



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-012307-2016

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : √ Variance : √ Appeal :

PETITIONER : Mary Lord - C/O Thomas Bakalars, Architect

PETITIONER'S ADDRESS : 30 Fenway Boston, MA 02215

LOCATION OF PROPERTY : 96 Foster St Cambridge, MA

TYPE OF OCCUPANCY : Single Family ZONING DISTRICT : Residence B Zone

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

See attached petition. Raise building foundation to above grade resulting in an increase in FAR (basement). New supporting foundation for bay window is in the setback. Door, window, skylight additions and changes.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).
 Article 5.000 Section 5.24.1 (New Foundation of Bay Window in Setback).
 Article 8.000 Section 8.22.1(D) (Door, Window, Skylight Changes).

Original Signature(s) :

(Petitioner(s) / Owner)

THOMAS BAKALARS

(Print Name)

Address : 30 FENWAY

BOSTON, MA 02215-4004

Tel. No. : 617.536.6100

E-Mail Address : TH@TBARCHITECTS.COM

Date : 1.10.17

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I, **Mary Lord** (Owner)

Address: 2125 Newport Place NW, Washington DC 20037

State that I own the property located at **96 Foster Street**, Cambridge, MA 02138

which is the subject of this zoning application.

The record title of this property is in the name of **Mary Lord**

*Pursuant to a deed of duly recorded in the date September 16, 2011, Middlesex Registry District of Land Court, Document #01576065, Certificate No. 249583, Book 1405 Page 63.

Mary C. Lord
SIGNATURE BY LAND OWNER

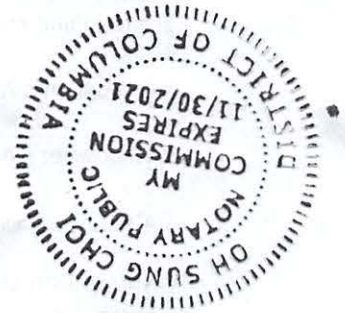
State of DC, County of -

The above-named Mary Lord personally appeared before me, this 22 day of Dec, 2016, and made oath that the above statement is true.

[Signature] Notary

My commission expires 11/30/21 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



CITY OF CAMBRIDGE
INSPECTIONAL SERVICES DEPARTMENT
831 Massachusetts Avenue
Cambridge, MA 02139
617-349-6100

Homeowner's Affidavit to Perform Construction Work

This Affidavit must be completed by each homeowner of the subject property who wishes to perform work without hiring a licensed home improvement contractor or other licensed design professional.

I hereby certify under the pains and penalties of perjury the following information:

I am the owner of record of the real property located at (full address)

96 Foster Street
in Cambridge, Massachusetts (the "Property")

If I am not the sole owner of the Property, I certify that I am authorized by all other owners of the Property to apply for building and/or other permits for the Property on behalf of all such other owners.

I am a homeowner within the meaning of 780 CMR 108.3.5.1, which is defined as follows:
"Person(s) who owns a parcel of land on which he/she resides or intends to reside, on which there is, or is intended to be, a one or two family dwelling, attached or detached structures accessory to such use and/or farm structures. A person who constructs more than one home in a two year period shall not be considered a homeowner."

I understand and agree to accept responsibility for all work performed under the building permit for which I am applying including but not limited to acting as construction supervisor for any person that I hire to perform such work pursuant to the licensing exemption provisions set forth in 780 CMR 110.R5 1.3

I understand and agree to comply with the State Building Code and other applicable laws, codes, by-laws, rules and regulations. I understand that by obtaining my own building permit, I cannot receive payment from the Guaranty Fund under the Home Improvement Contractor Law (M.G.L. ch. 142A, § 5).

I understand and agree to comply with the City of Cambridge Department of Inspectional Services' inspection procedures and requirements.

I certify under the pains and penalties of perjury that all the information that I have provided is true, accurate and complete.

Homeowner's Authorized Signature: Mary C. Ford

Homeowner's Address: 2125 Newport Place, Washington D.C. 20037

Date: December 22, 2016

*Note: all structures of 35,000 cubic feet or larger will be required to comply with State Building Code Construction Control Regulations

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES DEPARTMENT
831 Massachusetts Avenue
Cambridge, MA 02139
617-349-6100

Homeowners' Ownership Affidavit

I, Mary Lord, certify under the pains and penalties of perjury that I am the owner of record of the real property located at (full address)

96 Foster Street, in Cambridge, Massachusetts (the "Property"),

OR

If I am not the sole owner of the Property, I certify that I am authorized by all other owners of the Property to apply for building and/or other permits for the Property on behalf of all such other owners.

List your Full Name: _____

Address: _____

Please check the appropriate box below and if applicable fill in the full name(s) and address(es) of all owners of the Property.

I am the sole owner of the above referenced Property,

OR

I am an owner of the above referenced Property and I am authorized to sign on behalf of all other owners of the Property which are listed below:

List the full name(s) and address(es) of all other owners of the Property:

I hereby certify under the pains and penalties of perjury that neither I nor any of the owners of the Property listed herein own or have ever owned any land that is adjacent to or adjoining the Property. If this box is not checked each owner of the Property will be required to complete the Affidavit of Ownership of Adjacent or Adjoining Properties.

Please check if you are authorizing an agent to apply for a building permit:

On behalf of myself and all other owners of the Property, I hereby authorize

Thomas Bakalars

Full Name of Homeowner's Authorized Agent

6201

License Number/Registration Number

as my Architect Registered home improvement contractor
 Engineer Other licensed design professional

Licensed by: Massachusetts

to act as my lawful agent in this matter and to sign all documents on my behalf and on behalf of all other owners of the Property for the purpose of applying for a building and/or other permit for work to be performed at the Property.

I certify under the pains and penalties of perjury that all the information that I have provided is true, accurate and complete.

Mary C. Ford
Homeowner's Authorized Signature

December 22, 2016
Date

Homeowner's Address: 2125 Newport Place, Washington D.C. 20037

If you are a homeowner performing work for which a building permit is required you must complete the Homeowner's Affidavit to Perform Construction Work.

as my Architect Registered home improvement contractor
 Engineer Other licensed design professional

Licensed by: Massachusetts

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Mary C. Ford
Homeowner's Authorized Signature

December 22, 2016
Date

Homeowner's Address: 2125 Newport Place, Washington D.C. 20037

If you are a homeowner performing work for which a building permit is required you must complete the Homeowner's Affidavit to Perform Construction Work.

