

**BZA APPLICATION FORM**

**GENERAL INFORMATION**

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_ Variance:  Appeal: \_\_\_\_\_

PETITIONER: SAMUEL KAHSAI

PETITIONER'S ADDRESS: 1 GOLD STAR ROAD CT

LOCATION OF PROPERTY: 1 GOLD STAR ROAD CT

TYPE OF OCCUPANCY: SINGLE ZONING DISTRICT: B

**REASON FOR PETITION:**

- |  |  |
|--|--|
| <input type="checkbox"/> Additions                                 | <input type="checkbox"/> New Structure |
| <input type="checkbox"/> Change in Use/Occupancy                   | <input type="checkbox"/> Parking       |
| <input type="checkbox"/> Conversion to Addi'l Dwelling Unit's      | <input type="checkbox"/> Sign          |
| <input checked="" type="checkbox"/> Dormer                         | <input type="checkbox"/> Subdivision   |
| <input checked="" type="checkbox"/> Other: <u>COVERED ENTRANCE</u> |  |

**DESCRIPTION OF PETITIONER'S PROPOSAL:**

TWO DORMERS, MAIN ENTRANCE BUILD COVERED ENTRANCE, EXTENDING THE ROOF LINE TO COVER THE REMAINING SECTION.


**SECTIONS OF ZONING ORDINANCE CITED:**

Article 5 Section 5.31

Article \_\_\_\_\_ Section \_\_\_\_\_

Article \_\_\_\_\_ Section \_\_\_\_\_

Applicants for a **Variance** must complete Pages 1-5  
Applicants for a **Special Permit** must complete Pages 1-4 and 6  
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):   
(Petitioner(s)/Owner)

SAMUEL KAHSAI  
(Print Name)

Address: 1 GOLD STAR ROAD CT  
CAMBRIDGE, 02140

Tel. No.: 617 359 5421

E-Mail Address: SAMHIW@YAHOO.COM

Date: 8-1-17

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We SAMUEL KAHSAI  
(OWNER)

Address: 1 GOLD STAR ROAD COURT

State that I/We own the property located at 1 GOLD STAR RD CT, which is the subject of this zoning application.

The record title of this property is in the name of SAMUEL KAHSAI & HELEN TESFAYE

\*Pursuant to a deed of duly recorded in the date 11-03-2015, Middlesex South County Registry of Deeds at Book 63583, Page 418; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_.

[Signature]  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Samuel Kahsai personally appeared before me, this 27 of July, 2017, and made oath that the above statement is true.

[Signature] Notary

My commission expires 10/14/2022 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We <sup>SK HD</sup> ~~SAMUEL KAHSAI~~ HELEN TESKAYE  
(OWNER)

Address: 1 GOLD STAR ROAD CT

State that I/We own the property located at 1 GOLD STAR RD CT, which is the subject of this zoning application.

The record title of this property is in the name of SAMUEL KAHSAI AND HELEN TESKAYE

\*Pursuant to a deed of duly recorded in the date \_\_\_\_\_, Middlesex South County Registry of Deeds at Book 63583, Page 418; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_.

*Helen Teskaye*

SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Helen Teskaye personally appeared before me, this 27 of July, 2017, and made oath that the above statement is true.

*[Signature]* Notary

My commission expires 10/14/2022 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

3.5 14.6

8x

$$\begin{array}{l} 4\frac{3}{4} + \frac{1}{8} \\ \hline 8\frac{1}{2} \end{array}$$

16

480 ~~869~~  
870  
     
435

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: SAMUEL KAWA I PRESENT USE/OCCUPANCY: SINGLE TWO

LOCATION: 1 GOLD STAR RD CT ZONE: B

PHONE: 617 359 5421 REQUESTED USE/OCCUPANCY: SINGLE

	<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> <sup>1</sup>	
<u>TOTAL GROSS FLOOR AREA:</u>	<u>1451 SF</u>	<u>1514 SF</u>	<u>638 SF</u>	(max.) <u>1087</u>
<u>LOT AREA:</u>	<u>2174</u>		<u>2500</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA</u> <u>TO LOT AREA:</u> <sup>2</sup>	<u>0.67</u>	<u>0.7</u>	<u>0.5</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>2174</u>	<u>2174</u>	<u>2500</u>	(min.)
<u>SIZE OF LOT:</u>				(min.)
WIDTH	<u>26</u>			
DEPTH	<u>87/80</u>			
<u>Setbacks in</u> <u>Feet:</u>				
FRONT	<u>0-2'</u>	<u>0-2'</u>	<u>15'</u>	(min.)
REAR	<u>33-3'</u>	<u>NA</u>	<u>25'</u>	(min.)
LEFT SIDE	<u>4.33'</u>	<u>NA</u>	<u>7-9</u>	(min.)
RIGHT SIDE	<u>1-1'</u>	<u>NA</u>	<u>SUM-20</u>	(min.)
<u>SIZE OF BLDG.:</u>				
HEIGHT	<u>31-9'</u>	<u>33-5'</u>	<u>35'</u>	(max.)
LENGTH	<u>34-8'</u>	<u>42-8'</u>		
WIDTH	<u>21</u>			
<u>RATIO OF USABLE OPEN SPACE</u> <u>TO LOT AREA:</u> <sup>3</sup>	<u>.65</u>	<u>.65</u>	<u>40</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>2</u>	<u>1</u>	<u>1</u>	(max.)
<u>NO. OF PARKING SPACES:</u>	<u>1</u>	<u>-</u>	<u>1</u>	(min./max)
<u>NO. OF LOADING AREAS:</u>	<u>-</u>	<u>-</u>	<u>-</u>	(min.)
<u>DISTANCE TO NEAREST BLDG.</u> <u>ON SAME LOT:</u>	<u>-</u>	<u>-</u>	<u>-</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

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- SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons: THIS BUILDING WAS A TWO FAMILY HOUSE. WE ARE PROPOSING A SINGLE FAMILY, BUT WANT TO BE ABLE TO HAVE OUR IN-LAWS LIVE WITH US. WITHOUT THE ADDITIONAL DORMERS AND ROOF RE-CONSTRUCTION WE WILL NOT HAVE ENOUGH SPACE FOR THEM TO MOVE IN, MAKING THIS PROJECT UNSUSTAINABLE.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

**DORMERS NEEDED**

- NEED LEGAL ACCESS TO THIRD FLOOR. EXISTING STAIR TOO NARROW AND STEEP MAKING IT DANGEROUS AND IMPOSSIBLE TO SAFELY ACCESS THIRD FLOOR.
- ADDITIONAL BATHROOM NEEDED FOR IN-LAWS TO BE ABLE TO USE THE THIRD FLOOR.

C) **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

1) Substantial detriment to the public good for the following reasons:

THE FOOTPRINT OF THE HOUSE HAS NOT CHANGED. THE ADDITIONAL DORMERS ARE LESS THAN 50% OF THE HOUSE LENGTH. THE NUMBER OF UNITS IS REDUCED CREATING LESS IMPACT ON THE NEIGHBOURHOOD.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

THE FOOTPRINT OF THE BUILDING HAS NOT EXPANDED AND THE DORMERS AND ROOF EXTENSION ARE ONLY SMALL ADDITIONS THAT THE CLOSEST NEIGHBOURS HAVE APPROVED.

\* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM

GENERAL INFORMATION

2017 AUG -9 PM 12:02

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_ Variance:

Appeal OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

PETITIONER: SAMUEL KAHSAI

PETITIONER'S ADDRESS: 1 GOLD STAR ROAD CT

LOCATION OF PROPERTY: SAME

TYPE OF OCCUPANCY: 1 ZONING DISTRICT: B

REASON FOR PETITION:

- Additions
- Change in Use/Occupancy
- Conversion to Addi'l Dwelling Unit's
- Dormer
- Other: COVERED ENTRANCE
- New Structure
- Parking
- Sign
- Subdivision

DESCRIPTION OF PETITIONER'S PROPOSAL:

TWO DORMERS, MAIN ENTRANCE COVERED ENTRANCE,  
EXTENDING THE ROOF LINE TO COVER THE  
REMAINING SECTION.

SECTIONS OF ZONING ORDINANCE CITED:

Article 5 Section 5.31

Article \_\_\_\_\_ Section \_\_\_\_\_

Article \_\_\_\_\_ Section \_\_\_\_\_

Applicants for a Variance must complete Pages 1-5  
Applicants for a Special Permit must complete Pages 1-4 and 6  
Applicants for an Appeal to the BZA of a Zoning determination by the  
Inspectional Services Department must attach a statement concerning the reasons  
for the appeal

Original Signature(s):   
(Petitioner(s)/Owner)

SAMUEL KAHSAI  
(Print Name)

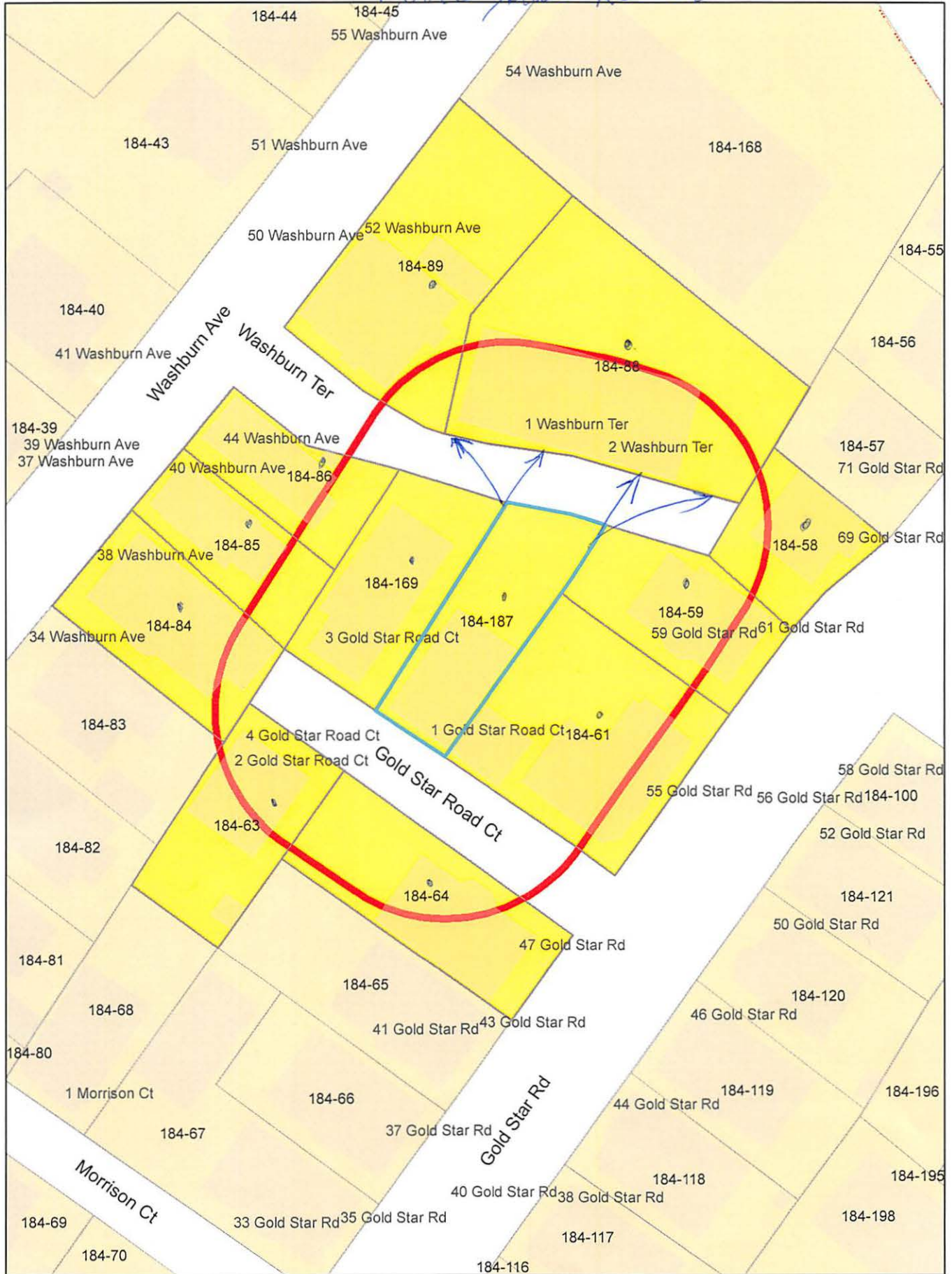
Address: 1 GOLD STAR ROAD CT  
CAMBRIDGE, 02140

Tel. No.: 617 359 5421

E-Mail Address: SAMHIW@YAHOO.COM

Date: 8-1-17

*1 Gold Star Rd. Ct.*





*1 Gold Star Rd. Ct. Petitioner*

184-88  
BERGER, PETER & ALICE BERGER  
2-4 WASHBURN TER., #2  
CAMBRIDGE, MA 02140

184-88  
LEVY, GAIL H.  
4 WASHBURN TER  
CAMBRIDGE, MA 02140

184-187  
KAHSAI, SAMUEL & HELEN TESFAYE  
1 GOLD STAR ROAD CT  
CAMBRIDGE, MA 02140

184-59  
MCCARTHY, DENNIS H. ANN T MCCARTHY  
61 GOLD STAR ROAD  
CAMBRIDGE, MA 02140

184-61  
HUBNER, WILLIAM R. & NOEL DANFORTH  
55-56 GOLD STAR RD  
CAMBRIDGE, MA 02140

184-63  
OHEARN, MARGARET A.,  
LIFE ESTATE JANET H. BROCHU  
2 GOLD STAR COURT  
CAMBRIDGE, MA 02140

184-64  
JACOBY, VALERIE A.  
47 GOLD STAR RD.  
CAMBRIDGE, MA 02140

184-84  
RYCE, GILBERT A. & NAN M. RYCE  
38 WASHBURN AVE  
CAMBRIDGE, MA 02140

184-85  
DEAN, DAVID & ALICIA ZEH-DEAN  
40 WASHBURN AVE  
CAMBRIDGE, MA 02141

184-86  
HARNOIS, WILLIAM J. & MEAGHAN K. WATT  
44 WASHBURN AVE  
CAMBRIDGE, MA 02140

184-89  
LEE, HERBERT EDWARD III  
50-52 WASHBURN AVE  
CAMBRIDGE, MA 02140

184-169  
GOLD STAR COURT LLC  
30 MOONEY ST  
CAMBRIDGE, MA 02138

184-58  
CONRAD, HAROLD B. A LIFE ESTATE  
69 GOLD STAR RD  
CAMBRIDGE, MA 02140



# CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2<sup>nd</sup> Floor, Cambridge, Massachusetts 02139  
Telephone: 617 349 4683 TTY: 617 349 6112  
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*  
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*  
Kyle Sheffield, *Alternate*

