

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: _____ Appeal: _____
and relief pursuant to Section 6409 of the Middle Class Tax Relief Act

PETITIONER: T-Mobile Northeast LLC

PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 80 Erie Street

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: SD-10(H)

REASON FOR PETITION:

- | | |
|--|--|
| <input type="checkbox"/> Additions | <input type="checkbox"/> New Structure |
| <input type="checkbox"/> Change in Use/Occupancy | <input type="checkbox"/> Parking |
| <input type="checkbox"/> Conversion to Addi'l Dwelling Unit's | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Dormer | <input type="checkbox"/> Subdivision |
| <input checked="" type="checkbox"/> Other: <u> Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility </u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

The Applicant proposes to modify its existing Wireless Telecommunications Facility by collocating three (3) new L700 antennas on the roof of the existing building, together with supporting equipment. Two (2) of the proposed antennas will be facade mounted to the existing penthouse, adjacent to the existing T-Mobile antennas and one (1) proposed antenna will be installed within a 24" X 10' tall fiberglass container. The existing Remote Radio Head Units will also be replaced with new units and one (1) existing antenna will be relocated. ~~The Applicants proposal complies with Section 6409 of the Spectrum Act as the collocation of antennas is not a substantial change to the existing base station.~~ Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

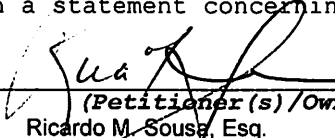
Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange

Article 10.00 Section 10.4 - Special Permit

Article 6409 Section Middle Class Tax Relief Act

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):



(Petitioner(s)/Owner)
Ricardo M. Sousa, Esq.

(Print Name)

Address: One International Place, Suite 3700

 Boston, MA 02110

Tel. No.: 617-456-8123

E-Mail Address: rsousa@princelobel.com

Date: June 22, 2016

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

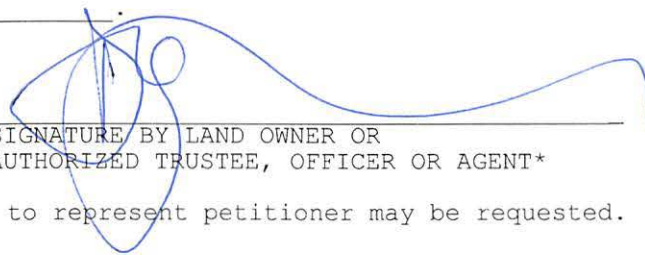
I/We First C-G Limited Partnership, c/o Donald Grossman
(OWNER)

Address: 179 Sidney Street, Cambridge, MA 02139

State that I/We own the property located at 80 Erie Street, Cambridge, which is the subject of this zoning application.

The record title of this property is in the name of _____
First C-G Limited Partnership

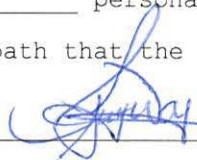
*Pursuant to a deed of duly recorded in the date 1987.01.02, Middlesex South County Registry of Deeds at Book 17749, Page 503; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*


*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Donald Grossman personally appeared before me, this 1st of June, 2016, and made oath that the above statement is true.

 Notary

My commission expires July 28, 2017 (Notary Seal).

 **PING H. WONG**
Notary Public
Commonwealth of Massachusetts
My Commission Expires
July 28, 2017

If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

June 23, 2016

City of Cambridge
Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Re: Eligible Facilities Request pursuant to Section 6409 of the
Spectrum Act and an Application for Special Permit, in the
alternative
Property Address: 80 Erie Street
Assessor's Map 96, Lot 126 (the "Property")
Applicant: T-Mobile Northeast LLC (the "Applicant")

Dear Honorable Members of the Board of Zoning Appeals:

This firm represents T-Mobile Northeast LLC ("T-Mobile") (hereinafter, the "Applicant") in connection with an application for a special permit from the City of Cambridge Board of Zoning Appeals (the "Board"), to modify an existing wireless communications facility on the Property. The Property is located in the Special District (SD-10) zoning district. To the extent that the Board determines that the requirements of Article 4 Section 4.32G.1 of the City of Cambridge Zoning Ordinance (the "Ordinance") apply, the use of the Property for a wireless telecommunications facility is permitted by special permit from the Board¹. The Applicant's proposal satisfies the requirements for the grant of a special permit pursuant to Section 10-43 of the Ordinance.

The Applicant's Proposed Facility (as defined herein) is subject to Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, more commonly known as the "Spectrum Act" (47 U.S.C. § 1455). As such, we respectfully submit that in the event that the Board determines that the application does not comply with the Spectrum Act, the Applicant hereby states that the special permit requirements set forth in the Ordinance are hereby met by the Applicant, and that relief must be granted to the Applicant. The compliance with the Spectrum Act is shown on the Eligible Facilities Request permit application form attached hereto and incorporated herein by reference (the "EFR").

¹ Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

Prince Lobel Tye LLP
One International Place
Suite 3700
Boston, MA 02110
TEL: 617 456 8000
FAX: 617 456 8100

The Applicant seeks to modify its existing wireless communications facility by collocating three (3) new L700 antennas on the roof of the existing building, together with supporting equipment. Two (2) of the proposed antennas will be facade mounted to the existing penthouse, adjacent to the existing T-Mobile antennas and one (1) proposed antenna will be installed within a 24" X 10' tall fiberglass faux chimney. Six (6) of the existing Remote Radio Head Units ("RRH") will also be replaced with new RRH units (the "Proposed Facility"). The proposed antennas and RRH units will be installed on the roof the existing building located at the Property (the "Building"). Further, in an effort to reduce the overall impact of the existing and proposed wireless communications facility, the Applicant is proposing to move one (1) of the existing penthouse facade mounted antennas to the stair head house, adjacent to one (1) of the proposed antennas. The Applicant's facilities are shown on the Plans attached hereto and incorporated herein by reference (the "Plans").

I. Background

The Applicant is licensed by the Federal Communications Commission (the "FCC") to construct and operate a wireless telecommunications network in various markets throughout the country, including the Commonwealth of Massachusetts and in particular in the City of Cambridge. A copy of the Applicant's FCC license is attached hereto. The Applicant is in the process of designing and constructing a telecommunications system to serve all of the Commonwealth of Massachusetts. One of the key design objectives of its systems is to provide seamless coverage. Such a system requires a grid of radio transmitting and receiving links located approximately .5 to 2 miles apart, depending on the location of existing and proposed installations in the surrounding area, the existing use of the network and the existing topography. The radio transmitting and receiving facilities operate on a line-of-sight basis, requiring a clear path from the facility to the user on the ground. This dynamic requires the antennas to be located in a location where the signal is not obstructed or degraded by other buildings or by topographical features such as hills.

II. Project Description

As noted above, the Applicant proposes to modify its existing wireless facility currently operating on the rooftop of the Building by adding three (3) new T-Mobile L700 panel antennas, together with supporting equipment. All new antennas will be installed to be consistent with the original decision of the Board for this facility, dated August 25, 2005 (Case No. 9141) (the "Original Decision"). Consequently, the visual change to the Applicant's existing facility will be de minimus.

After installation, the Proposed Facility will be unmanned and will only require twice a month maintenance visits per carrier. The only utilities required to operate this Proposed Facility are standard 120-volt electrical power as well as telephone service. These are presently in place at the Property. The traffic generated by the Proposed Facility will be approximately two vehicle trips per month by maintenance personnel who will inspect the Proposed Facility to ensure it remains in good working order. The Proposed Facility will comply with all applicable local, state and federal safety codes.

III. Legal Arguments

A. The Applicant complies with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance

Pursuant to Section 4.32(g) of the Ordinance, the Applicant's proposed use for a wireless communications facility in the C-1 and MXR zoning district is permitted by special permit. The Applicant's Proposed Facility further complies with the provisions set forth in Section 4.32(g), footnote 49 of the Ordinance:

- 1. The Board of Zoning Appeal shall consider the scope of or limitations imposed by any license secured from any state or federal agency having jurisdiction over such matters.**

Enclosed herewith is the Applicant's FCC license. The Applicant meets all requirements imposed by governmental authorities having jurisdiction over the Proposed Facility, including by the FCC, to provide wireless communications in this market area.

The intent of the U.S. Congress, when it enacted the Telecommunications Act of 1996 ("TCA") was to institute a framework to promote competition and innovation within the telecommunications industry. Under its license from the FCC, T-Mobile is obligated to provide a reliable "product" (i.e. wireless communications service) to the population of the City of Cambridge. Likewise, consumer expectations for increasingly robust and reliable service requires competing service providers (including T-Mobile) to identify and remedy existing gaps in reliable network coverage, or gaps that result from increasing subscriber voice and data traffic beyond the limits of existing network infrastructure. A carrier's failure to remedy network gaps in a timely fashion can result in a significant loss of subscribers to competing telecommunications carriers. As demonstrated in the Affidavit of Radio Frequency Expert provided by the Applicant and attached hereto, the Proposed Facility and corresponding relief requested are necessary to remedy a gap in reliable service coverage within T-Mobile's existing network infrastructure.

T-Mobile investigated alternative sites in and around the defined geographic area within which its engineers determined that a facility must be located to fill the gap in service coverage and to function effectively within its network of existing and planned facilities. This is an existing location that is being upgraded with new technology to provide the necessary coverage to the subject area of the City of Cambridge. Therefore, the Proposed Facility in the SD-10(H) zoning district is necessary to close the coverage gap that is illustrated on the propagation maps submitted herewith. Consequently, T-Mobile is unable to close a gap in its wireless network without obtaining the requested relief under Section 6409 of the Spectrum act or a Special Permit to modify its existing wireless facility in the C-1 zoning district.

Furthermore, Section 6409(a) of the Spectrum Act mandates that state and local governments "*may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.*" Under Section 6409(a)(2)(A)-(C) an Eligible

Facilities Request is any request to modify a Tower or Base Station that involves “collocations of new Transmission Equipment,” “removal,” or “replacement” of Transmission Equipment.

Because federal law now preempts many of the permit application requirements that this jurisdiction would previously have required from an Applicant, we have provided, on the attached EFR, only the information that federal law allows this jurisdiction to consider when reviewing an EFR. As such, we submit that the Wireless Communications set forth in Section 4.32(g), footnote 49 of the Ordinance, provisions are not applicable to Proposed Facility and relief must be granted pursuant to Section 6409(a) of the Spectrum Act.

- 2. The Board of Zoning Appeal shall consider the extent to which the visual impact of the various elements of the proposed facility is minimized: (1) through the use of existing mechanical elements on the building’s roof or other features of the building as support and background, (2) through the use in materials that in texture and color blend with the materials to which the facilities are attached, or (3) other effective means to reduce the visual impact of the facility on the site.**

The Applicant’s Proposed Facility has no additional visual impact on the existing facility and Building. The Proposed Facility will be installed entirely within the existing faux chimney and as such will have no change on the existing visual conditions of the Building.

As stated above, federal law now preempts many of the permit applications requirements that the Ordinance sets forth. To the extent that this Board determines that the Applicants’ proposed wireless facility must comply with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

- 3. Where it is proposed to erect such a facility in any residential zoning district, the extent to which there is a demonstrated public need for the facility at the proposed locations, the existence of alternative, functionally suitable sites in nonresidential locations, the character of the prevailing uses in the area, and the prevalence of other existing mechanical systems and equipment carried on or above the roof of nearby structures. The Board of Zoning Appeal shall grant a special permit to erect such a facility in a residential zoning district only upon a finding that nonresidential uses predominate in the vicinity of the proposed facility’s location and that the telecommunications facility is not inconsistent with the character that does prevail in the surrounding neighborhood.**

This is not applicable to the Proposed Facility. The Applicant proposes to install its facility within the SD-10(H) zoning district.

B. The Applicant complies with the Special Permit Criteria set forth in Section 10-43 of the Ordinance²:

1. The requirements of the Ordinance can be met:

As provided above, the Applicant has met the requirements set forth in Section 4.32(g), footnote 49 of the Ordinance.

2. Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed installation will not obstruct existing rights-of-way or pedestrian access and will not change the daily conditions of access, egress, traffic, congestion hazard, or character of the neighborhood. The installation will not require the addition of any new parking or loading spaces. The use is passive and will not change the current conditions or appearance surrounding the Building. The facility will not produce any odors, fumes, noise or waste. There will be no need for water, sewer, or other municipal services.

As mentioned above, once modified, the facility will be unmanned and will only require infrequent visits by a technician, typically two times per month for routine diagnostics and/or maintenance, except in cases of emergency. These infrequent visits will not result in any material increase in traffic or disruption to patterns of access or egress that will cause congestion hazards or cause a substantial change in the established neighborhood character. The Applicant's maintenance personnel will make use of the existing access roads and parking at the Building.

3. The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

As described above and illustrated on the attached photograph simulations, the modification of the existing facility will produce a minimal change in the appearance of the Building. The modification of the existing facility will blend with the existing characteristics of the Building and the surrounding neighborhood. Moreover, the proposed installation will not generate any traffic, smoke, dust, heat, glare, discharge of noxious substances, nor will it pollute waterways or groundwater. Conversely, the surrounding properties and general public will benefit from the potential to enjoy improved wireless communication.

² Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

4. Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The operations of the proposed telecommunications facility will not adversely impact the health, safety, and the welfare of the residents of the City of Cambridge. On the contrary, the proposed use will benefit the City and promote the safety and welfare of its residents, businesses and drivers by providing reliable state-of-the-art digital wireless voice and data services. Further, the site will improve the reliability of emergency communications with the police and fire departments by eliminating dropped or blocked calls due to inadequate signal strength or insufficient network capacity to handle call volume, particularly important during emergency situations.

The Proposed Facility will comply with all federal, state and local safety requirements including the standards established by the FCC, Federal Aviation Administration (FAA), the American Standards Institute (ANSI), and the Massachusetts Department of Public Health (MDPH).

Accordingly, the Proposed Facility will not adversely impact the health, safety and/or welfare of the neighborhood or the residents of the City of Cambridge.

5. For other reasons, the proposed installation will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The Proposed Facility is designed to blend with the existing characteristics of the Property, reducing any visual impacts to the surrounding area. Accordingly, the Proposed Facility's design results in a minimal impact on the underlying and adjacent zoning district and is consistent with the Ordinance's intention to allow for less intrusive wireless telecommunications facilities in all districts (other than Open Space), including the BB zoning districts.

As mentioned above, the proposed modifications to the existing installation will not generate any traffic, smoke, dust, heat, glare, discharge or noxious substances, nor will it pollute waterways or groundwater.

6. The new use of the building construction is consistent with the Urban Design Objective set for tin Section 19.30 of the Ordinance:

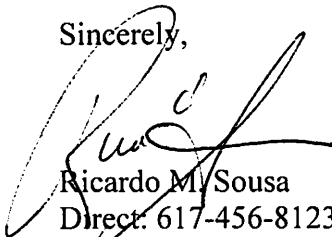
Not Applicable. The Applicant is not proposing to construct a new building or structure.

IV. Summary

The Applicant hereby requests that the Board determine that the City of Cambridge has the right to authorize the construction of the Proposed Facility through the issuance of a Building Permit, pursuant to Section 6409(a) of the Spectrum Act. Or, in the alternative, its proposed modifications to the existing telecommunications facility will not have any adverse effect on the neighborhood within which the Property is located in particular, and the City of Cambridge as a whole. The findings are made in view of the particular characteristics of the Property and of the Applicant's proposed siting and equipment, as detailed above. This Property is the most appropriate location for the installation and operation of the wireless communications facility.

For the foregoing reasons the Applicant respectfully requests that the Board grant the foregoing relief pursuant to Section 6409(a) of the Spectrum Act or, in the alternative, zoning relief in the form of a Special Permit and such other relief as the Board deems necessary to allow the installation and operation of the Applicant's Proposed Facility.

Sincerely,



Ricardo M. Sousa

Direct: 617-456-8123

Email: rsousa@princelobel.com

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast PRESENT USE/OCCUPANCY: _____

LOCATION: 80 Erie Street ZONE: SD-10(H)

PHONE: 617-456-8123 REQUESTED USE/OCCUPANCY: Wireless Telecommunications

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
<u>LOT AREA:</u>	<u>N/A</u>		<u>N/A</u> (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>SIZE OF LOT:</u>	<u>N/A</u>		<u>N/A</u> (min.)
WIDTH			
DEPTH			
<u>Setbacks in Feet:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
FRONT			
REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
RIGHT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>SIZE OF BLDG.:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
HEIGHT			
LENGTH			
WIDTH			
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³⁾</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>NO. OF DWELLING UNITS:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
<u>NO. OF PARKING SPACES:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min./max)
<u>NO. OF LOADING AREAS:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The proposed installation involves a modification of an existing Wireless Telecommunications Facility,

more commonly referred to as a "collocation".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

GENERAL INFORMATION

2016 JUN 24 AM 10:39
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: Variance: _____
and relief pursuant to Section 6409 of the Middle Class Tax Relief Act

PETITIONER: T-Mobile Northeast LLC

PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 80 Erie Street

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: SD-10(H)

REASON FOR PETITION:

- | | |
|--|---------------------|
| _____ Additions | _____ New Structure |
| _____ Change in Use/Occupancy | _____ Parking |
| _____ Conversion to Addi'l Dwelling Unit's | _____ Sign |
| _____ Dormer | _____ Subdivision |
| <input checked="" type="checkbox"/> Other: <u>Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility</u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

The Applicant proposes to modify its existing Wireless Telecommunications Facility by collocating three (3) new L700 antennas on the roof of the existing building, together with supporting equipment. Two (2) of the proposed antennas will be facade mounted to the existing penthouse, adjacent to the existing T-Mobile antennas and one (1) proposed antenna will be installed within a 24" X 10' tall fiberglass container. The existing Remote Radio Head Units will also be replaced with new units and one (1) existing antenna will be relocated. The Applicants proposal complies with Section 6409 of the Spectrum Act as the collocation of antennas is not a substantial change to the existing base station. Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

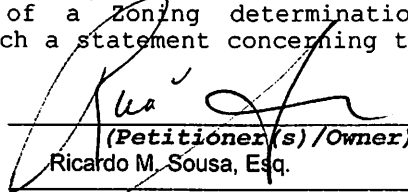
Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange

Article 10.00 Section 10.4 - Special Permit

Article 6409 Section Middle Class Tax Relief Act

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):



(Petitioner(s)/Owner)
Ricardo M. Sousa, Esq.

(Print Name)

Address: One International Place, Suite 3700

Boston, MA 02110

Tel. No.: 617-456-8123

E-Mail Address: rsousa@princelobel.com

Date: June 22, 2016

**APPLICATION FOR RELIEF UNDER
SECTION 6409(a) OF THE SPECTRUM ACT
OR FOR SPECIAL PERMIT
For a Modification to a
WIRELESS COMMUNICATION FACILITY**

T-Mobile Northeast LLC

**c/o Ricardo M. Sousa, Esq.
Prince Lobel Tye LLP
100 Cambridge Street, Suite 2200
Boston, MA 02114**

Applicant

**Property Location:
80 Erie Street
Cambridge, MA 02139
Map 96, Lot 126**

**Prepared by: Ricardo M. Sousa, Esq.
Prince Lobel Tye LLP
100 Cambridge Street, Suite 2200
Boston, MA 02114
Telephone: (617) 456-8123
Facsimile: (617) 456-8100**

June 22, 2016

TABLE OF CONTENTS

**APPLICATION TO THE BOARD OF ZONING APPEALS
For Relief under Section 6409 of the Spectrum Act
Or For a Special Permit
for a
WIRELESS COMMUNICATION FACILITY**

Property located at:

**80 Erie Street
Cambridge, MA 02139**

Map 96, Lot 126

Board of Zoning Appeals Special Permit Application	Tab 1
Zoning Supporting Statement	Tab 2
Plans	Tab 3
Photograph Simulations	Tab 4
FCC License	Tab 5
Previous Decision	Tab 6
Eligible Facilities Request	Tab 7

1

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 80 Erie Street DATE: 6/22/16

PETITIONER OR REPRESENTATIVE: Ricardo M. Sousa, Esq. for T-Mobile Northeast LLC

ADDRESS & PHONE: 100 Cambridge Street, Suite 2200, Boston, MA 02114

BLOCK: 96 LOT: 126

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION. ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>X</u>	<u>X</u>
3 Forms with Original Signatures		
Supporting Statements - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Application Fee (You will receive invoice online)	<u>X</u>	<u>X</u>
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	<u>X</u>	<u>X</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	<u>X</u>	<u>X</u>
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Floor Plans - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Elevations - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	<u>N/A</u>	<u>N/A</u>
Photographs of Property - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	<u>N/A</u>	<u>N/A</u>
<u>FOR SUBDIVISION ALSO INCLUDE:</u> Scanned & 1 set to Zoning		
Proposed Deeds	<u>N/A</u>	<u>N/A</u>
Evidence of Separate Utilities **	<u>N/A</u>	<u>N/A</u>
Proposed Subdivision Plan	<u>N/A</u>	<u>N/A</u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.

It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.

** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

and relief pursuant to Section 6409 of the Middle Class Tax Relief Act

PETITIONER: T-Mobile Northeast LLC

PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 80 Erie Street

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: SD-10(H)

REASON FOR PETITION:

- | | |
|---|---------------------------------|
| <u> </u> Additions | <u> </u> New Structure |
| <u> </u> Change in Use/Occupancy | <u> </u> Parking |
| <u> </u> Conversion to Addi'l Dwelling Unit's | <u> </u> Sign |
| <u> </u> Dormer | <u> </u> Subdivision |
| <u> X </u> Other: <u> Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility </u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

The Applicant proposes to modify its existing Wireless Telecommunications Facility by collocating three (3) new L700 antennas on the roof of the existing building, together with supporting equipment. Two (2) of the proposed antennas will be facade mounted to the existing penthouse, adjacent to the existing T-Mobile antennas and one (1) proposed antenna will be installed within a 24" X 10' tall fiberglass container. The existing Remote Radio Head Units will also be replaced with new units and one (1) existing antenna will be relocated. The Applicants proposal complies with Section 6409 of the Spectrum Act as the collocation of antennas is not a substantial change to the existing base station. Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange

Article 10.00 Section 10.4 - Special Permit

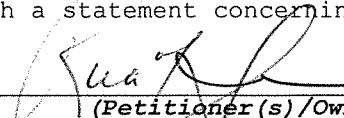
Article 6409 Section Middle Class Tax Relief Act

Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):



(Petitioner(s)/Owner)
Ricardo M. Sousa, Esq.

(Print Name)

Address: One International Place, Suite 3700

 Boston, MA 02110

Tel. No.: 617-456-8123

E-Mail Address: rsousa@princelobel.com

Date: June 22, 2016

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We First C-G Limited Partnership, c/o Donald Grossman
(OWNER)

Address: 179 Sidney Street, Cambridge, MA 02139

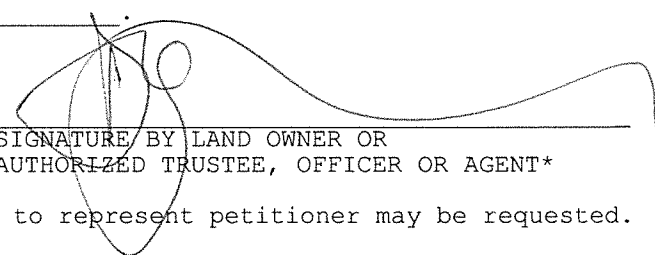
State that I/We own the property located at 80 Erie Street, Cambridge, which is the subject of this zoning application.

The record title of this property is in the name of _____
First C-G Limited Partnership

*Pursuant to a deed of duly recorded in the date 1987.01.02, Middlesex South County Registry of Deeds at Book 17749, Page 503; or

Middlesex Registry District of Land Court, Certificate No. _____


Book _____ Page _____


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*


*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Donald Grossman personally appeared before me, this 1st of June, 2016, and made oath that the above statement is true.

 Notary

My commission expires July 28, 2017 (Notary Seal).

 **PING H. WONG**
Notary Public
Commonwealth of Massachusetts
My Commission Expires
July 28, 2017

If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast PRESENT USE/OCCUPANCY: _____

LOCATION: 80 Erie Street ZONE: SD-10(H)

PHONE: 617-456-8123 REQUESTED USE/OCCUPANCY: Wireless Telecommunications

	<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹
TOTAL GROSS FLOOR AREA:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA:	<u>N/A</u>		<u>N/A</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF LOT:			
WIDTH	<u>N/A</u>		<u>N/A</u> (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
RIGHT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LENGTH			
WIDTH			
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³)	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
NO. OF DWELLING UNITS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The proposed installation involves a modification of an existing Wireless Telecommunications Facility,

more commonly referred to as a "collocation".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

N/A

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

N/A

- C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

N/A

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

N/A

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 80 Erie Street (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

Please see the attached supporting statement.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Please see the attached supporting statement.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Please see the attached supporting statement.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Please see the attached supporting statement.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 80 Erie Street DATE: 6/22/16

PETITIONER OR REPRESENTATIVE: Ricardo M. Sousa, Esq. for T-Mobile Northeast LLC

ADDRESS & PHONE: 100 Cambridge Street, Suite 2200, Boston, MA 02114

BLOCK: 96 LOT: 126

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION. ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>X</u>	<u>X</u>
3 Forms with Original Signatures		
Supporting Statements - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Application Fee (You will receive invoice online)	<u>X</u>	<u>X</u>
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	<u>X</u>	<u>X</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	<u>X</u>	<u>X</u>
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Floor Plans - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Elevations - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	<u>N/A</u>	<u>N/A</u>
Photographs of Property - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	<u>N/A</u>	<u>N/A</u>
<u>FOR SUBDIVISION ALSO INCLUDE:</u> Scanned & 1 set to Zoning		
Proposed Deeds	<u>N/A</u>	<u>N/A</u>
Evidence of Separate Utilities **	<u>N/A</u>	<u>N/A</u>
Proposed Subdivision Plan	<u>N/A</u>	<u>N/A</u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.
It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.
** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: _____ Appeal: _____

and relief pursuant to Section 6409 of the Middle Class Tax Relief Act

PETITIONER: T-Mobile Northeast LLC

PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 80 Erie Street

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: SD-10(H)

REASON FOR PETITION:

_____ Additions _____ New Structure

_____ Change in Use/Occupancy _____ Parking

_____ Conversion to Addi'l Dwelling Unit's _____ Sign

_____ Dormer _____ Subdivision

 X Other: Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility

DESCRIPTION OF PETITIONER'S PROPOSAL:

The Applicant proposes to modify its existing Wireless Telecommunications Facility by collocating three (3) new L700 antennas on the roof of the existing building, together with supporting equipment. Two (2) of the proposed antennas will be facade mounted to the existing penthouse, adjacent to the existing T-Mobile antennas and one (1) proposed antenna will be installed within a 24" X 10' tall fiberglass container. The existing Remote Radio Head Units will also be replaced with new units and one (1) existing antenna will be relocated. The Applicants proposal complies with Section 6409 of the Spectrum Act as the collocation of antennas is not a substantial change to the existing base station. Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange

Article 10.00 Section 10.4 - Special Permit

Article 6409 Section Middle Class Tax Relief Act

Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):

 (Signature)
 (Petitioner(s)/Owner)
 Ricardo M. Sousa, Esq.

