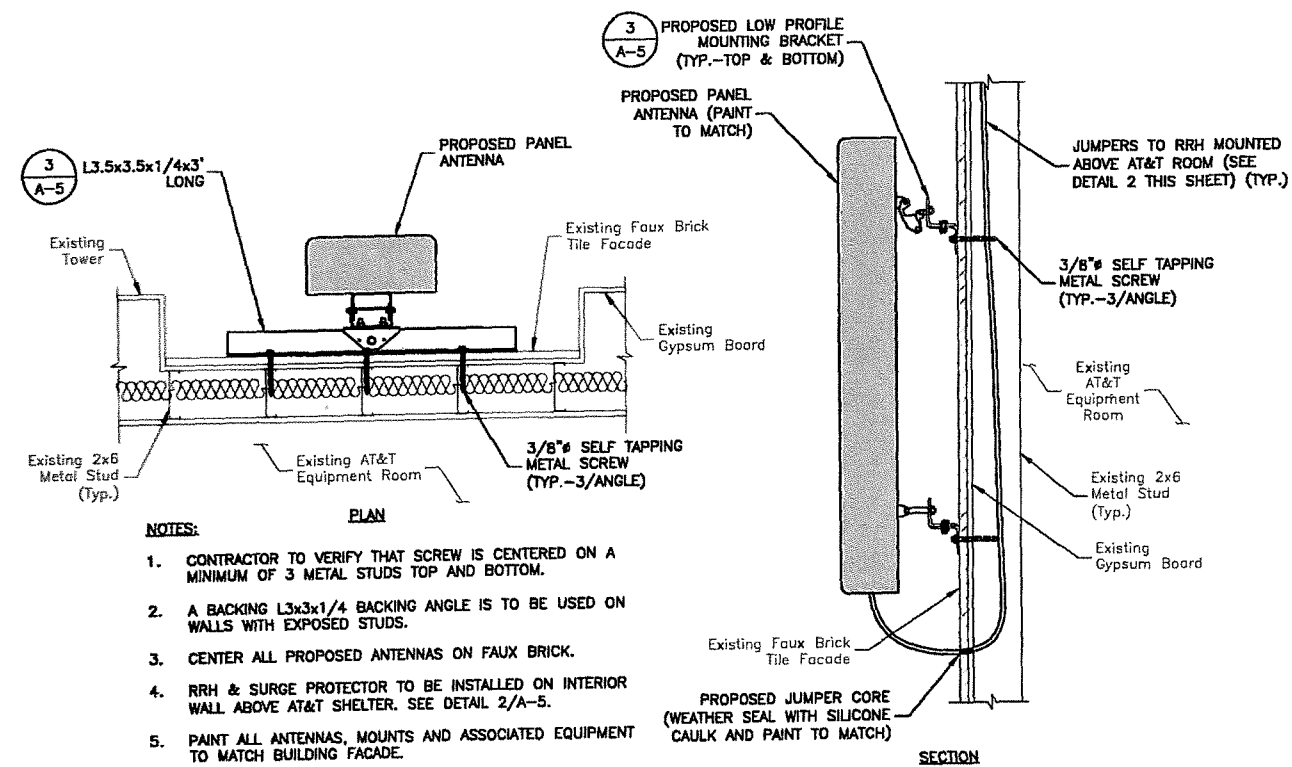
1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

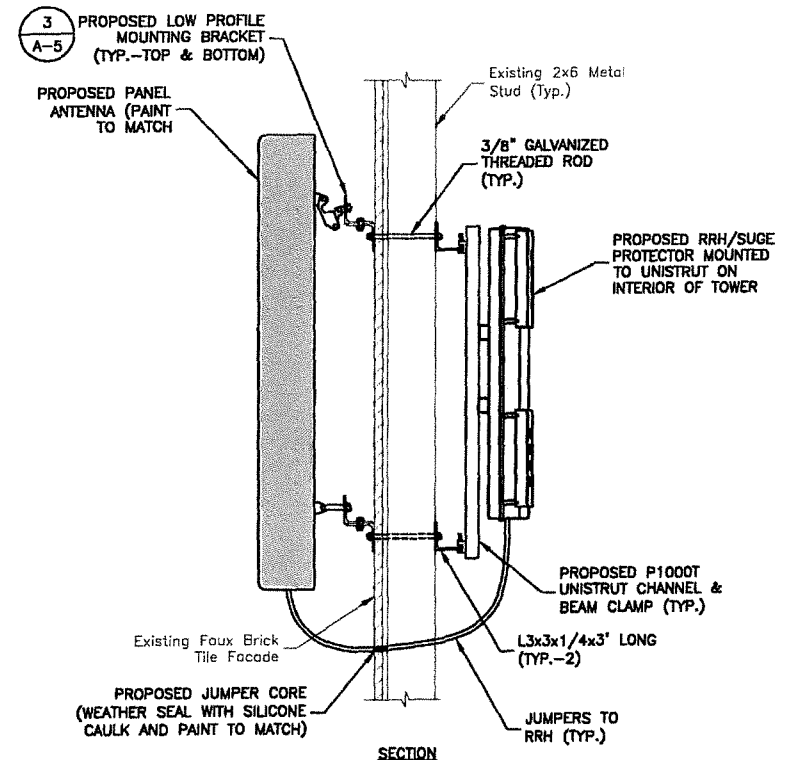
CONSTRUCTION DETAILS--II

SHEET NUMBER

A-5

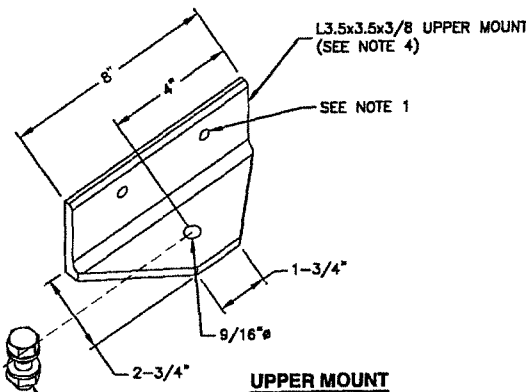


- NOTES:**
1. CONTRACTOR TO VERIFY THAT SCREW IS CENTERED ON A MINIMUM OF 3 METAL STUDS TOP AND BOTTOM.
 2. A BACKING L3x3x1/4 BACKING ANGLE IS TO BE USED ON WALLS WITH EXPOSED STUDS.
 3. CENTER ALL PROPOSED ANTENNAS ON FAUX BRICK.
 4. RRH & SURGE PROTECTOR TO BE INSTALLED ON INTERIOR WALL ABOVE AT&T SHELTER. SEE DETAIL 2/A-5.
 5. PAINT ALL ANTENNAS, MOUNTS AND ASSOCIATED EQUIPMENT TO MATCH BUILDING FACADE.



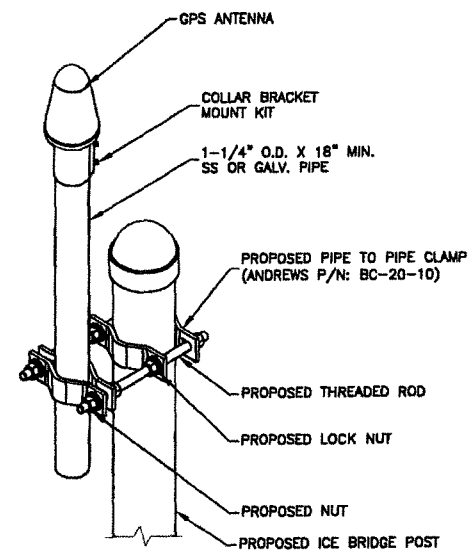
FACADE MOUNT DETAIL - CONCEALED WALL

SCALE: 1/2"=1' FOR 11"x17"
1"=1' FOR 22"x34"



FACADE MOUNT DETAIL - EXPOSED WALL

SCALE: 1/2"=1' FOR 11"x17"
1"=1' FOR 22"x34"



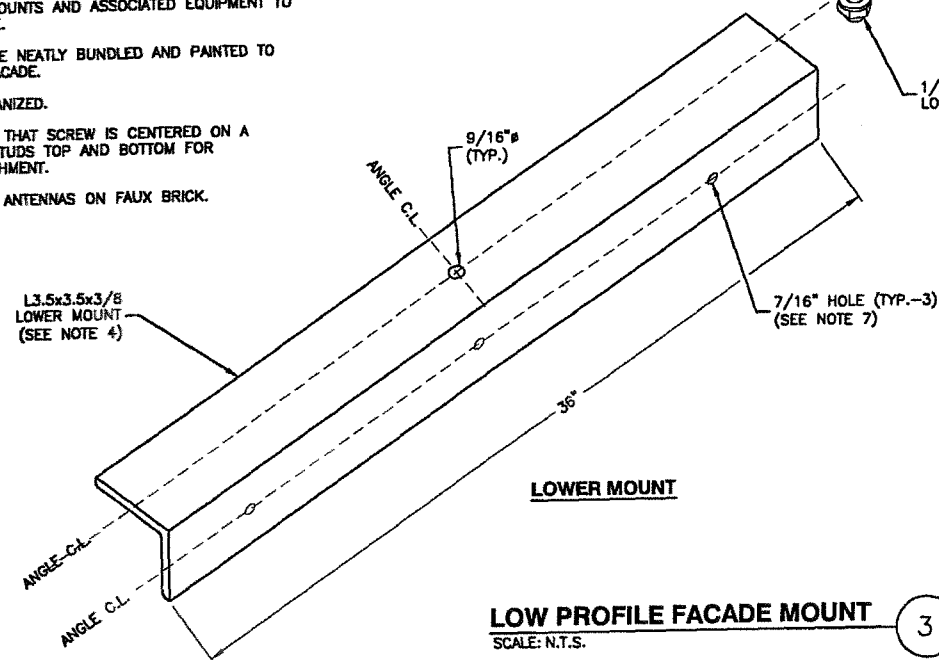
- NOTE:**
1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1"-1 1/4" DIAMETER GALVANIZED STEEL OR STAINLESS STEEL PIPE. THE PIPE MUST NOT BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH USING A HAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH AND PERPENDICULAR CUT. THE CUT PIPE END SHALL BE DEBURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA POST.

GPS POLE MOUNTED

SCALE: N.T.S.

NOTES:

1. VERIFY DOWNTILT MOUNTING KIT BOLT LAYOUT PRIOR TO FABRICATION OF UPPER MOUNT BRACKET.
2. ROTATE UPPER CONNECTION TO REQUIRED AZIMUTH. SHOP VERIFY ANTENNA CAN ACHIEVE REQUIRED AZIMUTH FROM WALL FACE.
3. WEATHER SEAL AROUND EXTERIOR WALL ATTACHMENT ANGLES WITH SILICONE SEALANT.
4. PAINT ALL ANTENNAS, MOUNTS AND ASSOCIATED EQUIPMENT TO MATCH BUILDING FACADE.
5. ALL FEEDERS ARE TO BE NEATLY BUNDLED AND PAINTED TO MATCH THE BUILDING FACADE.
6. ALL STEEL TO BE GALVANIZED.
7. CONTRACTOR TO VERIFY THAT SCREW IS CENTERED ON A MINIMUM OF 3 METAL STUDS TOP AND BOTTOM FOR CONCEALED WALL ATTACHMENT.
8. CENTER ALL PROPOSED ANTENNAS ON FAUX BRICK.



LOW PROFILE FACADE MOUNT

SCALE: N.T.S.

3

4

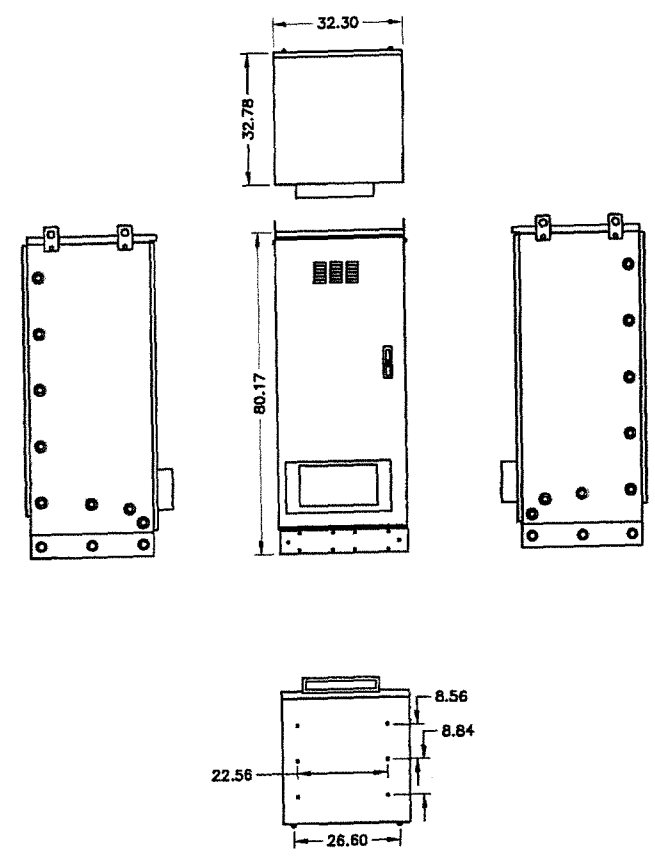
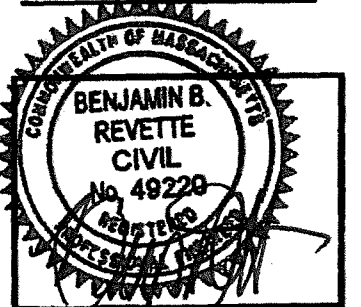


VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

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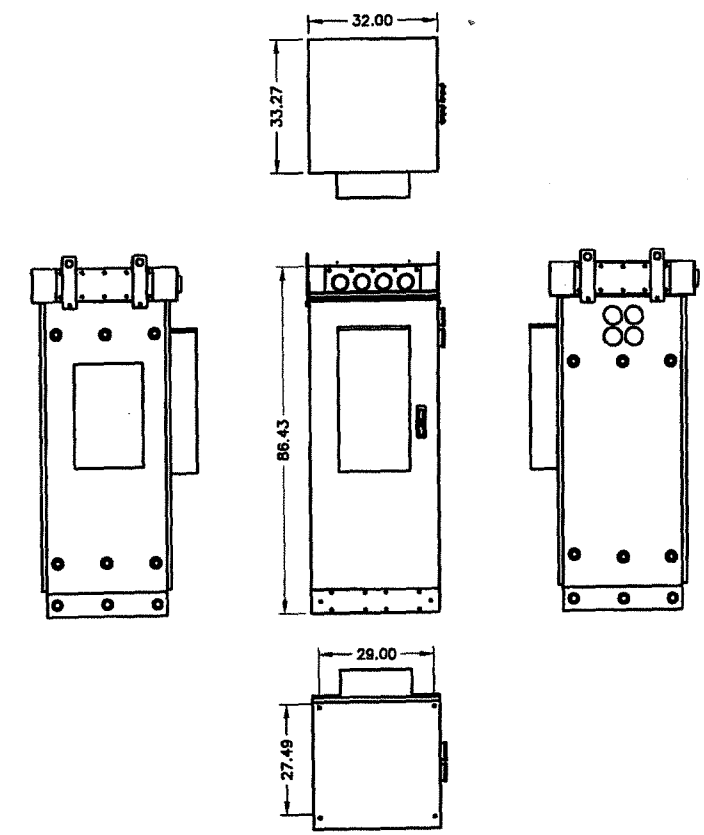
CONSTRUCTION DRAWINGS		
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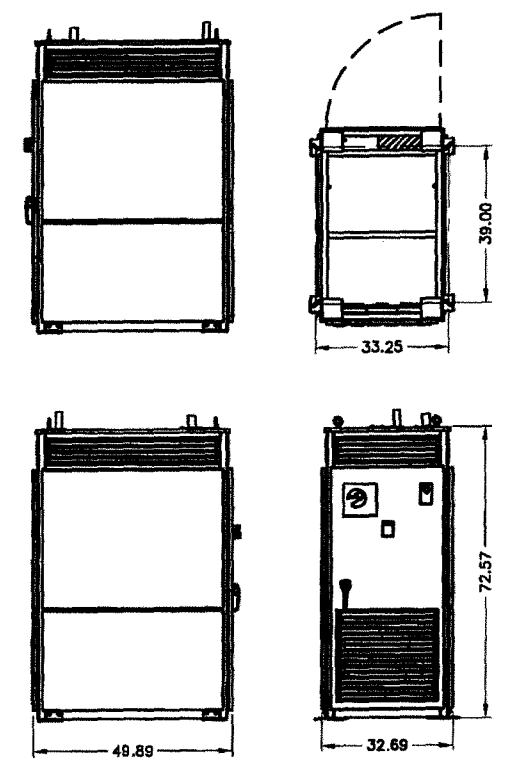
NOTE:
1. CONTRACTOR TO VERIFY WITH C.M. FOR FINAL MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.