Deed



2011 01578065
Bk: 1405 Pg: 83 Cert#: 249583
Doc: DEED 09/18/2011 09:13 AM

I, Edwin C. Lord III, of 63303 Dreieich - Buchschlag, Germany, for consideration paid, and in full consideration of -----ONE HUNDRED TWENTY-FIVE THOUSAND (\$125,000.00) DOLLARS PAID-----

grants to Mary Lord, residing at 2125 Newport Place NW, Washington, DC 20037-3002, all of my right, title and interest, including my undivided one-half (1/2) interest in and to

with quitclaim covenants

(Description and encumbrances if any)

A certain parcel of land with the buildings thereon situated in Cambridge, Middlesex County, Massachusetts, being now known as and numbered 96 Foster Street, and being bounded and described as follows:

- NORTHEASTERLY by said Foster Street, twenty-three and 40/100 (23.40) feet;
- SOUTHEASTERLY by Lot 2 on a plan hereinafter mentioned, seventy-four (74) feet;
- SOUTHWESTERLY by Lot 1 on said plan, twenty-three and 40/100 (23.40) feet; and
- NORTHWESTERLY by land now or formerly of Francis J. McDonald, seventy-four (74) feet.

Said parcel is shown as Lot 3 on said plan, (Plan No. 7354B).

All of said boundaries are determined by the Court to be located as shown on a subdivision plan, as approved by the Court, filed in the Land Registration Office, a copy of which is filed in the Registry of Deeds for the South Registry District of Middlesex County in Registration Book 826, Page 128, with Certificate of Title No. 139278.

PREMISES: 96 Foster Street, Cambridge, MA 02138

843002 1361-95

MASSACHUSETTS EXCISE TAX
Southern Middlesex District ROD # 001
Date: 09/18/2011 09:13 AM
Ctr/# 155110 29718 Doc# 01678086
Fee: 8570.00 Oons: \$125,000.00

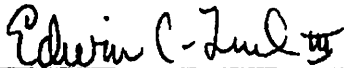
The above described land is subject to the restrictions set forth in a deed given by Asa Murdock to Peter Nelligan, dated May 24, 1859, duly recorded in Book 840, Page 375.

The above described land is subject to and has the benefit of a right of way over the WAY shown on said plan for ingress and egress in common with others entitled thereto to and from Foster Street, set forth in Deed, Document 503759.

The above described land is subject to an easement over the triangular Way for the benefit of Lot 2 on said plan, more particularly set forth in Deed, Document 503759.

Being the same premises conveyed to said Grantor by a Trustees Deed dated September 24, 2008, registered with Certificate of Title No. 243002, in Registration Book 1361, Page 95, as Document No. 01485492.

Witness my hand and seal this 9th day of September, 2011.



Edwin C. Lord III

THE COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss.

On this 9th day of September, 2011, before me the undersigned notary public, personally appeared Edwin C. Lord III, proved to me through satisfactory evidence of identification, which was a U.S. Passport, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.



Richard D. Walsh – Notary Public
My commission expires: December 29, 2011

with
1453333
8-30-07

①

DOCUMENT 01576065

Southern Middlesex LAND COURT
REGISTRY DISTRICT

RECEIVED FOR REGISTRATION

On: Sep 16, 2011 at 09:13A

Document Fee: 125.00
Receipt Total: \$695.00

NEW: CERT 249583 BK 01405 PG 43

OLD: CERT 243002 BK 1361 PG 95

RICHARD D. WALSH, ESQ.
617-492-4242
STREET ADDRESS
CITY OF TOWN
ZIP

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 96 Foster St Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- The petitioner's application to make door, window, and skylight changes will not expand the envelope of the building (with the exception of the foundation addition to the existing bay window) and are physical and aesthetic improvements to the building. The rear sliding glass door is to be replaced with a French door pair and repositioned to the center of the room within the rear yard setback.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- The petitioner's application to make door, window, and skylight changes will not have any effect on traffic patterns, neighborhood congestion, or alteration of neighborhood character whatsoever.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- The petitioner's application to make door, window, and skylight changes will have no effect on the continued operation of or the development of adjacent uses whatsoever.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- The petitioner's application to make door, window, and skylight changes would create no nuisance or to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City whatsoever.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
- The petitioner's application to make door, window, and skylight changes would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this Ordinance for any reason whatsoever.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Due to the topography of the site and as a result of the abutters, over time, having raised their adjacent grades, the rear yard of 96 Foster Street is lower than the yards of the neighbors. Consequently, the top of the masonry foundation (particularly in the rear of the building) is partially below grade exposing the top of the foundation wall and portions of the sill plates to the earth. All these factors contribute to numerous water infiltration issues which have significantly deteriorated the building. Literal enforcement of the Ordinance would prevent the correction of these conditions resulting in ongoing physical damage to the building and the associated (and extreme) costs of maintenance of the building.

- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

Due to the topography of the site and as a result of the abutters, over time, having raised their adjacent grades, the rear yard of 96 Foster is lower than the yards of the neighbors. Consequently, the top of the masonry foundation (particularly in the rear of the building) is partially below grade exposing the top of the foundation wall and portions of the sill plates to the earth. These soil and topographical conditions affect this lot alone among its neighbors and are not generally present in the building's zoning district.

- C) **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1) Substantial detriment to the public good for the following reasons:

The raising of the foundation (resulting in additional FAR in the basement providing area for additional living space within the existing building envelope), the addition of a supporting foundation under a bay window, and the installation of new doors, windows, and skylights, all without expanding the envelope of the building (excepting for height that will still be below the allowable height) will have no detriment to the public good whatsoever.

- 2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The maintenance and improvement of properties to prevent accelerated and severely damaging deterioration, necessitated by conditions of the lot, which require zoning relief (variance and special permit) but which do not change the character or physical exterior dimensions of the existing building on the lot do not derogate from the intent or purpose of the Ordinance. To the contrary, it is in the interest of the neighborhood and City generally to encourage property maintenance and improvement through thoughtful application of the Ordinance in cases where zoning relief can prevent extreme maintenance and expense burdens on an owner.