## Jurisdiction Advice

To the Owner of Property at 1 Gold Star Road Court

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
  - Fort Washington Historic District  
(M.G.L. Ch. 40C, City Code §2.78.050)
  - Avon Hill Neighborhood Conservation District
  - Half Crown – Marsh Neighborhood Conservation District
  - Harvard Square Conservation District
  - Mid Cambridge Neighborhood Conservation District
  - Designated Landmark
  - Property is being studied for designation: \_\_\_\_\_  
(City Code, Ch. 2.78., Article III, and various City Council Orders)
  - Preservation Restriction or Easement (as recorded)
  - Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.  
**No demolition permit application anticipated.**
  - No jurisdiction: not a designated historic property and the structure is less than fifty years old.
  - No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
- Staff comments: \_\_\_\_\_

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

**If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.**

CHC staff initials SLB

Date August 16, 2017

Received by Uploaded to Energov

Date August 16, 2017

Relationship to project BZA 14138-2017

cc: Applicant  
Inspectional Services Commissioner

## Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

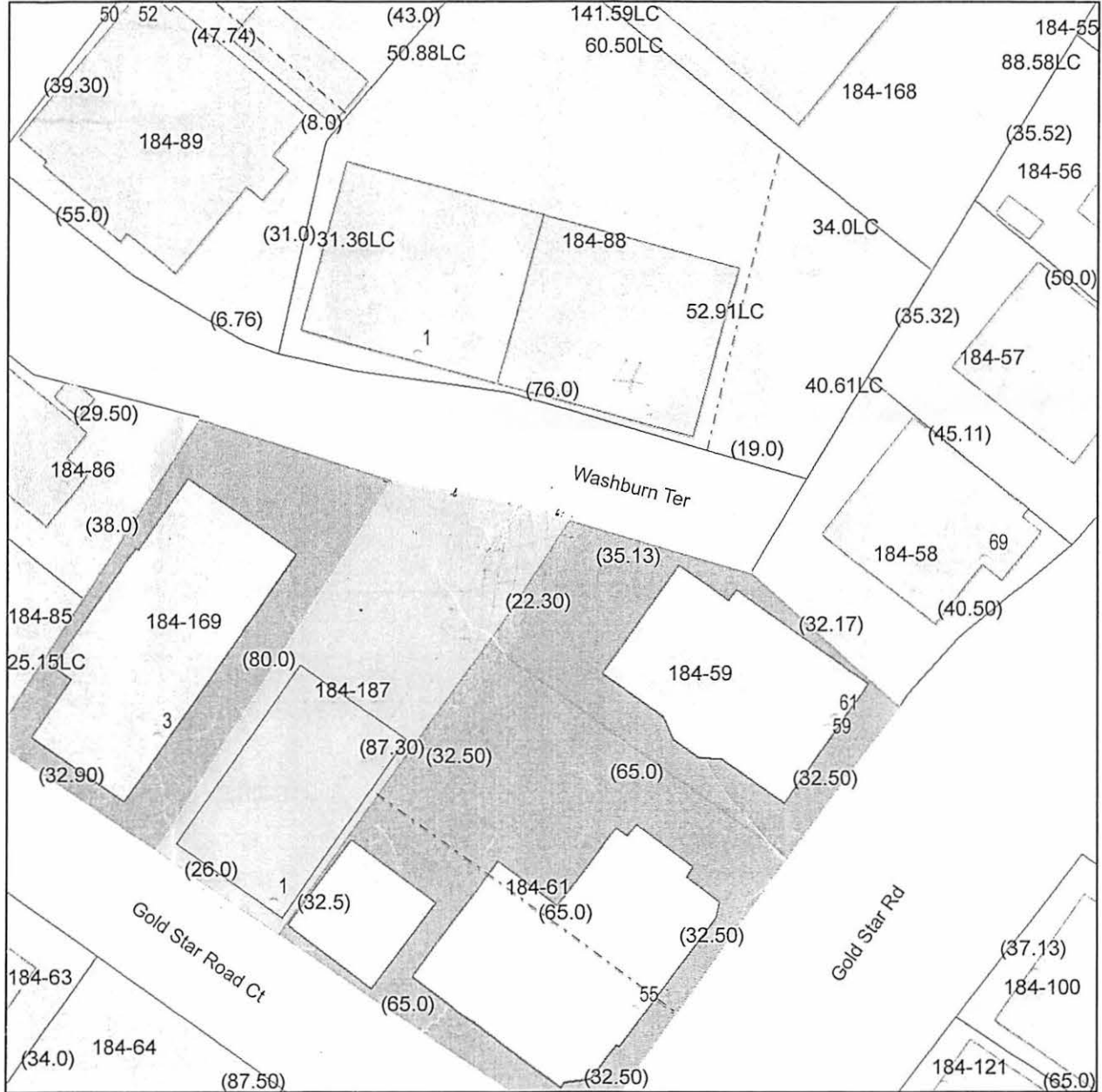
Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission  
831 Massachusetts Ave., 2<sup>nd</sup> Fl.  
Cambridge, MA 02139  
Ph: 617/349-4683 or TTY: 617/349-6112  
<http://www.cambridgema.gov/Historic>

# MAP TITLE



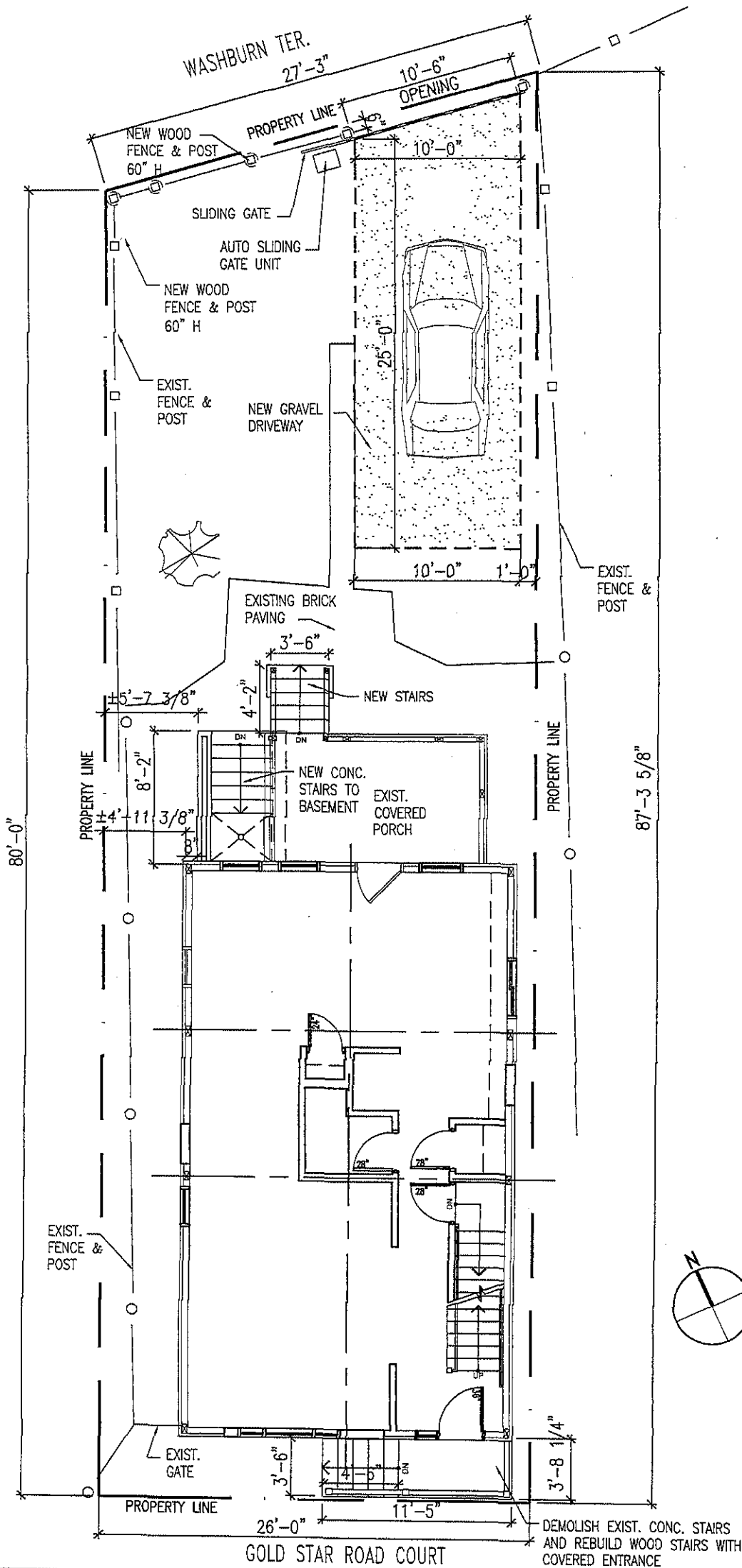
Cambridge, MA Assessing Department

Robert P. Reardon, Director



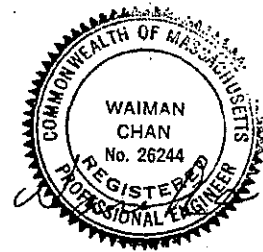
# ZONING SUMMARY – RES. B, SINGLE FAMILY, NON CONFORM LOT 2,174SF

3F-4000	F.A.R.	MIN. LOT AREA PER UNIT	SETBACK			MIN. OPEN SPACE PER UNIT	MAX BUILDING HEIGHT	MIN. PARKING SPACES PER UNIT
			FRONT	SIDE	REAR			
REQUIRED	0.50	2500 SQ. FT.	15'	6.5'/20'	25'	870 SQ. FT.	35 FT	1
EXISTING	0.67	2174 SQ. FT. EXIST.	0.2' EXIST.	1.1' EXIST.	33.3' EXIST.	1,424 SQ. FT. PER UNIT	31.9' EXIST.	0
PROPOSED	0.70	2174 SQ. FT. EXIST.	0.2' EXIST.	1.1' EXIST.	33.3' EXIST.	1,424 SQ. FT. PER UNIT	33.5'	1



LEVEL	EXIST.	NEW
1ST FLOOR	649 SF.	649 SF.
2ND FLOOR	649 SF.	649 SF.
3RD FLOOR	153 SF.	216 SF.
<b>TOTAL :</b>	<b>1,451 SF.</b>	<b>1,514 SF.</b>

TOTAL INCREASED 63 SF.



**SITE PLAN**  
1/8" = 1'-0"

**REVISION SET**  
5/26/2017

**JESDY**  
Jessy Design-Build, LLC  
34 Staten Road, Braintree, MA 02184  
Tel. 617.777.3772 Email jessydb.gl@gmail.com

JOB TITLE:  
**1 GOLD STAR ROAD COURT, CAMBRIDGE, MA 02140**

SHEET TITLE:  
**SITE PLAN**

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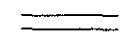




DESIGNED BY:  
GL  
APPROVED BY:  
WMC  
DRAWING DATE:  
3/30/2017

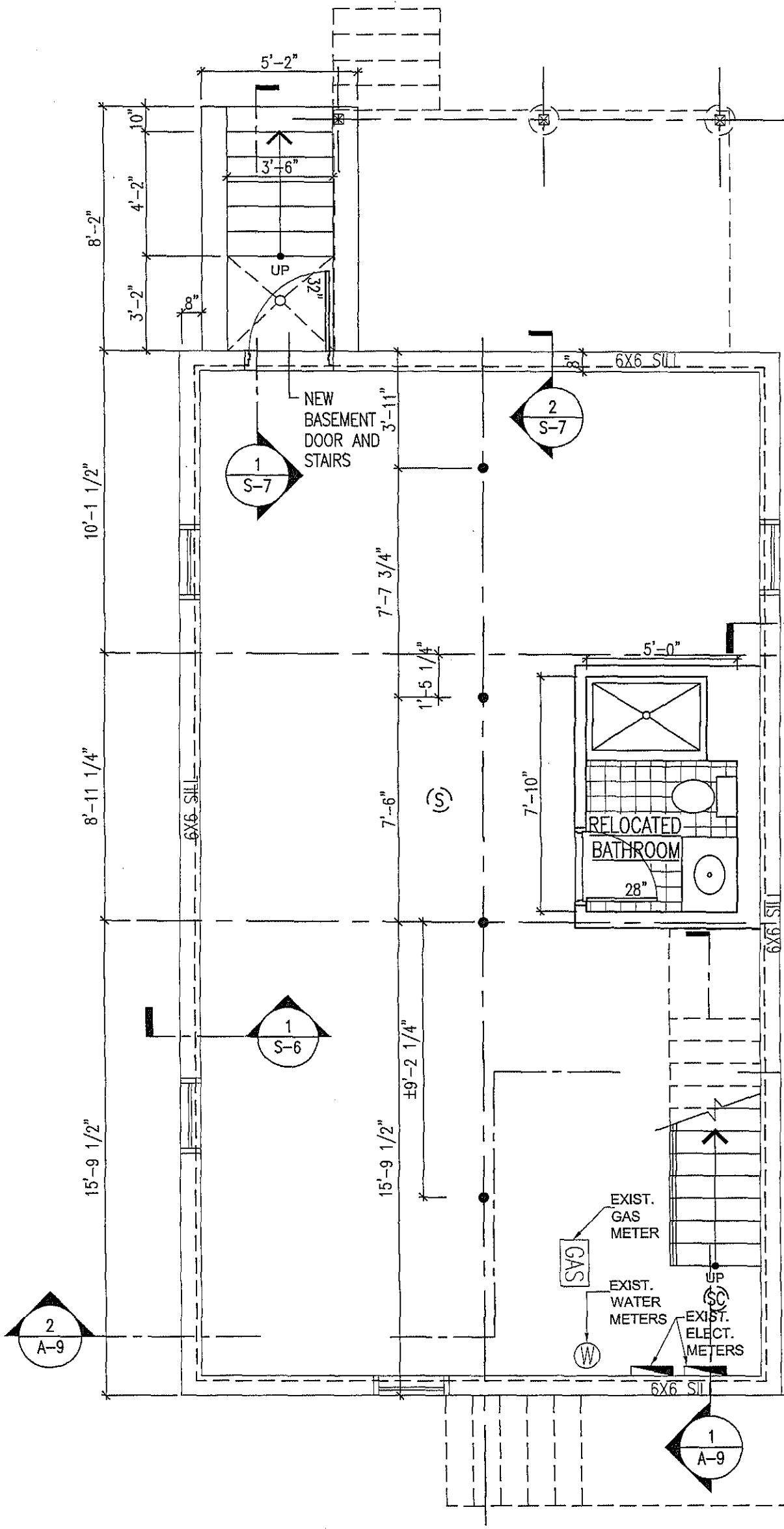
PROJECT NO:  
201602.1  
SHEET NO.  
**P-1**