CHARLES CABINET CUBE-BB48E1HN1 ①
SCALE: 1/4"=1' FOR 11"x17"
1/2"=1' FOR 22"x34"
0' 1' 2' 4'



NOTE:
1. CONTRACTOR TO VERIFY WITH C.M. FOR FINAL MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.

CHARLES CABINET CUBE-PM63912MC1 ②
SCALE: 1/4"=1' FOR 11"x17"
1/2"=1' FOR 22"x34"
0' 1' 2' 4'



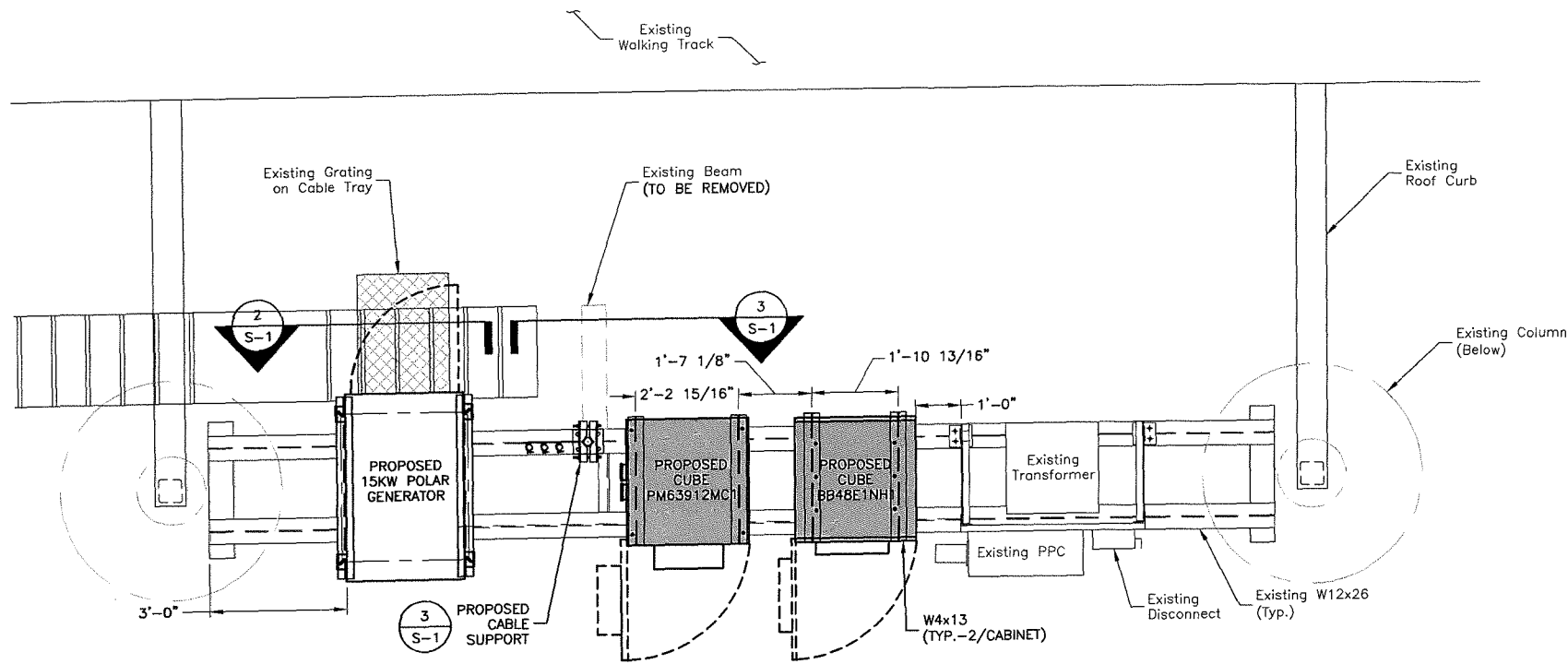
**POLAR POWER 15KW
NATURAL GAS GENERATOR** ③
SCALE: 1/4"=1' FOR 11"x17"
1/2"=1' FOR 22"x34"
0' 1' 2' 4'

NOTES:
1. ALL UNITS ARE IN INCHES.
2. CONTRACTOR TO VERIFY WITH C.M. FOR FINAL MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.

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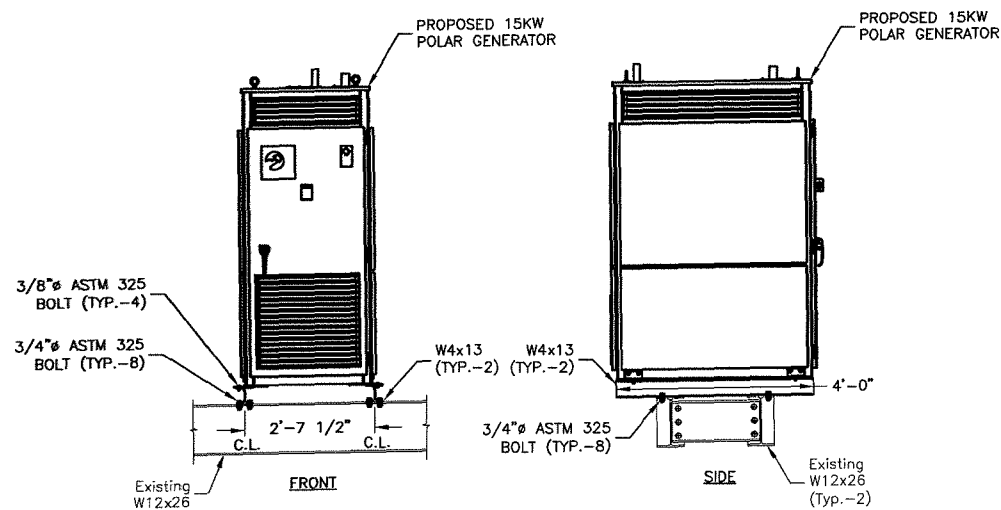
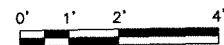
SHEET TITLE
CABINET & GENERATOR DETAILS
SHEET NUMBER



EQUIPMENT LOADING:		WEIGHT (LBS.)
EQUIPMENT:	① (P) BB48E1HN1	2,650
	② (P) PM63912MC2	850
	④ (P) NATURAL GAS GENERATOR	810
	④ (E) PPC	150
	⑤ (E) TRANSFORMER	300
TOTAL EQUIPMENT LOAD =		4,760
STRUCTURAL ANALYSIS BASED ON LOADING SHOWN. NO ADDITIONAL EQUIPMENT SHALL BE ADDED WITHOUT ANALYSIS. (P) PROPOSED (E) EXISTING		

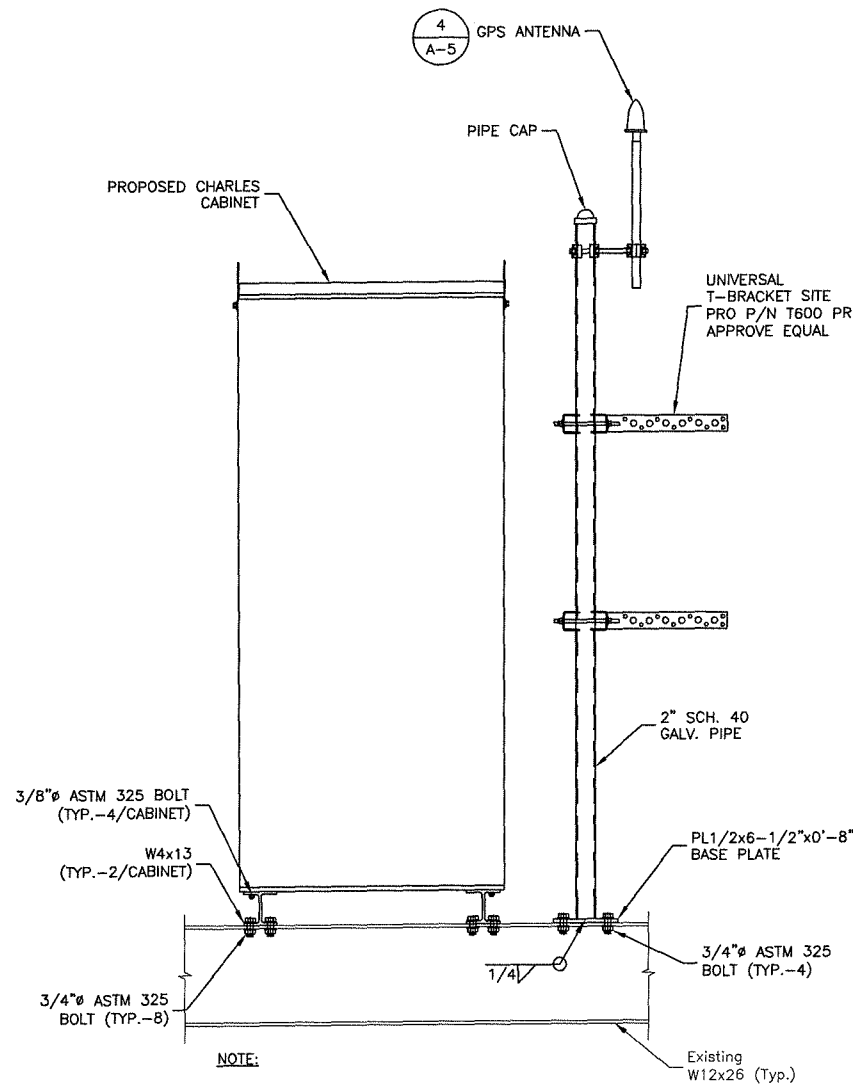
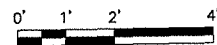
FRAMING PLAN

SCALE: 1/4"=1' FOR 11"x17"
1/2"=1' FOR 22"x34"



GENERATOR CONNECTION

SCALE: 1/4"=1' FOR 11"x17"
1/2"=1' FOR 22"x34"

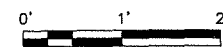


NOTE:

1. HYBRID CABLE/COAX NOT SHOWN FOR CLARITY.

CABLE SUPPORT ELEVATION

SCALE: 1/2"=1' FOR 11"x17"
1"=1' FOR 22"x34"



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

**CAMBRIDGE 5 MA
(LESLEY UNIVERSITY)**

CONSTRUCTION DRAWINGS

NO.	DATE	DESCRIPTION
1	04/14/17	FOR SUBMITTAL
0	05/24/16	FOR SUBMITTAL
A	04/12/16	FOR REVIEW



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



DRAWN BY: MR

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50069466

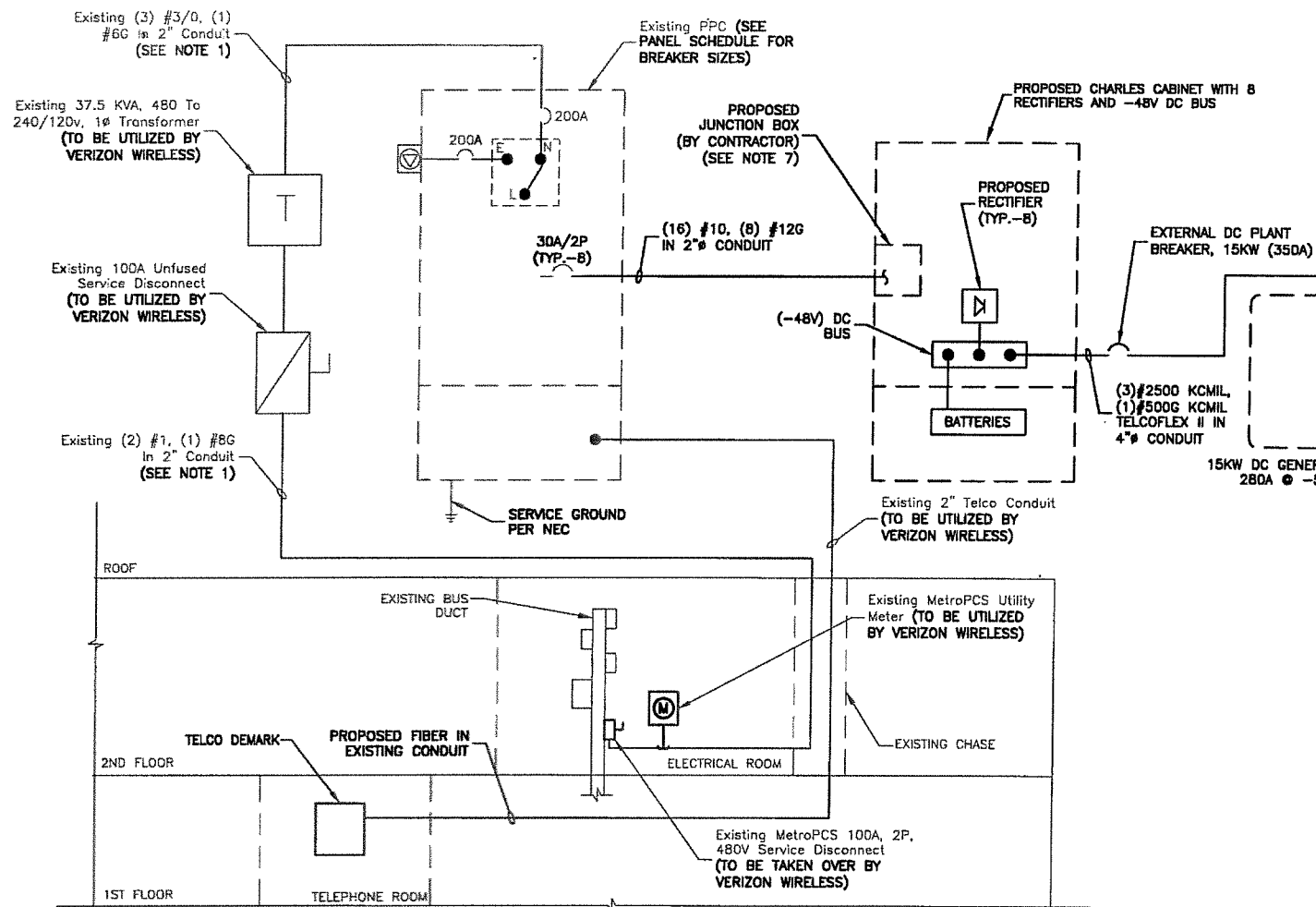
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1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

FRAMING PLAN &
STRUCTURAL DETAILS

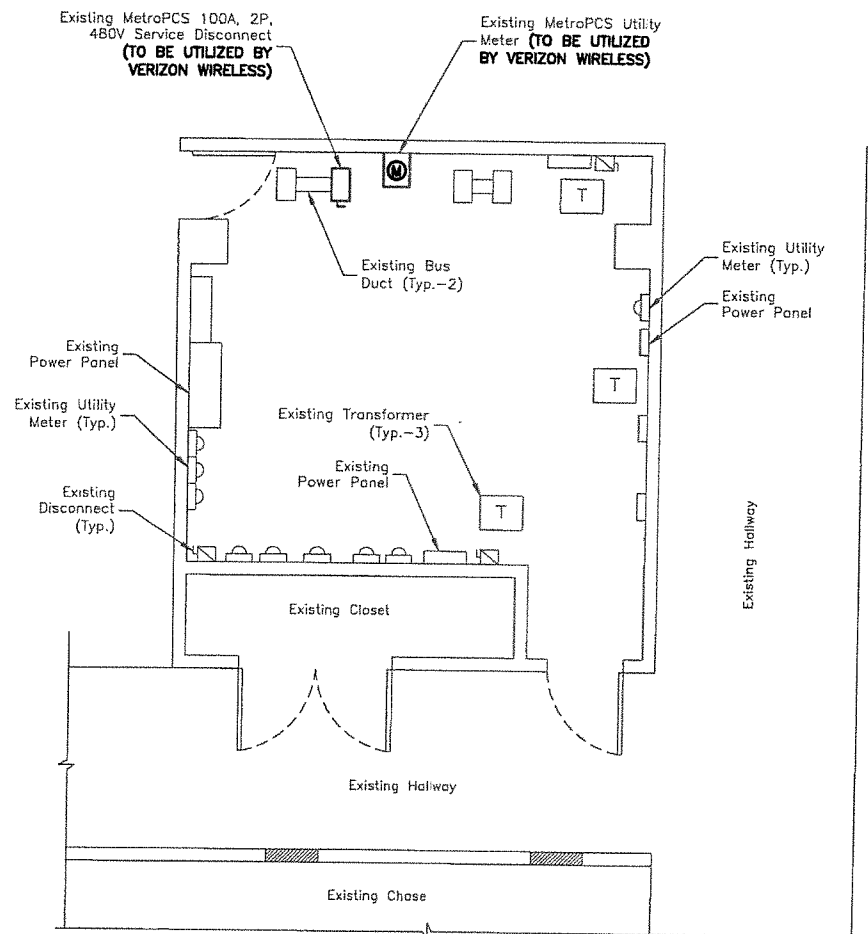
SHEET NUMBER



POWER & TELCO RISER DIAGRAM
SCALE: N.T.S.