In the petitioner's case, the raising of the foundation (resulting in additional FAR in the basement providing area for additional living space within the existing building envelope), the addition of a supporting foundation under a bay window, and the installation of new doors, windows, and skylights, all without expanding the envelope of the building (excepting for height that will still be below the allowable height) will be consistent with the intent and purpose of the Ordinance as applied.

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Clark, Hunt, Ahern & Embry PRESENT USE/OCCUPANCY: Single Family
LOCATION: 96 Foster St Cambridge, MA ZONE: Residence B Zone
PHONE: _____ REQUESTED USE/OCCUPANCY: Single Family

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	1209	1740	866	(max.)
<u>LOT AREA:</u>	1732	1732	6000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²	.70	1.0	.5	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	1732	1732	2500	(min.)
<u>SIZE OF LOT:</u>				
WIDTH	23.4	23.4	50	(min.)
DEPTH	74	74	50	
<u>SETBACKS IN FEET:</u>				
FRONT	17.5	20	15	(min.)
REAR	14.6	14.6	25	(min.)
LEFT SIDE	6.1	6.1	7.5 sum 20	(min.)
RIGHT SIDE	.60	.60	7.5 sum 20	(min.)
<u>SIZE OF BLDG.:</u>				
HEIGHT	22.3	23.51	35	(max.)
LENGTH	39'1 3/4''	41'2''	NA	
WIDTH	16'1''	16'1''	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	Same	Same	40%	(min.)
<u>NO. OF DWELLING UNITS:</u>	1	1	0	(max.)
<u>NO. OF PARKING SPACES:</u>	0	0	1	(min./max)
<u>NO. OF LOADING AREAS:</u>	NA	NA	NA	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	NA	NA	NA	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

2017 JAN 11 AM 11:32

OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

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Original Signature(s) :

(Petitioner(s) / Owner)

THOMAS BAKALARS

(Print Name)