**REMARKS:**

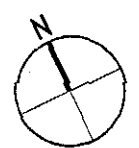
1. SEE ALL NOTES ON DWG A-1

**LEGEND**

-  EXIST. PARTITION
-  NEW PATCHED PARTITION
-  NEW WALL PARTITION
-  SOMKE AND CO DETECTOR
-  SOMKE DETECTOR



**BASEMENT PLAN**  
1/4" = 1'-0"



**REVISION SET**  
5/26/2017

**JESBY**  
Jessy Design-Build, LLC  
34 Staten Road, Braintree, MA 02184  
Tel. 617.777.3772 Email jesydb.gl@gmail.com

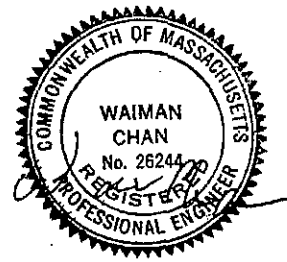
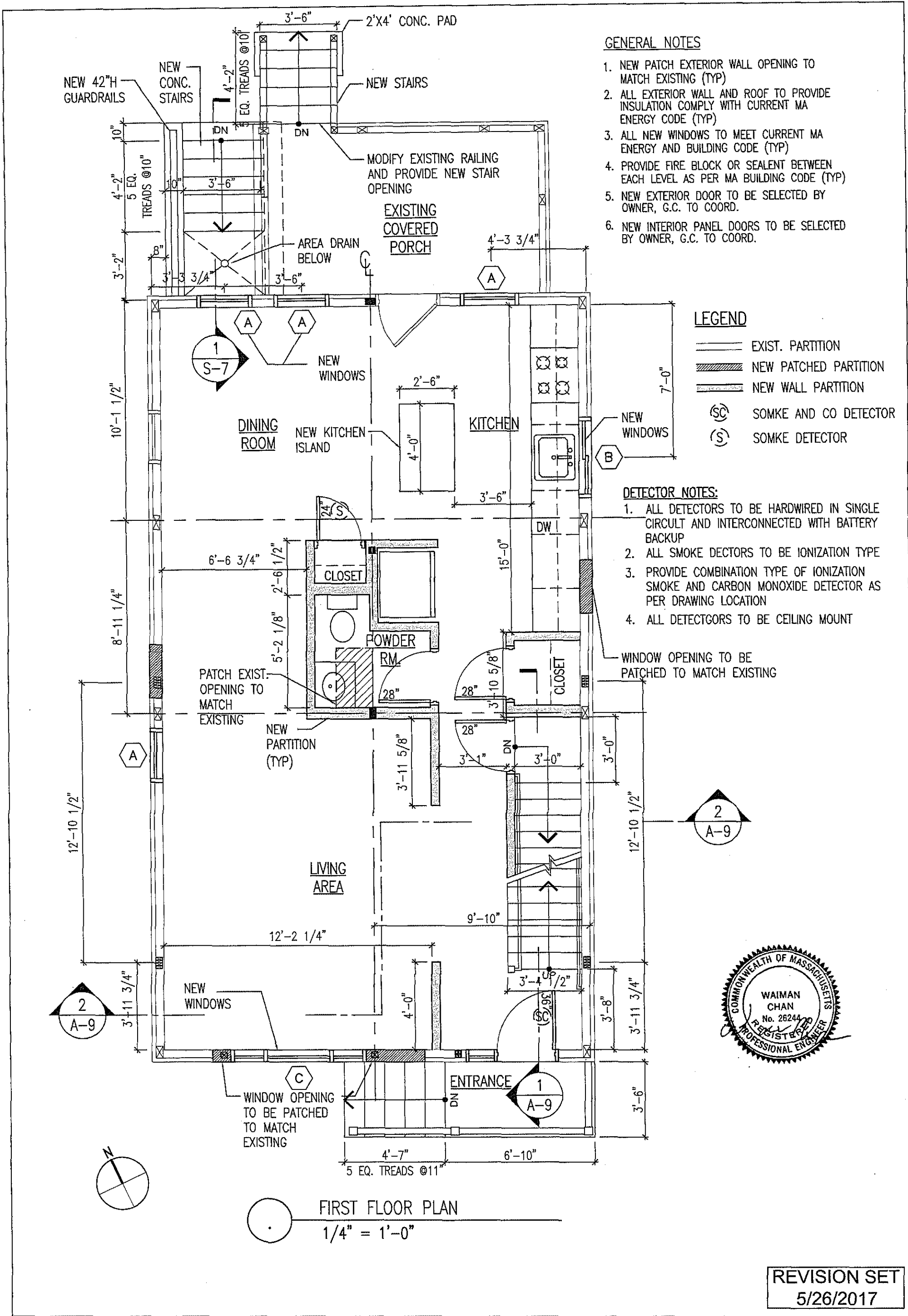
JOB TITLE:  
**1 GOLD STAR ROAD COURT, CAMBRIDGE, MA 02140**

SHEET TITLE:  
**BASEMENT PLAN**

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DESIGNED BY:  
GL  
APPROVED BY:  
WMC  
DRAWING DATE:  
3/30/2017

PROJECT NO:  
201602.1  
SHEET NO.  
A-0



**JESBY**  
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34 Staten Road, Braintree, MA 02184  
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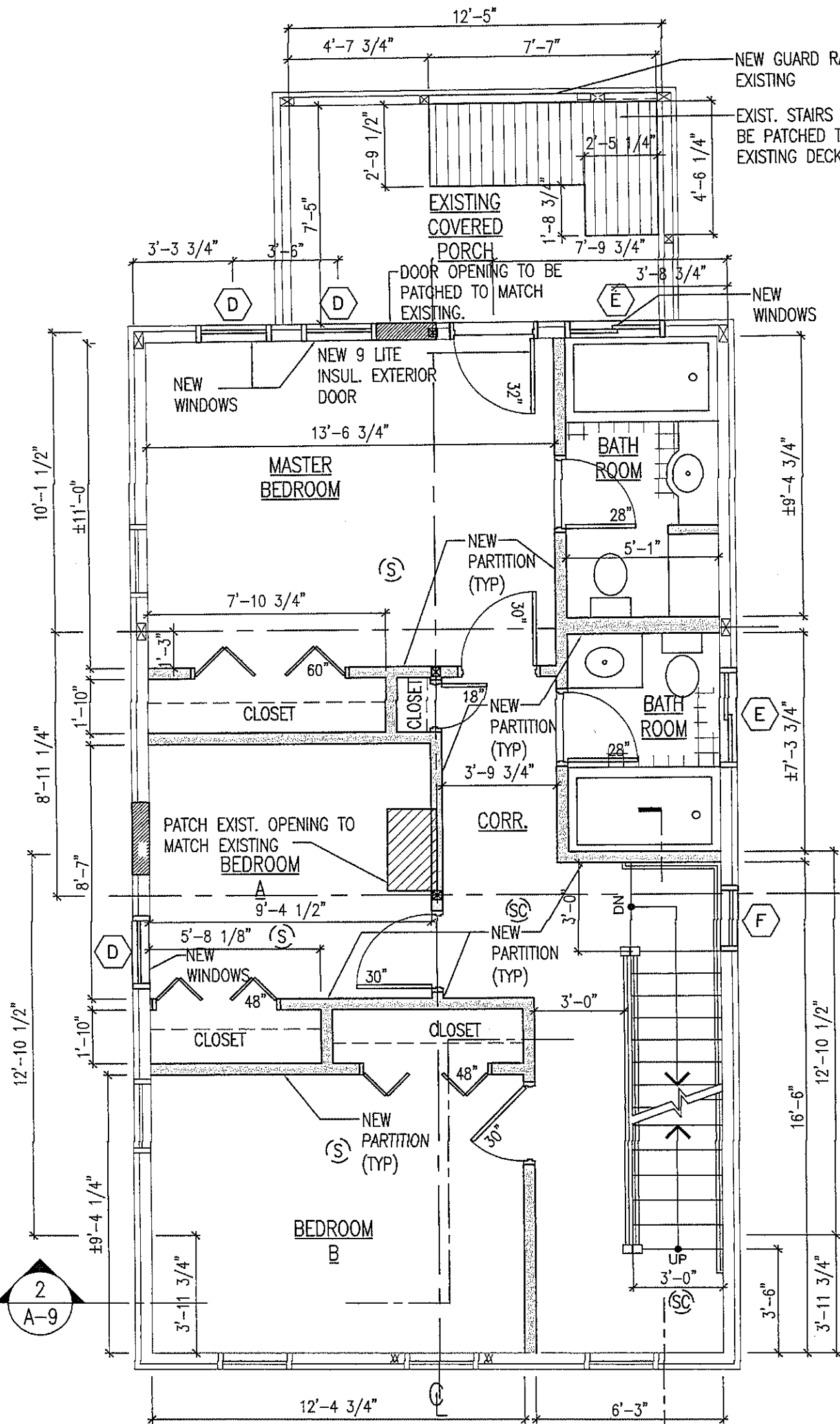
JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

SHEET TITLE:  
FIRST FLOOR PLAN

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DESIGNED BY:  
GL  
APPROVED BY:  
DRAWING DATE:  
3/30/2017

PROJECT NO:  
201602.1  
SHEET NO.  
A-1



**LEGEND**

- EXIST. PARTITION
- NEW PATCHED PARTITION
- NEW WALL PARTITION
- SOMKE AND CO DETECTOR
- SOMKE DETECTOR

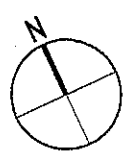
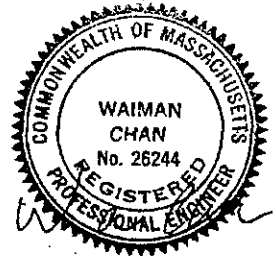
WINDOW SCHEDULE					
SYM.	LEVEL	QUANTITY	WIDTH	HEIGHT	DESCRIPTION
A	1,2	4	30"	62"	SINGLE
B	1	1	44"	36"	SINGLE
C	1	1	72"	62"	SINGLE
D	2,3	4	30"	54"	SINGLE
E	2	2	36"	20"	SLIDING
F	2	1	24"	30"	SINGLE
G	3	1	24"	36"	SINGLE
H	3	2	60"	54"	DOUBLE

**WINDOW NOTES:**

1. NOTE EXISTING 2x4 WALL
2. EXISTING WINDOW OPENING, CONTRACTOR SHALL VERIFY SIZES AND MODEL (V.I.F.)
3. ALL WINDOWS SHOULD MEET CURRENT MA ENERGY CODE (MIN. U-FACTOR 0.32)
4. ALL DOUBLE HUNG WINDOWS TO BE TILT-WASH AND MEET CURRENT MA BUILDING CODE
5. ALL NEW WINDOWS & SKYLIGHT TO BE SELECTED BY OWNER. G.C. TO COORD.

**REMARKS:**

1. SEE ALL NOTES ON DWG A-1



SECOND FLOOR PLAN  
1/4" = 1'-0"

REVISION SET  
5/26/2017

**JESBY**  
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JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

SHEET TITLE:  
SECOND FLOOR  
PLAN

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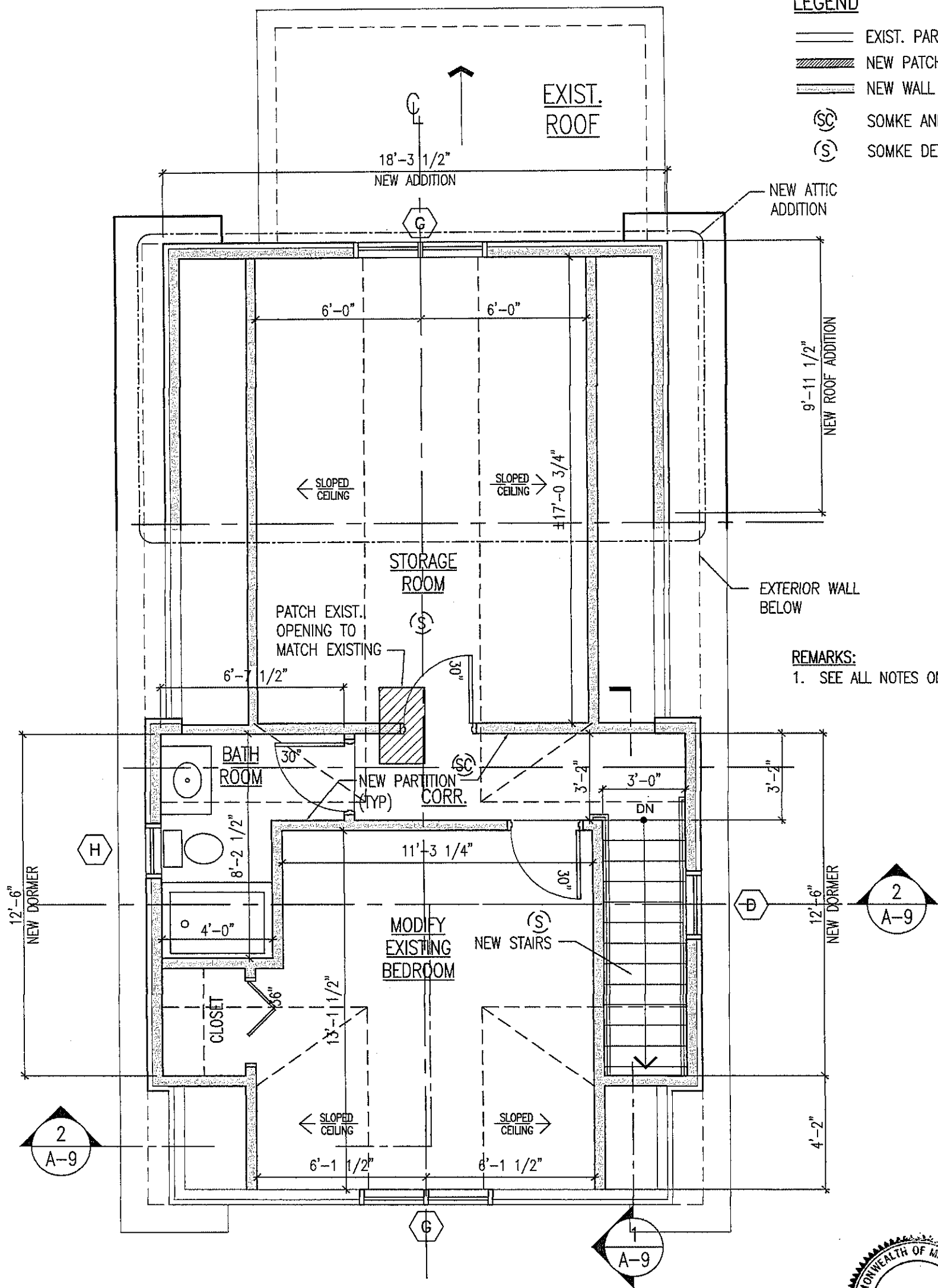
DESIGNED BY:  
GL  
APPROVED BY:  
WMC  
DRAWING DATE:  
3/30/2017