NEMA 3R		PANEL SCHEDULE		25,000 A.I.C.	
120/240V, 1 ϕ , 3W, 200A MAIN					
CKT #	DESCRIPTION	AMP	AMP	DESCRIPTION	CKT #
1	SPACE	-	30	RECTIFIER #2	2
3	SPACE	-	-	RECTIFIER #4	4
5	RECTIFIER #1	30	30	RECTIFIER #6	6
7	RECTIFIER #3	30	30	RECTIFIER #8	8
9	RECTIFIER #5	30	-	SPACE	10
11	RECTIFIER #7	30	-	SPACE	12
13	SPACE	30	-	SPACE	14
15	SPACE	-	-	SPACE	16
17	SPACE	-	-	SPACE	18
19	(E) GFI RECEPTACLE	15	10	(E) LIGHT	20
21	(E) SURGE ARRESTOR	20	-	SPACE	22
23	SPACE	-	-	SPACE	24

LEGEND	
	CIRCUIT BREAKER
	DISCONNECT SWITCH
	UTILITY METER
	MANUAL TRANSFER SWITCH
	GENERATOR RECEPTACLE



2nd FLOOR ELECTRICAL ROOM
SCALE: N.T.S.

ELECTRICAL NOTES:

1. VERIFY EXISTING METROPCS ELECTRICAL FEEDERS AND CONDUIT ARE SIZED PER PLAN.
2. COORDINATE TRANSFER OF UTILITY METER WITH UTILITY COMPANY AND BUILDING OWNER.
3. PROVIDE PULL BOXES AS REQUIRED BY CODE AND JOB CONDITIONS.
4. GROUND SHALL COMPLY WITH NEC ARTICLE 250.
5. USE EMT FOR INTERIOR CONDUIT; USE RGS FOR EXTERIOR CONDUIT.
6. LABEL EXISTING AND PROPOSED ELECTRICAL EQUIPMENT AND CONDUIT AS 'VERIZON WIRELESS'.
7. INSTALL 1" LIQUID TIGHT DROPS FROM CHARLES CABINET JUNCTION BOX TO RECTIFIER.



VERIZON WIRELESS
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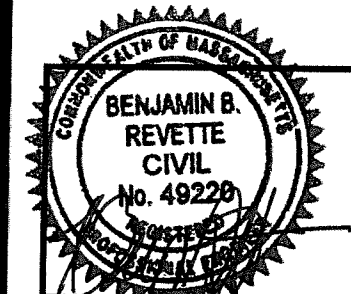
**CAMBRIDGE 5 MA
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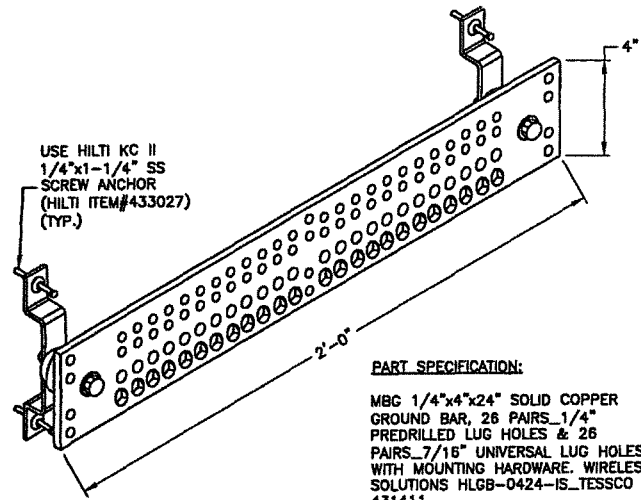
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CAMBRIDGE, MA 02140

SHEET TITLE

RISER DIAGRAMS

SHEET NUMBER

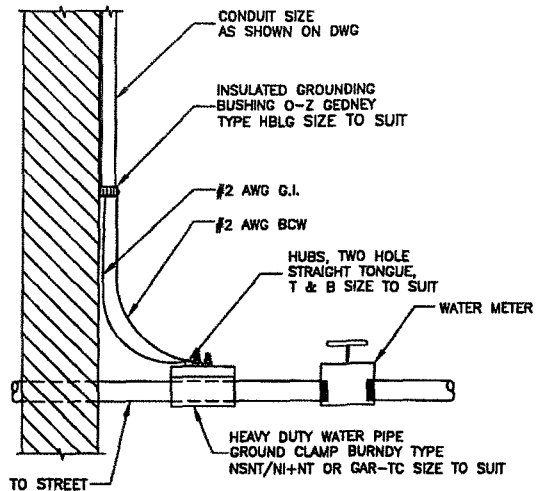


GROUND BAR DETAIL

SCALE: N.T.S.

PART SPECIFICATION:

MBC 1/4"x4"x24" SOLID COPPER GROUND BAR, 26 PAIRS 1/4" PREDRILLED LUG HOLES & 26 PAIRS 7/16" UNIVERSAL LUG HOLES WITH MOUNTING HARDWARE. WIRELESS SOLUTIONS HLG8-0424-IS_TESSCO SKU 431411.

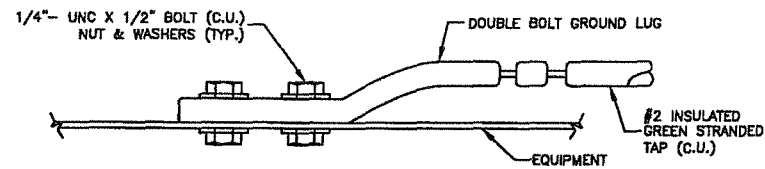


NOTE:

- BURNDY TYPE GROUND CLAMP SHOULD BE ATTACHED ON STREET SIDE OF WATER CUT-OFF. VALVE IS INSULATED BETWEEN WATER METER & STREET GROUNDING CLAMP SHOULD BE ATTACHED TO STREET SIDE.

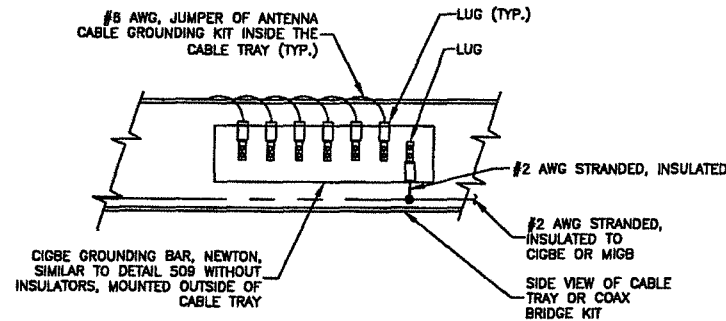
WATER METER GROUNDING

SCALE: N.T.S.



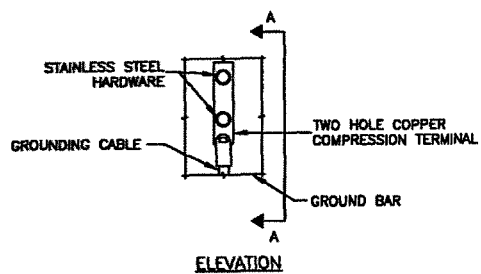
CONNECTION TO EQUIPMENT DETAIL

SCALE: N.T.S.

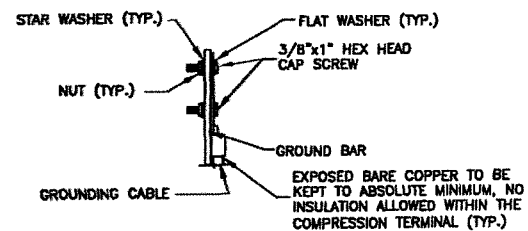


GROUND BAR MOUNTED ON CABLE TRAY

SCALE: N.T.S.



ELEVATION



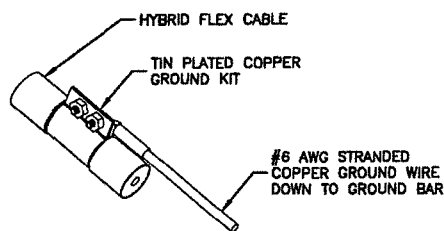
SECTION 'A-A'

NOTES:

- DOUBLING UP OR STACKING OF CONNECTIONS IS NOT PERMITTED
- OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.

TYPICAL GROUND BAR MECHANICAL CONNECTION DETAIL

SCALE: N.T.S.

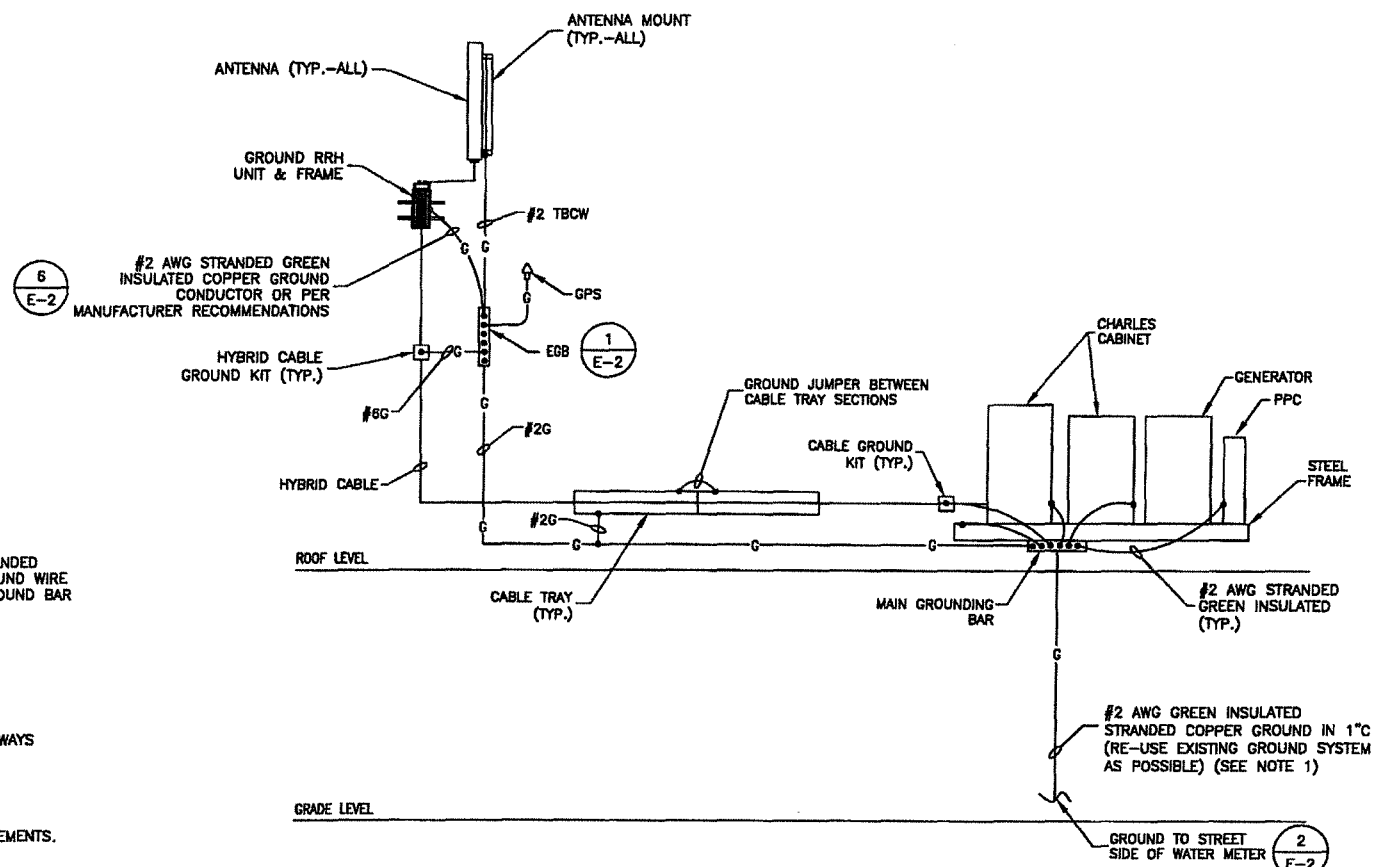


NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BEND. ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
- GROUNDING KIT LOCATION & QUANTITY PER CARRIER SPECIFICATIONS.
- WEATHER PROOFING SHALL BE PER CARRIER REQUIREMENTS.

HYBRID FLEX GROUNDING DETAIL

SCALE: N.T.S.



SCHEMATIC GROUNDING DIAGRAM

SCALE: N.T.S.



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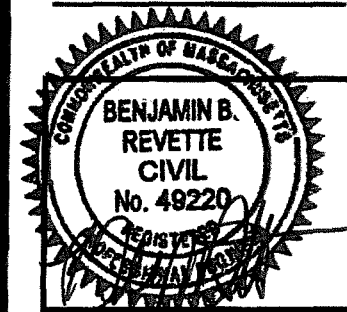
**CAMBRIDGE 5 MA
(LESLEY UNIVERSITY)**

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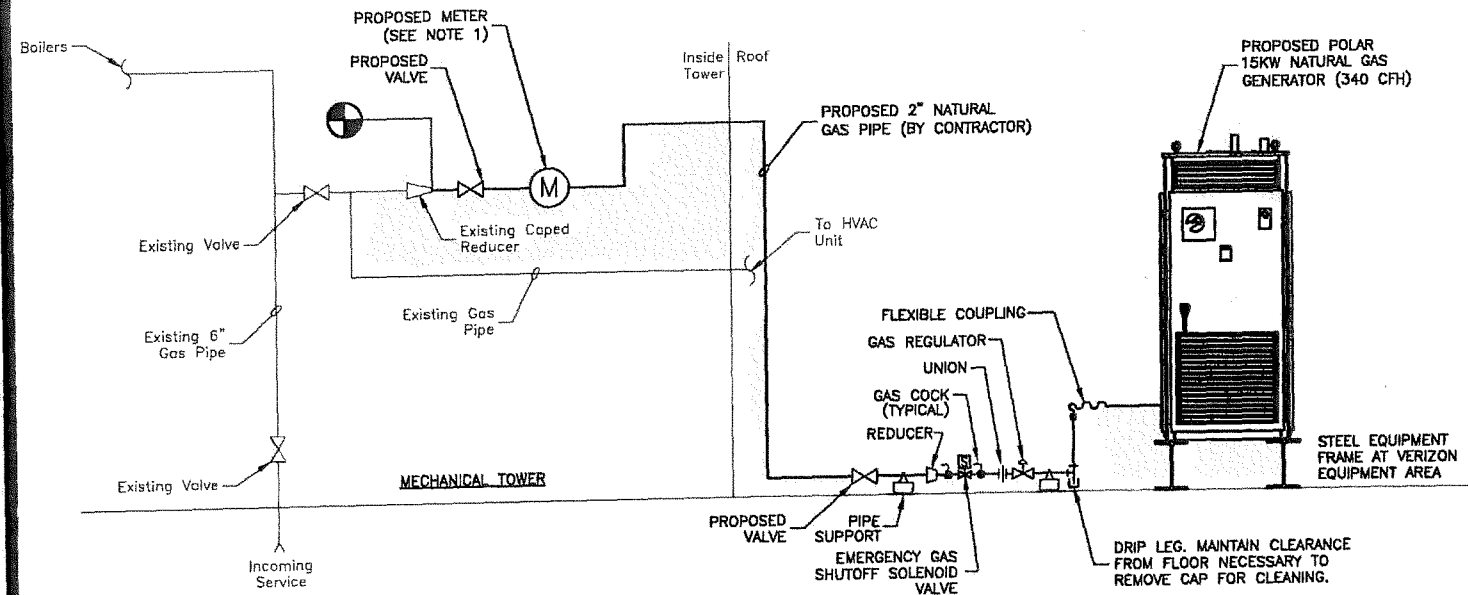
DRAWN BY:	MR
REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50068468
SITE ADDRESS:	