Address : 30 FENWAY

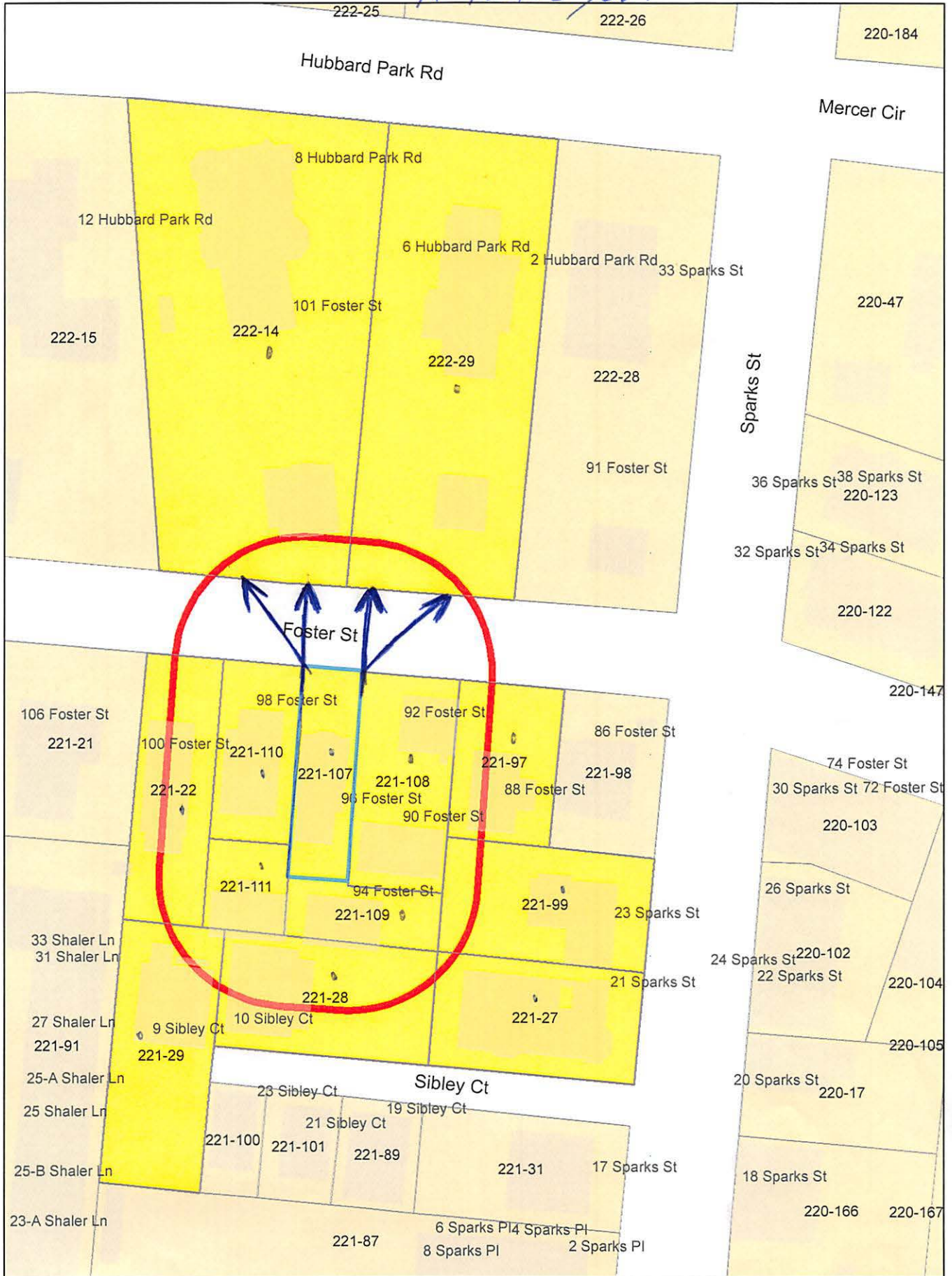
BOSTON, MA. 02215-4004

Tel. No. : 617. 536-6100

E-Mail Address : theTBARCHITECTS.COM

Date : 1.10.17

96 Foster St.



96 Foster St.

221-22
WANNER, PATRICIA A. & EDWARD C. SERUES
100 FOSTER ST.
CAMBRIDGE, MA 02138

221-27
PLUOT, LLC
C/O NCP MANAGEMENT CO.,
P.O. BOX 590179
NEWTON CENTRE, MA 02459

221-29
GALLE, BRIAN & KATHARINE WITGERT
9 SIBLEY CT
CAMBRIDGE, MA 02138

221-97
LOWELL, ANNE O.
88 FOSTER ST.
CAMBRIDGE, MA 02138

221-107
LORD, MARY
2125 NEWPORT PLACE NW
WASHINGTON, DC 20037

221-108-109
SHERSHOW, BONNIE,
TR. OF THE BONNIE SHERSHOW TRUST-2012
90-92-94 FOSTER ST
CAMBRIDGE, MA 02138

221-110
CONNOR, JAMES F., JR.
98 FOSTER
CAMBRIDGE, MA 02138

221-111
DOYLE, CHRISTOPHER & LAURIE F. DOYLE
98.5 FOSTER ST
CAMBRIDGE, MA 02138

222-29
HENDERSON, MINAKO
6 HUBBARD PARK RD.
CAMBRIDGE, MA 02138

221-99
GOFF, LAURENS M. & LOUISE M. GOFF
23 SPARKS ST
CAMBRIDGE, MA 02138

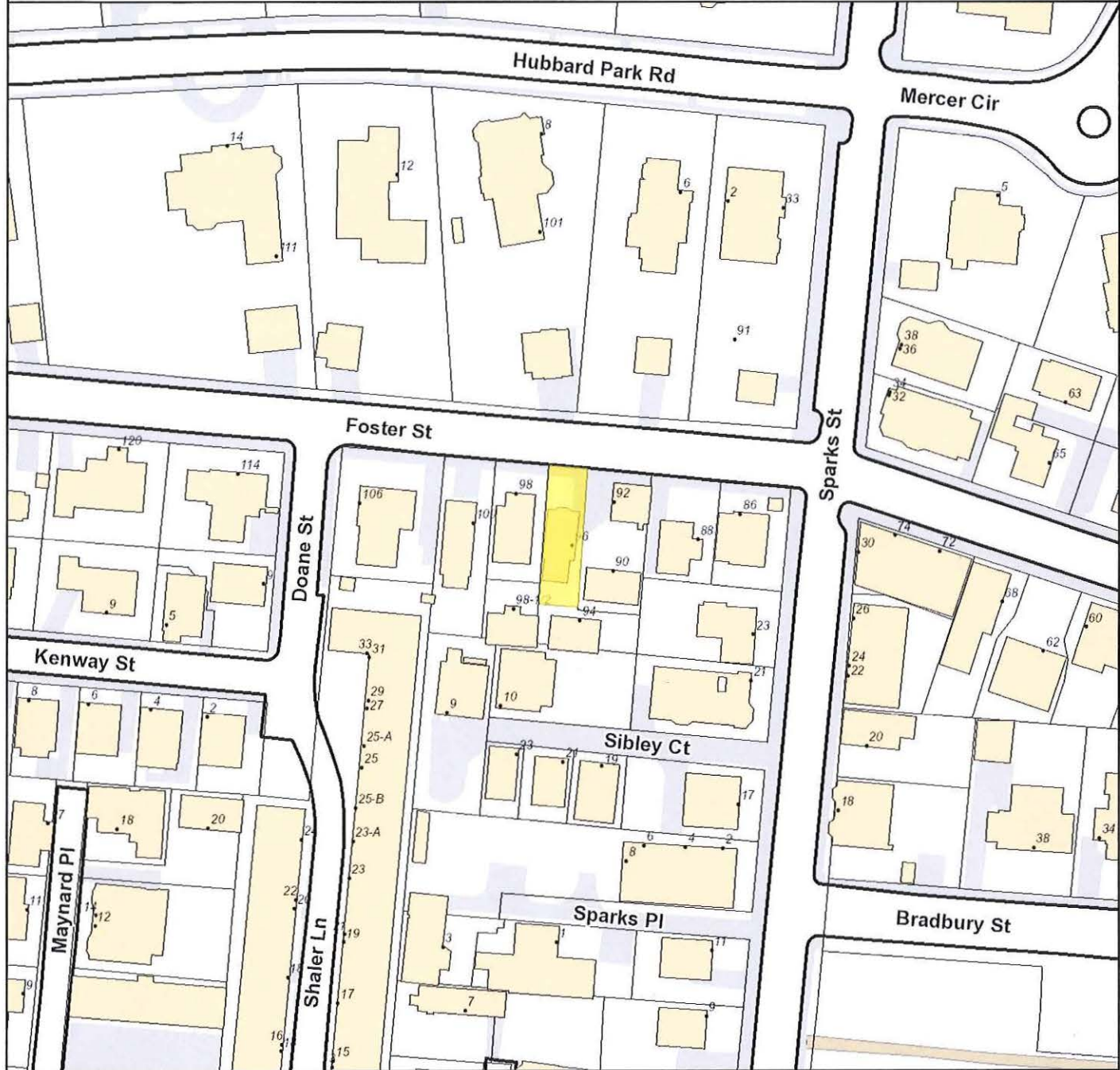
Petitioner's

THOMAS BAKALARS, ARCHITECTS
C/O THOMAS BAKALARS, AIA
30 THE FENWAY
BOSTON, MA 02215-4004

CLARK, HUNT, AHERN & EMBRY
C/O BRUCE J. EMBRY, ESQ.
150 CAMBRIDGE PARK DRIVE
CAMBRIDGE, MA 02140

221-28
MCCORMICK, MICHAEL L. &
MARY MAGDALEN J. MCCORMICK
10 SIBLEY COURT
CAMBRIDGE, MA 02138

222-14
Burr, Bettina L. & Craig Burr
Trs. Hubbard Park Realty Trust.
8 Hubbard Park Rd.
Cambridge, MA 02138