 (Print Name)

Address: One International Place, Suite 3700

 Boston, MA 02110

Tel. No.: 617-456-8123

E-Mail Address: rsousa@princelobel.com

Date: June 22, 2016

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We First C-G Limited Partnership, c/o Donald Grossman
(OWNER)

Address: 179 Sidney Street, Cambridge, MA 02139

State that I/We own the property located at 80 Erie Street, Cambridge, which is the subject of this zoning application.

The record title of this property is in the name of _____
First C-G Limited Partnership

*Pursuant to a deed of duly recorded in the date 1987.01.02, Middlesex South County Registry of Deeds at Book 17749, Page 503; or

Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*


*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Donald Grossman personally appeared before me, this 1st of June, 2016, and made oath that the above statement is true.

Notary

My commission expires July 28, 2017 (Notary Seal).

 **PING H. WONG**
Notary Public
Commonwealth of Massachusetts
My Commission Expires
July 28, 2017

If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast PRESENT USE/OCCUPANCY: _____

LOCATION: 80 Erie Street ZONE: SD-10(H)

PHONE: 617-456-8123 REQUESTED USE/OCCUPANCY: Wireless Telecommunications

	<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹
TOTAL GROSS FLOOR AREA:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA:	<u>N/A</u>		<u>N/A</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF LOT:			
WIDTH	<u>N/A</u>		<u>N/A</u> (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
RIGHT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LENGTH			
WIDTH			
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³)	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
NO. OF DWELLING UNITS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The proposed installation involves a modification of an existing Wireless Telecommunications Facility,

more commonly referred to as a "collocation".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

N/A

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

N/A

- C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

N/A

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

N/A

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 80 Erie Street (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

Please see the attached supporting statement.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Please see the attached supporting statement.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Please see the attached supporting statement.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Please see the attached supporting statement.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 80 Erie Street DATE: 6/22/16

PETITIONER OR REPRESENTATIVE: Ricardo M. Sousa, Esq. for T-Mobile Northeast LLC

ADDRESS & PHONE: 100 Cambridge Street, Suite 2200, Boston, MA 02114

BLOCK: 96 LOT: 126

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION. ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>X</u>	<u>X</u>
3 Forms with Original Signatures		
Supporting Statements - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Application Fee (You will receive invoice online)	<u>X</u>	<u>X</u>
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	<u>X</u>	<u>X</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	<u>X</u>	<u>X</u>
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Floor Plans - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Elevations - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	<u>N/A</u>	<u>N/A</u>
Photographs of Property - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	<u>N/A</u>	<u>N/A</u>
<u>FOR SUBDIVISION ALSO INCLUDE:</u> Scanned & 1 set to Zoning		
Proposed Deeds	<u>N/A</u>	<u>N/A</u>
Evidence of Separate Utilities **	<u>N/A</u>	<u>N/A</u>
Proposed Subdivision Plan	<u>N/A</u>	<u>N/A</u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.
It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.
** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM
GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: _____ Appeal: _____
and relief pursuant to Section 6409 of the Middle Class Tax Relief Act

PETITIONER: T-Mobile Northeast LLC

PETITIONER'S ADDRESS: Prince Lobel Tye, LLP, Attn. Ricardo M. Sousa, Esq., 100 Cambridge Street, Suite 2200, Boston, MA

LOCATION OF PROPERTY: 80 Erie Street

TYPE OF OCCUPANCY: Telecommunications ZONING DISTRICT: SD-10(H)

REASON FOR PETITION:

- | | |
|--|---------------------|
| _____ Additions | _____ New Structure |
| _____ Change in Use/Occupancy | _____ Parking |
| _____ Conversion to Addi'l Dwelling Unit's | _____ Sign |
| _____ Dormer | _____ Subdivision |
| <input checked="" type="checkbox"/> Other: <u>Section 6409(a) of the Spectrum Act relief for Special Permit for the collocation of a Wireless Facility</u> | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

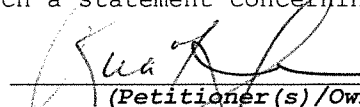
The Applicant proposes to modify its existing Wireless Telecommunications Facility by collocating three (3) new L700 antennas on the roof of the existing building, together with supporting equipment. Two (2) of the proposed antennas will be facade mounted to the existing penthouse, adjacent to the existing T-Mobile antennas and one (1) proposed antenna will be installed within a 24" X 10' tall fiberglass container. The existing Remote Radio Head Units will also be replaced with new units and one (1) existing antenna will be relocated. The Applicants proposal complies with Section 6409 of the Spectrum Act as the collocation of antennas is not a substantial change to the existing base station. Moreover, the Applicants proposal complies with Section 4.32 and 10.4 of the Cambridge Zoning Code.

SECTIONS OF ZONING ORDINANCE CITED:

Article 4.00 Section 4.32 (g)(1) Utilities - Telephone Exchange
Article 10.00 Section 10.4 - Special Permit
Article 6409 Section Middle Class Tax Relief Act

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):



(Petitioner(s)/Owner)
Ricardo M. Sousa, Esq.

(Print Name)

Address: One International Place, Suite 3700
Boston, MA 02110
Tel. No.: 617-456-8123
E-Mail Address: rsousa@princelobel.com

Date: June 22, 2016

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We First C-G Limited Partnership, c/o Donald Grossman
(OWNER)

Address: 179 Sidney Street, Cambridge, MA 02139

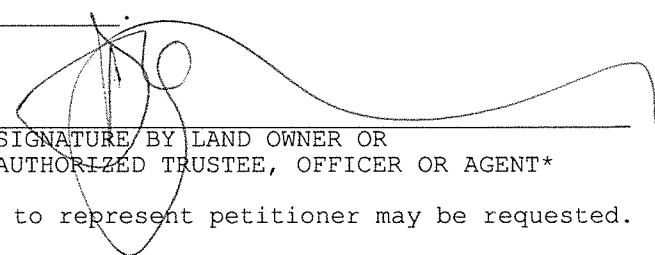
State that I/We own the property located at 80 Erie Street, Cambridge, which is the subject of this zoning application.

The record title of this property is in the name of _____
First C-G Limited Partnership

*Pursuant to a deed of duly recorded in the date 1987.01.02, Middlesex South County Registry of Deeds at Book 17749, Page 503; or

Middlesex Registry District of Land Court, Certificate No. _____


Book _____ Page _____


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.


Commonwealth of Massachusetts, County of Middlesex

The above-name Donald Grossman personally appeared before me, this 1st of June, 2016, and made oath that the above statement is true.



Notary

My commission expires July 28, 2017 (Notary Seal).

 **PING H. WONG**
Notary Public
Commonwealth of Massachusetts
My Commission Expires
July 28, 2017

If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: T-Mobile Northeast **PRESENT USE/OCCUPANCY:** _____

LOCATION: 80 Erie Street **ZONE:** SD-10(H)

PHONE: 617-456-8123 **REQUESTED USE/OCCUPANCY:** Wireless Telecommunications

	<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹
TOTAL GROSS FLOOR AREA:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA:	<u>N/A</u>		<u>N/A</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF LOT:			
WIDTH	<u>N/A</u>		<u>N/A</u> (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
REAR	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
LEFT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
RIGHT SIDE	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
LENGTH			
WIDTH			
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³)	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
NO. OF DWELLING UNITS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>No Change</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The proposed installation involves a modification of an existing Wireless Telecommunications Facility,

more commonly referred to as a "collocation".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

N/A

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

N/A

- C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

N/A

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

N/A

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 80 Erie Street (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

Please see the attached supporting statement.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Please see the attached supporting statement.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Please see the attached supporting statement.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Please see the attached supporting statement.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

2

June 23, 2016

City of Cambridge
Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Re: Eligible Facilities Request pursuant to Section 6409 of the
Spectrum Act and an Application for Special Permit, in the
alternative
Property Address: 80 Erie Street
Assessor's Map 96, Lot 126 (the "Property")
Applicant: T-Mobile Northeast LLC (the "Applicant")

Dear Honorable Members of the Board of Zoning Appeals:

This firm represents T-Mobile Northeast LLC ("T-Mobile") (hereinafter, the "Applicant") in connection with an application for a special permit from the City of Cambridge Board of Zoning Appeals (the "Board"), to modify an existing wireless communications facility on the Property. The Property is located in the Special District (SD-10) zoning district. To the extent that the Board determines that the requirements of Article 4 Section 4.32G.1 of the City of Cambridge Zoning Ordinance (the "Ordinance") apply, the use of the Property for a wireless telecommunications facility is permitted by special permit from the Board¹. The Applicant's proposal satisfies the requirements for the grant of a special permit pursuant to Section 10-43 of the Ordinance.

The Applicant's Proposed Facility (as defined herein) is subject to Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, more commonly known as the "Spectrum Act" (47 U.S.C. § 1455). As such, we respectfully submit that in the event that the Board determines that the application does not comply with the Spectrum Act, the Applicant hereby states that the special permit requirements set forth in the Ordinance are hereby met by the Applicant, and that relief must be granted to the Applicant. The compliance with the Spectrum Act is shown on the Eligible Facilities Request permit application form attached hereto and incorporated herein by reference (the "EFR").

¹ Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

Prince Lobel Tye LLP
One International Place
Suite 3700
Boston, MA 02110
TEL: 617 456 8000
FAX: 617 456 8100

The Applicant seeks to modify its existing wireless communications facility by collocating three (3) new L700 antennas on the roof of the existing building, together with supporting equipment. Two (2) of the proposed antennas will be facade mounted to the existing penthouse, adjacent to the existing T-Mobile antennas and one (1) proposed antenna will be installed within a 24" X 10' tall fiberglass faux chimney. Six (6) of the existing Remote Radio Head Units ("RRH") will also be replaced with new RRH units (the "Proposed Facility"). The proposed antennas and RRH units will be installed on the roof the existing building located at the Property (the "Building"). Further, in an effort to reduce the overall impact of the existing and proposed wireless communications facility, the Applicant is proposing to move one (1) of the existing penthouse facade mounted antennas to the stair head house, adjacent to one (1) of the proposed antennas. The Applicant's facilities are shown on the Plans attached hereto and incorporated herein by reference (the "Plans").

I. Background

The Applicant is licensed by the Federal Communications Commission (the "FCC") to construct and operate a wireless telecommunications network in various markets throughout the country, including the Commonwealth of Massachusetts and in particular in the City of Cambridge. A copy of the Applicant's FCC license is attached hereto. The Applicant is in the process of designing and constructing a telecommunications system to serve all of the Commonwealth of Massachusetts. One of the key design objectives of its systems is to provide seamless coverage. Such a system requires a grid of radio transmitting and receiving links located approximately .5 to 2 miles apart, depending on the location of existing and proposed installations in the surrounding area, the existing use of the network and the existing topography. The radio transmitting and receiving facilities operate on a line-of-sight basis, requiring a clear path from the facility to the user on the ground. This dynamic requires the antennas to be located in a location where the signal is not obstructed or degraded by other buildings or by topographical features such as hills.

II. Project Description

As noted above, the Applicant proposes to modify its existing wireless facility currently operating on the rooftop of the Building by adding three (3) new T-Mobile L700 panel antennas, together with supporting equipment. All new antennas will be installed to be consistent with the original decision of the Board for this facility, dated August 25, 2005 (Case No. 9141) (the "Original Decision"). Consequently, the visual change to the Applicant's existing facility will be de minimus.

After installation, the Proposed Facility will be unmanned and will only require twice a month maintenance visits per carrier. The only utilities required to operate this Proposed Facility are standard 120-volt electrical power as well as telephone service. These are presently in place at the Property. The traffic generated by the Proposed Facility will be approximately two vehicle trips per month by maintenance personnel who will inspect the Proposed Facility to ensure it remains in good working order. The Proposed Facility will comply with all applicable local, state and federal safety codes.

III. Legal Arguments

A. The Applicant complies with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance

Pursuant to Section 4.32(g) of the Ordinance, the Applicant’s proposed use for a wireless communications facility in the C-1 and MXR zoning district is permitted by special permit. The Applicant’s Proposed Facility further complies with the provisions set forth in Section 4.32(g), footnote 49 of the Ordinance:

1. **The Board of Zoning Appeal shall consider the scope of or limitations imposed by any license secured from any state or federal agency having jurisdiction over such matters.**

Enclosed herewith is the Applicant’s FCC license. The Applicant meets all requirements imposed by governmental authorities having jurisdiction over the Proposed Facility, including by the FCC, to provide wireless communications in this market area.

The intent of the U.S. Congress, when it enacted the Telecommunications Act of 1996 (“TCA”) was to institute a framework to promote competition and innovation within the telecommunications industry. Under its license from the FCC, T-Mobile is obligated to provide a reliable “product” (i.e. wireless communications service) to the population of the City of Cambridge. Likewise, consumer expectations for increasingly robust and reliable service requires competing service providers (including T-Mobile) to identify and remedy existing gaps in reliable network coverage, or gaps that result from increasing subscriber voice and data traffic beyond the limits of existing network infrastructure. A carrier’s failure to remedy network gaps in a timely fashion can result in a significant loss of subscribers to competing telecommunications carriers. As demonstrated in the Affidavit of Radio Frequency Expert provided by the Applicant and attached hereto, the Proposed Facility and corresponding relief requested are necessary to remedy a gap in reliable service coverage within T-Mobile’s existing network infrastructure.

T-Mobile investigated alternative sites in and around the defined geographic area within which its engineers determined that a facility must be located to fill the gap in service coverage and to function effectively within its network of existing and planned facilities. This is an existing location that is being upgraded with new technology to provide the necessary coverage to the subject area of the City of Cambridge. Therefore, the Proposed Facility in the SD-10(H) zoning district is necessary to close the coverage gap that is illustrated on the propagation maps submitted herewith. Consequently, T-Mobile is unable to close a gap in its wireless network without obtaining the requested relief under Section 6409 of the Spectrum act or a Special Permit to modify its existing wireless facility in the C-1 zoning district.

Furthermore, Section 6409(a) of the Spectrum Act mandates that state and local governments “*may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.*” Under Section 6409(a)(2)(A)-(C) an Eligible

Facilities Request is any request to modify a Tower or Base Station that involves “collocations of new Transmission Equipment,” “removal,” or “replacement” of Transmission Equipment.

Because federal law now preempts many of the permit application requirements that this jurisdiction would previously have required from an Applicant, we have provided, on the attached EFR, only the information that federal law allows this jurisdiction to consider when reviewing an EFR. As such, we submit that the Wireless Communications set forth in Section 4.32(g), footnote 49 of the Ordinance, provisions are not applicable to Proposed Facility and relief must be granted pursuant to Section 6409(a) of the Spectrum Act.

2. **The Board of Zoning Appeal shall consider the extent to which the visual impact of the various elements of the proposed facility is minimized: (1) through the use of existing mechanical elements on the building’s roof or other features of the building as support and background, (2) through the use in materials that in texture and color blend with the materials to which the facilities are attached, or (3) other effective means to reduce the visual impact of the facility on the site.**

The Applicant’s Proposed Facility has no additional visual impact on the existing facility and Building. The Proposed Facility will be installed entirely within the existing faux chimney and as such will have no change on the existing visual conditions of the Building.

As stated above, federal law now preempts many of the permit applications requirements that the Ordinance sets forth. To the extent that this Board determines that the Applicants’ proposed wireless facility must comply with the Wireless Communications provisions set forth in Section 4.32(g), footnote 49 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

3. **Where it is proposed to erect such a facility in any residential zoning district, the extent to which there is a demonstrated public need for the facility at the proposed locations, the existence of alternative, functionally suitable sites in nonresidential locations, the character of the prevailing uses in the area, and the prevalence of other existing mechanical systems and equipment carried on or above the roof of nearby structures. The Board of Zoning Appeal shall grant a special permit to erect such a facility in a residential zoning district only upon a finding that nonresidential uses predominate in the vicinity of the proposed facility’s location and that the telecommunications facility is not inconsistent with the character that does prevail in the surrounding neighborhood.**

This is not applicable to the Proposed Facility. The Applicant proposes to install its facility within the SD-10(H) zoning district.

B. The Applicant complies with the Special Permit Criteria set forth in Section 10-43 of the Ordinance²:

1. The requirements of the Ordinance can be met:

As provided above, the Applicant has met the requirements set forth in Section 4.32(g), footnote 49 of the Ordinance.

2. Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed installation will not obstruct existing rights-of-way or pedestrian access and will not change the daily conditions of access, egress, traffic, congestion hazard, or character of the neighborhood. The installation will not require the addition of any new parking or loading spaces. The use is passive and will not change the current conditions or appearance surrounding the Building. The facility will not produce any odors, fumes, noise or waste. There will be no need for water, sewer, or other municipal services.

As mentioned above, once modified, the facility will be unmanned and will only require infrequent visits by a technician, typically two times per month for routine diagnostics and/or maintenance, except in cases of emergency. These infrequent visits will not result in any material increase in traffic or disruption to patterns of access or egress that will cause congestion hazards or cause a substantial change in the established neighborhood character. The Applicant's maintenance personnel will make use of the existing access roads and parking at the Building.

3. The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

As described above and illustrated on the attached photograph simulations, the modification of the existing facility will produce a minimal change in the appearance of the Building. The modification of the existing facility will blend with the existing characteristics of the Building and the surrounding neighborhood. Moreover, the proposed installation will not generate any traffic, smoke, dust, heat, glare, discharge of noxious substances, nor will it pollute waterways or groundwater. Conversely, the surrounding properties and general public will benefit from the potential to enjoy improved wireless communication.

² Pursuant to Section 6409(a) of the Spectrum Act, state and local governments "may not deny and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." As such, the Applicant submits that they need not apply for a special permit from the board. To the extent that this Board determines that the Applicants' proposed wireless facility must comply with special permit requirements set forth in Section 10-43 of the Ordinance, the Applicants submit that they have complied with said requirements, without waiving the argument that such relief is not required.

4. Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The operations of the proposed telecommunications facility will not adversely impact the health, safety, and the welfare of the residents of the City of Cambridge. On the contrary, the proposed use will benefit the City and promote the safety and welfare of its residents, businesses and drivers by providing reliable state-of-the-art digital wireless voice and data services. Further, the site will improve the reliability of emergency communications with the police and fire departments by eliminating dropped or blocked calls due to inadequate signal strength or insufficient network capacity to handle call volume, particularly important during emergency situations.

The Proposed Facility will comply with all federal, state and local safety requirements including the standards established by the FCC, Federal Aviation Administration (FAA), the American Standards Institute (ANSI), and the Massachusetts Department of Public Health (MDPH).

Accordingly, the Proposed Facility will not adversely impact the health, safety and/or welfare of the neighborhood or the residents of the City of Cambridge.

5. For other reasons, the proposed installation will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The Proposed Facility is designed to blend with the existing characteristics of the Property, reducing any visual impacts to the surrounding area. Accordingly, the Proposed Facility's design results in a minimal impact on the underlying and adjacent zoning district and is consistent with the Ordinance's intention to allow for less intrusive wireless telecommunications facilities in all districts (other than Open Space), including the BB zoning districts.

As mentioned above, the proposed modifications to the existing installation will not generate any traffic, smoke, dust, heat, glare, discharge or noxious substances, nor will it pollute waterways or groundwater.

6. The new use of the building construction is consistent with the Urban Design Objective set for tin Section 19.30 of the Ordinance:

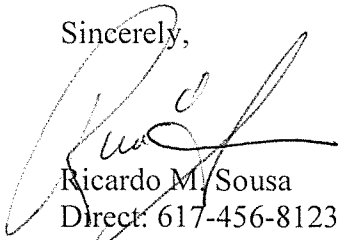
Not Applicable. The Applicant is not proposing to construct a new building or structure.

IV. Summary

The Applicant hereby requests that the Board determine that the City of Cambridge has the right to authorize the construction of the Proposed Facility through the issuance of a Building Permit, pursuant to Section 6409(a) of the Spectrum Act. Or, in the alternative, its proposed modifications to the existing telecommunications facility will not have any adverse effect on the neighborhood within which the Property is located in particular, and the City of Cambridge as a whole. The findings are made in view of the particular characteristics of the Property and of the Applicant's proposed siting and equipment, as detailed above. This Property is the most appropriate location for the installation and operation of the wireless communications facility.

For the foregoing reasons the Applicant respectfully requests that the Board grant the foregoing relief pursuant to Section 6409(a) of the Spectrum Act or, in the alternative, zoning relief in the form of a Special Permit and such other relief as the Board deems necessary to allow the installation and operation of the Applicant's Proposed Facility.

Sincerely,



Ricardo M. Sousa
Direct: 617-456-8123
Email: rsousa@princelobel.com

3

SITE NAME: BS447/179 SIDNEY STREET

80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

SITE NUMBER: 4BS0447F

RF DESIGN GUIDELINE: 704Au

BASED ON RFDS DATED: 10/29/15

T-MOBILE TECHNICIAN SITE SAFETY NOTES

LOCATION	SPECIAL RESTRICTIONS
SECTOR A: ANTENNA/TMA/RRH	NO ACCESS
SECTOR B: ANTENNA/TMA/RRH	NO ACCESS
SECTOR C: ANTENNA/TMA/RRH	NO ACCESS
GPS/LMU:	N/A
RADIO CABINETS:	UNRESTRICTED
PPC DISCONNECT:	UNRESTRICTED
MAIN CIRCUIT D/C:	UNRESTRICTED
NIU/T DEMARC:	UNRESTRICTED
OTHER/SPECIAL:	NONE

T-MOBILE NORTHEAST LLC

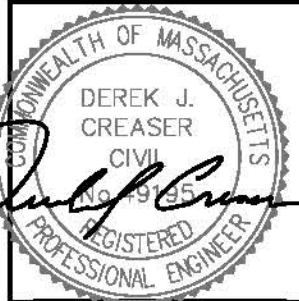
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 284-2700
FAX: (508) 284-2893



1897 ANNAPOLIS EXCHANGE PKWY
SUITE 200
ANNAPOLIS, MD 21401



1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 5090
N. ANDOVER, MA 01845
TEL: (978) 557-9555
FAX: (978) 334-5855



CHECKED BY: AT

APPROVED BY: DJC

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SE
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	02/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
4BS0447F

SITE NAME:
BS447/179 SIDNEY
STREET
SITE ADDRESS:
80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

SHEET TITLE

TITLE SHEET

SHEET NUMBER

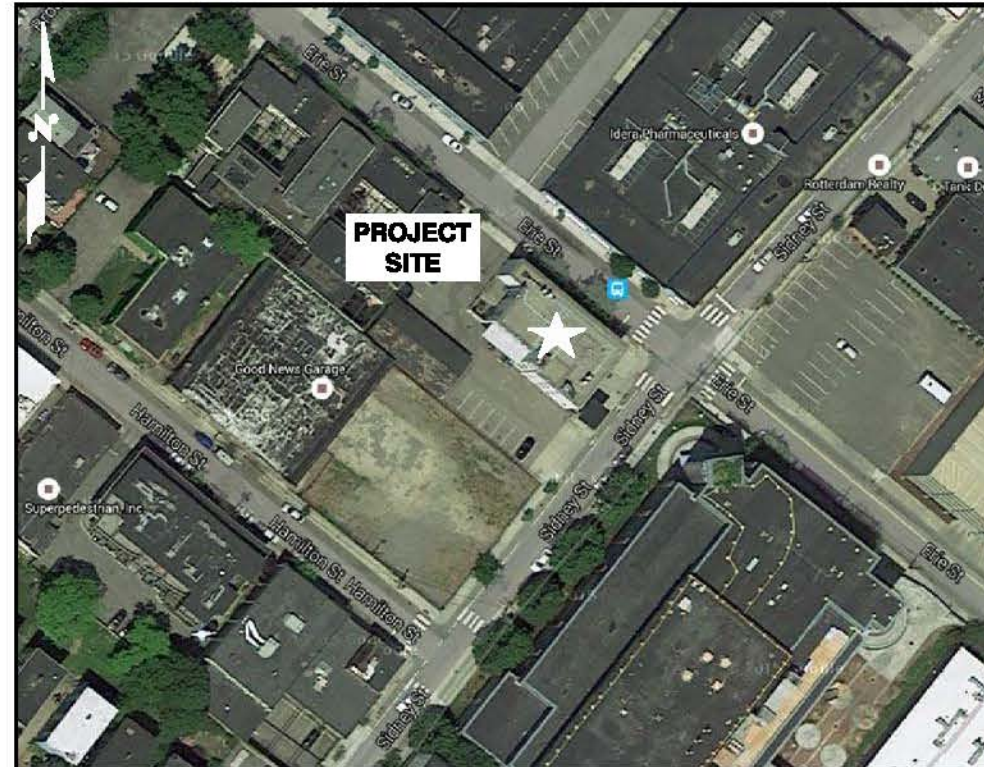
T-1

GENERAL NOTES

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF T-MOBILE. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.

THE FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE T-MOBILE NORTHEAST, LLC REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



PROJECT SUMMARY

SCOPE OF WORK: UNMANNED TELECOMMUNICATIONS FACILITY T-MOBILE EQUIPMENT MODERNIZATION

ZONING JURISDICTION: (CITY OF CAMBRIDGE) BASED ON INFORMATION PROVIDED BY T-MOBILE, THIS TELECOMMUNICATIONS EQUIPMENT DEPLOYMENT IS AN ELIGIBLE FACILITY UNDER THE TAX RELIEF ACT OF 2012, 47 USC 1455(A), AND IS SUBJECT TO AN EXPEDITED ELIGIBLE FACILITIES REQUEST/REVIEW AND ZONING PRE-EMPTION FOR LOCAL DISCRETIONARY PERMITS (VARIANCE, SPECIAL PERMIT, SITE PLAN REVIEW).

