

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Redmont - One Brattle Square I, LLC
(OWNER)

Address: One Brattle Square, Cambridge MA

State that I/We own the property located at One Brattle Square, which is the subject of this zoning application.

The record title of this property is in the name of Redmont - One Brattle Square I, LLC

*Pursuant to a deed of duly recorded in the date _____, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Paul Newman General Manager
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Norfolk

The above-name Paul Newman personally appeared before me, this 16 of March, 2016, and made oath that the above statement is true.

[Signature] Notary

My commission expires 12-14-18 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



March 17, 2016

City of Cambridge
Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Re: Eligible Facilities Request pursuant to Section 6409 of the
Spectrum Act and an Application for Special Permit, in the
alternative
Property Address: 1 Brattle Square, Cambridge, MA 02138
Assessor's Map 34, Lot 138 (the "Property")
Applicant: T-Mobile Northeast LLC (the "Applicant")

Dear Honorable Members of the Board of Zoning Appeals:

This firm represents T-Mobile Northeast LLC ("T-Mobile") (hereinafter, the "Applicant") in connection with an application for a special permit from the City of Cambridge Board of Zoning Appeals (the "Board"), to modify an existing wireless communications facility on the Property. The Property is located in the Business B zoning district. To the extent that the Board determines that the requirements of Article 4 Section 4.32G.1 of the City of Cambridge Zoning Ordinance (the "Ordinance") apply, the use of the Property for a wireless telecommunications facility is permitted by special permit from the Board¹. The Applicant's proposal satisfies the requirements for the grant of a special permit pursuant to Section 10-43 of the Ordinance.

The Applicant's Proposed Facility (as defined herein) is subject to Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, more commonly known as the "Spectrum Act" (47 U.S.C. § 1455). As such, we respectfully submit that in the event that the Board determines that the application does not comply with the Spectrum Act, the Applicant hereby states that the special permit requirements set forth in the Ordinance are hereby met by the Applicant, and that relief must be granted to the Applicant. The compliance with the Spectrum Act is shown on the Eligible Facilities Request permit application form attached hereto and incorporated herein by reference (the "EFR").

¹ Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

The Applicant seeks to modify its existing wireless communications facility by replacing three (3) existing panel antennas with three (3) new panel antennas, adjacent to the remaining T-Mobile antennas, and three (3) Remote Radio Head Units (“RRH”), together with supporting equipment (the “Proposed Facility”). All of the proposed replacement antennas will be located in the same location as the antennas they will be replacing and painted to match the existing façade of the penthouse on the roof of building located at the Property (the “Building”), adjacent to three (3) existing T-Mobile antennas. Resulting in no net increase to the total number of antennas as previously approved under the Original Decision, as defined herein. The Applicant’s facilities are shown on the Plans attached hereto and incorporated herein by reference (the “Plans”)

I. Background

The Applicant is licensed by the Federal Communications Commission (the “FCC”) to construct and operate a wireless telecommunications network in various markets throughout the country, including the Commonwealth of Massachusetts and in particular in the City of Cambridge. A copy of the Applicant’s FCC license is attached hereto. The Applicant is in the process of designing and constructing a telecommunications system to serve all of the Commonwealth of Massachusetts. One of the key design objectives of its systems is to provide seamless coverage. Such a system requires a grid of radio transmitting and receiving links located approximately .5 to 2 miles apart, depending on the location of existing and proposed installations in the surrounding area, the existing use of the network and the existing topography. The radio transmitting and receiving facilities operate on a line-of-sight basis, requiring a clear path from the facility to the user on the ground. This dynamic requires the antennas to be located in a location where the signal is not obstructed or degraded by other buildings or by topographical features such as hills.

II. Project Description

As noted above, the Applicant proposes to modify its existing wireless facility currently operating on the rooftop of the Building by replacing three (3) existing panel antennas with three (3) new T-Mobile L700 panel antennas, together with three (3) RRH’s and supporting equipment. All new antennas will be installed to be consistent with the original zoning decision for this facility (the “Original Decision”). Furthermore, as the Applicant is proposing to replace existing antennas with the new antennas there will be no increase in the total number of antennas on the roof of the Building. Consequently, the visual change to the Applicant’s existing facility will be de minimus.

After installation, the Proposed Facility will be unmanned and will only require twice a month maintenance visits per carrier. The only utilities required to operate this Proposed Facility are standard 120-volt electrical power as well as telephone service. These are presently in place at the Property. The traffic generated by the Proposed Facility will be approximately two vehicle trips per month by maintenance personnel who will inspect the Proposed Facility to ensure it remains in good working order. The Proposed Facility will comply with all applicable local, state and federal safety codes.

III. Legal Arguments

A. The Applicant complies with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance

Pursuant to Section 4.32(g) of the Ordinance, the Applicant's proposed use for a wireless communications facility in the Business B zoning district is permitted by special permit. The Applicant's Proposed Facility further complies with the provisions set forth in Section 4.32(g), footnote 49 of the Ordinance:

- 1. The Board of Zoning Appeal shall consider the scope of or limitations imposed by any license secured from any state or federal agency having jurisdiction over such matters.**

Enclosed herewith is the Applicant's FCC license. The Applicant meets all requirements imposed by governmental authorities having jurisdiction over the Proposed Facility, including by the FCC, to provide wireless communications in this market area.

The intent of the U.S. Congress, when it enacted the Telecommunications Act of 1996 ("TCA") was to institute a framework to promote competition and innovation within the telecommunications industry. Under its license from the FCC, T-Mobile is obligated to provide a reliable "product" (i.e. wireless communications service) to the population of the City of Cambridge. Likewise, consumer expectations for increasingly robust and reliable service requires competing service providers (including T-Mobile) to identify and remedy existing gaps in reliable network coverage, or gaps that result from increasing subscriber voice and data traffic beyond the limits of existing network infrastructure. A carrier's failure to remedy network gaps in a timely fashion can result in a significant loss of subscribers to competing telecommunications carriers. As demonstrated in the Affidavit of Radio Frequency Expert provided by the Applicant and attached hereto, the Proposed Facility and corresponding relief requested are necessary to remedy a gap in reliable service coverage within T-Mobile's existing network infrastructure.

T-Mobile investigated alternative sites in and around the defined geographic area within which its engineers determined that a facility must be located to fill the gap in service coverage and to function effectively within its network of existing and planned facilities. This is an existing location that is being upgraded with new technology to provide the necessary coverage to the subject area of the City of Cambridge. Therefore, the Proposed Facility in the Business B zoning district is necessary to close the coverage gap that is illustrated on the propagation maps submitted herewith. Consequently, T-Mobile is unable to close a gap in its wireless network without obtaining the requested relief under Section 6409 of the Spectrum act or a Special Permit to modify its existing wireless facility in the Business B zoning district.

Furthermore, Section 6409(a) of the Spectrum Act mandates that state and local governments "*may not deny, and shall approve, any eligible facilities request for a modification*

of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.” Under Section 6409(a)(2)(A)-(C) an Eligible Facilities Request is any request to modify a Tower or Base Station that involves “collocations of new Transmission Equipment,” “removal,” or “replacement” of Transmission Equipment.

Because federal law now preempts many of the permit application requirements that this jurisdiction would previously have required from an Applicant, we have provided, on the attached EFR, only the information that federal law allows this jurisdiction to consider when reviewing an EFR. As such, we submit that the Wireless Communications set forth in Section 4.32(g), footnote 49 of the Ordinance, provisions are not applicable to Proposed Facility and relief must be granted pursuant to Section 6409(a) of the Spectrum Act.

- 2. The Board of Zoning Appeal shall consider the extent to which the visual impact of the various elements of the proposed facility is minimized: (1) through the use of existing mechanical elements on the building’s roof or other features of the building as support and background, (2) through the use in materials that in texture and color blend with the materials to which the facilities are attached, or (3) other effective means to reduce the visual impact of the facility on the site.**

The Applicant’s design minimizes the visual impact of the Proposed Facility. The facility will be installed on the existing rooftop of the Building and consistent with the Original Decision. The resulting installation will have an increased capacity to better serve the City of Cambridge without the need for an increased number of antennas on the Building. The proposed replacement antennas will be painted to match the color of the existing Building thereby minimizing any visual impacts.

As stated above, federal law now preempts many of the permit applications requirements that the Ordinance sets forth. To the extent that this Board determines that the Applicants’ proposed wireless facility must comply with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

- 3. Where it is proposed to erect such a facility in any residential zoning district, the extent to which there is a demonstrated public need for the facility at the proposed locations, the existence of alternative, functionally suitable sites in nonresidential locations, the character of the prevailing uses in the area, and the prevalence of other existing mechanical systems and equipment carried on or above the roof of nearby structures. The Board of Zoning Appeal shall grant a special permit to erect such a facility in a residential zoning district only upon a finding that nonresidential uses predominate in the vicinity of the proposed facility’s location and that the telecommunications facility is not inconsistent with the character that does prevail in the surrounding neighborhood.**

The Applicant proposes to install its facility within the Business-B zoning district. As such, this is not applicable.

B. The Applicant complies with the Special Permit Criteria set forth in Section 10-43 of the Ordinance²:

1. The requirements of the Ordinance can be met:

As provided above, the Applicant has met the requirements set forth in Section 4.32(g), footnote 49 of the Ordinance.

2. Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed installation will not obstruct existing rights-of-way or pedestrian access and will not change the daily conditions of access, egress, traffic, congestion hazard, or character of the neighborhood. The installation will not require the addition of any new parking or loading spaces. The use is passive and will not change the current conditions or appearance surrounding the Building. The facility will not produce any odors, fumes, noise or waste. There will be no need for water, sewer, or other municipal services.

As mentioned above, once modified, the facility will be unmanned and will only require infrequent visits by a technician, typically two times per month for routine diagnostics and/or maintenance, except in cases of emergency. These infrequent visits will not result in any material increase in traffic or disruption to patterns of access or egress that will cause congestion hazards or cause a substantial change in the established neighborhood character. The Applicant's maintenance personnel will make use of the existing access roads and parking at the Building.

3. The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

As described above and illustrated on the attached photograph simulations, the modification of the existing facility will produce a minimal change in the appearance of the Building. The modification of the existing facility will blend with the existing characteristics of

² Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

the Building and the surrounding neighborhood. Moreover, the proposed installation will not generate any traffic, smoke, dust, heat, glare, discharge of noxious substances, nor will it pollute waterways or groundwater. Conversely, the surrounding properties and general public will benefit from the potential to enjoy improved wireless communication.

4. Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The operations of the proposed telecommunications facility will not adversely impact the health, safety, and the welfare of the residents of the City of Cambridge. On the contrary, the proposed use will benefit the City and promote the safety and welfare of its residents, businesses and drivers by providing reliable state-of-the-art digital wireless voice and data services. Further, the site will improve the reliability of emergency communications with the police and fire departments by eliminating dropped or blocked calls due to inadequate signal strength or insufficient network capacity to handle call volume, particularly important during emergency situations.

The Proposed Facility will comply with all federal, state and local safety requirements including the standards established by the FCC, Federal Aviation Administration (FAA), the American Standards Institute (ANSI), and the Massachusetts Department of Public Health (MDPH).

Accordingly, the Proposed Facility will not adversely impact the health, safety and/or welfare of the neighborhood or the residents of the City of Cambridge.

5. For other reasons, the proposed installation will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The Proposed Facility is designed to blend with the existing characteristics of the Property, reducing any visual impacts to the surrounding area. Accordingly, the Proposed Facility's design results in a minimal impact on the underlying and adjacent zoning district and is consistent with the Ordinance's intention to allow for less intrusive wireless telecommunications facilities in all districts (other than Open Space), including the Business B zoning districts.

As mentioned above, the proposed modifications to the existing installation will not generate any traffic, smoke, dust, heat, glare, discharge or noxious substances, nor will it pollute waterways or groundwater.

6. The new use of the building construction is consistent with the Urban Design Objective set for tin Section 19.30 of the Ordinance:

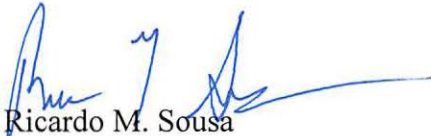
Not Applicable. The Applicant is not proposing to construct a new building or structure.

IV. Summary

The Applicant hereby requests that the Board determine that the City of Cambridge has the right to authorize the construction of the Proposed Facility through the issuance of a Building Permit, pursuant to Section 6409(a) of the Spectrum Act. Or, in the alternative, its proposed modifications to the existing telecommunications facility will not have any adverse effect on the neighborhood within which the Property is located in particular, and the City of Cambridge as a whole. The findings are made in view of the particular characteristics of the Property and of the Applicant's proposed siting and equipment, as detailed above. This Property is the most appropriate location for the installation and operation of the wireless communications facility.

For the foregoing reasons the Applicant respectfully requests that the Board grant the foregoing relief pursuant to Section 6409(a) of the Spectrum Act or, in the alternative, zoning relief in the form of a Special Permit and such other relief as the Board deems necessary to allow the installation and operation of the Applicant's Proposed Facility.

Sincerely,



Ricardo M. Sousa

Direct: 617-456-8123

Email: rsousa@princelobel.com

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast PRESENT USE/OCCUPANCY: _____

LOCATION: 1 Brattle Square ZONE: Business B

PHONE: 617-456-8123 REQUESTED USE/OCCUPANCY: Wireless Telecommunications

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
<u>LOT AREA:</u>	<u>N/A</u>		<u>N/A</u> (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>SIZE OF LOT:</u>	<u>N/A</u>		<u>N/A</u> (min.)
WIDTH			
DEPTH			
<u>Setbacks in Feet:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
FRONT			
REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
RIGHT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>SIZE OF BLDG.:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
HEIGHT			
LENGTH			
WIDTH			
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³⁾</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>NO. OF DWELLING UNITS:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
<u>NO. OF PARKING SPACES:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min./max)
<u>NO. OF LOADING AREAS:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

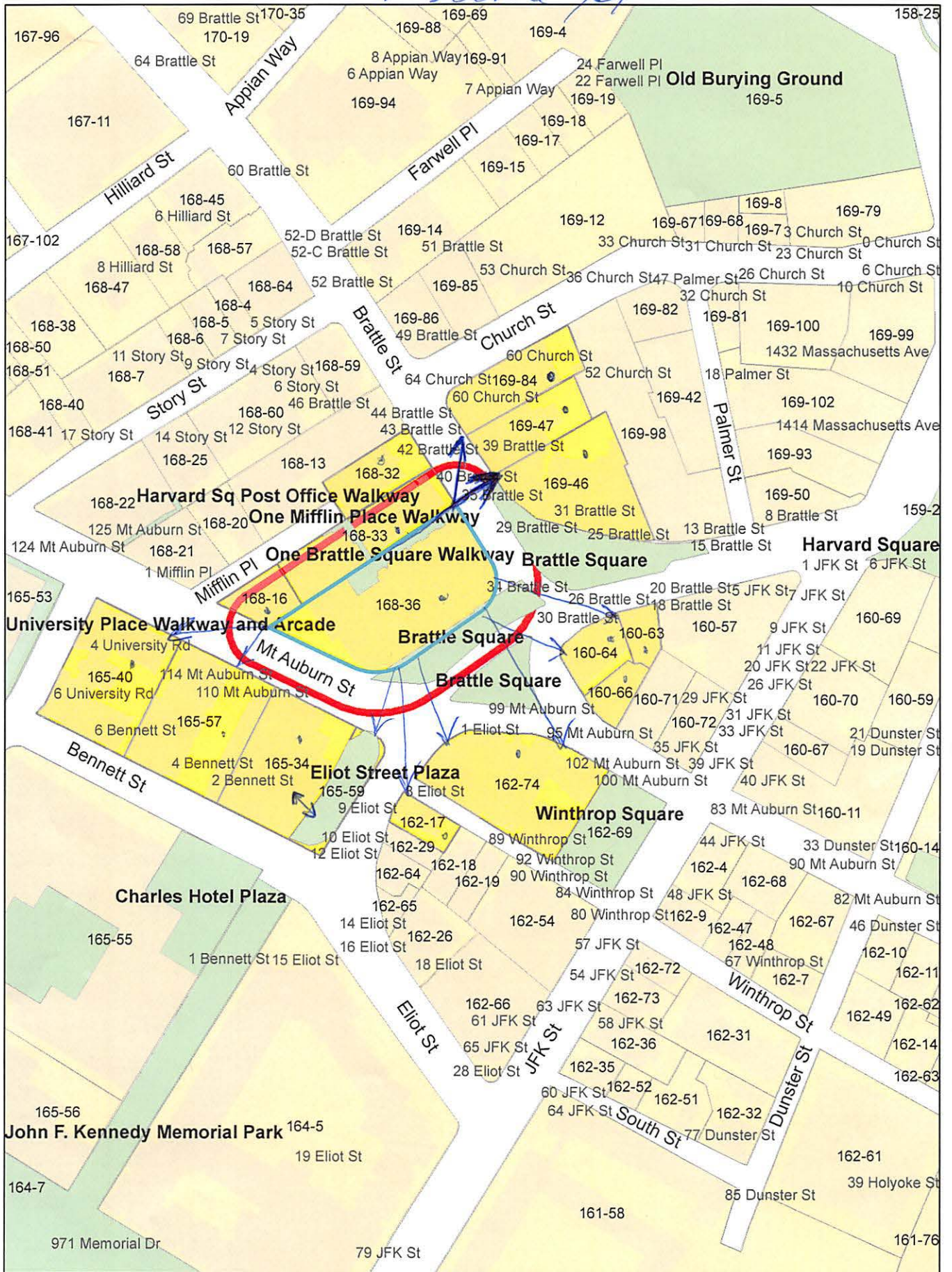
Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The proposed installation involves a modification of an existing Wireless Telecommunications Facility,

more commonly referred to as a "collocation".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

1 Brattle Sq.



1 Brattle Sq.

Petitioner

168-33
COHEN, SAUL B. & MARC E. GOLDBERG
TRS. OF HARVARD YEARBOOK REALTY TRUST
2 BRATTLE SQUARE
CAMBRIDGE, MA 02138

168-33
UNION OF CONCERNED SCIENTISTS, INC.
40C BRATTLE STREET, #1/4
CAMBRIDGE, MA 02138

PRINCE LOBEL TYE LLP
C/O RICARDO M. SOUSA, ESQ.
100 CAMBRIDGE STREET, SUITE 2200
BOSTON, MA 02114

168-33
CRESS, WILLIAM E.,
TR OF TWO BRATTLE SQUARE TR. C/O BRATTLE
WALK INC HAMMOND PRP MGMT INC
TWO BRATTLE SQUARE
CAMBRIDGE, MA 02138