City of Cambridge
Massachusetts

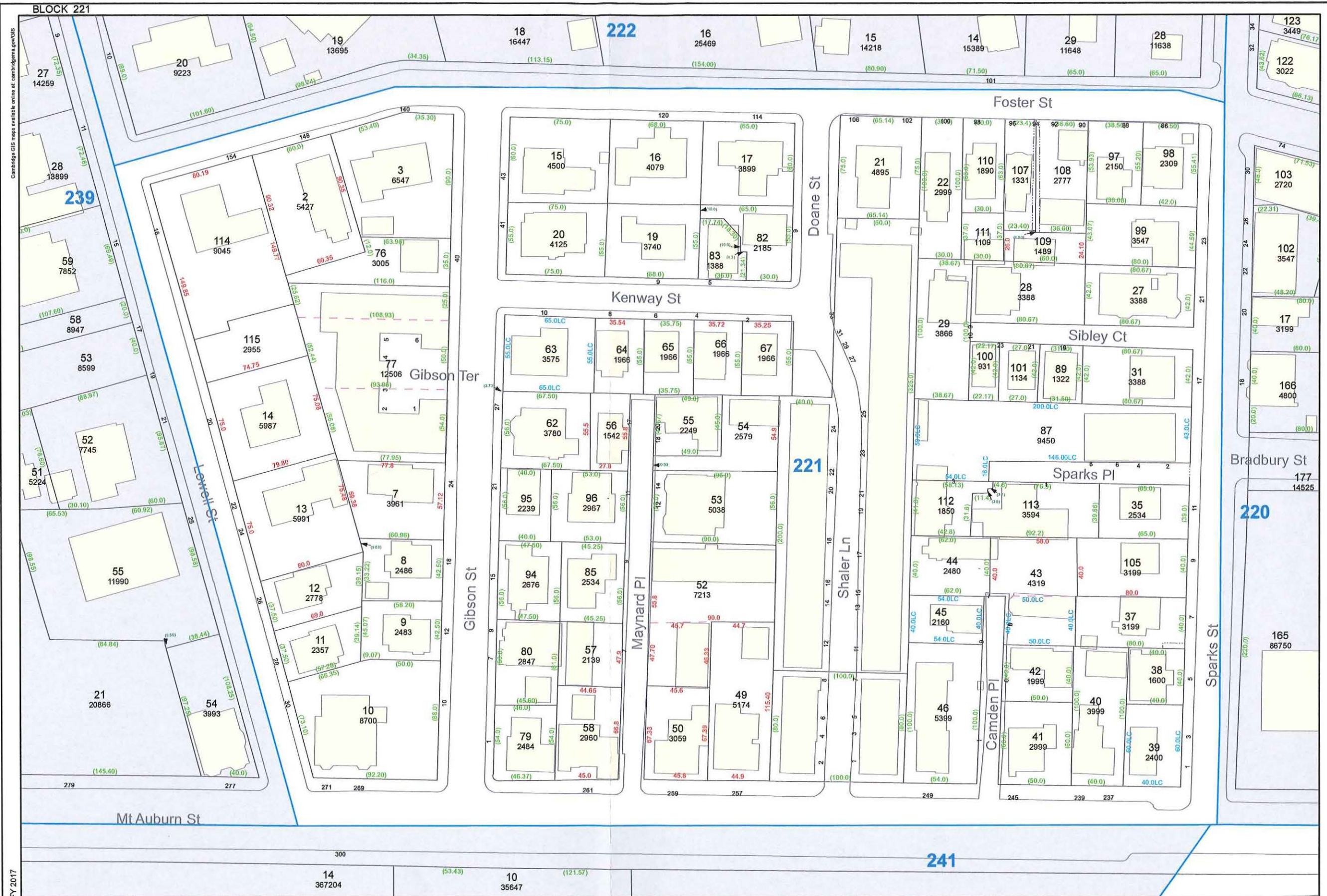
1" = 86 ft

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www.cambridgema.gov/gis

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
- Public Footpath





FY 2017



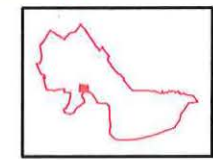
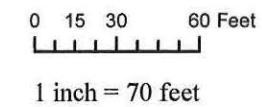
City of Cambridge
Assessing Department

795 Massachusetts Ave.
Cambridge, MA 02139

- Buildings
- Lot Line
- Block Line
- City Boundary
- Water
- Sub-Parcel Line
- Easement
- Railway