SITE ADDRESS: 80 ERIE STREET
CAMBRIDGE, MA 02139

LATITUDE: 42° 21' 29.87" N

LONGITUDE: 71° 06' 18.00" W

JURISDICTION: NATIONAL, STATE & LOCAL CODES OR ORDINANCES

CURRENT USE: TELECOMMUNICATIONS FACILITY

PROPOSED USE: TELECOMMUNICATIONS FACILITY

APPROVALS

PROJECT MANAGER	DATE
CONSTRUCTION	DATE
RF ENGINEERING	DATE
ZONING / SITE ACQ.	DATE
OPERATIONS	DATE
LANDLORD	DATE



CALL
BEFORE YOU DIG
CALL TOLL FREE 1-888-DIG-SAFE
OR CALL 811

UNDERGROUND SERVICE ALERT

DRAWING INDEX

SHEET NO.	DESCRIPTION	REV.
T-1	TITLE SHEET	4
GN-1	GENERAL NOTES	4
C-1	SITE PLAN	4
A-1	ROOF & EQUIPMENT PLAN	4
A-2	EXISTING/PROPOSED ANTENNA PLANS	4
A-3	ELEVATION	4
A-4	DETAILS	4
A-5	DETAILS	4
A-6	PENETRATION DETAILS	4
S-1	STRUCTURAL NOTES	4
S-2	STRUCTURAL DETAILS	4
S-3	STRUCTURAL DETAILS	4
E-1	ONE-LINE DIAGRAM AND GROUNDING DETAILS	4

GROUNDING NOTES

1. THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AHJ), THE SITE-SPECIFIC (UL, LPI, OR NFPA) LIGHTING PROTECTION CODE, AND GENERAL COMPLIANCE WITH TELCORDIA AND TIA GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE CONTRACTOR FOR RESOLUTION.
2. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
3. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND B1) FOR NEW GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
4. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
5. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS 2 AWG STRANDED COPPER FOR OUTDOOR BTS.
6. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
7. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
8. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
11. METAL CONDUIT SHALL BE MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWS COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
12. ALL NEW STRUCTURES WITH A FOUNDATION AND/OR FOOTING HAVING 20 FT. OR MORE OF 1/2 IN. OR GREATER ELECTRICALLY CONDUCTIVE REINFORCING STEEL MUST HAVE IT BONDED TO THE GROUND RING USING AN EXOTHERMIC WELD CONNECTION USING #2 AWG SOLID BARE TINNED COPPER GROUND WIRE, PER NEC 250.50

GENERAL NOTES

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR - SMARTLINK
 SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
 OWNER - T-MOBILE
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. "KITTING LIST" SUPPLIED WITH THE BID PACKAGE IDENTIFIES ITEMS THAT WILL BE SUPPLIED BY CONTRACTOR. ITEMS NOT INCLUDED IN THE BILL OF MATERIALS AND KITTING LIST SHALL BE SUPPLIED BY THE SUBCONTRACTOR.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
9. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
10. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
12. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
13. ALL CONCRETE REPAIR WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301.

14. ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
15. ALL STRUCTURAL STEEL WORK SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS. ALL STRUCTURAL STEEL SHALL BE ASTM A36 (Fy = 36 ksi) UNLESS OTHERWISE NOTED. PIPES SHALL BE ASTM A53 TYPE E (Fy = 36 ksi). ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED. TOUCHUP ALL SCRATCHES AND OTHER MARKS IN THE FIELD AFTER STEEL IS ERECTED USING A COMPATIBLE ZINC RICH PAINT.
16. CONSTRUCTION SHALL COMPLY WITH UMS SPECIFICATIONS AND "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF T-MOBILE SITES."
17. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
18. THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
19. SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
20. APPLICABLE BUILDING CODES:
 SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
 BUILDING CODE: MA STATE BUILDING CODE 780 CMR 8TH EDITION
 ELECTRICAL CODE: REFER TO ELECTRICAL DRAWINGS
 LIGHTENING CODE: REFER TO ELECTRICAL DRAWINGS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE;

AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION;

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL

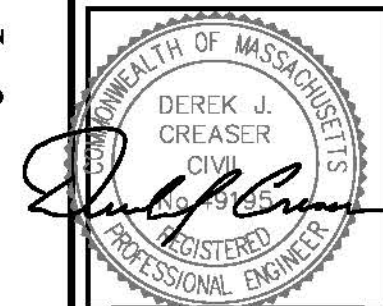
ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES; REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC ELECTRICAL STANDARDS.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

ABBREVIATIONS					
AGL	ABOVE GRADE LEVEL	EQ	EQUAL	REQ	REQUIRED
AWG	AMERICAN WIRE GAUGE	GC	GENERAL CONTRACTOR	RF	RADIO FREQUENCY
BBU	BATTERY BACKUP UNIT	GRC	GALVANIZED RIGID CONDUIT	TBD	TO BE DETERMINED
BTCW	BARE TINNED SOLID COPPER WIRE	MGB	MASTER GROUND BAR	TBR	TO BE REMOVED
BGR	BURIED GROUND RING	MIN	MINIMUM	TBRR	TO BE REMOVED AND REPLACED
BTS	BASE TRANSCIVER STATION	P	PROPOSED	TYP	TYPICAL
E	EXISTING	NTS	NOT TO SCALE	UG	UNDER GROUND
EGB	EQUIPMENT GROUND BAR	RAD	RADIATION CENTER LINE (ANTENNA)	VIF	VERIFY IN FIELD
EGR	EQUIPMENT GROUND RING	REF	REFERENCE		

T-MOBILE NORTHEAST LLC

15 COMMERCE WAY, SUITE B
 NORTON, MA 02746
 OFFICE (508) 286-2700
 FAX (508) 286-2893



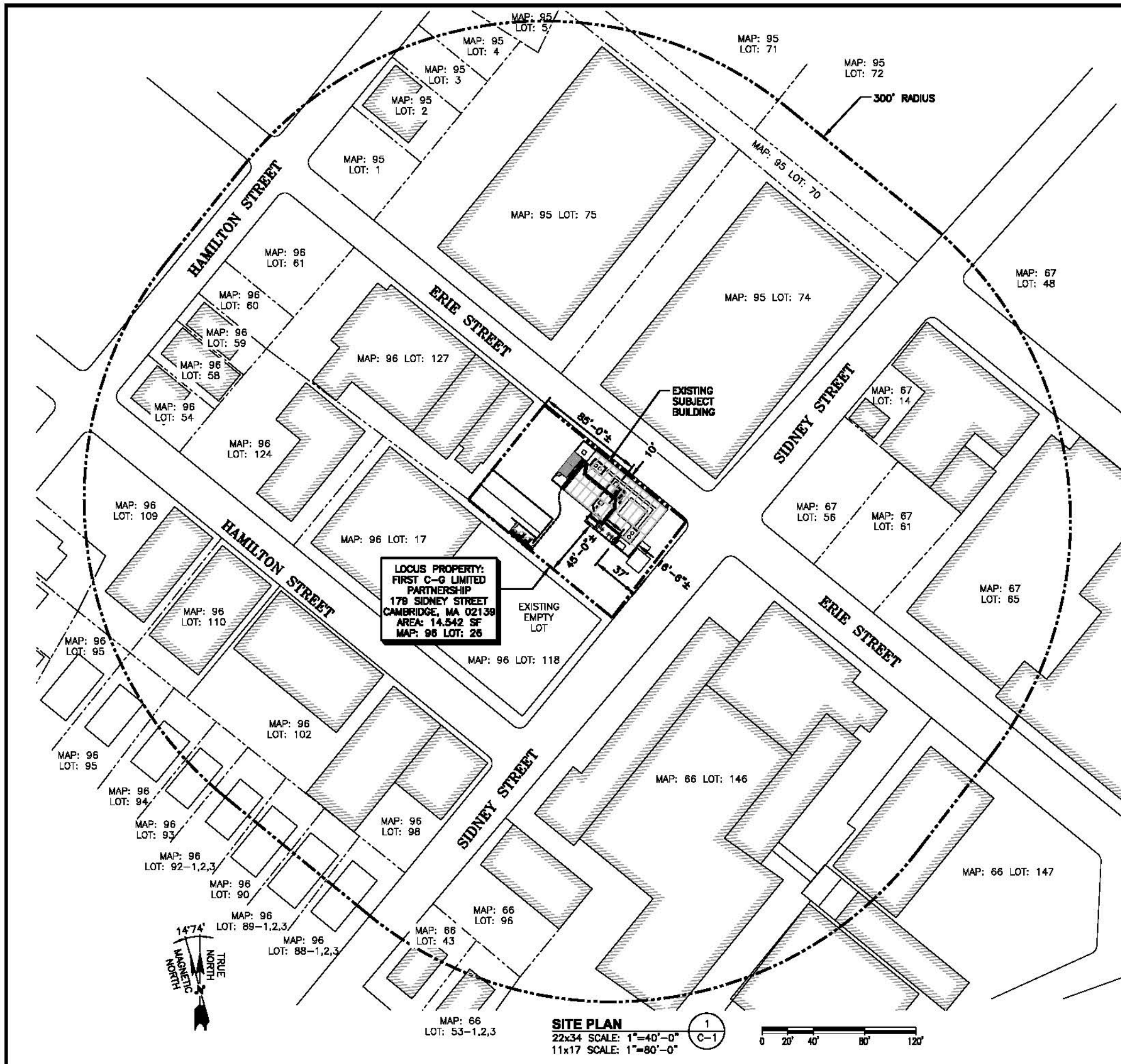
CHECKED BY: AT
 APPROVED BY: DJC

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SG
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	02/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
4BS0447F
 SITE NAME:
BS447/179 SIDNEY STREET
 SITE ADDRESS:
 80 ERIE STREET
 CAMBRIDGE, MA 02139
 MIDDLESEX COUNTY

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1



LOCUS PROPERTY:
FIRST C-G LIMITED PARTNERSHIP
 179 SIDNEY STREET
 CAMBRIDGE, MA 02139
 AREA: 14,542 SF
 MAP: 96 LOT: 26

SITE PLAN
 22x34 SCALE: 1"=40'-0"
 11x17 SCALE: 1"=80'-0"

ZONING INFORMATION

ZONING DISTRICT: SD-10(H) SPECIAL DISTRICT 10(H)

DIMENSION REQUIREMENTS:	REQUIRED	PROPOSED±
EQUIPMENT SETBACKS:		
FRONT YARD SETBACK:	MIN. 10'	10' & 37'
SIDE YARD SETBACK:	MIN. 25'	45' & 85'
REAR YARD SETBACK:	MIN. 25'	N/A

LEGEND

	PROPERTY LINE-SUBJECT PARCEL
	PROPERTY LINE-ABUTTERS
	TOWN BOUNDARY LINE
	PARCEL ID

NOTE:
 ABUTTERS MAP PREPARED BY HUDSON DESIGN GROUP, LLC FROM CITY OF CAMBRIDGE, ASSESSORS DATA AND OTHER SOURCES AND DOES NOT REPRESENT AN ACTUAL FIELD OR BOUNDARY SURVEY.

T-MOBILE NORTHEAST LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE (508) 286-2700
 FAX (508) 286-2895

1897 ANNAPOLIS EXCHANGE PKWY
 SUITE 200
 ANNAPOLIS, MD 21401

1600 ORGOOD STREET
 BUILDING 20 NORTH, SUITE 3090
 N. ANDOVER, MA 01845
 TEL: (978) 557-5553
 FAX: (978) 536-5584

COMMONWEALTH OF MASSACHUSETTS
 DEREK J. GREASER
 CIVIL
 No. 9195
 REGISTERED
 PROFESSIONAL ENGINEER

CHECKED BY: AT
 APPROVED BY: DJC

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SG
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	02/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
4BS0447F
 SITE NAME:
BS447/179 SIDNEY STREET
 SITE ADDRESS:
 80 ERIE STREET
 CAMBRIDGE, MA 02139
 MIDDLESEX COUNTY

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1

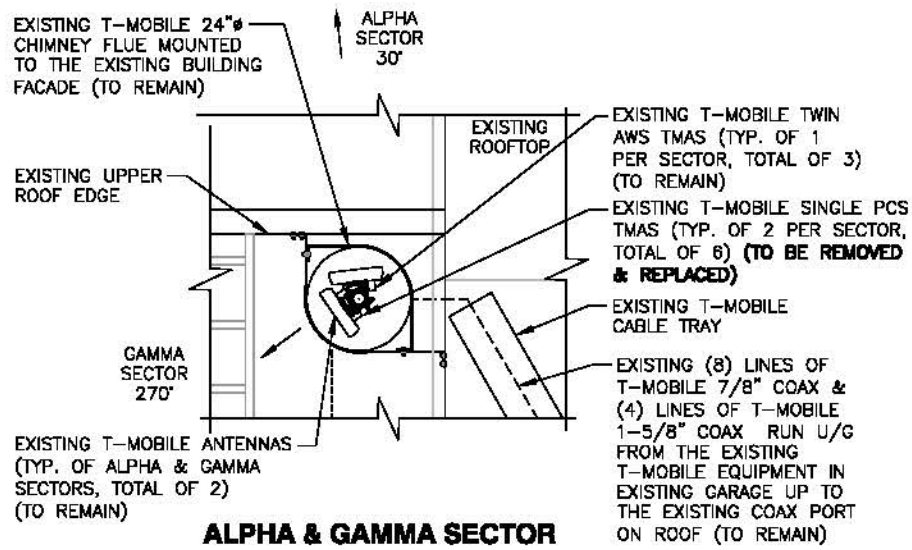
NOTE:
REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: FEBRUARY 12, 2016, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

NOTE:
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

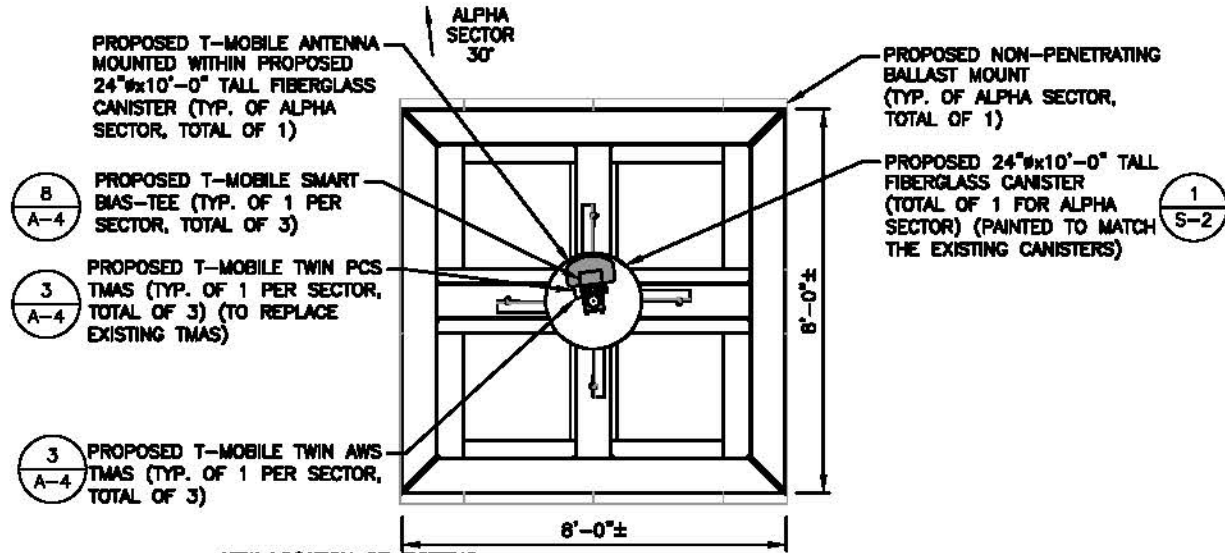
NOTE:
ALL PROPOSED ANTENNAS/CABLES & HARDWARE TO BE PAINTED TO MATCH EXISTING PENTHOUSE.

EXISTING ANTENNA SCHEDULE				
SECTOR	MAKE	MODEL#	SIZE (INCHES)	AZIMUTH
ALPHA:	RFS	APX16DWV_16DWVS	55.9x13.3x3.15	30°
BETA:	RFS	APX16DWV_16DWVS	55.9x13.3x3.15	195°
GAMMA:	RFS	APX18DWV_18DWVS	55.9x13.3x3.15	270°

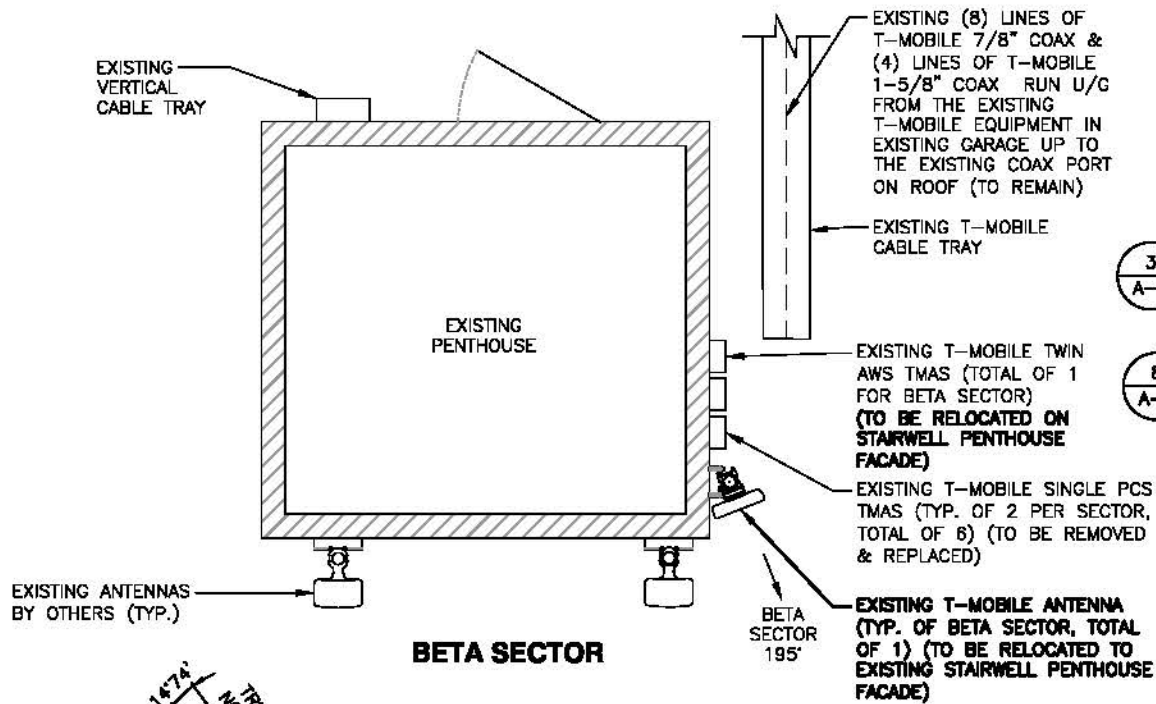
PROPOSED ANTENNA SCHEDULE				
SECTOR	MAKE	MODEL#	SIZE (INCHES)	AZIMUTH
ALPHA:	RFS	APX16DWV_16DWVS	55.9x13.3x3.15	30°
	COMMSCOPE	DBXNH_6565B_A2M	72.7x11.9x7.1	30°
BETA:	RFS	APX16DWV_16DWVS	55.9x13.3x3.15	195°
	COMMSCOPE	DBXNH_6565B_A2M	72.7x11.9x7.1	195°
GAMMA:	RFS	APX16DWV_16DWVS	55.9x13.3x3.15	270°
	COMMSCOPE	DBXNH_6565B_A2M	72.7x11.9x7.1	270°



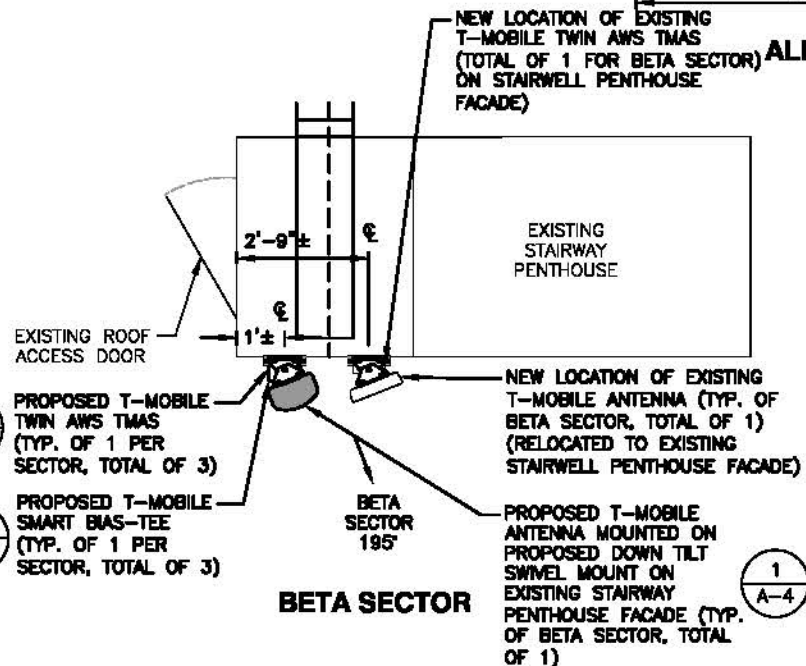
ALPHA & GAMMA SECTOR



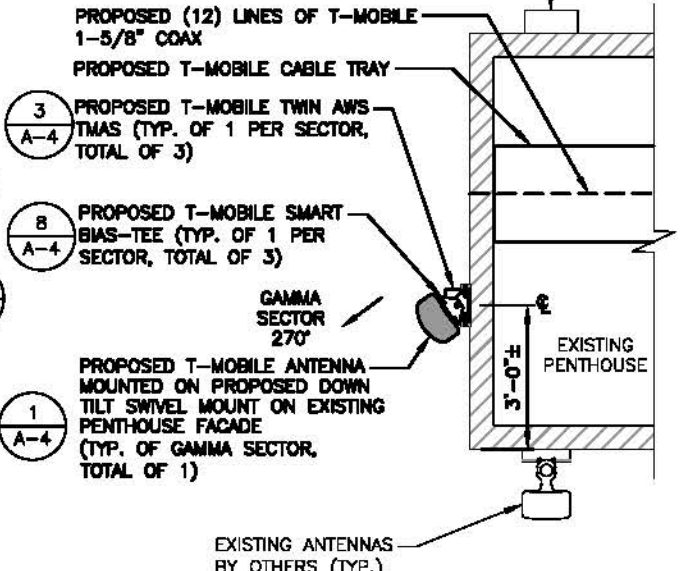
ALPHA SECTOR



BETA SECTOR



BETA SECTOR



GAMMA SECTOR

EXISTING ANTENNA PLAN
22x34 SCALE: 1/2"=1'-0"
11x17 SCALE: 1/4"=1'-0"

PROPOSED ANTENNA PLAN
22x34 SCALE: 1/2"=1'-0"
11x17 SCALE: 1/4"=1'-0"

T-MOBILE NORTHEAST LLC
15 COMMERCE WAY, SUITE B
NORTON, MA 02746
OFFICE: (508) 284-2700
FAX: (508) 284-2898

smartlink
1897 ANNAPOLIS EXCHANGE PIKWAY
SUITE 200
ANNAPOLIS, MD 21401

Hudson Design Group, LLC
1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 536-5584

COMMONWEALTH OF MASSACHUSETTS
DEREK J. GREASER
CIVIL ENGINEER
REGISTERED PROFESSIONAL ENGINEER
No. 9195

CHECKED BY: AT

APPROVED BY: DJC

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SC
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	05/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/28/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
4BS0447F
SITE NAME:
BS447/179 SIDNEY STREET
SITE ADDRESS:
80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

SHEET TITLE
EXISTING/PROPOSED ANTENNA PLANS

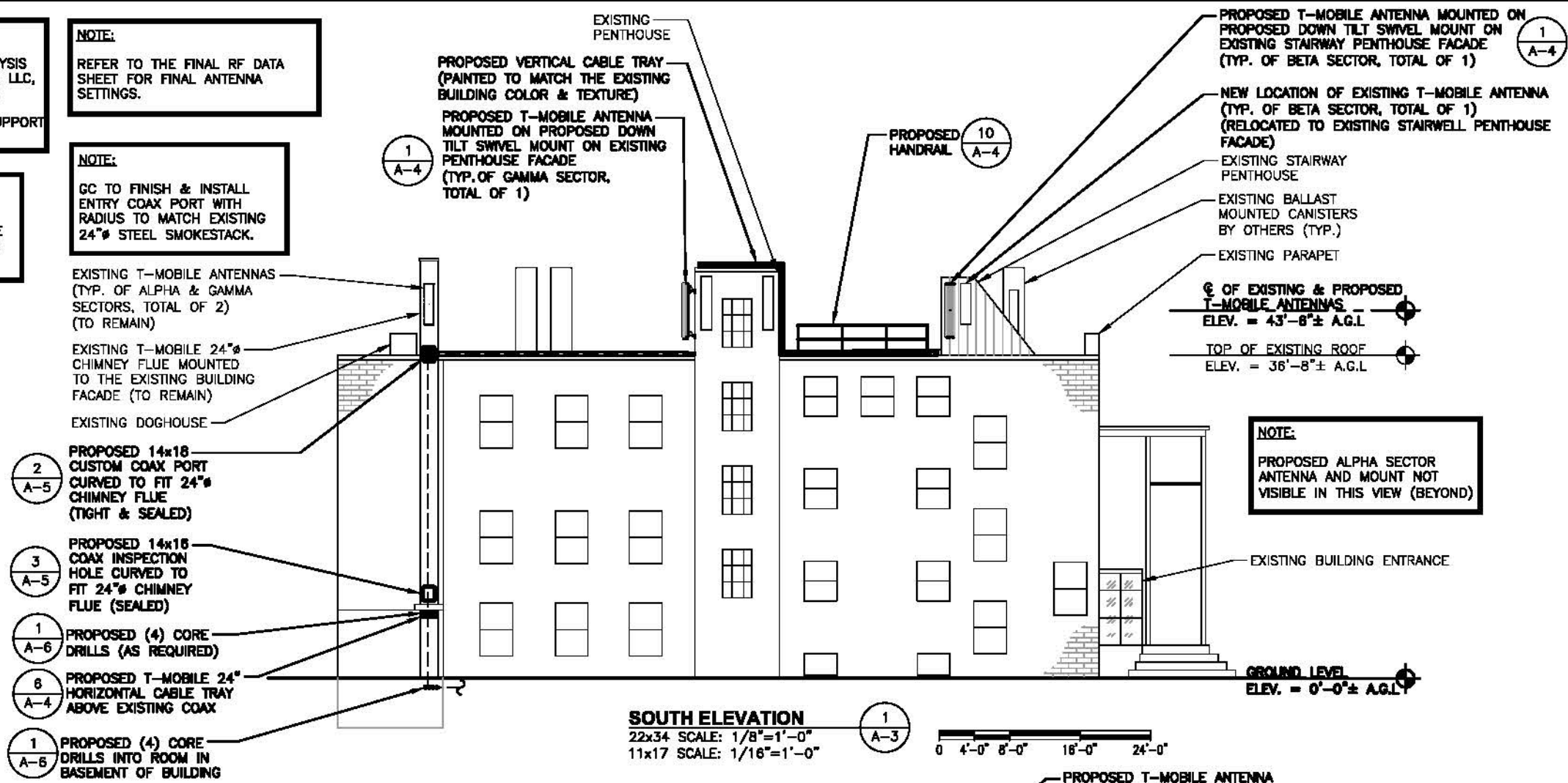
SHEET NUMBER
A-2

NOTE:
REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: FEBRUARY 12, 2018, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

NOTE:
ALL PROPOSED ANTENNAS/ CABLES & HARDWARE TO BE PAINTED TO MATCH EXISTING PENTHOUSE.