162-74
ELIOT SQUARE ENTERPRISES INC.,
TR. ELIOT SQUARE ENTERPRISES TRUST
1270 SOLDIERS FIELD RD
BRIGHTON, MA 02135

162-74
OSMENA, MARIA VICTORIA R.
C/O TEMPLETON & COMPANT LLP,
301 E. LAS BLVD #800
FORT LAUDERDALE, FL 33301

165-34
PRESIDENT & FELLOWS OF HARVARD COLLEGE C/O
HARVARD REAL ESTATE INC.
HOLYOKE CENTER - ROOM #1017
1350 MASS AVE
CAMBRIDGE, MA 02138

168-32
CAMBRIDGE CENTER FOR ADULT EDUCATION
P.O. BOX 9113
CAMBRIDGE, MA 02238

168-33
BRATTLE SQUARE ASSOCIATES
C/O BRATTLE SQUARE MANAGEMENT CORP
P.O. BOX 380828
CAMBRIDGE, MA 02238

160-63
VERPLANCK, EDWARD P. TR.
C/O 26 BRATTLE STREET TRUST
2 STEARNS RD
BEDFORD, MA 01730

160-64-66
HADLEY, LILLIAN H.,
HARRY LEBARON SAMPSON, TR.
C/O THOMAS HADLEY TRUST
59 HUNTER LANE
LANCASTER, MA 01523

168-33
UNION OF CONCERNED SCIENTISTS, INC.
2 BRATTLE SQUARE
CAMBRIDGE, MA 02138

162-17
BANKER, ROBERT TR. OF WINTHROP
C/O THE BANKER R. E. CO. INC.
14A ELLIOT ST
CAMBRIDGE, MA 02138

162-74
BORDEN, PHILIP A. & CATHERINE J. TURCO
95 WINTHROP ST., #WSR7
CAMBRIDGE, MA 02138

165-57
CONDUCTOR'S BUILDING LLC
20 UNIVERSITY RD.
CAMBRIDGE, MA 02138

162-74
LEVITAN, SHARI A.,
TRUSTEE THE 93 WINTHROP NOMINEE TRUST
C/O FRIEDMAN & ATHERTON LLP.
53 STATE STREET
BOSTON, MA 02109

162-74
JUNIPER ENTERPRISES LIMITED PARTNERSHIP
1270 SOLDIERS FIELD RD
BRIGHTON, MA 02135

162-74
LEVITAN, SHARI A.,
TRUSTEE OF 93 WINTHROP NOMINEE TRUST
C/O HOLLAND & KNIGHT LLP
10 ST. JAMES AVE
BOSTON, MA 02116

169-46-47
BRATTLE SQUARE LLC,
C/O COLLIER INTERNATIONAL
160 FEDERAL STREET
BOSTON, MA 02110

168-36
WELLS REIT ONE BRATTLE SQUARE I,LLC
C/O THOMPSON PROPERTY TAX SERVICES
P.O. BOX 56607
ATLANTA, GA 30343

162-74
LAURELWOOD, LLC
1188 CENTRE ST.
NEWTON, MA 02458

162-74
THOMPSON, JANE McC,
TR. OF WINTHROP STREET 93 REALTY TRUST.
93 WINTHROP ST. UNIT#WSR6
CAMBRIDGE, MA 02138

162-74
HUEBNER, ALEXANDRA
93 WINTHROP ST. UNIT#5A
CAMBRIDGE, MA 02138

165-40
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O CHAPMAN ARMS LLC
280 FRANKLIN STREET
CAMBRIDGE, MA 02139

169-84
DIGIOVANNI, JOHN P.
TRUSTEE OF 45 BRATTLE STREET REALTY TRUST.
P.O. BOX 380212
CAMBRIDGE, MA 02238

168-33
B & J BRATTLE REALTY, LLC.
2 BRATTLE SQ
CAMBRIDGE, MA 02138

168-16
TARRAGON, LLC
1188 CENTRE STREET
NEWTON, MA 02459

BZA 9695-2016



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

William B. King, *Chair*, Bruce A. Irving, *Vice Chair*, Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., M. Robert G. Crocker, Chandra Harrington, Jo M. Solet, *Members*
Shary Page Berg, Joseph V. Ferrara, Susannah Barton Tobin, *Alternates*

Jurisdiction Advice

To the Owner of Property at 1 Brattle Square:

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

Old Cambridge Historic District
 Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)

Avon Hill Neighborhood Conservation District
 Half Crown – Marsh Neighborhood Conservation District
 Harvard Square Conservation District *Approved. see attached certif.*
 Mid Cambridge Neighborhood Conservation District

Designated Landmark
 Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)

Preservation Restriction or Easement (as recorded)

Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition.**

No jurisdiction: not a designated historic property and the structure is less than fifty years old.

No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SPB

Date 3/28/16

Received by uploaded to Energy.gov
Relationship to project _____

Date _____

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic/demolitiondelay.html>



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

William B. King, *Chair*, Bruce A. Irving, *Vice Chair*, Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Chandra Harrington, Jo M. Solet, *Members*
Shary Page Berg, Joseph V. Ferrara, Susannah Barton Tobin, *Alternates*

CERTIFICATE OF NONAPPLICABILITY

Property: 1 Brattle Square
Applicant: Piedmont - One Brattle Sq, LLC
Attention: Ricardo Sousa, Esq.

The Cambridge Historical Commission hereby certifies, pursuant to Chapter 2.78, Article III of the Code of the City of Cambridge and order establishing the **Harvard Square Conservation District**, that the work described below does not involve any activity requiring issuance of a Certificate of Appropriateness or Hardship:

Remove 3 existing panel antennas and replace w/ 3 new panel antennas in same location of similar size. Paint to match adjacent material colors.

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding six months each may be allowed in writing by the Chair.

Case Number: 3579 Date of Certificate: 3/28/16

Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on 3/28/16.

By Charles M. Sullivan/slb, Executive Director.

.....
Twenty days have elapsed since the filing of this decision.
No appeal has been filed _____. Appeal has been filed _____.

**APPLICATION FOR RELIEF UNDER
SECTION 6409(a) OF THE SPECTRUM ACT
OR FOR SPECIAL PERMIT
For a Modification to a
WIRELESS COMMUNICATION FACILITY**

T-Mobile Northeast LLC

**c/o Ricardo M. Sousa, Esq.
Prince Lobel Tye LLP
100 Cambridge Street, Suite 2200
Boston, MA 02114**

Applicant

**Property Location:
1 Brattle Square
Cambridge, MA 02138**

Map 168, Lot 36

**Prepared by: Ricardo M. Sousa, Esq.
Prince Lobel Tye LLP
100 Cambridge Street, Suite 2200
Boston, MA 02114
Telephone: (617) 456-8123
Facsimile: (617) 456-8100**

March 17, 2016

TABLE OF CONTENTS

**APPLICATION TO THE BOARD OF ZONING APPEALS
For Relief under Section 6409 of the Spectrum Act
Or For a Special Permit
for a
WIRELESS COMMUNICATION FACILITY**

Property located at:

**1 Brattle Square
Cambridge, MA 02138**

Map 168, Lot 36

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Zoning Supporting Statement	Tab 2
Plans	Tab 3
Photograph Simulations	Tab 4
FCC License	Tab 5
Eligible Facilities Request	Tab 6

1

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 1 Brattle Square DATE: 3/17/2016

PETITIONER OR REPRESENTATIVE: Ricardo M. Sousa, Esq. for T-Mobile Northeast LLC

ADDRESS & PHONE: 100 Cambridge Street, Suite 2200, Boston, MA 02114

BLOCK: 168 LOT: 36

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION. ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>X</u>	<u>X</u>
3 Forms with Original Signatures		
Supporting Statements - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Application Fee (You will receive invoice online)	<u>X</u>	<u>X</u>
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	<u>X</u>	<u>X</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	<u>X</u>	<u>X</u>
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Floor Plans - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Elevations - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	<u>N/A</u>	<u>N/A</u>
Photographs of Property - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	<u>N/A</u>	<u>N/A</u>
<u>FOR SUBDIVISION ALSO INCLUDE:</u> Scanned & 1 set to Zoning		
Proposed Deeds	<u>N/A</u>	<u>N/A</u>
Evidence of Separate Utilities **	<u>N/A</u>	<u>N/A</u>
Proposed Subdivision Plan	<u>N/A</u>	<u>N/A</u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.

It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.

** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

and relief pursuant to Section 6409 of the Middle Class Tax Relief Act

PETITIONER: T-Mobile Northeast LLC

PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 1 Brattle Square

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: Business B

REASON FOR PETITION:

- | | |
|---|---------------------------------|
| <u> </u> Additions | <u> </u> New Structure |
| <u> </u> Change in Use/Occupancy | <u> </u> Parking |
| <u> </u> Conversion to Addi'l Dwelling Unit's | <u> </u> Sign |
| <u> </u> Dormer | <u> </u> Subdivision |
| <u> X </u> Other: <u> Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility </u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

The Applicant proposes to modify the existing wireless communications facility by replacing three (3) existing panel antennas with three (3) new L700 panel antennas to be installed consistent with the existing antennas on the facade of the penthouse on the roof of the Building and painted to match. The Applicant's proposal complies with Section 6409 of the Spectrum Act as the collocation of antennas is not a substantial change to the existing base station.

Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange

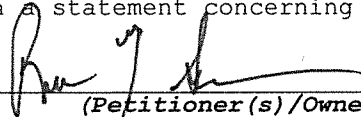
Article 10.00 Section 10.4 - Special Permit

Article 6409 Section Middle Class Tax Relief and Job Creation Act

Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s): 
(Petitioner(s)/Owner)
Ricardo M. Sousa, Esq.

(Print Name)

Address: 100 Cambridge Street, Suite 2200

 Boston, MA 02114

Tel. No.: 617-456-8123

E-Mail Address: rsousa@princelobel.com

Date: March 17, 2016

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Pedmont - One Brattle Square I, LLC
(OWNER)

Address: One Brattle Square, Cambridge MA

State that I/We own the property located at One Brattle Square, which is the subject of this zoning application.

The record title of this property is in the name of Pedmont - One Brattle Square I, LLC

*Pursuant to a deed of duly recorded in the date _____, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Paul Newman General Manager
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

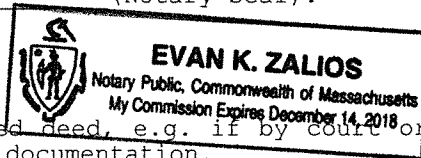
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Norfolk

The above-name Paul Newman personally appeared before me, this 16 of March, 2016, and made oath that the above statement is true.

EK Notary

My commission expires 12-14-18 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast PRESENT USE/OCCUPANCY: _____

LOCATION: 1 Brattle Square ZONE: Business B

PHONE: 617-456-8123 REQUESTED USE/OCCUPANCY: Wireless Telecommunications

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA:	<u>N/A</u>		<u>N/A</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF LOT:			
WIDTH	<u>N/A</u>		<u>N/A</u> (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
RIGHT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LENGTH			
WIDTH			
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³)	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
NO. OF DWELLING UNITS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The proposed installation involves a modification of an existing Wireless Telecommunications Facility,

more commonly referred to as a "collocation".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

N/A

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

N/A

- C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

N/A

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

N/A

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 1 Brattle Square (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

Please see the attached supporting statement.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Please see the attached supporting statement.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Please see the attached supporting statement.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Please see the attached supporting statement.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 1 Brattle Square DATE: 3/17/2016

PETITIONER OR REPRESENTATIVE: Ricardo M. Sousa, Esq. for T-Mobile Northeast LLC

ADDRESS & PHONE: 100 Cambridge Street, Suite 2200, Boston, MA 02114

BLOCK: 168 LOT: 36

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

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<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
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Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.
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PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 1 Brattle Square

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: Business B

REASON FOR PETITION:

- | | |
|---|---------------------------------|
| <u> </u> Additions | <u> </u> New Structure |
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| <u> X </u> Other: <u> Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility </u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

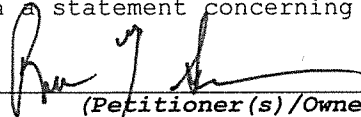
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Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

- Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange
- Article 10.00 Section 10.4 - Special Permit
- Article 6409 Section Middle Class Tax Relief and Job Creation Act

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
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Original Signature(s): 
 (Petitioner(s)/Owner)
 Ricardo M. Sousa, Esq.

 (Print Name)

Address: 100 Cambridge Street, Suite 2200

 Boston, MA 02114

Tel. No.: 617-456-8123

E-Mail Address: rsousa@princelobel.com

Date: March 17, 2016

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To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Pedmont - One Brattle Square I, LLC
(OWNER)

Address: One Brattle Square, Cambridge MA

State that I/We own the property located at One Brattle Square, which is the subject of this zoning application.

The record title of this property is in the name of Pedmont - One Brattle Square I, LLC

*Pursuant to a deed of duly recorded in the date _____, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Paul Newman General Manager
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

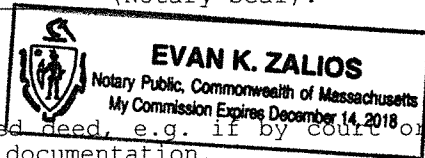
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Norfolk

The above-name Paul Newman personally appeared before me, this 16 of March, 2016, and made oath that the above statement is true.

[Signature] Notary

My commission expires 12-14-18 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast PRESENT USE/OCCUPANCY: _____

LOCATION: 1 Brattle Square ZONE: Business B

PHONE: 617-456-8123 REQUESTED USE/OCCUPANCY: Wireless Telecommunications

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
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SIZE OF LOT:			
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DEPTH			
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REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
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Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

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BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

N/A

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

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- C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

N/A

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

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Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 1 Brattle Square (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

Please see the attached supporting statement.

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- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Please see the attached supporting statement.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 1 Brattle Square DATE: 3/17/2016

PETITIONER OR REPRESENTATIVE: Ricardo M. Sousa, Esq. for T-Mobile Northeast LLC

ADDRESS & PHONE: 100 Cambridge Street, Suite 2200, Boston, MA 02114

BLOCK: 168 LOT: 36

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Proposed Deeds	<u>N/A</u>	<u>N/A</u>
Evidence of Separate Utilities **	<u>N/A</u>	<u>N/A</u>
Proposed Subdivision Plan	<u>N/A</u>	<u>N/A</u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.
It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.
** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

and relief pursuant to Section 6409 of the Middle Class Tax Relief Act

PETITIONER: T-Mobile Northeast LLC

PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 1 Brattle Square

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: Business B

REASON FOR PETITION:

- | | |
|---|---------------------------------|
| <u> </u> Additions | <u> </u> New Structure |
| <u> </u> Change in Use/Occupancy | <u> </u> Parking |
| <u> </u> Conversion to Addi'l Dwelling Unit's | <u> </u> Sign |
| <u> </u> Dormer | <u> </u> Subdivision |
| <u> X </u> Other: <u> Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility </u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

The Applicant proposes to modify the existing wireless communications facility by replacing three (3) existing panel antennas with three (3) new L700 panel antennas to be installed consistent with the existing antennas on the facade of the penthouse on the roof of the Building and painted to match. The Applicant's proposal complies with Section 6409 of the Spectrum Act as the collocation of antennas is not a substantial change to the existing base station.

Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange

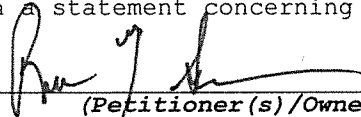
Article 10.00 Section 10.4 - Special Permit

Article 6409 Section Middle Class Tax Relief and Job Creation Act

Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s): 
(Petitioner(s)/Owner)
Ricardo M. Sousa, Esq.

(Print Name)

Address: 100 Cambridge Street, Suite 2200

 Boston, MA 02114

Tel. No.: 617-456-8123

E-Mail Address: rsousa@princelobel.com

Date: March 17, 2016

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Pedmont - One Brattle Square I, LLC
(OWNER)

Address: One Brattle Square, Cambridge MA

State that I/We own the property located at One Brattle Square, which is the subject of this zoning application.

The record title of this property is in the name of Pedmont - One Brattle Square I, LLC

*Pursuant to a deed of duly recorded in the date _____, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Paul Newman General Manager
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

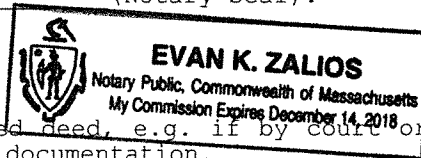
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Norfolk

The above-name Paul Newman personally appeared before me, this 16 of March, 2016, and made oath that the above statement is true.

EK Notary

My commission expires 12-14-18 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast PRESENT USE/OCCUPANCY: _____

LOCATION: 1 Brattle Square ZONE: Business B

PHONE: 617-456-8123 REQUESTED USE/OCCUPANCY: Wireless Telecommunications

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA:	<u>N/A</u>		<u>N/A</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF LOT:			
WIDTH	<u>N/A</u>		<u>N/A</u> (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
RIGHT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LENGTH			
WIDTH			
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³)	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
NO. OF DWELLING UNITS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The proposed installation involves a modification of an existing Wireless Telecommunications Facility,

more commonly referred to as a "collocation".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

N/A

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

N/A

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1) Substantial detriment to the public good for the following reasons:

N/A

- 2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

N/A

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 1 Brattle Square (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

Please see the attached supporting statement.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Please see the attached supporting statement.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Please see the attached supporting statement.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Please see the attached supporting statement.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

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March 17, 2016

City of Cambridge
Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Re: Eligible Facilities Request pursuant to Section 6409 of the
Spectrum Act and an Application for Special Permit, in the
alternative
Property Address: 1 Brattle Square, Cambridge, MA 02138
Assessor's Map 34, Lot 138 (the "Property")
Applicant: T-Mobile Northeast LLC (the "Applicant")

Dear Honorable Members of the Board of Zoning Appeals:

This firm represents T-Mobile Northeast LLC ("T-Mobile") (hereinafter, the "Applicant") in connection with an application for a special permit from the City of Cambridge Board of Zoning Appeals (the "Board"), to modify an existing wireless communications facility on the Property. The Property is located in the Business B zoning district. To the extent that the Board determines that the requirements of Article 4 Section 4.32G.1 of the City of Cambridge Zoning Ordinance (the "Ordinance") apply, the use of the Property for a wireless telecommunications facility is permitted by special permit from the Board¹. The Applicant's proposal satisfies the requirements for the grant of a special permit pursuant to Section 10-43 of the Ordinance.

The Applicant's Proposed Facility (as defined herein) is subject to Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, more commonly known as the "Spectrum Act" (47 U.S.C. § 1455). As such, we respectfully submit that in the event that the Board determines that the application does not comply with the Spectrum Act, the Applicant hereby states that the special permit requirements set forth in the Ordinance are hereby met by the Applicant, and that relief must be granted to the Applicant. The compliance with the Spectrum Act is shown on the Eligible Facilities Request permit application form attached hereto and incorporated herein by reference (the "EFR").