1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

GROUNDING DETAILS & DIAGRAM

SHEET NUMBER



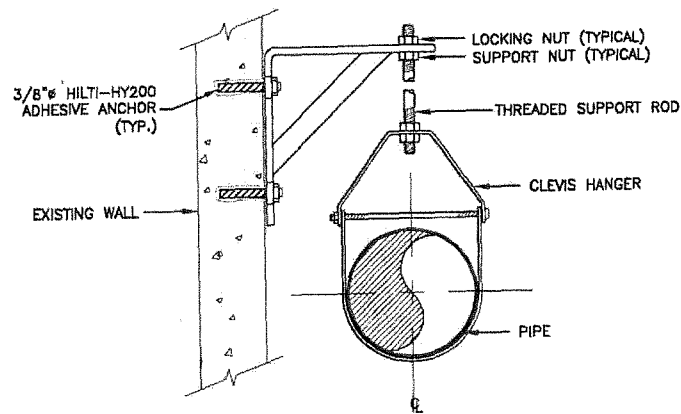
NOTES:

1. CONTRACTOR TO INSTALL NEW METER PER REQUIREMENTS OF LESLEY UNIVERSITY.
2. INSTALL EMERGENCY GLASS NATURAL GAS SHUTDOWN AT GENERATOR AREA & EGRESS AREA. COORDINATE INSTALLATION WITH THE LOCAL FIRE DEPARTMENT & BUILDING OWNER.
3. GENERATOR REQUIRES OPTIMUM WC LEVEL 4"-13.9" PER MANUFACTURER.
4. COORDINATE ALL WORK WITH LESLEY UNIVERSITY PRIOR TO CONSTRUCTION.
5. GENERATOR INSTALLATION SHALL COMPLY WITH NFPA37.

**BACKUP GENERATOR
GAS TRAIN & SCHEMATIC**

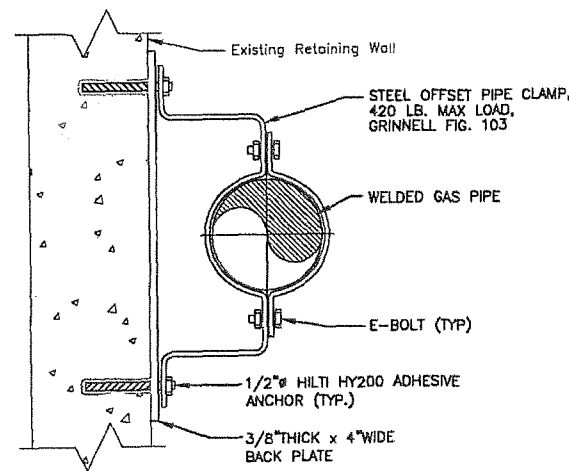
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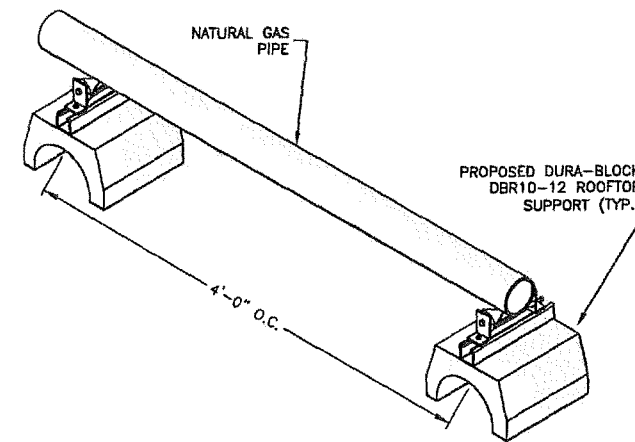
PIPE HANGER DETAIL
SCALE: N.T.S.

2



PIPE SUPPORT DETAIL
SCALE: N.T.S.

3



**NATURAL GAS PIPE
DETAIL ON SLEEPERS**
SCALE: N.T.S.

4

LEGEND				
SYMBOL	ABBREVIATIONS	DESCRIPTION	ABBREVIATIONS	DESCRIPTION
		BALL VALVE	AFF	ABOVE FINISH FLOOR
		GAS COCK	AFR	ABOVE FINISH ROOF
		SOLENOID VALVE	BOP	BOTTOM OF PIPE
		PIPE DROP OR PIPE THRU FLOOR PLAN SHOWN	CFH	CUBIC FEET PER HOUR
		PIPE THRU FLOOR ABOVE	CLG	CEILING
	CTE	CONNECT TO EXISTING	CW	COLD WATER
	G	GAS PIPING	DN	DOWN
		CAP	ETR	EXISTING TO REMAIN
		GAS BOOSTER	G	GAS MAIN
		REGULATOR	HW	HOT WATER
		STRAINER	IN	INCHES
		GAS METER	NTS	NOT TO SCALE
			RED	REDUCER
			SS	STAINLESS STEEL
			ST	STEEL
			TOP	TOP OF PIPE
			TYP	TYPICAL
			V	VENT
			VTR	VENT THRU ROOF
			WC	WATER COLUMN

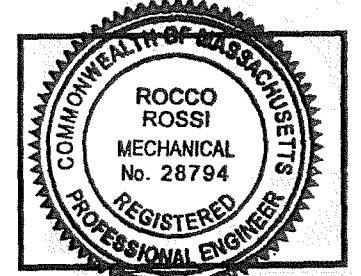


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Rocco Rossi

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REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002825
JOB NUMBER:	50068466
SITE ADDRESS:	
1815 MASSACHUSETTS AVENUE CAMBRIDGE, MA 02140	
SHEET TITLE:	
NATURAL GAS DETAILS	
SHEET NUMBER:	

INSTALLATION OF FUEL GAS PIPING SYSTEM:

- ALL PIPING AND EQUIPMENT IS SHOWN DIAGRAMMATIC. EXACT LOCATIONS TO BE DETERMINED IN FIELD. INSTALL PIPING STRAIGHT, PLUMB AND AS DIRECT AS POSSIBLE; PROVIDE RIGHT ANGLES ON LINES PARALLEL WITH BUILDING WALLS. INSTALL PIPES CLOSE TO WALLS, PARTITIONS, CEILINGS, ETC., AND OFFSET ONLY WHERE NECESSARY TO FOLLOW WALLS AS INDICATED. LOCATE GROUPS OF PIPES PARALLEL TO EACH OTHER; SPACE INDIVIDUAL PIPES IN ORDER TO PERMIT APPLICATION OF FULL INSULATION AND TO PERMIT ACCESS FOR SERVICING VALVES.
- ALL PIPING SHALL BE REAMED TO BE FREE OR BURRS. KEEP PIPING FREE FROM SCALE AND DIRT; PROTECT OPEN PIPE ENDS WHENEVER WORK IS SUSPENDED DURING CONSTRUCTION TO PREVENT FOREIGN MATERIAL ENTERING AND LODGING; USE TEMPORARY PLUG, PLASTIC, OR OTHER APPROVED MATERIAL FOR PROTECTION.
- ALL PIPE PENETRATIONS OF FIRE WALLS AND FLOORS SHALL BE PROVIDED WITH PIPE SLEEVES AND FIRE RATED SEALANT. ACCESS PANELS SHALL BE PROVIDED AT LOCATIONS WHERE ACCESSIBILITY IS LIMITED.
- PIPING SHALL BE ACCURATELY CUT TO MEASUREMENTS ESTABLISHED IN THE FIELD AND INSTALLED IN PLACE WITHOUT COLD SPRING OR FORCING INTO ALIGNMENT. FLAME CUTTING OF BEVEL FOR WELDED JOINTS IS NOT ALLOWED. JOINTS SHALL BE FREE OF BURRS AND ALL WELD SPLATTER AND BEADS REMOVED FROM JOINTS. JOINTS SHALL EXHIBIT FULL PENETRATION OF ROOT PASS AND FINAL PASS SHALL BE FREE OF UNDER CUTTING. WELDING PROCEDURES AND WELDS SHALL BE PERFORMED IN ACCORDANCE WITH ANSI B31.1. OBTAIN LOCAL JURISDICTION FIRE DEPARTMENT FIRE WATCH DURING WELDING OF PIPE AND TIE-INS.
- INSTALLATION AND TESTING SHALL COMPLY WITH NFPA 54 AND THE REQUIREMENTS OF THE APPROVING AUTHORITIES AND THIS SECTION. INSTALL PIPING FITTED NOT LESS THAN 1/2" IN 15' SLOPE UPWARD TO RISERS AND DOWN TO METER AND EQUIPMENT. INSTALL BRANCH TEES OF THE SIDE OR TOP OF MAINS AND PROVIDE 6" MINIMUM SIZE DRIP LEGS AT LOW POINTS.
- PROVIDE SHUT-OFF VALVE AND UNION OR FLANGE AT EACH EQUIPMENT CONNECTION. LOCATE VALVE WITHIN 6' OF EQUIPMENT SERVED WITH UNION DOWNSTREAM OF VALVE. PROVIDE CONTROL VALVES AND SHUT-OFF VALVES IN ACCESSIBLE LOCATIONS. DO NOT LOCATE VALVES ABOVE CEILINGS. DRIP LEG TRAPS SHALL BE READILY ACCESSIBLE. IDENTIFY EACH VALVE WITH UNIQUE TAG NUMBER. VALVES INSTALLED GREATER THAN 7'-0" AFF/AFR SHALL BE CHAIN OPERATED.
- INSTALL INDEPENDENT GAS VENT PIPING FROM VENT ON GAS TRAIN AND REGULATORS TO THE BUILDING EXTERIOR (WHERE APPLICABLE).
- INSTALL SYSTEM COMPONENTS AS REQUIRED FOR PROPER TESTING AS SPECIFIED IN THIS SECTION. PROVIDE AUXILIARY ISOLATION AND PURGE VALVES AS REQUIRED FOR CONSTRUCTION PHASING AND SYSTEM TESTING. REMOVE VALVE HANDLES FROM ALL AUXILIARY CONSTRUCTION PHASING AND TESTING VALVES AS DIRECTED BY THE OWNER.
- CONNECTIONS TO EXISTING GAS SYSTEM:

ISOLATE THE EXISTING SECTION OF PIPING BY CLOSING THE CLOSEST UPSTREAM SHUT-OFF VALVE. TEST THE VALVE BY REDUCING THE DOWNSTREAM PRESSURE TO ATMOSPHERIC PRESSURE AND CLOSING ALL OUTLETS. MONITOR THE SYSTEM PRESSURE FOR AT LEAST 2 HOURS TO DETECT ANY INCREASE IN PRESSURE BY LEAKAGE THROUGH THE VALVE.

BEFORE TESTING THE ZONE VALVE, VERIFY THAT OUTLETS ARE NOT LEAKING BY PRESSURIZING THE SECTION OF PIPING BETWEEN THE ZONE VALVE BOX AND THE OUTLETS AND CLOSING THE ZONE VALVE BOX. THE SYSTEM SHOULD MAINTAIN THE SAME SYSTEM PRESSURE WITHOUT A PRESSURE DROP FOR AT LEAST 5 MINUTES.

WHILE WELDING THE NEW CONNECTION, PURGE THE PIPING WITH NITROGEN BACK THROUGH THE NEW CONNECTION FROM THE CLOSEST GAS OUTLET DOWNSTREAM OF THE NEW POINT OF CONNECTION.

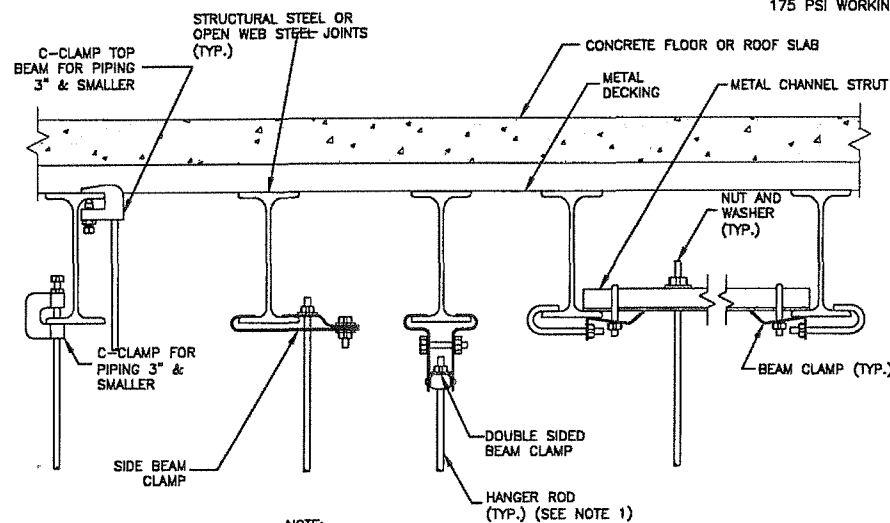
PRESSURIZE THE SYSTEM WITH NITROGEN TO 45 PSIG AFTER WELDING IS COMPLETED. BLOW THE EXISTING PIPING CLEAR FROM THE CLOSEST DOWNSTREAM GAS OUTLET OUT THE NEW CONNECTION INTO A CLEAN WHITE CLOTH UNTIL THERE ARE NO SIGNS OF DISCOLORATION OR PARTICULATES.

REPRESSURIZE THE SYSTEM WITH NATURAL GAS AND PURGE ALL OUTLETS IN THE SYSTEM STARTING WITH THE OUTLET CLOSEST TO THE SOURCE OF SUPPLY. REPEATEDLY PURGE THE EXISTING SYSTEM THROUGH THE EXISTING OUTLETS INTO A CLEAN WHITE CLOTH AT NORMAL SYSTEM WORKING PRESSURE TO VERIFY THAT NO PARTICULATES REMAIN IN THE SYSTEM.

DO NOT MAKE THE NEW CONNECTION TO THE NEW ROUGHED-IN PIPING SYSTEM UNTIL AFTER THE 200 PSI PARTICULATE BLOW-DOWN HAS BEEN PERFORMED.

TEST THE NEW CONNECTION JOINT WITH SOAPY WATER AT NORMAL SYSTEM WORKING PRESSURE.

- IDENTIFICATION OF PIPE DURING CONSTRUCTION: PROVIDE A 6" LONG COLOR-CODED SPRAY PAINT INDICATION ON THE BOTTOM OF PIPE SECTIONS DURING INSTALLATION. IDENTIFY EACH SECTION OF PIPE IMMEDIATELY AFTER INSTALLATION. DO NOT PAINT PIPE JOINTS.
- FINAL IDENTIFICATION OF PIPING AND EQUIPMENT: FLOW ARROWS SHALL POINT FROM THE SOURCE TO THE OUTLETS. INSTALL MARKERS ON PAINTED PIPING ONLY AFTER PAINTING IS COMPLETE AND HAS BEEN ACCEPTED BY THE OWNER. INSTALL MARKER ADJACENT TO ACCESS PANELS IF PIPING IS CONCEALED. STENCIL EQUIPMENT SUCH AS PUMPS, COMPRESSORS, AND TANKS WITH THE NAME OF THE EQUIPMENT AND EQUIPMENT NUMBER. STENCILS SHALL BE AT LEAST 6" HIGH AND SHALL BE A CONTRASTING COLOR WITH THE EQUIPMENT FINISH.
- GAS RELIEF VENT PIPING TO BE EXTENDED TO 3'-0" MIN. ABOVE ROOF AND TERMINATED WITH INSECT SCREEN.



