



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-012641-2017

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : √ Variance : √ Appeal :

PETITIONER : Brett Hansmeier & Nandini Mani C/O Kyle Sheffield, LDa Architecture & Interi

PETITIONER'S ADDRESS : 222 Third Street, Suite 3212 Cambridge, MA 02142

LOCATION OF PROPERTY : 69 Rindge Ave Cambridge, MA 02140

TYPE OF OCCUPANCY : TWO-FAM-RES ZONING DISTRICT : Residence B Zone

REASON FOR PETITION :

Dormer

DESCRIPTION OF PETITIONER'S PROPOSAL :

Variance: Amend Variance approved on 12/10/15 by adding one window to the approved western dormer and by shifting the approved eastern dormer.

Special Permit: To modify window locations within setbacks.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.30 (Table of Dimensional Requirements).

Article 8.000 Section 8.22.2.C (Non-Conforming Structure).

Original Signature(s) :

Me

(Petitioner(s) / Owner)

Nandini Mani

(Print Name)

Address : 69 Rindge Avenue

Cambridge, MA 02140

Tel. No. : (925) 727-3887

E-Mail Address : bretthans@gmail.com

Date : 2/21/2017

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Brett Hansmeier & Nandini Mani
(OWNER)

Address: 69 Rindge Avenue, Cambridge, MA

State that I/We own the property located at 69 Rindge Avenue, Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of Brett Hansmeier & Nandini Mani

*Pursuant to a deed of duly recorded in the date May 28, 2015, Middlesex South County Registry of Deeds at Book 65137, Page 368; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

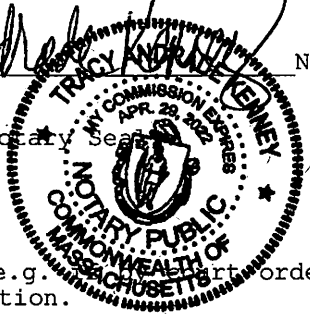

SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Brett Hansmeier personally appeared before me, this 21th of February, 2017, and made oath that the above statement is true.

Tracy K. Kenney Notary
My commission expires 4/29/22 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The petitioner is seeking to amend two aproved dormer additions to their two-family home which would allow them to add a bathroom to the bedroom spaces on the third floor, eliminate the non-conformity of the existing headroom for the stair to the third floor, and to accommodate a the needs of a recently expanded family of 3 (2 adults and 1 child born in July 2016). Since the non-conforming nature of the structure will not allow an addition of any size, this also creates a financial hardship as it limits the value of the home given its small bedroom and other programmatic spaces, and lack of a bathroom on the third floor.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The non-conformity of the existing house is directly related to teh size of the property. The old two-family house was built prior to the 1941 zoning bylaw revisions. These bylaw revisions put the structure into non-conformity due to it's undersized lot. In addition, the existing stair to the third floor was designed prior to the current Massachusetts Building Code, and is therefore non-conforming with regards to headroom.

- C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

The previously approved dormers will result in a net increase of 0.04 of FAR. In addition, both dormer widths are not greater than 15.0', and their sizes have not increased since their approval on 12/10/15. The additions coupled with the conforming architectural improvements will aesthetically improve the character of the original house and subsequently the look of the neighborhood.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

This will not create a precedent for other houses because it's a unique pre-existing, non-conforming two-family house on a lot that doesn't meet the minimum lot size requirement for the district, or conforms to current setback requirements. The proposal does not increase lot coverage, or reduce open space.

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 69 Rindge Ave Cambridge, MA 02140 (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The adjustment to the window locations will not further violate the non-conformity of the existing structure. There will be no footprint or use change as part of this application.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The new window locations will not project further into the existing side yard setback.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

These changes will have not impact on the abutters properties and removing the existing landing, stair and associated door will provide much better access to the rear of the house.

D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The new windows provide light and ventilation for the occupants and their locations do not interfere with neighbor sight lines.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The new window locations do not further violate the non-conformity of the existing structure. There will be no footprint or use change.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: LDa Architecture & Interiors **PRESENT USE/OCCUPANCY:** Two-Family
LOCATION: 69 Rindge Ave Cambridge, MA 02140 **ZONE:** Residence B Zone
PHONE: _____ **REQUESTED USE/OCCUPANCY:** Two-Family

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	3,110	3,234	1,716	(max.)
<u>LOT AREA:</u>	3,432	3,432	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²	.91	.94	.5	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	1,555	1,555	2,500	(min.)
<u>SIZE OF LOT:</u>	WIDTH	45.0'	45.0'	(min.)
	DEPTH	76.38'	76.38'	n/a
<u>SETBACKS IN FEET:</u>	FRONT	8.1'	8.1'	(min.)
	REAR	19.3'	19.3'	(min.)
	LEFT SIDE	6.3'	6.3'	(min.)
	RIGHT SIDE	7.0'	7.0'	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	35.9'	35.9'	(max.)
	LENGTH	41.8'	41.8'	n/a
	WIDTH	31.4'	31.4'	n/a
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	24.5%	24.5%	40%	(min.)
<u>NO. OF DWELLING UNITS:</u>	2	2	2	(max.)
<u>NO. OF PARKING SPACES:</u>	0	0	2	(min./max)
<u>NO. OF LOADING AREAS:</u>	n/a	n/a	n/a	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	n/a	n/a	10.0'	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

There are no other buildings on the same lot as the existing two-family building. The type of construction proposed is to match the existing construction of the building: wood frame.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

2017 FEB 23 AM 11:28
 OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS
 Plan No: BZA-012641-2017

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : √ Variance : √ Appeal :

PETITIONER : Brett Hansmeier & Nandini Mani C/O Kyle Sheffield, LDa Architecture & Interi

PETITIONER'S ADDRESS : 222 Third Street, Suite 3212 Cambridge, MA 02142

LOCATION OF PROPERTY : 69 Rindge Ave Cambridge, MA 02140

TYPE OF OCCUPANCY : TWO-FAM-RES ZONING DISTRICT : Residence B Zone

REASON FOR PETITION :

Dormer

DESCRIPTION OF PETITIONER'S PROPOSAL :

Variance: Amend Variance approved on 12/10/15 by adding one window to the approved western dormer and by shifting the approved eastern dormer.

Special Permit: To modify window locations within setbacks.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.30 (Table of Dimensional Requirements).

Article 8.000 Section 8.22.2.C (Non-Conforming Structure).

Original Signature(s) :

Me

(Petitioner(s) / Owner)

Nandini Mani

(Print Name)

Address : 69 Rindge Avenue

Cambridge, MA 02140

Tel. No. : (925) 727-3887

E-Mail Address : bretthans@gmail.com

Date : 2/21/2017



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

William B. King, *Chair*, Bruce A. Irving, *Vice Chair*, Charles M. Sullivan, *Executive Director*

William G. Barry, Jr., Robert G. Crocker, Chandra Harrington, Jo M. Solet, *Members*;

Joseph V. Ferrara, Kyle Sheffield, Susannah Barton Tobin, *Alternates*

Jurisdiction Advice

To the Owner of Property at 69 Rindge Avenue

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
 - Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
 - Avon Hill Neighborhood Conservation District
 - Half Crown – Marsh Neighborhood Conservation District
 - Harvard Square Conservation District
 - Mid Cambridge Neighborhood Conservation District
 - Designated Landmark
 - Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
 - Preservation Restriction or Easement (as recorded)
 - Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition. No demolition permit anticipated.**
 - No jurisdiction: not a designated historic property and the structure is less than fifty years old.
 - No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
- Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date March 13, 2017

Received by Uploaded to Energov

Date March 13, 2017

Relationship to project BZA 12641-2017

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>

Mani-Hansmeier Residence

201474.00

69 Rindge Avenue
Cambridge, MA
02140

BZA SPECIFICATIONS

02/21/2017



Project Description:

The Mani-Hansmeier Residence project (The Project) is an addition/renovation of the second floor unit of a two family residence of 1,900 SF located at 69 Rindge Avenue in Cambridge, MA. The building is conventional wood frame construction with reinforced concrete basement and crawlspace foundations. The scope of work includes but is not limited to selective demolition of the existing building, and construction.

The anticipated start of construction is September 1, 2017. The anticipated finish date is March 1, 2018.

1 General Requirements

1.1 General

- 1.1.1 The Construction Specifications are to be read in conjunction with the Construction Drawings. The Contractor is responsible for correlating between drawings and specifications. Discrepancies between drawings and specifications are to be brought to the Architects attention prior to procurement or fabrication of material.
- 1.1.2 The Construction Drawings are to be reviewed individually and as a set. Discrepancies between drawings are to be brought to the Architects attention prior to procurement or fabrication of material.
- 1.1.3 The use of the word “provide” in this specification is taken to mean provide and install.
- 1.1.4 The use of the words “or approved equal” in this specification is taken to mean that products will be as specified unless substitutions are approved prior to bid. Bids or bid qualifications based on unapproved substitutions will not be allowed. Substitutions presented before or after the bid must conform to the requirements herein for substitutions, including accurate representations of performance, quality and cost.

1.2 General Conditions

- 1.2.1 Construction schedule; the Contractor is to provide a written construction schedule in a format approved by the Architect. The schedule is to include deadlines for submittal review, finalizing open design issues and for final selection of finish materials, fixtures, appliances and equipment.
- 1.2.2 Insurance; the Contractor is to carry a minimum of \$1,000,000 general liability insurance and workman’s compensation insurance for persons employed at the site. Subcontractors are to carry a minimum of \$500,000 general liability insurance and workman’s compensation insurance for persons employed at the site. Submit applicable insurance certificates as required by the building code, CMR 780.
- 1.2.3 Site supervision; the Contractor is to provide necessary on-site supervision of trades to execute the scope of work described in the Construction Documents. Site supervision is to be performed by a licensed Construction Supervisor as required by the building code, 780 CMR.
- 1.2.4 Quality control; the Contractor is to complete the work with the quality and craftsmanship generally associated with high-end residential construction.
- 1.2.5 Shoring; the Contractor is responsible for shoring, bracing and foundation underpinning design, installation and maintenance as required for demolition, excavation and/or new construction.
- 1.2.6 Material and labor; the Contractor is responsible for providing materials and labor to ensure a complete, finished and operational building, in accordance with the drawings and specifications.
- 1.2.7 General conditions costs; the Contractor is to include general conditions and construction costs such as rubbish disposal and delivery costs.

- 1.2.8 Winter conditions; the Contractor is to make reasonable cost and schedule allowances for construction in winter conditions. The Contractor is to summarize allowances included in the contract price.
- 1.2.9 Snow removal; the Contractor is to provide snow removal and sanding for the duration of construction as required for continuing construction activities and as required to maintain public walkways at all times. Ice melt products must be approved prior to use.
- 1.2.10 Toilet facilities; the Contractor is responsible for providing and maintaining on-site toilet facilities.
- 1.2.11 Site security; the Contractor is responsible for securing the premises for the duration of construction which may or may not include temporary fencing, gates, locks, etc.
- 1.2.12 Final cleaning; the Contractor is responsible for providing a professional cleaning contractor to completely clean areas of construction (and other areas effected by construction) at the end of construction and prior to the Architect's punch list survey.
- 1.2.13 Temporary protection; protect in-place construction and stored materials from the weather, including wind, hail, rain and snow. Any material that is allowed to get wet whether stored or installed, is to be replaced at Architects discretion and at the Contractor's expense.
- 1.2.14 Subcontractors and Owner's vendors; the Contractor is responsible for coordinating the work and general conditions requirements for subcontractors and vendors, including Owner's vendors. See Division 1, Owner's Obligations for applicable Owner's Vendors.
- 1.2.15 Erosion, dust and noise control; the Contractor is to provide erosion, dust and noise control for the duration of construction.
- 1.2.16 Notice to neighbors; the Contractor is to give initial notice of construction to abutting property owners and occupants. Notice is to include Contractor's superintendent contact information, emergency contact information, and work schedule. The Contractor is to give periodic notice to abutting property owners and occupants when construction activities will produce nuisance including service interruptions, excessive noise, dust, large deliveries or public right-of-way obstructions.
- 1.3 Contractor's Requisitions and Changes in the Work
 - 1.3.1 Requisition; the Contractor is to submit a schedule of values and project payment schedule with the first requisition. Requisitions are to be submitted monthly to the Architect and the Owner for review and approval.
 - 1.3.2 Release or Waiver of Liens; the contractor is to submit with each requisition a release of liens for each contractor, subcontractor, and others who may have lien rights against the owner's property.
 - 1.3.3 Change orders; the contractor is to submit change orders to the Architect for review and approval. Change orders included in the Contractor's requisition without prior approval from the Architect and the Owner will not be considered.
 - 1.3.4 Changes in the Work; the Contractor is to submit cost and schedule impact documentation related to changes in the work before the work is executed. Submit detailed accounting of scope additions and deductions to the Architect and the Owner for review.
- 1.4 Existing Conditions Coordination
 - 1.4.1 It is the responsibility of the Contractor and the Contractor's sub-contractors to review existing site and building conditions, in conjunction with Construction Documents, to the extent necessary to confirm that the work can be executed without delays or additional cost.
- 1.5 Regulations/Permits
 - 1.5.1 General; the Contractor is to complete the work in compliance with zoning ordinances, building codes and laws applicable to the regulatory jurisdiction of the project, including but not limited to:
 - International Residential Code 2009 (of one and two family dwellings)

- City of Cambridge Zoning By Law.
 - 780 CMR Eighth Edition of the Massachusetts State Building Code (One and Two Family Dwelling Code).
 - 780 CMR Appendix 120 AA "Stretch" Energy Code.
 - International Energy Conservation Code (IECC) 2009.
 - 105 CMR 460.000 Lead Poisoning Prevention and Control.
 - Specialized codes as applicable and as listed in the building code, CMR 780.
- 1.5.2 Licenses, permits and inspections; the Contractor is responsible for applying for and obtaining releases, licenses, permits, and inspections required by the regulatory jurisdiction of the project. Releases, licenses, permits, and inspections necessary for the completion, performance and approval of the work are to be obtained and paid for by the Contractor.
- 1.5.3 Inspections; the Contractor is responsible for initiating and coordinating inspections required by the regulatory jurisdiction of the project. The Contractor is to document such inspections.
- 1.5.4 As-built foundation survey; the Contractor is responsible for initiating and coordinating a certified as-built foundation survey by the Owner's surveyor sufficient to establish as-built conditions relative to the certified plot plan. The plan is to be stamped and signed by a MA licensed surveyor.
- 1.5.5 Work within public right-of-ways; the Contractor is responsible for obtaining permits, paying fees and arranging for police details as required for work within the public right-of-way. The Contractor is to comply with rules and requirements for such work including utilities connections, curb cuts and sidewalk and roadway repairs. Public safety is to be maintained at all times.
- 1.6 Hazardous Materials
- 1.6.1 General scope; the Contractor is responsible for abatement of known hazardous materials as identified in inspection reports provided by the Owner or as noted on the drawings. The Contractor is to employ licensed inspectors and abatement contractors as required for complete hazardous material abatement and for follow up inspections. The Contractor is to submit to the Owner final compliance certifications following hazardous material abatement.
- 1.6.2 Unknown hazardous materials; the Contractor is to notify the Owner when materials, finishes or fixtures that may contain hazardous materials are encountered during the course of the work. The Contractor is to initiate an initial inspection by a licensed inspector to determine the nature and extent of hazardous materials and identify the scope of work required for abatement and associated costs. Hazardous material abatement activities require authorization from the Owner.
- 1.6.3 Lead; the Contractor is responsible for abating and containing dangerous levels of lead by removal of finishes components or fixtures or by approved containment or encapsulation methods.
- 1.7 Submittals
- 1.7.1 Shop drawings submittals; submit shop drawings for the following:
- Fabricated casework.
- 1.7.2 Samples submittals; submit finished samples, include samples representing the full range of finish of natural materials when applicable:
- Roofing.
- 1.8 Substitutions
- 1.8.1 General; no substitutions are to be made for specified products without written approval from the Owner and the Architect.
- 1.8.2 Substitutions; substitutions to materials and items specified must be submitted to the Architect for review and approval. Substitution request submittals must show that the substitution is of equal or better design, quality and performance to the materials or items specified and can be installed with equal aesthetic effect and with no cost increase or delay. Any additional detailing, work or coordination related to a substitution is the contractor's responsibility. The Architect reserves the right to

- rely on the Contractor's representation that the substitution complies with the requirements outlined above.
- 1.8.3 Substitution submittal; when a substitution is proposed, the contractor is to provide sufficient information to enable the Architect to make a comparison between the specified product and the proposed product including changes in cost and schedule.
- 1.8.4 Owner substitutions; the Owner is entitled to make substitutions. Additions or credits in project cost and schedule are to be determined by the following process:
- Owner indicates proposed substitution.
 - Contractor will provide a written proposal for changes which includes:
 - (a) Contractor's cost, without markup, of material before change and after change.
 - (b) Cost of labor before change and after change.
 - (c) Incidental credits or expenses related to change.
 - (d) Tabulation of overhead and profit percentage. (Overhead and profit percentage will remain the same for changes. A credit will receive the same percentage as an addition receives.)
 - The Contractor will proceed with the revised scope of work after the Architect and Owner review and approve proposals.
- 1.9 Testing and Inspections
- 1.9.1 Periodic Inspections; give reasonable notice to the Architect for the following inspections. Work found not to be in compliance with the drawings and specifications must be corrected promptly and without delaying construction progress.
- Framing layout; for framing efficiency, device, fixture and equipment locations.
 - Air barrier installation; for continuity. Roofs and walls may be inspected separately.
 - Insulation installation; following electrical rough-in, for continuity, thickness and coverage.
 - Electrical and plumbing rough-in; for device and fixture coordination. Mark and review device and fixture locations prior to rough-in.
 - Ductwork layout; for coordination with finishes and air register and grille locations. Mark and review duct, register and grille locations prior to rough-in.
 - Siding coursing; for verification of critical coursing alignments.
- 1.10 Commissioning
- 1.10.1 Systems commissioning; start up and demonstrate fully functioning systems to the satisfaction of the Architect and Owner. Systems found not to be in compliance with the drawings and specifications must be corrected promptly and without delaying construction progress.
- HVAC systems.
 - Kitchen appliances.
 - Laundry appliances.
- 1.11 Owner's Obligations
- 1.11.1 Site survey; the Owner will provide a property survey including property lines, easements, trees, plantings, landscape materials, exposed ledge, wetlands, buildings, curb cuts, paving, site features, site structures, buried and overhead utilities, buried drainage structures and septic systems spot grades, topographical contours and such additional information required to determine existing site conditions.
- 1.11.2 Plot plan; the Owner is responsible for obtaining and paying for a certified plot plan survey sufficient to establish zoning ordinance compliance, including building location on the property, paved areas, site structures and improvements, setbacks, lot coverage, curb cuts, existing grade, building area and height. The plan is to be stamped and signed by a MA licensed surveyor and must be included with the application for building permit.