¹ Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

The Applicant seeks to modify its existing wireless communications facility by replacing three (3) existing panel antennas with three (3) new panel antennas, adjacent to the remaining T-Mobile antennas, and three (3) Remote Radio Head Units (“RRH”), together with supporting equipment (the “Proposed Facility”). All of the proposed replacement antennas will be located in the same location as the antennas they will be replacing and painted to match the existing façade of the penthouse on the roof of building located at the Property (the “Building”), adjacent to three (3) existing T-Mobile antennas. Resulting in no net increase to the total number of antennas as previously approved under the Original Decision, as defined herein. The Applicant’s facilities are shown on the Plans attached hereto and incorporated herein by reference (the “Plans”)

I. Background

The Applicant is licensed by the Federal Communications Commission (the “FCC”) to construct and operate a wireless telecommunications network in various markets throughout the country, including the Commonwealth of Massachusetts and in particular in the City of Cambridge. A copy of the Applicant’s FCC license is attached hereto. The Applicant is in the process of designing and constructing a telecommunications system to serve all of the Commonwealth of Massachusetts. One of the key design objectives of its systems is to provide seamless coverage. Such a system requires a grid of radio transmitting and receiving links located approximately .5 to 2 miles apart, depending on the location of existing and proposed installations in the surrounding area, the existing use of the network and the existing topography. The radio transmitting and receiving facilities operate on a line-of-sight basis, requiring a clear path from the facility to the user on the ground. This dynamic requires the antennas to be located in a location where the signal is not obstructed or degraded by other buildings or by topographical features such as hills.

II. Project Description

As noted above, the Applicant proposes to modify its existing wireless facility currently operating on the rooftop of the Building by replacing three (3) existing panel antennas with three (3) new T-Mobile L700 panel antennas, together with three (3) RRH’s and supporting equipment. All new antennas will be installed to be consistent with the original zoning decision for this facility (the “Original Decision”). Furthermore, as the Applicant is proposing to replace existing antennas with the new antennas there will be no increase in the total number of antennas on the roof of the Building. Consequently, the visual change to the Applicant’s existing facility will be de minimus.

After installation, the Proposed Facility will be unmanned and will only require twice a month maintenance visits per carrier. The only utilities required to operate this Proposed Facility are standard 120-volt electrical power as well as telephone service. These are presently in place at the Property. The traffic generated by the Proposed Facility will be approximately two vehicle trips per month by maintenance personnel who will inspect the Proposed Facility to ensure it remains in good working order. The Proposed Facility will comply with all applicable local, state and federal safety codes.

III. Legal Arguments

A. The Applicant complies with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance

Pursuant to Section 4.32(g) of the Ordinance, the Applicant's proposed use for a wireless communications facility in the Business B zoning district is permitted by special permit. The Applicant's Proposed Facility further complies with the provisions set forth in Section 4.32(g), footnote 49 of the Ordinance:

- 1. The Board of Zoning Appeal shall consider the scope of or limitations imposed by any license secured from any state or federal agency having jurisdiction over such matters.**

Enclosed herewith is the Applicant's FCC license. The Applicant meets all requirements imposed by governmental authorities having jurisdiction over the Proposed Facility, including by the FCC, to provide wireless communications in this market area.

The intent of the U.S. Congress, when it enacted the Telecommunications Act of 1996 ("TCA") was to institute a framework to promote competition and innovation within the telecommunications industry. Under its license from the FCC, T-Mobile is obligated to provide a reliable "product" (i.e. wireless communications service) to the population of the City of Cambridge. Likewise, consumer expectations for increasingly robust and reliable service requires competing service providers (including T-Mobile) to identify and remedy existing gaps in reliable network coverage, or gaps that result from increasing subscriber voice and data traffic beyond the limits of existing network infrastructure. A carrier's failure to remedy network gaps in a timely fashion can result in a significant loss of subscribers to competing telecommunications carriers. As demonstrated in the Affidavit of Radio Frequency Expert provided by the Applicant and attached hereto, the Proposed Facility and corresponding relief requested are necessary to remedy a gap in reliable service coverage within T-Mobile's existing network infrastructure.

T-Mobile investigated alternative sites in and around the defined geographic area within which its engineers determined that a facility must be located to fill the gap in service coverage and to function effectively within its network of existing and planned facilities. This is an existing location that is being upgraded with new technology to provide the necessary coverage to the subject area of the City of Cambridge. Therefore, the Proposed Facility in the Business B zoning district is necessary to close the coverage gap that is illustrated on the propagation maps submitted herewith. Consequently, T-Mobile is unable to close a gap in its wireless network without obtaining the requested relief under Section 6409 of the Spectrum act or a Special Permit to modify its existing wireless facility in the Business B zoning district.

Furthermore, Section 6409(a) of the Spectrum Act mandates that state and local governments "*may not deny, and shall approve, any eligible facilities request for a modification*

of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.” Under Section 6409(a)(2)(A)-(C) an Eligible Facilities Request is any request to modify a Tower or Base Station that involves “collocations of new Transmission Equipment,” “removal,” or “replacement” of Transmission Equipment.

Because federal law now preempts many of the permit application requirements that this jurisdiction would previously have required from an Applicant, we have provided, on the attached EFR, only the information that federal law allows this jurisdiction to consider when reviewing an EFR. As such, we submit that the Wireless Communications set forth in Section 4.32(g), footnote 49 of the Ordinance, provisions are not applicable to Proposed Facility and relief must be granted pursuant to Section 6409(a) of the Spectrum Act.

- 2. The Board of Zoning Appeal shall consider the extent to which the visual impact of the various elements of the proposed facility is minimized: (1) through the use of existing mechanical elements on the building’s roof or other features of the building as support and background, (2) through the use in materials that in texture and color blend with the materials to which the facilities are attached, or (3) other effective means to reduce the visual impact of the facility on the site.**

The Applicant’s design minimizes the visual impact of the Proposed Facility. The facility will be installed on the existing rooftop of the Building and consistent with the Original Decision. The resulting installation will have an increased capacity to better serve the City of Cambridge without the need for an increased number of antennas on the Building. The proposed replacement antennas will be painted to match the color of the existing Building thereby minimizing any visual impacts.

As stated above, federal law now preempts many of the permit applications requirements that the Ordinance sets forth. To the extent that this Board determines that the Applicants’ proposed wireless facility must comply with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

- 3. Where it is proposed to erect such a facility in any residential zoning district, the extent to which there is a demonstrated public need for the facility at the proposed locations, the existence of alternative, functionally suitable sites in nonresidential locations, the character of the prevailing uses in the area, and the prevalence of other existing mechanical systems and equipment carried on or above the roof of nearby structures. The Board of Zoning Appeal shall grant a special permit to erect such a facility in a residential zoning district only upon a finding that nonresidential uses predominate in the vicinity of the proposed facility’s location and that the telecommunications facility is not inconsistent with the character that does prevail in the surrounding neighborhood.**

The Applicant proposes to install its facility within the Business-B zoning district. As such, this is not applicable.

B. The Applicant complies with the Special Permit Criteria set forth in Section 10-43 of the Ordinance²:

1. The requirements of the Ordinance can be met:

As provided above, the Applicant has met the requirements set forth in Section 4.32(g), footnote 49 of the Ordinance.

2. Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed installation will not obstruct existing rights-of-way or pedestrian access and will not change the daily conditions of access, egress, traffic, congestion hazard, or character of the neighborhood. The installation will not require the addition of any new parking or loading spaces. The use is passive and will not change the current conditions or appearance surrounding the Building. The facility will not produce any odors, fumes, noise or waste. There will be no need for water, sewer, or other municipal services.

As mentioned above, once modified, the facility will be unmanned and will only require infrequent visits by a technician, typically two times per month for routine diagnostics and/or maintenance, except in cases of emergency. These infrequent visits will not result in any material increase in traffic or disruption to patterns of access or egress that will cause congestion hazards or cause a substantial change in the established neighborhood character. The Applicant's maintenance personnel will make use of the existing access roads and parking at the Building.

3. The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

As described above and illustrated on the attached photograph simulations, the modification of the existing facility will produce a minimal change in the appearance of the Building. The modification of the existing facility will blend with the existing characteristics of

² Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

the Building and the surrounding neighborhood. Moreover, the proposed installation will not generate any traffic, smoke, dust, heat, glare, discharge of noxious substances, nor will it pollute waterways or groundwater. Conversely, the surrounding properties and general public will benefit from the potential to enjoy improved wireless communication.

4. Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The operations of the proposed telecommunications facility will not adversely impact the health, safety, and the welfare of the residents of the City of Cambridge. On the contrary, the proposed use will benefit the City and promote the safety and welfare of its residents, businesses and drivers by providing reliable state-of-the-art digital wireless voice and data services. Further, the site will improve the reliability of emergency communications with the police and fire departments by eliminating dropped or blocked calls due to inadequate signal strength or insufficient network capacity to handle call volume, particularly important during emergency situations.

The Proposed Facility will comply with all federal, state and local safety requirements including the standards established by the FCC, Federal Aviation Administration (FAA), the American Standards Institute (ANSI), and the Massachusetts Department of Public Health (MDPH).

Accordingly, the Proposed Facility will not adversely impact the health, safety and/or welfare of the neighborhood or the residents of the City of Cambridge.

5. For other reasons, the proposed installation will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The Proposed Facility is designed to blend with the existing characteristics of the Property, reducing any visual impacts to the surrounding area. Accordingly, the Proposed Facility's design results in a minimal impact on the underlying and adjacent zoning district and is consistent with the Ordinance's intention to allow for less intrusive wireless telecommunications facilities in all districts (other than Open Space), including the Business B zoning districts.

As mentioned above, the proposed modifications to the existing installation will not generate any traffic, smoke, dust, heat, glare, discharge or noxious substances, nor will it pollute waterways or groundwater.

6. The new use of the building construction is consistent with the Urban Design Objective set for tin Section 19.30 of the Ordinance:

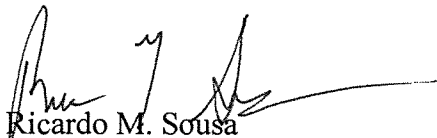
Not Applicable. The Applicant is not proposing to construct a new building or structure.

IV. Summary

The Applicant hereby requests that the Board determine that the City of Cambridge has the right to authorize the construction of the Proposed Facility through the issuance of a Building Permit, pursuant to Section 6409(a) of the Spectrum Act. Or, in the alternative, its proposed modifications to the existing telecommunications facility will not have any adverse effect on the neighborhood within which the Property is located in particular, and the City of Cambridge as a whole. The findings are made in view of the particular characteristics of the Property and of the Applicant's proposed siting and equipment, as detailed above. This Property is the most appropriate location for the installation and operation of the wireless communications facility.

For the foregoing reasons the Applicant respectfully requests that the Board grant the foregoing relief pursuant to Section 6409(a) of the Spectrum Act or, in the alternative, zoning relief in the form of a Special Permit and such other relief as the Board deems necessary to allow the installation and operation of the Applicant's Proposed Facility.

Sincerely,



Ricardo M. Sousa

Direct: 617-456-8123

Email: rsousa@princelobel.com

3

T-Mobile®

T-MOBILE NORTHEAST LLC

T-MOBILE SITE #: 4BSM457A
SITE NAME: BRATTLE SQUARE
1 BRATTLE SQUARE
CAMBRIDGE, MA 02138

T-Mobile

T-MOBILE NORTHEAST LLC
 A DELAWARE LIMITED LIABILITY COMPANY

15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 PHONE: (508) 286-2700
 FAX: (508) 286-2883

Dewberry

Dewberry Engineers Inc.
 280 SUMMER STREET
 10TH FLOOR
 BOSTON, MA 02210
 PHONE: 617.695.3400
 FAX: 617.695.3310

NANEPASHEMET
 PROJECT MANAGEMENT

328 WEST SHORE DRIVE
 SUITE 1-A
 MARBLEHEAD, MASSACHUSETTS 01945



SITE CONFIGURATION:
5F
 APPROVALS

LANDLORD _____
 LEASING _____
 R.F. _____
 ZONING _____
 CONSTRUCTION _____
 A/E _____

PROJECT NO: 50037672

JOB NO: 50074320

DRAWN BY: JG

CHECKED BY: LSP

SUBMITTALS

NO.	DATE	DESCRIPTION
1	03/10/16	FOR CONSTRUCTION
0	10/13/15	FOR CONSTRUCTION
A	08/24/15	FOR REVIEW

4BSM457A
BRATTLE SQUARE
1 BRATTLE SQUARE
CAMBRIDGE, MA 02138

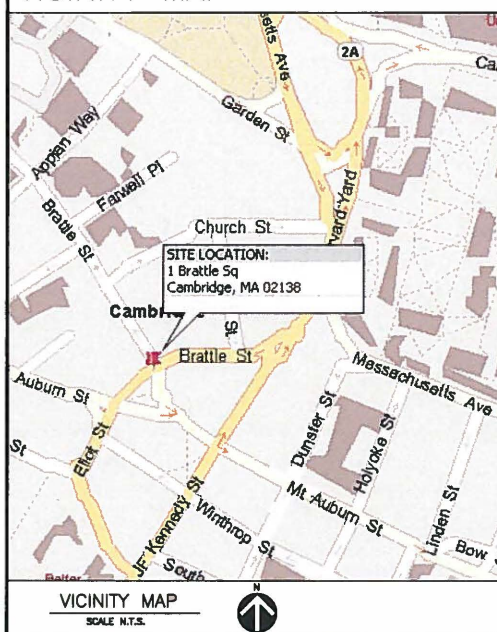
SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

GENERAL NOTES

- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE LESSEE REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE LESSEE REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE LESSEE REPRESENTATIVE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY: DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233 CALL BEFORE YOU DIG
- PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WIRELESS COMMUNICATIONS SYSTEMS. PROJECT OWNER IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BTS RADIO CABINETS. THE PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.

VICINITY MAP



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE T-MOBILE NORTHEAST LLC, REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF T-MOBILE NORTHEAST LLC. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.

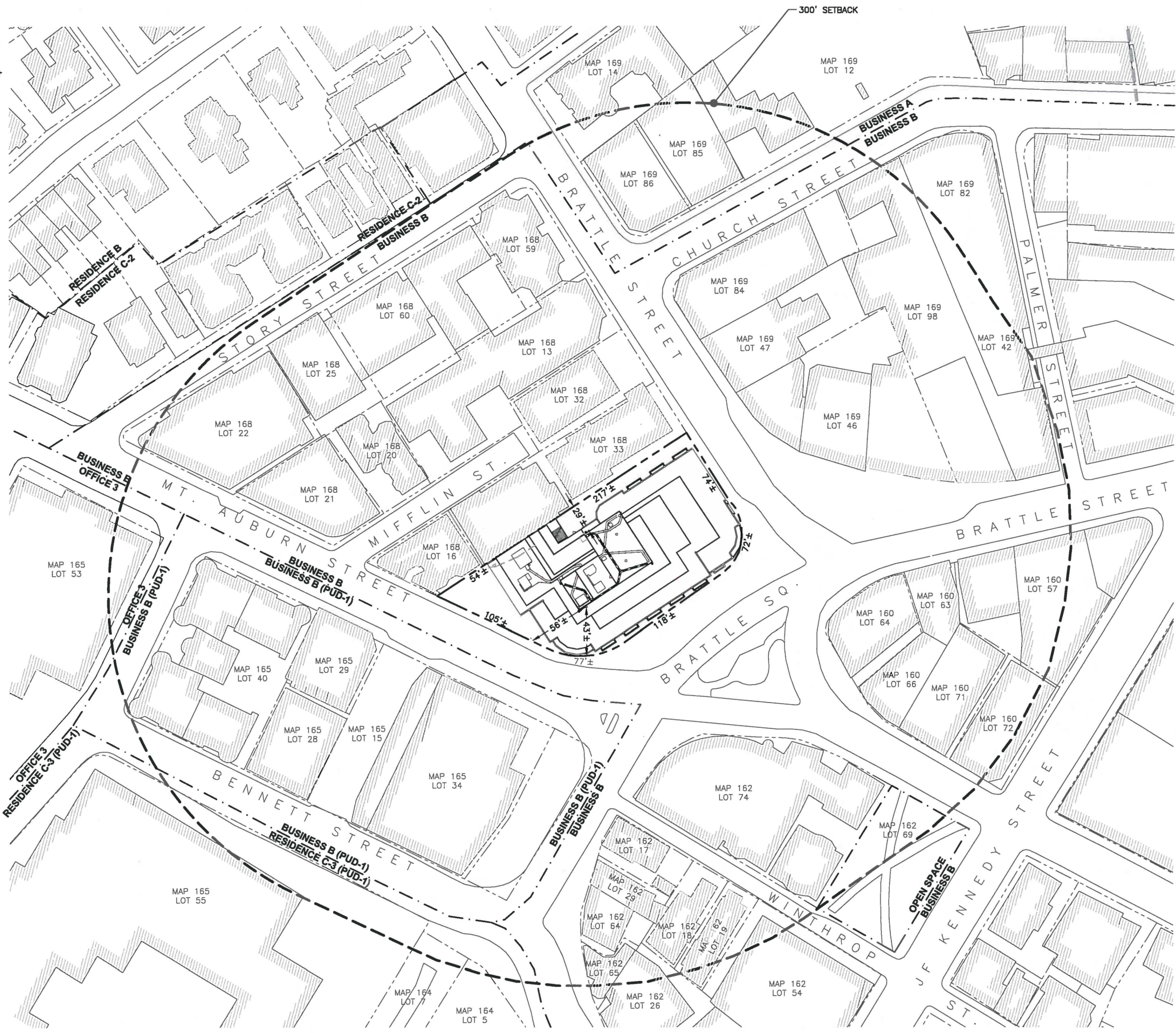
SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	1
A-1	PLOT PLAN	1
A-2	ROOF PLAN	1
A-3	SOUTH ELEVATION	1
A-4	EAST ELEVATIONS	1
A-5	ANTENNA, ROOM PLAN & RF SCHEDULE	1
A-6	CONSTRUCTION DETAILS I	1
E-1	GROUNDING DETAILS & NOTES	1

PROJECT SUMMARY

SITE NUMBER: 4BSM457A
 SITE NAME: BRATTLE SQUARE
 SITE ADDRESS: 1 BRATTLE SQUARE
 CAMBRIDGE, MA 02138
 ZONING DISTRICT: BUSINESS B
 PARCEL ID.: MAP 16B LOT 36
 CONSTRUCTION TYPE: ROOF TOP
 PROPERTY OWNER: WELLS REIT-ONE BRATTLE SQUARE I,LLC
 C/O CB RICHARD ELLIS-NE PARTNERS, LP
 745 ATLANTIC AVENUE
 BOSTON, MA 02111
 APPLICANT, LESSEE/LICENSEE, PROJECT OWNER: T-MOBILE NORTHEAST LLC,
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 THIS DOCUMENT WAS DEVELOPED TO REFLECT A SPECIFIC SITE AND ITS SITE CONDITIONS AND IS NOT TO BE USED FOR ANOTHER SITE OR WHEN OTHER CONDITIONS PERTAIN. REUSE OF THIS DOCUMENT IS AT THE SOLE RISK OF THE USER.
 A.D.A. COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

APPROXIMATE TRUE NORTH



PLOT PLAN
 SCALE: 1"=100' FOR 11"x17"
 1"=50' FOR 22"x34"
 0' 50' 100'

GENERAL NOTES:

1. PLOT PLAN BASED ON DRAWINGS BY HUDSON DESIGN GROUP, LLC, AND ISSUED FOR CONSTRUCTION, REVISION 2, DATED 11/05/09.
2. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
3. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)
4. SITE CONTROL POINT: CENTER OF BUILDING FOOTPRINT
 LATITUDE: N 42.373242'
 LONGITUDE: W -71.121417
5. PROPERTY OWNER: WELLS REIT - ONE BRATTLE SQUARE I, LLC
 C/O CB RICHARD ELLIS - NE PARTNERS, LP
 745 ATLANTIC AVENUE
 BOSTON, MA 02111
6. SITE NUMBER: 4BSM457A
7. SITE ADDRESS: 1 BRATTLE SQUARE
 CAMBRIDGE, MA 02138
8. APPLICANT: T-MOBILE NORTHEAST LLC,
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
9. JURISDICTION: CITY OF CAMBRIDGE
10. TAX ID: MAP 168 LOT 36
11. DEED REFERENCE: N/A
12. PLAN REFERENCES: CITY OF CAMBRIDGE ASSESSORS MAP
13. ZONING JURISDICTION: BB-HSQ
14. ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY: DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233 CALL BEFORE YOU DIG (CT): 1-800-922-4455
15. SOME PROPOSED AND EXISTING INFORMATION NOT SHOWN FOR CLARITY.
16. BEARING SYSTEM OF THIS PLAN IS BASED ON TRUE NORTH. TRUE NORTH WAS ESTABLISHED FROM EXISTING PLAN REFERENCE. IT IS NOT INTENDED TO BE AN EXACT REPRESENTATION OF TRUE NORTH.