NOTE:
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

NOTE:
GC TO FINISH & INSTALL ENTRY COAX PORT WITH RADIUS TO MATCH EXISTING 24"Ø STEEL SMOKESTACK.



- EXISTING T-MOBILE ANTENNAS (TYP. OF ALPHA & GAMMA SECTORS, TOTAL OF 2) (TO REMAIN)
- EXISTING T-MOBILE 24"Ø CHIMNEY FLUE MOUNTED TO THE EXISTING BUILDING FACADE (TO REMAIN)
- EXISTING DOGHOUSE
- PROPOSED 14x18 CUSTOM COAX PORT CURVED TO FIT 24"Ø CHIMNEY FLUE (TIGHT & SEALED)
- PROPOSED 14x18 COAX INSPECTION HOLE CURVED TO FIT 24"Ø CHIMNEY FLUE (SEALED)
- PROPOSED (4) CORE DRILLS (AS REQUIRED)
- PROPOSED T-MOBILE 24" HORIZONTAL CABLE TRAY ABOVE EXISTING COAX
- PROPOSED (4) CORE DRILLS INTO ROOM IN BASEMENT OF BUILDING

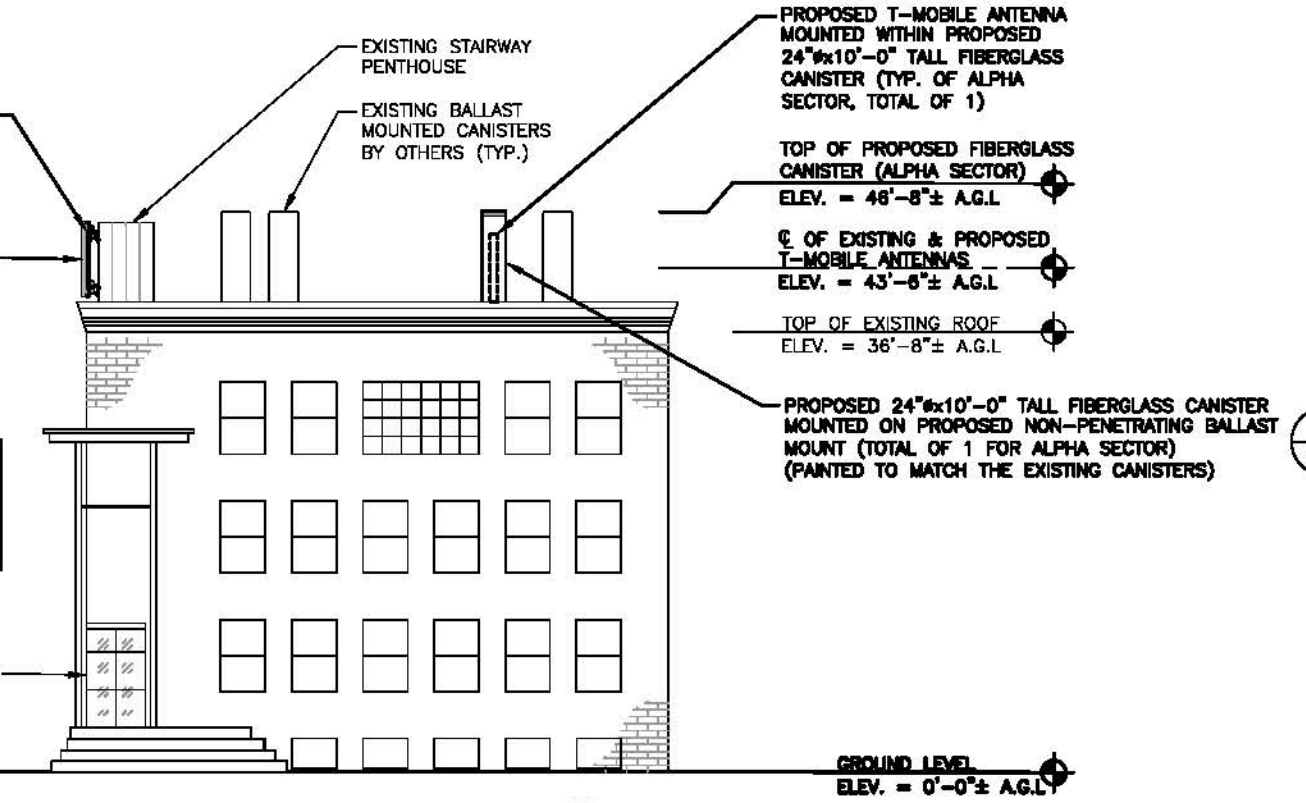
SOUTH ELEVATION
22x34 SCALE: 1/8"=1'-0"
11x17 SCALE: 1/16"=1'-0"

NOTE:
PROPOSED ALPHA SECTOR ANTENNA AND MOUNT NOT VISIBLE IN THIS VIEW (BEYOND)

NEW LOCATION OF EXISTING T-MOBILE ANTENNA (TYP. OF BETA SECTOR, TOTAL OF 1) (RELOCATED TO EXISTING STAIRWELL PENTHOUSE FACADE)

PROPOSED T-MOBILE ANTENNA MOUNTED ON PROPOSED DOWN TILT SWIVEL MOUNT ON EXISTING STAIRWELL PENTHOUSE FACADE (TYP. OF BETA SECTOR, TOTAL OF 1)

NOTE:
PROPOSED GAMMA SECTOR ANTENNA AND MOUNT NOT VISIBLE IN THIS VIEW (BEYOND)



EAST ELEVATION
22x34 SCALE: 1/8"=1'-0"
11x17 SCALE: 1/16"=1'-0"

- PROPOSED T-MOBILE ANTENNA MOUNTED WITHIN PROPOSED 24"Øx10'-0" TALL FIBERGLASS CANISTER (TYP. OF ALPHA SECTOR, TOTAL OF 1)
- TOP OF PROPOSED FIBERGLASS CANISTER (ALPHA SECTOR)
ELEV. = 48'-8"± A.G.L.
- Ø OF EXISTING & PROPOSED T-MOBILE ANTENNAS
ELEV. = 43'-8"± A.G.L.
- TOP OF EXISTING ROOF
ELEV. = 36'-8"± A.G.L.

PROPOSED 24"Øx10'-0" TALL FIBERGLASS CANISTER MOUNTED ON PROPOSED NON-PENETRATING BALLAST MOUNT (TOTAL OF 1 FOR ALPHA SECTOR) (PAINTED TO MATCH THE EXISTING CANISTERS)

T-MOBILE NORTHEAST LLC
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 284-2700
FAX: (508) 284-2893

smartlink
1897 ANNAPOLIS EXCHANGE PKWY
SUITE 200
ANNAPOLIS, MD 21401

Hudson Design Group LLC
1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 5090
N. ANDOVER, MA 01845
TEL: (978) 557-5555
FAX: (978) 554-5555

COMMONWEALTH OF MASSACHUSETTS
DEREK J. GREASER
CIVIL
REGISTERED PROFESSIONAL ENGINEER
No. 9195

CHECKED BY: AT
APPROVED BY: DJC

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
4	06/15/18	ISSUED FOR CONSTRUCTION	SE
3	03/22/18	ISSUED FOR CONSTRUCTION	VP
2	02/17/18	ISSUED FOR CONSTRUCTION	EB
1	01/27/18	ISSUED FOR REVIEW	VP
0	01/20/18	ISSUED FOR REVIEW	VP

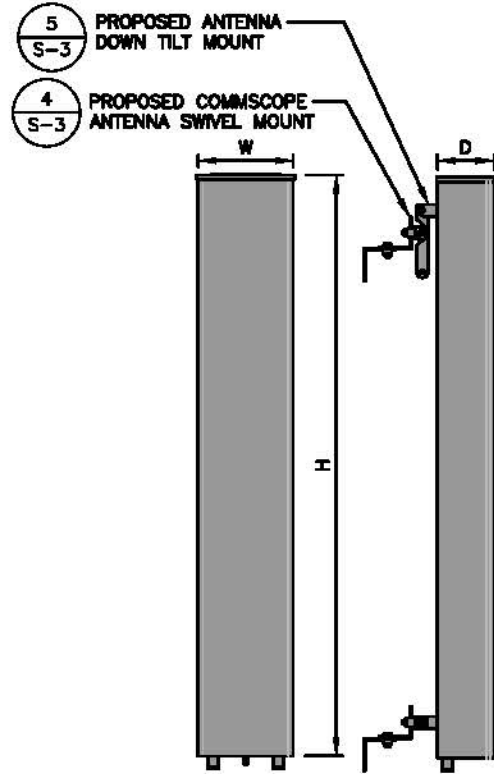
SITE NUMBER:
4BS0447F
SITE NAME:
BS447/179 SIDNEY STREET
SITE ADDRESS:
80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

SHEET TITLE
ELEVATION

SHEET NUMBER
A-3

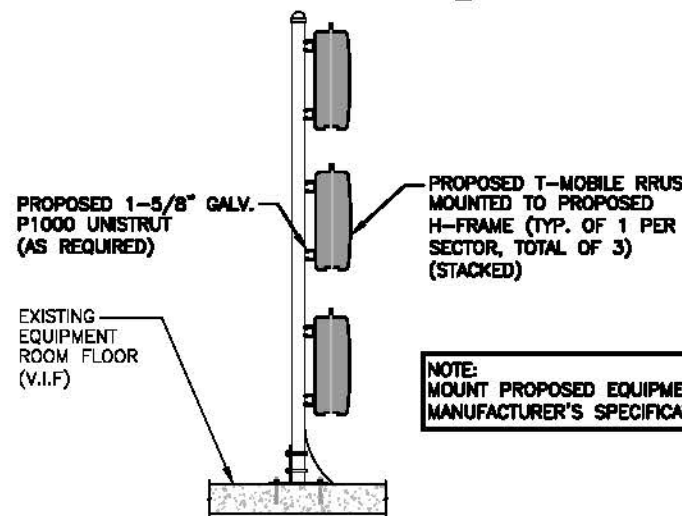
NOTE:
REFER TO STRUCTURAL ANALYSIS
BY: HUDSON DESIGN GROUP, LLC,
DATED: FEBRUARY 12, 2016,
FOR THE CAPACITY OF THE
EXISTING STRUCTURES TO SUPPORT
THE PROPOSED EQUIPMENT.

NOTE:
REFER TO THE FINAL RF DATA
SHEET FOR FINAL ANTENNA
SETTINGS.

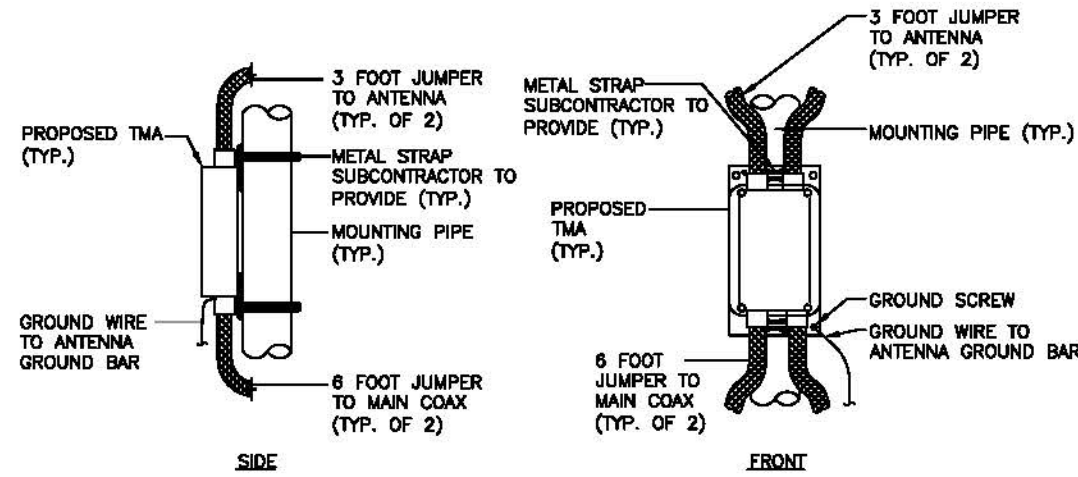


L700 ANTENNA DIMENSIONS	
MODEL #	DEXNH_03658-A2M
MANUF.	COMMSCOPE
HEIGHT	72.7"
WIDTH	11.9"
DEPTH	7.1"
WEIGHT	46.3 LBS

L700 ANTENNA DETAIL (1) A-4
SCALE: N.T.S



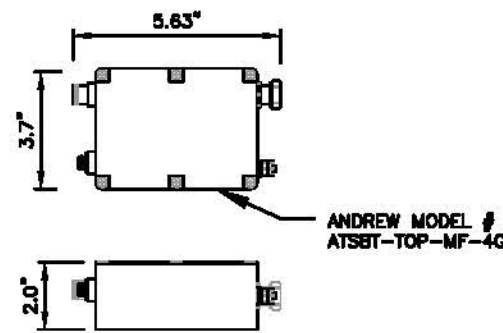
PROPOSED EQUIPMENT MOUNTING DETAIL (7) A-4
SCALE: N.T.S



TMA MOUNTING DETAIL (2) A-4
SCALE: N.T.S

RRU DIMENSIONS	
MODEL #	RRU11 B12
MANUF.	ERICSSON
HEIGHT	20"
WIDTH	17"
DEPTH	7"
WEIGHT	50.6 LBS

PROPOSED RRU DETAIL (5) A-4
SCALE: N.T.S

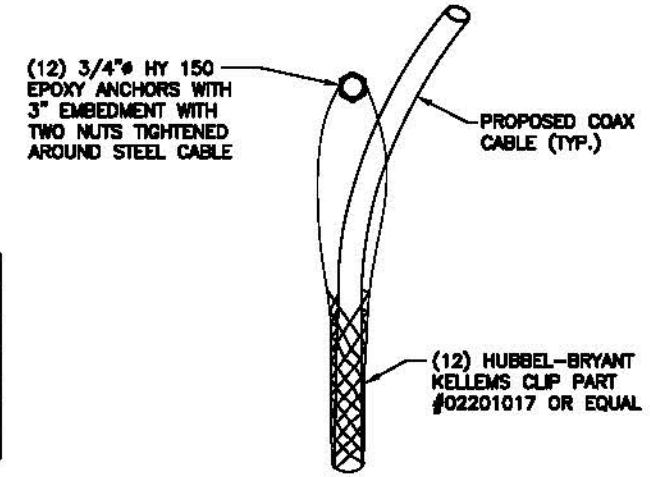


SMART BIAS TEE DIMENSIONS	
MODEL #	ATSBT-TOP-MF-4G
MANUF.	COMMSCOPE
HEIGHT	5.63"
WIDTH	3.7"
DEPTH	2"
WEIGHT	1.8 LBS

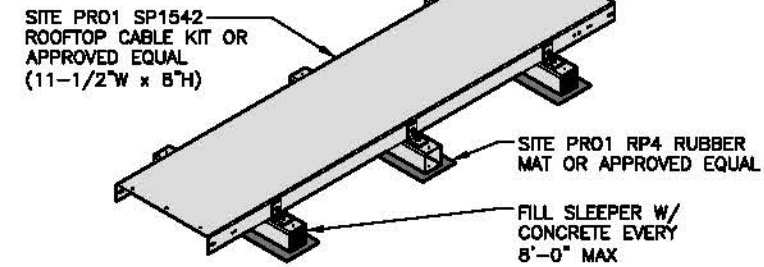
SMART BIAS TEE (8) A-4
SCALE: N.T.S

TMA DIMENSIONS	
MODEL #	KRY 112 144/1
MANUF.	ERICSSON
HEIGHT	11"
WIDTH	6.1"
DEPTH	3.9"
WEIGHT	15.4 LBS

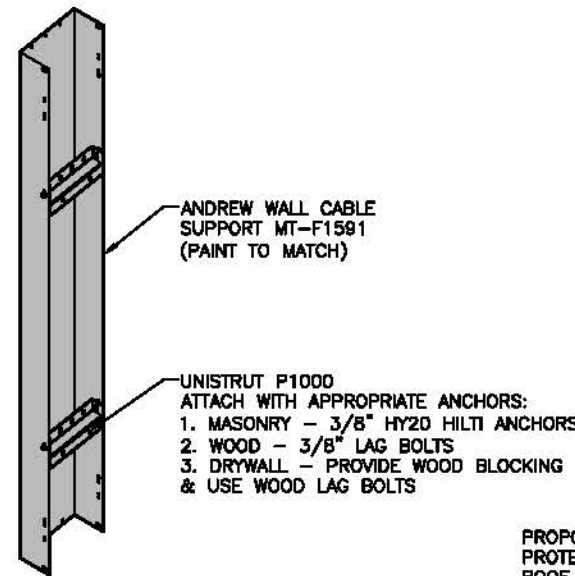
TWIN TMA (3) A-4
SCALE: N.T.S



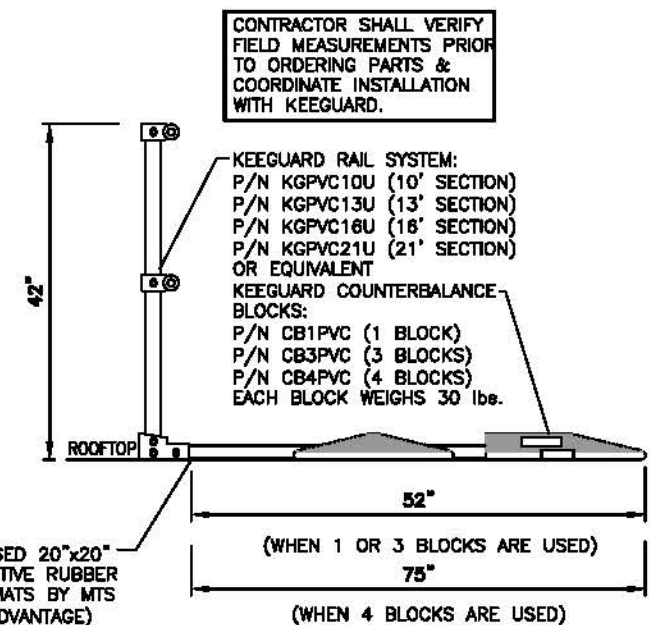
LACE-UP HOISTING GRIPS (4) A-4
SCALE: N.T.S



CABLE TRAY DETAIL (6) A-4
22x34 SCALE: N.T.S



VERTICAL CABLE TRAY DETAIL (9) A-4
22x34 SCALE: N.T.S



KEEGUARD RAILING DETAIL (10) A-4
SCALE: N.T.S

T-MOBILE NORTHEAST LLC

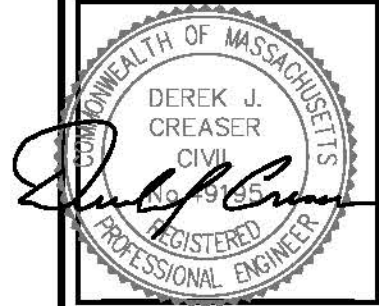
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893



1897 ANNAPOLIS EXCHANGE PKWY
SUITE 200
ANNAPOLIS, MD 21401



1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 5090
N. ANDOVER, MA 01845
TEL: (978) 557-5555
FAX: (978) 536-5555



CHECKED BY: AT

APPROVED BY: DJC

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SG
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	05/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER:

4BS0447F

SITE NAME:

BS447/179 SIDNEY STREET

SITE ADDRESS:

80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

SHEET TITLE

DETAILS

SHEET NUMBER

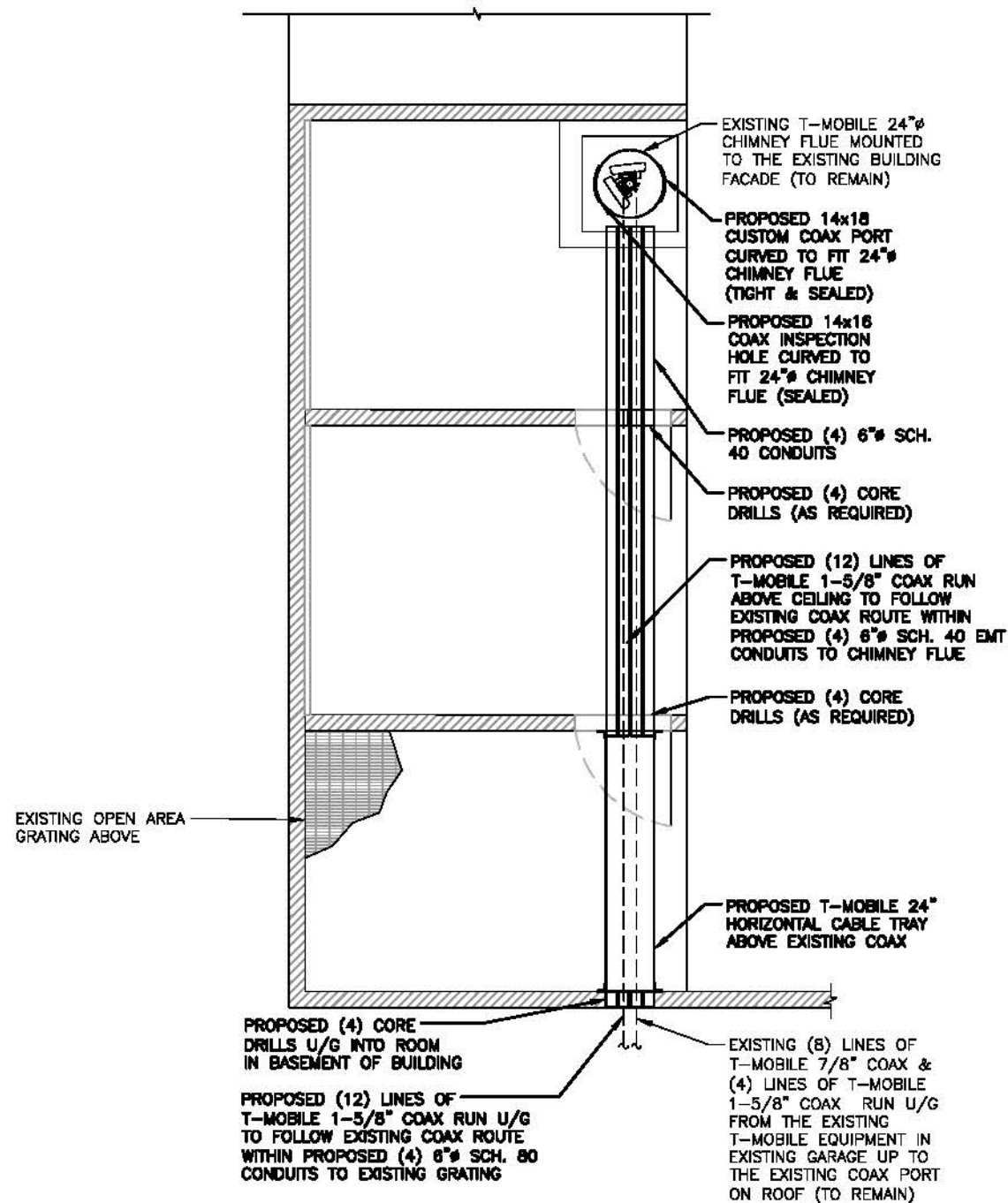
A-4

NOTE:

REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: FEBRUARY 12, 2016, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

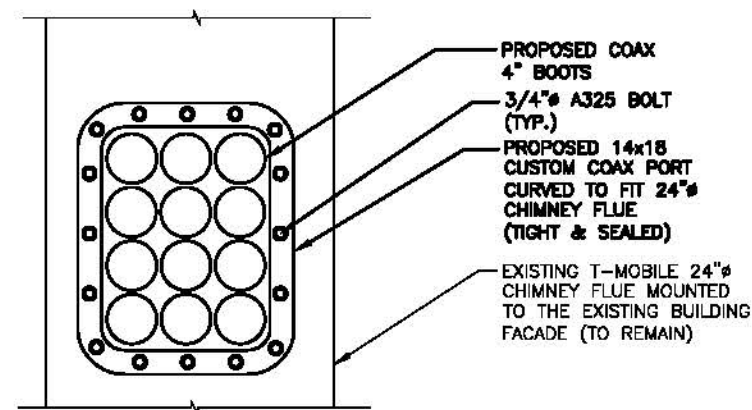
NOTE:

REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.



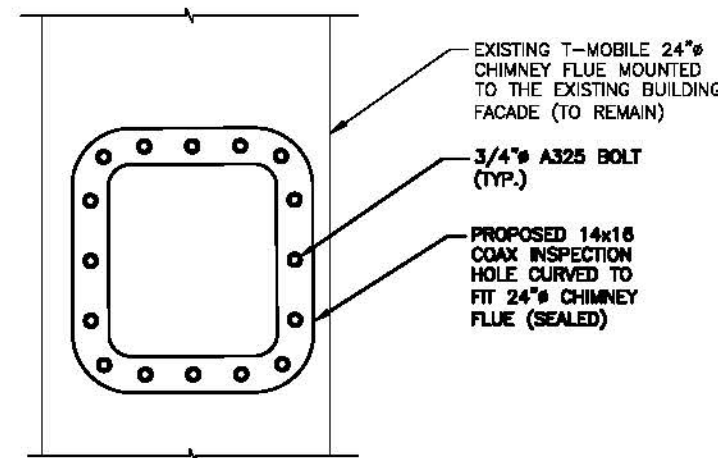
PARTIAL FLOOR PLAN

22x34 SCALE: 1/8"=1'-0"
11x17 SCALE: 1/16"=1'-0"



CUSTOM COAX PORT DETAIL

22x34 SCALE: 1-1/2"=1'-0"
11x17 SCALE: 3/4"=1'-0"



PROPOSED COAX INSPECTION HOLE

22x34 SCALE: 1-1/2"=1'-0"
11x17 SCALE: 3/4"=1'-0"



**T-MOBILE
NORTHEAST LLC**

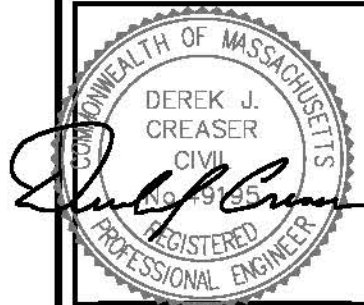
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE (508) 286-2700
FAX: (508) 286-2893



1897 ANNAPOLIS EXCHANGE PKWY
SUITE 200
ANNAPOLIS, MD 21401



1600 ORGOOD STREET
BUILDING 20 NORTH, SUITE 5090
N. ANDOVER, MA 01845
TEL: (978) 557-5555
FAX: (978) 536-5555



CHECKED BY: AT

APPROVED BY: DJC

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SG
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	05/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER:

4BS0447F

SITE NAME:

BS447/179 SIDNEY STREET

SITE ADDRESS:

80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

SHEET TITLE

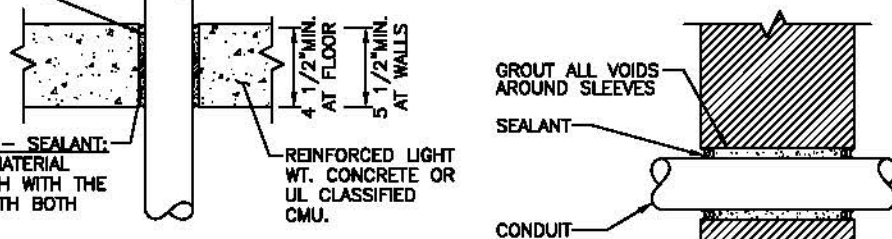
DETAILS

SHEET NUMBER

A-5

PACKING MATERIAL: MIN 1-1/2 in. THICKNESS OF MIN 6 pcf MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.