1.11.3 Owner's vendors; the Owner will secure and pay vendors for the following work:

- Security system design and installation.
- A/V system design and installation.
- Interior design.

1.11.4 The Contractor is to coordinate vendors' work at proper intervals in the project so as not to delay the work of other subcontractors and is to coordinate vendors' general conditions requirements.

1.12 Allowance Summary

1.12.1 Allowances; provide allowances as follows.

- Interior Stone Countertops, Surrounds & Thresholds: (Material, template and installation cost)	\$8,000
- Kitchen Cabinetry: (Material cost only; installation cost provided in Section 6)	\$35,000
- Mudroom Cabinetry: (Material cost only; installation cost provided in Section 6)	\$8,000
- Master Closet Cabinetry: (Material cost only; installation cost provided in Section 6)	\$10,000
- Other Cabinetry & Casework: (Material cost only; installation cost provided in Section 6)	\$20,000
- Decorative Cabinetry Hardware: (Material cost only; installation cost provided in Section 6)	\$1,000
- Interior Door Hardware: (Material cost only; installation cost provided in Section 6)	\$3,000
- Porcelain & Ceramic Tile: (Material cost only; installation cost provided in Section 6)	\$12,000
- Bathroom Accessories: (Material cost only; installation cost provided in Section 6)	\$1,000
- Appliances: (Material cost only; installation cost provided in Section 6)	By Owner
- Plumbing Fixtures: (Material cost only; installation cost provided in Section 15)	\$8,000
- Decorative Light Fixtures: (Material cost only; installation cost provided in Section 16)	By Owner
- A/V System: (Material and installation cost)	By Owner
- Security System: (Material and installation cost)	By Owner

Total **\$106,000**

1.12.2 Allowance pricing; material allowances are for materials, fixtures and equipment only. The Contractor is to include delivery, general conditions, labor and related material required for a complete and functional installation in the cost of the work.

1.13 Alternate Summary

1.13.1 Alternates; provide alternate scope and pricing as follows.

- Alternate 1; TBD.

1.13.2 Alternate pricing; the Contractor is to price alternates to include general conditions, material, labor and normal overhead and profit mark up.

1.14 Project Closeout

1.14.1 Closeout submittals;

- Operation and maintenance data; provide operation and maintenance manuals to include the following:
 - (a) Miscellaneous equipment.
 - (b) Plumbing fixtures.
 - (c) Electric power, telephone and cable services.
 - (d) Light fixtures and lamps.

- (e) Appliances.
- (f) Paint.
- (g) Finishes.
- As-built record drawings and submittals; assemble and organize construction drawings, specifications, approved submittals, construction photographs and sketches to the Owner as a record of as-built conditions.
- Warranties; submit material and equipment warranties as specified and as offered by material and equipment manufacturers.
- Keys and keying schedule.
- Spare parts and surplus interior and exterior finish materials; inventory and store as directed by the Owner.
- 1.14.2 Punch list; The Contractor is to document the completion of punch list items.
- 1.14.3 Systems start up; the Contractor and appropriate subcontractors and manufacturer's representatives are to coordinate the proper startup of systems and instruct the Owner in the operation and routine maintenance of systems and associated equipment as required by the manufacturers' systems component warranties.
- 1.14.4 Occupancy permit; The Contractor is to obtain final occupancy permit and other required regulatory project closeout signoffs at the conclusion of construction.
- 1.15 Cutting and Patching
 - 1.15.1 General scope; provide cutting and patching of existing and new construction as required to complete the work as specified and as shown on the drawings.
 - 1.15.2 Concrete cutting and patching; penetrations of existing or new concrete is to be by coring clean properly sized holes. Where portions of new or existing concrete are to be removed, the boundaries are to be saw cut.
- 1.16 Contractor's Warranty
 - 1.16.1 The Contractor is to provide a one-year warranty for finish quality and building systems performance. The warranty is to cover structural and enclosure components as well as waterproofing and drainage systems, interior and exterior finishes and building systems such as electrical, lighting and HVAC. Warranty is to begin upon date of substantial completion or in the case of work or products installed after completion; the date that work was completed. The Architect will review the status of the work to establish the date of substantial completion.

2 Existing Conditions

- 02.1 General
 - 02.1.1 General scope; see site and floor plans.
- 02.2 Building Demolition
 - 02.2.1 General scope; the Contractor is to obtain permits and utility releases required for demolition. See Site and Demolition plans for the scope of site, building and selective demolition. See Division 33 – Utilities for identification and protection of existing utilities. See General Conditions Shoring for temporary support requirements.
 - 02.2.2 Selective demolition; remove existing construction and finishes shown to be removed on demolition plans. Protect existing construction and finishes shown to remain. See General Conditions, Shoring for temporary support requirements, including removal of existing brick chimney down to first floor fireplace level.
 - 02.2.3 Demolition debris; see Division 1 – General Conditions, Demolition and construction debris.
 - 02.2.4 Roofing demolition debris; see Division 1 – General Conditions, Demolition and construction debris.
 - 02.2.5 Owner salvage; give Owner a minimum of 2-week notice of demolition. Owner will remove and salvage:
 - TBD

- 02.2.6 Contractor salvage; the Contractor is to remove, salvage and set aside for the Owner's use:
 - Existing vinyl clapboard siding.
- 02.3 Site Clearing and Grubbing
 - 02.3.1 Erosion control; Install sediment and erosion control measures as necessary.
 - 02.3.2 Planting protection; protect and preserve existing vegetation not shown to be removed, keep vehicles and material outside the drip line of trees, leave existing topsoil in place under the drip line of existing trees shown to remain.
- 3 Concrete (Division not Used)**
- 4 Masonry (Division not Used)**
- 5 Metals**
 - 5.1 Structural Steel
 - 5.1.1 General scope; see Structural Drawings and specifications for complete scope of work.
 - 5.1.2 Steel beams; as shown on structural drawings.
 - 5.1.3 Steel columns; as shown on structural drawings.
- 6 Wood and Plastics**
 - 6.1 Envelope Performance Criteria
 - 6.1.1 General scope; Framing and sheathing components of the structural envelope contribute to overall envelope performance to minimize thermal bridging, minimize infestation, inhibit mold growth and to achieve an air-tight envelope. Strict compliance with the requirements of this section along with the requirements of Division 1 – General Requirements, Division 3 – Concrete, Division 7 - Thermal and Moisture Protection and Division 8 – Doors and Windows are required to achieve minimum performance expectations for this project.
 - 6.2 Temporary Shoring and Bracing
 - 6.2.1 Provide engineered temporary shoring and bracing as required to facilitate new construction shown on the drawings. Contractor is to utilize a Massachusetts licensed engineer for design of temporary shoring and bracing.
 - 6.3 Rough Framing
 - 6.3.1 General scope; see Structural drawings and specifications for complete scope of wood framing materials and work. Coordinate structural scope of work with Architectural drawings.
 - 6.3.2 Framing Coordination; the Contractor is responsible for coordinating wall, floor and ceiling framing layout to accommodate furnishings, fixtures, appliances, equipment, fireplaces, air registers and grilles and device locations shown or noted on the drawings. Post installation modifications to make such accommodations in the framing layout will be at the Contractor's expense.
 - 6.3.3 Exterior wall framing; kiln-dried dimensional lumber per structural and as shown on the drawings.
 - 6.3.4 Beams; kiln-dried dimensional lumber or engineered wood per structural and as shown on the drawings.
 - 6.3.5 Lintels; kiln-dried dimensional lumber or engineered wood per structural and as shown on the drawings, insulated at exterior wall locations.
 - 6.3.6 Floor framing; kiln-dried dimensional lumber per structural and as shown and detailed on the drawings.
 - 6.3.7 Roof framing; kiln-dried dimensional lumber per structural and as shown and detailed on the drawings.
 - 6.3.8 Ceiling joists; kiln-dried dimensional lumber per structural and as shown on the drawings.

- 6.3.9 Subfloor; Advantech tongue and groove flooring panel, 3/4"-thick, install in strict accordance with manufacturer's requirements and recommendations, adhere to floor joists with manufacturer's recommended construction adhesive.
 - 6.3.10 Exterior wall sheathing; APA trademarked plywood, 1/2" thick minimum, materials per structural and as shown on the drawings.
 - 6.3.11 Exterior roof sheathing; APA trademarked plywood, 5/8" thick minimum, materials per structural and as shown on the drawings.
 - 6.3.12 Interior non load-bearing wall framing and furring; kiln-dried dimensional lumber, 2x4 minimum depth and 1'-4" o.c. or as shown on the drawings, 2X6 and greater framing depth as required to accommodate piping, ductwork or wiring and as approved by the Architect. Exterior and interior corners are to be 2-stud configuration as shown on the drawings. Basement wall and furring sill plates are to be preservative-treated.
 - 6.3.13 Wood blocking; kiln-dried dimensional lumber, 2X4 or 2X6 wood blocking as required for firestopping to meet building code requirements and at casework, shelving, shelving standards, equipment, devices, fixtures, door stops and other fixtures, furnishings and accessories requiring blocking support.
 - 6.3.14 Wood strapping; kiln-dried dimensional lumber, 1X3 or as shown on the drawings.
 - 6.3.15 Connectors and hardware; joist hangers, beam hangers, column bases, hurricane clips, bolts, anchors and miscellaneous clips and fasteners as shown on structural drawings and as required by structural specifications, hot-dipped galvanized finish.
 - 6.3.16 Plywood backing panels at electric and tele/data equipment; 3/4"-thick, APA trademarked. Length and support as described on the drawings or as required by the equipment, paint finish.
 - 6.3.17 Construction adhesive; products and installation as recommended by adhesive manufacturer for each intended use.
- 6.4 Exterior Finish Carpentry
- 6.4.1 General scope; see drawings for materials, layout, profiles, dimensions and detail of exterior finish carpentry. Provide blocking and nailers as required for full support of trim and moldings. Configure jointing to shed water and prevent capillary wicking. Use full length pieces or locate piece jointing as approved by the Architect.
 - 6.4.2 Cornerboard trim 1; PVC, 6/4-thick, dimensions and details as shown or noted on drawings - match existing.
 - 6.4.3 Window and door casing trim 1; PVC, 5/4-thick, dimensions and details as shown or noted on drawings - match existing.
 - 6.4.4 Door Casing trim 2; PVC, 2-piece flatstock - match existing.
 - 6.4.5 Window sills; PVC, Historic Sill.
 - 6.4.6 Eave fascia trim 1 and eave drip trim; PVC, 4/4-thick dimensions and details as shown or noted on drawings - match existing.
 - 6.4.7 Eave fascia trim and eave drip trim; PVC, 4/4-thick with lower half of A&M 5060 crown or approved equal, dimensions and details as shown or noted on drawings or as approved by the Architect.
 - 6.4.8 Rake fascia and rake drip trim; PVC, 3-piece, 4/4-thick dimensions and details as shown or noted on drawings - match existing.
 - 6.4.9 Eave and rake moldings; PVC, 2 piece, molding profiles as shown or noted on drawings or as approved by the Architect.
 - 6.4.10 Eave and rake soffits; PVC, 4/4-thick, T&G flatstock - match existing.
 - 6.4.11 Miscellaneous trim and mounting blocks; PVC as noted on the drawings, dimensions and detail as shown or noted on drawings.
 - 6.4.12 Exterior railings & newel post; PVC, Azek 5.5 x 5.5 Pyramid Cap and 5.5 x 5.5 Post Skirt or approved equal, dimensions and details as shown or noted on the drawings.
 - 6.4.13 Trim finish; field paint, see Division 7, Exterior Paint Finish.
 - 6.4.14 Fasteners; stainless steel, and as required by PVC manufacturer.
 - 6.4.15 Weather barrier; see Division 7 - Thermal and Moisture Protection for Weather Barrier.
- 6.5 Exterior Roof Deck

- 6.5.1 General scope; provide all components of a roof deck system installed on sloping EPDM roofing.
- 6.5.2 Wood decking; Sapele Mahogany, 1X4, blind fastened with stainless steel finish head screws, 1/8" maximum gap.
- 6.5.3 Levelers; provide and install tapered pressure treated sleepers, type and height as required for a level deck installation on a sloping EPDM membrane roof.
- 6.5.4 Locations;
 - Master Bedroom Deck
- 6.6 Clapboard siding
 - 6.6.1 Clapboards; Aluminum clapboard siding to match existing.
 - 6.6.2 Fasteners; per manufacturer.
 - 6.6.3 Weather barrier; see Division 9 – Thermal and Moisture Protection for Weather Barrier.
 - 6.6.4 Siding field finish; match existing color and finish.
- 6.7 Dormer Clapboard siding
 - 6.7.1 Clapboards; Western Red Cedar, clear grade, 4" exposure, smooth face, field paint.
 - 6.7.2 Fasteners; stainless steel.
 - 6.7.3 Weather barrier; see Division 9 – Thermal and Moisture Protection for Weather Barrier.
 - 6.7.4 Siding field finish; see Division 9, Exterior Paint Finish. Painted siding is to be pre-primed. Field cut edges and ends are to be primed prior to installation.
- 6.8 Interior Finish Carpentry
 - 6.8.1 General scope; see drawings for materials, layout, profiles, dimensions and detail of interior finish carpentry. Provide blocking and nailers as required for full support of trim and moldings. Use full length pieces or locate piece jointing as approved by the Architect.
 - 6.8.2 Standing and running wood trim - painted; Poplar, clear grade. Assume 1 pc. window and door casings, 1pc. apron, 2 pc. base trim for first floor, 1 pc. Base trim for second and third floor, 1pc. Crown for all floors. Field paint finish. See Division 7 – Painting for paint finish.
 - 6.8.3 Miscellaneous trim - painted; Poplar, clear grade. Sizes, profiles and configurations TBD by architect. Field paint finish.
 - 6.8.4 Finishes; see Division 9 Interior Paint Finish for paint finishes and Interior Clear Finish for stain with clear finishes.
- 6.9 Casework
 - 6.9.1 General scope; provide casework in compliance with AWI standards, as shown and detailed on the drawings and as specified below.
 - 6.9.2 Third Floor Bedroom Closet shelves/rods; hardwood veneer plywood, paint grade, 3/4"-thick, solid wood edge banding, field paint shelf finish, shelf/rod brackets @ 3'-0" o.c. minimum, 1 closet rod, 1-1/4"-diameter, satin nickel brackets & rods finish.
 - 6.9.3 2nd Floor Linen Closet; adjustable hardwood veneer plywood, paint grade, 3/4"-thick, solid wood edge banding, field paint shelf finish,.
 - 6.9.4 Kitchen: **Provide allowance for materials and installation; See section 1.12 - Allowances. Carry installation cost of 20% of overall Kitchen Cabinet Material Allowance.**
 - 6.9.5 Mudroom: **Provide allowance for materials and installation; See section 1.12 - Allowances. Carry installation cost of 20% of overall Mudroom Cabinet Material Allowance.**
 - 6.9.6 Master Closet: **Provide allowance for materials and installation; See section 1.12 - Allowances. Carry installation cost of 20% of overall Master Closet Material Allowance.**
 - 6.9.7 Cabinetry and Casework: **Provide allowance for materials and installation; See section 1.12 - Allowances. Carry installation cost of 20% of overall Cabinetry Material Allowance.**
 - 6.9.8 Cabinetry Decorative Hardware: Selections TBD by Architect. **Provide material allowance; See section 1.12 – Allowances.**

- 6.10 Interior Stone Slabs; Countertops and backsplashes.
 - 6.10.1 General scope; provide countertops as shown and detailed on the drawings and as specified below. Provide countertops in compliance with AWI standards to match standards of supporting cabinets.
 - 6.10.2 Stone; Selections TBD by Architect. **Provide material, template and installation allowance; See section 1.12 – Allowances.**
 - 6.10.3 Locations:
 - Kitchen
 - Bathroom
 - Master Bathroom