PROJECT NO:  
201602.1  
SHEET NO.  
A-2



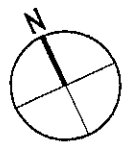
**LEGEND**

- EXIST. PARTITION
- ▨ NEW PATCHED PARTITION
- NEW WALL PARTITION
- ⊙(S) SOMKE AND CO DETECTOR
- ⊙(S) SOMKE DETECTOR

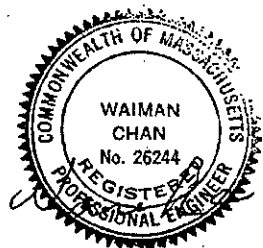


**REMARKS:**

- 1. SEE ALL NOTES ON DWG A-1



ATTIC FLOOR PLAN  
1/4" = 1'-0"



REVISION SET  
5/26/2017

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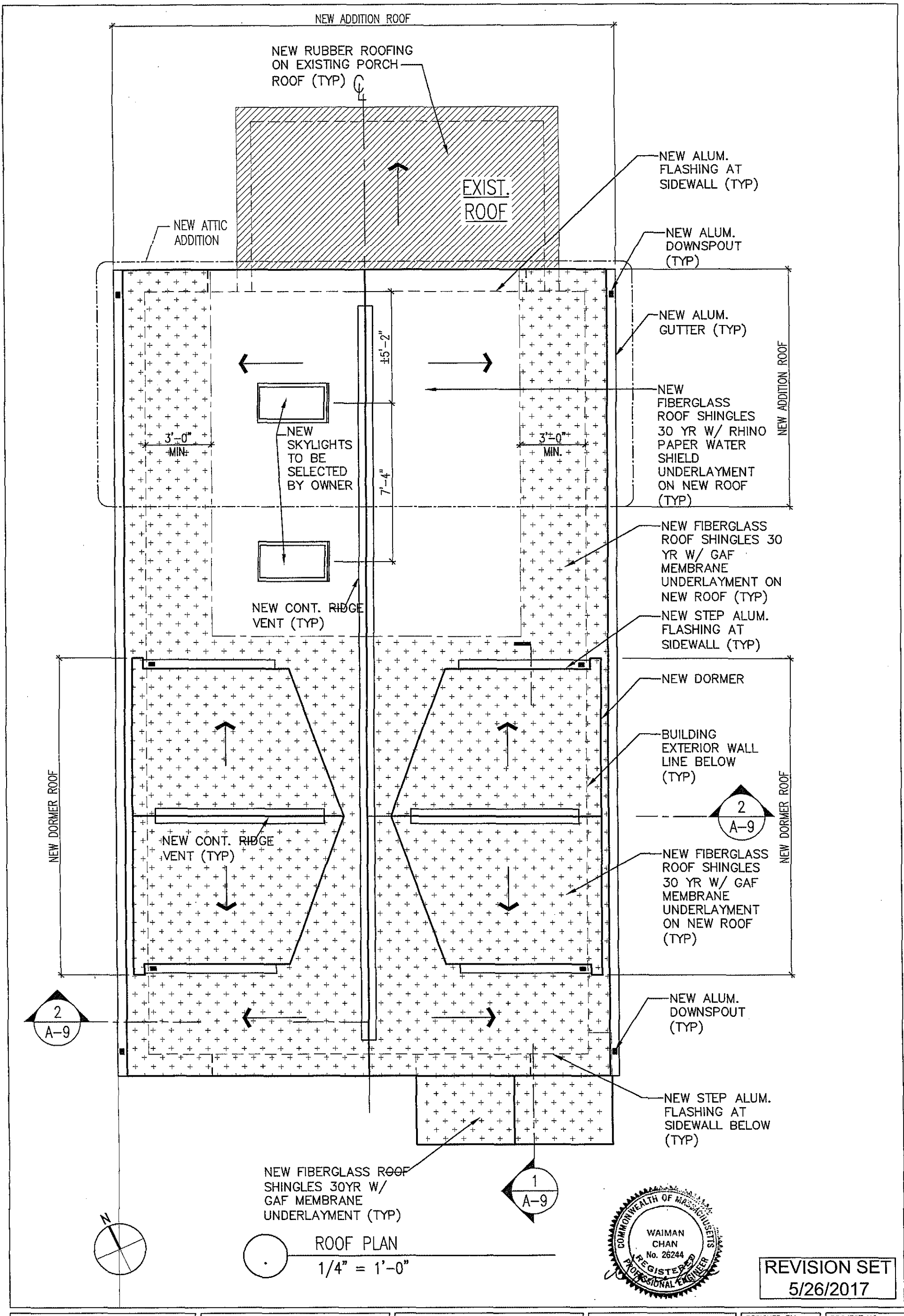
JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

SHEET TITLE:  
ATTIC FLOOR PLAN

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PROJECT NO:  
201602.1  
SHEET NO.  
A-3



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JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

SHEET TITLE:  
ROOF PLAN

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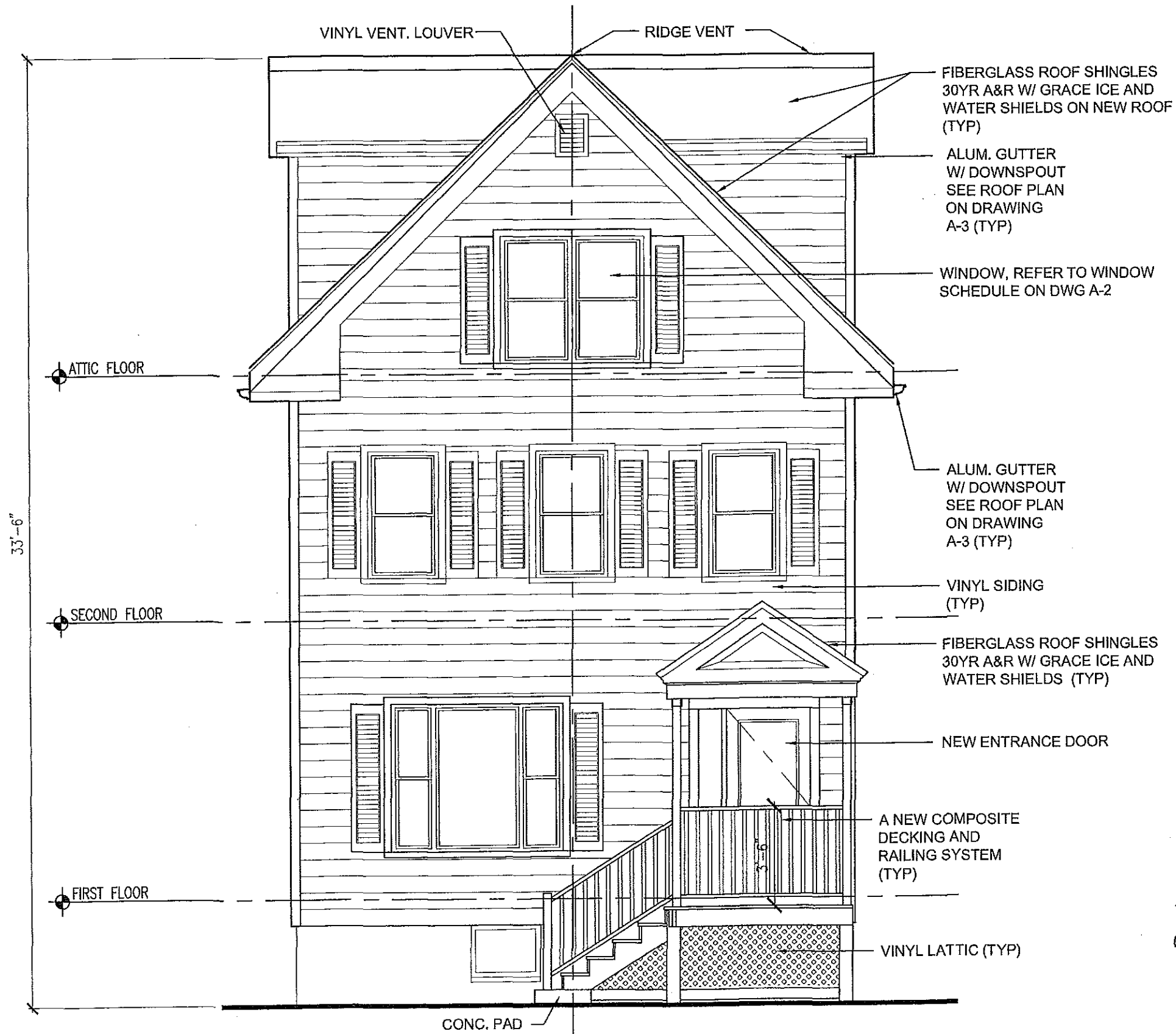
DESIGNED BY:  
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APPROVED BY:  
WMC

DRAWING DATE:  
3/30/2017

PROJECT NO:  
201602.1

SHEET NO.  
A-4



VINYL VENT. LOUVER

RIDGE VENT

FIBERGLASS ROOF SHINGLES  
30YR A&R W/ GRACE ICE AND  
WATER SHIELDS ON NEW ROOF  
(TYP)

ALUM. GUTTER  
W/ DOWNSPOUT  
SEE ROOF PLAN  
ON DRAWING  
A-3 (TYP)

WINDOW, REFER TO WINDOW  
SCHEDULE ON DWG A-2

ATTIC FLOOR

ALUM. GUTTER  
W/ DOWNSPOUT  
SEE ROOF PLAN  
ON DRAWING  
A-3 (TYP)

VINYL SIDING  
(TYP)

SECOND FLOOR

FIBERGLASS ROOF SHINGLES  
30YR A&R W/ GRACE ICE AND  
WATER SHIELDS (TYP)

NEW ENTRANCE DOOR

A NEW COMPOSITE  
DECKING AND  
RAILING SYSTEM  
(TYP)

FIRST FLOOR

VINYL LATTIC (TYP)

CONC. PAD

SOUTH ELEVATION

1/4" = 1'-0"

33'-6"

PROJECT NO:  
J201602.1

SHEET NO.  
A-5

DESIGNED BY:  
CL

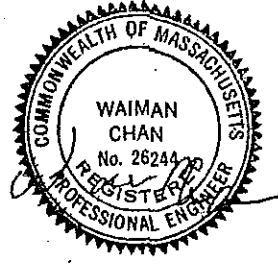
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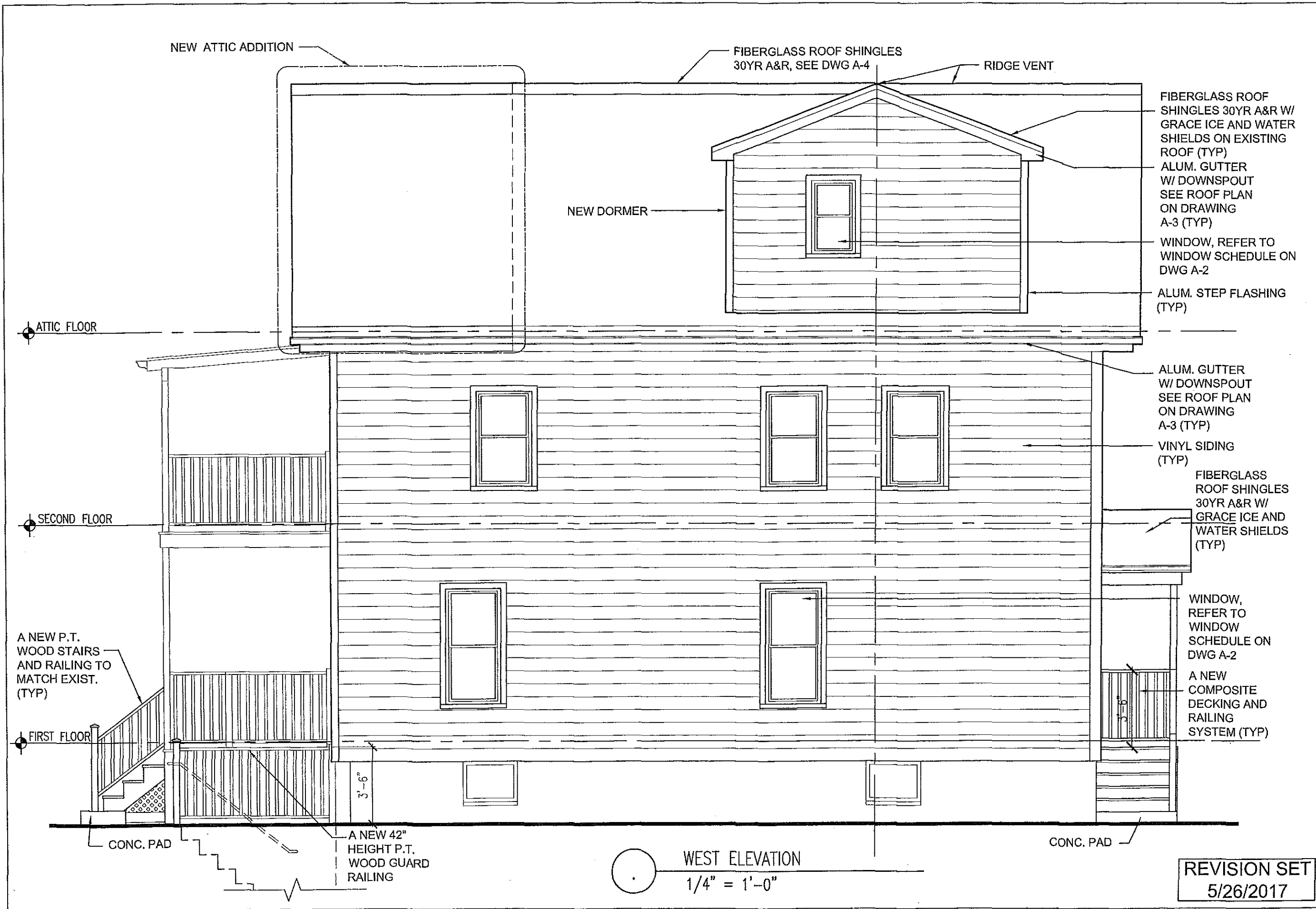
SHEET TITLE:  
SOUTH ELEVATION