LEGEND

	LOCUS PROPERTY LINE
	EXISTING PROPERTY LINE
	300' SETBACK
	ZONING BOUNDARY
IND	ZONING DISTRICT
	EXISTING BUILDINGS
MAP# LOT#	MAP/LOT

ZONING SUMMARY TABLE

ZONING DISTRICT: BUSINESS B (BB-HSQ)			
ASSESSORS MAP: MAP 168 LOT 36			
JURISDICTION: CITY OF CAMBRIDGE			
USE: WIRELESS COMMUNICATION FACILITY			
DIMENSION:	REQUIRED MINIMUM	EQUIPMENT	ANTENNA
LOT AREA	-	-	28,940 S.F.
LOT FRONTAGE	-	-	118 FT
FRONT YARD SETBACK*	NONE	INDOOR	43'±
SIDE YARD SETBACK*	NONE	INDOOR	56'±
REAR YARD SETBACK*	NONE	INDOOR	29'±

* DIMENSIONS MEASURED FROM THE CLOSEST POINT OF ANTENNAS TO NEAREST LOT LINE.

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Dewberry
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 10TH FLOOR
 BOSTON, MA 02210
 PHONE: 617.695.3400
 FAX: 617.695.3310

NANEPASHEMET
 PROJECT MANAGEMENT
 328 WEST SHORE DRIVE
 SUITE 1-A
 MARBLEHEAD, MA 01945

SITE CONFIGURATION:
 5F

APPROVALS

LANDLORD _____

LEASING _____

R.F. _____

ZONING _____

CONSTRUCTION _____

A/E _____

PROJECT NO: 50037672

JOB NO: 50074320

DRAWN BY: JG

CHECKED BY: LSP

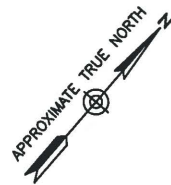
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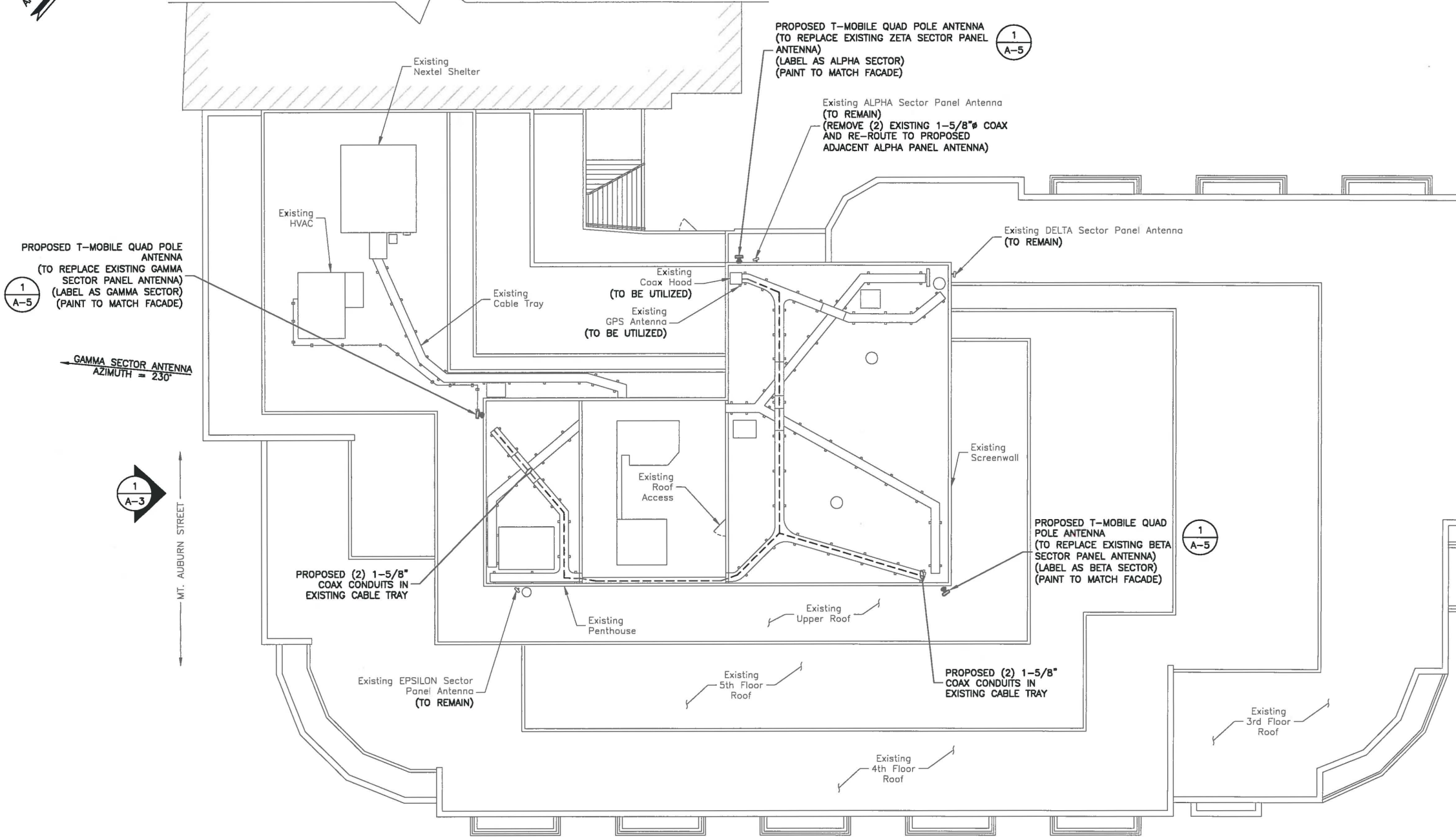
4BSM457A
 BRATTLE SQUARE
 1 BRATTLE SQUARE
 CAMBRIDGE, MA 02138

SHEET TITLE
 PLOT PLAN

SHEET NUMBER
 A-1



ALPHA SECTOR ANTENNA
AZIMUTH = 310



PROPOSED T-MOBILE QUAD POLE ANTENNA
(TO REPLACE EXISTING GAMMA SECTOR PANEL ANTENNA)
(LABEL AS GAMMA SECTOR)
(PAINT TO MATCH FACADE)

GAMMA SECTOR ANTENNA
AZIMUTH = 230

1
A-3

MT. AUBURN STREET

BRATTLE STREET

BRATTLE SQUARE

1
A-4

BETA SECTOR ANTENNA
AZIMUTH = 100

ROOF PLAN
SCALE: 3/84"=1' FOR 11"x17"
3/32"=1' FOR 22"x34"



- NOTES:**
- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
 - NORTH SHOWN AS APPROXIMATE.
 - EXISTING BUILDING AND ANTENNA ELEVATIONS ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED WITH A MAPPING.
 - PLANS BASED ON EXISTING INFORMATION AND SITE VISIT BY DEWBERRY ENGINEERS INC. ON 6/4/2015.
 - CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO INSTALLATION OF EQUIPMENT.

SCOPE OF WORK

- ADD (1) DUW30 TO RBS6201.
- ADD (3) RUS01 B2 RADIOS AND (6) 80 WATT RUS01 B4 RADIOS.
- ADD RET FUNCTIONALITY TO EACH SECTOR BY INSTALLING (6) SMART BIAS TEES.
- ADD (1) CELLMAX CMA-BDHH/6520/EO-8 TO EACH SECTOR.
- RE-USE EXISTING GPS ANTENNA AND ADD SPLITTER AND GPS02.

NOTE: ANTENNA MAST TOTAL COUNT = 6. EXISTING ANTENNA COUNT = 6. KEEP THREE EXISTING DUAL POLE ANTENNAS AND ADD ONE QUAD POLE CELLMAX CMA-BDHH/6520/EO-8 ON THREE SECTORS (310-100-230). ADD (4) 1-5/8" HARD LINES. ROUTE HARD LINES AS REQUIRED. SEE ADDITIONAL COMMENTS SECTION.

ROOFTOP SITE WITH (6) SECTORS WITH ALL ANTENNA LOCATED ON THE PENTHOUSE ROOF. REPLACE (3) ANTENNAS WITH (3) NEW CELLMAX MED ANTENNAS. REPLACE 3 EXISTING ANTENNA AT EXISTING AZIMUTH 120 DEG, 180 DEG AND 300 DEG, ADDING TWO (2) TWIN TMAS PER ANTENNA. ADD TWO (2) NEW COAX FOR ANTENNAS AT 100 DEG AND 230 DEG. MIGRATE 2 COAX FROM EXISTING 0 DEG SECTOR TO ANTENNA AT 310 DEG. REMOVE JUMPER FROM HARDLINE TO CDMA CABINET AND REPLACE WITH NEW JUMPERS TO THE LTE CABINET (ENSURE NEW JUMPERS HAVE 90 DEG CONNECTOR ON RADIO SIDE).

EXISTING COAX LINES SHOWN CAN BE RE-USED FOR NEW ANTENNAS INSTEAD OF NEW PROPOSED COAX RUNS AS INDICATED. CONTRACTOR TO ENSURE 12 EXISTING/PROPOSED COAX RUNS ARE INSTALLED PER FINAL RFDS REQUIREMENTS. CONTRACTOR TO IDENTIFY AND REPLACE DAMAGED COAX AS REQUIRED.

T-Mobile
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NANEPASHEMET
PROJECT MANAGEMENT
328 WEST SHORE DRIVE
SUITE 200
MARBLEHEAD, MA 01945
LUIS PUGA
REGISTERED PROFESSIONAL ENGINEER
NO. 51133

SITE CONFIGURATION:
5F

APPROVALS

LANDLORD _____

LEASING _____

R.F. _____

ZONING _____

CONSTRUCTION _____

A/E _____

PROJECT NO: 50037672

JOB NO: 50074320

DRAWN BY: JG

CHECKED BY: LSP

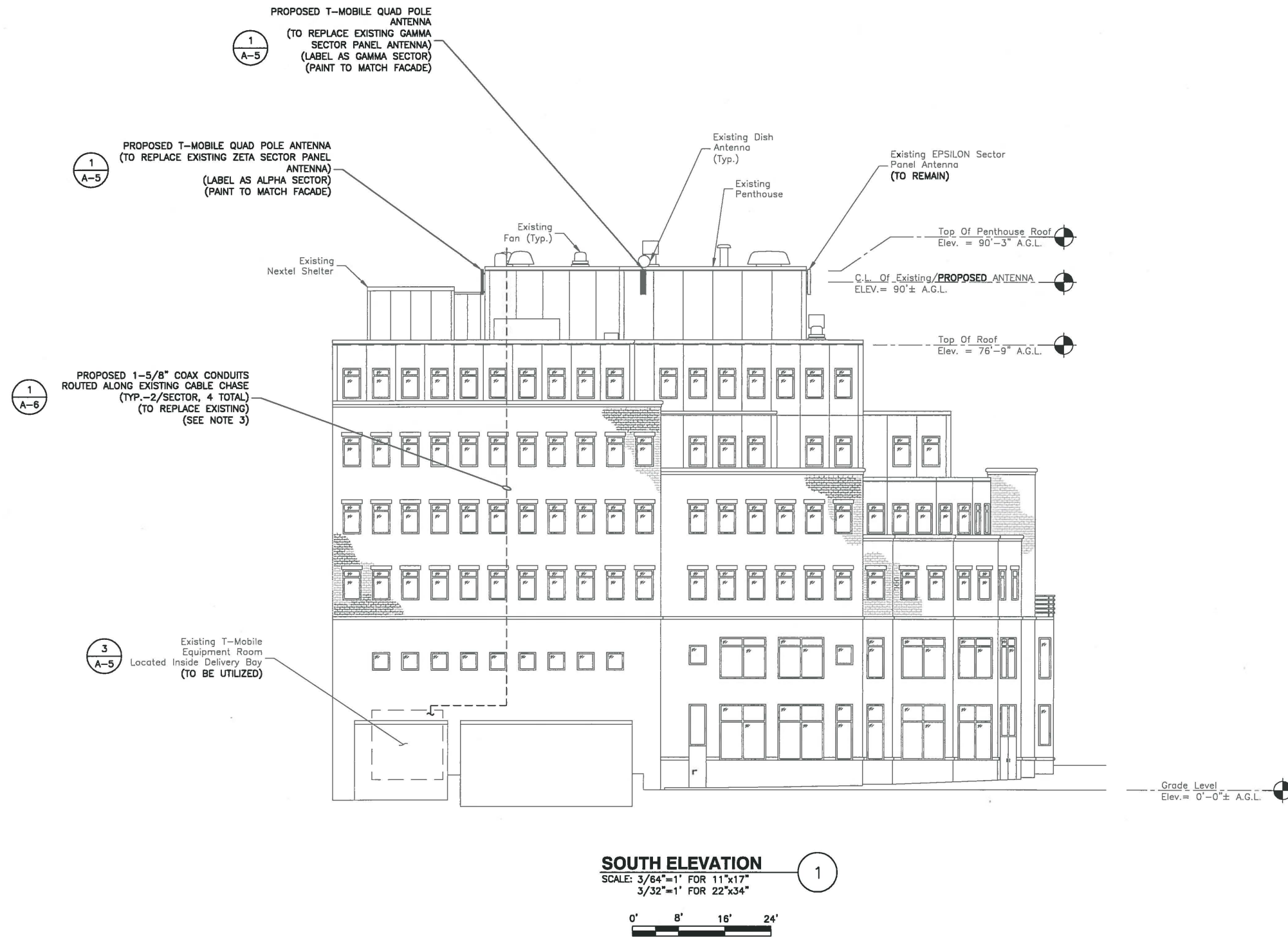
SUBMITTALS

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0	10/13/15	FOR CONSTRUCTION
A	08/24/15	FOR REVIEW

4BSM457A
BRATTLE SQUARE
1 BRATTLE SQUARE
CAMBRIDGE, MA 02138

SHEET TITLE
ROOF PLAN

SHEET NUMBER
A-2



SOUTH ELEVATION ①
 SCALE: 3/84"=1' FOR 11"x17"
 3/32"=1' FOR 22"x34"
 0' 8' 16' 24'

- NOTES:**
- ELEVATIONS SHOWN AS APPROXIMATE.
 - SOME EXISTING & PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
 - EXISTING COAX LINES SHOWN CAN BE RE-USED FOR NEW ANTENNAS INSTEAD OF NEW PROPOSED COAX RUNS AS INDICATED. CONTRACTOR TO ENSURE 12 EXISTING/PROPOSED COAX RUNS ARE INSTALLED PER FINAL RFDS REQUIREMENTS. CONTRACTOR TO IDENTIFY AND REPLACE DAMAGED COAX AS REQUIRED.