7 Thermal and Moisture Protection

- 7.1 Envelope Performance Criteria
 - 7.1.1 General scope; envelope components specified in Division 7 contribute to overall envelope performance to eliminate water and moisture migration to interior spaces, minimize thermal bridging, minimize infestation, inhibit mold growth and to achieve an air-tight building envelope. Strict compliance with the requirements of this section along with the requirements of Division 1 – General Requirements, Division 3 – Concrete, Division 6 – Wood and Plastics and Division 8 – Doors and Windows are required to achieve minimum performance expectations for this project.
- 7.2 Insulation
 - 7.2.1 General scope; install insulation in strict accordance with manufacturer's requirements, instructions, recommendations and guidelines and good practice. Use manufacturer certified installers only.
 - 7.2.2 Roof insulation – low density foam; spray-type polyurethane foam, 0.5 PCF density, R-3.7/inch, R-49 minimum full-depth, install in accordance with manufacturer's instructions and recommendations, verify manufacturer's maximum allowable installed thicknesses.
 - 7.2.3 Thermal barrier; TPR2 Fireshell or approved equal, intumescent coating, install in accessible areas including attics and crawlspaces.
 - 7.2.4 Exterior wall insulation – low density foam; spray-type soy-based polyurethane foam, 0.5 PCF density, R-3.7/inch, R-20 minimum, install in accordance with manufacturer's instructions and recommendations.
 - 7.2.5 Acoustical wall insulation; Thermafiber SAFB 2.5PCF or approved equal, 2"-thick, tightly fitted between wall studs, cut to fit piping and electrical rough in, extend from floor to ceiling. Locations; bathroom and laundry room walls.
 - 7.2.6 Firestopping insulation; Thermafiber Safing or approved equal, tightly fitted.
 - 7.2.7 Miscellaneous exterior openings; spray-type polyurethane foam insulation, non-expanding, install around exterior wall penetrations, gaps between insulation boards and wood floor framing, sill plate gaps, and window and door shim spaces, fill all voids.
- 7.3 Weather Resistant Barrier (WRB)
 - 7.3.1 General scope; install a continuous water-tight barrier as shown on the drawings, coordinate the installation of window, door and wall flashings for a complete water-tight installation.
 - 7.3.2 Weather resistant barrier (WRB); #30 building paper, install continuously under siding and trim, shingle horizontal edges and flashings and lap vertical edges.
- 7.4 Ice and Water Membrane
 - 7.4.1 General scope; install membrane at roof deck surfaces as shown on the drawings. Extend 3'-0" upslope of interior face of wall framing and 8" minimum vertically behind wall and step flashings or as shown on the drawings, 18" on either side of valleys and continuously at roof surfaces less than 4:12 slope.
 - 7.4.2 Membrane; WR Grace Ice and Water Shield or approved equal.
- 7.5 Asphalt Shingle Roofing

- 7.5.1 General scope; provide all components of a watertight asphalt shingle roofing system, review detailing with architect prior to installation of roofing and flashing components. Install shingle roofing in strict accordance with the shingle manufacturer's instructions and recommendations. Comply with SMACNA recommendations and standards for flashing sheet metal selection, forming, fabrication and installation.
- 7.5.2 Asphalt shingles; CertainTeed, Landmark TL or approved equal, provide CertainTeed starter, hip and ridge, shingle color TBD by Architect.
- 7.5.3 Valleys; cut valleys, see Flashing for valley flashing.
- 7.5.4 Warranty; provide the shingle manufacturer's Lifetime warranty.
- 7.5.5 Installation; Confirm layout and seam locations with Architect prior to fabrication and installation. Location and layout of seams is important for design intent. Fasteners are to be concealed.
- 7.5.6 Warranty; provide 40 year material and finish warranty.
- 7.6 Membrane Roofing
 - 7.6.1 General scope; provide all components of a watertight membrane roofing system to replace existing rolled asphalt roofing system. Review detailing with architect prior to fabrication of components. Comply with SMACNA recommendations and standards for sheet metal selection, forming, fabrication and installation.
 - 7.6.2 Membrane; Carlisle Syntec Systems, SureSeal, 60-mil-thick EPDM fully-adhered membrane, or approved equal. Install components in strict accordance with the roofing manufacturer's recommendations and requirements.
 - 7.6.3 Tapered insulation; Carlisle Syntec Systems, Insulfoam SP or approved equal, 1/4"/FT slope.
 - 7.6.4 Crickets; Carlisle Syntec Systems, Insulfoam SP or approved equal, form tapered crickets at 1/2"/FT slope.
 - 7.6.5 Cover board; Georgia-Pacific, DensDeck Roof Board, 5/8"-thick or as noted on the drawings, mechanically fastened.
 - 7.6.6 Mechanical fasteners; as recommended by roof membrane and cover board manufacturers.
 - 7.6.7 Adhesives and sealants; as recommended by the roofing manufacturer.
 - 7.6.8 Membrane transitions and terminations; as detailed on the drawings and as recommended by the manufacturer.
 - 7.6.9 Warranty; provide the roofing manufacturer's 20-year warranty.
- 7.7 Roofing Accessories
 - 7.7.1 Plumbing vent boot; custom fabricated watertight aluminum, 0.040"-thick cladding at vent pipe.
- 7.8 Gutters and Downspouts
 - 7.8.1 General scope; provide gutters and downspouts as required to control roof water run-off and as shown on the drawings. Review location of gutters and downspouts with the Architect prior to fabrication. Coordinate with the existing stormwater management system.
 - 7.8.2 Gutters; seamless aluminum, 0.040"-thick, 5" K-style, preformed inside and outside corners, end caps, mitered return ends, downspout connection boots, solder seams and joints, brackets spaced at 2'-8" o.c. minimum, bracket and fastener material, style and finish to match existing.
 - 7.8.3 Downspouts; aluminum, 0.040"-thick, 2"x3", debris screens at gutter outlets, preformed offsets and terminations to follow exterior wall finish profiles closely, brackets spaced at 4'-0" o.c. minimum and within 2'-0" above and below offsets, bracket and fastener material, style and finish to match existing.
 - 7.8.4 Splash blocks; precast concrete, size, style and color TBD by Architect.
 - 7.8.5 Seam Sealant; seal seams at aluminum gutters.
- 7.9 Roof Flashing
 - 7.9.1 General scope; comply with SMACNA recommendations and standards for sheet metal selection, forming, fabricating and installation, coordinate with roofing system flashing.

- 7.9.2 Eave drip; aluminum, 0.040"-thick, field-fabricated as detailed, match existing.
- 7.9.3 Rake drip; aluminum, 0.040"-thick, field-fabricated as detailed, match existing.
- 7.9.4 Step flashing; aluminum, 0.040"-thick, field-fabricated as detailed, match existing.
- 7.9.5 Wall flashing; aluminum, 0.040"-thick, field-fabricated as detailed, match existing.
- 7.9.6 Finish; 3-coat Kynar paint system, color to match existing.
- 7.10 Window and Door Flashing
 - 7.10.1 Window and door head drip flashing; aluminum, 0.040"-thick, field fabricated as detailed or as approved by the Architect.
 - 7.10.2 Window and door installation flashing; Grace Vycor V40 self-adhesive membrane flashing system or approved equal.
 - 7.10.3 Window and door sill pan flashing; Grace Vycor V40 self-adhesive membrane or approved equal, VYCORner preformed corners.
 - 7.10.4 Installation; Install flashing in accordance with the flashing membrane manufacturer's recommendations and as shown on the drawings including head, jamb and sill conditions. Sill flashing is to be panned at interior edge and jamb ends. Flashing is to be integrated with sheathing and weather barrier system for a complete, air- and water-tight installation of weather barrier, doors and windows.
 - 7.10.5 Wood and Plastics for exterior wall sheathing system; See Division 6
- 7.11 Sealants
 - 7.11.1 General scope; provide sealants as required, use sealants appropriate to each application, submit sealants to Architect for review, color selection and approval.
 - 7.11.2 Applications; provide sealants for each application including but not limited to:
 - Plumbing fixture installation sealant.
 - Exterior trim sealant.
 - Interior wood trim sealant.
 - Threshold installation sealant.
 - Acoustical sealant.
 - Roofing sealant.
 - Gutter sealant.

8 Openings

- 8.1 Envelope Performance Criteria
 - 8.1.1 General scope; envelope components specified in Division 8 contribute to overall envelope performance to eliminate water and moisture migration to interior spaces, minimize thermal bridging, minimize infestation, inhibit mold growth and to achieve an air-tight building envelope. Strict compliance with the requirements of this section along with the requirements of Division 1 – General Requirements, Division 3 – Concrete, Division 6 – Wood and Plastics and Division 7 - Thermal and Moisture Protection are required to achieve minimum performance expectations for this project.
- 8.2 Exterior Windows
 - 8.2.1 General scope; See exterior elevations and window type elevations for window types, sizes and divided light patterns. Coordinate installation with Division 7 - Thermal and Moisture Protection requirements.
 - 8.2.2 Egress windows; provide window units complying with building code requirements for egress where shown on the drawings and at all upper floor bedrooms.
 - 8.2.3 Double hung windows; Andersen 400 Series Double Hung for pricing purposes or approved equal to match existing.
 - Frame; Fibrex exterior, primed pine interior.
 - Jamb extensions; Pine, as required.
 - Sash; Fibrex exterior, primed pine interior, removable for cleaning.
 - Glass; clear, insulating low-E II with argon gas, simulated divide light, tempered where required by the building code.
 - Muntins; None.
 - Balance system; spiral balance.

- Sash lock; number and location per window manufacturer, satin nickel finish for pricing purposes.
 - Insect screens; aluminum frame half screen, insect mesh or approved equal, frame color TBD by Architect.
 - Gaskets and weatherstripping; White.
 - Exterior finish; Fibrex, White.
 - Interior finish; frame, sash, muntins and jamb extensions, primed for field painting.
- 8.2.4 French doors; Andersen 400 Series in-swing and fixed doors for pricing purposes.
- Frame; Fibrex exterior, Pine interior.
 - Jamb extensions; Pine, see details for size.
 - Sash; Fibrex exterior, Pine interior, removable for cleaning.
 - Glass; clear, insulating low-E II with argon gas, SDL, tempered as required.
 - Muntins; None.
 - Gaskets and weatherstripping; color TBD by Architect.
 - Exterior finish; Fibrex, manufacturer finish, White.
 - Interior finish; frame, sash, muntins and jamb extensions, shop primed.
- 8.2.5 Screen doors; Andersen factory standard aluminum frame with aluminum screen for pricing purposes. Allow for appropriate screen door hardware to complement Andersen French door hardware.
- 8.2.6 See Division 6 – Wood and Plastics for exterior and interior casings and sill.
- 8.2.7 See Division 7 – Thermal and Moisture Protection for flashing.
- 8.3 Interior Non Fire-Rated Panel Doors and Frames
- 8.3.1 Non fire-rated doors; TruStile or approved equal, 1-3/8”-thick solid wood style and rail panel door, wood species style and finish as shown on the drawings.
- 8.3.2 Non fire-rated door frames; TruStile or approved equal, wood species and finish as shown on the drawings
- 8.3.3 Glass; clear, tempered.
- 8.3.4 Hardware; see hardware sets.
- 8.4 Door Hardware
- 8.4.1 **Interior Door Hardware Allowance: See Section 1.12 for budget, materials cost only. This allowance includes all locksets, hinges, door stops, catches, trims, etc. Contractor to carry installation cost separately in Division 6 number.**
- 8.4.2 Replace all hardware on existing interior doors and frames.
- 8.5 Hardware Sets
- 8.5.1 Hardware set 1: Bathrooms
- Lockset; TBD, privacy function.
 - Trim; TBD.
 - Hinges; 1-1/2 pair.
 - Door stop; TBD.
- 8.5.2 Hardware set 2: Bedrooms
- Lockset; TBD, privacy function.
 - Trim; TBD.
 - Hinges; 1-1/2 pair.
 - Door stop; TBD.
- 8.5.3 Hardware set 3: Common Spaces
- Lockset; TBD, passage function.
 - Trim; TBD.
 - Hinges; 1-1/2 pair.
- 8.5.4 Hardware set 4: Clothes Closets
- Trim; dummy TBD.
 - Catch;
 - Hinges; 1-1/2 pair.
 - Door stop; TBD.

9 Finishes

- 9.1 Veneer Plaster
 - 9.1.1 General scope; see drawings for location and extent. Veneer plaster wall and ceiling systems are to be installed in accordance with the standards and recommendations outline in the USG "The Gypsum Construction Handbook", current edition.
 - 9.1.2 Gypsum base; Imperial Brand Gypsum Bases or approved equal, 1/2"-thick.
 - 9.1.3 Garage separation; install a continuous fire-rated barrier on walls and ceilings between the garage and occupied areas in compliance with the building code, extend the separation full height to underside of roof sheathing, seal edges and penetrations.
 - 9.1.4 Veneer plaster; USG 2-coat veneer plaster system.
 - 9.1.5 Corner and edge trim; metal corner and edge beads as detailed and as required for a proper installation.
 - 9.1.6 Support; provide framing support of edges and penetrations larger than 4" diameter or square.
 - 9.1.7 Reveal trims; Reglet or approved equal, profiles as shown or as approved by the Architect.
 - 9.1.8 Finish; smooth.
- 9.2 Tile Backer Board
 - 9.2.1 General scope; see drawings for location and extent, for use in tub and shower enclosures and other areas as noted on the drawings or as specified. Tile backer board wall and ceiling systems are to be installed in accordance with the standards and recommendations outline in the USG "The Gypsum Construction Handbook", current edition for installation on floors, walls and ceilings and Tile Council of North America guidelines.
 - 9.2.2 Backer Board; Durock Cementitious Backer Board, 1/2"-thick or as noted on the drawings.
- 9.3 Ceramic Wall Tile
 - 9.3.1 General scope; see finish schedule and interior elevations for location and extent.
 - 9.3.2 CWT; tile selection TBD by Architect.
 - 9.3.3 Tile trim shapes; TBD by Architect.
 - 9.3.4 Grout; color TBD by Architect.
 - 9.3.5 Setting method; Setting method; thin-set adhesive on tile backer board underlayment, provide all components, prepare substrates and install tile according to manufacturer's requirements and recommendations and Tile Council of North America guidelines.
 - 9.3.6 Waterproof membrane; Schluter KERDI-SHOWER-KIT or approved equal, provide a complete system of components for a water-tight shower assembly.
 - 9.3.7 **Tile Allowance: See Section 1.12 for budget, materials cost only from subcontractor. Contractor to carry installation cost separately in Division 9 number.**
- 9.4 Ceramic Floor Tile
 - 9.4.1 General scope; see finish schedule and finish plans for location and extent.
 - 9.4.2 CFT; tile selection TBD by Architect.
 - 9.4.3 Tile trim shapes; TBD by Architect.
 - 9.4.4 Grout; color TBD by Architect.
 - 9.4.5 Setting method; thin-set adhesive on tile backer board underlayment, provide all components, prepare substrates and install tile according to manufacturer's requirements and recommendations and Tile Council of North America guidelines.
 - 9.4.6 Waterproof membrane; Schluter KERDI-SHOWER-KIT or approved equal, provide a complete system of components for a water-tight shower assembly.
 - 9.4.7 Floor finish transition; TBD by Architect.
 - 9.4.8 **Tile Allowance: See Section 1.12 for budget, materials cost only from subcontractor. Contractor to carry installation cost separately in Division 9 number.**
- 9.5 Hardwood Flooring
 - 9.5.1 WD-1; White Oak T&G, rift sawn, clear grade, 25/32"-thick, width to match existing.

- 9.5.2 Installation; rosin paper.
- 9.5.3 Stain; Minwax or approved equal, 250 VOC Compliant Wood Finish, two-part stain color TBD by Architect.
- 9.5.4 Finish; Minwax Super Fast-Drying Polyurethane for Floors 350 V.O.C. or approved equal, stain and 3-coats polyurethane finish, two coats high gloss and the final coat satin gloss.
- 9.6 Interior Paint Finish
 - 9.6.1 General scope; see finish schedule and interior elevations for location and extent. Prepare substrates and apply primers and paint in strict accordance with paint manufacturer's requirements and recommendations.
 - 9.6.2 Veneer plaster walls; Benjamin Moore Aura, 2 finish coats minimum, eggshell finish, color TBD by Architect.
 - 9.6.3 Veneer plaster ceilings; Benjamin Moore Aura, 2 finish coats minimum, flat finish, color TBD by Architect.
 - 9.6.4 Wood trim; Benjamin Moore Aura, 2 finish coats minimum, semi-gloss finish, color TBD by Architect.
 - 9.6.5 Ducts and plenums; paint interior duct surfaces where visible through grilles and registers, color flat black.
 - 9.6.6 Interior primers; Provide primers suitable for each substrate and as recommended by the paint manufacturer.
 - 9.6.7 Primers for wall covering; use wall covering manufacturer's recommended primer.
 - 9.6.8 Firebox paint finish; paint interior of all masonry fireboxes Rutland high temp (1200 degrees Fahrenheit) Stove Paint, flat black.
- 9.7 Exterior Paint Finish
 - 9.7.1 General scope; prepare substrates and apply primer and paint in strict accordance with paint manufacturer's requirements and recommendations.
 - 9.7.2 Siding and trim paint; Benjamin Moore Aura or approved equal, semi-gloss finish, minimum 2 finish coats, colors TBD by Architect.
 - 9.7.3 Wood door paint; surfaces pre-primed with Cabot "problem solver" acrylic primer before installation, minimum 2 finish coats siding and trim paint.
 - 9.7.4 Exterior primers; provide primers suitable for each substrate and as recommended by the paint manufacturer.