JOB TITLE:  
1 GOLD STAR ROAD  
COURT,  
CAMBRIDGE, MA 02140



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PROJECT NO: J201602.1  
SHEET NO: A-6

DESIGNED BY: GL  
APPROVED BY: WMC  
DRAWING DATE: 3/30/2017

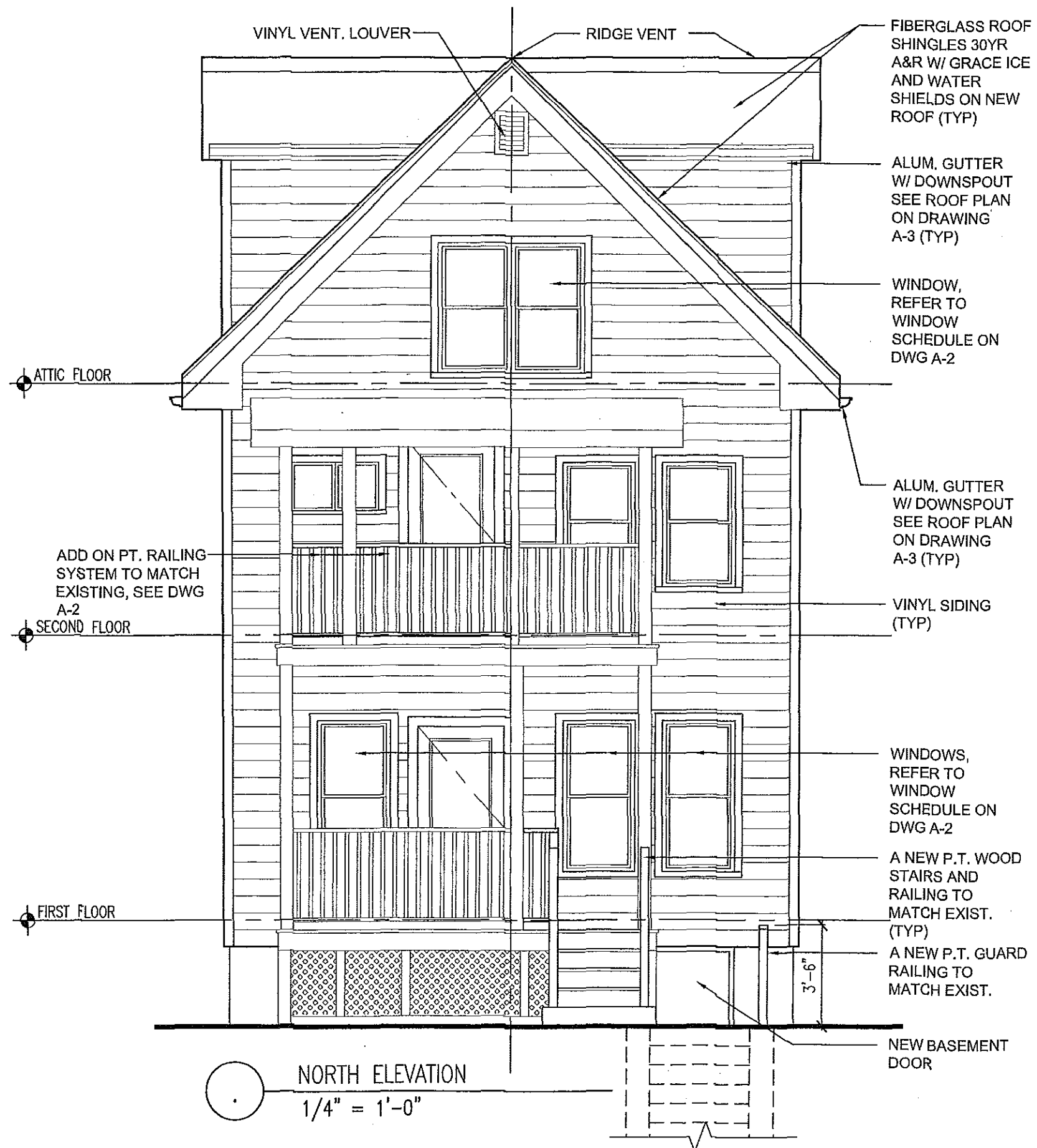
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SHEET TITLE: WEST ELEVATION

JOB TITLE: 1 GOLD STAR ROAD COURT, CAMBRIDGE, MA 02140

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PROJECT NO: J201602.1  
SHEET NO. A-7

DESIGNED BY: GL  
APPROVED BY: WMC  
DRAWING DATE: 3/30/2017

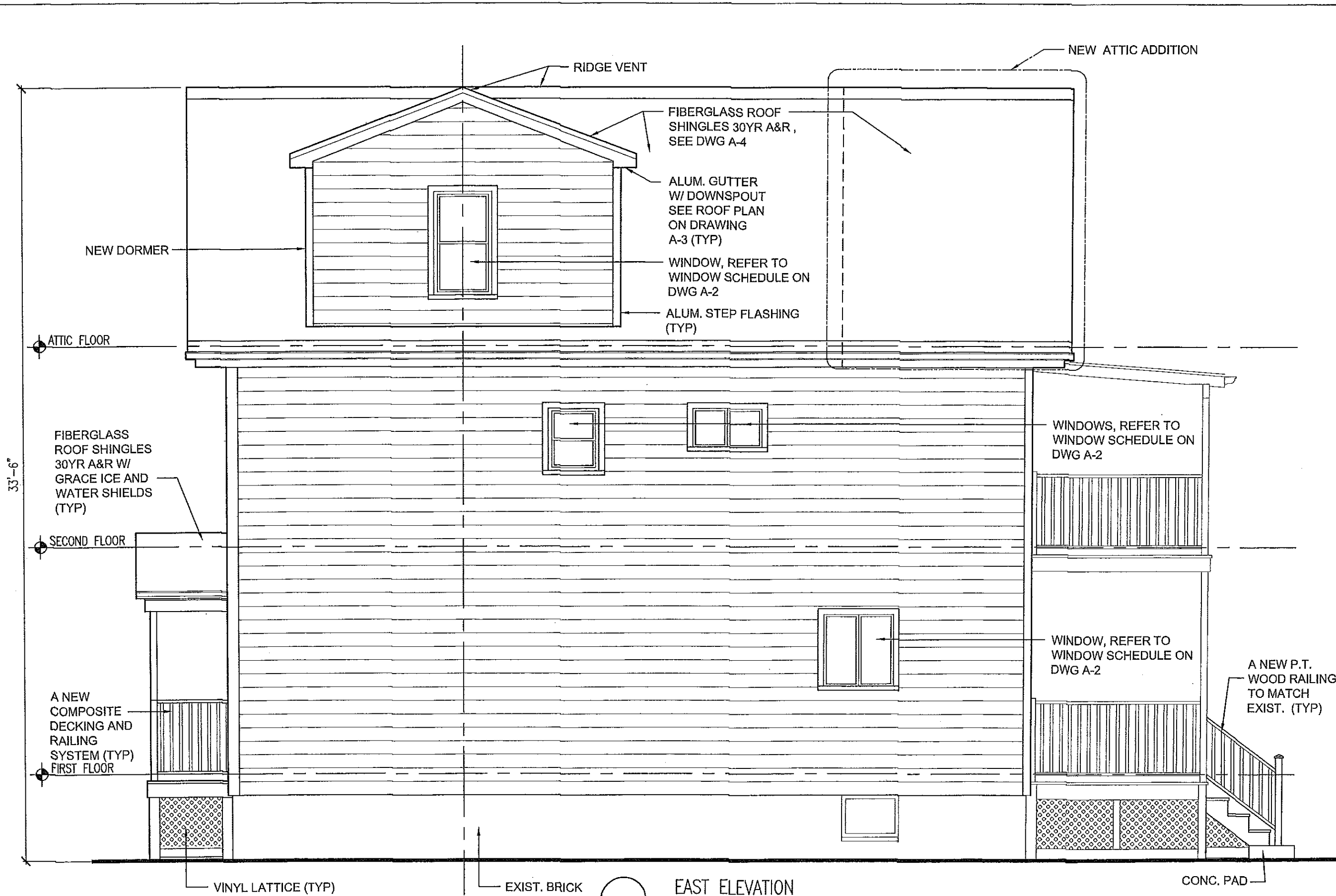
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SHEET TITLE: NORTH ELEVATION

JOB TITLE: 1 GOLD STAR ROAD COURT, CAMBRIDGE, MA 02140

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5/26/2017



PROJECT NO:  
J201602.1

SHEET NO.  
A-8

DESIGNED BY:  
GL

APPROVED BY:  
WMC

DRAWING DATE:  
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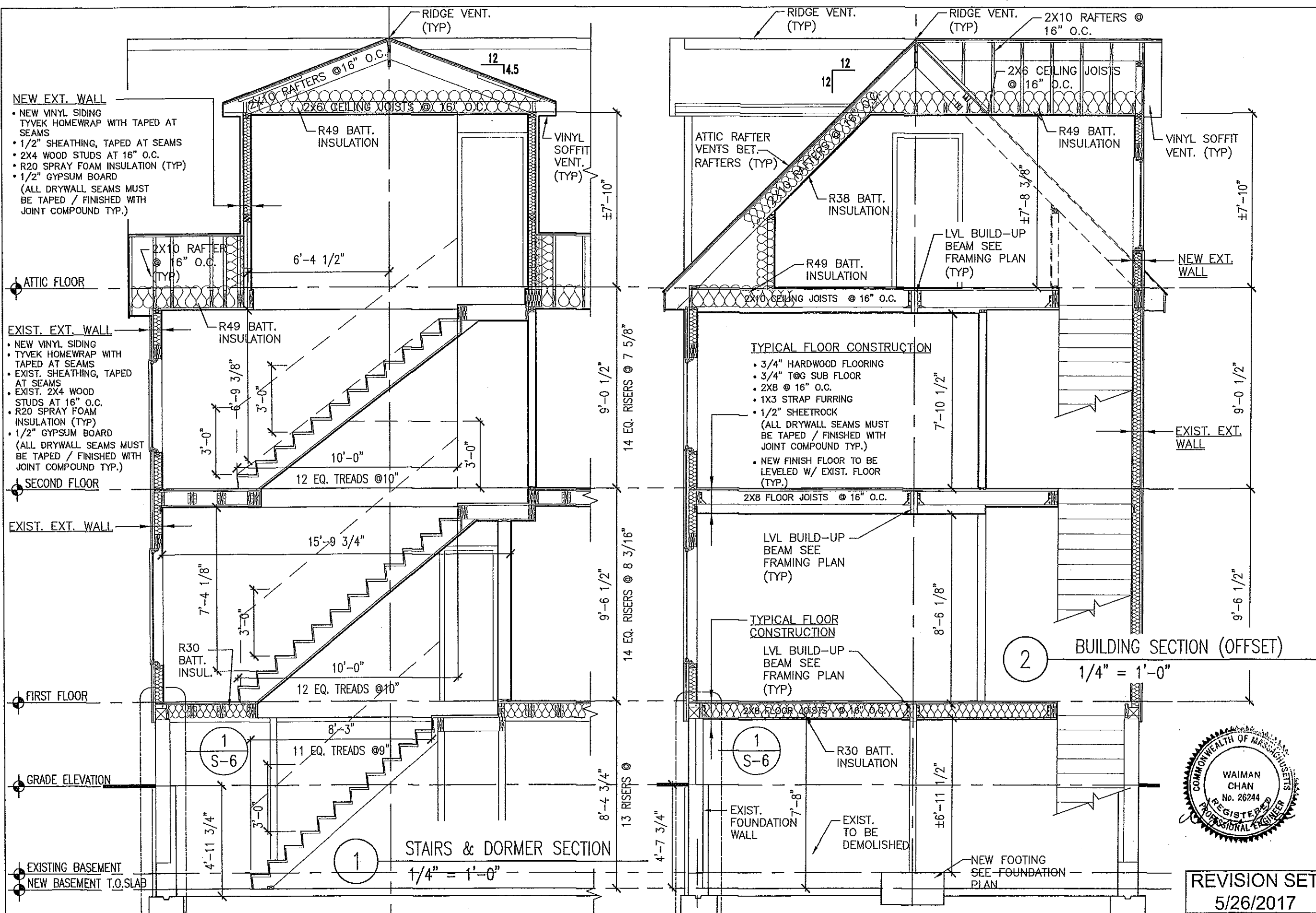
SHEET TITLE:  
**EAST ELEVATION**

JOB TITLE:  
**1 GOLD STAR ROAD COURT,  
CAMBRIDGE, MA 02140**

**Jessy Design-Build, LLC**  
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**EAST ELEVATION**  
1/4" = 1'-0"

**REVISION SET**  
5/26/2017



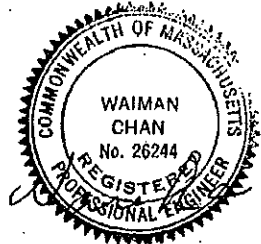
PROJECT NO: J201602.1  
SHEET NO: A-9

DESIGNED BY: GL  
APPROVED BY: WMC  
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SHEET TITLE: BUILDING SECTIONS

JOB TITLE: 1 GOLD STAR ROAD COURT, CAMBRIDGE, MA 02140



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NEW P.T. 4X4 POST W/ CAP AND BASE ON 10" DIA. CONC. PILE MIN. 4'-0" BELOW GRADE 3000 PSI @ 28 DAYS (TYP.)

**REMARKS:**

1. SEE ALL NOTES ON DWG A-1

**BASEMENT FOOTING NOTES:**

CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI @ 28 DAYS. ALL FOOTINGS SHALL BE AT LEAST 4' BELOW GRADE. PLACE CONCRETE IN ACCORDANCE WITH ACI-318-02. THE MIN. SOIL BEARING CAPACITY SHALL BE 3,000 PSI, UNO. ANCHOR BOLTS SHALL BE INSTALLED IN ACCORDANCE STATE BUILDING CODE.