ONE 2" (OR SMALLER) SCHEDULE 40 PVC PIPE TO BE CENTERED WITHIN FIRESTOP SYSTEM. A NOM. ANNULAR SPACE OF 5/16" IS REQUIRED WITHIN THE FIRESTOP SYSTEM PIPE SHALL BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL/FLOOR ASSEMBLY



FILL, VOID OR CAVITY MATERIAL - SEALANT: MIN 2 in. THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS, FLUSH WITH THE TOP SURFACE OF FLOOR OR WITH BOTH SURFACES OF WALL.

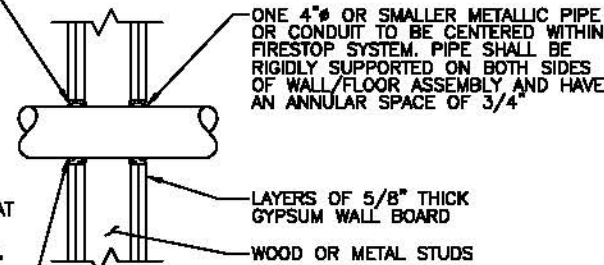
SPECIFIED TECHNOLOGIES INC.: SPECSEAL SERIES SSS SEALANT OR SPECSEAL LCI SEALANT. **UL SYSTEM NUMBER:** C-AJ-2057 **F RATING - 2 HR.**

**PVC CONDUIT PENETRATION
DETAIL IN CONCRETE OR MASONRY**

NOTE: CORE HOLE 1 1/2" LARGER THAN THE DIAMETER OF THE CONDUIT. CORE DRILLS TO BE SEALED WITH ELASTOMERIC SEALANT

**PIPE AND CONDUIT PENETRATION
DETAIL IN NON-RATED PARTITION**

PACKING MATERIAL: MIN. 1 in. THICKNESS OF MIN. 3.5 pcf FIBERGLASS INSULATION SHALL BE WRAPPED AROUND THE THROUGH-PENETRANT AND SECURED TOGETHER BY MEANS OF NO. 24 AWG STEEL TIE WIRE. PACKING MATERIAL SHALL BE CENTERED AT MID-DEPTH OF OPENING AND RECESSED FROM BOTH SURFACES OF WALL ASSEMBLY REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.



FILL, VOID OR CAVITY MATERIAL - CAULK OR PUTTY: IN 2 HR FIRE RATED ASSEMBLIES MIN 3/4 in. THICKNESS FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 1/4 in. CROWN IS FORMED AROUND THE PENETRATING ITEM. IN 1 HR FIRE RATED ASSEMBLIES, MIN 5/8 in. THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS ON BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 3/8 in. CROWN IS FORMED AROUND THE PENETRATING ITEM AND LAPPING 1 in. BEYOND THE PERIPHERY OF THE OPENING.

UL SYSTEM NUMBER: W-L-1029 **F RATING - 1 & 2 HR.**

**PIPE AND CONDUIT PENETRATION
DETAIL IN GYPSUM WALLBOARD**

SPECIFIED TECHNOLOGIES INC.: SPECSEAL SERIES SSS SEALANT, SPECSEAL LCI SEALANT OR SPECSEAL PUTTY.

ALL CORES THROUGH ELECTRIC ROOMS TO BE FIRE-STOPPED.
USE FULL CONDUIT RUNS THROUGH PENETRATIONS

FLOOR OR WALL	MIN FLOOR OR WALL THKNS. (in.)	MAX DIAM OF STEEL PIPE OR CONDUIT (in.)	MIN ANNULAR SPACE (in.)	MAX ANNULAR SPACE (in.)	MIN FILL MTL THKNS (in.)	MIN FORMING MTL THKNS (in.)	F RATING (HOURS)	T RATING (HOURS)
FLOOR	3-3/4	1-1/2	3/8	2-1/8	1	2-3/4	2	0
FLOOR	3-3/4	8	3/8	3/4	1	2-3/4	2	0
FLOOR	3-3/4	8	3/8	1	2	1-3/4	2	0
FLOOR	4-1/2	1-1/2	3/8	2-1/8	1	3-1/2	3	3/4
FLOOR	4-1/2	8	3/8	3/4	1	3-1/2	3	0
FLOOR	4-1/2	8	3/8	1	2	2-1/2	3	0
WALL	8-1/2	1-1/2	3/8	2-1/8	1	3-1/2	3	3/4
WALL	8-1/2	8	3/8	3/4	1	3-1/2	3	0
WALL	8-1/2	1-1/2	3/8	2-1/8	2	2-1/2	3	1
WALL	8-1/2	8	3/8	1	2	2-1/2	3	0

CONCRETE FLOOR OR WALL ASSEMBLY, MINIMUM 3-3/4 in. THICKNESS FLOOR/ MINIMUM 6-1/2 in. WALL

TYPE AS OR TYPE SS: MINIMUM THICKNESS OF SEALANT AS SPECIFIED IN THE TABLE ABOVE, APPLIED WITHIN THE OPENING, FLUSH WITH THE TOP SURFACE OF THE FLOOR OR BOTH SURFACES OF THE WALL

FORMING MATERIAL: MINERAL WOOL BATT INSULATION (MINIMUM 4.0 pcf) FIRMLY PACKED INTO THE OPENING AS A PERMANENT FORM; SEE TABLE FOR MINIMUM REQUIRED THICKNESS

METALLIC PIPE: STEEL PIPE: 6" (OR SMALLER) SCHEDULE 10 (OR HEAVIER) STEEL PIPE. CONDUIT: 4" (OR SMALLER) ELECTRICAL METALLIC TUBING (EMT) OR 6" RIGID STEEL CONDUIT.

UL SYSTEM NUMBER: C-AJ-1020 **F RATING - 3 HR. (FOR PIPES GREATER THAN 4")**
F RATING - 2 HR. (FOR PIPES LESS THAN 4")

**PIPE AND CONDUIT PENETRATION
DETAIL IN CONCRETE OR MASONRY**

NOTE: MINIMUM DEPTH TO BE VERIFIED IN FIELD DUE TO UNFORESEEN OBSTRUCTIONS, CONDUITS TO BE CONCRETE ENCASED.

PENETRATION DETAILS 1
SCALE: N.T.S.



WALL HR	MAX DIAM OF THROUGH PENETRANT in.	T RATING HR
1	2	1
2	1-1/4	1
2	1-1/4	1 1/2

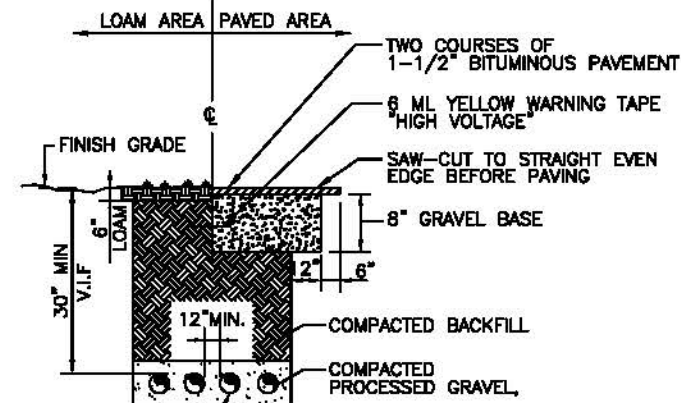
THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS EQUAL TO THE HOURLY FIRE RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED.

THROUGH PENETRANTS: ONE 2" NONMETALLIC PIPE, CONDUIT OR RACEWAY TO BE CENTERED WITHIN THE FIRESTOP SYSTEM. A NOM ANNULAR SPACE OF 5/16 in. IS REQUIRED WITHIN THE FIRESTOP SYSTEM. PIPE, CONDUIT OR RACEWAY TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF THE FLOOR OR WALL ASSEMBLY.

FILL, VOID OR CAVITY MATERIAL - SEALANT: MIN 5/8 in. THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS, FLUSH WITH BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 1/4 in. THICK CROWN IS FORMED AROUND THE PENETRATING ITEM AND LAPPING 1 in. BEYOND THE PERIPHERY OF THE OPENING.

SPECIFIED TECHNOLOGIES INC.: SPECSEAL SERIES SSS SEALANT, SPECSEAL LCI SEALANT. **UL SYSTEM NUMBER:** W-L-2003 **F RATING - 1 & 2 HR.**

**PVC CONDUIT PENETRATION
DETAIL IN GYPSUM WALLBOARD**



PROPOSED (4) 6" SCH. 80 CONDUITS

BURIED CONDUIT DETAIL 2
SCALE: N.T.S.



NOTE:
CABLES IN VERTICAL RUNS. CABLES INSTALLED IN VERTICAL RUNS AND PENETRATING MORE THAN ONE FLOOR, OR CABLES INSTALLED IN VERTICAL RUNS IN A SHAFT, SHALL BE TYPE CMR. FLOOR PENETRATIONS REQUIRING TYPE CMR SHALL CONTAIN ONLY CABLES SUITABLE FOR RISER OR PLENUM USE. LISTED RISER COMMUNICATIONS RACEWAYS AND LISTED PLENUM COMMUNICATIONS RACEWAYS SHALL BE PERMITTED TO BE INSTALLED IN VERTICAL RISER RUNS IN A SHAFT FROM FLOOR TO FLOOR. ONLY TYPE CMR CABLES SHALL BE PERMITTED TO BE INSTALLED IN THESE RISERS. ONLY CMP CABLES SHALL BE PERMITTED TO BE INSTALLED IN PLENUMS.
METAL RACEWAYS OR FIREPROOF SHAFTS. LISTED COMMUNICATIONS CABLES SHALL BE ENCASED IN A METAL RACEWAY OR LOCATED IN A FIREPROOF SHAFT HAVING FIRESTOPS AT EACH FLOOR.

**T-MOBILE
NORTHEAST LLC**

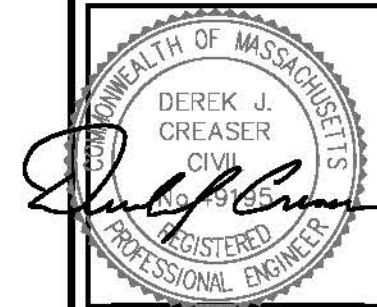
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 284-2893



1897 ANNAPOLIS EXCHANGE PIKWAY
SUITE 200
ANNAPOLIS, MD 21401



1600 OSGOOD STREET
BUILDING 20 NORTH SUITE 5090
N. ANDOVER, MA 01845
TEL: (978) 557-5555
FAX: (978) 554-5565



CHECKED BY: AT

APPROVED BY: DJC

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SE
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	02/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER: 4BS0447F
SITE NAME: BS447/179 SIDNEY STREET
SITE ADDRESS: 80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

SHEET TITLE: PENETRATION DETAILS

SHEET NUMBER: A-6

SPECIAL INSPECTION CHECKLIST	
BEFORE CONSTRUCTION	
CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY ENGINEER OF RECORD)	REPORT ITEM
REQUIRED	ENGINEER OF RECORD APPROVED SHOP DRAWINGS ¹
REQUIRED	MATERIAL SPECIFICATIONS REPORT ²
N/A	FABRICATOR NDE INSPECTION
N/A	NDE REPORT OF MONOPOLE BASE PLATE (AS REQUIRED)
REQUIRED	PACKING SLIPS ³
ADDITIONAL TESTING AND INSPECTIONS:	
DURING CONSTRUCTION	
CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY ENGINEER OF RECORD)	REPORT ITEM
REQUIRED	STEEL & FRP INSPECTIONS
REQUIRED	HIGH STRENGTH BOLT INSPECTIONS
N/A	HIGH WIND ZONE INSPECTIONS
N/A	FOUNDATION INSPECTIONS
N/A	CONCRETE COMP. STRENGTH, SLUMP TESTS AND PLACEMENT
N/A	POST INSTALLED ANCHOR ROD VERIFICATION
N/A	BASE PLATE GROUT VERIFICATION
N/A	CERTIFIED WELD INSPECTION
N/A	EARTHWORK: LIFT AND DENSITY
REQUIRED	ON SITE COLD GALVANIZING VERIFICATION
N/A	GUY WIRE TENSION REPORT
REQUIRED	FINAL INSPECTION
ADDITIONAL TESTING AND INSPECTIONS:	
AFTER CONSTRUCTION	
CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY ENGINEER OF RECORD)	REPORT ITEM
REQUIRED	MODIFICATION INSPECTOR REDLINE OR RECORD DRAWINGS ⁴
N/A	POST INSTALLED ANCHOR ROD PULL-OUT TESTING
REQUIRED	PHOTOGRAPHS
ADDITIONAL TESTING AND INSPECTIONS:	

NOTES:

1. REQUIRED FOR ANY NEW SHOP FABRICATED FRP OR STEEL.
2. PROVIDED BY MANUFACTURER, REQUIRED IF HIGH STRENGTH BOLTS OR STEEL.
3. PROVIDED BY GENERAL CONTRACTOR; PROOF OF MATERIALS.
4. HIGH WIND ZONE INSPECTION CATB 120MPH OR CAT C,D 110MPH INSPECT FRAMING OF WALLS, ANCHORING, FASTENING SCHEDULE.
5. AS REQUIRED; FOR ANY FIELD CHANGES TO THE ITEMS IN THIS TABLE.

REQUIRED INSPECTIONS AND SITE REVIEW DOCUMENT AS A CONDITION OF THE BUILDING PERMIT THE FOLLOWING INSPECTIONS AND SITE REVIEWS IDENTIFIED BY THE BUILDING OFFICIAL ARE REQUIRED FOR WORK PER THE 8TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, 780 CMR, SECTION 110 AND CHAPTER 17			
REQUIRED SITE REVIEW AND DOCUMENTATION FOR PORTIONS OR PHASES CONSTRUCTION ^{1,6,7} (TO BE PERFORMED BY THE APPROPRIATE REGISTERED DESIGN PROFESSIONAL OR HIS/HER DESIGNEE OR M.G.L.C 112 §81R CONTRACTOR)			
SITE REVIEW AND DOCUMENTATION	X	SITE REVIEW AND DOCUMENTATION	X
SOIL CONDITION/ANALYSIS/REPORT		ENERGY EFFICIENCY REQUIREMENTS	
FOOTING AND FOUNDATION (INCLUDING REINFORCEMENT AND FOUNDATION ATTACHMENT)		FIRE ALARM INSTALLATION ²	
CONCRETE FLOOR AND UNDER FLOOR		FIRE SUPPRESSION INSTALLATION ³	
LOWEST FLOOR FLOOD ELEVATION		FIELD REPORTS ⁵	
STRUCTURAL FRAME – WALL/FLOOR/ROOF	X	CARBON MONOXIDE DETECTION SYSTEM ⁴	
LATH AND PLASTER/GYPSUM		SEISMIC REINFORCEMENT	
FIRE RESISTANT WALL/PARTITIONS FRAMING		SMOKE CONTROL SYSTEMS	
FIRE RESISTANT WALL/PARTITIONS FINISH ATTACHMENTS		SMOKE AND HEAT VENTS	
ABOVE CEILING INSPECTION		ACCESSIBILITY (521 CMR)	
FIRE BLOCKING/STOPPING SYSTEM		OTHER:	
EMERGENCY LIGHTING/EXIT SIGNAGE			
MEANS OF EGRESS COMPONENTS		SPECIAL INSPECTIONS (SECTION 1704):	X
ROOFING, COPING/SYSTEM			
VENTING SYSTEMS (KITCHEN, CHEMICAL, FUME)			
MECHANICAL SYSTEMS			

1. IT IS THE RESPONSIBILITY OF THE PERMIT APPLICANT TO NOTIFY THE BUILDING OFFICIAL OF REQUIRED INSPECTIONS (X). INSPECTION OF 780 CMR FIRE PROTECTION SYSTEMS MAY BE WITNESSED BY THE FIRE OFFICIAL AND INSTALLATION PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT PER 527 CMR.
2. INCLUDE NFPA 72 TEST AND ACCEPTANCE DOCUMENTATION
3. INCLUDE APPLICABLE NFPA 13, 13R, 13D, 14, 15, 17, 20, 241, ETC. – TEST AND ACCEPTANCE DOCUMENTATION
4. INCLUDE NFPA 720 RECORD OF COMPLETION AND INSPECTION AND TEST FORM
5. INCLUDE FIELD REPORTS AND RELATED DOCUMENTATION
6. WORK SHALL NOT PROCEED, OR BE CONCEALED, UNTIL THE REQUIRED INSPECTION HAS BEEN APPROVED BY THE BUILDING OFFICIAL, AND NOTHING WITHIN CONSTRUCTION CONTROL SHALL HAVE THE EFFECT OF WAIVING OR LIMITING THE BUILDING OFFICIAL'S AUTHORITY TO ENFORCE THIS CODE WITH RESPECT TO EXAMINATION OF THE CONTRACT DOCUMENTS, INCLUDING PLANS, COMPUTATIONS AND SPECIFICATIONS, AND FIELD INSPECTIONS.
7. ROUGH AND/OR FINISH INSPECTIONS OF ELECTRICAL, PLUMBING, OR SHEET METAL SHALL BE INSPECTED PRIOR TO ROUGH AND FINISH INSPECTIONS BY THE BUILDING OFFICIAL.

SPECIAL INSPECTIONS (REFERENCE IBC CHAPTER 17):

GENERAL: WHERE APPLICATION IS MADE FOR CONSTRUCTION, THE OWNER OR THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN THE INSPECTION CHECKLIST ABOVE.

THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ENGINEERS OF RECORD INVOLVED IN THE DESIGN OF THE PROJECT ARE PERMITTED TO ACT AS THE APPROVED AGENCY AND THEIR PERSONNEL ARE PERMITTED TO ACT AS THE SPECIAL INSPECTOR FOR THE WORK DESIGNED BY THEM, PROVIDED THOSE PERSONNEL MEET THE QUALIFICATION REQUIREMENTS.

STATEMENT OF SPECIAL INSPECTIONS: THE APPLICANT SHALL SUBMIT A STATEMENT OF SPECIAL INSPECTIONS PREPARED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IN ACCORDANCE WITH SECTION 107.1 AS A CONDITION FOR ISSUANCE. THIS STATEMENT SHALL BE IN ACCORDANCE WITH SECTION 1705.

REPORT REQUIREMENT: SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. REPORTS SHALL INDICATE THAT WORK INSPECTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THEY ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS SHALL BE SUBMITTED.

MASSACHUSETTS AMENDMENTS TO THE IBC (REFERENCE 780 CMR):

107.6 CONSTRUCTION CONTROL
107.6.1 GENERAL. THIS SECTION SHALL APPLY TO THE CONSTRUCTION CONTROLS, PROFESSIONAL SERVICES AND CONTRACTOR SERVICES REQUIRED FOR BUILDINGS AND STRUCTURES NEEDING REGISTERED DESIGN PROFESSIONAL SERVICES. THE FOLLOWING STRUCTURES ARE EXEMPT FROM THE REQUIREMENTS OF THIS SECTION:
 1. ANY BUILDING CONTAINING LESS THAN 35,000 CUBIC FEET OF ENCLOSED SPACE, MEASURED TO THE EXTERIOR SURFACES OF WALLS AND ROOFS AND TO THE TOP OF A GROUND SUPPORTED FLOOR, OR IN THE CASE OF A CRAWL SPACE, TO THE BOTTOM SURFACE OF THE CRAWL SPACE. IN THE CASE OF BASEMENT FLOORS OR LEVELS, THE CALCULATION OF ENCLOSED SPACE SHALL INCLUDE SUCH SPACES. FOR ADDITIONS TO EXISTING BUILDINGS, THE VOLUME OF ENCLOSED SPACE SHALL INCLUDE THE ENTIRE EXISTING BUILDING AND ALL PROPOSED ADDITIONS.
 2. ANY ONE OR TWO FAMILY DWELLING OR ANY ACCESSORY BUILDING THERETO.
 3. ANY BUILDING USED EXCLUSIVELY FOR AGRICULTURAL PURPOSES. SEE APPENDIX C FOR OCCUPANCY AND OTHER LIMITATIONS.
 4. RETAINING WALLS LESS THAN TEN FEET IN HEIGHT AT ALL POINTS ALONG THE WALL AS MEASURED FROM THE BASE OF THE FOOTING TO THE TOP OF THE WALL.

NOTWITHSTANDING THESE EXEMPTIONS, PROFESSIONAL ENGINEERING SERVICES SHALL BE REQUIRED FOR ACTIVITIES WHICH ARE DEEMED TO CONSTITUTE THE PRACTICE OF ENGINEERING AS DEFINED IN M.G.L. C. 112, § 81D, EXCEPT AS PROVIDED IN M.G.L. C. 54A AND ANY LEGALLY REQUIRED PROFESSION OR AS PROVIDED IN M.G.L. C. 112, § 81R. WHERE WORK IS PERFORMED BY LICENSED TRADES PEOPLE PURSUANT TO M.G.L. C. 112, § 81R, PLANS AND SPECIFICATIONS PREPARED TO DOCUMENT THAT WORK SHALL NOT BE REQUIRED TO BEAR THE SEAL OR SIGNATURE OF A REGISTERED DESIGN PROFESSIONAL.

107.6.1.1 SPECIALIZED STRUCTURES. TELECOMMUNICATION TOWERS, WIND TURBINE TOWERS, AND SIMILAR STRUCTURES ARE ENGINEERED STRUCTURES AND SHALL BE SUBJECT TO THE REQUIREMENTS OF SECTION 107.6.

107.6.2.2 CONSTRUCTION. THE REGISTERED DESIGN PROFESSIONALS WHO ARE RESPONSIBLE FOR THE DESIGN, PLANS, CALCULATIONS, AND SPECIFICATIONS, THEIR DESIGNEE OR THE REGISTERED DESIGN PROFESSIONALS WHO HAVE BEEN RETAINED FOR CONSTRUCTION PHASE SERVICES, SHALL PERFORM THE FOLLOWING TASKS:
 1. REVIEW, FOR CONFORMANCE TO THIS CODE AND THE DESIGN CONCEPT, SHOP DRAWINGS, SAMPLES AND OTHER SUBMITTALS BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS.
 2. PERFORM THE DUTIES FOR REGISTERED DESIGN PROFESSIONALS IN CHAPTER 17.
 3. BE PRESENT AT INTERVALS APPROPRIATE TO THE STAGE OF CONSTRUCTION TO BECOME GENERALLY FAMILIAR WITH THE PROGRESS AND QUALITY OF THE WORK AND TO DETERMINE IF THE WORK IS BEING PERFORMED IN A MANNER CONSISTENT WITH THE CONSTRUCTION DOCUMENTS AND THIS CODE.

THE PERMIT APPLICATION SHALL NOT BE DEEMED COMPLETED UNTIL ALL OF THE CONSTRUCTION DOCUMENTS REQUIRED BY THIS CODE HAVE BEEN SUBMITTED. DOCUMENTATION INDICATING THAT WORK COMPLIES WITH THE PLANS AND SPECIFICATIONS SHALL BE PROVIDED AT THE COMPLETION OF EACH PHASE WHEN REQUIRED BY THE BUILDING OFFICIAL.

107.6.3 CONSTRUCTION CONTRACTOR SERVICES. THE ACTUAL CONSTRUCTION OF THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AS IDENTIFIED ON THE APPROVED BUILDING PERMIT AND SHALL INVOLVE THE FOLLOWING:
 1. EXECUTION OF ALL WORK IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.
 2. EXECUTION AND CONTROL OF ALL METHODS OF CONSTRUCTION IN A SAFE AND SATISFACTORY MANNER IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL STATUTES AND REGULATIONS.
 3. UPON COMPLETION OF THE CONSTRUCTION, CERTIFICATION IN WRITING TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE THAT, TO THE BEST OF THE CONTRACTOR'S KNOWLEDGE AND BELIEF, CONSTRUCTION HAS BEEN DONE IN SUBSTANTIAL ACCORD WITH SECTION 107.6 AND WITH ALL PERTINENT DEVIATIONS SPECIFICALLY NOTED. THE BUILDING OFFICIAL MAY REQUIRE A COPY OF THIS CERTIFICATION.

107.6.4 ON SITE PROJECT REPRESENTATION. WHEN APPLICATIONS FOR UNUSUAL DESIGNS OR MAGNITUDE OF CONSTRUCTION ARE FILED, OR WHERE REFERENCE STANDARDS REQUIRE SPECIAL ARCHITECTURAL OR ENGINEERING INSPECTIONS, THE BUILDING OFFICIAL MAY REQUIRE FULLTIME PROJECT REPRESENTATION BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER IN ADDITION TO THAT PROVIDED IN SECTION 107.6. THE PROJECT REPRESENTATIVE SHALL KEEP DAILY RECORDS AND SUBMIT REPORTS AS MAY BE REQUIRED BY THE BUILDING OFFICIAL UPON COMPLETION OF THE WORK, THE REGISTERED DESIGN PROFESSIONAL SHALL FILE A FINAL REPORT INDICATING THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND THIS CODE. THIS ON SITE PROJECT REPRESENTATION REQUIREMENT SHALL BE DETERMINED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT AND SHALL BE A REQUISITE FOR THE PERMIT ISSUANCE. REFUSAL BY THE APPLICANT TO PROVIDE SUCH SERVICE SHALL RESULT IN THE DENIAL OF THE PERMIT. ALL FEES AND COSTS RELATED TO THE PERFORMANCE OF ONSITE PROJECT REPRESENTATION SHALL BE BORNE BY THE OWNER.