10 Specialties

- 10.1 Bath Accessories
 - 10.1.1 General scope; See Bath Accessories Schedule for specifications and scope. See drawings for locations and mounting heights.
 - 10.1.2 Second Floor Bathroom;
 - Towel bars
 - Robe hooks
 - Toilet paper holder
 - Shower curtain rod
 - 10.1.3 Master Bathroom;
 - Towel bars
 - Robe hooks
 - Toilet paper holder
 - 10.1.4 **Bath Accessories Allowance: See Section 1.12 for budget, materials only. Contractor to carry installation cost separately in Division 6 number.**
- 10.2 Shower Enclosure and Doors
 - 10.2.1 General scope; Glass shower enclosure & door at master bathroom. Layout and details as shown on the drawings.
 - 10.2.2 Doors; 3/8" low iron tempered glass frameless shower enclosure and door.
 - 10.2.3 Hardware; CR Lawrence Co. or equal, D-style handle, 3/4x3/4 channel on bottom, sides and top of glass as required. Chrome finish.
 - 10.2.4 Curtain Rod; chrome rod at second floor bathroom.

- 10.3 Louvers and wall caps
 - 10.3.1 General scope; see exterior elevations for locations and installation detail.
 - 10.3.2 Louver; Airlite or approved equal, size and style TBD by Architect.
 - 10.3.3 Louver accessories; bird screen, see window installation for flashing and sill pans.
 - 10.3.4 Louver plenum; coordinate installation with duct plenum, drain plenum to exterior.
 - 10.3.5 Louver finish; TBD by Architect.
 - 10.3.6 Wall caps; type, style and finish TBD by Architect.
 - Dryer vent
 - Kitchen range hood exhaust
 - Bathroom exhaust vents

11 Equipment

- 11.1 Appliances
 - 11.1.1 General scope; appliances are to be purchased by the owner and installed by the Contractor. The Contractor is to coordinate and provide utility connections as required.
 - 11.1.2 **Appliance Allowance: See Section 1.12 for budget, materials only. Contractor to carry installation separately under Division 11 number.**

12 Furnishings (Division Not Used)

13 Special Construction (Division Not Used)

14 Conveying Systems (Division Not Used)

22 Plumbing

- 22.1 Plumbing
 - 22.1.1 General scope; provide a complete and fully engineered domestic water supply and waste system on a design build basis using existing plumbing runs where possible. Provide engineering and engineering documentation required by state and local building codes and permitting. See drawings for fixture and appliance layout. Provide piping and connections to fixtures, appliances and equipment.
 - 22.1.2 Coordination; **review of Architectural and Structural drawings is required.** Coordinate with framing, HVAC subcontractors and vendors and provide piping, valves and connections as required. Install fixtures and equipment in exact locations shown on the drawings or as approved by the Architect. **Fixtures and equipment not installed in approved locations will be relocated at the Contractor's expense.**
 - 22.1.3 Domestic hot and cold water distribution; PEX, Uponor terminations.
 - 22.1.4 Pipe insulation; fiberglass, domestic hot and cold water piping, thickness in accordance with local energy codes, R-4 minimum.
 - 22.1.5 Waste and vent piping; reuse where possible. PVC or approved equal, sized to suit demand.
 - 22.1.6 Hose bibs; Reuse existing locations.
 - 22.1.7 Gas distribution piping; reuse where possible, black iron pipe, sized to suit demand install shut off valves at gas-fired appliances.
 - 22.1.8 Vibration isolation; isolate supply and waste piping from framing and finish.
 - 22.1.9 Labeling; label control components of the system including shutoff valves.
- 22.2 Plumbing Fixtures
 - 22.2.1 General scope; see Plumbing Fixture Schedule, plumbing fixtures are to be provided and installed by the Contractor. The Contractor is to coordinate and provide rough-in components, connections and shut-off valves to each fixture. Location of shut-off valves is to be approved by the Architect.
 - 22.2.2 Connections; provide supply and waste rough-in and final connections to each fixture according to the manufacturers requirements.

- 22.2.3 Coordination; coordinate fixture installation requirements with casework and countertops as applicable.
- 22.2.4 Fixtures; **Provide plumbing allowance for material supply only. Installation cost to be carried as part of the Rough Plumbing cost; See section 1.12 - Allowances.**

23 Heating, Ventilation, and Air Conditioning

23.1 HVAC

- 23.2.1 General scope; Provide a complete heating and cooling system on a design/build basis. Provide all components required for a complete and functioning system.
- 23.2.2 Coordination; **review of architectural and Structural drawings is required.** Coordinate with framing, electrical and security system subcontractors and vendors as required. Review location of equipment and installation and routing of piping, ductwork and registers with the architect prior to procurement and fabrication.
Equipment, piping, ductwork and registers not installed in approved locations will be relocated at the Contractor's expense.
- 23.2.3 Design Basis; consult Owner or Architect for detailed performance criteria.
- 23.2.4 Heating-cooling system; ducted hydro-air heating and cooling system, gas-fired hot water boiler to supply AHU hot water coils and domestic hot water heating, DX split system to supply cold water coil.
- 23.2.5 Boiler; Weil McLain or approved equal.
- 23.2.6 Hot Water Storage; Weil McLain Plus or approved equal.
- 23.2.7 Hot water supply and return piping; PEX, Uponor terminations.
- 23.2.8 Pipe insulation; fiberglass, supply and return piping, thickness in accordance with local energy codes, R-4 minimum.
- 23.2.9 Condensate piping; PVC or ABS, route to adjacent floor drains or as approved by the Architect.
- 23.2.10 Air Handling Units; First Company or approved equal.
- 23.2.11 AHU Filters; Lennox HC-13 MERV 13 or approved equal.
- 23.2.12 Humidification; Nortec Resdelux or approved equal.
- 23.2.13 Ducts - rectangular; galvanized sheet metal, trunks and branch ducts, fabricated and installed in accordance with SMACNA standards, insulated.
- 23.2.14 Ducts - flexible; branch terminations only, maximum length 6', insulated.
- 23.2.15 Duct insulation; FSK foil-backed insulation, supply and return ducts, 2"-thick at attics and crawlspaces, 1-1/2" at basement areas.
- 23.2.16 Duct lining; non-fiberglass acoustical duct liner, 1"-thick.
- 23.2.17 Duct sealing; 3M mastic duct sealer or approved equal.
- 23.2.18 Duct painting; paint duct interiors flat black where visible through registers and grills.
- 23.2.19 Combustion vent and flue; as required by the combustion appliance manufacturer, location as shown on the drawings or as approved by the architect.
- 23.2.20 Wood floor registers and grilles; Wood Ventures or approved equal, style TBD by Architect, wood species and finish to match hardwood flooring or as approved by the Architect.
- 23.2.21 Metal wall and ceiling registers and grilles; Wood Ventures or approved equal, style TBD by Architect, finish TBD by Architect.
- 23.2.22 Thermostats; Aprilaire or approved equal, heating cooling thermostats with low temp alarm for security system trouble monitoring, coordinate low-voltage control wiring with the electrical subcontractor.
- 23.2.23 Sound and vibration attenuation; isolate sources of vibration from wood frame wall, floor structure and finishes. Isolate circulators from piping and AHU from ductwork. Provide vibration isolator types appropriate for each purpose.
- 23.2.24 Toilet exhaust fans; Panasonic or approved equal, back draft dampers.
- 23.2.25 Kitchen hood exhaust; see appliance schedule, coordinate duct and power requirements.

- 23.2.26 Dryer exhaust; see appliance schedule, coordinate duct and wall cap installation, wall cap location as shown on the drawings or as approved by the Architect.
- 23.2.27 Labeling; label control components of the system and the flow direction of water and air systems.

24 Electric

24.1 Power

- 24.1.1 General scope; provide a complete and fully engineered electrical system on a design/build basis for all new and renovated spaces. Provide engineering and engineering documentation required by state and local building codes and permitting. See drawings for device, fixture and appliance layout. Provide power and control wiring and connection to devices, fixtures, appliances and equipment including line voltage and low voltage fixtures and equipment.
- 24.1.2 Materials and Installation; provide materials and installation methods in compliance with the National Electrical Code, NEC 2008/NFPA 70.
- 24.1.3 Coordination; **review of Architectural and Structural drawings is required.** Coordinate with framing, HVAC, security, A/V, irrigation, fire protection and data subcontractors and vendors and provide power and control wiring connections and/or devices as required. **Install devices, fixtures and equipment in exact locations shown on the drawings or as approved by the Architect. Devices, fixtures and equipment not installed in approved locations will be relocated at the Contractor's expense.**
- 24.1.4 Inspect all existing rough electrical wiring, sub-panels and main panels and re-use existing wherever logical and appropriate.
- 24.1.5 Existing rough wiring scope to remain: Assume that the electrical rough wiring scope will include accommodating and incorporating into the overall renovated spaces 50 existing electrical destinations such as outlets, switch locations and existing fixtures and/or light fixture locations that are remaining. This scope to include all wiring materials and labor. See drawings for scope.
- 24.1.6 New rough wiring scope: Assume that the electrical rough wiring scope will include providing wiring materials and labor for the installation of 75 new electrical destinations such as outlets, standard and dimmer switches and/or light fixtures, appliances, fans, etc. See drawings for scope.
- 24.1.7 Devices and cover plates; Leviton Decora style, or approved equal (match existing on first floor). Color white or as approved by Architect.
- 24.1.8 Distribution panels; Square D or approved equal, provide distribution panels and sub panels, including emergency power panels, required to serve building loads, size panels to allow 20% surplus load capacity. Panel locations as shown on the drawings or as approved by the Architect.
- 24.1.9 Wiring; copper, 12GA minimum, route wiring in accordance with NEC requirements.
- 24.1.10 Ground-fault circuit-interrupter (GFCI) protection; provide ground-fault circuits to or GFCI outlets at locations requiring ground-fault protection.
- 24.1.11 Arc-fault circuit-interrupter (AFCI) protection; provide arc-fault circuits to or AFCI outlets at locations requiring ground-fault protection.
- 24.1.12 HVAC Equipment; provide power and control wiring, devices and connections as required by the HVAC system.
- 24.1.13 Appliances; provide power and control wiring, devices and connections as required by appliances.
- 24.1.14 Exterior power; covered weather proof outlets as approved by the Architect, locations as shown on the drawings or as approved by the Architect, 4 locations minimum.
- 24.1.15 Labeling; typed labeling of panels and circuit breakers.

24.2 Smoke and CO detection

- 24.2.1 General scope; provide smoke and CO detectors as required by applicable building codes, locations as required, as shown on the drawings and as approved by the Architect.
- 24.2.2 Combined smoke and CO detectors; Kidde or approved equal, device selection TBD by Architect.
- 24.3 Lighting
 - 24.3.1 General scope; provide light fixtures as shown on the drawings and as outlined in the Light Fixture Schedule. Provide IC enclosures where fixtures are installed in insulated wall, floor or roof assemblies.
 - 24.3.2 Coordination; **review of Architectural and Structural drawings is required.** Coordinate with framing subcontractors. **Install fixtures and switches in exact locations shown on the drawings or as approved by the Architect. Fixtures and switches not installed in approved locations will be relocated at the Contractor's expense. Locate remote transformers as shown on the drawings or as approved by the Architect.**
 - 24.3.3 Recessed lighting fixtures; Halo H4 Series, LED series, H457ICAT1E frame, TL402WHS trim throughout for pricing purposes.
- 24.4 Decorative Light Fixtures
 - 24.4.1 Provide and install all recessed and decorative light fixtures. Assume for pricing both line and low voltage light destinations.
 - 24.4.2 **Provide allowance for material cost only for all Decorative Fixtures; Installation cost to be carried as part of the Rough Electrical cost; See section 1.12 – Allowances.** (*Wiring, recessed lighting, standard outlets and switches to be carried as part of Rough Electrical cost*).
- 24.5 Door Bell
 - 24.5.1 General scope; provide all components of a door bell including one two tone chime and two push button locations. Coordinate transformer location, power connection and low-voltage control wiring.
 - 24.5.2 Chime; Nutone LA174WH two tone chime, locations as shown on the drawings.
 - 24.5.3 Push button; button style TBD by Architect, push button locations at Mudroom and front entry doors.

25 Information Technology

- 25.1 General
 - 25.1.1 All cabling shall be home run, free of splice points and in compliance with NEC, TIA/EIA and BICSI Installation Standards.
 - 25.1.2 All coaxial cabling shall be terminated at both ends with high quality snap & seal F-type connectors (no crimp-on or twist-on connectors)
 - 25.1.3 Category 6 cabling shall be terminated at both ends with RJ45 Category 6 termination (Standard T568B)
 - 25.1.4 A dedicated 20A circuit shall be provided for communication panel and incoming services
 - 25.1.5 A supplemental grounding bar shall be provided for communication services and equipment.
- 25.2 CATV and data distribution system
 - 25.2.1 General scope; provide a complete structured cable data distribution system. See drawings for device type and layout, terminate structured cable at backing panel location shown on the drawings or as approved by the Architect.
 - 25.2.2 Coordination; review of Architectural and Structural drawings is required. Coordinate with framing and A/V, subcontractors and vendors. Install devices in exact locations shown on the drawings or as approved by the Architect. Devices not installed in approved locations will be relocated at the Contractor's expense.
 - 25.2.3 Devices; provide device types shown on the drawings, match electrical devices and cover plates.

- 25.2.4 Wireless Access Points; Provide two wireless access points. Coordinate with owner and Architect.
 - Locations; Basement AV panel, Attic eve.
- 25.3 Audio/Visual Systems
 - 25.3.1 General scope; provide and install rough wiring to owner-supplied speakers in Conservatory. Install owner-supplied speakers as required.
 - 25.3.2 Living Room A/V wiring; Homerun all Kitchen, Dining, and Living Room speaker wires to hall coat closet for pricing purposes. Installation of rough wiring by Electrical subcontractor, the Contractor is to coordinate the installation.
 - 25.3.3 **Provide allowance for speakers and other A/V equipment only; Speaker wiring material and installation cost to be carried as part of the Rough Electrical cost; See section 1.12 - Allowances.**
- 25.4 Attic Location/Cell Reception
 - 25.4.1 One 2" PVC conduit for low voltage from basement to attic.
 - 25.4.2 RG11 from attic to communication panel head end (for cellular reception)
- 25.5 Security Systems
 - 25.5.1 General scope; design and installation by Owner's vendor, the Contractor is to coordinate installation.
 - 25.5.2 Coordination; coordinate with HVAC, A/V, fire protection and data subcontractors and vendors and provide power and control wiring connections and/or devices as required. **Install devices, fixtures and equipment in exact locations shown on the drawings or as approved by the Architect. Devices, fixtures and equipment not installed in approved locations will be relocated at the Contractor's expense.**
 - 25.5.3 Device and cover plates; match electrical devices and cover plates.
 - 25.5.4 **Provide allowance for material and installation; See section 1.12 - Allowances.**