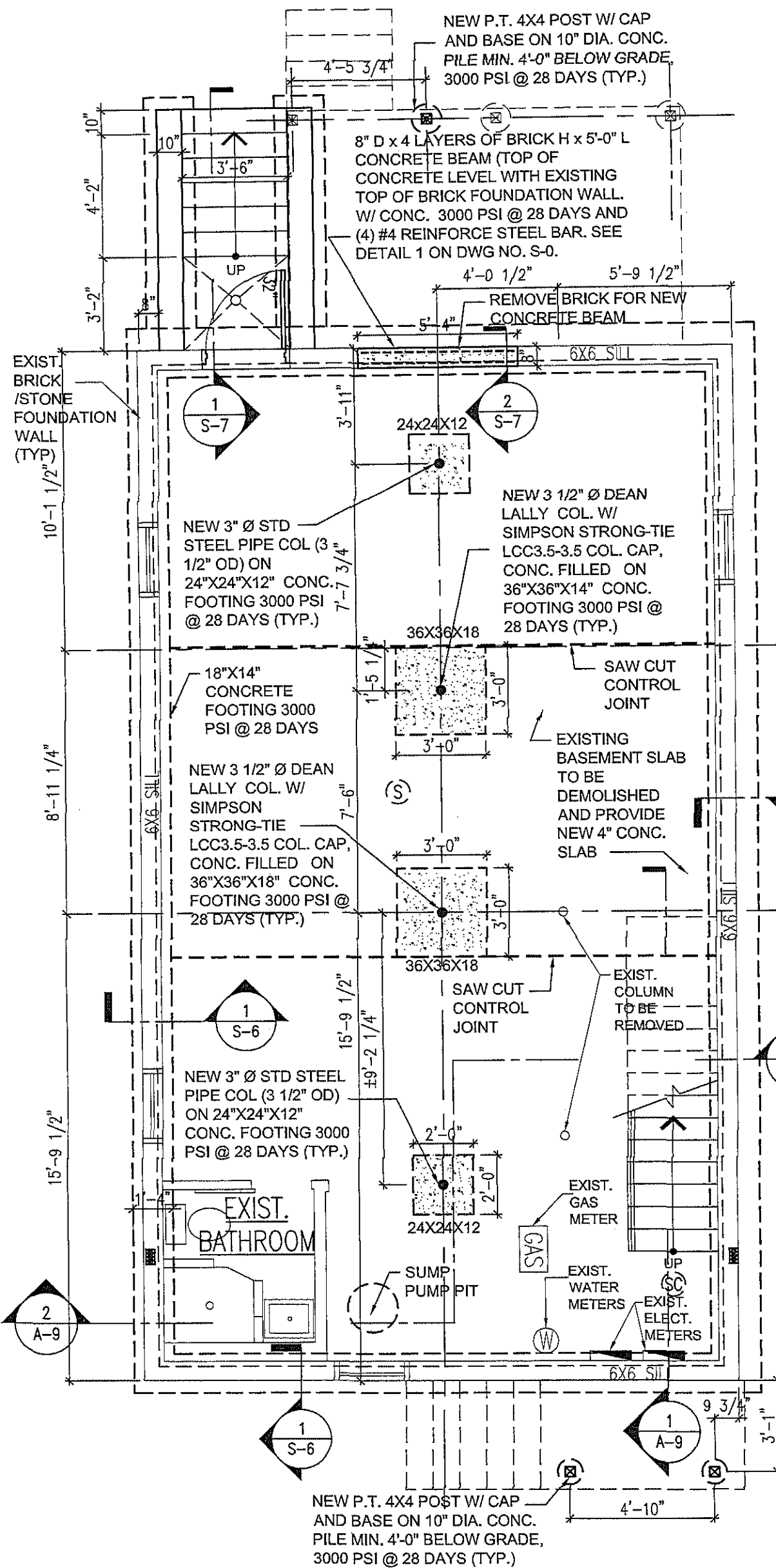
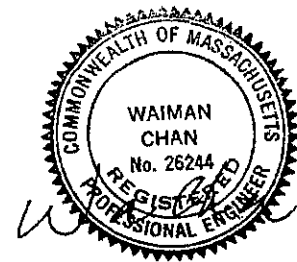
ALL CONCRETE SHALL BE COMPACTED BY EITHER VIBRATING SCREED AND POKER VIBRATOR DEPENDING UPON THE POSITION OF THE CONCRETE IN ORDER TO ELIMINATE ANY ENTRAPPED AIR.

**SLAB NOTES:**

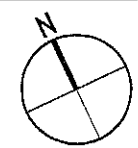
1. SLAB CONCRETE COMPRESSIVE STRENGTH MIN 4,000 PSI AT 28 DAYS, UNO.
2. MINIMUM 6" COMPACTED GRAVEL OR CRUSHED STONE BELOW SLAB.
3. INTERIOR SLABS MUST HAVE VAPOR BARRIER PER MASSAGUSETTS STATE BUILDING CODE DIRECTLY BELOW SLAB.
4. FOR SLABS ON GRADE, EXCAVATE TO THE BOTTOM-OF-SLAB ELEVATIONS LEAVING THE SOIL BELOW UNDISTURBED. IF ORGANIC MATERIAL EXISTS, REMOVE AND REPLACE WITH CRUSHED STONE COMPACTED IN 6" LIFTS.
5. SLABS MUST BE REINFORCED WITH 6x6 - W1.4xW1.4 WWF
6. 1/4 DEPTH SAW CUT CONTROL JOINTS AS SHOWN ON PLANS.

**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY THAT ALL DIMENSIONAL CONTROLS ARE ADEQUATE PRIOR TO CONSTRUCTION.
2. ALL FOOTINGS LOCATIONS AND DIMENSIONS TO BE VERIFIED IN FIELD.
3. CONTRACTOR SHALL VERIFY THAT ALL APPLICABLE PERMITS ARE IN PLACE PRIOR TO CONSTRUCTION.
4. STRUCTURAL ENGINEER MUST BE CONSULTED FOR ANY CHANGES TO BEARING WALL LOCATIONS, FRAMING, MEMBERS SIZES, FOUNDATION OR DETAILS SHOWN ON THESE DRAWINGS.
5. ALL STRUCTURAL MATERIALS / MEMBERS SHALL BE FREE FROM DEFECTS THAT MAY REDUCE THEIR STRUCTURAL CAPACITY.
6. CARE MUST BE TAKEN TO ENSURE THE CONCRETE CORE OF ALL "LALLY" COL'S REMAINS INTACT.
7. ANY HEADERS OR OTHER STRUCTURAL ELEMENTS NOT SPECIFICALLY ADDRESSED ON THESE PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE OR BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER.
8. ALL DESIGN AND CONSTRUCTION TO MEET CURRENT EDITION MASSACHUSETTS STATE CODE.



FOUNDATION PLAN  
1/4" = 1'-0"



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5/26/2017

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Tel. 617.777.3772 Email jessydb.gl@gmail.com

JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

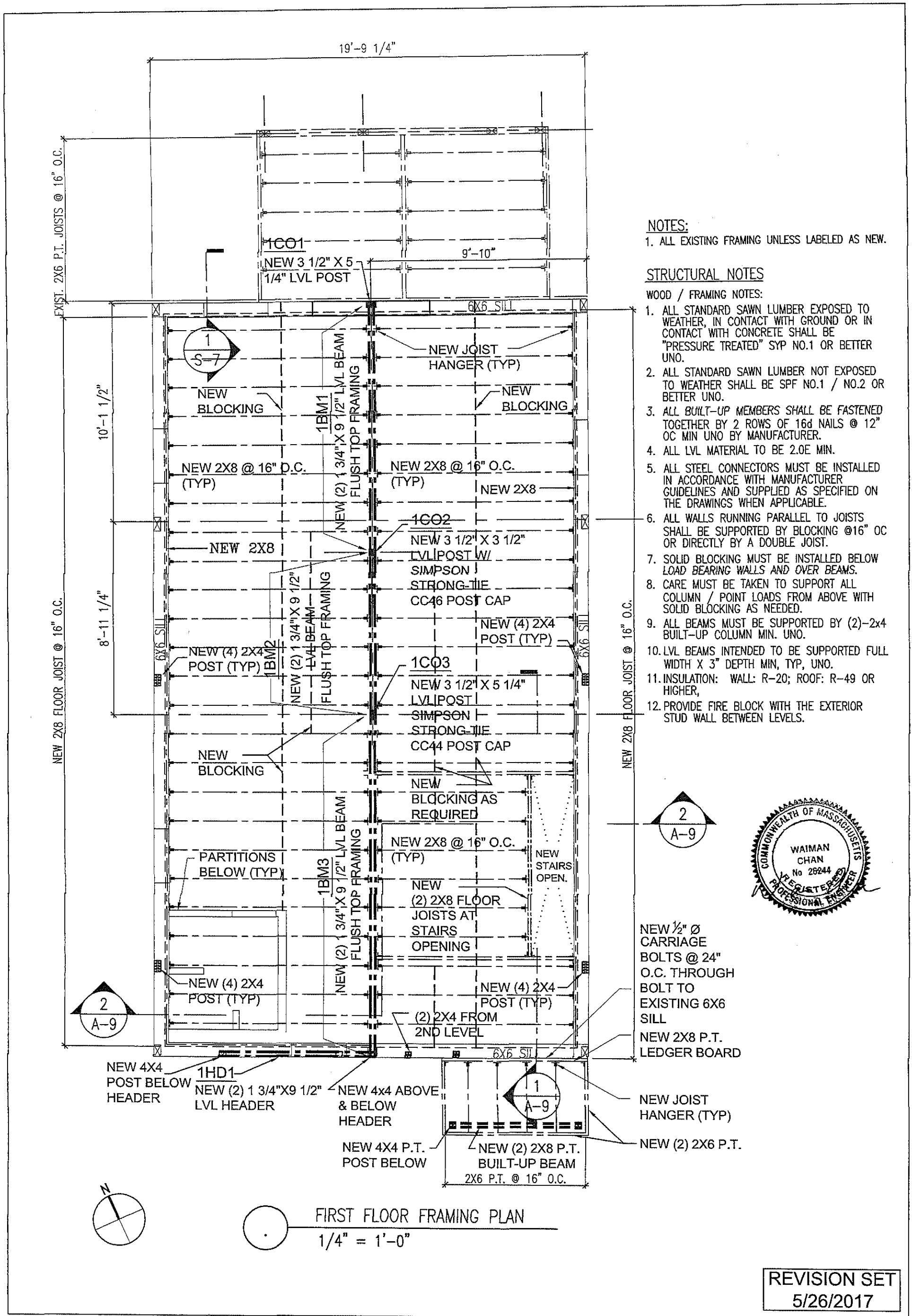
SHEET TITLE:  
FOUNDATION PLAN

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GL  
APPROVED BY:  
WMC  
DRAWING DATE:  
3/30/2017

PROJECT NO:  
201602.1  
SHEET NO.  
S-0





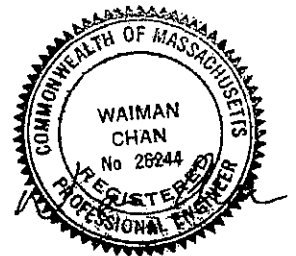
**NOTES:**

1. ALL EXISTING FRAMING UNLESS LABELED AS NEW.

**STRUCTURAL NOTES**

**WOOD / FRAMING NOTES:**

1. ALL STANDARD SAWN LUMBER EXPOSED TO WEATHER, IN CONTACT WITH GROUND OR IN CONTACT WITH CONCRETE SHALL BE "PRESSURE TREATED" SYP NO.1 OR BETTER UNO.
2. ALL STANDARD SAWN LUMBER NOT EXPOSED TO WEATHER SHALL BE SPF NO.1 / NO.2 OR BETTER UNO.
3. ALL BUILT-UP MEMBERS SHALL BE FASTENED TOGETHER BY 2 ROWS OF 16d NAILS @ 12" OC MIN UNO BY MANUFACTURER.
4. ALL LVL MATERIAL TO BE 2.0E MIN.
5. ALL STEEL CONNECTORS MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER GUIDELINES AND SUPPLIED AS SPECIFIED ON THE DRAWINGS WHEN APPLICABLE.
6. ALL WALLS RUNNING PARALLEL TO JOISTS SHALL BE SUPPORTED BY BLOCKING @16" OC OR DIRECTLY BY A DOUBLE JOIST.
7. SOLID BLOCKING MUST BE INSTALLED BELOW LOAD BEARING WALLS AND OVER BEAMS.
8. CARE MUST BE TAKEN TO SUPPORT ALL COLUMN / POINT LOADS FROM ABOVE WITH SOLID BLOCKING AS NEEDED.
9. ALL BEAMS MUST BE SUPPORTED BY (2)-2x4 BUILT-UP COLUMN MIN. UNO.
10. LVL BEAMS INTENDED TO BE SUPPORTED FULL WIDTH X 3" DEPTH MIN, TYP, UNO.
11. INSULATION: WALL: R-20; ROOF: R-49 OR HIGHER,
12. PROVIDE FIRE BLOCK WITH THE EXTERIOR STUD WALL BETWEEN LEVELS.



NEW 1/2" Ø CARRIAGE BOLTS @ 24" O.C. THROUGH BOLT TO EXISTING 6X6 SILL  
NEW 2X8 P.T. LEDGER BOARD

NEW JOIST HANGER (TYP)  
NEW (2) 2X6 P.T.