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NANEPASHEMET
 PROJECT MANAGEMENT

328 WEST SHORE DRIVE
 SUITE 100
 MARBLEHEAD, MA 01945



SITE CONFIGURATION:
5F

APPROVALS

LANDLORD _____

LEASING _____

R.F. _____

ZONING _____

CONSTRUCTION _____

A/E _____

PROJECT NO: **50037672**

JOB NO: **50074320**

DRAWN BY: **JG**

CHECKED BY: **LSP**

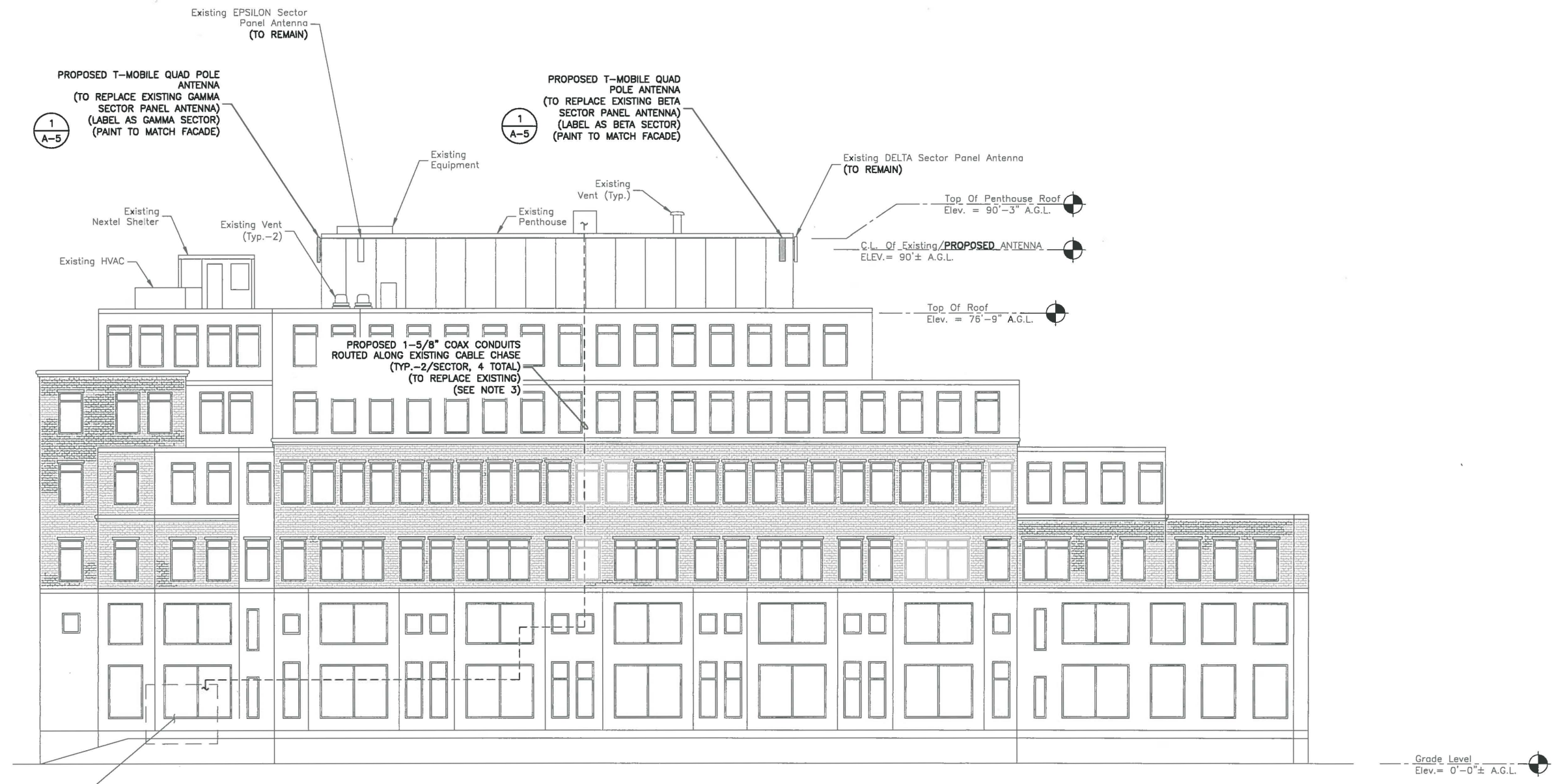
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0	10/13/15	FOR CONSTRUCTION
A	08/24/15	FOR REVIEW

4BSM457A
 BRATTLE SQUARE
 1 BRATTLE SQUARE
 CAMBRIDGE, MA 02138

SHEET TITLE
SOUTH ELEVATION

SHEET NUMBER
A-3



PROPOSED T-MOBILE QUAD POLE ANTENNA (TO REPLACE EXISTING GAMMA SECTOR PANEL ANTENNA) (LABEL AS GAMMA SECTOR) (PAINT TO MATCH FACADE)

PROPOSED T-MOBILE QUAD POLE ANTENNA (TO REPLACE EXISTING BETA SECTOR PANEL ANTENNA) (LABEL AS BETA SECTOR) (PAINT TO MATCH FACADE)

PROPOSED 1-5/8\"/>

EAST ELEVATION
 SCALE: 3/64\"/>



3
A-5 Existing T-Mobile Equipment Room Located Inside Delivery Bay (TO BE UTILIZED)

- NOTES:**
- ELEVATIONS SHOWN AS APPROXIMATE.
 - SOME EXISTING & PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
 - EXISTING COAX LINES SHOWN CAN BE RE-USED FOR NEW ANTENNAS INSTEAD OF NEW PROPOSED COAX RUNS AS INDICATED. CONTRACTOR TO ENSURE 12 EXISTING/PROPOSED COAX RUNS ARE INSTALLED PER FINAL RFDS REQUIREMENTS. CONTRACTOR TO IDENTIFY AND REPLACE DAMAGED COAX AS REQUIRED.

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NANEPASHEMET
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 328 WEST SHORE DRIVE
 MADEIRA, MA 01945
 LUIS PUGA
 CIVIL
 NO. 51133
 REGISTERED PROFESSIONAL ENGINEER

SITE CONSTRUCTION:
 5F
 APPROVALS
 LANDLORD _____
 LEASING _____
 R.F. _____
 ZONING _____
 CONSTRUCTION _____
 A/E _____

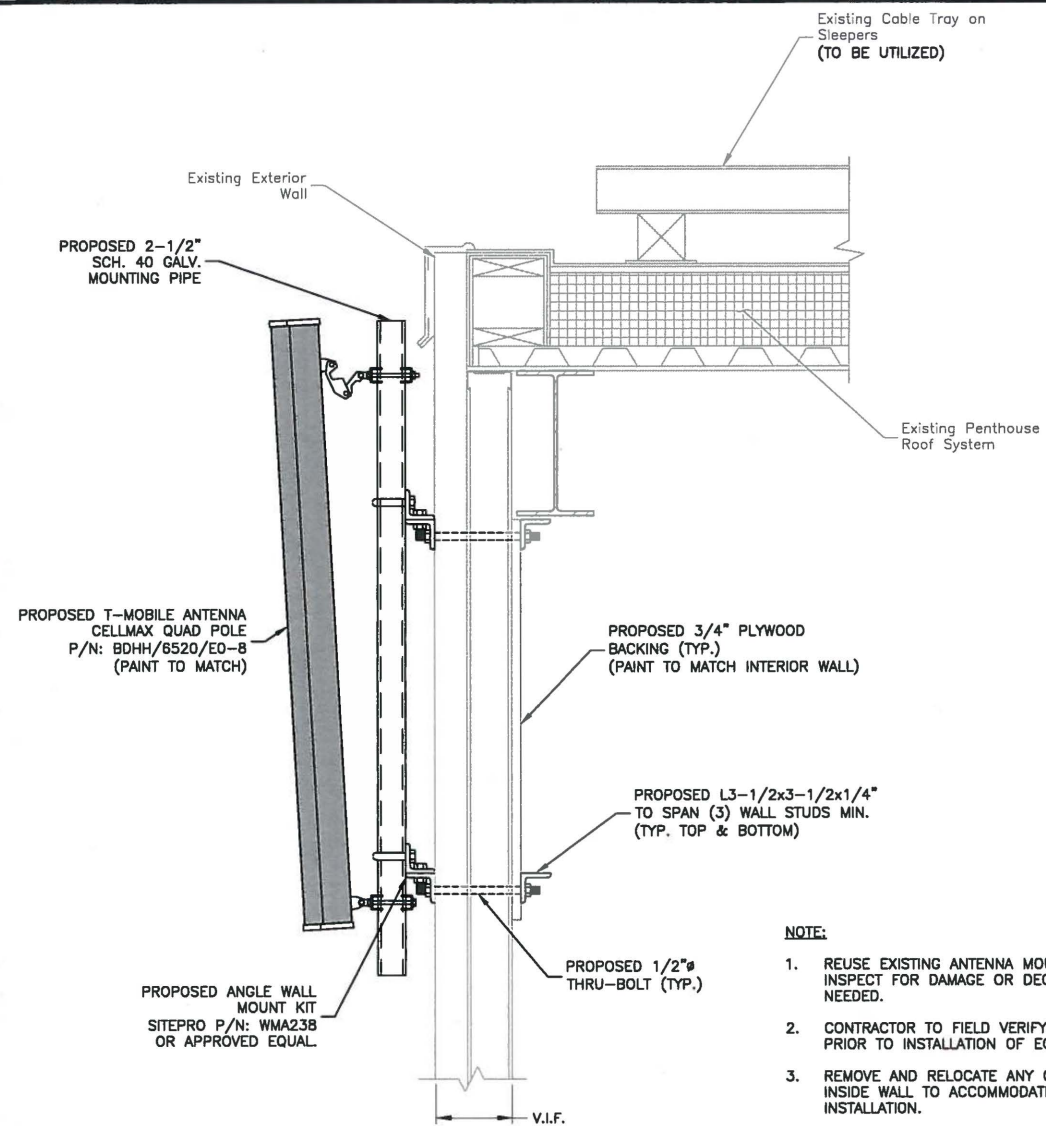
PROJECT NO: 50037672
 JOB NO: 50074320
 DRAWN BY: JG
 CHECKED BY: LSP

SUBMITTALS	
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 BRATTLE SQUARE
 1 BRATTLE SQUARE
 CAMBRIDGE, MA 02138

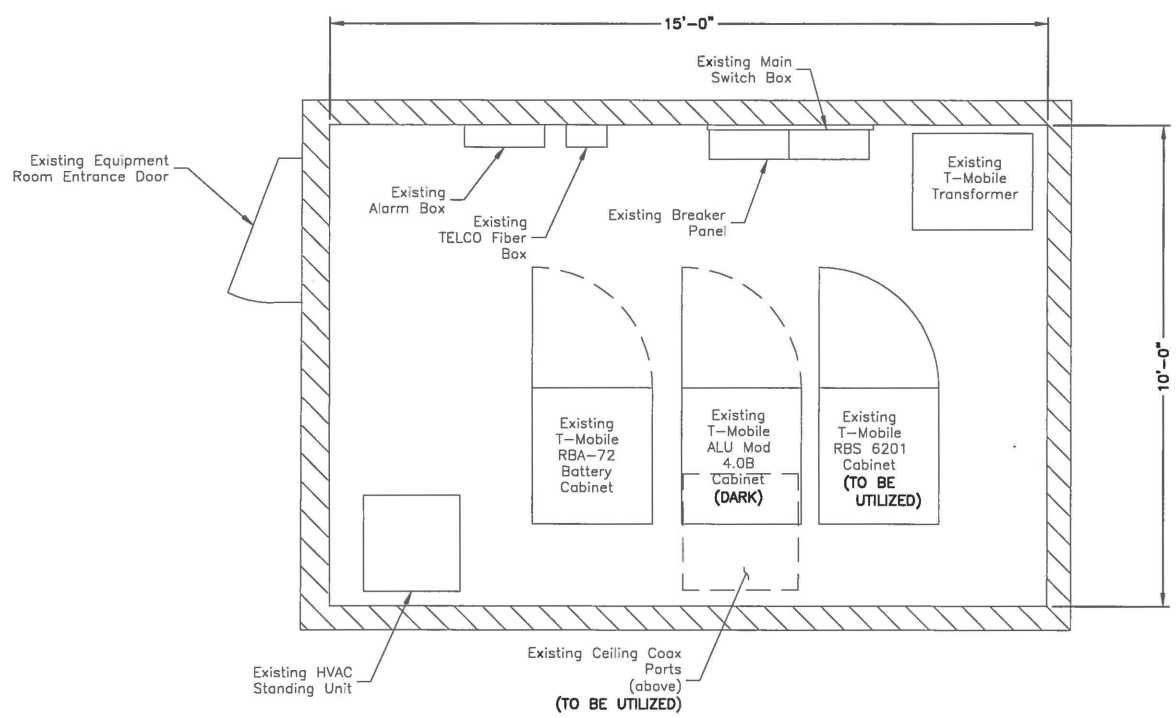
SHEET TITLE
 EAST ELEVATION

SHEET NUMBER
 A-4



FACADE MOUNT DETAIL
 SCALE: 1/2"=1' FOR 11"x17"
 1"=1' FOR 22"x34"
 0' 1' 2'

- NOTE:**
1. REUSE EXISTING ANTENNA MOUNTS AND COAX. INSPECT FOR DAMAGE OR DECAY AND REPLACE AS NEEDED.
 2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO INSTALLATION OF EQUIPMENT.
 3. REMOVE AND RELOCATE ANY OBSTRUCTION ON THE INSIDE WALL TO ACCOMMODATE ANTENNA MOUNT INSTALLATION.
 4. PRIME AND PAINT ALL MOUNTING BRACKETS AND ANTENNAS TO MATCH EXISTING PENTHOUSE WALL.



- NOTE:**
1. REUSE EXISTING COAX. INSPECT FOR DAMAGE OR DECAY AND REPLACE AS NEEDED.
 2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO INSTALLATION OF EQUIPMENT.

EQUIPMENT ROOM PLAN
 SCALE: 1/4"=1' FOR 11"x17"
 1/2"=1' FOR 22"x34"
 0' 1' 2' 4'

T-MOBILE RF SYSTEM SCHEDULE*						
EXISTING ANTENNA (METROPCS CONFIGURATION)			PROPOSED/EXISTING ANTENNA (T-MOBILE CONFIGURATION)			
SECTOR	ANTENNA QTY.	ANTENNA MAKE & MODEL	SECTOR	ANT. QTY.	RF CABL. QTY.	ANTENNA MAKE & MODEL
ALPHA	1	KATHREIN 742 351 (60.1"x11.8"x3.3")	ALPHA	1	0	KATHREIN 742 351 (60.1"x11.8"x3.3")
DELTA	1	KATHREIN 742 351 (60.1"x11.8"x3.3")	BETA	1	0	KATHREIN 742 351 (60.1"x11.8"x3.3")
BETA	1	KATHREIN 742 351 (60.1"x11.8"x3.3")	BETA	1	4	CELLMAX BDHH/6520/E0-8 (64.6"x15.9"x5")
EPSILON	1	KATHREIN 742 351 (60.1"x11.8"x3.3")	GAMMA	1	0	KATHREIN 742 351 (60.1"x11.8"x3.3")
GAMMA	1	KATHREIN 742 351 (60.1"x11.8"x3.3")	GAMMA	1	4	CELLMAX BDHH/6520/E0-8 (64.6"x15.9"x5")
ZETA	1	KATHREIN 742 351 (60.1"x11.8"x3.3")	ALPHA	1	4	CELLMAX BDHH/6520/E0-8 (64.6"x15.9"x5")

*ANTENNA CONFIGURATION BASED ON T-MOBILE RFDS REVISION 3 (DATED 9/24/15)
 VERIFY ALL INFORMATION WITH LATEST RF DATA SHEET AND T-MOBILE RF PRIOR TO CONSTRUCTION

RF SCHEDULE
 SCALE: N.T.S.
 2

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LUI S PUGA
 CIVIL
 NO 51133
 REGISTERED PROFESSIONAL ENGINEER

APPROVALS

LANDLORD _____

LEASING _____

R.F. _____

ZONING _____

CONSTRUCTION _____

A/E _____

PROJECT NO: 50037672

JOB NO: 50074320

DRAWN BY: JG

CHECKED BY: LSP

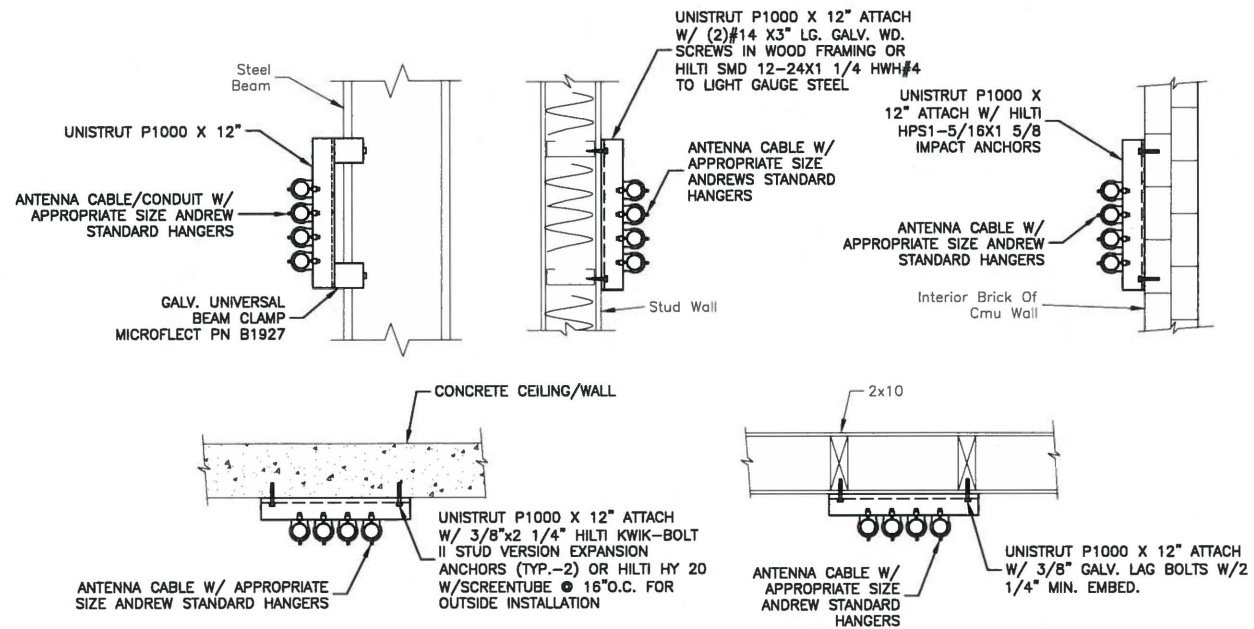
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4BSM457A
 BRATTLE SQUARE
 1 BRATTLE SQUARE
 CAMBRIDGE, MA 02138

SHEET TITLE
 ANTENNA,
 ROOM PLAN
 & RF SCHEDULE

SHEET NUMBER
 A-5



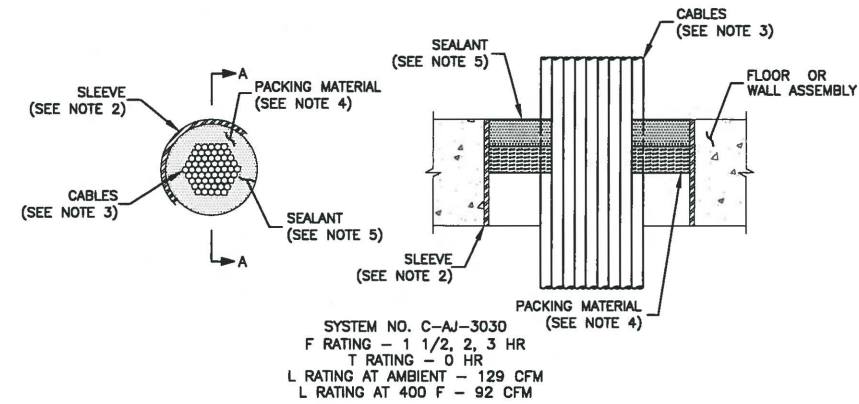
NOTES:

1. ALL COAX CABLE SUPPORT SPACING: 4'-0" MAX.
2. ALL CONDUIT SUPPORT SPACING: 10' MAX.
3. ALL COAX TO BE VERTICALLY AND HORIZONTALLY SECURED THROUGHOUT CABLE RUN.

CABLE CONDUIT SUPPORT

SCALE: N.T.S.