End of Pricing Set Specifications

MANI-HANSMEIER RESIDENCE

**69 RINDGE AVE
CAMBRIDGE, MA 02140**



ISSUED FOR BZA REVIEW

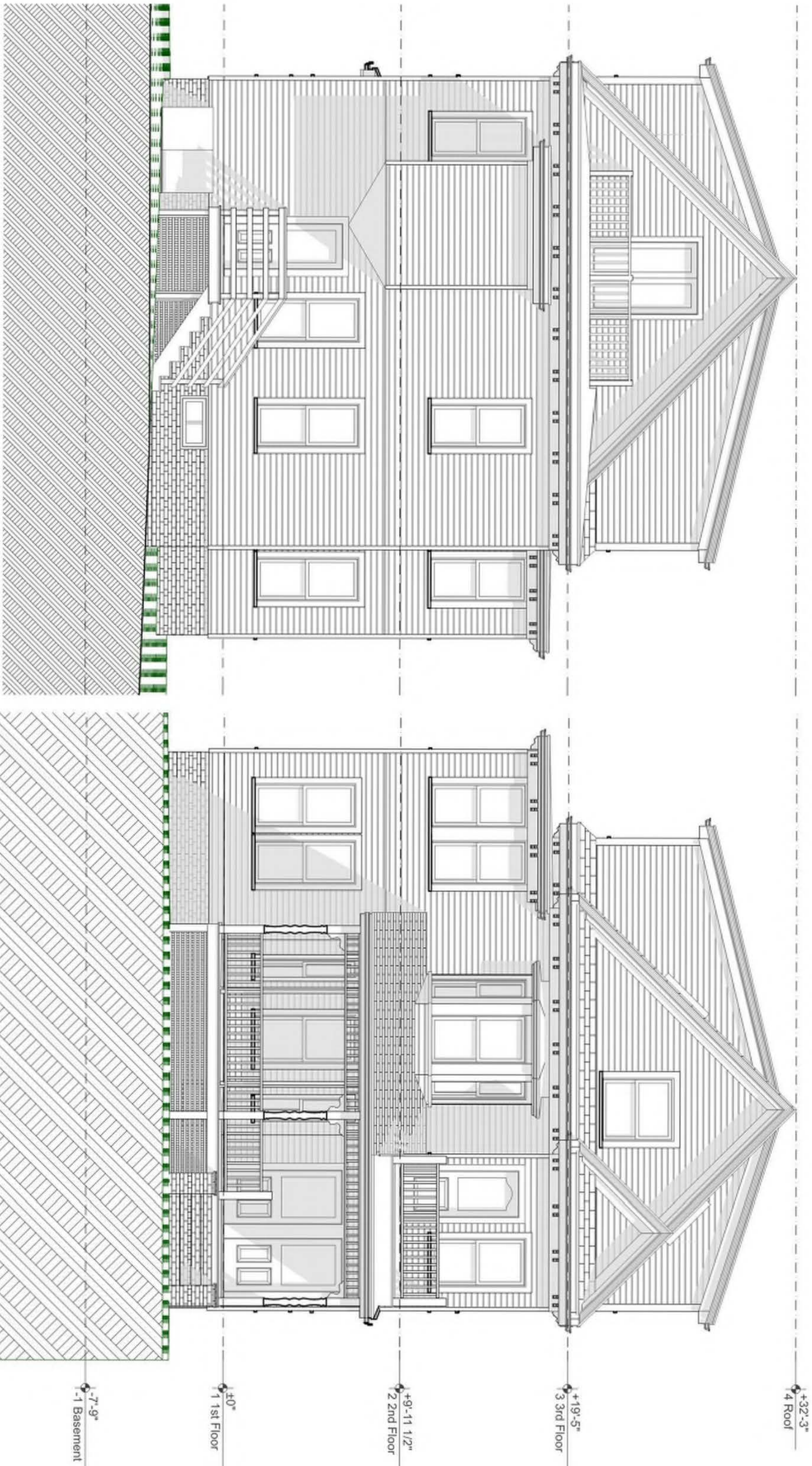
02-21-2017

LDa

ARCHITECTURE & INTERIORS

222 Third Street, Suite 3212 tel: 617 621-1455
Cambridge, MA 02142 fax 617 621-1477
www.LDa-Architects.com

APPROVED BY CAMBRIDGE BZA ON 12/10/2015



2 Proposed North Elevation 1/4" = 1'-0" 1 Proposed South Elevation 1/4" = 1'-0"



TIMELESS ARCHITECTURE
 147 School St.; Milton, MA 02186-3513
 Voice (617) 696-6448 www.Timearch.com
 E.mail: hmaclean@timearch.com

Revisions / Progress Drawings	
Variance Submittal, 12-7-15	Schematic Design, 4-17/20-15
Design Devel. , 12-17-15	Design Development, 4-29-15
Schematic Design, 1-26-15	Variance Review Set, 6-1-15
Schematic Design, 1-26-15	Variance Review Set, 10-15-15

**Renovations and Additions to
 Mani / Hansmeier Home
 69 Rindge Ave, Cambridge, MA 02140**

A-6

APPROVED BY CAMBRIDGE BZA ON 12/10/2015



TIMELESS ARCHITECTURE
 147 School St.; Milton, MA 02186-3513
 Voice (617) 696-6448 www.Timearch.com
 E-mail: hmaclan@timearch.com



1

Proposed East Elevation

1/4" = 1'-0"

Revisions / Progress Drawings	
Variance Submittal, 12-7-15	Schematic Design, 4-17/20-15
Design Devel., 12-17-15	Design Development, 4-28-15
Schematic Design, 1-26-15	Variance Review Set, 5-1-15
Schematic Design, 1-26-15	Variance Review Set, 10-15-15

Renovations and Additions to
 Mani / Hansmeier Home
 69 Rindge Ave, Cambridge, MA 02140

A-7

APPROVED BY CAMBRIDGE BZA ON 12/10/2015

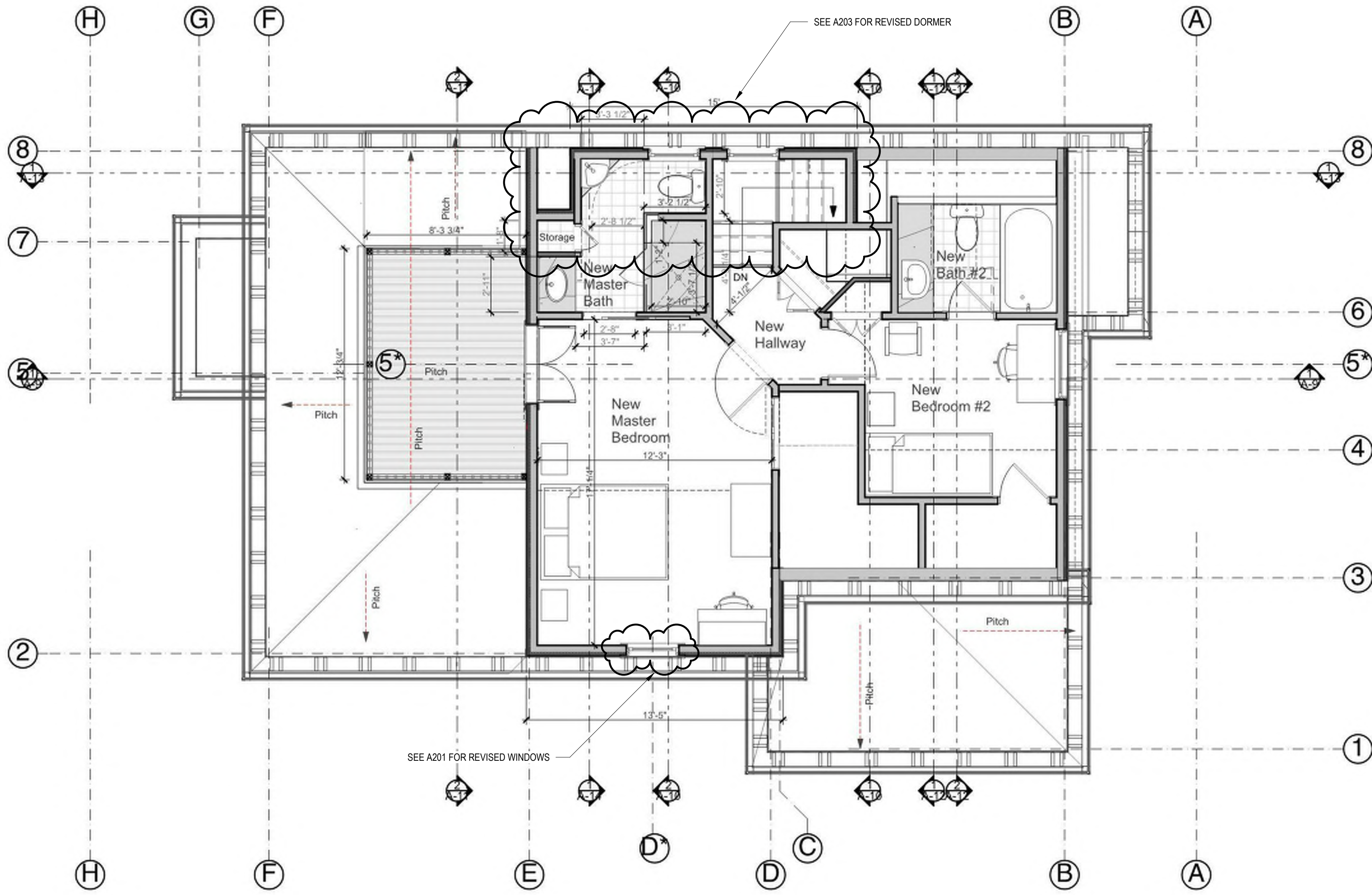


TIMELESS ARCHITECTURE
 147 School St., Milton, MA 02186-3513
 Voice (617) 696-6448 www.Timearch.com
 E-mail: hmaclan@timearch.com

Revisions / Progress Drawings	
Variance Submittal, 12-7-15	Schematic Design, 4-17-20-15
Design Devel., 12-17-15	Design Development, 4-28-15
Schematic Design, 1-26-15	Variance Review Set, 5-1-15
Schematic Design, 1-26-15	Variance Review Set, 10-15-15

**Renovations and Additions to
 Mani / Hansmeier Home
 69 Rindge Ave, Cambridge, MA 02140**

A-3



1

Proposed 3rd Floor Plan

1/4" = 1'-0"



NORTHWEST ELEVATION



WEST ELEVATION



SOUTHWEST ELEVATION



SOUTH ELEVATION



SOUTHEAST ELEVATION

**MANI-HANSMEIER
RESIDENCE**

P30039.00
69 RINDGE AVE
CAMBRIDGE, MA 02140

LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017

SCALE:

DRAWN: AG

CHECKED: PKS

SHEET INFO:
EXISTING CONDITIONS PHOTOS



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

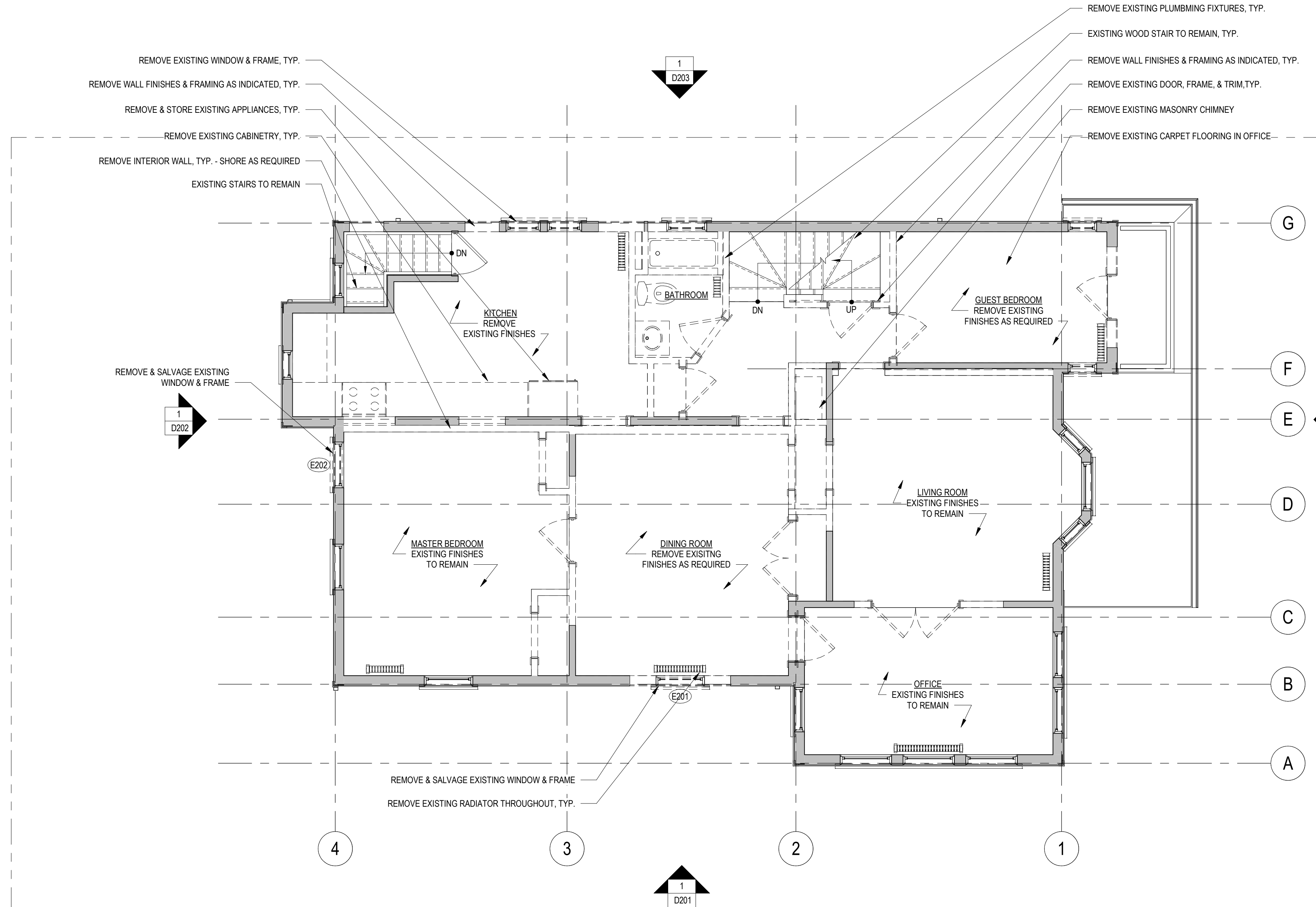
REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
SECOND FLOOR DEMOLITION PLAN

DEMOLITION KEY

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED





LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

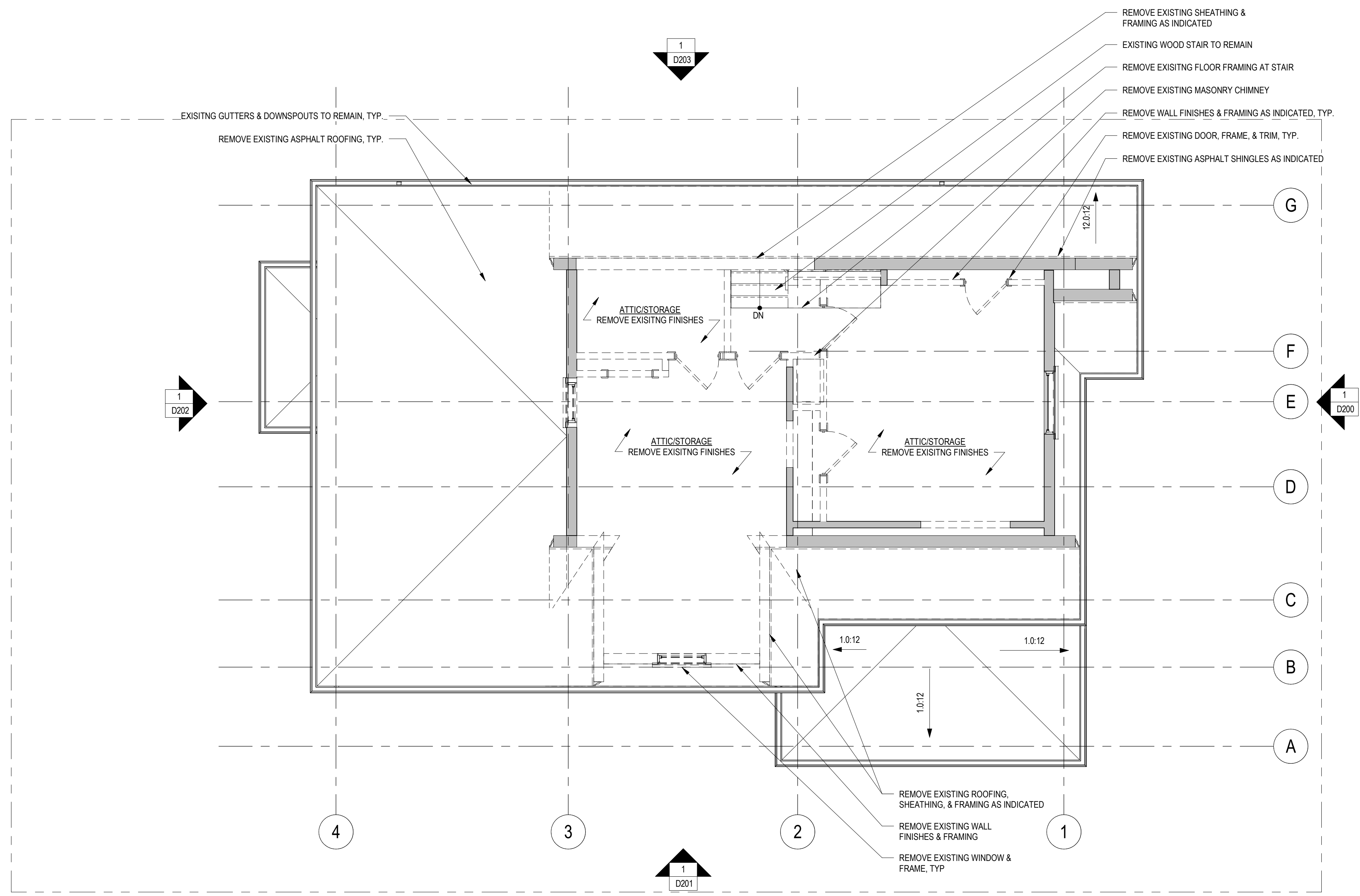
DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
THIRD FLOOR DEMOLITION PLAN