T-MOBILE NORTHEAST LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 284-2893

smartlink
 1897 ANNAPOLIS EXCHANGE PIKWAY
 SUITE 200
 ANNAPOLIS, MD 21401

Hudson Design Group LLC
 1600 OSGOOD STREET
 BUILDING 20 NORTH SUITE 5090
 N. ANDOVER, MA 01845
 TEL: (978) 557-5555
 FAX: (978) 334-5555

COMMONWEALTH OF MASSACHUSETTS
 DEREK J. GREASER
 CIVIL
 No. 9195
 REGISTERED PROFESSIONAL ENGINEER

CHECKED BY: AT

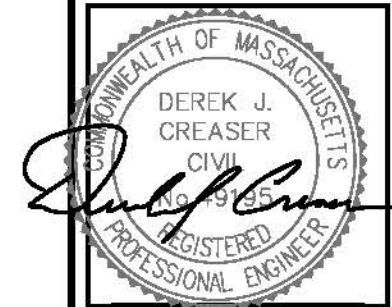
APPROVED BY: DJC

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SE
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	02/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
 4BS0447F
 SITE NAME:
 BS447/179 SIDNEY STREET
 SITE ADDRESS:
 80 ERIE STREET
 CAMBRIDGE, MA 02139
 MIDDLESEX COUNTY

SHEET TITLE
 STRUCTURAL DETAILS

SHEET NUMBER
 S-1



CHECKED BY: AT

APPROVED BY: DJC

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SG
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	02/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/20/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
4BS0447F

SITE NAME:
**BS447/179 SIDNEY
STREET**

SITE ADDRESS:
80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

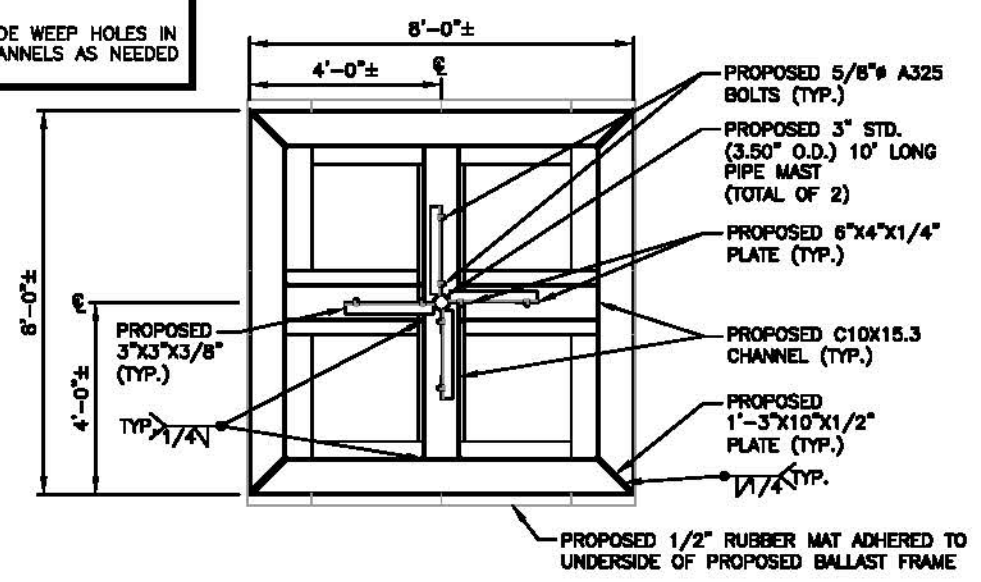
SHEET TITLE
**STRUCTURAL
DETAILS**

SHEET NUMBER
S-2

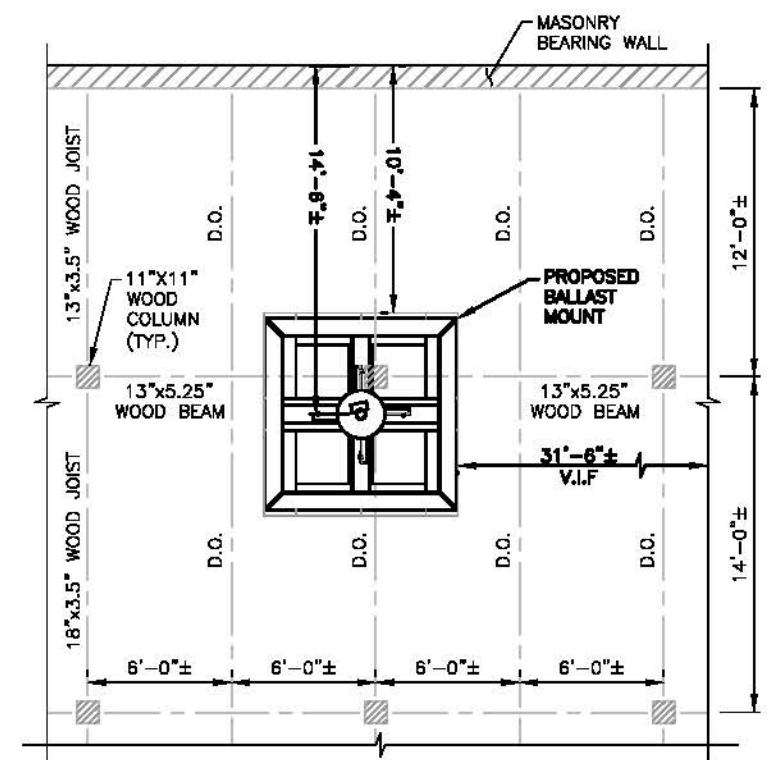
NOTE:
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

NOTE:
REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: FEBRUARY 12, 2016, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

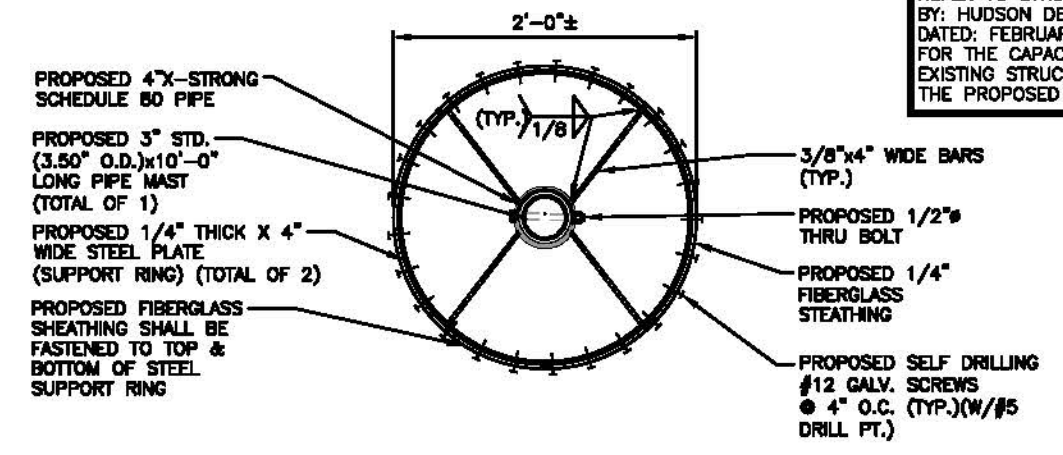
NOTE:
PROVIDE WEEP HOLES IN C-CHANNELS AS NEEDED



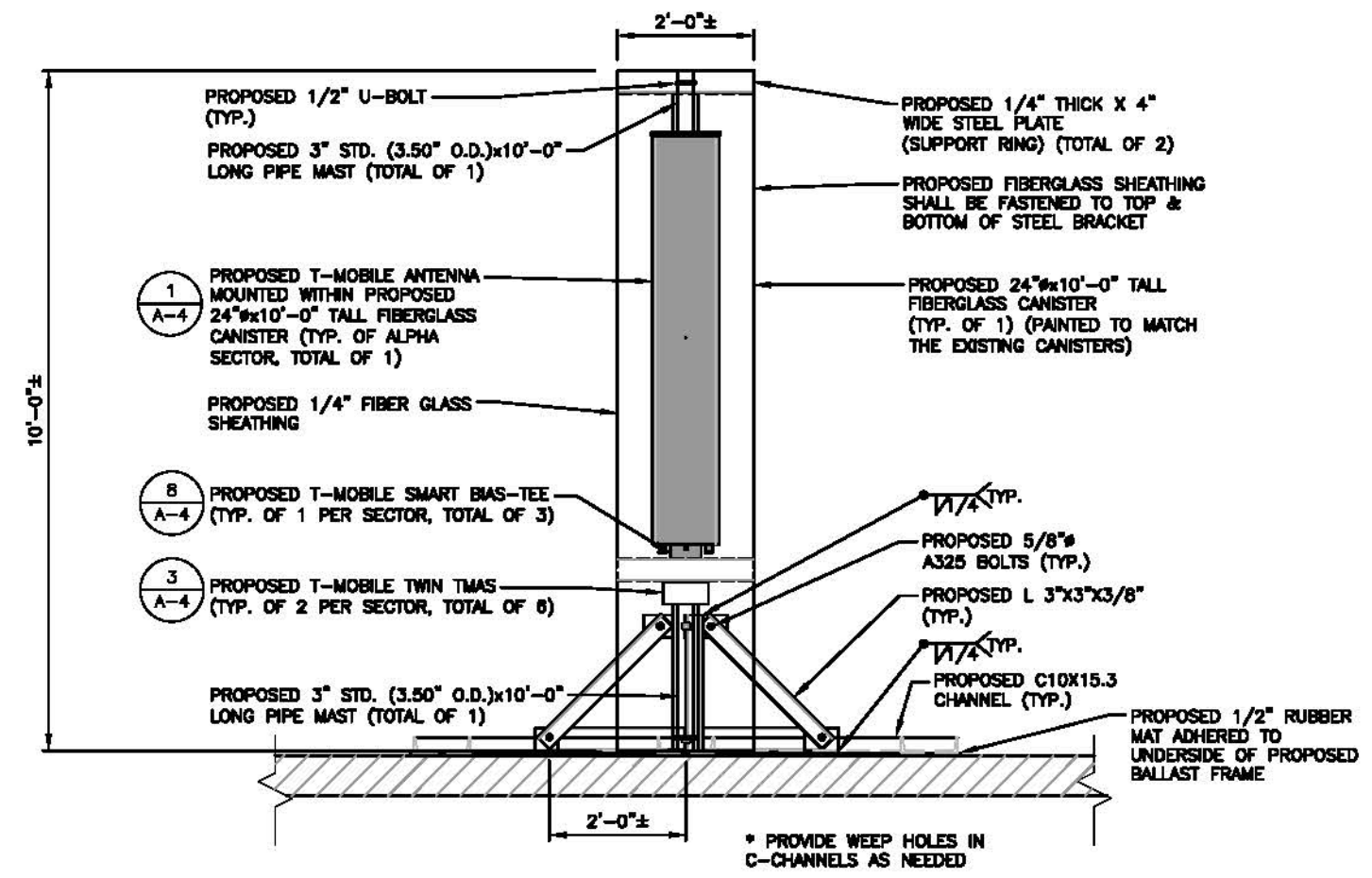
PROPOSED BALLAST MOUNT DETAIL ALPHA SECTOR 1 S-2
22x34 SCALE: 1/2"=1'-0"
11x17 SCALE: 1/4"=1'-0"



PARTIAL ROOF PLAN 3 S-2
22x34 SCALE: 1/4"=1'-0"
11x17 SCALE: 1/8"=1'-0"



PROPOSED FIBERGLASS CANISTER DETAIL 2 S-2
22x34 SCALE: 1-1/2"=1'-0"
11x17 SCALE: 3/4"=1'-0"



PROPOSED BALLAST MOUNT ELEVATION DETAIL 4 S-2
22x34 SCALE: 3/4"=1'-0"
11x17 SCALE: 3/8"=1'-0"

* PROVIDE WEEP HOLES IN C-CHANNELS AS NEEDED

NOTE:
ALL PROPOSED ANTENNAS/
CABLES & HARDWARE TO BE
PAINTED TO MATCH EXISTING
PENTHOUSE.

NOTE:
REFER TO STRUCTURAL ANALYSIS
BY: HUDSON DESIGN GROUP, LLC,
DATED: FEBRUARY 12, 2016,
FOR THE CAPACITY OF THE
EXISTING STRUCTURES TO SUPPORT
THE PROPOSED EQUIPMENT.

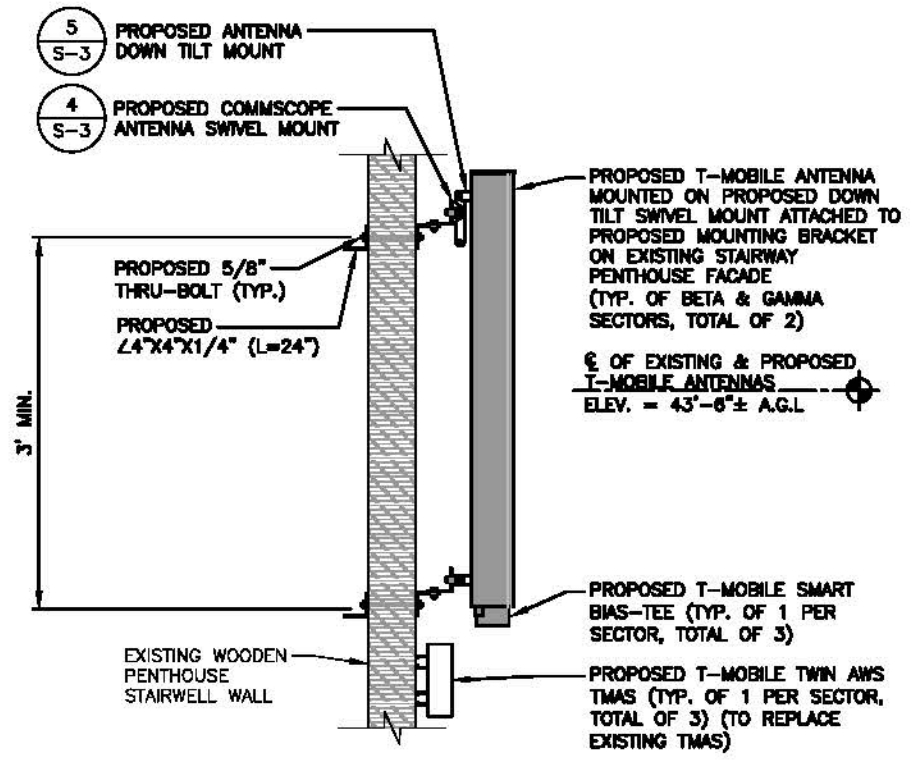
NOTE:
REFER TO THE FINAL RF DATA
SHEET FOR FINAL ANTENNA
SETTINGS.

**T-MOBILE
NORTHEAST LLC**
15 COMMERCE WAY, SUITE B
NORTON, MA 02746
OFFICE: (508) 286-2700
FAX: (508) 284-2893

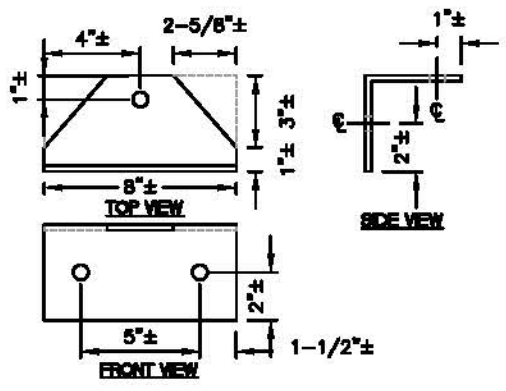
smartlink
1897 ANNAPOLIS EXCHANGE PKWY
SUITE 200
ANNAPOLIS, MD 21401

**Hudson
Design Group, LLC**
1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 537-5553
FAX: (978) 934-5584

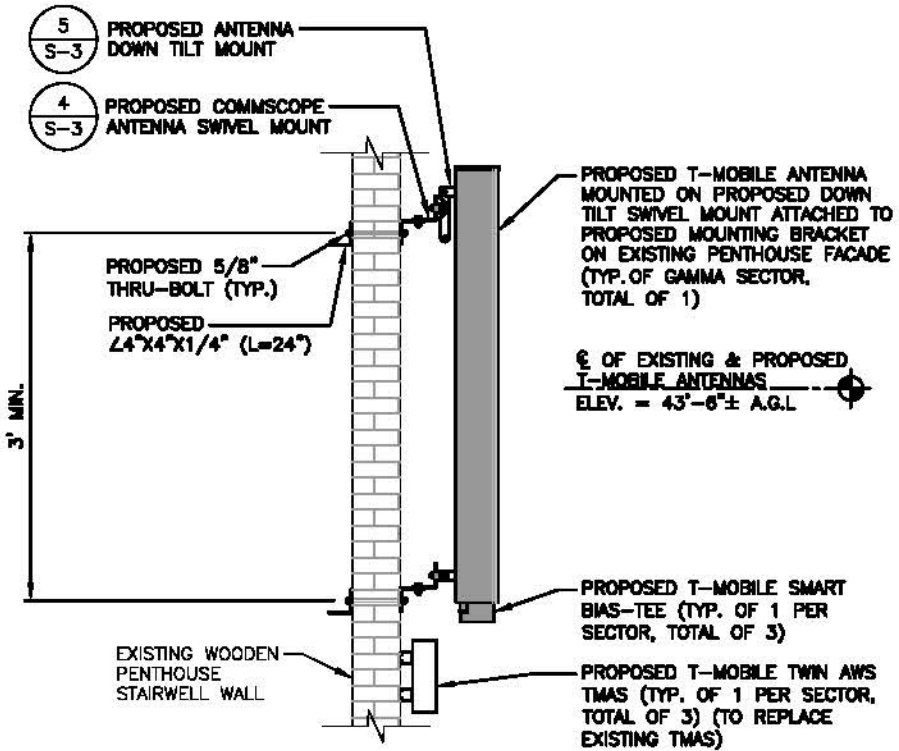
COMMONWEALTH OF MASSACHUSETTS
DEREK J. GREASER
CIVIL
No. 9195
REGISTERED
PROFESSIONAL ENGINEER



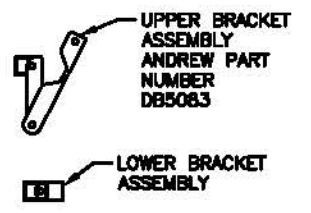
**PROPOSED L700 ANTENNA MOUNT
(TYP. OF BETA SECTOR)** 1 S-3
22x34 SCALE: 3/4"=1'-0"
11x17 SCALE: 3/8"=1'-0"
0 8" 1'-4" 2'-8" 4'-0"



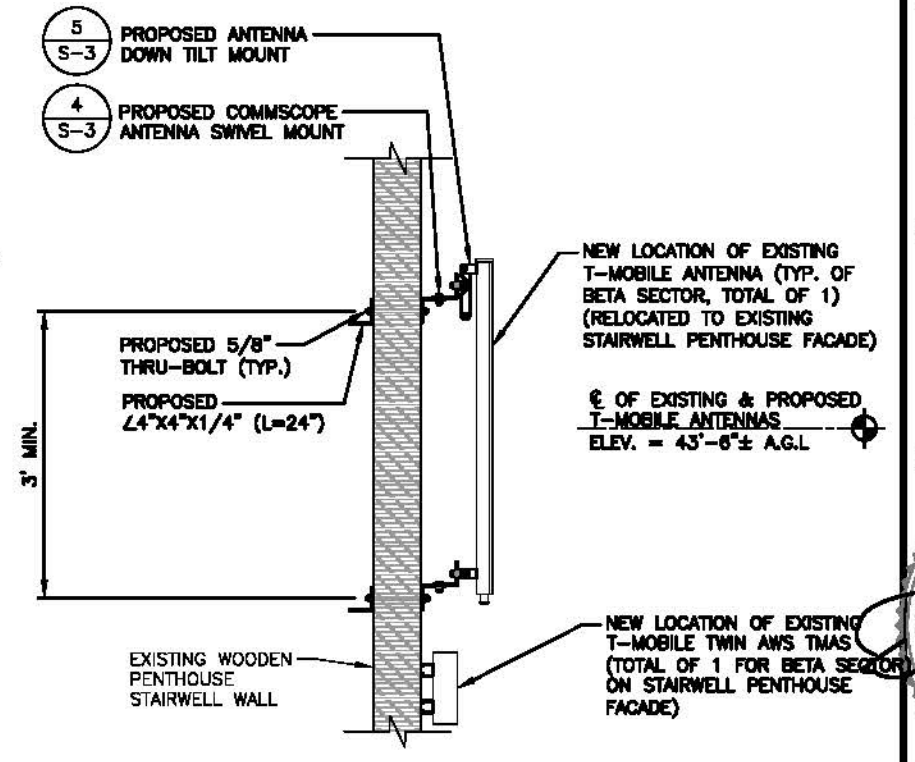
SWIVEL PLATE DETAIL 4 S-3
SCALE: N.T.S



**PROPOSED L700 ANTENNA MOUNT
(TYP. OF GAMMA SECTOR)** 2 S-3
22x34 SCALE: 1/2"=1'-0"
11x17 SCALE: 1/4"=1'-0"
0 1'-0" 2'-0" 4'-0" 6'-0"



NOTE:
PIPE CLAMP TO BE REMOVED TO
ATTACH TO ADAPTER PLATE.
ANTENNA MOUNTING BRACKET 5 S-3
SCALE: N.T.S



**PROPOSED RELOCATED
ANTENNA MOUNT DETAIL
(TYP. OF BETA SECTOR)** 3 S-3
22x34 SCALE: 3/4"=1'-0"
11x17 SCALE: 3/8"=1'-0"
0 8" 1'-4" 2'-8" 4'-0"

CHECKED BY: AT
APPROVED BY: DJC

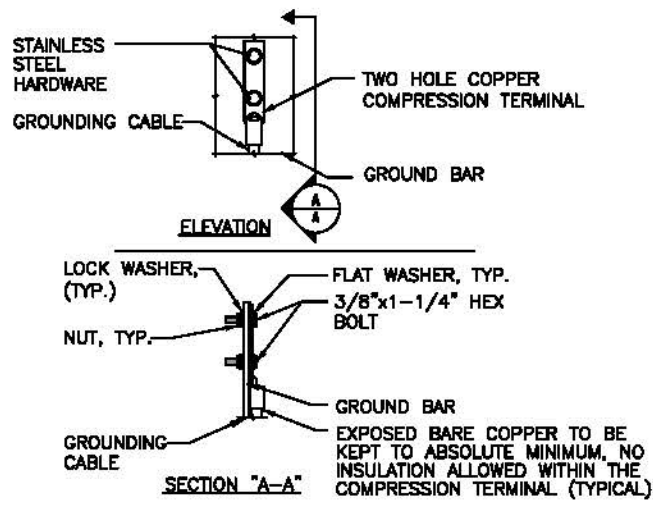
SUBMITTALS

REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SG
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	05/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/28/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
4BS0447F
SITE NAME:
BS447/179 SIDNEY
STREET
SITE ADDRESS:
80 ERIE STREET
CAMBRIDGE, MA 02139
MIDDLESEX COUNTY

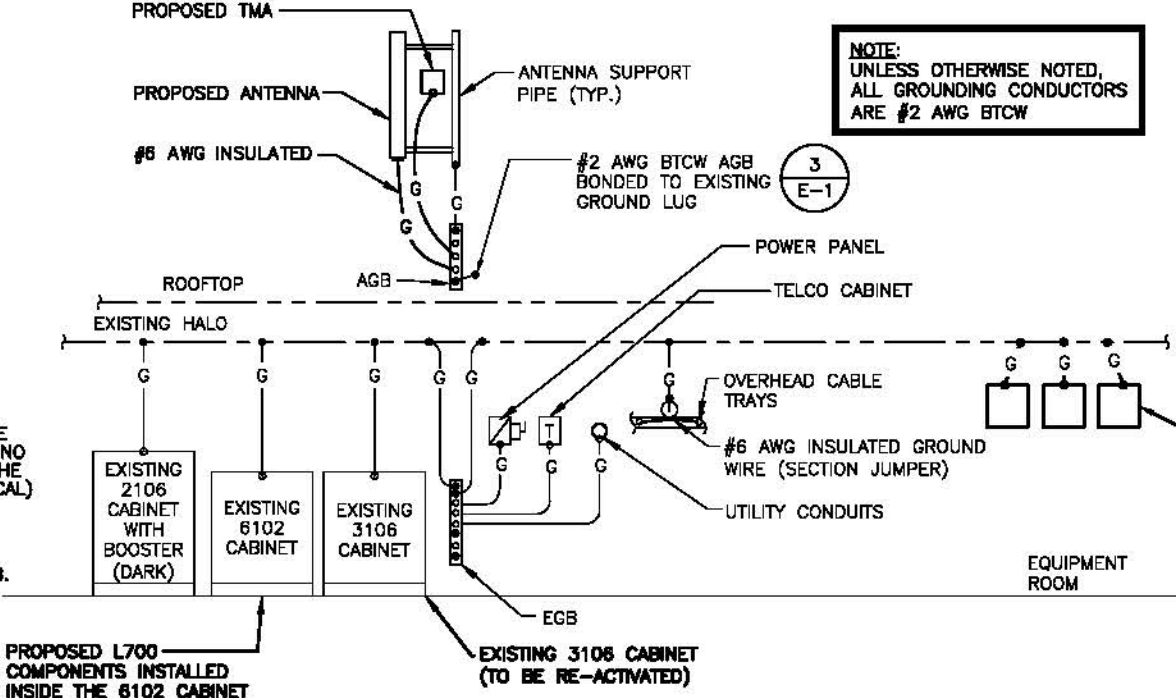
SHEET TITLE
STRUCTURAL
DETAILS

SHEET NUMBER
S-3



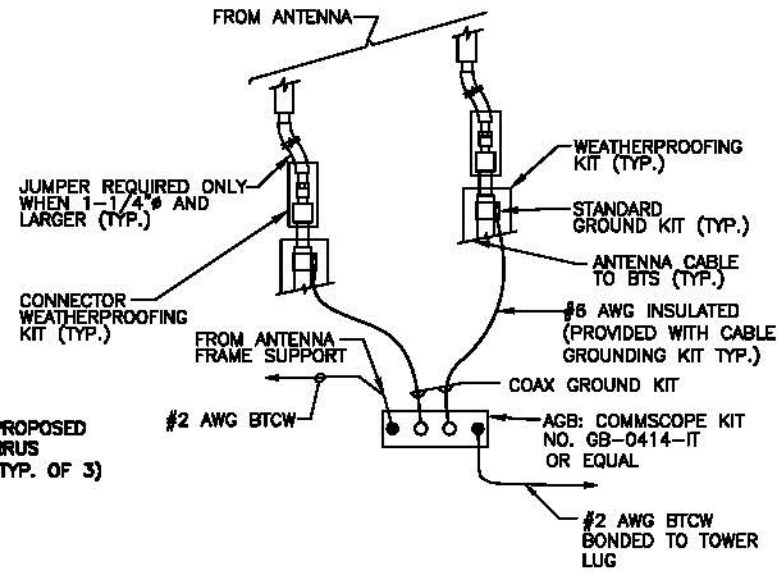
NOTE:
 1. "DOUBLING UP" OR "STACKING" OF CONNECTION IS NOT PERMITTED.
 2. OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.
 3. CADWELD DOWNLEADS FROM UPPER AGB/EGB, LOWER EGB, AND MGB.