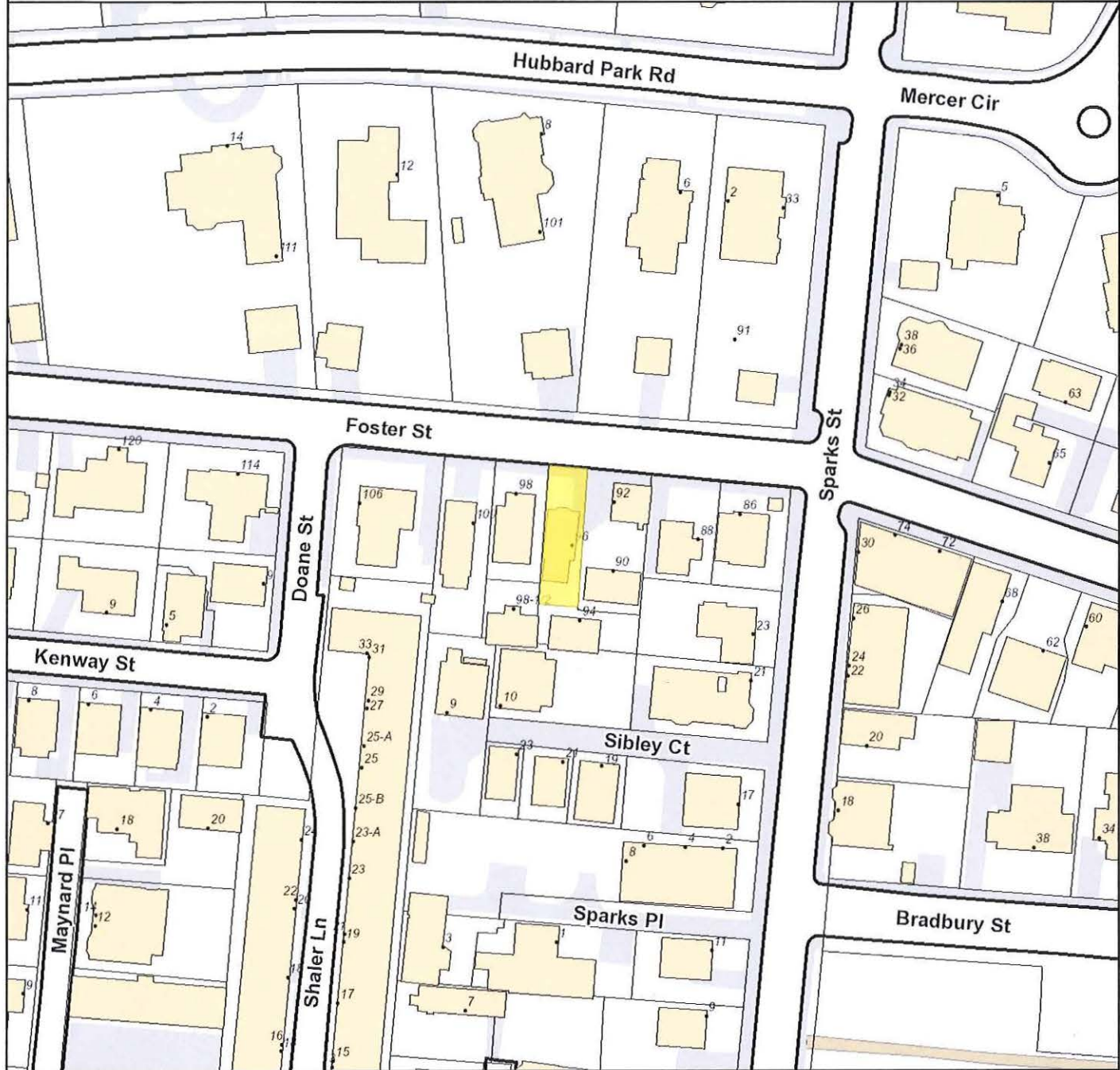
- 10 Lot Number
- 221 Block Number
- 10 Street Number
- (125.0) Deed Dimension
- 100 Parcel size in Sq. Ft.
- 44.0LC Land Court Dimension
- 65.0 Survey Dimensions

DISCLAIMER:
All Real Property shown on this map was compiled from existing Assessor's Tax Maps dated 1976 to 2018 and revised by the City Assessor's Office and the Department of Public Works. Subsequent maintenance has been completed using the City of Cambridge Geographic Information System (GIS). Parcels have not been created from survey, and map is suitable for assessing purposes only.
The City of Cambridge assumes no legal responsibility for information shown on this map.



Parcel Block Map

221



City of Cambridge
Massachusetts

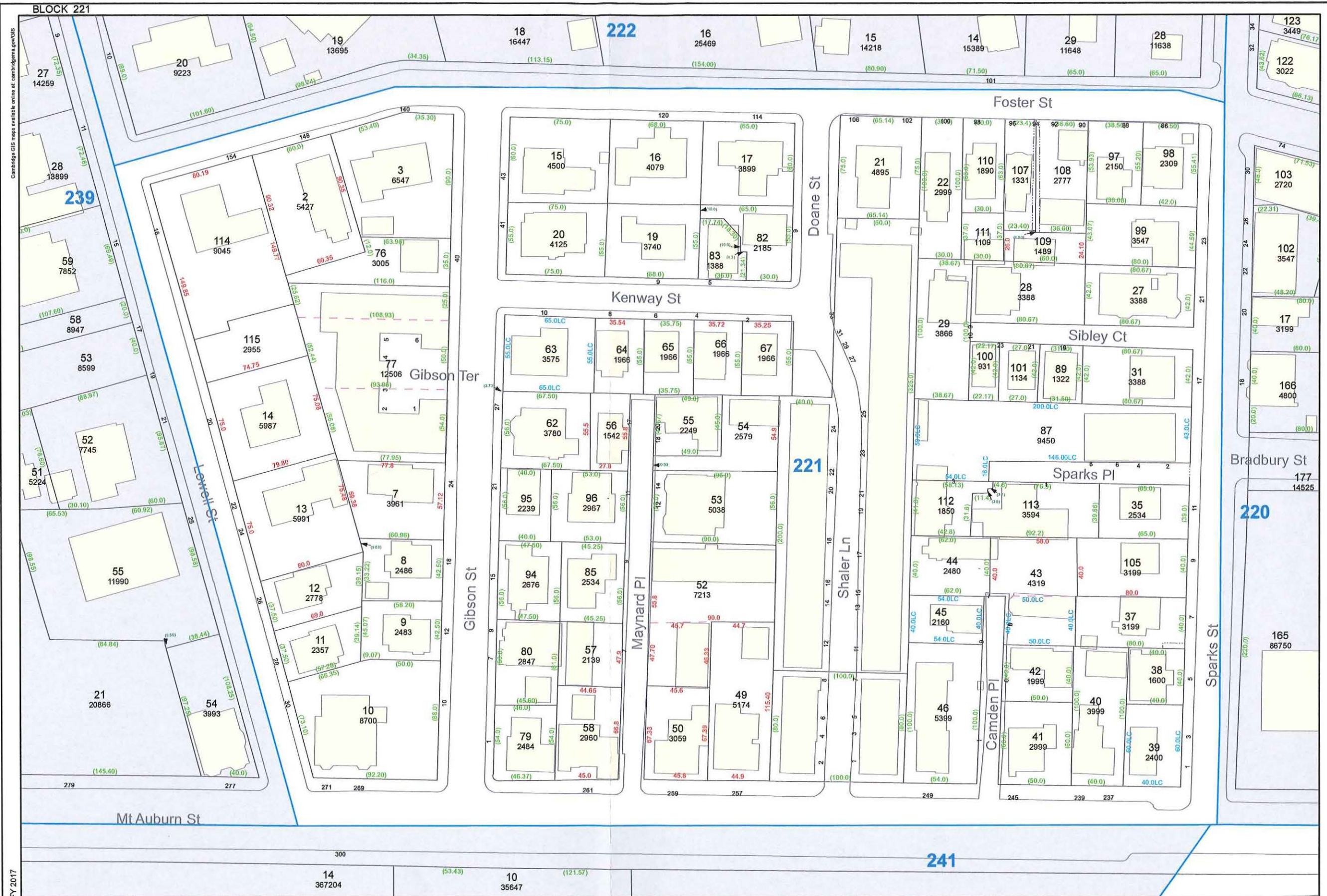
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www.cambridgema.gov/gis