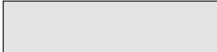

DEMOLITION KEY

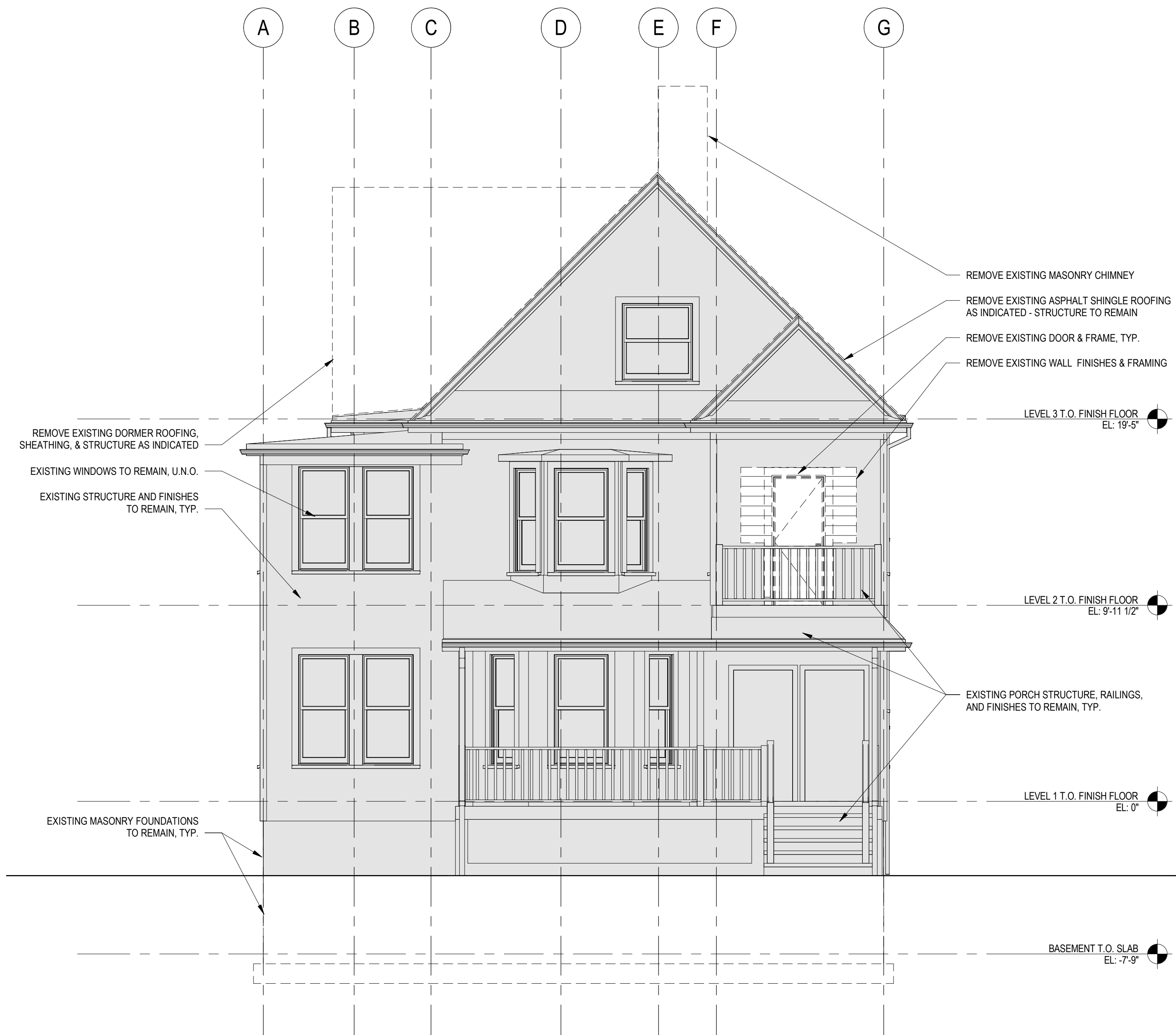
EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE REMOVED



DEMOLITION KEY

-  EXISTING STRUCTURE TO REMAIN
-  EXISTING STRUCTURE TO BE REMOVED



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
SOUTH DEMOLITION ELEVATION

DEMOLITION KEY

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO BE REMOVED



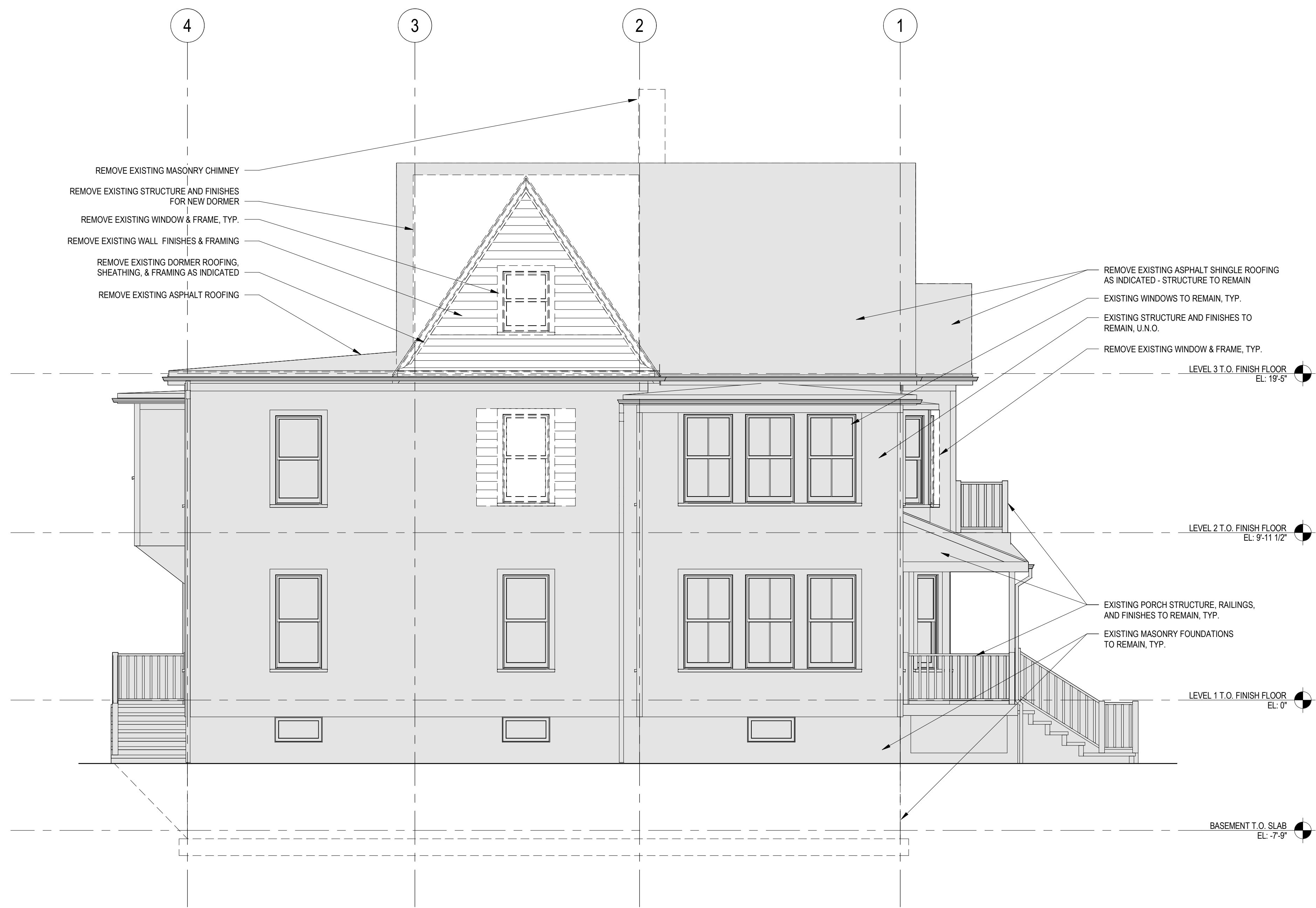
LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
WEST DEMOLITION ELEVATION





LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

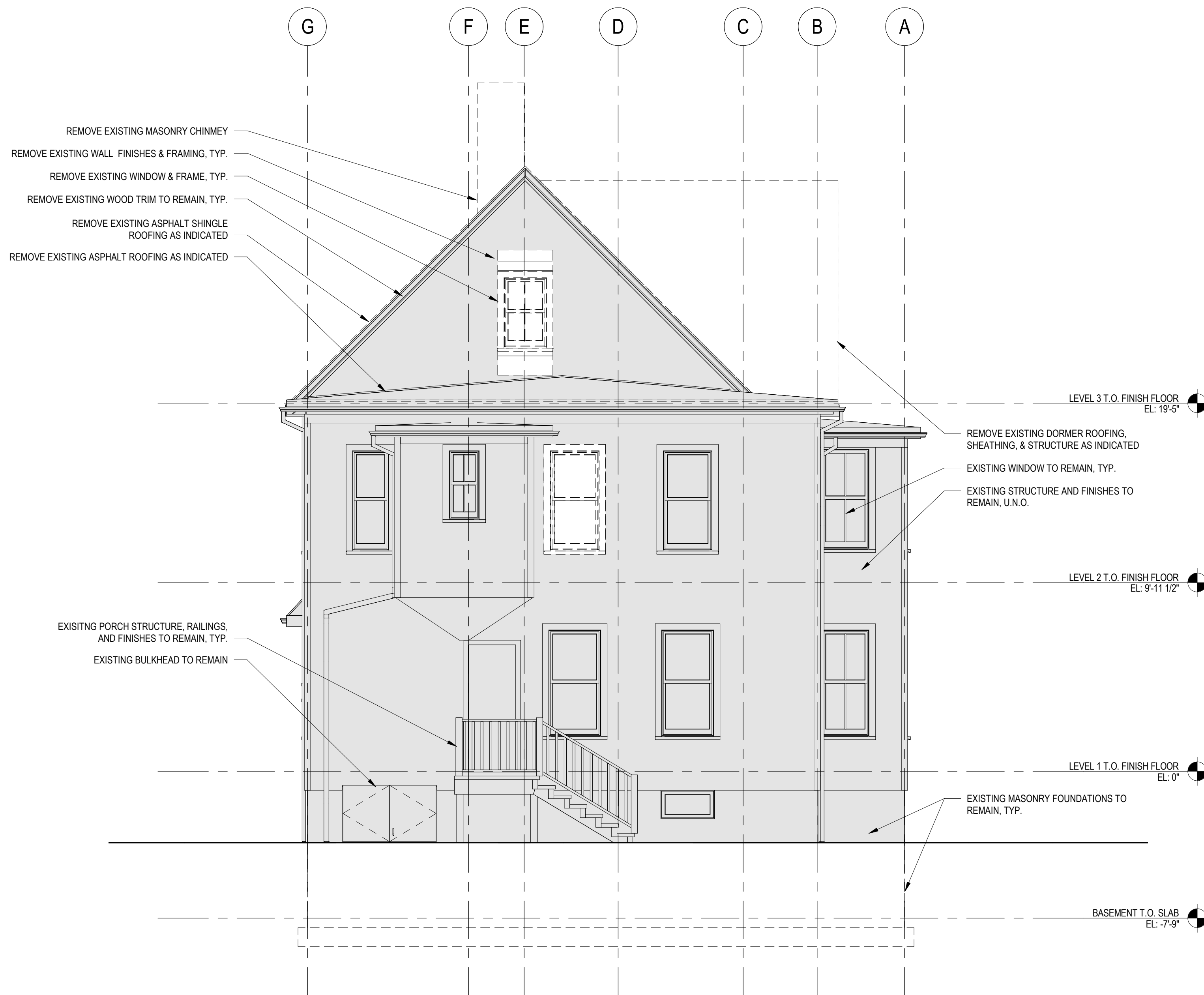
DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
NORTH DEMOLITION ELEVATION

D202

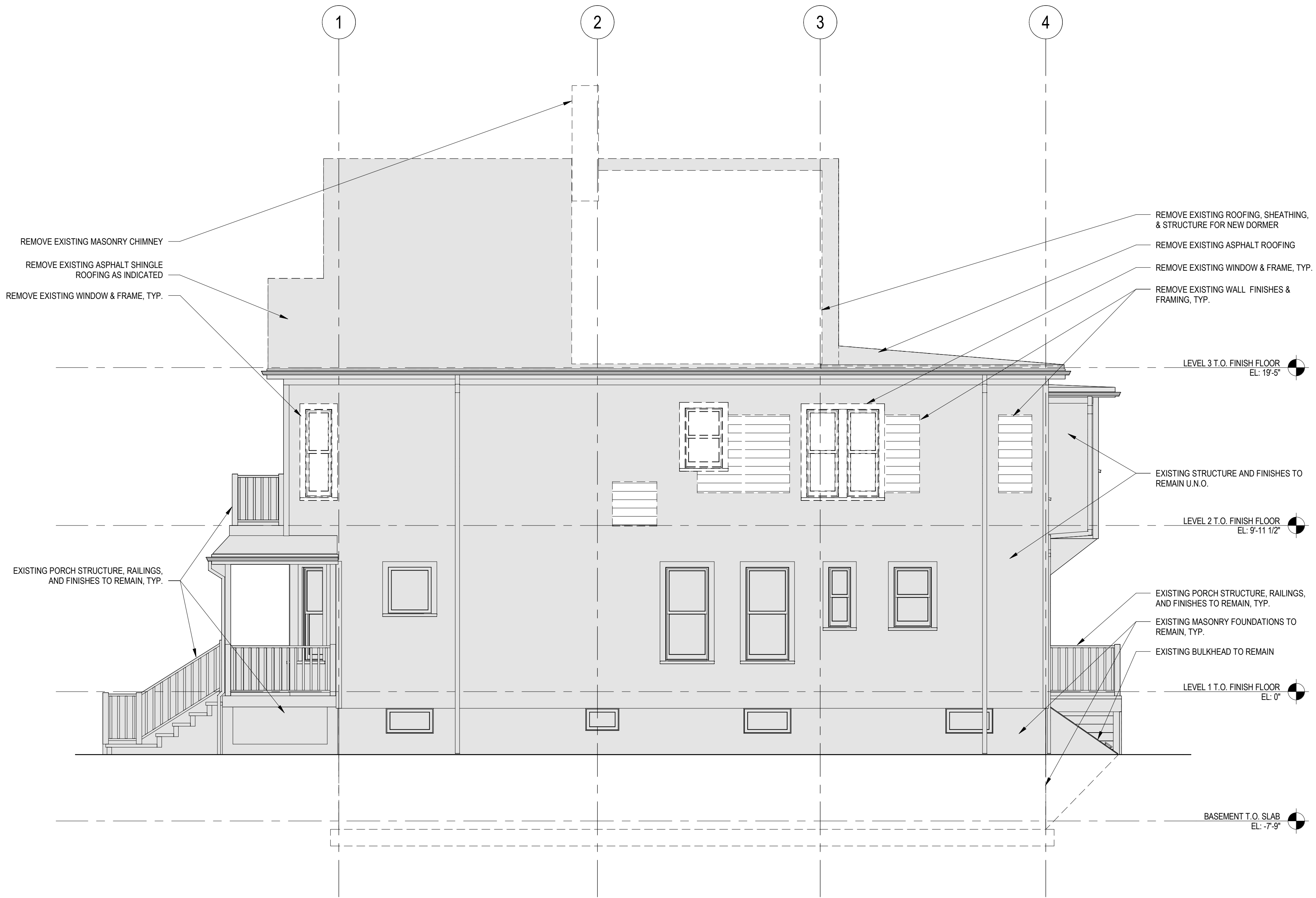
DEMOLITION KEY

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO BE REMOVED



DEMOLITION KEY

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO BE REMOVED



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
EAST DEMOLITION ELEVATION



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

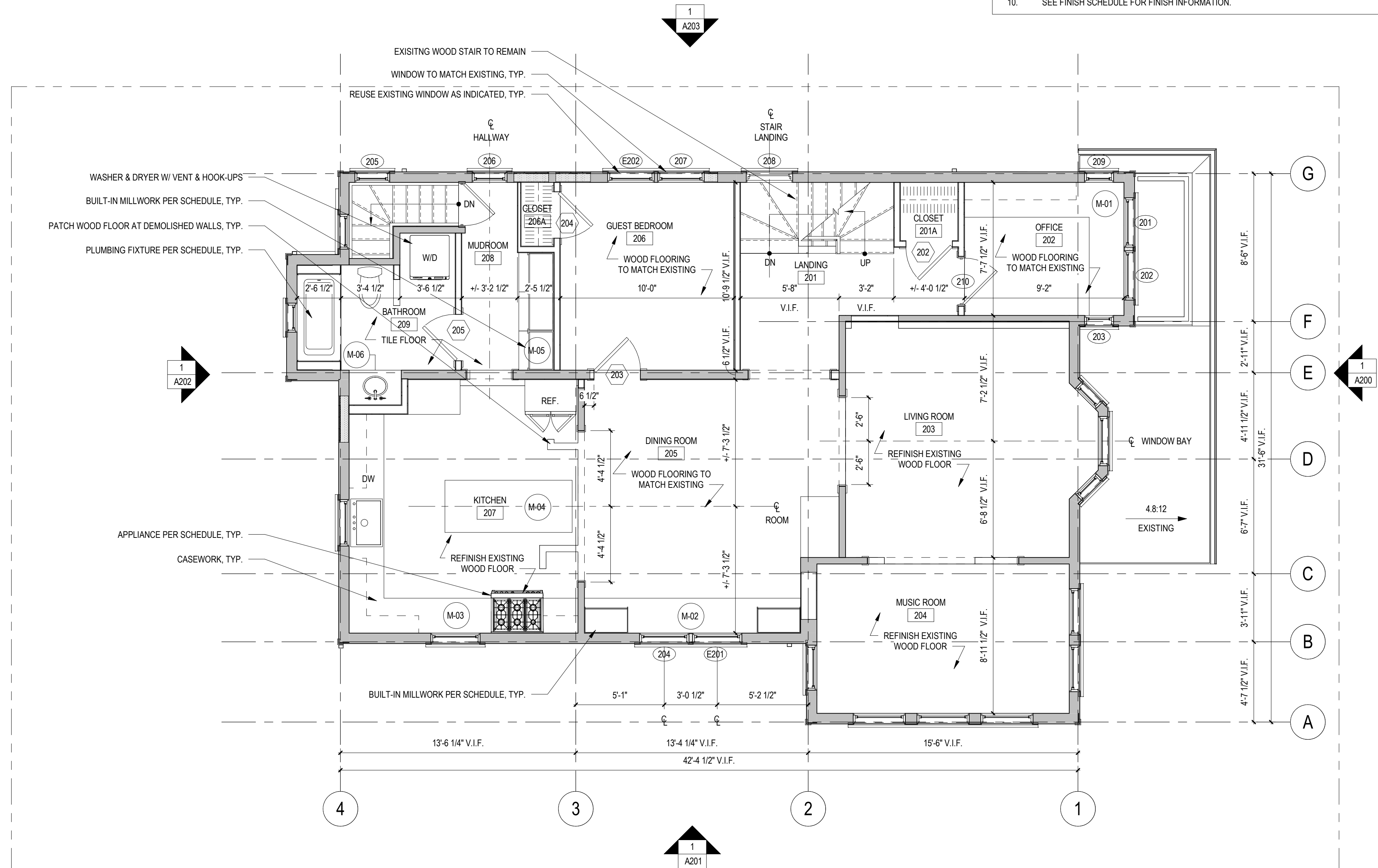
ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS
SHEET INFO:
PROPOSED SECOND FLOOR PLAN

GENERAL FLOOR PLAN NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
2. AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO ORDERING OR FABRICATING.
3. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
4. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
5. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
6. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
7. SEE ROOF PLAN FOR ROOF INFORMATION.
8. SEE DOOR SCHEDULE FOR DOOR INFORMATION.
9. SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.
10. SEE FINISH SCHEDULE FOR FINISH INFORMATION.