NOTE:

- EQUIPMENT PROVIDE MIN. 3/8" DIA. HANGER ROD (REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS).

PIPE HANGER
SCALE: N.T.S.

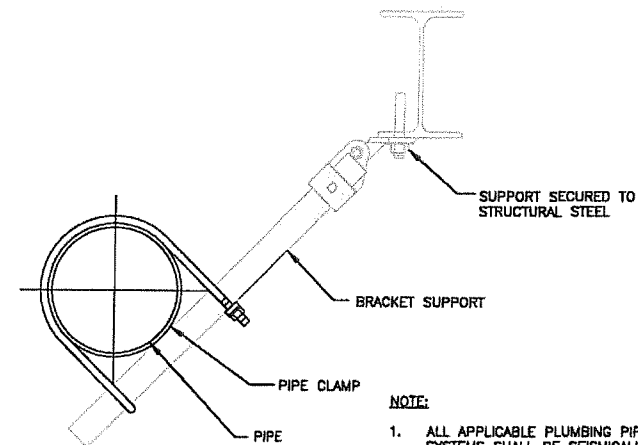
3

FUEL GAS PIPING GENERAL NOTES:

- REFERENCE STANDARDS - ALL MATERIALS, EQUIPMENT WORK AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS 780CMR STATE BUILDING CODE (6TH EDITION) AND 248CMR FUEL GAS AND PLUMBING CODES, AND THE APPLICABLE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI), AMERICAN SOCIETY OF TESTING MATERIALS (ASTM), AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME), NATIONAL ELECTRIC MANUFACTURERS' ASSOCIATION (NEMA), AMERICAN WELDING SOCIETY (AWS), AND CAST IRON SOIL PIPE INSTITUTE (CISPI), AND ANY PERTINENT FEDERAL, STATE LOCAL CODES, LAWS AND ORDINANCES, WHICH REQUIREMENTS HAVE PRECEDENCE OVER THE SPECIFICATIONS IN THE EVENT OF ANY CONFLICT. ANY CONFLICT BETWEEN THE REQUIREMENTS OF THE ABOVE ITEMS OR WITH THESE SPECIFICATIONS SHALL BE REFERRED TO THE ENGINEER.
- PERMITS, FEES, AND NOTICES - SECURE AND PAY FOR THE BUILDING PERMITS AND FOR ALL OTHER PERMITS OR GOVERNMENTAL FEES, LICENSES, INSPECTIONS, AND NOTICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK, WHICH ARE CUSTOMARILY SECURED AFTER EXECUTION OF THE CONTRACT, WHICH ARE LEGALLY REQUIRED AT THE TIME THE BIDS ARE RECEIVED. GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, GIVE SUFFICIENT NOTICE OF ITS READINESS FOR INSPECTION.
- PROJECT RECORD DOCUMENTS - MAINTAIN A SET OF DRAWINGS AT THE SITE ON WHICH SHALL BE ACCURATELY SHOWN THE ACTUAL INSTALLATION OF ALL WORK INDICATING THEREON ANY VARIATIONS FROM THE CONTRACT DRAWINGS, INCLUDING CHANGES IN SIZES, LOCATION AND DIMENSIONS. PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS TO OWNER AND ENGINEER UPON COMPLETION OF PROJECT.
- OPERATING AND MAINTENANCE INSTRUCTIONS - PROVIDE A COMPETENT ENGINEER OR TECHNICIAN TO INSTRUCT THE OPERATING PERSONNEL IN THE OPERATION AND MAINTENANCE OF EQUIPMENT AND SYSTEMS. A COPY OF THE OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED AT THIS TIME. PROVIDE A MINIMUM OF 40 HOURS TRAINING ON MECHANICAL SYSTEMS, OR AS SPECIFIED IN EACH MECHANICAL SECTION OF THESE SPECIFICATIONS.
- CLEANING - KEEP THE WORK AREAS, INCLUDING ANY FABRICATION, AND STORAGE AREAS, FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THIS OPERATION. AT THE COMPLETION OF THE WORK REMOVE ALL CONSTRUCTION DEBRIS, TEMPORARY FACILITIES AND EQUIPMENT FROM THE WORK AREA, AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS. IF THE CONTRACTOR FAILS TO CLEAN UP AT THE COMPLETION OF THE WORK, THE OWNER MAY DO SO AND THE COST THEREOF SHALL BE CHARGED TO THE CONTRACTOR.
- CUTTING AND PATCHING - PERFORM ALL CUTTING, FITTING OR PATCHING REQUIRED TO COMPLETE THE WORK OR MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY.
- ELECTRICAL WORK - MOTORS, COMBINATION MAGNETIC MOTOR STARTERS, SWITCHES AND CONTROLS SHALL BE FURNISHED FOR ALL ELECTRICALLY DRIVEN EQUIPMENT SPECIFIED HEREIN AND SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE ELECTRICAL SPECIFICATIONS. ELECTRICAL POWER WIRING SHALL BE FURNISHED AND INSTALLED AS INDICATED ON THE ELECTRICAL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND PROPER RELATIONSHIP OF HIS WORK TO THE BUILDING STRUCTURE AND OTHER TRADES. PARTICULAR ATTENTION IS DIRECTED TO WORK IN CONGESTED AREAS SUCH AS EQUIPMENT ROOMS, FURRED SPACES ABOVE HUNG CEILING, ETC. ALL CONFLICTS SHALL BE RESOLVED BY THE GENERAL CONTRACTOR AND APPROVED BY THE ENGINEER. ALL WORK SHALL BE COORDINATED WITH ALL TRADES INVOLVED. OFFSETS FOR PIPING TO ACCOMMODATE OBSTRUCTIONS AND TRANSITIONS AROUND OBSTRUCTION SHALL BE PROVIDED WITH NO ADDITIONAL COST TO VERIZON WIRELESS.

FUEL GAS PRODUCTS:

- BOLTS, ANCHOR BOLTS AND NUTS - ALL NECESSARY BOLTS, ANCHOR BOLTS, NUTS, WASHERS, PLATES AND BOLT SLEEVES SHALL BE PROVIDED IN ACCORDANCE HERewith. ANCHOR BOLTS SHALL HAVE SUITABLE WASHERS, LOCK WASHERS AND HEXAGONAL NUTS. BOLTS, ANCHOR BOLTS, NUTS AND WASHERS SPECIFIED TO BE GALVANIZED, SHALL BE ZINC COATED AFTER BEING THREADED BY THE HOT-DIP PROCESS.
- PIPE HANGERS & SUPPORTS - PIPE HANGERS AND SUPPORTS, HANGER RODS, PROTECTION SADDLES AND INSERTS SHALL BE TYPE NUMBERS BASED ON MANUFACTURER'S STANDARDIZATION SOCIETY SP-69, UNLESS OTHERWISE INDICATED. PIPE COVERING PROTECTION SADDLES: TYPES 39 OR 40. PIPE HANGERS: TYPES 1, 41, AND 43, OR FEE AND MASON #212 SPLIT RING HANGERS WITH SUPPORTING RODS. SPRING HANGERS: TYPES 49, 51, OR 53. ANCHORS: GRINNELL FIG. 197 OR FEE & MASON FIG. 159. PIPE GUIDES: GRINNELL FIG. 256, C & P FIG. 1007, OR ELCEM FIG. 411.
- ALL PIPING SYSTEMS SHALL BE SEISMICALLY BRACED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE MASSACHUSETTS STATE BUILDING CODE AND NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CURRENT EDITION. REFER TO DETAILS FOR SEISMIC PIPE BRACING.
- FUEL GAS PIPE INSIDE BUILDING: SIZES 3" AND SMALLER SHALL BE SCHEDULE 40 CARBON STEEL PIPE WITH MALLEABLE IRON SCREWED FITTINGS.
- FUEL GAS PIPE OUTSIDE OF BUILDING SHALL BE POLYMER COATED, SCHEDULE 40 BLACK PIPE AND FITTINGS WITH WELDED JOINTS. ALL HANGER MATERIALS OUTSIDE OF BUILDING TO BE HOT DIPPED GALVANIZED. ALL NUTS, WASHERS & BOLTS TO BE STAINLESS STEEL.
- FUEL GAS SHUT-OFF VALVES 2-1/2" AND SMALLER: APOLLO 77.100 FULL PORT BRONZE BODY WITH TEE HANDLE. 2-1/2" AND LARGER: NORDSTORM 143, SERCK AUDCO LSW-133-GG, OR WALWORTH 175 PSI WORKING PRESSURE IRON BODY LUBRICATED PLUG VALVE WITH FLANGED ENDS.

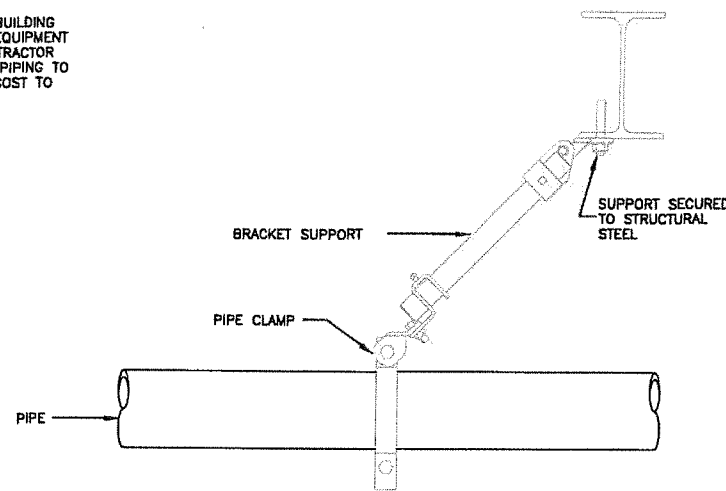


NOTE:

- ALL APPLICABLE PLUMBING PIPING SYSTEMS SHALL BE SEISMICALLY BRACED AND INSTALLED PER APPLICABLE SECTIONS OF THE MASS. STATE BUILDING CODE LATEST EDITIONS.

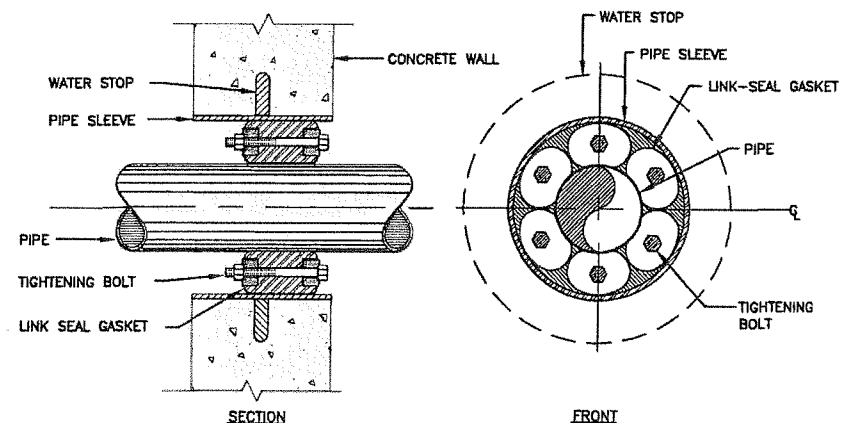
LATERAL TRANSVERSE BRACE
SCALE: N.T.S.

1



LONG SEISMIC BRACING
SCALE: N.T.S.

2



NOTES:

- LINK SEAL PIPE SLEEVE TO BE GALVANIZED STEEL FOR UNDERGROUND OR EXTERIOR APPLICATIONS.
- PIPE SLEEVE TO BE STEEL OR PLASTIC FOR INTERIOR

WATERTIGHT LINK SEAL
SCALE: N.T.S.

4



VERIZON WIRELESS
118 FLANDERS ROAD
WESTBOROUGH, MA 01581-3956

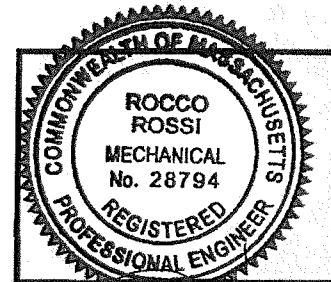
**CAMBRIDGE 5 MA
(LESLEY UNIVERSITY)**

CONSTRUCTION DRAWINGS

1	04/14/17	FOR SUBMITTAL
0	05/24/16	FOR SUBMITTAL
A	04/12/16	FOR REVIEW



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



DRAWN BY: MR

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50069466

SITE ADDRESS:

1815 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02140

SHEET TITLE

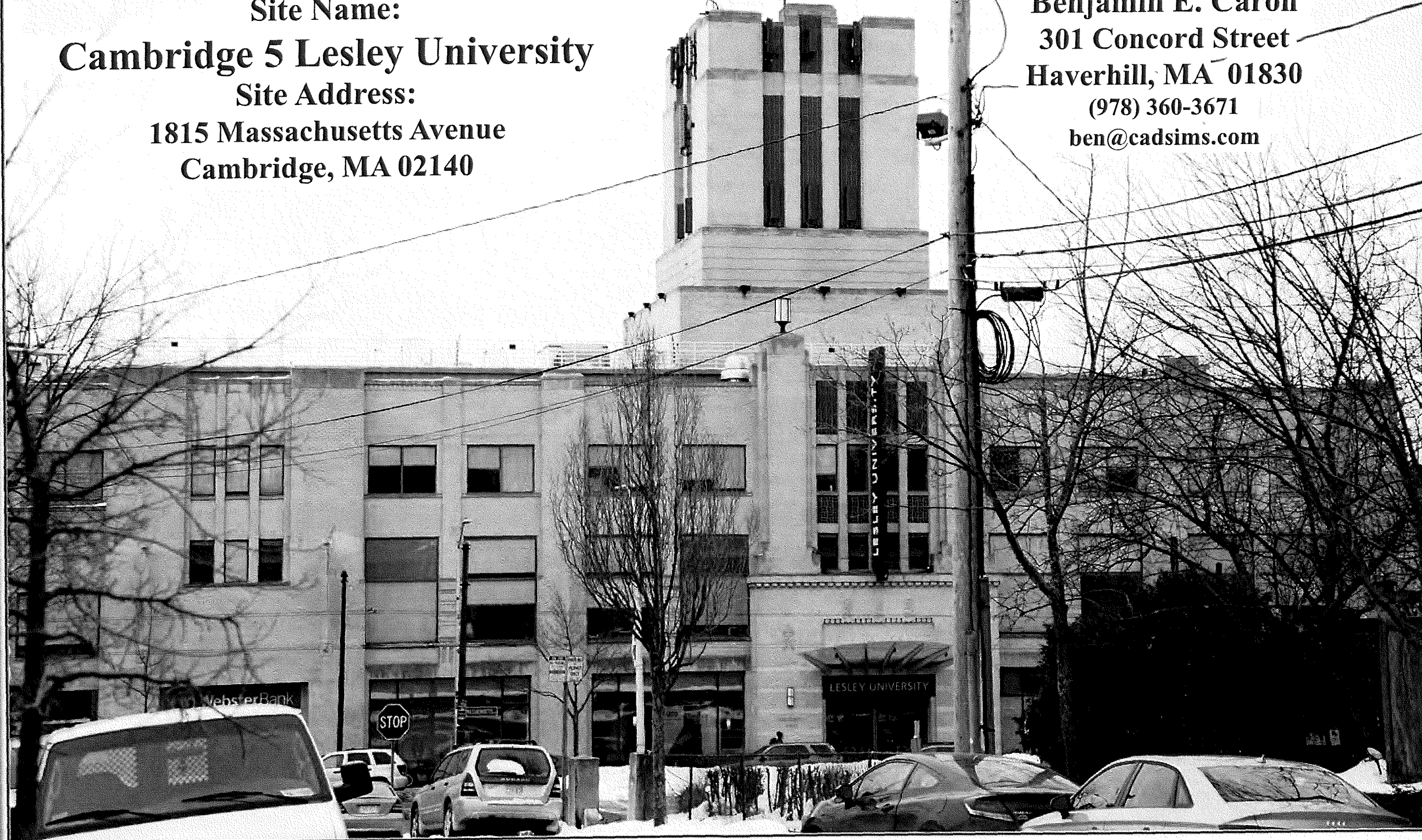
NATURAL GAS PIPING
NOTES & DETAILS

SHEET NUMBER



Prepared For:
Verizon Wireless
 Site Name:
Cambridge 5 Lesley University
 Site Address:
1815 Massachusetts Avenue
Cambridge, MA 02140


Prepared By:
Caron & Associates Design
 Benjamin E. Caron
 301 Concord Street
 Haverhill, MA 01830
 (978) 360-3671
 ben@cad sims.com



For visual reference only. Actual visibility is dependent upon weather conditions, season, sunlight, and viewer location.