TYPICAL GROUND BAR CONNECTION DETAIL
 SCALE: N.T.S.



NOTE:
 UNLESS OTHERWISE NOTED,
 ALL GROUNDING CONDUCTORS
 ARE #2 AWG BTCW

TYPICAL GROUNDING RISER DIAGRAM
 SCALE: N.T.S.



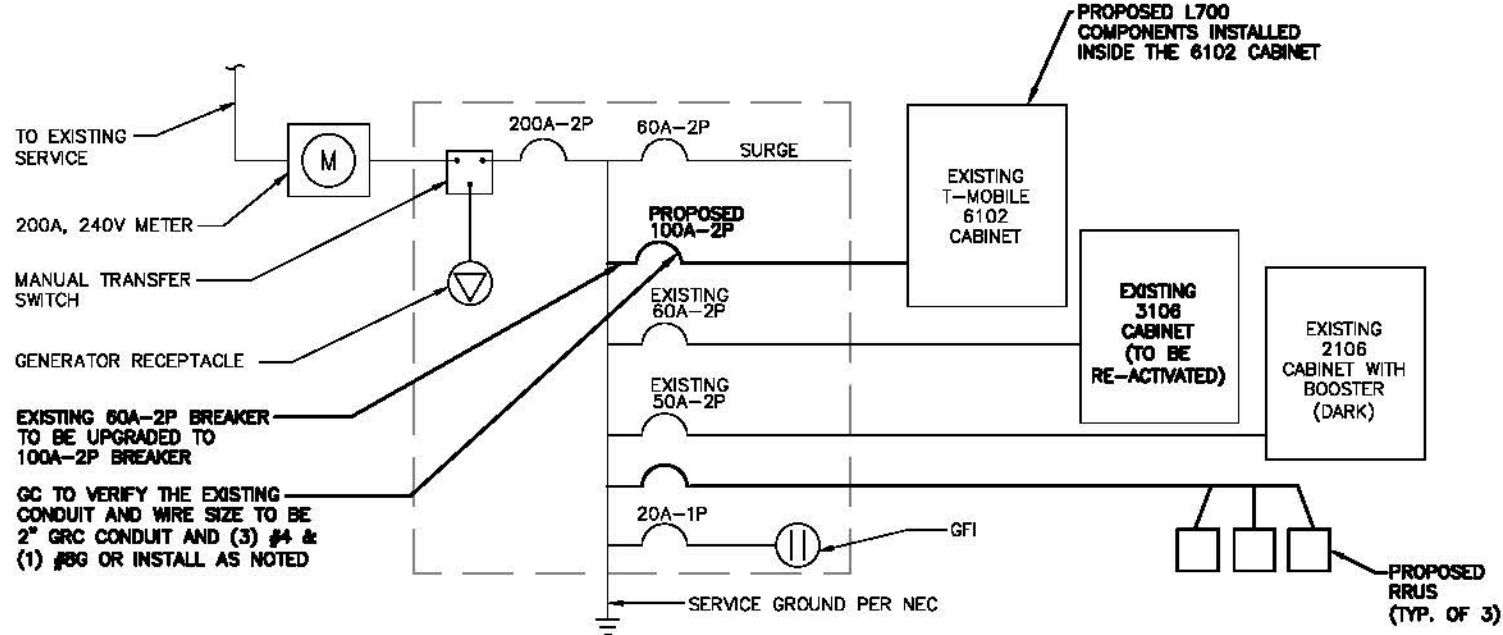
NOTE:
 INSTALL CABLE GROUND KIT ABOVE HORIZONTAL BEND
 AND ALWAYS DIRECT GROUND WIRE DOWN TO AGB/EGB.

TOWER TOP CABLE GROUNDING DETAIL
 SCALE: N.T.S.

PROPOSED L700 COMPONENTS INSTALLED INSIDE THE 6102 CABINET

EXISTING 3106 CABINET (TO BE RE-ACTIVATED)

PROPOSED L700 COMPONENTS INSTALLED INSIDE THE 6102 CABINET



ONE LINE POWER DIAGRAM
 SCALE: N.T.S.

ELECTRICAL LEGEND	
A	AMPERE
V	VOLT
KWH	KILOWATT-HOUR
C	CONDUIT
GRC	GALVANIZED RIGID CONDUIT
BTWCW	BARE TINNED (SOLID) COPPER WIRE (2 AWG, UNLESS NOTED OTHERWISE)
g	GROUND
MEB	GROUND
Master Ground Bar	Mechanical Connection
Equipment Ground Bar/Antenna Ground Bar	Cadweld Connection
Ground Copper Wire, Size as Noted	
Exposed Wiring	
Insulated Grounding Conductor (#8 AWG Stranded, Unless Noted Otherwise)	
3/8" Copper Clad Stainless Steel Ground Rod	
Exothermic (C/Weld) or Mechanical (Compression Type) Connection	
PPC	POWER PROTECTION CABINET
CEIS	CENTRAL ELECTRIC INVERTER SYSTEM (CEIS) BALL

ELECTRICAL & GROUNDING NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.
- ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.
- THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATION INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.
- GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
- ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS OR SCHEDULE 80 PVC (AS PERMITTED BY CODE) AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR NONMETALLIC CONDUITS.
- RIGID STEEL CONDUITS SHALL BE GROUNDED AT BOTH ENDS.
- ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XHHW, THHN, OR THIN INSULATION.
- RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL ROOM AND PROPOSED CELL SITE POWER PEDESTAL AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
- RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND PROPOSED CELL SITE TELCO CABINET AND BITS CABINET AS INDICATED ON DRAWING A-1. PROVIDE FULL LENGTH PULL ROPE IN INSTALLED TELCO CONDUIT. PROVIDE GREENLEE CONDUIT MEASURING TAPE AT EACH END.
- ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
- GROUNDING SHALL COMPLY WITH NEC ART. 250.
- GROUND COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURERS COAX CABLE GROUNDING KITS SUPPLIED BY PROJECT OWNER.

- USE #8 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
- ALL GROUND CONNECTIONS TO BE BURIED HYDRONIC COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 1.2" RADIUS BENDS. #8 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 7 FEET OF PROPOSED EQUIPMENT OR CABINET TO MASTER GROUND BAR.
- CONNECTIONS TO MGB SHALL BE ARRANGED IN THREE MAIN GROUPS: SURGE PRODUCERS (COAXIAL CABLE GROUND KITS, TELCO AND POWER PANEL GROUND); (GROUNDING ELECTRODE RING OR BUILDING STEEL); NON-SURGING OBJECTS (EGB GROUND IN BITS UNIT).
- CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUND CONNECTIONS.
- BOND ANTENNA MOUNTING BRACKETS, COAXIAL CABLE GROUND KITS, AND ALMA TO EGB PLACED NEAR THE ANTENNA LOCATION.
- BOND ANTENNA EGB'S AND MGB TO WATER MAIN.
- TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION.
- TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION.
- BOND ANY METAL OBJECTS WITHIN 7 FEET OF PROPOSED EQUIPMENT OR CABINET TO MASTER GROUND BAR.
- VERIFY PROPOSED SERVICE UPGRADE WITH LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION.

T-MOBILE NORTHEAST LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02746
 OFFICE: (508) 286-2700
 FAX: (508) 284-2898

smartlink
 1897 ANNAPOLIS EXCHANGE PIKWAY
 SUITE 200
 ANNAPOLIS, MD 21401

Hudson Design Group, Inc.
 1600 ORGOOD STREET
 BUILDING 20 NORTH SUITE 3090
 N. ANDOVER, MA 01845
 TEL: (978) 537-5553
 FAX: (978) 336-5584

COMMONWEALTH OF MASSACHUSETTS
 DEREK J. GREASER
 CIVIL ENGINEER
 No. 9195
 REGISTERED PROFESSIONAL ENGINEER

CHECKED BY: AT

APPROVED BY: DJC

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
4	06/15/16	ISSUED FOR CONSTRUCTION	SG
3	03/22/16	ISSUED FOR CONSTRUCTION	VP
2	06/17/16	ISSUED FOR CONSTRUCTION	EB
1	01/27/16	ISSUED FOR REVIEW	VP
0	01/28/16	ISSUED FOR REVIEW	VP

SITE NUMBER:
4BS0447F
 SITE NAME:
BS447/179 SIDNEY STREET
 SITE ADDRESS:
 80 ERIE STREET
 CAMBRIDGE, MA 02139
 MIDDLESEX COUNTY

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
E-1

4

Photographic Simulation Package

Proposed Upgrade to Existing Wireless Telecommunications Facility:

4BS0447F Sidney Street
80 Erie Street
Cambridge MA 02139

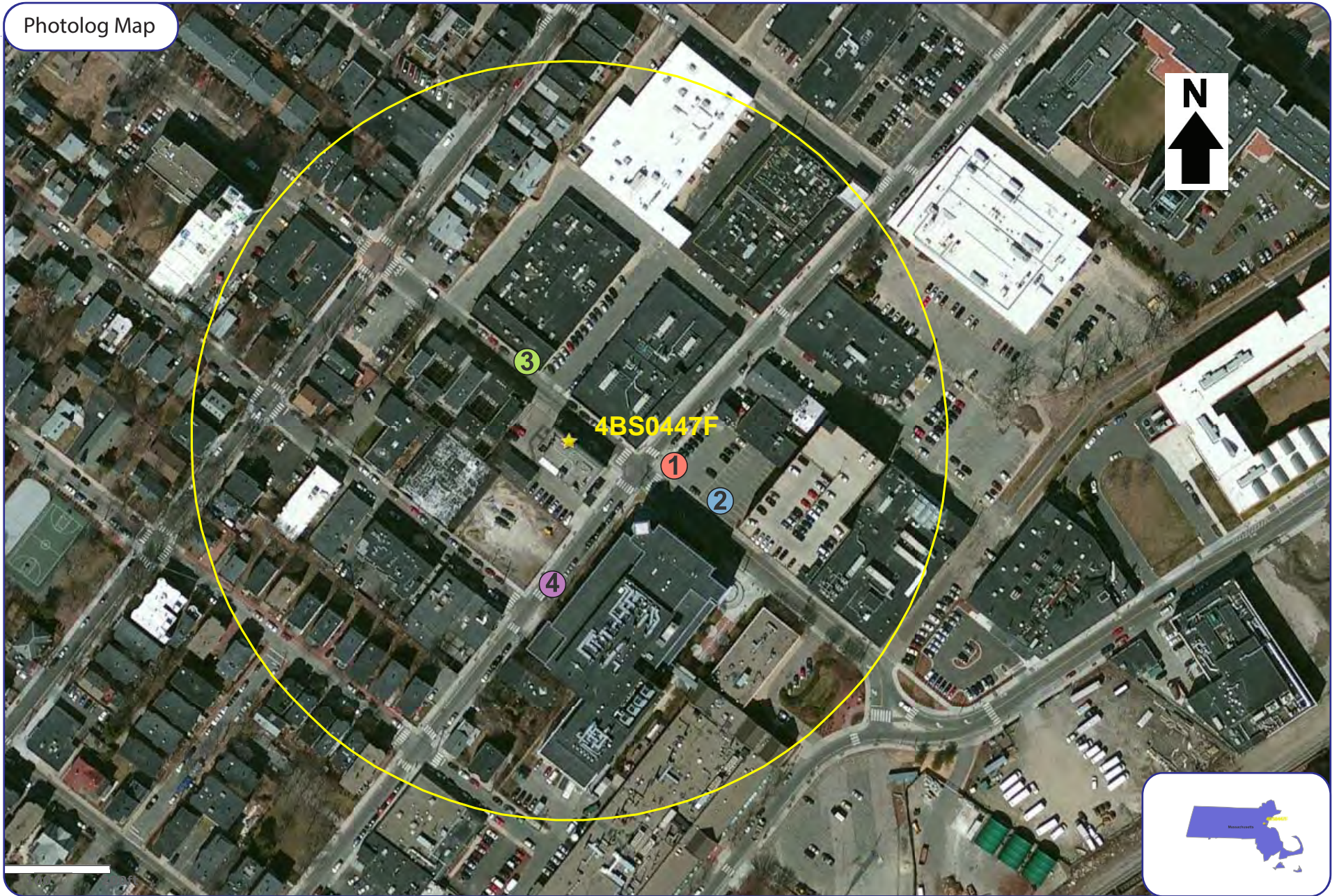
- proposed changes to existing Rooftop Mount Antenna Structure
- documentation photographs taken 12/10/15
- Revised per CD Rev 4 06-15-16

Simulation package prepared by:

Virtual Site Simulations, LLC
9 walts way
Narragansett, Rhode Island 02882

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution





Proposed Upgrade to Existing Wireless Telecommunications Facility:
4BS0447F Sidney Street
80 Erie Street
Cambridge MA 02139

Legend:

- ☆ Facility Location
- ⊗ Photo Documentation location
- 500 Ft Radius

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Existing



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
1	Sidney and Erie	42.35840 -71.10469	+/- 0.03 Miles	West	276.93	Year Round

Site: 4BS0447F Sidney Street

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Simulation



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
1	Sidney and Erie	42.35840 -71.10469	+/- 0.03 Miles	West	276.93	Year Round

Site: 4BS0447F Sidney Street

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Existing



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
2	Erie east	42.35828 -71.10447	+/- 0.04 Miles	West	285.05	Year Round

Site: 4BS0447F Sidney Street

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Simulation



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
2	Erie east	42.35828 -71.10447	+/- 0.04 Miles	West	285.05	Year Round

Site: 4BS0447F Sidney Street

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Existing



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
3	Erie west	42.35878 -71.10541	+/- 0.02 Miles	North East	143.79	Year Round

Site: 4BS0447F Sidney Street

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Simulation



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
3	Erie west	42.35878 -71.10541	+/- 0.02 Miles	North East	143.79	Year Round

Site: 4BS0447F Sidney Street
Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Existing



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
4	Sidney street	42.35798 -71.10528	+/- 0.04 Miles	South	0	Year Round

Site: 4BS0447F Sidney Street

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



Simulation



Photo #	Location	Gps Coordinates	Distance to site	Orientation	Bearing to site	Visibility
4	Sidney street	42.35798 -71.10528	+/- 0.04 Miles	South	0	Year Round

Site: 4BS0447F Sidney Street

Photo Simulations are for demonstration purposes only. It should not be used in any other fashion or with any other intent. The accuracy of the resulting data is not guaranteed and is not for redistribution



5

Federal Communications Commission
Wireless Telecommunications Bureau

Radio Station Authorization (Reference Copy Only)

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.

Licensee: T-Mobile License LLC

ATTN Dan Menser
T-Mobile License LLC
12920 SE 38th St.
Bellevue, WA 98006

FCC Registration Number (FRN): 0001565449	
Call Sign: KNLF954	File Number: 0002991471
Radio Service: CW - PCS Broadband	

Grant Date 06/05/2007	Effective Date 06/05/2007	Expiration Date 06/27/2017	Print Date 09/06/2007
--------------------------	------------------------------	-------------------------------	--------------------------

Market Number: BTA051	Channel Block: D	Sub-Market Designator: 0
Market Name: Boston, MA		

1st Build-out Date 06/27/2002	2nd Build-out Date	3rd Build-out Date	4th Build-out Date
----------------------------------	--------------------	--------------------	--------------------

Special Conditions or Waivers/Conditions This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

Conditions
Pursuant to Section 309(h) of the Communications Act of 1934, as amended, 47 U.S.C. Section 309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. Section 310(d). This license is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended. See 47 U.S.C. Section 606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls/> and select "License Search". Follow the instruction on how to search for license information

FCC 601 - MB

6

30



City of Cambridge

MASSACHUSETTS



2006 00079798

Bk: 47394 Pg: 5 Doc: DECIS
Page: 1 of 3 05/03/2006 02:09 PM

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2006 APR -7 A 10: 34
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

CASE NO: 9141

LOCATION: 80 Erie Street (179 Sidney St.) Special District (10-H)
Cambridge, MA

PETITIONER: Omnipoint Holdings, Inc.
C/o Adam Brailard, Esq.

Owner: First C-G Limited Partnership
BK/PG: 17749/503

PETITION: Special Permit: To install telecommunication antennas and base station equipment cabinets.

VIOLATIONS: Art. 4.000, Sec. 4.32.G.1 (Telecommunication Facility).

DATE OF PUBLIC NOTICE: August 5 & 12, 2005

DATE OF PUBLIC HEARING: August 25, 2005

MEMBERS OF THE BOARD:	THOMAS SIENIEWICZ - CHAIR	_____
	JENNIFER PINCK - VICE CHAIR	_____ ✓
	SUSAN SPURLOCK	_____
	KEEFE B. CLEMONS	_____
	CONSTANTINE ALEXANDER	_____ ✓

ASSOCIATE MEMBERS:	BRENDAN SULLIVAN	_____ ✓
	CHRISTOPHER CHAN	_____ ✓
	PAUL D. GRIFFIN	_____
	EDWARD W. WAYLAND	_____
	TIMOTHY HUGHES	_____ ✓

Members of the Board of Zoning Appeal heard testimony and viewed materials submitted regarding the above request for relief from the requirements of the Cambridge Zoning Ordinance. The Board is familiar with the location of the petitioner's property, the layout and other characteristics as well as the surrounding district.

Mail to: Prince, Lobel, Glavsky + Tye
Attn: Adam Brailard
100 Cambridge St.
Suite 2200
Boston, MA 02114

Case No. 9141
Location: 80 Erie Street
Petitioner: Omnipoint Holdings, Inc. c/o Adam Brillard

On March 9, 2006, Petitioner's attorney Adam Brillard appeared before the Board of Zoning Appeal requesting a special permit to install telecommunication antennas and base station equipment cabinets. The petitioners submitted plans and photographs.

This case had been continued from August 25, 2005, October 20, 2005, and December 15, 2005, in order to allow the petitioner the opportunity to revise their design of a chimney-like antenna enclosure.

Mr. Brillard stated that the "chimney" would now be a direct replacement for the existing 8-foot chimney, rather than the originally proposed 16-foot, in response to the Board's and neighbor's concerns. He stated that he had the required FCC license.

Charles Studen president of the condominium association at 98 Erie Street, spoke in opposition to the proposal based on his wish that the chimney be removed altogether rather than be replaced with the proposed chimney like antenna enclosure. Don Grossman, the building owner, spoke in favor of the proposal.

After discussion, the Acting-Chair moved that the Board grant the special permit in Case No. 9141, 80 Erie Street, a.k.a. 179 Sidney Street to install telecommunication antennas and bay station equipment cabinets, based on the fact that the Board has found that the petitioner is utilizing the existing mechanical elements and texture and color in such a way as to not create more visual clutter and not have any impact on the neighborhood. The Acting-Chair moved that the Board grant the special permit on the following conditions:

1. that the work be consistent with the plans submitted in support of the application entitled T1-1, Z-1, and Z-2,
2. that the petitioner remove the equipment when it is obsolete or if the petitioner were to lose its lease to utilize the space on the roof.

The five member Board voted unanimously in favor of granting the special permit (Pinck, Sullivan, Alexander, Hughes, and Chan) with the above conditions. Therefore, the special permit is granted.

The Board based its decision upon the above findings and upon the following:

- 1) The meeting of the requirements of the Ordinance;
- 2) Traffic generated or patterns of access or egress would not cause congestion, hazard, or substantial change in the established neighborhood character;
- 3) The continued operation of or the development of adjacent uses as permitted in the Ordinance would not be adversely affected by the nature of the proposed uses;
- 4) Nuisance or hazard would not be created to the detriment of the health, safety and /or welfare of the occupants of the proposed use;
- 5) The proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the Ordinance, and in fact would be a significant improvement to the structure and benefit the neighborhood, and;
- 6) The new use or building construction is not inconsistent with the Urban Design Objectives set forth in Section 19.30 of the Cambridge Zoning Ordinance.

The Board of Zoning Appeal is empowered to waive local zoning regulations only. This decision therefore does not relieve the petitioner in any way from the duty to comply with local ordinances and regulation of the other local agencies, including, but not limited to the Historical Commission, License Commission and/or compliance with requirements pursuant to the Building Code and other applicable codes.

Jennifer Pinck
 Jennifer Pinck, Acting-Chair

Attest: A true and correct copy of decision filed with the offices of the City Clerk and Planning Board on 4-7-06 by Marie Osbeck, Clerk.

Twenty days have elapsed since the filing of this decision.

No appeal has been filed ✓

Appeal has been filed and dismissed or denied.

Date: May 2, 06 *E. Margaret Chung* City Clerk.

RECEIVED & FILED
 MIDDLESEX COUNTY
 REGISTER OF DEEDS
 SOUTHERN DISTRICT
 ATTEST:
[Signature]
 REGISTER

7

June 22, 2016

VIA HAND DELIVERY

Ranjit Singanayagam
Commissioner of Inspectional Services/Building Commissioner
City of Cambridge
831 Massachusetts Avenue
Cambridge, MA 02139

Re: Eligible Facilities Request to Modify Transmission Equipment at an Existing Base Station located at **80 Erie Street, Cambridge, MA 02139.**

Dear Mr. Singanayagam:

A. T-Mobile is Filing an Eligible Facilities Request

Prince Lobel Tye LLP, on behalf of T-Mobile Northeast LLC is submitting the attached Eligible Facilities Request application to add, remove, modify, or replace Transmission Equipment at an Existing Base Station located at 80 Erie Street, Cambridge, MA 02139.

Because this jurisdiction has not yet developed an Eligible Facilities Request permit application form that complies with Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, commonly known as the "Spectrum Act" (Pub. Law No. 112-96, 126 Stat 156) (codified at 47 U.S.C. § 1455), this Eligible Facilities Request is attached to the Building Permit Application form which was customarily used by this jurisdiction when reviewing requests to collocate or modify wireless telecommunications facilities. Because federal law now preempts many of the permit application requirements that this jurisdiction would previously have required from an applicant, this Eligible Facilities Request application provides only the information that federal law allows this jurisdiction to consider when reviewing an Eligible Facilities Request.

Section 6409(a) of the Spectrum Act mandates that state and local governments "*may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.*" Under Section 6409(a)(2)(A)-(C) an Eligible Facilities Request is any request to modify a Tower or Base Station that involves "collocations of new Transmission Equipment," "removal," or "replacement" of Transmission Equipment.

Prince Lobel Tye LLP
One International Place
Suite 3700
Boston, MA 02110
TEL: 617 456 8000
FAX: 617 456 8100

B. Why this Eligible Facilities Request Must Be Granted

This Eligible Facilities Request involves an effort to collocate, remove, modify, or replace Transmission Equipment at an existing Base Station operated by an FCC licensed wireless carrier. The FCC has defined Base Station as “the equipment and non-tower supporting structure at a fixed location that enable Commission-licensed or authorized wireless communications between user equipment and a communications network . . . the term includes equipment associated with wireless communications service including, but not limited to, radio transceivers, antennas, coaxial or fiber-optic cable, regular and backup power supply, and comparable equipment.” The term existing base station also includes a structure that currently houses or supports an antenna, transceiver or other associated equipment that constitutes part of a Base Station at the time the application is filed even if the structure was not built solely or primarily to provide such support. The existing Base Station in this application is forty-six feet and eight inches (46’ 8”) high and presently contains wireless facilities. The existing Base Station meets the Federal Communications Commission (“FCC”) definition of a Base Station.

The list of equipment identified in the Eligible Facilities Request application that will be collocated, removed, or replaced at the Base Station also is Transmission Equipment as determined by the FCC. The FCC has defined Transmission Equipment as “any equipment that facilitates transmission for any Commission-licensed or authorized wireless communication service, including, but not limited to, radio transceivers, antennas and other relevant equipment associated with and necessary to their operation, including coaxial or fiber-optic cable, and regular and back-up power supply. This definition includes equipment used in any technological configuration associated with any Commission-authorized wireless transmission, licensed or unlicensed, terrestrial or satellite, including commercial mobile, private mobile, broadcast and public safety services, as well as fixed wireless services such as microwave backhaul or fixed broadband.”

The FCC, in a Report and Order adopted on October 17, 2014, determined that any modification to an existing telecommunications Base Station that meets the following six criteria does not substantially change the physical dimensions of the existing Base Station and therefore is an Eligible Facilities Request which must be granted:

1. *The modifications to the Transmission Equipment do not increase the height of the Base Station by more than 10 percent (10%) or ten (10) feet, whichever is greater.*
 - a. The height of the Base Station is currently forty-six feet and eight inches (46’ 8”) high. The proposed addition of three (3) new panel antennas will not affect the height of the Base Station.
2. *The modifications to the Transmission Equipment do not protrude from the edge of the support structure by more than six (6) feet.*
 - a. The three (3) proposed antennas will not protrude from the edge of the building and therefore will not exceed the six (6) foot limitation. Two (2) of the proposed antennas will be façade mounted to the existing penthouse

façade and will extend no more than two (2) feet from said penthouse and the third (3rd) proposed antenna will be concealed within a new faux chimney, setback ten feet (10') from the edge of the building. As such, the proposed modification will not protrude from the edge of the building by more than six (6) feet.