LDA Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

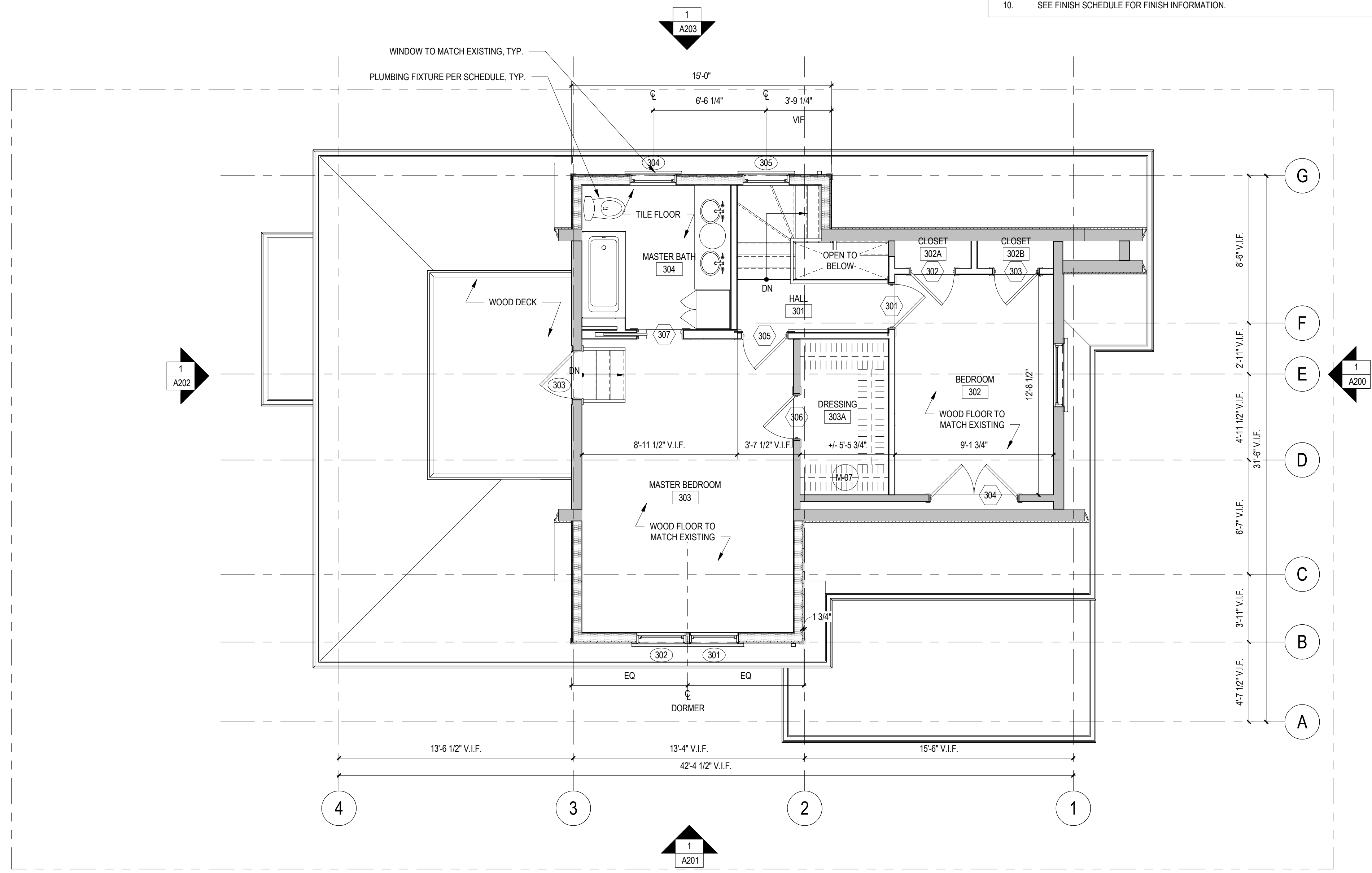
REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
PROPOSED THIRD FLOOR PLAN

GENERAL FLOOR PLAN NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
2. AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO ORDERING OR FABRICATING.
3. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
4. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
5. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
6. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
7. SEE ROOF PLAN FOR ROOF INFORMATION.
8. SEE DOOR SCHEDULE FOR DOOR INFORMATION.
9. SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.
10. SEE FINISH SCHEDULE FOR FINISH INFORMATION.



**MANI-HANSMEIER
RESIDENCE**

P30039.00

69 RINDGE AVE
CAMBRIDGE, MA 02140



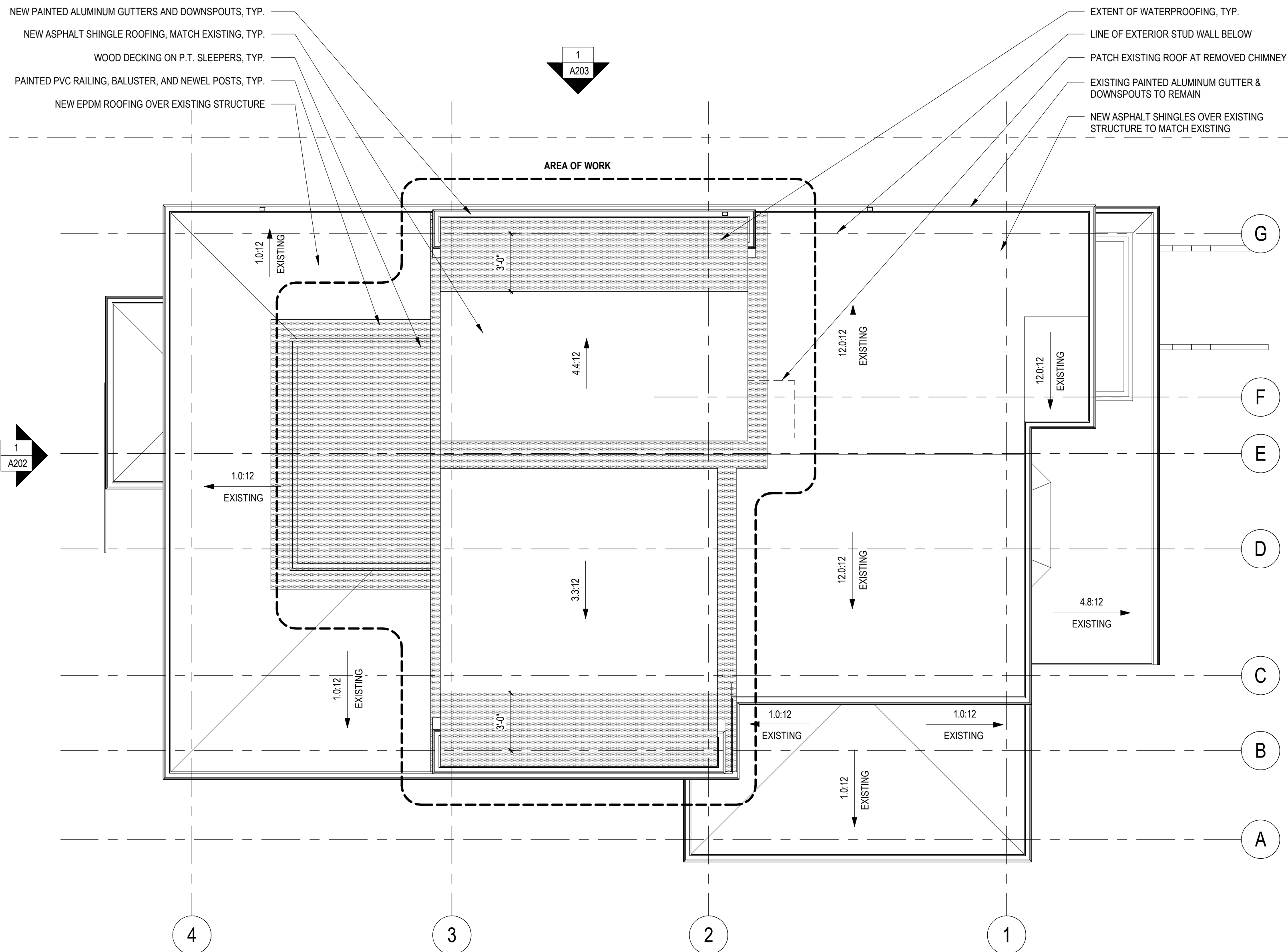
LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
PROPOSED ROOF PLAN



- NEW PAINTED ALUMINUM GUTTERS AND DOWNSPOUTS, TYP.
- NEW ASPHALT SHINGLE ROOFING, MATCH EXISTING, TYP.
- WOOD DECKING ON P.T. SLEEPERS, TYP.
- PAINTED PVC RAILING, BALUSTER, AND NEWEL POSTS, TYP.
- NEW EPDM ROOFING OVER EXISTING STRUCTURE

- EXTENT OF WATERPROOFING, TYP.
- LINE OF EXTERIOR STUD WALL BELOW
- PATCH EXISTING ROOF AT REMOVED CHIMNEY
- EXISTING PAINTED ALUMINUM GUTTER & DOWNSPOUTS TO REMAIN
- NEW ASPHALT SHINGLES OVER EXISTING STRUCTURE TO MATCH EXISTING

1
A203

1
A202

1
A200

1
A201

4

3

2

1

G

F

E

D

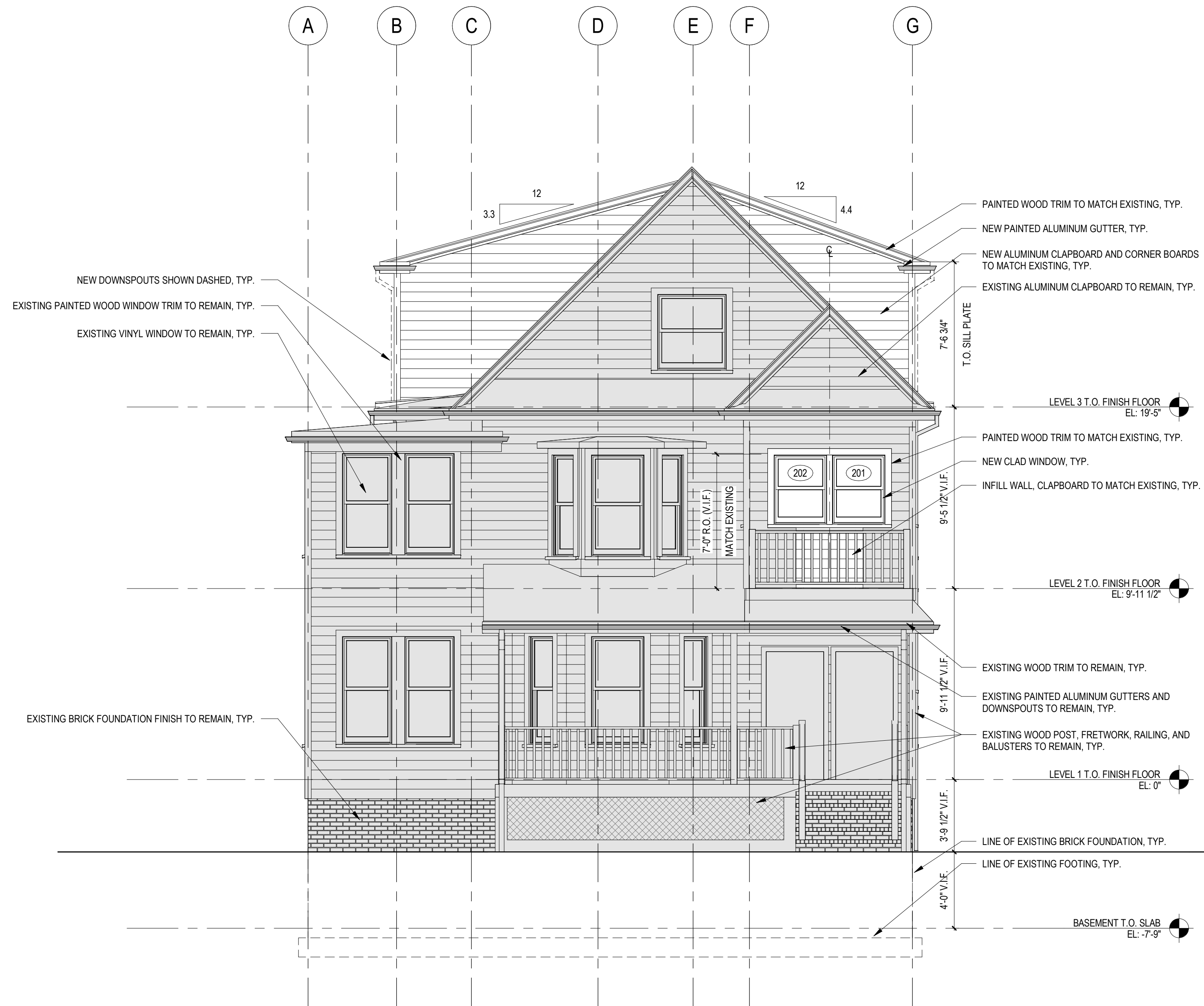
C

B

A

GENERAL ELEVATION NOTES

1. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
2. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
3. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
4. SEE BUILDING SECTIONS FOR HEADER HEIGHT DIMENSIONS.