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JOB TITLE:  
**1 GOLD STAR ROAD COURT, CAMBRIDGE, MA 02140**

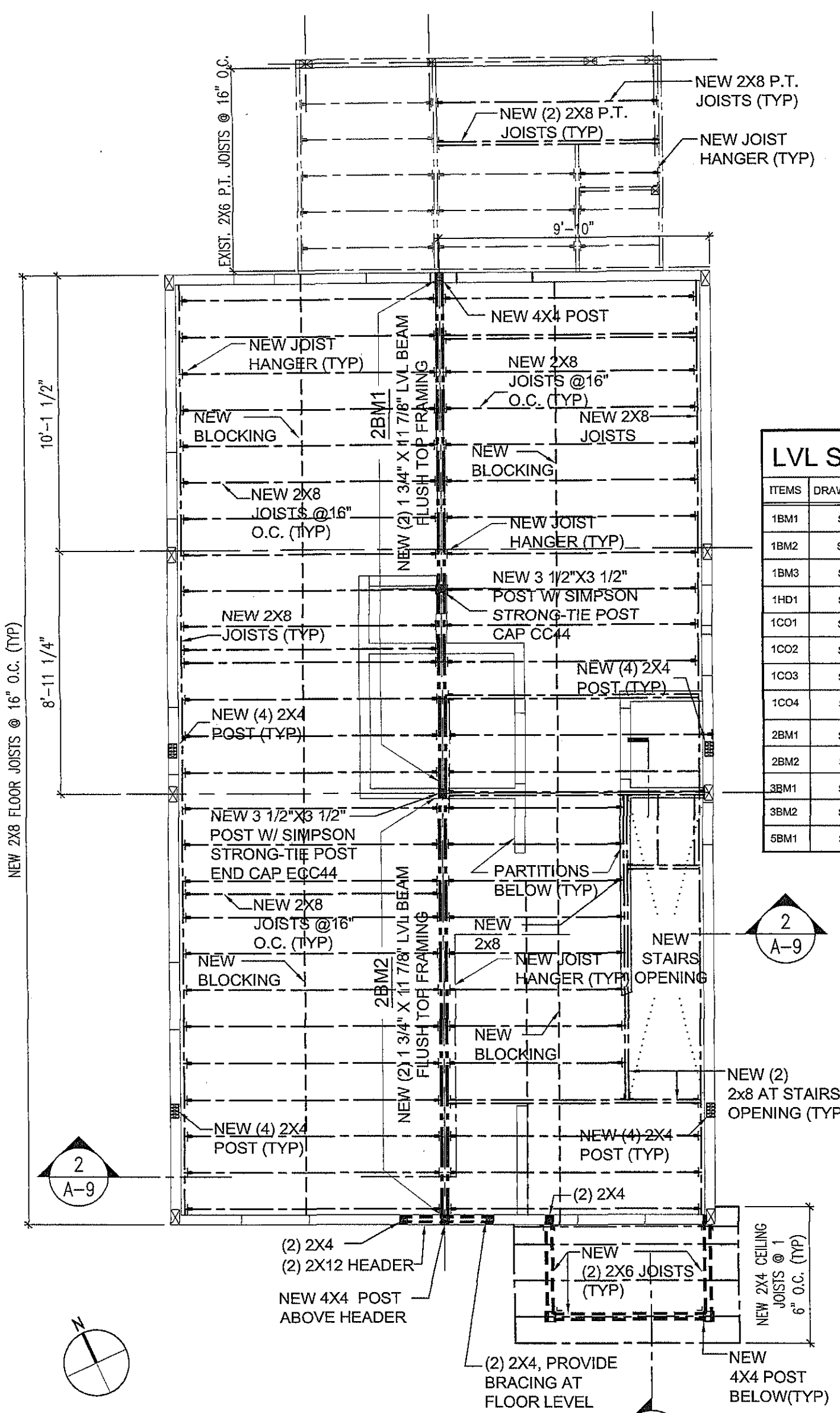
SHEET TITLE:  
**FIRST FLOOR FRAMING PLAN**

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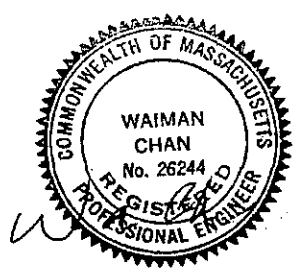
DESIGNED BY:  
GL  
APPROVED BY:  
WMC  
DRAWING DATE:  
3/30/17

PROJECT NO:  
201602.1  
SHEET NO.  
**S-1**

**REVISION SET**  
**5/26/2017**



LVL SCHEDULE				
ITEMS	DRAWING NO.	SIZES	LENGTH	QUANTITY
1BM1	S-1	1 3/4" X 9 1/2"	12'-0"±	2
1BM2	S-1	1 3/4" X 9 1/2"	8'-0"±	2
1BM3	S-1	1 3/4" X 9 1/2"	16'-0"±	2
1HD1	S-1	1 3/4" X 9 1/2"	8'-0"±	2
1CO1	S-1	3 1/2" X 5 1/4"	10'-0"±	1
1CO2	S-1	3 1/2" X 5 1/4"	10'-0"±	1
1CO3	S-1	3 1/2" X 3 1/2"	10'-0"±	1
1CO4	S-1	3 1/2" X 3 1/2"	10'-0"±	1
2BM1	S-2	1 3/4" X 11 7/8"	20'-0"±	2
2BM2	S-2	1 3/4" X 11 7/8"	16'-0"±	2
3BM1	S-3	1 3/4" X 9 1/2"	20'-0"±	2
3BM2	S-3	1 3/4" X 11 7/8"	16'-0"±	2
5BM1	S-5	1 3/4" X 9 1/2"	18'-0"±	8



SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"

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5/26/2017

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JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

SHEET TITLE:  
SECOND FLOOR  
FRAMING PLAN

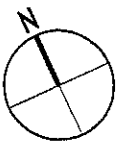
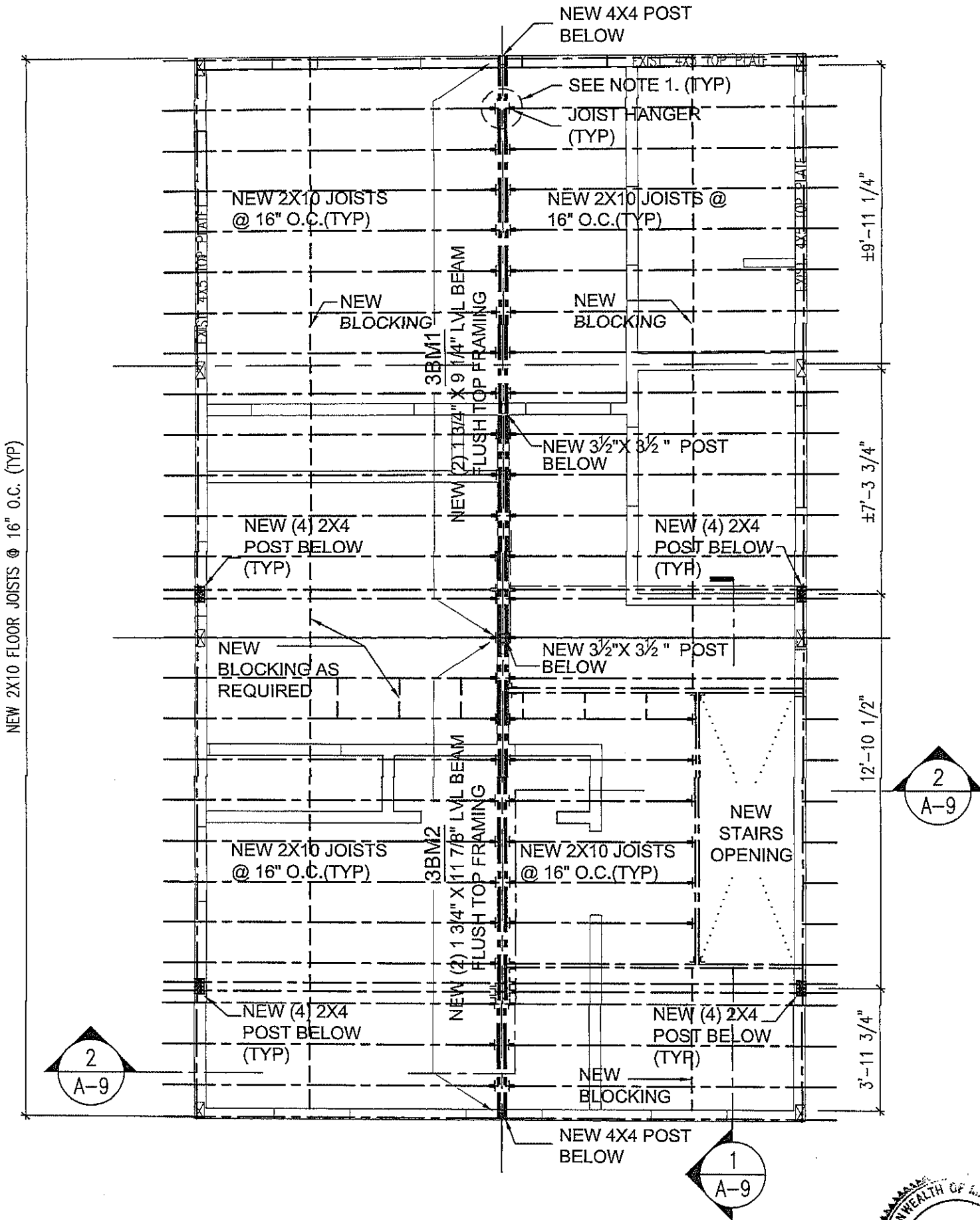
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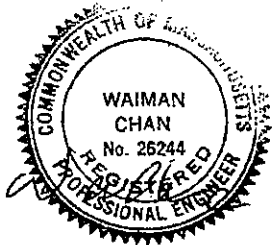
PROJECT NO:  
201602.1  
SHEET NO.  
S-2

**NOTES:**

1. ALL ATTIC JOISTS TO BE CONNECTED WITH SIMPSONS STRONG TIE CONNECTOR STRAP 36" 12 GAUGE AT TOP AND BOTTOM (TYP)



ATTIC FLOOR FRAMING PLAN  
1/4" = 1'-0"



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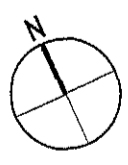
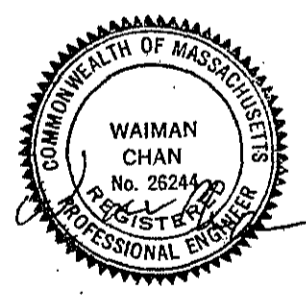
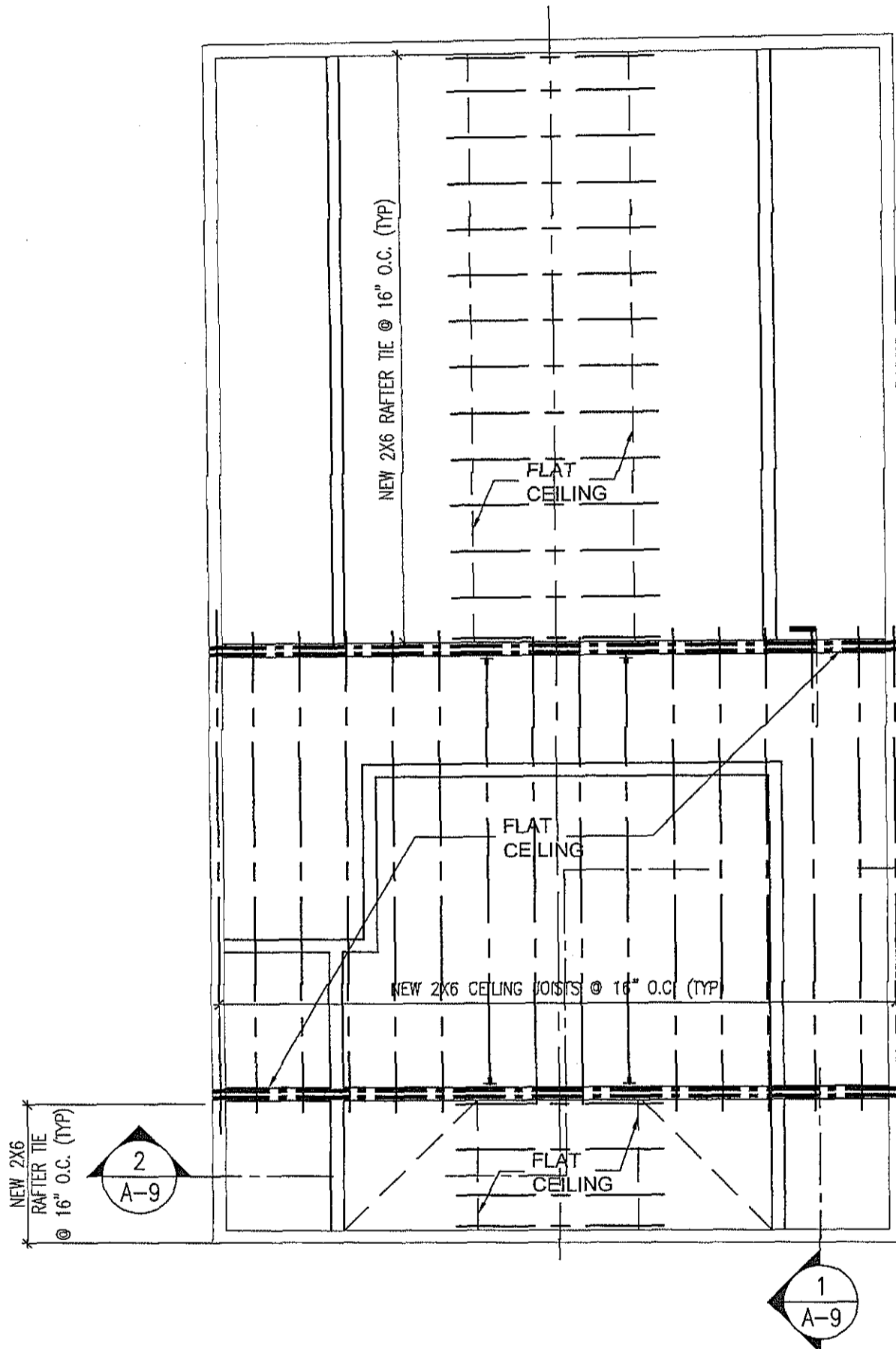
JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

SHEET TITLE:  
ATTIC FLOOR  
FRAMING PLAN

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3/30/17

PROJECT NO:  
201602.1  
SHEET NO.  
S-3



○ ATTIC CEILING FRAMING PLAN  
1/4" = 1'-0"

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JOB TITLE:  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