1



NOTES:

1. FLOOR OR WALL ASSEMBLY - MIN. 2-1/2 IN THICK LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CONCRETE BLOCKS*. MAX DIAM OF OPENING IS 8 IN.
* BEARING THE UL CLASSIFICATION MARKING.
2. SLEEVE - NOM. 8 IN. DIAM (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE CAST INTO FLOOR OR WALL ASSEMBLY. SLEEVE TO BE FLUSH WITH OR PROJECT MAX 2 IN. FROM TOP SURFACE OF FLOOR OR BOTH SURFACES OF WALL.
3. CABLES - AGGREGATE CROSS-SECTIONAL AREA OF CABLES TO BE MIN 10 PERCENT TO MAX 40 PERCENT OF THE CROSS-SECTIONAL AREA OF THE OPENING. CABLES TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF THE FLOOR OR WALL ASSEMBLY. ANY COMBINATION OF THE FOLLOWING TYPES AND SIZES MAY BE USED:
 - A. MAX NO. 12 AWG MULTICONDUCTOR COPPER CONTROL CABLES; CROSS-LINKED POLYETHYLENE, POLYVINYL CHLORIDE, NEOPRENE RUBBER, HYPALON OR SILICONE RUBBER INSULATION JACKET MATERIALS.
 - B. RG/U (RADIO GRADE/UNIVERSAL) COAXIAL CABLE WITH FLUORINATED ETHYLENE (FE) OR PVC INSULATION AND JACKET.
 - C. THROUGH PENETRATING PRODUCT* - ANY CABLES, ARMORED CABLE+OR METAL CLAD CABLE+CURRENTLY CLASSIFIED UNDER THE THROUGH PENETRATING PRODUCT CATEGORY. SEE THROUGH PENETRATING PRODUCT (XHLTY) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.
4. PACKING MATERIAL - MIN 1 IN. THICKNESS OF MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR SLEEVE OR FROM BOTH SURFACES OF WALL OR ENDS OF SLEEVE AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
5. FILL, VOID OR CAVITY MATERIAL* - CAULK OR SEALANT - APPLIED TO FILL THE THROUGH OPENING TO A MIN THICKNESS OF 1 IN. FLUSH WITH THE TOP SURFACE OF THE FLOOR OR SLEEVE OR BOTH SURFACES OF WALL OR ENDS OF SLEEVE. CAULK TO BE FORCED INTO INTERSTICES OF CABLE GROUP TO MAX EXTENT POSSIBLE. F RATING OF FIRESTOP SYSTEMS IS DEPENDENT UPON THE THROUGH OPENING SIZE, THE THICKNESS OF THE CONCRETE, THE SLEEVE TYPE AND PERCENT OF CABLE FILL.

MAX THROUGH OPENING DIAM. IN.	MIN. CONCRETE THKNS IN.	SLEEVE TYPE	% CABLE FILL	F RATING HR
8	2 1/2	STEEL	15-40	1 1/2
8	2 1/2	STEEL	10-15	3
8	4 1/2	STEEL	10-22	3

THROUGH PENETRATION FIRESTOP SYSTEM DETAIL

SCALE: N.T.S.

2

T-Mobile

T-MOBILE NORTHEAST LLC
A DELAWARE LIMITED LIABILITY COMPANY

15 COMMERCE WAY, SUITE B
NORTON, MA 02766
PHONE: (508) 286-2700
FAX: (508) 286-2883

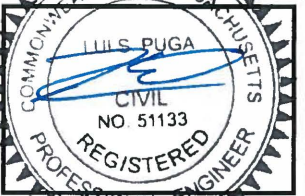
Dewberry

Dewberry Engineers Inc.

280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310

NANEPASHMET
PROJECT MANAGEMENT

328 WEST SHORE DRIVE
MARBLEHEAD, MASSACHUSETTS 01945



SITE DESIGNATION:

5F

APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A/E _____

PROJECT NO: 50037672

JOB NO: 50074320

DRAWN BY: JG

CHECKED BY: LSP

SUBMITTALS

NO.	DATE	DESCRIPTION
1	03/10/16	FOR CONSTRUCTION
0	10/13/15	FOR CONSTRUCTION
A	08/24/15	FOR REVIEW

4BSM457A

BATTLE SQUARE

1 BATTLE SQUARE
CAMBRIDGE, MA 02138

SHEET TITLE

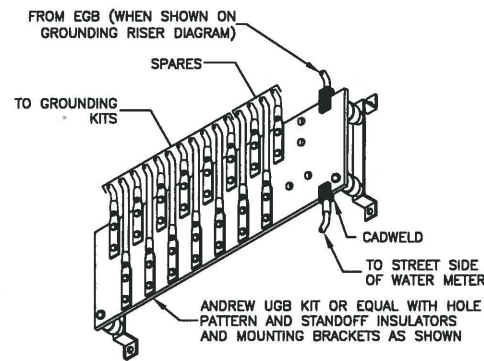
CONSTRUCTION DETAILS
1

SHEET NUMBER

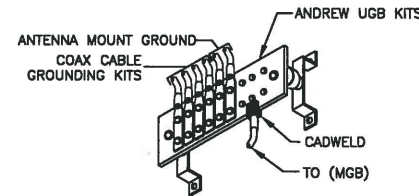
A-6

ELECTRICAL & GROUNDING NOTES

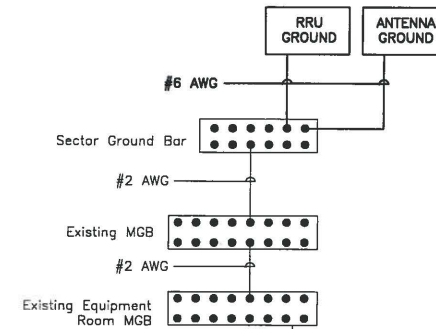
1. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.
2. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.
3. THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATION INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.
4. GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
5. ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS OR SCHEDULE 80 PVC (AS PERMITTED BY CODE) AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR NONMETALLIC CONDUITS.
6. RIGID STEEL CONDUITS SHALL BE GROUNDED AT BOTH ENDS.
7. ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XHHW, THWN, OR THIN INSULATION.
8. RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY DEMARCATION POINT AND LESSEE/LICENSEE CELL SITE PPC AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
9. RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND LESSEE/LICENSEE CELL SITE TELCO CABINET AND BTS CABINET AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE IN INSTALLED TELCO CONDUIT. PROVIDE GREENLEE CONDUIT MEASURING TAPE AT EACH END.
10. ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
11. GROUNDING SHALL COMPLY WITH NEC ART. 250.
12. GROUND COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURER'S COAX CABLE GROUNDING KITS SUPPLIED BY LESSEE/LICENSEE.
13. USE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
14. ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
15. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 6 FEET OF LESSEE/LICENSEE EQUIPMENT OR CABINET TO MASTER GROUND BAR OR GROUNDING RING.
16. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
17. APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUND CONNECTIONS.
18. BOND ANTENNA MOUNTING BRACKETS, COAXIAL CABLE GROUND KITS, AND ALNA TO EGB PLACED NEAR THE ANTENNA LOCATION.
19. BOND ANTENNA EGBS AND MGB TO GROUND RING.
20. TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION. 5 OHMS MINIMUM RESISTANCE REQUIRED.
21. BOND ANY METAL OBJECT WITHIN 7 FEET OF THE PROPOSED EQUIPMENT OR CABINET TO MASTER GROUND BAR.
22. VERIFY PROPOSED SERVICE UPGRADE WITH LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION.



MASTER GROUND BAR (MGB)
SCALE: N.T.S.

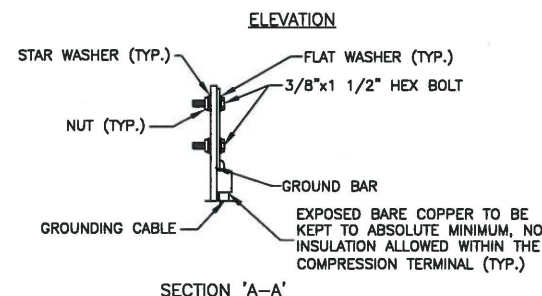
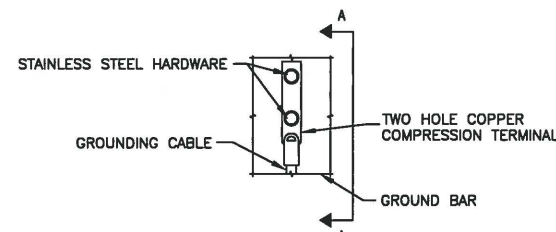


EQUIPMENT GROUND BAR (EGB)
SCALE: N.T.S.



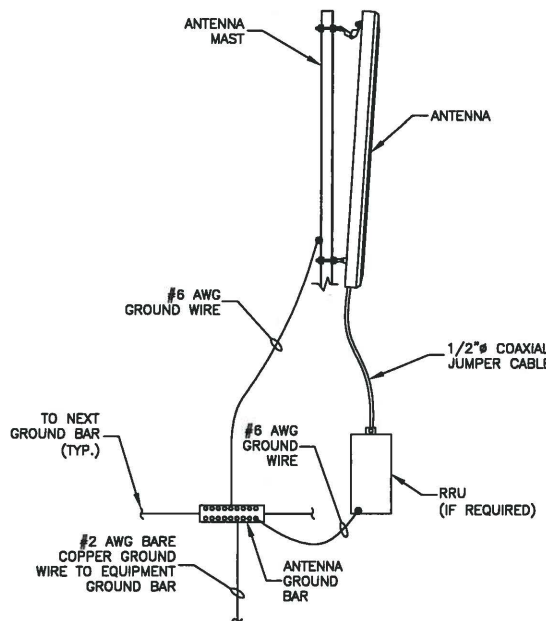
- NOTES:**
1. ALL PROPOSED EQUIPMENT TO BE GROUNDED TO SECTOR GROUND BAR.
 2. TYPICAL FOR ALL SECTORS.
 3. GROUNDING SHALL COMPLY WITH NEC ART. 250 & T-MOBILE SPECIFICATIONS.

SCHEMATIC GROUNDING DIAGRAM
SCALE: N.T.S.

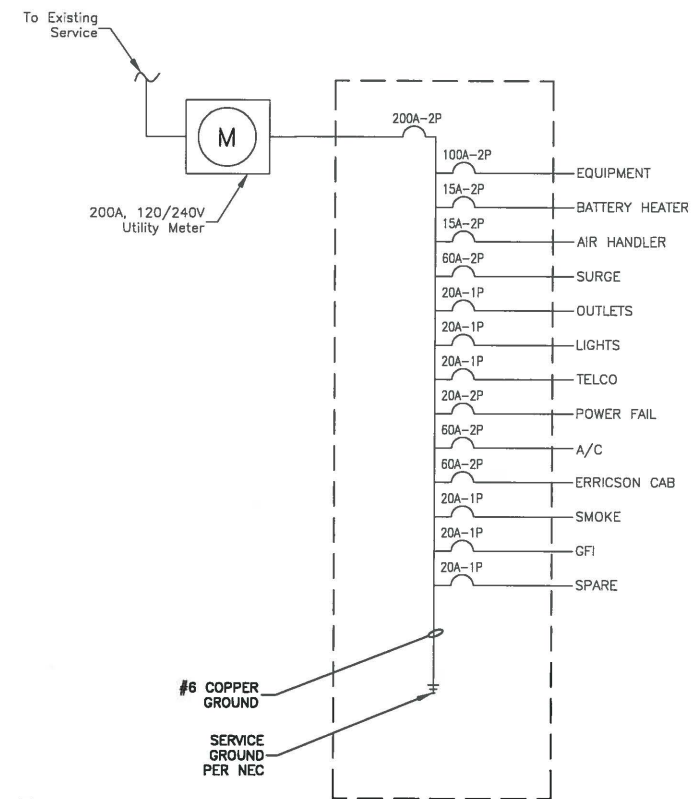


- NOTES:**
1. DOUBLING UP OR STACKING OF CONNECTIONS IS NOT PERMITTED.
 2. OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.

TYPICAL GROUND BAR MECHANICAL CONNECTION DETAIL
SCALE: N.T.S.



TYPICAL ANTENNA GROUNDING DETAIL
SCALE: N.T.S.



- NOTE:**
1. VERIFY REQUIRED BREAKER SIZE WITH T-MOBILE CM CONTRACTOR TO VERIFY EXISTING PANEL CONDITIONS AND ALL EXISTING WIRING PRIOR TO INSTALLATION. CONTRACTOR TO CONFIRM EXISTING PANEL HAS CAPACITY FOR BREAKER REQUIREMENTS AND EXISTING CONDUITS/WIRING ARE SUITABLE FOR ANY UPGRADE.

ONE LINE POWER DIAGRAM
SCALE: N.T.S.



T-MOBILE NORTHEAST LLC
A DELAWARE LIMITED LIABILITY COMPANY
15 COMMERCE WAY, SUITE B
NORTON, MA 02756
PHONE: (508) 286-2700
FAX: (508) 286-2883



Dewberry Engineers Inc.
280 SUMMER STREET
10TH FLOOR
BOSTON, MA 02210
PHONE: 617.695.3400
FAX: 617.695.3310



328 WEST SHORE DRIVE
MARBLEHEAD, MA 01945



SITE CONFIGURATION:
5F

APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A/E _____

PROJECT NO: 50037672

JOB NO: 50074320

DRAWN BY: JG

CHECKED BY: LSP

SUBMITTALS

NO.	DATE	DESCRIPTION
1	03/10/16	FOR CONSTRUCTION
0	10/13/15	FOR CONSTRUCTION
A	08/24/15	FOR REVIEW

4BSM457A
BRATTLE SQUARE
1 BRATTLE SQUARE
CAMBRIDGE, MA 02138

SHEET TITLE
GROUNDING DETAILS
& NOTES

SHEET NUMBER
E-1

4



15 Commerce Way
Norton, MA 02766

PHOTO SIMULATION

**4BSM457A
BRATTLE SQUARE**

Address:
**1 Brattle Square
CAMBRIDGE, MA 02138**

Date:
16 MARCH 2016

Prepared by
**Nanepashemet Project
Management, Inc.
328 West Shore Drive
Marblehead, MA 01945**