MANI-HANSMEIER
RESIDENCE

69 RINDGE AVE
CAMBRIDGE, MA 02140

P30039.00



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017

SCALE: 1/4" = 1'-0"

DRAWN: AG

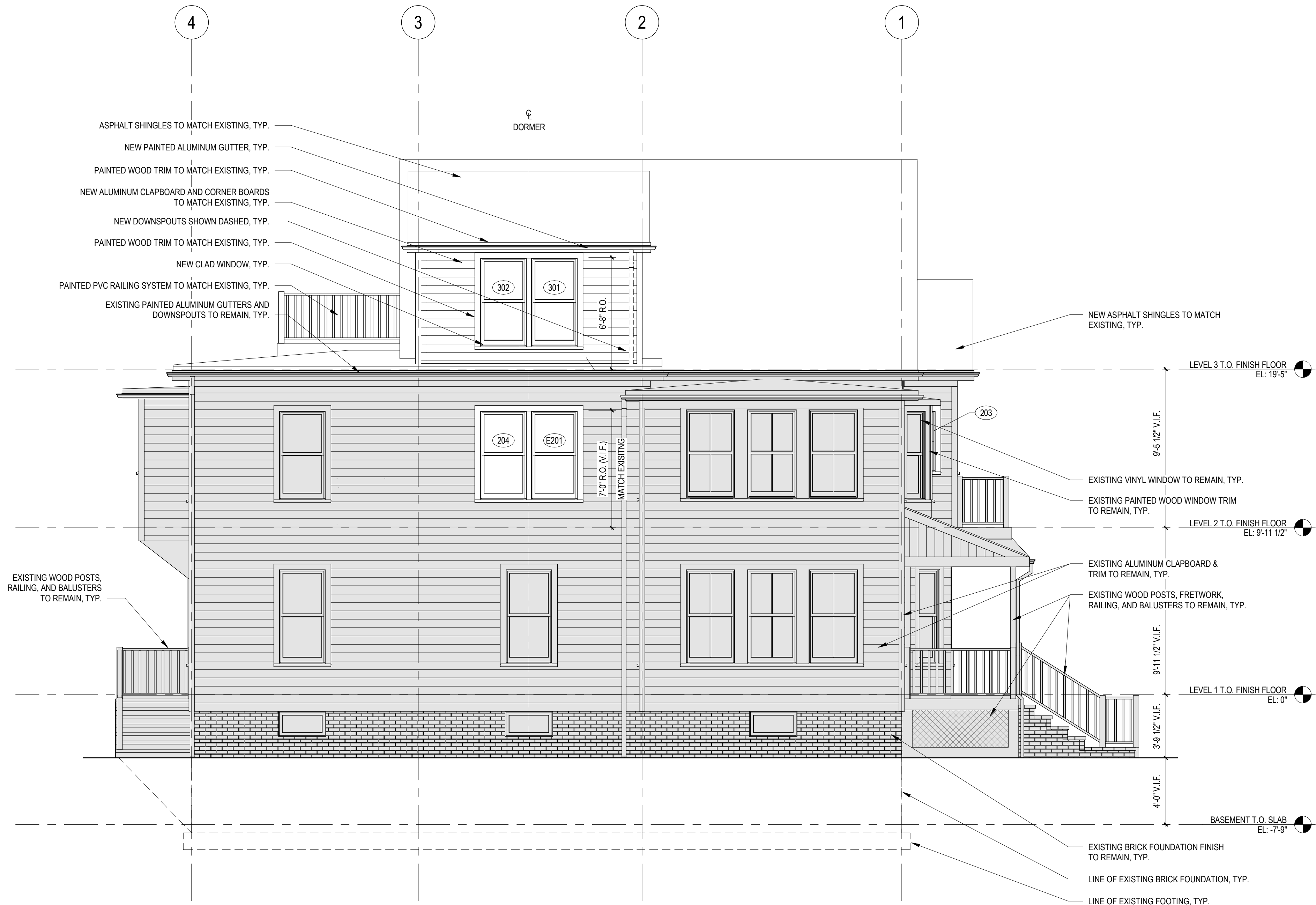
CHECKED: PKS

SHEET INFO:
PROPOSED SOUTH ELEVATION

A200

GENERAL ELEVATION NOTES

1. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
2. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
3. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
4. SEE BUILDING SECTIONS FOR HEADER HEIGHT DIMENSIONS.



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017

SCALE: 1/4" = 1'-0"

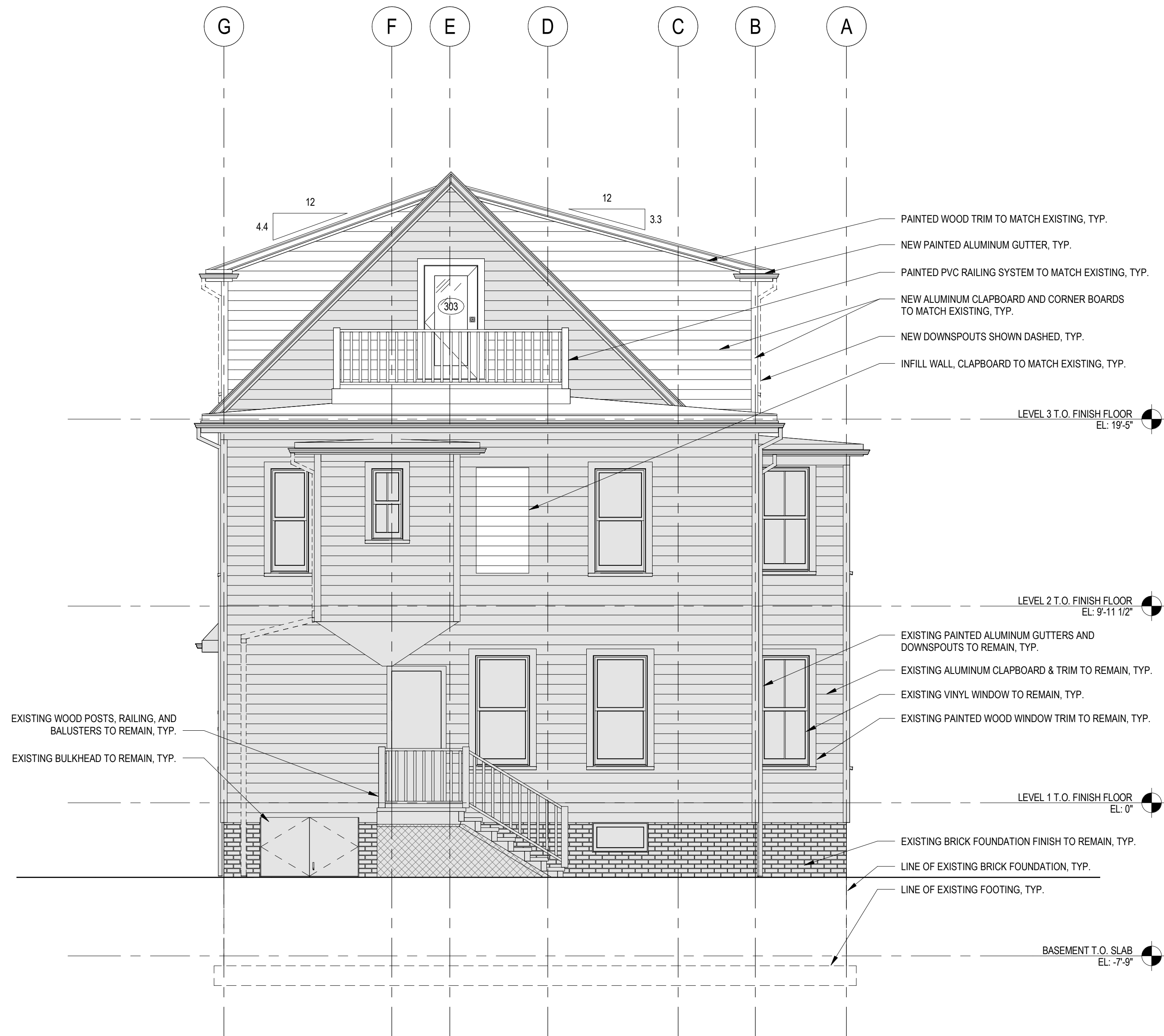
DRAWN: AG

CHECKED: PKS

SHEET INFO:
PROPOSED WEST ELEVATION

GENERAL ELEVATION NOTES

1. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
2. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
3. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
4. SEE BUILDING SECTIONS FOR HEADER HEIGHT DIMENSIONS.



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

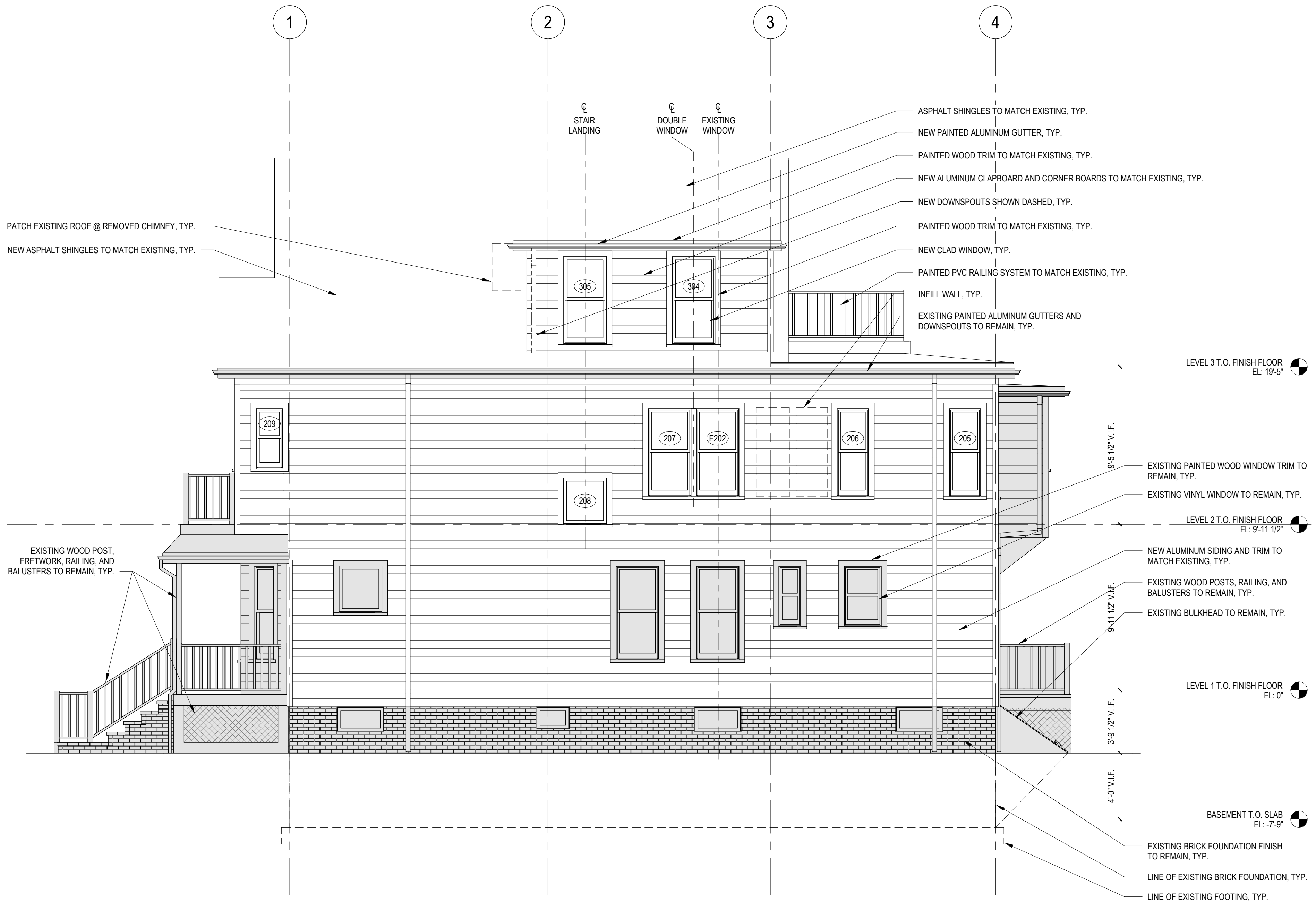
REVISION:

DATE: 02-21-2017
SCALE: 1/4" = 1'-0"
DRAWN: AG
CHECKED: PKS

SHEET INFO:
PROPOSED NORTH ELEVATION

GENERAL ELEVATION NOTES

1. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
2. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
3. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
4. SEE BUILDING SECTIONS FOR HEADER HEIGHT DIMENSIONS.



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017

SCALE: 1/4" = 1'-0"

DRAWN: AG

CHECKED: PKS

SHEET INFO:
PROPOSED EAST ELEVATION



4 **NORTHEAST PERSPECTIVE**
SCALE:



3 **NORTHWEST PERSPECTIVE**
SCALE:



2 **SOUTHWEST PERSPECTIVE**
SCALE:



1 **SOUTHEAST PERSPECTIVE**
SCALE:



LDa Architecture & Interiors, LLP
222 Third Street, Suite 3212
Cambridge, MA 02142
617 621-1455 fax 617 621-1477
www.LDa-Architects.com

ISSUANCE:
ISSUED FOR BZA REVIEW

REVISION:

DATE: 02-21-2017

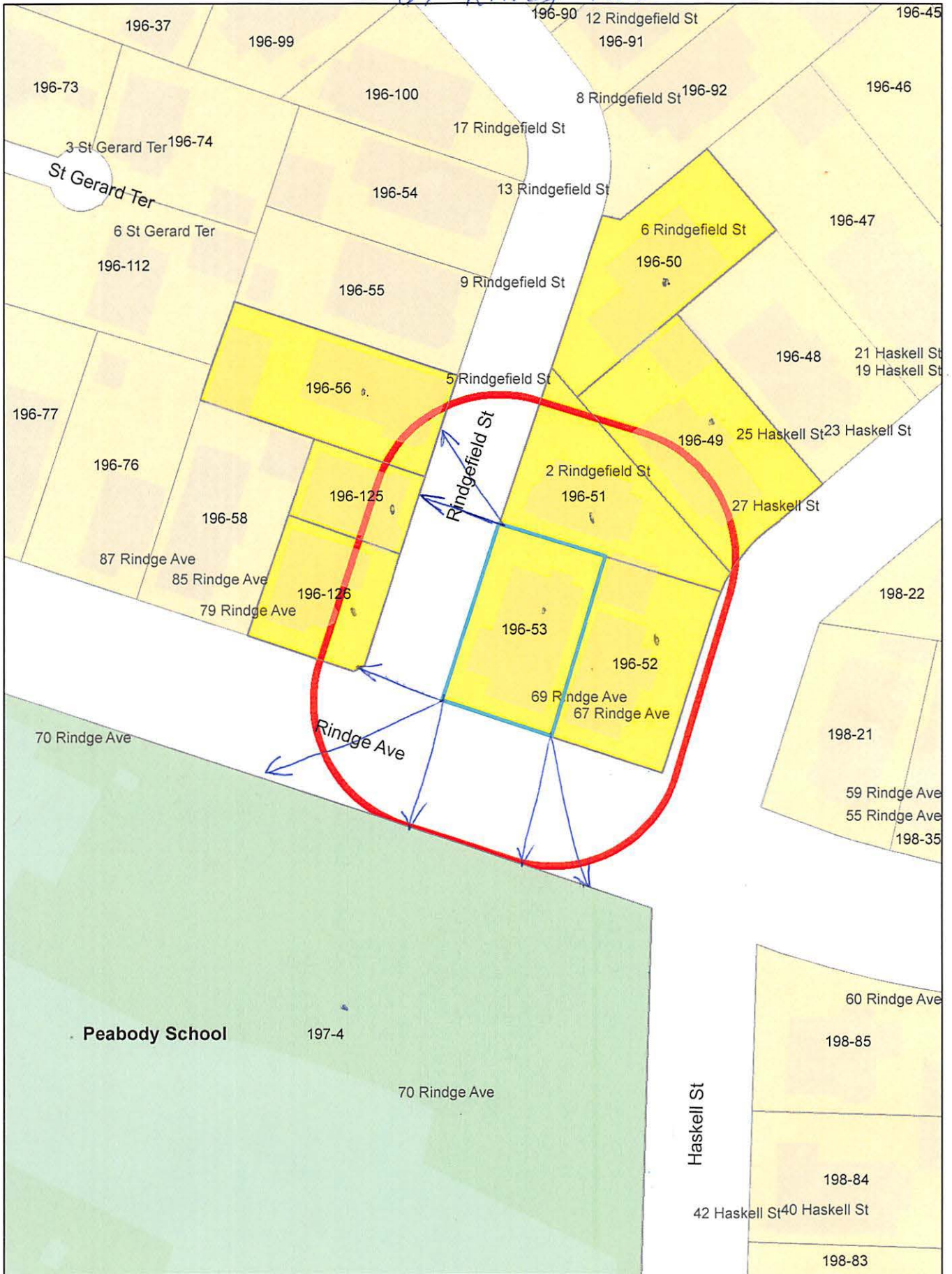
SCALE:

DRAWN: AG

CHECKED: KS

SHEET INFO:
PERSPECTIVES

69 Rindge Ave



69 Rindge Ave

Petitioners

196-50
ZURN, CHRISTOPHER F. & MICHELLE SAUNDERS
6 RINDGEFIELD ST
CAMBRIDGE, MA 02140

196-51
HARRISON, TODD M. & ALICIA CROTHERS
2 RINDGEFIELD ST
CAMBRIDGE, MA 02140

LDa ARCHITECTURE & INTERIORS
C/O KYLE SHEFFIELD, ARCHITECT
69 RINDGE AVENUE
CAMBRIDGE, MA 02140

196-126
HANSELL, SOPHIE LAUNAY & JEFFREY HANSELL
79 RINDGE AVE
CAMBRIDGE, MA 02140

196-56
LOTZ, ROBERT & SUSAN H. LOTZ
C/O OXFORD STREET REALTY
ATTN: JEFF INDECK
1644 MASS AVE
CAMBRIDGE, MA 02138

196-53
HANSMEIER, BRETT & NANDINI MANI
69 RINDGE AVE
CAMBRIDGE, MA 02140

197-4
CITY OF CAMBRIDGE
C/O LOUIE DEPASQUALE
CITY MANAGER

197-4
CAMBRIDGE CITY OF SCHOOL DEPT
159 THORNDIKE ST
CAMBRIDGE, MA 02141

197-4
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

196-49
MOODY, ALBERT F., III & DENISE M. MOODY
27 HASKELL ST., #2
CAMBRIDGE, MA 02140

196-52
OSULLIVAN, MAUREEN & LAURENCE D. PIERCE
67 RINDGE AVE.
CAMBRIDGE, MA 02140

196-125
MICELI, GERMAINE M.
C/O GERMAINE HOLT
3 RINDGEFIELD ST
CAMBRIDGE, MA 02140

196-49
MONEY, IRENE GAWEL
27 HASKELL ST. UNIT#1
CAMBRIDGE, MA 02139