3. *The modifications to the Transmission Equipment do not involve the installation of more than the standard number of equipment cabinets for the technology involved, not to exceed four.*
 - a. There are currently three (3) equipment cabinets existing at the Base Station. The Applicant will be removing one (1) existing equipment cabinet and replacing it with a new equipment cabinet. The Applicant does not propose to install any additional equipment cabinets.
4. *The modifications to the Transmission Equipment do not entail any excavation or deployment outside of the Base Station site.*
 - a. The Applicant is proposing to install three (3) new antennas consistent with its existing antennas. There will be no excavation or deployment outside of the Base Station site.
5. *The modifications to the Transmission Equipment do not defeat any existing concealed or stealth-design.*
 - a. Pursuant to the original decision by the Zoning Board of Appeal for the City of Cambridge (the "Board") for this facility, August 25, 2005 (Case No. 9141) (the "Original Decision"), and attached hereto, the existing antennas are located in the preferred location on the roof of the building and comply with the required conditions for a stealth design. The addition of the proposed antennas will not defeat the existing stealth design as two (2) of the proposed antennas will be façade mounted to the existing penthouse façade and adjacent to the existing T-Mobile antenna and one (1) proposed antenna will be installed within a faux chimney. All equipment will be painted to match the existing building and will be designed to blend into the existing building. As such, the proposed modification will not defeat any existing concealed or stealth design.
6. *The modifications to the Transmission Equipment comply with prior conditions of approval of the Base Station, unless the non-compliance is due to an increase in height, increase in width, addition of equipment cabinets, or new excavation that does not exceed the corresponding "substantial change" thresholds in numbers 1-4.*
 - a. Based on the foregoing, the proposed modifications to the Base Station fully conform to Section 6409(a) of the Spectrum Act and comply with the prior conditions of approval of the Base Station.

There is a certification attached to the accompanying Eligible Facilities Request that identifies how each of the six review criteria identified by the FCC is met. The modifications to the Transmission Equipment at the Base Station located at 80 Erie Street contained in this Eligible Facilities Request fully conform to Section 6409(a) as enacted by Congress and as interpreted by the FCC. Accordingly, this Eligible Facilities Request must be approved within 60 days, as required by federal law and FCC implementing regulations.

C. Notice of Federal Law Expedited Permit Processing and Deemed Granted

Under federal law, an Eligible Facilities Request is deemed granted sixty (60) days after a complete application is filed with a local jurisdiction. If sixty days pass after the submission of T-Mobile's accompanying Eligible Facilities Request and the City of Cambridge has not acted to grant or deny the request, it will be deemed granted. At that time, the applicant may advise the City of Cambridge that the application has been deemed granted. If the City of Cambridge wishes to contest whether the Eligible Facilities Request has been deemed granted, the burden is on the City of Cambridge to file a lawsuit in a court of competent jurisdiction within 30 days after receipt of a written communication notifying it that the Eligible Facilities Request has been deemed granted. Failure to file a lawsuit in a timely manner may forever bar this jurisdiction from contesting that this Eligible Facilities Request has been deemed granted.

T-Mobile is committed to working cooperatively with you, and all jurisdictions around the country, to secure expeditious approval of requests to modify existing personal wireless service facilities. Please do not hesitate to contact me if you have questions.

Sincerely,



Ricardo M. Sousa

Direct: 617-456-8123

Email: rsousa@princelobel.com

**ELIGIBLE FACILITIES REQUEST CERTIFICATION FOR NON-SUBSTANTIAL
CHANGES
TO AN EXISTING BASE STATION**

“Base Station” means the equipment and non-tower supporting structure at a fixed location that allow Commission-licensed or authorized wireless communications between user equipment and a communications network. The term base station includes any equipment associated with wireless communications services including but not limited to radio transceivers, antennas, coaxial or fiber-optic cables, regular or back up power supply, and comparable equipment. The term existing base station also includes a structure that currently houses or supports an antenna, transceiver or other associated equipment that constitutes part of a base station at the time the application is filed even if the structure was not built solely or primarily to provide such support. “Base Station” includes the relevant equipment in any technological configuration, including small cells and DAS. Remember “Base Station” has two separate meanings: (1) the supporting structure that houses FCC licensed or authorized wireless equipment and (2) the wireless equipment itself. Keep this distinction in mind when calculating a substantial change in physical dimensions.

“Transmission Equipment” means any equipment that facilitates transmission for any FCC licensed or authorized wireless communication service, including but not limited to, radio transceivers, antennas and other relevant equipment associated with and necessary to their operation, including coaxial or fiber-optic cable, and regular and back-up power supply. This definition includes equipment used in any technological configuration associated with any Commission-authorized wireless transmission, licensed or unlicensed, terrestrial or satellite, including commercial mobile, private mobile, broadcast and public safety services, as well as fixed wireless services such as microwave backhaul or fixed broadband.

“Collocation” means the addition, removal or replacement of Transmission Equipment to an existing tower or a base station. This means that the existing support structure, be it a tower or a building or some other structure, must presently support FCC licensed or authorized wireless facilities. The FCC further requires that the site (tower, building, or other structure) was previously approved by the appropriate agency of government to house wireless facilities. Illegal wireless installations cannot be the basis for an eligible facilities request. However, if a communications Tower was erected at a time when it was exempt from zoning, the Tower can be modified through the Eligible Facilities Request process even if the Tower is no longer exempt from zoning.

Site Address: 80 Erie Street

Existing Facilities

The Existing Facility is comprised of three (3) panel antennas, two of which are concealed within an existing faux chimney and one (1) of which is façade mounted to the existing penthouse on the roof of the Building, together with nine (9) remote radio head units (“RRH”) and supporting equipment. All installed on the roof of the building.

Height of Base Station

Height above ground level of the tallest point on the existing base station: 46' 8" (feet)

Height above ground level of the tallest point of the existing base station after the installation of the *proposed* equipment: 46' 8"(feet)

- 1) Does the height above ground level of the proposed equipment exceed the height of the tallest point on the existing base station by more than 10 percent (10%) or ten (10) feet, whichever is greater?

Yes No

Width of Base Station

- 2) Will any of the proposed equipment protrude from the edge of the support structure by more than six (6) feet?

Yes No

Excavation or Equipment Placement

- 3) Will the proposed changes in Transmission Equipment involve excavation or placement of new equipment outside the existing Base Station site or outside any access or utility easements currently related to the site?

Yes No

Equipment Cabinets

- 4) Will the proposed modification in Transmission Equipment involve installation of more than the standard number of new equipment cabinets for the technology involved, but not to exceed four?

Yes No

Concealed or Stealth-Designed Wireless Facilities

5)

- a) Is the existing wireless facility concealed or stealth- designed?

Yes No

- b) If the answer to 5a) is "Yes," will the proposed modification in Transmission Equipment defeat the existing concealed or stealth-design?

Yes No

Compliance with Preexisting Conditions of Approval for the Base Station

6)

- a) Were there any conditions of approval stated in the original government approval of the Base Station?

Yes No

- b) Will the proposed modification in Transmission Equipment comply with conditions of approval imposed on the Base Station prior to February 22, 2012?

Yes No

- c) If the answer to 6b) is "No," is the non-compliance due solely to any of the conditions addressed in Questions 1-5 above?

Yes No

If the answers to questions 1-4 are "No," the answer to either 5a) or b) is "No," and the answers to 6a) is "No" or the answers to either 6b) or 6c) are "Yes," then the proposed modifications do not substantially change the physical dimensions of the existing Base Station.

Explanatory Comments:

Question No. 5 (b)

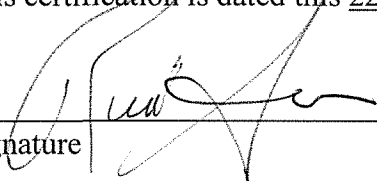
Comment: Pursuant to the previous decision by the Board of Zoning Appeal for the City of Cambridge (the "Board") for this site, dated August 25, 2005 (Case No. 9141) (the "Original Decision") the existing panel antennas are located in the preferred location on the roof. The addition of three (3) new panel antennas will not defeat the existing stealth design as one (1) of the new panel antennas will be entirely concealed within a new stealth chimney and two (2) antennas will be façade mounted to the penthouse of the existing building and painted to match. Furthermore, all proposed antennas will be integrated into the building to the extent possible. As such, the three (3) new antennas will be in conformity with the Original Decision and do not defeat the existing stealth design. The proposed installations will not substantially increase the facility and as such the proposed visual impact will be de minimus for many of the same reasons stated in the Original Decision attached hereto.

Question No. 6 (c)

Comment: Notwithstanding the aforementioned showing that the proposed modification to this site does not substantially change the physical dimensions of the existing Base Station and is subject to the Spectrum Act, this site is the proper location for a wireless installation pursuant to the Original Decision. Furthermore, in the Original Decision the Board stated that continued operation of adjacent uses would not be adversely affected by the previously proposed

equipment addition, and no nuisance or hazard would be created to the detriment of the health, safety or welfare of the occupant or the citizens of the City of Cambridge. The proposed modification to this site is very similar to the previous modification approved by this board and as such, we submit will have the same de minimis impact. Moreover, the proposed installation is necessary to accommodate the existing and future customer base as demand for data and cell service has steadily increased and continues to do so.

This certification is dated this 22nd day of June, 2016.

Signature 

Ricardo M. Sousa, Esq., Attorney for Applicant
Name & Title

Eligible Facilities Request (EFR) Application Form

[Attach this EFR form to the local jurisdiction form used to process cell site modifications.]

Date of Submittal: _____

Submitted by:

Name: _____

Title: _____

Contact information: _____

Name of Jurisdiction: _____

Address of Jurisdiction: _____

Contact Name for Jurisdiction: _____

Name of Local Government Permit Application: _____

Local Government File #: _____

Street Address of Site: _____

Tax Parcel # of Site: _____

Latitude/Longitude of Site: _____

List Each Piece of Transmission Equipment that will be Collocated or Added:

List Each Piece of Transmission Equipment that will be Removed:

List Cabinets that will be Collocated or Added at the Site:

List Cabinets that will be Removed at the Site:

Permit Application Deposit Amount: _____

Municipal Consultant Review Fee Deposit (if applicable): _____



INSPECTIONAL SERVICES DEPARTMENT

City of Cambridge • 831 Massachusetts Avenue • Cambridge, Massachusetts 02139

617-349-6100 • TTY 617-349-6112 • Fax 617-349-6132

Ranjit Singanayagam - Commissioner

Application for a PERMIT to Build, Alter, or Repair ANY BUILDING (other than a 1 or 2 family Dwelling) in accordance with Massachusetts State Building Code 780 CMR (MSBC). Application must be filled out COMPLETELY in ink.

Building Address	80 Erie Street, Cambridge, MA 02139		
Building Owner	First C-G Limited Partnership	Phone #	617-899-7377
Owner Address	179 Sidney Street, Cambridge, MA 02139		
Contractor	HPC	Phone #	401-301-3396
Contractor Address	6 Avenue E. Hopkinton, MA 01748		
Architect/Engineer	Hudson Design Group LLC	Phone #	978-557-5553
Address	1600 Osgood Street, North Andover, MA 01845		

TYPE OF WORK: New Construction Addition Change of Occupancy
 Repair Alteration Level 1 Alter Level 2 Alter Level 3 Roof

Wireless Base Station Upgrade

EXISTING BUILDING INFORMATION (Required – MSBC Ch. 34 Sec 101.5.4.0 Amended)

Current Use Wireless Facility Proposed Use Wireless Facility
 For Residential Use: Current number of dwelling units N/A Proposed number of dwelling units N/A
 Building Construction type:
 Non-Combustible (Type I/II) Masonry/Wood (III) _____ Wood (IV,V) _____
 Building Equipped with : Sprinkler System: No Fire Alarm: No Smoke Detection: No
 Provide a description of the building: 4 Story Office Building

Description of Proposed Work: Include effects of the proposed work on the structural, egress, fire protection, energy conservation, light, and ventilation systems of the space or building. Include any changes as listed in Zoning Information (pg 2).
Install (3) T-Mobile antennas, (one in proposed replacement 24"x10' canister and the other 2 proposed on penthouse wall, replace existing TMA's with 9 new TMA's, install (3) Smart Bias T's, install (12) lines 1 5/8" coax install (3) RRU's in equipment room, install surge protector in equipment room

Note: 2 sets of construction documents, plus 1 set in digital format, required to be submitted for review.

ESTIMATED COST OF CONSTRUCTION:

Building	<u>\$80,000</u>	HVAC	_____
Electric	_____	Sprinklers	_____
Plumbing/Gas	_____	Fire Detection	_____
Gas Fitting	_____	Fire Suppression	_____

Total Estimated Cost of Construction \$80,000

Total Construction costs include all work done concurrently with the work contemplated by the Building Permit including demolition, plumbing, heating, electrical, air conditioning, painting, wall to wall carpeting, landscaping, site improvements, etc. Furnishings and portable equipment are not part of the total construction cost. A signed copy of contractor/client contract must be included with Application. A final cost affidavit completed by the owner will be required at construction completion for all projects (affidavit required for final sign-off).

ZONING INFORMATION (REQUIRED) The Applicant is responsible for proving Zoning compliance.

Current Use Wireless Facility Proposed Use Wireless Facility Zone Highway Business BZA/PB Case # 9141

For residential: Current number of dwelling units N/A Proposed number of dwelling units N/A

Proposed work includes – reconstruction of an existing exterior building element (porch, deck, etc.). Provide recent photos of existing conditions, and fully dimensioned plans and elevations.

Proposed work includes - enclose a covered porch, build uncovered exterior stairs, build decks at the 1st floor level, build roof decks over existing 1st or 2nd floors, create new windows (including moving existing windows), doors, or skylights. Provide a stamped and scalable surveyor's plot plan, the height of the highest point of the roof, recent photos of existing conditions, and fully dimensioned plans and elevations. If Zoning Appeal case, include copy of registered decision.

Proposed work includes – new construction, additions, dormers, bays, balconies, covered stairs/landings and/or porches, decks at the 2nd floor level or higher, roof decks over the 3rd floor or higher, or to excavate a basement, change any floor or ceiling height, change the use or increase the number of dwelling units of a building, erect an outbuilding, or to do any similar work. Provide all previously listed documents, plus a comprehensive Zoning Analysis showing compliance with all aspects of the Cambridge Zoning Ordinances. If BZA or Planning Board case, include copy of registered decision.

None of the above. The proposed work is not of the types listed above and is not regulated by the Zoning Ordinance.

Certified Plot Plan: For new structures and additions, a certified plot plan shall be submitted after the foundation is poured and before further work commences.

Energy Conservation: Effective July 1, 2010, the City of Cambridge has adopted the Stretch Energy Code, 780 CMR115AA. The Stretch Code requirements are in addition to the requirements of the most recently published version of the ICC International Energy Conservation Code (IECC). Check all applicable:

The proposed project is subject to Stretch Code and/or IECC provisions and documentation indicating compliance has been included with this application.

The proposed work involves changes to the building lighting system and a Lighting Power Density Report has been included with this application.

The proposed work does not access or affect the building energy envelop.

All Residential work requires a completed Energy Star Qualified Homes Thermal Bypass Inspection Checklist at final inspection. This form is available at www.energystar.gov or from the Building Official.

Fire Protection:

For proposed work that may include any fire protection work as regulated by MSBC Ch. 9 Fire Protection Systems, review and approval of the construction documents by the Cambridge Fire Department is required before submittal.

Camb. Fire Dept. has reviewed this application Yes No

A Narrative Report describing all fire protection systems and their operation is required to be submitted with this application (Sec 902.1 #1a, MSBC Amended). **This report has been submitted** Yes No

All Fire Protection design documents and calculations are required to be submitted as part of the Building Permit Application.

Noise Ordinance Affidavit

The undersigned as the Architect/Construction Supervisor for this proposed construction, do hereby certify knowledge of Chap 8.16 of the Cambridge Municipal Code concerning noise-control.

I certify that necessary actions will be taken concerning the design, specification of, and location of noise producing equipment: e.g., transformers, air handling units, etc., to insure that this project will not result in noise levels that exceed that allowed by the Municipal Code.

Name Nova Crevier Title Construction Manager

Signature _____ Registration/License # CS-107527

Please note that additional Mechanical Permits and Sheet Metal permits may be required for installation of any mechanical system. New rooftop units (including solar panels) require an existing building analysis by a Registered Structural Engineer for suitability of the installation.

CONSTRUCTION SERVICES (REQUIRED)

Any project proposed for any building over 35000 ft³ must meet the requirements of Sec.107.6 & Chapter 17, MSBC.

Architect / Registered Design Professional (Construction Control Sec 107, MSBC Amended)

Name Derek Creaser Phone # 978-557-5553
Firm Hudson Design Group, LLC Cell Phone# N/A
Address 1600 Osgood Street, North Andover, MA 01845
MA Registration Number 49195 Email Address: derek.creaser@hudsondesigngroupllc.com

Application shall include signed and stamped letter from Registered Design Professional attesting to duties and obligations required by Sections 107.6 (Construction Control) and Chapter 17 (Structural Tests and Special Inspections) MSBC Amended. Application shall also include schedule of tests, inspections and observations as required by Section 1701.1.1 MSBC Amended.

Structural Peer Review (MSBC 780 CMR 105.9 Amended):

Is Independent Structural Engineering Peer Review required Yes No X
If Yes, review must be submitted with application. Peer Review is required for high rise construction or buildings of unusual complexity as determined by the BBRs.

Read Before Signing: The undersigned hereby certifies that he/she has read and examined this application and that the proposed work subject to the provisions of the Massachusetts State Building Code and other applicable laws and ordinances is accurately represented in the statements made in this application and that the work shall be carried out in accordance with the foregoing statements and in compliance with the provisions of law and ordinance in force on the date of this application to the best of his/her ability.

Licensed Construction Supervisor

Name Nova Crevier, c/o HPC Phone # 401-301-3396
Address 6 Avenue E, Hopkinton, MA 01748 Cell Phone #
License Number CS-107527 Expiration Date 6/9/2017 Class
Signature Date
Email Address ncrevier@hpcwireless.com

Registered Home Improvement Contractor (required only for 3 or 4 family owner-occupied dwellings)

Name N/A Phone #
Address Cell Phone #
Registration Number Expiration Date
Signature Date

Building Owner of Record (application must be signed by OWNER of Building)

Name First C-G Limited Partnership Phone # 617-899-7377
Address 179 Sidney Street, Cambridge, MA 02139
Signature See Letter of Authorization Date
Email Address donald.grossman@gmail.com

Hold Harmless Clause: The Permittee(s) by acceptance of this permit agree(s) to indemnify and hold harmless the City of Cambridge, and its employees, from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City of Cambridge, and its employees, are to assume the defense of the City of Cambridge, and its employees, against all claims, demands and actions.

PERMIT NO.

FEE

MASSACHUSETTS GENERAL LAW REQUIREMENTS

Workers Compensation Insurance Affidavit (MGL c. 152 §25C96)

A Certificate of Insurance indicating Worker's Compensation coverage or a completed Workers Compensation Insurance Affidavit must be submitted with this application. Failure to provide this affidavit will result in the denial of the issuance of the Building Permit. Failure to secure coverage as required under Section 25A of MGL c.152 can lead to imposition of a fine of up to \$1500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator.

Signed Affidavit Attached Yes No

Construction Debris Affidavit (MGL c 40 §54)

As result of the provisions of MGL c 40 §54, I acknowledge that as a condition of the Building Permit, all debris resulting from the construction activity governed by this Building Permit shall be disposed of in a properly licensed waste disposal facility, as defined by MGL c 111 §150A.

The debris will be disposed at/by _____

Roll-Off Dumpster or Container? Yes / No / Specify _____ Dumpster Permit # _____

Signature _____ Date _____

I certify that I will notify the Building Official by _____ (two months maximum) of the location of the solid waste disposal facility where the debris resulting from said construction activity shall be disposed of, and I shall submit he appropriate form for attachment to the Building Permit

Signature _____ Date _____

OFFICIAL USE ONLY

Department Approvals

BZA _____	Date _____	Electrical _____	Date _____
Planning Board _____	Date _____	Plumbing _____	Date _____
Historic _____	Date _____	D.P.W. _____	Date _____
Fire Dept. _____	Date _____	Parking _____	Date _____

Application Approval(Subject to the provisions of the Massachusetts State Building Code 780 CMR and the Zoning Laws of the City of Cambridge.)

Application and Plans Accepted By: _____ Bin _____ Date _____

Zoning Approved By: _____ Date _____

Plan Review Approved By: _____ Date _____ AAB Review by: _____ Date _____

Permit Approved/Granted By: _____ Date _____

Inspection Record

Final Inspection Made

Date _____ By: _____

Certified Foundation Plan submitted: Yes ___ No ___ Certificate of Occupancy issued: Yes ___ No ___

Final Cost Affidavit: Yes ___ No ___ General Contractor Final Affidavit: Yes ___ No ___

Architect Final Affidavit: Yes ___ No ___ Structural Engineer Final Affidavit: Yes ___ No ___

Final as-built drawings submitted in digital format? Yes ___ No ___



Massachusetts - Department of Public Safety
Board of Building Regulations and Standards

Construction Supervisor

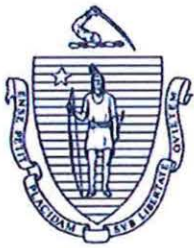
License: CS-107527



NOVA CREVIER
118 RIVERVIEW PLACE UNIT B
Southbridge MA 01550

Thomas D. Glynn
Commissioner

Expiration
06/09/2017



The Commonwealth of Massachusetts
 Department of Industrial Accidents
 Office of Investigations
 1 Congress Street, Suite 100
 Boston, MA 02114-2017
 www.mass.gov/dia

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers
Applicant Information **Please Print Legibly**

Name (Business/Organization/Individual): HPC Wireless Services, LLC

Address: 22 Shelter Rock Lane, Building C

City/State/Zip: Danbury, CT 06810

Phone #: 203-797-1112

Are you an employer? Check the appropriate box:

- | | |
|---|---|
| <p>1. <input checked="" type="checkbox"/> I am an employer with <u>75</u> employees (full and/or part-time).*</p> <p>2. <input type="checkbox"/> I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]</p> <p>3. <input type="checkbox"/> I am a homeowner doing all work myself. [No workers' comp. insurance required.] †</p> | <p>4. <input type="checkbox"/> I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance. ‡</p> <p>5. <input type="checkbox"/> We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §1(4), and we have no employees. [No workers' comp. insurance required.]</p> |
|---|---|

Type of project (required):

6. New construction
7. Remodeling
8. Demolition
9. Building addition
10. Electrical repairs or additions
11. Plumbing repairs or additions
12. Roof repairs
13. Other Telecommunications

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

† Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.

‡ Contractors that check this box must attach an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: Zurich American Insurance Co.

Policy # or Self-ins. Lic. #: WC552553802 Expiration Date: 7/6/2016

Job Site Address: _____ City/State/Zip: _____

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date). Failure to secure coverage as required under Section 25A of MGL c. 152 can lead to the imposition of criminal penalties of a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. Be advised that a copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: *Joe Pasoneh* Date: 7/9/2015

Phone #: 203-797-111

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (circle one):

1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector

6. Other _____

Contact Person: _____ Phone #: _____

80 Erie St.

Petitioner

96-117-118
MASSACHUSETTS INSTITUTE OF TECHNOLOGY
OFFICE OF THE TREASURER
238 MAIN ST. - SUITE 200
CAMBRIDGE, MA 02142

96-126
FIRST C-G LIMITED PARTNERSHIP
179 SIDNEY STREET
CAMBRIDGE, MA 02139

PRINCE LOBEL TYE LLP
C/O RICARDO M. SOUSA, ESQ.
100 CAMBRIDGE STREET – SUITE 2200
BOSTON, MA 02114

96-127
TESKEY, GORDON
98 ERIE ST., UNIT #2
CAMBRIDGE, MA 02139

96-127
GORDON, MICHELLE C.
98-100 ERIE ST., UNIT #4
CAMBRIDGE, MA 02139

96-127
JANER, JEFFERY B. & MARGARET SANFTLEBEN
98-100 ERIE ST., UNIT #7
CAMBRIDGE, MA 02139

96-127
PROCINO, MARC DAVID & LISA ISRAEL PROCINO
98-100 ERIE ST., UNIT #8
CAMBRIDGE, MA 02139

96-127
TATE, KARIN
98-100 ERIE ST., UNIT #9
CAMBRIDGE, MA 02139

96-127
ENGELMAN, KEVIN & RHONA ENGELMAN
98-100 ERIE ST., UNIT #11
CAMBRIDGE, MA 02139

96-127
WILLIAMS, KEITH
18712 BELLEVISTA CT.
HUDSON, FL 34667

96-127
STUDEN, CHARLES R.
98-100 ERIE ST., UNIT #13
CAMBRIDGE, MA 02139

96-127
SULLIVAN, MARY E.
98-100 ERIE ST., UNIT #14
CAMBRIDGE, MA 02139

96-127
SHAW, RICHARD HALE & KIMBERLYN R. LEARY
98 ERIE ST., UNIT #1
CAMBRIDGE, MA 02139

67-56 /95-74
MIT 170/171 SIDNEY LLC
C/O ARE EQUITIES -ARE-MA REGION NO.23 LLC
P.O. BOX 847
CARLSBAD, CA 92018

96-127
CEBERS, GVIDO & ALETA CEBERS
98-100 ERIE ST., #6
CAMBRIDGE, MA 02139

96-127
HOPKINS, ALBERT
CLEVEDALE, THE AVE. TWYFORD
WINCHESTER, _ S021

95-75/96-61-60
MIT 99 ERIE LLC C/O ARE EQUITIES INC
C/O ARE-MA REGION NO. 33 LLC
P.O. BOX 847
CARLSBAD, CA 92018

96-59
TAYLOR, RENFORD G. AND
PATRICIA D. TAYLOR, TRS.
TAYLOR REALTY TRUST
210 BROOKLINE ST
CAMBRIDGE, MA 02139

66-146
BMR-200 SIDNEY STREET LLC,
C/O PARADIGM TAX GROUP
5694 MISSION CENTER RD. -SUITE 602-800
SAN DIEGO, CA 92108

96-127
LURIE, JACOB
98-100 ERIE ST. UNIT#5
CAMBRIDGE, MA 02138

96-124
MILTENYI BIOTEC, INC
2303 LINDBERGH ST
AUBURN, CA 95602

96-127
VERLINDEN, MATTHEW C.
98-100 ERIE ST. UNIT#15
CAMBRIDGE, MA 02139

96-127
LANDRIGAN, MARK
100 ERIE ST #10
CAMBRIDGE, MA 02139

96-127
OWSLEY, C. F. II
98-100 ERIE ST. UNIT#16
CAMBRIDGE, MA 02139



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 BLS

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ERIC KALLIO Date: 7/11/2016
(Print)

Address: 80 Elm St. Case No. BZA-010667-2016

Hearing Date: 7/28/16

Thank you,
Bza Members



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

William B. King, *Chair*, Bruce A. Irving, *Vice Chair*, Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., M. Robert G. Crocker, Chandra Harrington, Jo M. Solet, *Members*
Shary Page Berg, Joseph V. Ferrara, Susannah Barton Tobin, *Alternates*

Jurisdiction Advice

To the Owner of Property at 80 Erie Street:

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition.**
No demo proposed.
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB Date 6/27/16
 Received by Upadee Date "
 Relationship to project _____

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic/demolitiondelay.html>