Based upon Rev. 1 LE by Dewberry dated: 11/09/2015 & Antenna Design by VZW dated 3/18/2015

Cambridge 5 ~ Lesley University ~ (2/26/2016)
Photographic Renderings

Created By: Ben Caron & Mike Barreiros
 Caron & Associates Design
 (978) 360-3671 info@cad sims.com




For visual reference only. Actual visibility is dependent upon weather conditions, season, sunlight, and viewer location.

Based upon Rev. 1 LE by Dewberry dated: 11/09/2015 & Antenna Design by VZW dated 3/18/2015

Cambridge 5 ~ Lesley University ~ (2/26/2016)

Photo Location Map

Created By: Ben Caron & Mike Barreiros
 Caron & Associates Design
(978) 360-3671 info@cadsim.com

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Lesley University
(OWNER)

Address: 29 Everett Street, Cambridge MA 02138

State that I/We own the property located at 1815 Massachusetts Avenue, which is the subject of this zoning application.

The record title of this property is in the name of Lesley University

*Pursuant to a deed of duly recorded in the date 4/5/1995, Middlesex South County Registry of Deeds at Book 25269, Page 543; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Maylou Batt
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

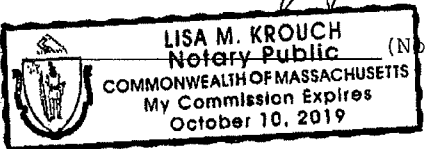
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Maylou Batt personally appeared before me, this 27th of June, 2017, and made oath that the above statement is true.

Lisa M. Krouch Notary

My commission expires



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



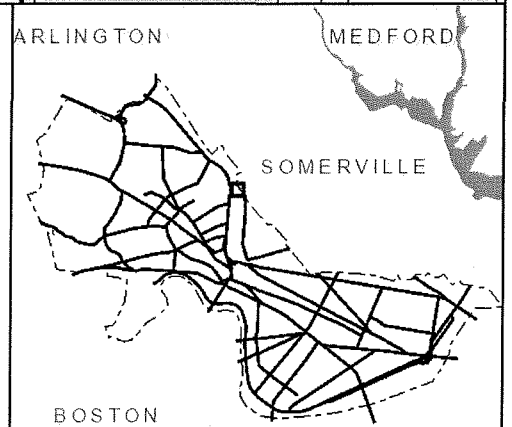
City of Cambridge
Massachusetts

1" = 96 ft

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

www.cambridgema.gov/gis

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - ⋄ Sidewalks
 - ⋄ Driveways
 - ⋄ Alleys
 - ⋄ Other Paved Surface
 - Public Footpath





For visual reference only. Actual visibility is dependent upon weather conditions, season, sunlight, and viewer location.

Based upon Rev. 1 LE by Dewberry dated: 11/09/2015 & Antenna Design by YZW dated 3/18/2015

Cambridge 5 ~ Lesley University ~ (2/26/2016)
Photo Location 1 ~ 85mm ~ 500'+/- (0.09mi) Away

Created By: Ben Caron & Mike Barreiros
CAD Caron & Associates Design
(978) 360-3671 info@cadsims.com



For visual reference only. Actual visibility is dependent upon weather conditions, season, sunlight, and viewer location.

Based upon Rev. 1 LE by Dewberry dated: 11/09/2015 & Antenna Design by VZW dated 3/18/2015

Cambridge 5 ~ Lesley University ~ (2/26/2016)

Photo Location 5 ~ 50mm ~ 236'+/- (0.04mi) Away

Created By: Ben Caron & Mike Barreiros
CAD Caron & Associates Design
(978) 360-3671 info@cadsim.com

ULS License

Cellular License - KNKA201 - Cellco Partnership

Call Sign	KNKA201	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

Market

Market	CMA006 - Boston-Lowell-Brockton-Lawrence-Haverhill, MA-NH	Channel Block	B
Submarket	0	Phase	2

Dates

Grant	08/26/2014	Expiration	10/01/2024
Effective	11/01/2016	Cancellation	

Five Year Buildout Date

08/27/1989

Control Points

3 500 W. Dove Rd., TARRANT, Southlake, TX
P: (800)264-6620

Licensee

FRN	0003290673	Type	General Partnership
-----	------------	------	---------------------

Licensee

Cellco Partnership 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
---	---

Contact

Cellco Partnership Licensing Manager 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
--	---

Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

The Applicant answered "No" to each of the Alien Ownership questions.

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

Race	
Ethnicity	Gender

ULS License

PCS Broadband License - KNLH242 - Cellco Partnership

Call Sign	KNLH242	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

Market

Market	BTA051 - Boston, MA	Channel Block	F
Submarket	0	Associated Frequencies (MHz)	001890.00000000-001895.00000000-001970.00000000-001975.00000000

Dates

Grant	07/23/2007	Expiration	06/27/2017
Effective	11/01/2016	Cancellation	

Buildout Deadlines

1st	06/27/2002	2nd	
-----	------------	-----	--

Notification Dates

1st	05/17/2002	2nd	
-----	------------	-----	--

Licensee

FRN	0003290673	Type	Joint Venture
-----	------------	------	---------------

Licensee

Cellco Partnership 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
---	---

Contact

Verizon Wireless Licensing - Manager 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
--	---

Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	No

ULS License

AWS (1710-1755 MHz and 2110-2155 MHz) License - WQGA900 - Cellco Partnership

Call Sign	WQGA900	Radio Service	AW - AWS (1710-1755 MHz and 2110-2155 MHz)
Status	Active	Auth Type	Regular
Market			
Market	BEA003 - Boston-Worcester-Lawrence-Lowell-Brockton, MA-NH-RI-VT	Channel Block	B
Submarket	1	Associated Frequencies (MHz)	001720.00000000-001730.00000000-002120.00000000-002130.00000000

Dates

Grant	11/29/2006	Expiration	11/29/2021
Effective	11/01/2016	Cancellation	

Buildout Deadlines

1st	2nd
-----	-----

Notification Dates

1st	2nd
-----	-----

Licensee

FRN	0003290673	Type	General Partnership
-----	------------	------	---------------------

Licensee

Cellco Partnership 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
---	---

Contact

Cellco Partnership Licensing Manager 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
--	---

Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

The Applicant answered "No" to each of the Alien Ownership questions.

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Tribal Land Bidding Credits

This license did not have tribal land bidding credits.

ULS License

AWS (1710-1755 MHz and 2110-2155 MHz) License - WQGB266 - Cellco Partnership

Call Sign	WQGB266	Radio Service	AW - AWS (1710-1755 MHz and 2110-2155 MHz)
Status	Active	Auth Type	Regular
Market			
Market	CMA006 - Boston-Lowell-Brockton-Lawrence-Haverhill, MA-NH	Channel Block	A
Submarket	0	Associated Frequencies (MHz)	001710.00000000-001720.00000000-002110.00000000-002120.00000000

Dates

Grant	11/29/2006	Expiration	11/29/2021
Effective	11/01/2016	Cancellation	

Buildout Deadlines

1st	2nd
-----	-----

Notification Dates

1st	2nd
-----	-----

Licensee

FRN	0003290673	Type	General Partnership
-----	------------	------	---------------------

Licensee

Cellco Partnership 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
---	---

Contact

Cellco Partnership Licensing Manager 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
--	---

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the	

ULS License

700 MHz Upper Band (Block C) License - WQJQ689 - Cellco Partnership**PA** This license has pending applications: 0007581227

Call Sign	WQJQ689	Radio Service	WU - 700 MHz Upper Band (Block C)
Status	Active	Auth Type	Regular
Market			
Market	REA001 - Northeast	Channel Block	C
Submarket	0	Associated Frequencies (MHz)	000746.00000000- 000757.00000000 000776.00000000- 000787.00000000

Dates

Grant	11/26/2008	Expiration	06/13/2019
Effective	01/31/2017	Cancellation	

Buildout Deadlines

1st	06/13/2013	2nd	06/13/2019
-----	------------	-----	------------

Notification Dates

1st	06/20/2013	2nd	
-----	------------	-----	--

Licensee

FRN	0003290673	Type	General Partnership
-----	------------	------	---------------------

Licensee

Cellco Partnership 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
---	---

Contact

Verizon Wireless Licensing Manager 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
--	---

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

The Applicant answered "No" to each of the Alien Ownership questions.

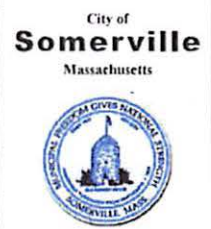
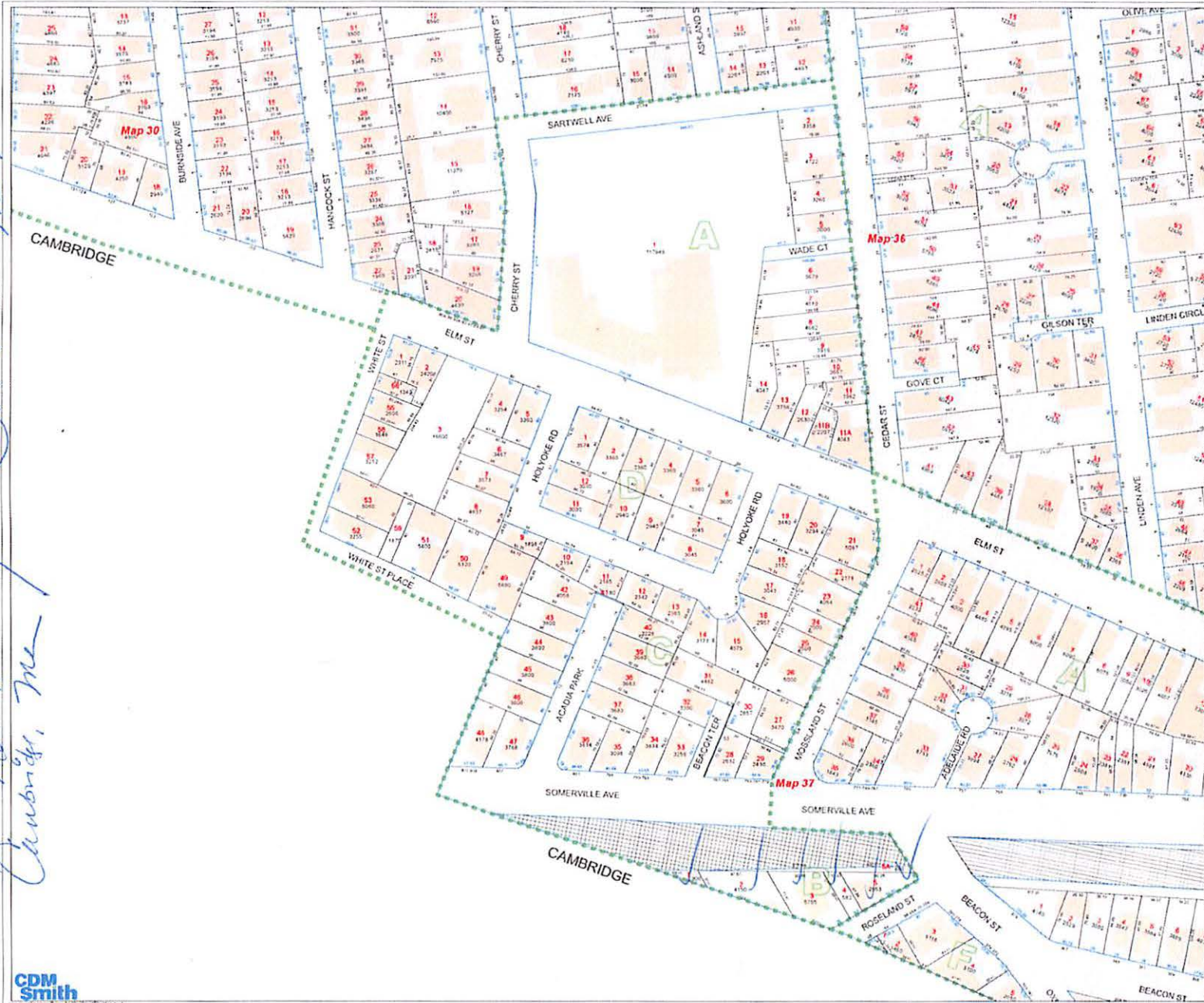
Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Tribal Land Bidding Credits

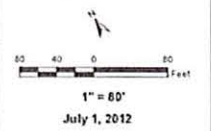
This license did not have tribal land bidding credits.

*815 Mass Ave / Somerville map
Cambridge, Ma*



Assessors Map

- Parcel Boundary
 - Block/ROW Boundary
 - - - Other ROW Boundary
 - Assessor Map Boundary
 - Water Body
 - Building
 - Railroad ROW
-
- 10' 4" Lot Dimension
 - 7 Lot Number
 - 5000 Square Footage
 - 50 Frontage Dimension
 - 155 Street Address



Sources: Right-of-way and building footprints were originally developed from Boston Edison Company data 1995, and have been updated by City of Somerville. Parcel data were originally developed from assessor maps by CDM Smith 2009 and have been updated by CDM Smith based on City of Somerville records.

NOTE: The data represented on this map indicate address and deeded locations of updated boundaries in the City of Somerville. They are NOT survey data and should not be treated as such.



31



1815 Mass Ave Petitioner

176-13
CROWLEY, STEPHEN A.
2 ARLINGTON ST., UNIT #1
CAMBRIDGE, MA 02139

176-13
COLLINS, MARGARET R.
2-6 ARLINGTON ST., #2
CAMBRIDGE, MA 02140

ROBINSON & COLE
C/O MICHAEL S. GIAIMO, ESQ.
ONE BOSTON PLACE, 25TH FL.
BOSTON, MA 02108

176-13
WFB FUTURAMA RENTALS LLC.
C/O RESOURCE CAPITAL GROUP
17 IVALOO ST
SOMERVILLE, MA 02143

176-13
LIU, HUI & KE SHEN
4 ARLINGTON ST. UNIT#1
CAMBRIDGE, MA 02140

176-13
THEALL, STEPHEN J. JR.
4 ARLINGTON ST., UNIT #2
CAMBRIDGE, MA 02140

176-13
SPILKER, HAROLD D. III &
KIRSTEN OLSON SPILKER
11 CAMPBELL PARK
SOMERVILLE, MA 02144

177-55
THAYER DOUGLAS & DONALD THAYER
ARLINGTON ST REAL ESTATE
C/O THAYER & ASSOCIATES
1812 MASS AVE
CAMBRIDGE, MA 02140

177-55
MORSE, PHILIP
TRUSTEE OF PHILIP MORSE TRUST
7 ARLINGTON ST. UNIT# 7/57
CAMBRIDGE, MA 02140

176-13
SMITH, JULIA
4 ARLINGTON ST., UNIT #6
CAMBRIDGE, MA 02139

176-13
BERKELEY, JEROME
4 ARLINGTON ST. UNIT#4/7
CAMBRIDGE, MA 02139

176-13
CROWLEY, JR., STEPHEN ANTHONY &
ANGELA MARIE BISANTI
2610 MARINE AVE., SW, UNIT A
SEATTLE, WA 98116

177-55
OXFORD COURTS REALTY INC. ARLINGTON
STREET REAL ESTATE TRUST
C/O THAYER & ASSOCIATES
1812 MASSACHUSETTS AVE
CAMBRIDGE, MA 02140