PHOTO LOCATION MAP

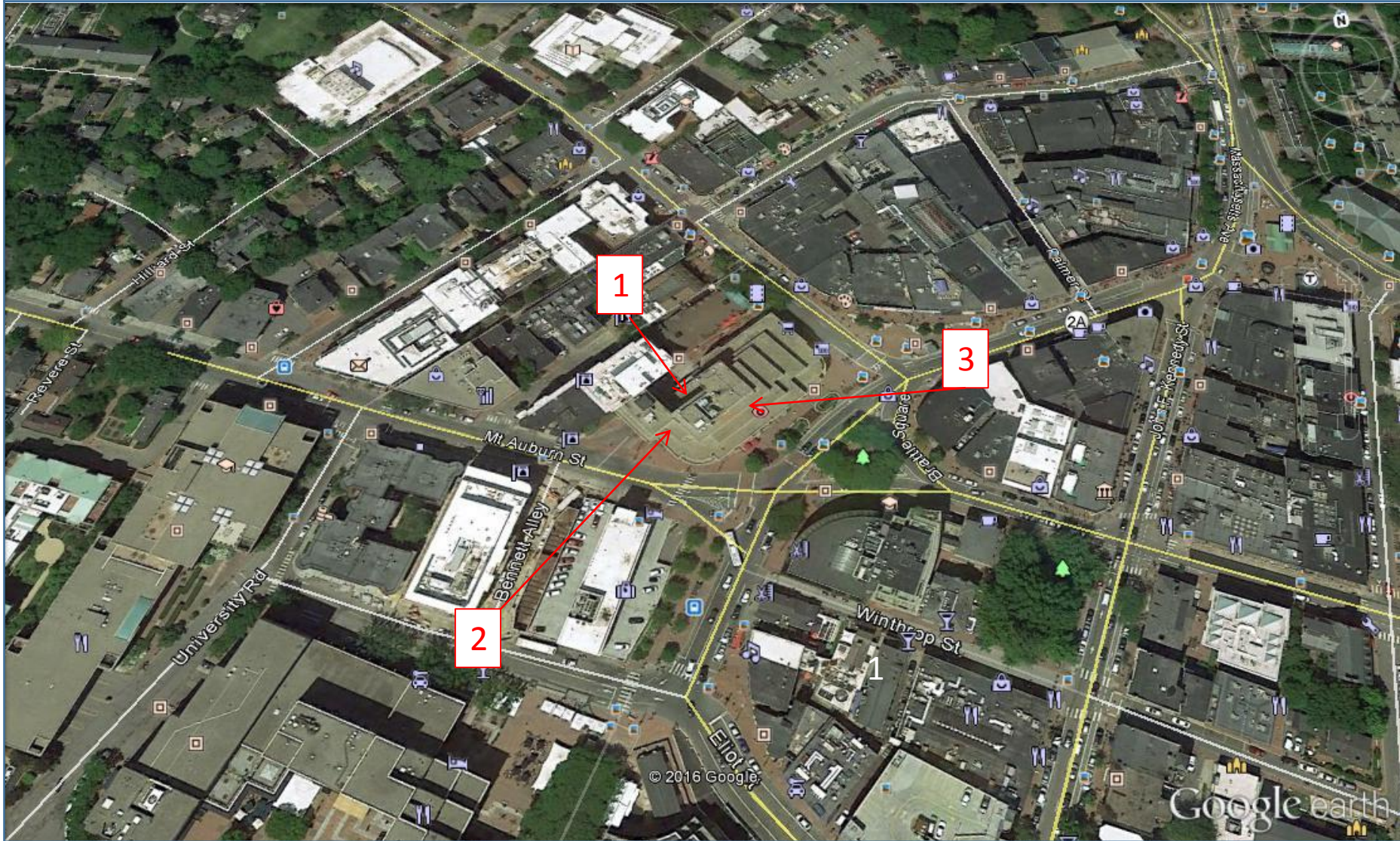


PHOTO LOCATION 1 - EXISTING



PHOTO LOCATION 1 - PROPOSED

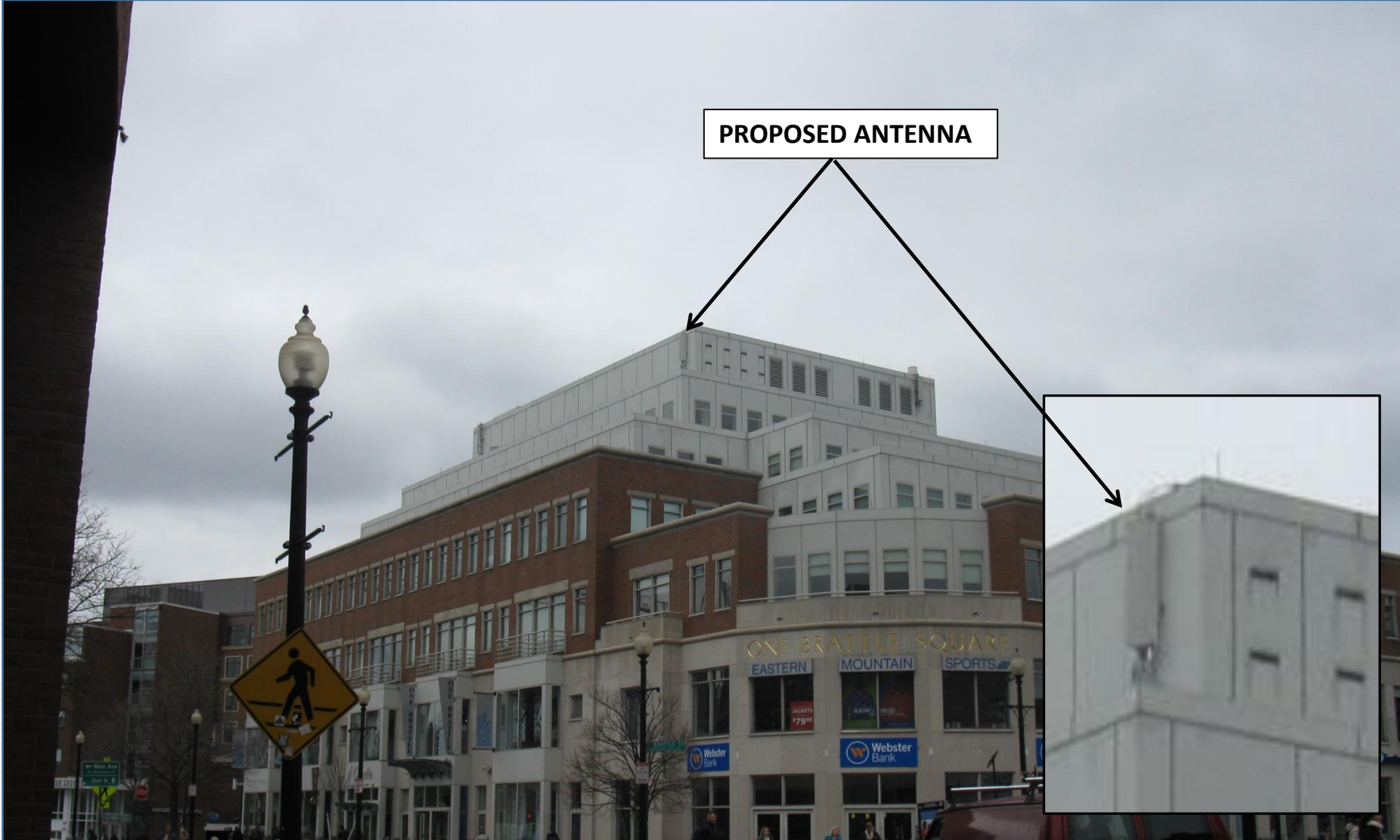


PHOTO LOCATION 2 - EXISTING



EXISTING ANTENNAS

PHOTO LOCATION 2 - PROPOSED

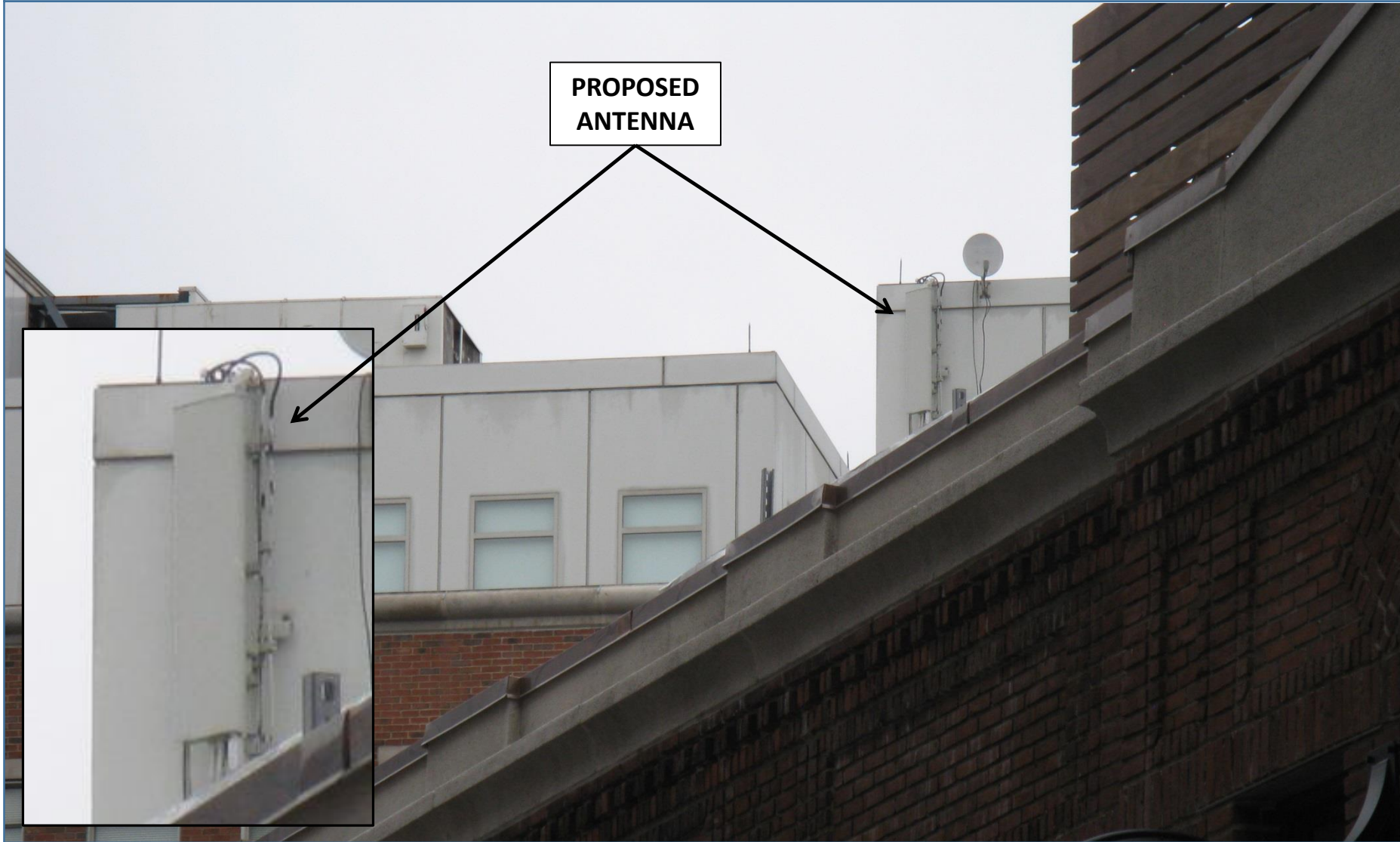


PROPOSED ANTENNA

PHOTO LOCATION 3 - EXISTING



PHOTO LOCATION 3 - PROPOSED



5

Federal Communications Commission
Wireless Telecommunications Bureau

Radio Station Authorization (Reference Copy Only)

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.

Licensee: T-Mobile License LLC

ATTN Dan Menser
T-Mobile License LLC
12920 SE 38th St.
Bellevue, WA 98006

FCC Registration Number (FRN): 0001565449	
Call Sign: KNLF954	File Number: 0002991471
Radio Service: CW - PCS Broadband	

Grant Date 06/05/2007	Effective Date 06/05/2007	Expiration Date 06/27/2017	Print Date 09/06/2007
--------------------------	------------------------------	-------------------------------	--------------------------

Market Number: BTA051	Channel Block: D	Sub-Market Designator: 0
Market Name: Boston, MA		

1st Build-out Date 06/27/2002	2nd Build-out Date	3rd Build-out Date	4th Build-out Date
----------------------------------	--------------------	--------------------	--------------------

Special Conditions or Waivers/Conditions This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

Conditions

Pursuant to Section 309(h) of the Communications Act of 1934, as amended, 47 U.S.C. Section 309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. Section 310(d). This license is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended. See 47 U.S.C. Section 606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls/> and select "License Search". Follow the instruction on how to search for license information

FCC 601 - MB

6



March 17, 2016

VIA HAND DELIVERY

Ranjit Singanayagam
Commissioner of Inspectional Services/Building Commissioner
City of Cambridge
831 Massachusetts Avenue
Cambridge, MA 02139

Re: Eligible Facilities Request to Modify Transmission Equipment at an Existing Base Station located at **1 Brattle Square, Cambridge, MA 02138.**

Dear Mr. Singanayagam:

A. T-Mobile is Filing an Eligible Facilities Request

Prince Lobel Tye LLP, on behalf of T-Mobile Northeast LLC is submitting the attached Eligible Facilities Request application to add, remove, modify, or replace Transmission Equipment at an Existing Base Station located at 1 Brattle Square, Cambridge, MA 02138.

Because this jurisdiction has not yet developed an Eligible Facilities Request permit application form that complies with Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, commonly known as the "Spectrum Act" (Pub. Law No. 112-96, 126 Stat 156) (codified at 47 U.S.C. § 1455), this Eligible Facilities Request is attached to the Building Permit Application form which was customarily used by this jurisdiction when reviewing requests to collocate or modify wireless telecommunications facilities. Because federal law now preempts many of the permit application requirements that this jurisdiction would previously have required from an applicant, this Eligible Facilities Request application provides only the information that federal law allows this jurisdiction to consider when reviewing an Eligible Facilities Request.

Section 6409(a) of the Spectrum Act mandates that state and local governments "*may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.*" Under Section 6409(a)(2)(A)-(C) an Eligible Facilities Request is any request to modify a Tower or Base Station that involves "collocations of new Transmission Equipment," "removal," or "replacement" of Transmission Equipment.

B. Why this Eligible Facilities Request Must Be Granted

This Eligible Facilities Request involves an effort to collocate, remove, modify, or replace Transmission Equipment at an existing Base Station operated by an FCC licensed wireless carrier. The FCC has defined Base Station as “the equipment and non-tower supporting structure at a fixed location that enable Commission-licensed or authorized wireless communications between user equipment and a communications network . . . the term includes equipment associated with wireless communications service including, but not limited to, radio transceivers, antennas, coaxial or fiber-optic cable, regular and backup power supply, and comparable equipment.” The term existing base station also includes a structure that currently houses or supports an antenna, transceiver or other associated equipment that constitutes part of a Base Station at the time the application is filed even if the structure was not built solely or primarily to provide such support. The existing Base Station in this application is ninety feet (90’) high and presently contains wireless facilities. The existing Base Station meets the Federal Communications Commission (“FCC”) definition of a Base Station.

The list of equipment identified in the Eligible Facilities Request application that will be collocated, removed, or replaced at the Base Station also is Transmission Equipment as determined by the FCC. The FCC has defined Transmission Equipment as “any equipment that facilitates transmission for any Commission-licensed or authorized wireless communication service, including, but not limited to, radio transceivers, antennas and other relevant equipment associated with and necessary to their operation, including coaxial or fiber-optic cable, and regular and back-up power supply. This definition includes equipment used in any technological configuration associated with any Commission-authorized wireless transmission, licensed or unlicensed, terrestrial or satellite, including commercial mobile, private mobile, broadcast and public safety services, as well as fixed wireless services such as microwave backhaul or fixed broadband.”

The FCC, in a Report and Order adopted on October 17, 2014, determined that any modification to an existing telecommunications Base Station that meets the following six criteria does not substantially change the physical dimensions of the existing Base Station and therefore is an Eligible Facilities Request which must be granted:

1. *The modifications to the Transmission Equipment do not increase the height of the Base Station by more than 10 percent (10%) or ten (10) feet, whichever is greater.*
 - a. The height of the Base Station is currently ninety feet (90’) high. The proposed addition of three (3) replacement panel antennas will not affect the height of the Base Station.
2. *The modifications to the Transmission Equipment do not protrude from the edge of the support structure by more than six (6) feet.*
 - a. The three (3) proposed antennas will not protrude from the edge of the building and therefore will not exceed the six (6) foot limitation. All of the proposed replacement antennas will be mounted on the existing façade of the

penthouse on the roof of the building, set back from the roofline, replacing three (3) existing antennas and adjacent to the remaining T-Mobile antennas. As such, the proposed modification will not protrude from the edge of the building by more than six (6) feet.

3. *The modifications to the Transmission Equipment do not involve the installation of more than the standard number of equipment cabinets for the technology involved, not to exceed four.*
 - a. The Applicant does not propose to install any additional equipment cabinets.
4. *The modifications to the Transmission Equipment do not entail any excavation or deployment outside of the Base Station site.*
 - a. The Applicant is proposing to install three (3) replacement antennas consistent with its existing antennas. There will be no excavation or deployment outside of the Base Station site.
5. *The modifications to the Transmission Equipment do not defeat any existing concealed or stealth-design.*
 - a. Pursuant to the previous zoning decision for this site (the “Original Decision”), the existing panel antennas are located in the preferred location on the façade of the penthouse on the roof of the building. The replacement of three (3) existing antennas with three (3) new panel antennas will not defeat the existing stealth design as they will be located in the same location as the existing antennas, immediately adjacent to the three (3) remaining T-Mobile antennas and will be painted to match the existing facade of the Building. As such, the three (3) new replacement antennas will be in conformity with the Original Decision. The proposed installations will not substantially increase the facility and as such the proposed visual impact will be de minimus for many of the same reasons stated in the Original Decision.
6. *The modifications to the Transmission Equipment comply with prior conditions of approval of the Base Station, unless the non-compliance is due to an increase in height, increase in width, addition of equipment cabinets, or new excavation that does not exceed the corresponding “substantial change” thresholds in numbers 1-4.*
 - a. Based on the foregoing, the proposed modifications to the Base Station fully conform to Section 6409(a) of the Spectrum Act and comply with the prior conditions of approval of the Base Station. Moreover, notwithstanding the aforementioned showing that the proposed modification to this site does not substantially change the physical dimensions of the existing Base Station and is subject to the Spectrum Act, this site is the proper location for a wireless installation pursuant to the Decisions. As such, we submit that the continued operation of adjacent uses would not be adversely affected by the proposed

equipment addition, and no nuisance or hazard would be created to the detriment of the health, safety or welfare of the occupant or the citizens of the City of Cambridge. The proposed modification to this site is very similar to the existing site and we submit will have the same de minimis impact. Moreover, the proposed installation is necessary to accommodate the existing and future customer base as demand for data and cell service has steadily increased and continues to do so.

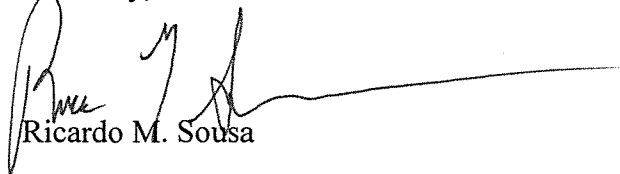
There is a certification attached to the accompanying Eligible Facilities Request that identifies how each of the six review criteria identified by the FCC is met. The modifications to the Transmission Equipment at the Base Station located at 1 Brattle Square, Cambridge, MA 02138 contained in this Eligible Facilities Request fully conform to Section 6409(a) as enacted by Congress and as interpreted by the FCC. Accordingly, this Eligible Facilities Request must be approved within 60 days, as required by federal law and FCC implementing regulations.

C. Notice of Federal Law Expedited Permit Processing and Deemed Granted

Under federal law, an Eligible Facilities Request is deemed granted sixty (60) days after a complete application is filed with a local jurisdiction. If sixty days pass after the submission of T-Mobile's accompanying Eligible Facilities Request and the City of Cambridge has not acted to grant or deny the request, it will be deemed granted. At that time, the applicant may advise the City of Cambridge that the application has been deemed granted. If the City of Cambridge wishes to contest whether the Eligible Facilities Request has been deemed granted, the burden is on the City of Cambridge to file a lawsuit in a court of competent jurisdiction within 30 days after receipt of a written communication notifying it that the Eligible Facilities Request has been deemed granted. Failure to file a lawsuit in a timely manner may forever bar this jurisdiction from contesting that this Eligible Facilities Request has been deemed granted.

T-Mobile is committed to working cooperatively with you, and all jurisdictions around the country, to secure expeditious approval of requests to modify existing personal wireless service facilities. Please do not hesitate to contact me if you have questions.

Sincerely,



Ricardo M. Sousa

Direct: 617-456-8123

Email: rsousa@princelobel.com

**ELIGIBLE FACILITIES REQUEST CERTIFICATION FOR NON-SUBSTANTIAL
CHANGES
TO AN EXISTING BASE STATION**

“Base Station” means the equipment and non-tower supporting structure at a fixed location that allow Commission-licensed or authorized wireless communications between user equipment and a communications network. The term base station includes any equipment associated with wireless communications services including but not limited to radio transceivers, antennas, coaxial or fiber-optic cables, regular or back up power supply, and comparable equipment. The term existing base station also includes a structure that currently houses or supports an antenna, transceiver or other associated equipment that constitutes part of a base station at the time the application is filed even if the structure was not built solely or primarily to provide such support. “Base Station” includes the relevant equipment in any technological configuration, including small cells and DAS. Remember “Base Station” has two separate meanings: (1) the supporting structure that houses FCC licensed or authorized wireless equipment and (2) the wireless equipment itself. Keep this distinction in mind when calculating a substantial change in physical dimensions.

“Transmission Equipment” means any equipment that facilitates transmission for any FCC licensed or authorized wireless communication service, including but not limited to, radio transceivers, antennas and other relevant equipment associated with and necessary to their operation, including coaxial or fiber-optic cable, and regular and back-up power supply. This definition includes equipment used in any technological configuration associated with any Commission-authorized wireless transmission, licensed or unlicensed, terrestrial or satellite, including commercial mobile, private mobile, broadcast and public safety services, as well as fixed wireless services such as microwave backhaul or fixed broadband.

“Collocation” means the addition, removal or replacement of Transmission Equipment to an existing tower or a base station. This means that the existing support structure, be it a tower or a building or some other structure, must presently support FCC licensed or authorized wireless facilities. The FCC further requires that the site (tower, building, or other structure) was previously approved by the appropriate agency of government to house wireless facilities. Illegal wireless installations cannot be the basis for an eligible facilities request. However, if a communications Tower was erected at a time when it was exempt from zoning, the Tower can be modified through the Eligible Facilities Request process even if the Tower is no longer exempt from zoning.

Site Address: 1 Brattle Square

Existing Facilities

The Existing Facility is comprised of six (6) panel antennas mounted to the façade of the penthouse on the roof of the building.

Height of Base Station

Height above ground level of the tallest point on the existing base station: 90 (feet)

Height above ground level of the tallest point of the existing base station after the installation of the *proposed* equipment: 90 (feet)

1) Does the height above ground level of the proposed equipment exceed the height of the tallest point on the existing base station by more than 10 percent (10%) or ten (10) feet, whichever is greater?