SHEET TITLE:  
ATTIC CEILING  
FRAMING PLAN

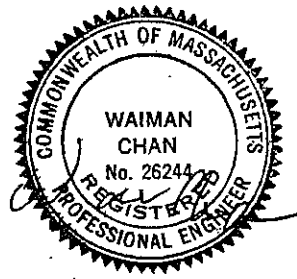
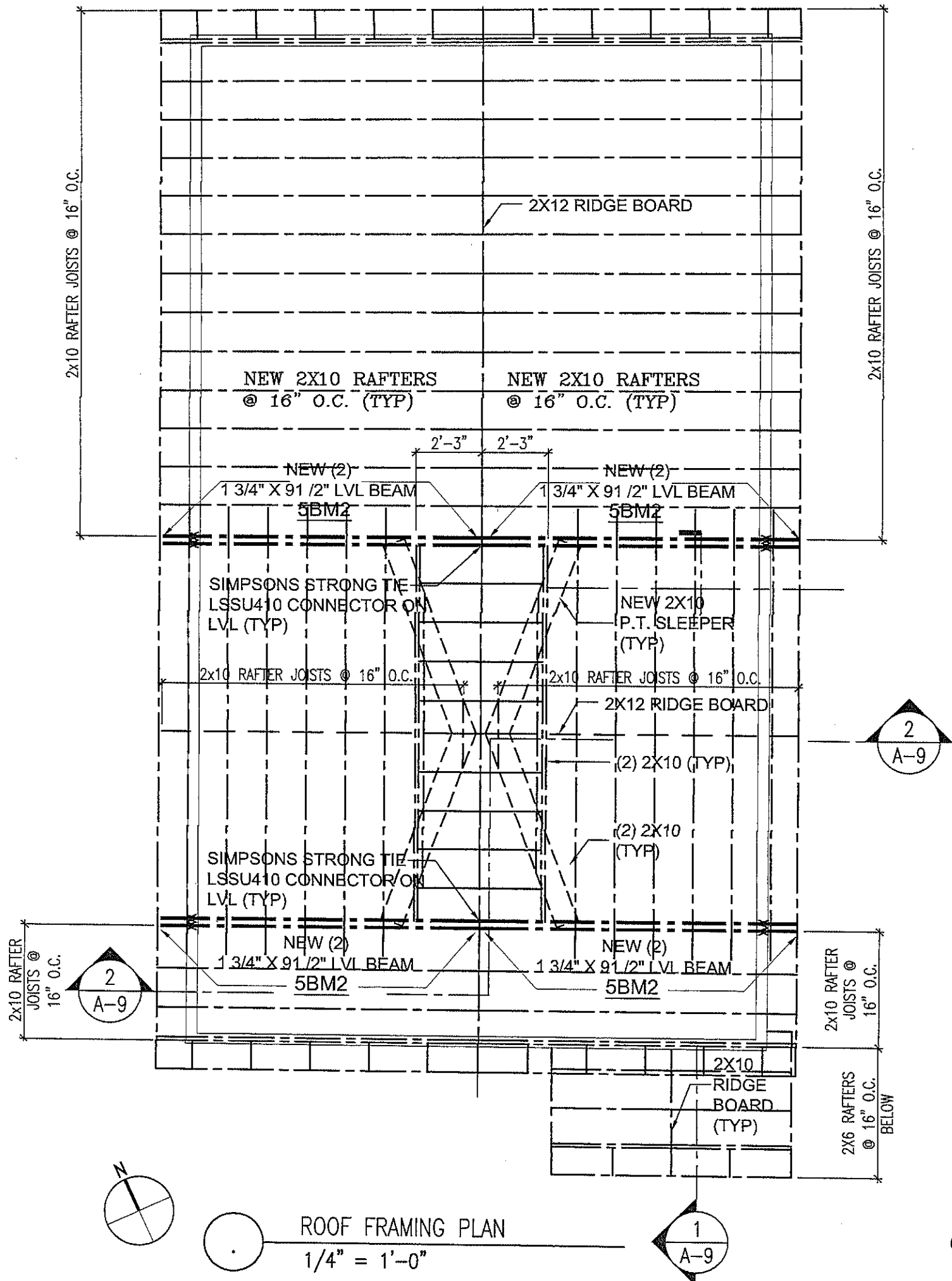
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WMC  
DRAWING DATE:  
3/30/17

PROJECT NO:  
201602.1  
SHEET NO.  
S-4

**NOTES:**

1. ALL RAFTERS TO BE CONNECTED WITH SIMPSON STRONG TIE CONNECTOR H8Z HURRICANE TIE (TYP)



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5/26/2017

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Tel. 617.777.3772 Email jessydb.gl@gmail.com

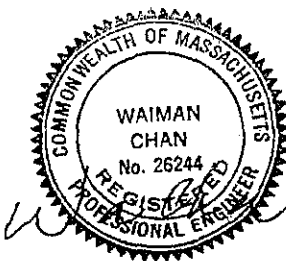
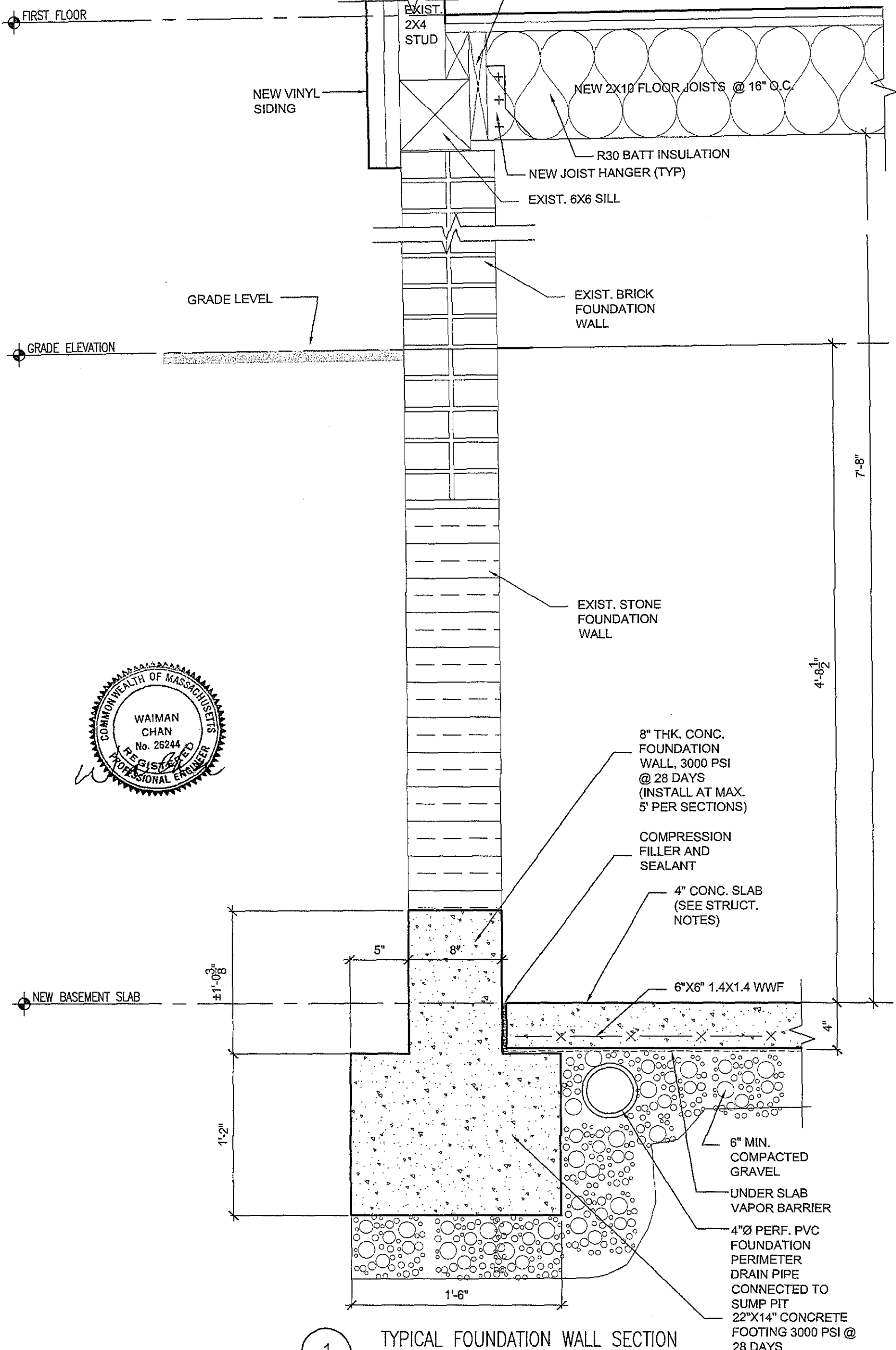
**JOB TITLE:**  
1 GOLD STAR ROAD  
COURT, CAMBRIDGE,  
MA 02140

**SHEET TITLE:**  
ROOF FRAMING  
PLAN

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**DESIGNED BY:**  
GL  
**APPROVED BY:**  
WMC  
**DRAWING DATE:**  
3/30/17

**PROJECT NO.:**  
201602.1  
**SHEET NO.:**  
S-5



1 TYPICAL FOUNDATION WALL SECTION  
 1 1/2" = 1'-0"

REVISION SET  
 5/26/2017

**JESBY**  
 Jessy Design-Build, LLC  
 34 Staten Road, Braintree, MA 02184  
 Tel. 617.777.3772 Email jessydb.gl@gmail.com

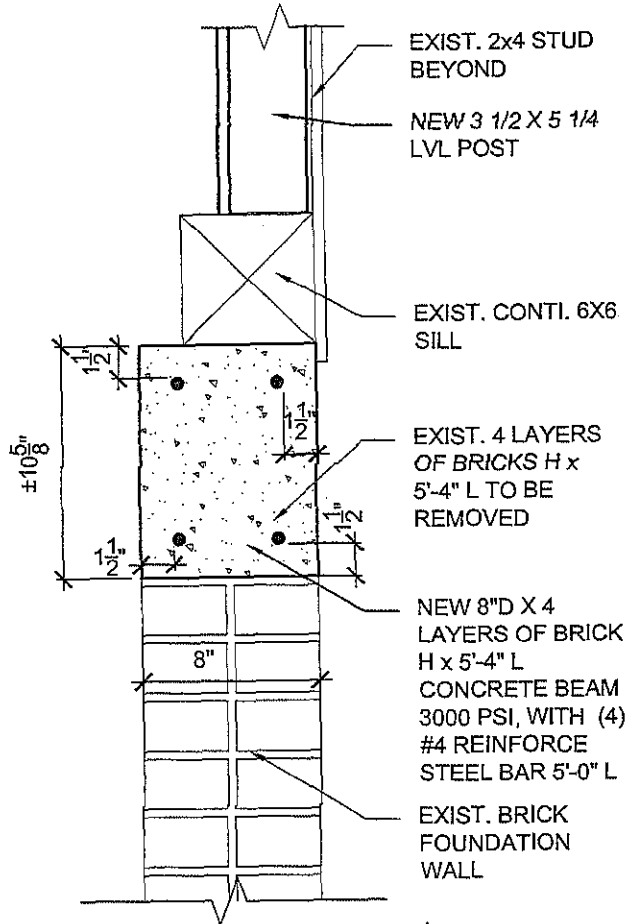
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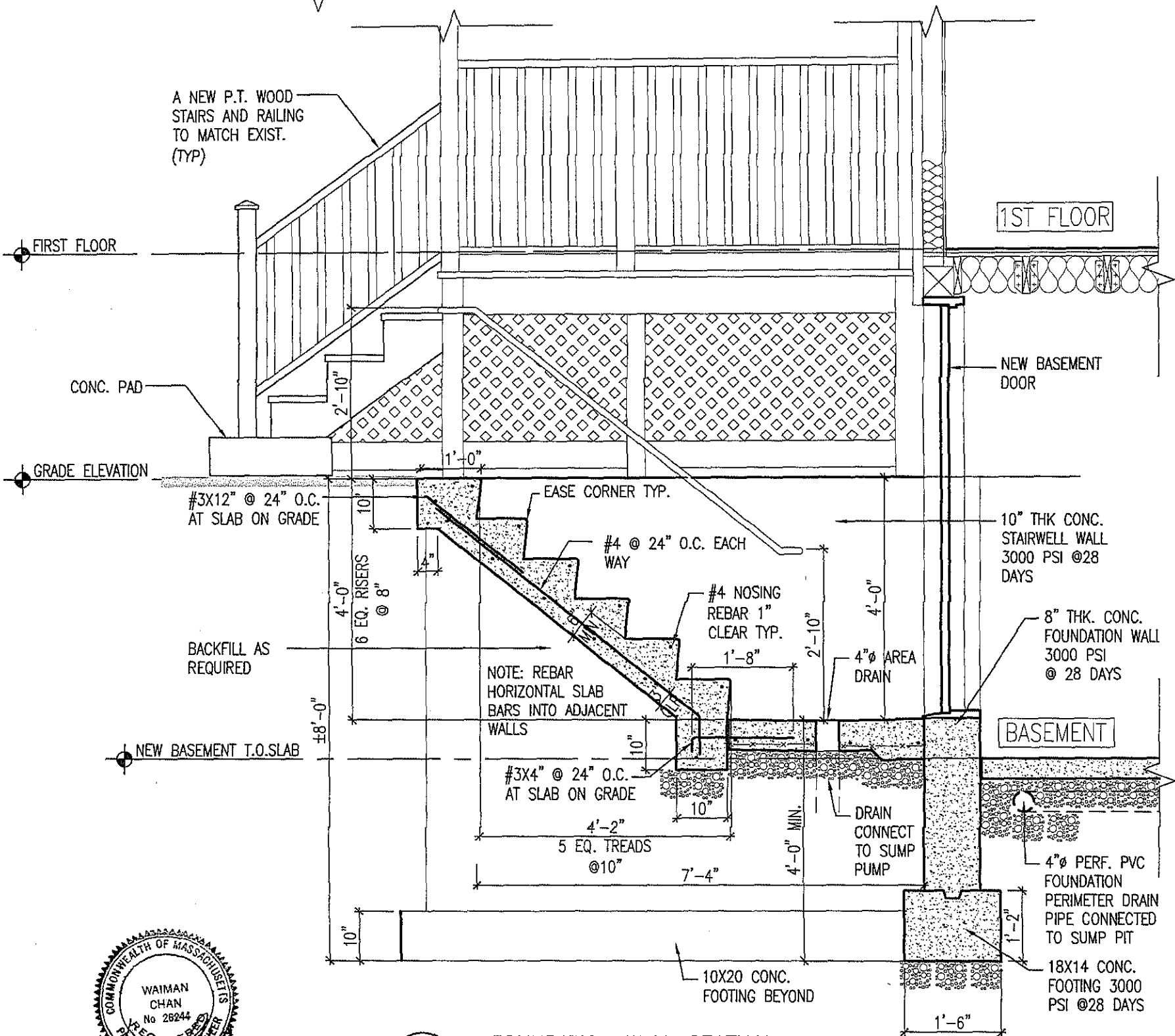
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DESIGNED BY:  
 GL  
 APPROVED BY:  
 WMC  
 DRAWING DATE:  
 3/30/17

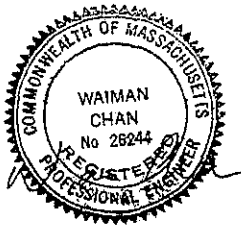
PROJECT NO:  
 201602.1  
 SHEET NO.  
 S-6



2 CONC. BEAM DETAILS  
1 1/2" = 1'-0"



1 FOUNDATION WALL SECTION  
1/2" = 1'-0"



REVISION SET  
5/26/2017