176-13
WEJKSNORA, RUTH & LILA GARROTT
46 VINAL AVE #1
SOMERVILLE, MA 02143

176-13
LIGRESTI, LEONARDO & SILVA SPRINGOLO
VIA MILAZZO 7,
35139 PADOVA, _ _

176-13
PALMER, DOUGLAS J.,
C/O OXFORD STREET REALTY, INC.
1644 MASS AVE
CAMBRIDGE, MA 02138

176-13
SCHILLER, LAUREN E.
5421 S. CORNELL AVE #9
CHICAGO, IL 60615

176-13
NEELY, CLAIRE G.
2 ARLINGTON ST #11
CAMBRIDGE, MA 02140

176-13
RUHELA, VIJAY & ARUN BHATIA
2 ARLINGTON ST. UNIT#12
CAMBRIDGE, MA 02140

176-13
CHU, ANDREW C.
10849 N STERLING ROAD
CUPERTINO, CA 95014

176-13
CHANG, CHRISTINE Z. & PATRICK C. MCLEAN
2-6 ARLINGTON ST., #2/21
CAMBRIDGE, MA 02140

176-13
KEIFER, SUSAN MARGARET
1216 CONGRESSIONAL LANE
WILMINGTON, NC 28411

176-13
WHITE, ROSEMARY D. & MARY H. WHITE
2 ARLINGTON ST. UNIT#23
CAMBRIDGE, MA 02140

176-13
LEE, HYEJIN
1 EARHART ST #506
CAMBRIDGE, MA 02141

176-13
RABB, INTISAR
2 ARLINGTON ST. UNIT#32
CAMBRIDGE, MA 02140

176-13
BOARDMAN, RICHARD B. & LYNNE A. STANTON
2 ARLINGTON ST. UNIT#33
CAMBRIDGE, MA 02140

176-13
POWELL, MARTHA
4 ARLINGTON ST. UNIT#10
CAMBRIDGE, MA 02139

176-13
HOFFMAN, JANICE
64 BETTS RD
BELMONT, MA 02478

176-13
WFB FUTURAMA RENTALS LLC.
C/O ALEX STEINBERGH & R. STANLEY BOWDEN
17 IVALOO ST. SUITE #100
SOMERVILLE, MA 02143

176-13
STUART, SEBASTIAN & STEPHEN D. MCCAULEY
4 ARLINGTON ST #21
CAMBRIDGE, MA 02140

176-13
LANDERS, DEBORAH D.
4 ARLINGTON ST., UNIT #22
CAMBRIDGE, MA 02140

176-13
CANNAVA, CHRISTINE M.
4 ARLINGTON ST #31
CAMBRIDGE, MA 02140

176-13
BROOKS, JAMES E.
364 SPRING ST
PORTLAND, ME 04102

176-13
PODBELSKI, JANA J.
334 PROVIDENCE RD
SO. GRAFTON, MA 01560

176-13
DALTON, KATHY L.
6 ARLINGTON ST #12
CAMBRIDGE, MA 02140

176-13
POPE, WILLARD R. & SYLVIA C. POPE
6 ARLINGTON ST., #21
CAMBRIDGE, MA 02140

176-13
BOWDEN, SHAREN K. C/O R C G
17 IVALOO ST, STE 100
SOMERVILLE, MA 02143

176-13
FREIDBERG, SUSANNE
6 ARLINGTON ST., UNIT #6/31
CAMBRIDGE, MA 02140

176-13
HU, CHIA-LING & CINDY HU
6 ARLINGTON ST., #32
CAMBRIDGE, MA 02140

176-13
JI, XIAOAN & ZHAODIAN JI
4 ARLINGTONST. UNIT#11A
CAMBRIDGE, MA 02140

176-13
BROMBERGER, SYLVAIN &
NANCY L. BROMBERGE
4 ARLINGTON ST., UNIT #12A
CAMBRIDGE, MA 02140

176-13
PARUCHURI, SRINIVAS S.K. & S.R.A. PARUCHURI
1060 OAKTREE LN
BLOOMFIELD HILLS, MI 48304

177-55
1812 MASSACHUSETTS AVENUE LLC,
C/O W.T. PHELAN INS. AGENCY
63 TRAPELO ROAD
BELMONT, MA 02478

176-13
SIMONS, REBECCA L.
1800 MASS AVE, #3
CAMBRIDGE, MA 02140

176-13
TSERLIN, ELINA
1800 MASS AVE. UNIT#4
CAMBRIDGE, MA 02140

176-13
LIN, ALEXANDER & CHUN PI LIN HUANG
1800 MASSACHUSETTS AVE. - UNIT 800/5
CAMBRIDGE, MA 02140

176-13
DANBERG, SEYMOUR A. TRUSTEE DANBERG
CAMBRIDGE REALTY TRUST
P.O. BOX 425091
CAMBRIDGE, MA 02140

176-13
PARUCHURI, ANJUANEYULU
1060 OAKTREE LN
BLOOMFIELD HILLS, MI 48304

176-13
AZABU, LLC
1-3-15 MINAMI
AZABU, MINATOKI, _ _

176-13
GOODCHILD, ANDREW, KAYOKO TAZAWA &
CITY OF CAMBRIDGE TAX TITLE
1800 MASSACHUSETTS AVE., UNIT 800/9
CAMBRIDGE, MA 02139

176-13
S.R.A. PARUCHURI
1060 OAKTREE LN
BLOOMFIELD HILLS, MI 48304

176-13
CHAO, HUNG-HSING
1800 MASSACHUSETTS AVE., #11
CAMBRIDGE, MA 02140

176-13
BOWDEN, KRISTEN M.
C/O ALEX STEINBERGH & R. STANLEY BOWDEN
17 IVALOO ST., SUITE#100
SOMERVILLE, MA 02143

176-13
HARRIS, RICHARD A. & PATRICIA HARRIS
1800 MASS AVE. UNIT#14
CAMBRIDGE, MA 02140

176-13
LIFSEY, ANGELA
1800 MASS AVENUE, UNIT 80021
CAMBRIDGE, MA 02140

176-13
BOWDEN, MILISSA L.
C/O RCG
17 IVALOO ST., SUITE #100
SOMERVILLE, MA 02143

176-13
GRAZIOSI, ANDREA
VIA ISOLA MADRE 3
00141
ROMA, - --

176-13
SHIUE, REN-JYE & CHIH-WEI CHANG
1800 MASSACHUSETTS AVE., #80031
CAMBRIDGE, MA 02140

176-13
MARGULIS T. N.
C/O RCG LLC,
17 IVALOO ST., SUITE#100
SOMERVILLE, MA 02143

176-13
HUANG, CHUN PI LIN
1800 MASS AVE. UNIT#33
CAMBRIDGE, MA 02140

176-13
PERDIKOLOGOS, CONSTANTINA &
FOTINI PERDIKOLOGOS
1802 MASS AVE., #11
CAMBRIDGE, MA 02138

176-13
LIU, HONG,
TR. 1802 MASSACHUSETTS AVE REALTY TR.
1673 CAMBRIDGE ST.
CAMBRIDGE, MA 02138

177-55
MCDONAGH, JOHN P
5 ARLINGTON ST.
CAMBRIDGE, MA 02140

177-71-79 /152-17-18-51 /153-85
LESLEY COLLEGE
29 EVERETT STREET
CAMBRIDGE, MA 02138

176-13
WEISS, JUDITH
21 ORCHARD ST., #2
CAMBRIDGE, MA 02140

152-47
MAYER, EDWARD A. & LOUISE M. MAYER
140 TREBLE COVE RD
BILLERICA, MA 01821

177-34
1868 MASS AVE LLC
109 SCHOOL ST
WATERTOWN, MA 02472

177-55
JALAL, AYESHA
92 ORCHARD ST.
SOMERVILLE, MA 02144

177-55
UCHIDA, YOKO
4348 WAIALAE AVE - 923
HONOLULU, HI 96816

177-55
KNOLL, VANESSA
3 ARLINGTON ST., #3/3
CAMBRIDGE, MA 02140

177-55
CARTAGINE, CARLOS
3 ARLINGTON ST. UNIT#3/4
CAMBRIDGE, MA 02139

177-55
SORRENTINO, MARIE SANDY
SORRENTINO REAL ESTATE LLC
262 COLLAMER RD
HILTON, NY 14468

177-55
WU, FEI
3 ARLINGTON ST., #3/6
CAMBRIDGE, MA 02140

177-55
ABID, ZEHRA & CITY OF CAMBRIDGE TAX TITLE
1-7 ARLINGTON ST., UNIT #3/7
CAMBRIDGE, MA 02140

177-55
FERNANDEZ, MERCEDES
3333 NE 34TH ST #1505
FT. LAUDERDALE, FL 33308

177-55
BHADURI, SHAHANA
5 ARLINGTON ST. APT 1
CAMBRIDGE, MA 02140

177-55
SHAO, MIN & YING CHEN
C/O PHILIP TSENG
51 PETTEE ST #16
NEWTON, MA 02464

177-55
SCOTT, LAURIE A.
5 ARLINGTON ST #3
CAMBRIDGE, MA 02140

177-55
PLAYFAIR, SUSAN R.
249 JERUSALEM RD.
COHASSET, MA 02025

177-55
DURSO, JAMES E & ELIZABETH L. FOSNIGHT
C/O OXFORD STREET REALTY
1644 MASS AVE
CAMBRIDGE, MA 02138

177-55
LOCSIN, JEAN LOUIS.
5 ARLINGTON ST. UNIT#22
CAMBRIDGE, MA 02140

177-55
FILENE, JACOB F.
1460 BLUE JAY CIRCLE
WESTON, FL 33327

177-55
JAMES, WILLIAM D. & NANCY B. JAMES
7 ARLINGTON ST #2
CAMBRIDGE, MA 02140

152-19
RICCI, DOMENICK & JOSEPHINE RICCI
C/O MAREK JITKA
57 ROSELAND STREET #3
SOMERVILLE, MA 02143

177-55
MYERS, ALAN G.
7 ARLINGTON ST #4
CAMBRIDGE, MA 02140

177-55
ORFALI, MERCEDES
3333 NE 34TH ST #1505
FT. LAUDERDALE, FL 33308

177-55
MARENTES LUIS A. & NEGAR TARADJI
31 WILLOW ST
CONCORD, MA 01742

177-55
ASHLEY, GISELA
7 ARLINGTON ST #7
CAMBRIDGE, MA 02140

177-55
TERWILLIGER, CYNTHIA J.
7 ARLINGTON ST #8
CAMBRIDGE, MA 02140

177-55
TOBIN, SUSANNAH BARTON
3 ARLINGTON ST. UNIT# 21
CAMBRIDGE, MA 02140

177-55
DONG, HUI,
TR. THE ARLINGTON PORTER TRUST
PO BOX 456
WINCHESTER, MA 01890

177-55
THORNE, NELL
3 ARLINGTON ST., UNIT #3/25
CAMBRIDGE, MA 02140

177-55
PAGE, PATRICK G. & KAREN J. PAGE
3 ARLINGTON STREET #3-31
CAMBRIDGE, MA 02140

177-55
ALTMAN, ALISON
3 ARLINGTON STREET UNIT #3-34
CAMBRIDGE, MA 02140

177-55
JI, XIAOAN & ZHAODIAN JI
4 ARLINGTON ST., #11A
CAMBRIDGE, MA 02139

177-55
SUTHERLAND, LUCY R. TR. THE SUTHERLAND
ARLINGTON STREET REALTY TRUST
3 ARLINGTON ST., UNIT #43
CAMBRIDGE, MA 02140

177-55
CHANG, NANCY T. TRUSTEE OF NANCY T.
CHANG REVOCABLE TRST REVOCABLE TRUST
1644 MASS AVE
CAMBRIDGE, MA 02138

177-55
THAYER DOUGLAS G. & DONALD THAYER
ARLINGTON ST REAL ESTATE TRUST
C/O THAYER & ASSOCIATES
1812 MASSACHUSETTS AVE
CAMBRIDGE, MA 02140

177-55
MCNULTY, JAMES P.
3 ARLINGTON ST #55
CAMBRIDGE, MA 02140

177-55
BENNETT, MONICA M. & MICHAEL F. BENNETT
TRUSTEE OF M.M.B. LIVING TRUST
5 ARLINGTON ST. UNITS/21
CAMBRIDGE, MA 02140

177-55
LU, CHENCHEN & QIHAN LIU
3 ARLINGTON ST., #23
CAMBRIDGE, MA 02140

177-55
ROVINELLI, H. PAUL
3 ARLINGTON ST. UNIT#26
CAMBRIDGE, MA 02140

177-55
LOI, SALLY
3 ARLINGTON ST. UNIT#32
CAMBRIDGE, MA 02140

177-55
SAVAGE, ELIZABETH B.
3 ARLINGTON ST., #3/35
CAMBRIDGE, MA 02140

177-55
GOPINATH, DINESH
3 ARLINGTON STREET #3/41
CAMBRIDGE, MA 02140

177-55
BRAV, JULIA, PETER BRAV & JANET BRAV
3 ARLINGTON ST., UNIT #3/44
CAMBRIDGE, MA 02140

177-55
ORFALI, MERCEDES
3333 NE 34TH ST #1505
FT. LAUDERDALE, FL 33308

177-55
SIMMONS, ALFRED M.
3 ARLINGTON ST., UNIT #3
CAMBRIDGE, MA 02140

177-55
DAHER, SALEH JR. & JONE ABOITIZ DAHER
3 ARLINGTON ST., UNIT #57
CAMBRIDGE, MA 02140

177-55
YU, KONGJIAN
5 ARLINGTON ST. UNIT#22
CAMBRIDGE, MA 02140

177-55
HUGHES, ELISABETH
3 ARLINGTON ST., UNIT #24
CAMBRIDGE, MA 02140

177-55
LAW, MICHAEL
3 ARLINGTON STREET UNIT #3-27
CAMBRIDGE, MA 02140

177-55
WELCH, RYAN P. & KATHERINE J. WELCH
27 PINE ST.
MELROSE, MA 02176

177-55
JI, XIAOAN & ZHAODIAN JI
4 ARLINGTON ST., #11A
CAMBRIDGE, MA 02139

177-55
HUANG, IRENE C. & ANDREW WANG
166 WOODCLIFF ROAD
NEWTON, MA 02161

177-55
PAOLINI, ELENA L.
3 ARLINGTON ST. UNIT#45
CAMBRIDGE, MA 02140

177-55
HOFMANN, ANDREAS G.,
TR. OF THE ROSEMARIE HOFMANN
IRREVOCABLE TRS
3 ARLINGTON ST., UNIT 3/51
CAMBRIDGE, MA 02140

177-55
MURPHY, KATHLEEN M.,
TRUSTEE THE MOLLY SOLOMON TRUST
P.O. BOX 427
MARBLEHEAD, MA 01945

153-83
FARRINGTON, SARAH M.,
SAMUEL F. & JOHN L. FARRINGTON
28 ROSELAND ST., #1
CAMBRIDGE, MA 02140

177-55
COLLINS, JOHN A. C/O ANDY ZWICK
350 WEST 42ND ST #37C
NEW YORK, NY 10036

177-55
SOLOMON, LESLIE J.
5 ARLINGTON ST UNIT #24
CAMBRIDGE, MA 02140

177-55
MOORES, MARJORIE J.
5 ARLINGTON ST #31
CAMBRIDGE, MA 02140

177-55
BANKLER, BETH A.
5 ARLINGTON ST #34
CAMBRIDGE, MA 02140

177-55
BUFFUM, TIMOTHY A.
5 ARLINGTON ST. UNIT#41
CAMBRIDGE, MA 02140

177-55
RUBINSKY, MELISSA B.
5 ARLINGTON ST #44
CAMBRIDGE, MA 02140

177-55
FANTASIA, MEREDITH
5 ARLINGTON ST., #5/51
CAMBRIDGE, MA 02140

177-55
LICUANAN, FRANCISCO & VICTORIA LICUANAN
5 ARLINGTON ST., UNIT #54
CAMBRIDGE, MA 02140

177-55
JOYCE, MARYBETH M.
5 ARLINGTON ST #B1
CAMBRIDGE, MA 02140

177-55
BRAND, SUSAN F.
7 ARLINGTON ST #23
CAMBRIDGE, MA 02140

177-55
MILBOUER, LANCE E.
7 ARLINGTON ST #26
CAMBRIDGE, MA 02140

177-55
PETERS, ANNE C.
5 ARLINGTON ST #25
CAMBRIDGE, MA 02140

177-55
THAYER, JR., DONALD F. & DOUGLAS G. THAYER,
TRS OF THE D-M REALTY TRUST
P.O. BOX 196400
CAMBRIDGE, MA 02140

177-55
SCORDATO, CHRISTINE A.
5 ARLINGTON ST. UNIT#5/35
CAMBRIDGE, MA 02141

177-55
MATTHEWS, DAVID LEE & TERRI HUME OLIVER
5 ARLINGTON ST. UNIT#42
CAMBRIDGE, MA 02140

177-55
FLANNERY, SUSAN M. & STEPHEN A. COREN
5 ARLINGTON ST #45
CAMBRIDGE, MA 02140

177-55
JAMES, DAVID L. & SHEILA F. JAMES
TRS. OF THE JAMES ADVANTAGE TRUST
229 BRANNAN ST., APT#4J
SAN FRANCISCO, CA 94107