Yes No

Width of Base Station

2) Will any of the proposed equipment protrude from the edge of the support structure by more than six (6) feet?

Yes No

Excavation or Equipment Placement

3) Will the proposed changes in Transmission Equipment involve excavation or placement of new equipment outside the existing Base Station site or outside any access or utility easements currently related to the site?

Yes No

Equipment Cabinets

4) Will the proposed modification in Transmission Equipment involve installation of more than the standard number of new equipment cabinets for the technology involved, but not to exceed four?

Yes No

Concealed or Stealth-Designed Wireless Facilities

5)

a) Is the existing wireless facility concealed or stealth- designed?

Yes No

b) If the answer to 5a) is “Yes,” will the proposed modification in Transmission Equipment defeat the existing concealed or stealth-design?

Yes No

Compliance with Preexisting Conditions of Approval for the Base Station

6)

- a) Were there any conditions of approval stated in the original government approval of the Base Station?

Yes No

- b) Will the proposed modification in Transmission Equipment comply with conditions of approval imposed on the Base Station prior to February 22, 2012?

Yes No

- c) If the answer to 6b) is "No," is the non-compliance due solely to any of the conditions addressed in Questions 1-5 above?

Yes No

If the answers to questions 1-4 are "No," the answer to either 5a) or b) is "No," and the answers to 6a) is "No" or the answers to either 6b) or 6c) are "Yes," then the proposed modifications do not substantially change the physical dimensions of the existing Base Station.

Explanatory Comments:

Question No.5 (b)

Comment: Pursuant to the previous zoning decision for this site (the "Original Decision"), the existing panel antennas are located in the preferred location on the façade of the penthouse on the roof of the building. The replacement of three (3) existing antennas with three (3) new panel antennas will not defeat the existing stealth design as they will be located in the same location as the existing antennas, immediately adjacent to the three (3) remaining T-Mobile antennas and will be painted to match the existing facade of the Building. As such, the three (3) new replacement antennas will be in conformity with the Original Decision. The proposed installations will not substantially increase the facility and as such the proposed visual impact will be de minimus for many of the same reasons stated in the Original Decision.

Question No.6 (c)

Comment: Notwithstanding the aforementioned showing that the proposed modification to this site does not substantially change the physical dimensions of the existing Base Station and is subject to the Spectrum Act, this site is the proper location for a wireless installation pursuant to the Decisions. As such, we submit that the continued operation of adjacent uses would not be adversely affected by the proposed equipment addition, and no nuisance or hazard would be created to the detriment of the health, safety or welfare of the occupant or the citizens of the City of Cambridge. The proposed modification to this site is very similar to the existing site and we

submit will have the same de minimis impact. Moreover, the proposed installation is necessary to accommodate the existing and future customer base as demand for data and cell service has steadily increased and continues to do so.

This certification is dated this 17th day of March, 2016.



Signature

Ricardo M. Sousa, Esq., Attorney for Applicant
Name & Title

Eligible Facilities Request (EFR) Application Form

[Attach this EFR form to the local jurisdiction form used to process cell site modifications.]

Date of Submittal: _____

Submitted by:

Name: _____

Title: _____

Contact information: _____

Name of Jurisdiction: _____

Address of Jurisdiction: _____

Contact Name for Jurisdiction: _____

Name of Local Government Permit Application: _____

Local Government File #: _____

Street Address of Site: _____

Tax Parcel # of Site: _____

Latitude/Longitude of Site: _____

List Each Piece of Transmission Equipment that will be Collocated or Added:

List Each Piece of Transmission Equipment that will be Removed:

List Cabinets that will be Collocated or Added at the Site:

List Cabinets that will be Removed at the Site:

Permit Application Deposit Amount: _____

Municipal Consultant Review Fee Deposit (if applicable): _____



INSPECTIONAL SERVICES DEPARTMENT

City of Cambridge • 831 Massachusetts Avenue • Cambridge, Massachusetts 02139

617-349-6100 • TTY 617-349-6112 • Fax 617-349-6132

Ranjit Singanayagam - Commissioner

Application for a PERMIT to Build, Alter, or Repair ANY BUILDING
(other than a 1 or 2 family Dwelling) in accordance with Massachusetts State Building Code 780 CMR (MSBC).
Application must be filled out COMPLETELY in ink.

Building Address	1 Brattle Square	
Building Owner	Piedmont Office Realty Trust	Phone # 617-661-0903
Owner Address	One Brattle Square, Cambridge MA 02138	
Contractor	Nanepashemet Project Management, Inc.	Phone # 781-727-6516
Contractor Address	328 West Shore Drive, Marblehead MA 01945	
Architect/Engineer	Dewberry Engineers Inc.	Phone # 617-695-3400
Address	280 Summer Street, Boston MA 02210	

TYPE OF WORK: New Construction Addition Change of Occupancy
 Repair Alteration Level 1 Alter Level 2 Alter Level 3 Roof

EXISTING BUILDING INFORMATION (Required - MSBC Ch. 34 Sec 101.5.4.0 Amended)

Current Use Telecommunications Proposed Use Telecommunications
 For Residential Use: Current number of dwelling units _____ Proposed number of dwelling units _____
 Building Construction type:
 Non-Combustible (Type I/II) Masonry/Wood (III) _____ Wood (IV, V) _____
 Building Equipped with : Sprinkler System: / No Fire Alarm: / No Smoke Detection: / No
 Provide a description of the building: 8 Story Commercial Building

Description of Proposed Work: Include effects of the proposed work on the structural, egress, fire protection, energy conservation, light, and ventilation systems of the space or building. Include any changes as listed in Zoning Information (pg 2).

Remove and Replace 3 existing pipe mounted antennas and reconfigure coax lines as required
 Paint antennas to match existing

Note: 2 sets of construction documents, plus 1 set in digital format, required to be submitted for review.

ESTIMATED COST OF CONSTRUCTION:

Building	\$15,000.	HVAC	_____
Electric	_____	Sprinklers	_____
Plumbing/Gas	_____	Fire Detection	_____
Gas Fitting	_____	Fire Suppression	_____

Total Estimated Cost of Construction \$15,000.

Total Construction costs include all work done concurrently with the work contemplated by the Building Permit including demolition, plumbing, heating, electrical, air conditioning, painting, wall to wall carpeting, landscaping, site improvements, etc. Furnishings and portable equipment are not part of the total construction cost. A signed copy of contractor/client contract must be included with Application. A final cost affidavit completed by the owner will be required at construction completion for all projects (affidavit required for final sign-off).

ZONING INFORMATION (REQUIRED) The Applicant is responsible for proving Zoning compliance.

Current Use Wireless Telecom Proposed Use Wireless Telecom Zone BB-HSQ BZA/PB Case # _____

For residential: Current number of dwelling units _____ Proposed number of dwelling units _____

Proposed work includes – reconstruction of an existing exterior building element (porch, deck, etc.). Provide recent photos of existing conditions, and fully dimensioned plans and elevations.

Proposed work includes - enclose a covered porch, build uncovered exterior stairs, build decks at the 1st floor level, build roof decks over existing 1st or 2nd floors, create new windows (including moving existing windows), doors, or skylights. Provide a stamped and scalable surveyor’s plot plan, the height of the highest point of the roof, recent photos of existing conditions, and fully dimensioned plans and elevations. If Zoning Appeal case, include copy of registered decision.

Proposed work includes – new construction, additions, dormers, bays, balconies, covered stairs/landings and/or porches, decks at the 2nd floor level or higher, roof decks over the 3rd floor or higher, or to excavate a basement, change any floor or ceiling height, change the use or increase the number of dwelling units of a building, erect an outbuilding, or to do any similar work. Provide all previously listed documents, plus a comprehensive Zoning Analysis showing compliance with all aspects of the Cambridge Zoning Ordinances. If BZA or Planning Board case, include copy of registered decision.

None of the above. The proposed work is not of the types listed above and is not regulated by the Zoning Ordinance.

Certified Plot Plan: For new structures and additions, a certified plot plan shall be submitted after the foundation is poured and before further work commences.

Energy Conservation: Effective July 1, 2010, the City of Cambridge has adopted the Stretch Energy Code, 780 CMR115AA. The Stretch Code requirements are in addition to the requirements of the most recently published version of the ICC International Energy Conservation Code (IECC). Check all applicable:

The proposed project is subject to Stretch Code and/or IECC provisions and documentation indicating compliance has been included with this application.

The proposed work involves changes to the building lighting system and a Lighting Power Density Report has been included with this application.

The proposed work does not access or affect the building energy envelop.

All Residential work requires a completed Energy Star Qualified Homes Thermal Bypass Inspection Checklist at final inspection. This form is available at www.energystar.gov or from the Building Official.

Fire Protection:

For proposed work that may include any fire protection work as regulated by MSBC Ch. 9 Fire Protection Systems, review and approval of the construction documents by the Cambridge Fire Department is required before submittal.

Camb. Fire Dept. has reviewed this application Yes / No

A Narrative Report describing all fire protection systems and their operation is required to be submitted with this application (Sec 902.1 #1a, MSBC Amended). **This report has been submitted Yes / No**

All Fire Protection design documents and calculations are required to be submitted as part of the Building Permit Application.

Noise Ordinance Affidavit

The undersigned as the Architect/Construction Supervisor for this proposed construction, do hereby certify knowledge of Chap 8.16 of the Cambridge Municipal Code concerning noise-control.

I certify that necessary actions will be taken concerning the design, specification of, and location of noise producing equipment: e.g., transformers, air handling units, etc., to insure that this project will not result in noise levels that exceed that allowed by the Municipal Code.

Name John Nestor

Title MA CSL

Signature 

Registration/License # 047363

Please note that additional Mechanical Permits and Sheet Metal permits may be required for installation of any mechanical system. New rooftop units (including solar panels) require an existing building analysis by a Registered Structural Engineer for suitability of the installation.

CONSTRUCTION SERVICES (REQUIRED)

Any project proposed for any building over 35000 ft³ must meet the requirements of Sec.107.6 & Chapter 17, MSBC.

Architect / Registered Design Professional (Construction Control Sec 107, MSBC Amended)	
Name <u>Benjamin B. Revette</u>	Phone # <u>617-695-3400</u>
Firm <u>Dewberry Engineers Inc.</u>	Cell Phone# <u>617-947-4855</u>
Address <u>280 Summer Street, Boston MA 02210</u>	
MA Registration Number <u>49220</u>	Email Address: <u>brevette@Dewberry.com</u>
Application shall include signed and stamped letter from Registered Design Professional attesting to duties and obligations required by Sections 107.6 (Construction Control) and Chapter 17 (Structural Tests and Special Inspections) MSBC Amended. Application shall also include schedule of tests, inspections and observations as required by Section 1701.1.1 MSBC Amended.	

Structural Peer Review (MSBC 780 CMR 105.9 Amended):
Is Independent Structural Engineering Peer Review required Yes <u> </u> No <u> </u>
If Yes, review must be submitted with application. Peer Review is required for high rise construction or buildings of unusual complexity as determined by the BBRs.

Read Before Signing: The undersigned hereby certifies that he/she has read and examined this application and that the proposed work subject to the provisions of the Massachusetts State Building Code and other applicable laws and ordinances is accurately represented in the statements made in this application and that the work shall be carried out in accordance with the foregoing statements and in compliance with the provisions of law and ordinance in force on the date of this application to the best of his/her ability.

Licensed Construction Supervisor	
Name <u>John Nestor</u>	Phone # <u>781-727-6516</u>
Address <u>328 West Shore Drive, Marblehead MA 01945</u>	Cell Phone # <u>781-727-6516</u>
License Number <u>047636</u>	Expiration Date <u>12-6-17</u> Class <u>Unrestricted</u>
Signature <u><i>John Nestor</i></u>	Date <u>3/17/16</u>
Email Address <u>jnestor@nanepashemet.com</u>	

Registered Home Improvement Contractor (required only for 3 or 4 family owner-occupied dwellings)	
Name _____	Phone # _____
Address _____	Cell Phone # _____
Registration Number _____	Expiration Date _____
Signature _____	Date _____

Building Owner of Record (application must be signed by OWNER of Building)	
Name <u>Piedmont Office Realty Trust Management, LLC</u>	Phone # <u>617-661-0903</u>
Address <u>One Brattle Square, Cambridge MA 02138</u>	
Signature <u><i>Paul Newman</i> General Manager</u>	Date <u>3/16/16</u>
Email Address <u>paul.newman@piedmontreit.com</u>	

Hold Harmless Clause: The Permittee(s) by acceptance of this permit agree(s) to indemnify and hold harmless the City of Cambridge, and its employees, from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City of Cambridge, and its employees, are to assume the defense of the City of Cambridge, and its employees, against all claims, demands and actions.

PERMIT NO.

FEE

MASSACHUSETTS GENERAL LAW REQUIREMENTS

Workers Compensation Insurance Affidavit (MGL c. 152 §25C96)

A Certificate of Insurance indicating Worker's Compensation coverage or a completed Workers Compensation Insurance Affidavit must be submitted with this application. Failure to provide this affidavit will result in the denial of the issuance of the Building Permit. Failure to secure coverage as required under Section 25A of MGL c.152 can lead to imposition of a fine of up to \$1500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator.

Signed Affidavit Attached Yes X No COI Attached

Construction Debris Affidavit (MGL c 40 §54)

As result of the provisions of MGL c 40 §54, I acknowledge that as a condition of the Building Permit, all debris resulting from the construction activity governed by this Building Permit shall be disposed of in a properly licensed waste disposal facility, as defined by MGL c 111 §150A.

The debris will be disposed at/by Marblehead Transfer Station

Roll-Off Dumpster or Container? Yes / No / Specify On Site Truck Dumpster Permit #

Signature Date

I certify that I will notify the Building Official by (two months maximum) of the location of the solid waste disposal facility where the debris resulting from said construction activity shall be disposed of, and I shall submit he appropriate form for attachment to the Building Permit

Signature Date

OFFICIAL USE ONLY

Department Approvals

BZA Date Electrical Date
Planning Board Date Plumbing Date
Historic Date D.P.W. Date
Fire Dept. Date Parking Date

Application Approval (Subject to the provisions of the Massachusetts State Building Code 780 CMR and the Zoning Laws of the City of Cambridge.)

Application and Plans Accepted By: Bin Date

Zoning Approved By: Date

Plan Review Approved By: Date AAB Review by: Date

Permit Approved/Granted By: Date

Inspection Record

Final Inspection Made

Date By:

Certified Foundation Plan submitted: Yes No Certificate of Occupancy issued: Yes No
Final Cost Affidavit: Yes No General Contractor Final Affidavit: Yes No
Architect Final Affidavit: Yes No Structural Engineer Final Affidavit: Yes No
Final as-built drawings submitted in digital format? Yes No



The Commonwealth of Massachusetts
 Department of Industrial Accidents
 1 Congress Street, Suite 100
 Boston, MA 02114-2017
 www.mass.gov/dia

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers.
 TO BE FILED WITH THE PERMITTING AUTHORITY.

Applicant Information

Please Print Legibly

Name (Business/Organization/Individual): Nanepashemet Project Management, Inc.

Address: 328 West Shore Drive

City/State/Zip: Marblehead, MA Phone #: 781-727-6516

Are you an employer? Check the appropriate box:

- 1. I am an employer with 6 employees (full and/or part-time).*
- 2. I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]
- 3. I am a homeowner doing all work myself. [No workers' comp. insurance required.] †
- 4. I am a homeowner and will be hiring contractors to conduct all work on my property. I will ensure that all contractors either have workers' compensation insurance or are sole proprietors with no employees.
- 5. I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance. ‡
- 6. We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §1(4), and we have no employees. [No workers' comp. insurance required.]

Type of project (required):

- 7. New construction
- 8. Remodeling
- 9. Demolition
- 10. Building addition
- 11. Electrical repairs or additions
- 12. Plumbing repairs or additions
- 13. Roof repairs
- 14. Other Antenna Installation

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

† Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.

‡ Contractors that check this box must attached an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: The Hartford

Policy # or Self-ins. Lic. #: 08WECC07725 Expiration Date: 01/04/2017

Job Site Address: 1 BRATTLE SQ. City/State/Zip: CAMBRIDGE

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under MGL c. 152, §25A is a criminal violation punishable by a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. A copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: [Signature] Date: 3/16/16

Phone #: 781-727-6516

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (circle one):

- 1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector
- 6. Other _____

Contact Person: _____ Phone #: _____



CERTIFICATE OF LIABILITY INSURANCE

9NANE01

OP ID: DC

DATE (MM/DD/YYYY)

03/16/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER John J Walsh Ins Agency, Inc P O Box 4407 Salem, MA 01970-6407 David C Bruett	CONTACT NAME: David C Bruett PHONE (A/C, No, Ext): 978-745-3300 E-MAIL ADDRESS: dbruett@walshinsurance.com	FAX (A/C, No): 978-745-9557	
	INSURER(S) AFFORDING COVERAGE		NAIC #
INSURED Nanepashemet Project Management, Inc. 328 West Shore Drive Marblehead, MA 01945	INSURER A : The Hartford		40274
	INSURER B : Citation Insurance Company		
	INSURER C : Landmark Insurance		
	INSURER D : Everest Indemnity Co.		
	INSURER E : Philadelphia Insurance Co		
	INSURER F : Century Surety Company		

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**


THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR	X	X	08SBAUQ3098	03/01/2016	03/01/2017	EACH OCCURRENCE \$ 2,000,000
D	<input checked="" type="checkbox"/> Pollution-\$5 Mil			EF4P004079141	07/02/2015	07/02/2016	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000
E	<input checked="" type="checkbox"/> Perform Bond			CE11659000006	07/01/2015	07/01/2016	MED EXP (Any one person) \$ 10,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP AGG \$ 4,000,000 Bond Amt. \$ 250,000
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			RXQ120	03/01/2016	03/01/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000	X		08SBAUQ3098	03/01/2016	03/01/2017	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	08WECDO7725 ALL STATES	01/04/2016	01/04/2017	<input type="checkbox"/> PER STATUTE <input checked="" type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	Professional			LHR71664	03/01/2016	03/01/2017	Occ/Aggr 1,000,000
A	Installation			08MSRO2589	03/01/2016	03/01/2017	Limit 100,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

AT&T and its Affiliates, Directors, Officers and Employees are listed as additionally insured. Waiver of subrogation in favor of AT&T, its affiliates, directors, officers and employees on workers comp and general liability. Primary and non contributory.

CERTIFICATE HOLDER**CANCELLATION**

AT&T Services, Inc. 4119 Broadway Room 650A16 San Antonio, TX 78209	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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Massachusetts Department of Public Safety
Board of Building Regulations and Standards

License: **CS-047636**
Construction Supervisor



JOHN J NESTOR
328 W SHORE DR
MARBLEHEAD MA 01945



Matthew C. Chi
Commissioner

Expiration:
12/06/2017