177-55
LENIHAN, WINIFRED
5 ARLINGTON ST #55
CAMBRIDGE, MA 02140

177-55
DUONG, LOC
7 ARLINGTON ST., UNIT #7/21
CAMBRIDGE, MA 02140

177-55
BANG, YOONSHIN
7 ARLINGTON ST. UNIT#24
CAMBRIDGE, MA 02138

177-55
KIMBALL, WILLIAM S.
7 ARLINGTON ST #27
CAMBRIDGE, MA 02140

177-55
BISHKO, ADRIANE
5 ARLINGTON ST. UNIT#5/26
CAMBRIDGE, MA 02140

177-55
GILES, RICHARD H. AND SUZANNE E. LAKE,
TRS OF ARLINGTON OXFORD REALTY TRUST
36 SPRING ST
CONCORD, MA 01742

177-55
BORINS, LAWRENCE A.
5 ARLINGTON ST #36
CAMBRIDGE, MA 02140

177-55
COLLINS, HALSEY B
150 LINCOLN ST., UNIT #4A
BOSTON, MA 02111

177-55
HAYES, KATHLEEN M.
5 ARLINGTON ST #46
CAMBRIDGE, MA 02140

177-55
FOGEL, TERRI D.
5 ARLINGTON STREET UNIT #5-53
CAMBRIDGE, MA 02140

177-55
LICUANAN, ANA
5 ARLINGTON ST., #5/56
CAMBRIDGE, MA 02140

177-55
BRAND, SUSAN F.
7 ARLINGTON ST #22
CAMBRIDGE, MA 02140

177-55
KNAPP, MARY M
9 SHEFFIELD WAY
WESTBOROUGH, MA 01581

177-55
KINDER, PETER D.
P.O. BOX 400167
CAMBRIDGE, MA 02140

177-55
KINDER, PETER D.
PO BOX 400167
CAMBRIDGE, MA 02140

153-3-4
FARRINGTON REALTY LLC,
28 ROSELAND ST., #1
CAMBRIDGE, MA 02140

177-55
MCNULTY JAMES P. & SIRI C. STEINLE
210 GARDEN ST
CAMBRIDGE, MA 02138

177-55
THAYER, MARJORIE E. & DOUGLAS G. THAYER,
TRS OF THE M-D REALTY TRUST
P.O. BOX 196400
CAMBRIDGE, MA 02140

177-55
OLBERT, STANISLAW & NORMA L. OLBERT
TRUSTEE STANISLAW & NORMA L. OLBERT TR.
7 ARLINGTON ST., UNIT #36
CAMBRIDGE, MA 02140

177-55
PALMER, ALBERT S.
7 ARLINGTON ST #37
CAMBRIDGE, MA 02140

177-55
THUMM, ANGELIKA
REINSBURG STR 129
70197 STUTTGART, _ _

177-55
ROBERTS, KAY G.
7 ARLINGTON ST #42
CAMBRIDGE, MA 02140

177-55
ROBERTS, KAY GEORGE
7 ARLINGTON ST #43
CAMBRIDGE, MA 02140

177-55
CARDELLICCHIO, PETER A
7 ARLINGTON ST #44
CAMBRIDGE, MA 02140

177-55
VU, LIM DINH & NGA HONG LY
7 ARLINGTON ST. UNIT#45
CAMBRIDGE, MA 02140

177-55
HYRA, BARBARA K.
7 ARLINGTON ST #46
CAMBRIDGE, MA 02140

177-55
YANG, CHIANHWA
7 ARLINGTON ST #47
CAMBRIDGE, MA 02140

177-55
GILES, RICHARD H. & SUZANNE E. LAKE, TRS OF
ARLINGTON OXFORD REALTY TRUST
36 SPRING RD
CONCORD, MA 01742

177-55
EKSTROM, GORAN A.
7 ARLINGTON ST #52
CAMBRIDGE, MA 02140

177-55
EKSTROM, GORAN A.
7 ARLINGTON ST #52
CAMBRIDGE, MA 02140

177-55
CHAN, SZE HAM
7 ARLINGTON ST. UNIT#54
CAMBRIDGE, MA 02140

177-55
LU, JIANJUN & YANKANG JIANG
51 AMBERWOOD DR.
WINCHESTER, MA 01890

177-55
STONEWELL, CAROLYN & BRIAN STONEWELL
7 ARLINGTON ST #56
CAMBRIDGE, MA 02140

MBTA
C/O MARK DOYLE R.E. DIRECTOR
10 PARK PLAZA – SUITE 5720
BOSTON, MA 02116

31-B-1 & B-2
LESLEY COLLEGE
29 EVERETT STREET
CAMBRIDGE, MA 02138

31-B-3 & B-4
MAREK JITKA
57 ROSELAND ST. #3
SOMERVILLE, MA 02143

31-B-5-1
ANTHONY DANGERFIELD
5 JOHNSON ROAD
MEDFORD, MA 02155

31-B-5-10
JOHN & JENNIFER GOTTLIEB
401 WASHINGTON ST.
SOMERVILLE, MA 02143

JEFFREY L. BROWN
TR. OF SPRING MOUNTAIN REALTY TR.
691 MASS AVENUE – SUITE 3
ARLINGTON, MA 02476

TRINCA LLC
30 NEWBERNE ST. #1
SOMERVILLE, MA 02144

JAMES M. IGOE, III
40 SKEHAN ST.
SOMERVILLE, MA 02143

31-B-5-5 & 5-6
EMILY M. BAILEY
105 LEXINGTON ST.
CAMBRIDGE, MA 02138

31-B-5-7 & 5-8
THEODORE P. WASIK & TRACEY A. DECHERT, MD
20 ALBION PL.
CHARLESTOWN, MA 02129

ZOE LANGOSY
TR. OF TN TRUST
20 CHILTON ST. #3
CAMBRIDGE, MA 02138

ROSELAND ST

Location ROSELAND ST **Mblu** 31/ B/ 1/752
Acct# 19611020 **Owner** LESLEY COLLEGE
Assessment \$158,600 **PID** 328
Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$1,500	\$157,100	\$158,600

Owner of Record

Owner LESLEY COLLEGE **Sale Price** \$1
Co-Owner **Certificate**
Address 29 EVERETT ST **Book & Page** 25269/ 543
 CAMBRIDGE, MA 02138 **Sale Date** 04/05/1995
Instrument 1F

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
LESLEY COLLEGE	\$1		25269/ 543	1F	04/05/1995
LESLEY REALTY CORP	\$10		24763/ 155	1F	08/05/1994
C D I A INC TRUSTEE	\$0				

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Outbuildings
Model	
Grade:	

57 ROSELAND ST

Location 57 ROSELAND ST

Mblu 31/ B/ 3/ 17 B4

Acct# 18572090

Owner MAREK JITKA

Assessment \$889,100

PID 6085

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$393,900	\$495,200	\$889,100

Owner of Record

Owner MAREK JITKA
Co-Owner
Address 57 ROSELAND ST 3
 SOMERVILLE, MA 02143

Sale Price \$314,000
Certificate
Book & Page 21567/ 082
Sale Date 11/27/1991
Instrument A

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MAREK JITKA	\$314,000		21567/ 082	A	11/27/1991
FREDERIC RAPHAEL	\$0				

Building Information

Building 1 : Section 1

Year Built: 1860
Living Area: 3,364
Replacement Cost: \$615,494
Building Percent 64
Good:
Replacement Cost
Less Depreciation: \$393,900

Building Photo

Building Attributes	
Field	Description
Style	3 fam Conv
Model	Residential
Grade:	Average +10
Stories:	2 3/4 Stories

61 ROSELAND ST #1

Location 61 ROSELAND ST #1

Mblu 31/ B/ 5/ 1/

Acct# 20131100

Owner DANGERFIELD ANTHONY

Assessment \$110,700

PID 110218

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$110,700	\$0	\$110,700

Owner of Record

Owner DANGERFIELD ANTHONY
Co-Owner
Address 5 JOHNSON RD
 MEDFORD, MA 02155

Sale Price \$99,000
Certificate
Book & Page 56921/ 151
Sale Date 05/31/2011
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
DANGERFIELD ANTHONY	\$99,000		56921/ 151	00	05/31/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 207
Replacement Cost: \$97,569
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$109,600

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #10

Location 61 ROSELAND ST #10

Mblu 31/ B/ 5/ 10/

Acct# 20131190

Owner GOTTLIEB JENNIFER & JOHN

Assessment \$97,700

PID 110227

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$97,700	\$0	\$97,700

Owner of Record

Owner GOTTLIEB JENNIFER & JOHN
Co-Owner
Address 401 WASHINGTON ST
 SOMERVILLE, MA 02143

Sale Price \$80,000
Certificate
Book & Page 56525/ 015
Sale Date 02/25/2011
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
GOTTLIEB JENNIFER & JOHN	\$80,000		56525/ 015	00	02/25/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 124
Replacement Cost: \$58,447
Building Percent 100
Good:
Replacement Cost
Less Depreciation: \$97,700

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #3

Location 61 ROSELAND ST #3

Mblu 31/ B/ 5/ 3/

Acct# 20131120

Owner BROWN JEFFREY L TRUSTEE

Assessment \$74,000

PID 110220

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$74,000	\$0	\$74,000

Owner of Record

Owner BROWN JEFFREY L TRUSTEE
Co-Owner SPRING MOUNTAIN REALTY TRUST
Address 691 MASSACHUSETTS AVE SUITE #3
 ARLINGTON, MA 02476

Sale Price \$65,000
Certificate
Book & Page 57223/ 458
Sale Date 07/29/2011
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BROWN JEFFREY L TRUSTEE	\$65,000		57223/ 458	00	07/29/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 140
Replacement Cost: \$65,989
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$74,000

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #2

Location 61 ROSELAND ST #2 **Mblu** 31/ B/ 5/ 2/

Acct# 20131110 **Owner** TRINCA LLC

Assessment \$56,300 **PID** 110219

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$56,300	\$0	\$56,300

Owner of Record

Owner TRINCA LLC **Sale Price** \$40,000
Co-Owner **Certificate**
Address 30 NEWBERNE ST #1 **Book & Page** 58601/ 250
 SOMERVILLE, MA 02144 **Sale Date** 03/02/2012
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
TRINCA LLC	\$40,000		58601/ 250	00	03/02/2012
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010
WOMANS MENTAL HEALTH COLLECTIVE INC	\$65,000		13698/ 567	1K	05/25/1979

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 135
Replacement Cost: \$51,224
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$56,300

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1

61 ROSELAND ST #4

Location 61 ROSELAND ST #4

Mblu 31/ B/ 5/ 4/

Acct# 20131130

Owner IGOE III JAMES M

Assessment \$109,900

PID 110221

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$109,900	\$0	\$109,900

Owner of Record

Owner IGOE III JAMES M
Co-Owner
Address 40 SKEHAN ST
 SOMERVILLE, MA 02143

Sale Price \$100,000
Certificate
Book & Page 56675/ 068
Sale Date 03/31/2011
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
IGOE III JAMES M	\$100,000		56675/ 068	00	03/31/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 204
Replacement Cost: \$96,155
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$108,100

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #5

Location 61 ROSELAND ST #5

Mblu 31/ B/ 5/ 5/

Acct# 20131140

Owner BAILEY EMILY H

Assessment \$102,900

PID 110222

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$102,900	\$0	\$102,900

Owner of Record

Owner BAILEY EMILY H
Co-Owner
Address 105 LEXINGTON ST
 CAMBRIDGE, MA 02138

Sale Price \$215,000
Certificate
Book & Page 56813/ 351
Sale Date 05/03/2011
Instrument 1G

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BAILEY EMILY H	\$215,000		56813/ 351	1G	05/03/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 192
Replacement Cost: \$90,499
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$101,700

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #6

Location 61 ROSELAND ST #6

Mblu 31/ B/ 5/ 6/

Acct# 20131150

Owner BAILEY EMILY H

Assessment \$89,400

PID 110223

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$89,400	\$0	\$89,400

Owner of Record

Owner BAILEY EMILY H

Sale Price \$215,000

Co-Owner

Certificate

Address 105 LEXINGTON ST
CAMBRIDGE, MA 02138

Book & Page 56813/ 351

Sale Date 05/03/2011

Instrument 1G

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BAILEY EMILY H	\$215,000		56813/ 351	1G	05/03/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 169
Replacement Cost: \$79,658
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$89,400

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #7

Location 61 ROSELAND ST #7

Mblu 31/ B/ 5/ 7/

Acct# 20131160

Owner WASIK MD THEODORE P

Assessment \$46,500

PID 110224

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$46,500	\$0	\$46,500

Owner of Record

Owner WASIK MD THEODORE P
Co-Owner DECHERT MD TRACEY A
Address 20 ALBION PL
 CHARLESTOWN, MA 02129

Sale Price \$150,000
Certificate
Book & Page 57090/ 481
Sale Date 07/01/2011
Instrument 1V

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
WASIK MD THEODORE P	\$150,000		57090/ 481	1V	07/01/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 88
Replacement Cost: \$41,479
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$46,500

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #8

Location 61 ROSELAND ST #8

Mblu 31/ B/ 5/ 8/

Acct# 20131170

Owner WASIK MD THEODORE P

Assessment \$114,700

PID 110225

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$114,700	\$0	\$114,700

Owner of Record

Owner WASIK MD THEODORE P
Co-Owner DECHERT MD TRACEY A
Address 20 ALBION PL
 CHARLESTOWN, MA 02129

Sale Price \$150,000
Certificate
Book & Page 57090/ 481
Sale Date 07/01/2011
Instrument 1V

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
WASIK MD THEODORE P	\$150,000		57090/ 481	1V	07/01/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 217
Replacement Cost: \$102,283
Building Percent 100
Good:
Replacement Cost
Less Depreciation: \$114,700

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

61 ROSELAND ST #9

Location 61 ROSELAND ST #9

Mblu 31/ B/ 5/ 9/

Acct# 20131180

Owner LANGOSY ZOE TRUSTEE

Assessment \$98,400

PID 110226

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$98,400	\$0	\$98,400

Owner of Record

Owner LANGOSY ZOE TRUSTEE
Co-Owner TN TRUST
Address 20 CHILTON ST #3
 CAMBRIDGE, MA 02138

Sale Price \$100,000
Certificate
Book & Page 58147/ 509
Sale Date 12/22/2011
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
LANGOSY ZOE TRUSTEE	\$100,000		58147/ 509	00	12/22/2011
BEAUDET DOUGLAS S	\$480,000		54931/ 211	1P	07/01/2010

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 186
Replacement Cost: \$87,671
Building Percent: 100
Good:
Replacement Cost
Less Depreciation: \$98,400

Building Photo

Building Attributes	
Field	Description
STYLE	Condo Office
MODEL	Com Condo
Stories:	1
Grade	Luxurious +

000R BEACON ST

Location 000R BEACON ST **Mblu** 31/ B/ 5/A /
Acct# 20131200 **Owner** MBTA
Assessment \$158,000 **PID** 110228
Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2017	\$0	\$158,000	\$158,000

Owner of Record

Owner MBTA **Sale Price** \$0
Co-Owner C/O MARK DOYLE R E DIRECTOR **Certificate**
Address 10 PARK PLAZA SUITE 5720 **Book & Page** 00000/ 000
 BOSTON, MA 02116 **Sale Date** 01/01/1970

Ownership History

Ownership History				
Owner	Sale Price	Certificate	Book & Page	Sale Date
MBTA	\$0		00000/ 000	01/01/1970

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade:	
Stories:	
Occupancy	

Building Photo



(<http://images.vgsi.com/photos/SomervilleMAPhotos//default>)