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FY 2017

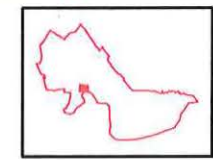
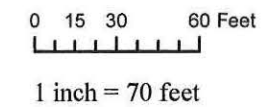


**City of Cambridge
Assessing Department**
795 Massachusetts Ave.
Cambridge, MA 02139

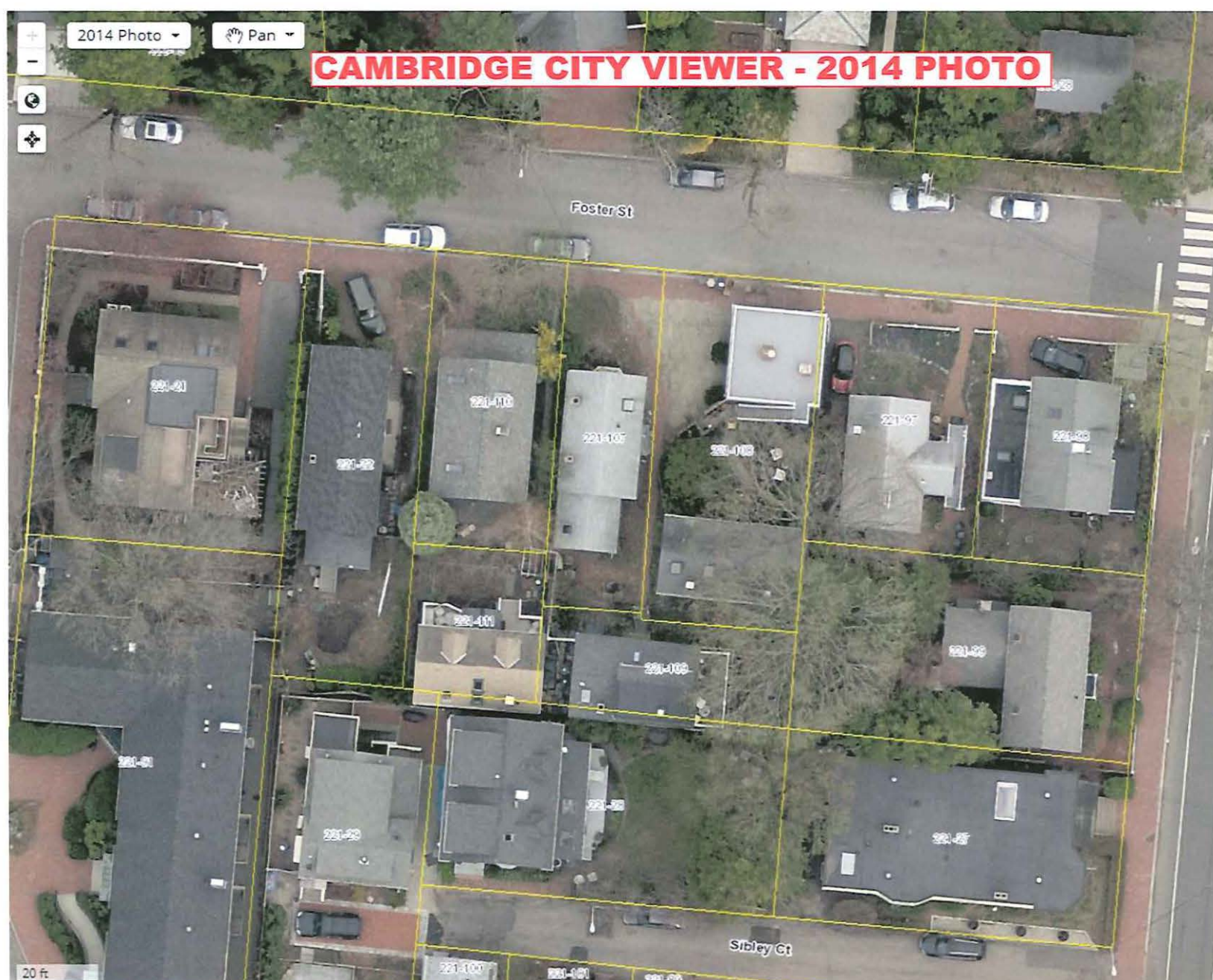
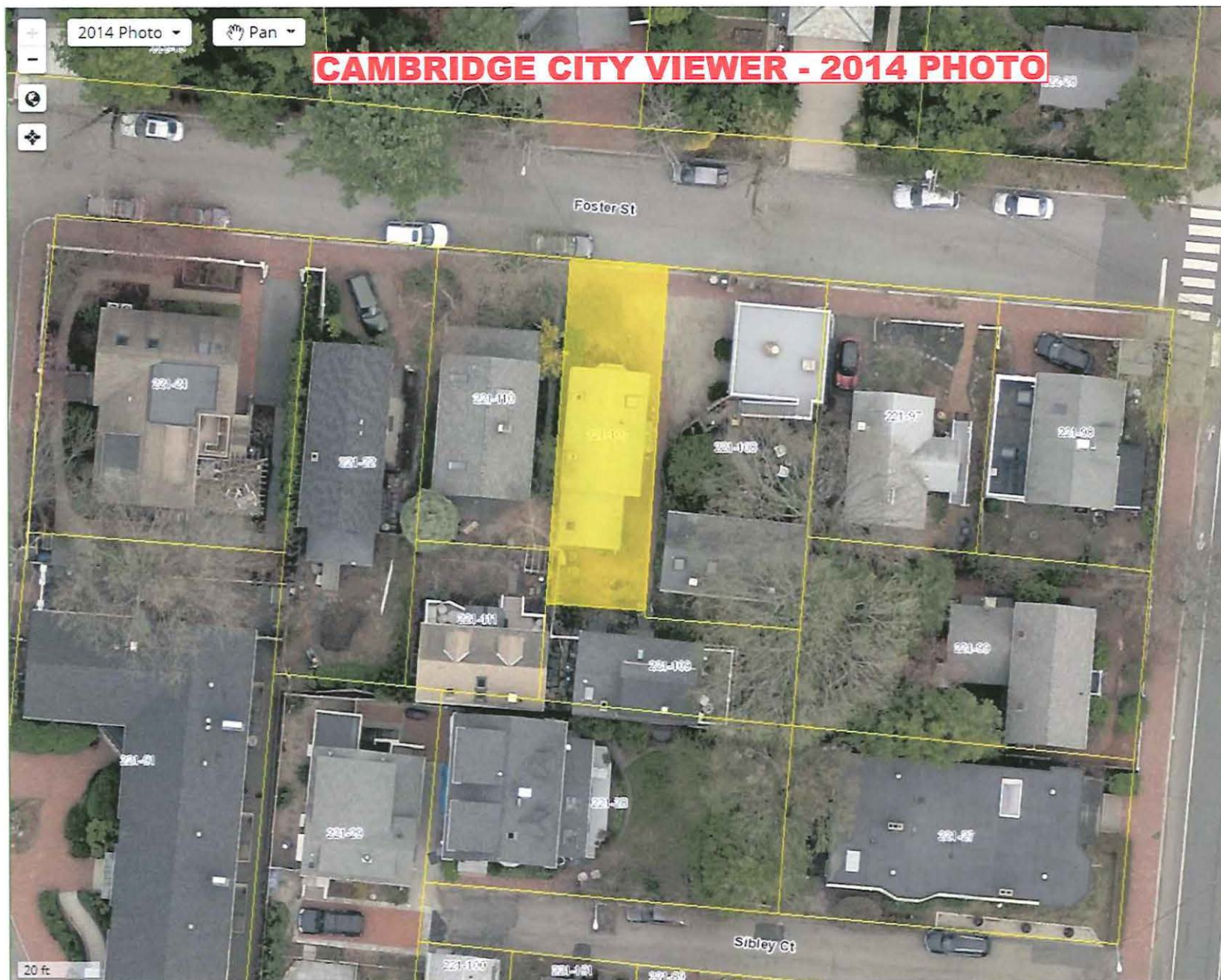
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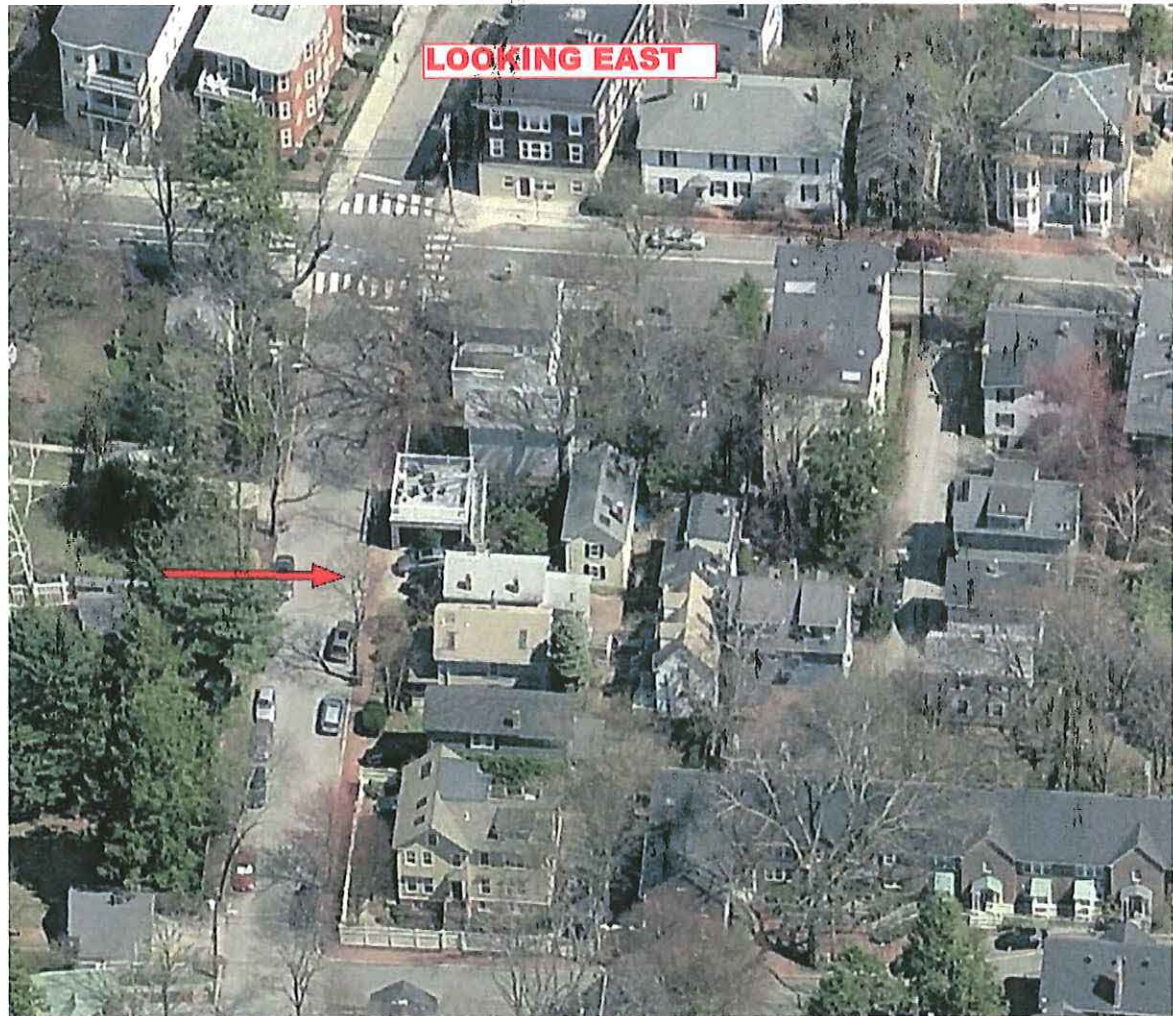
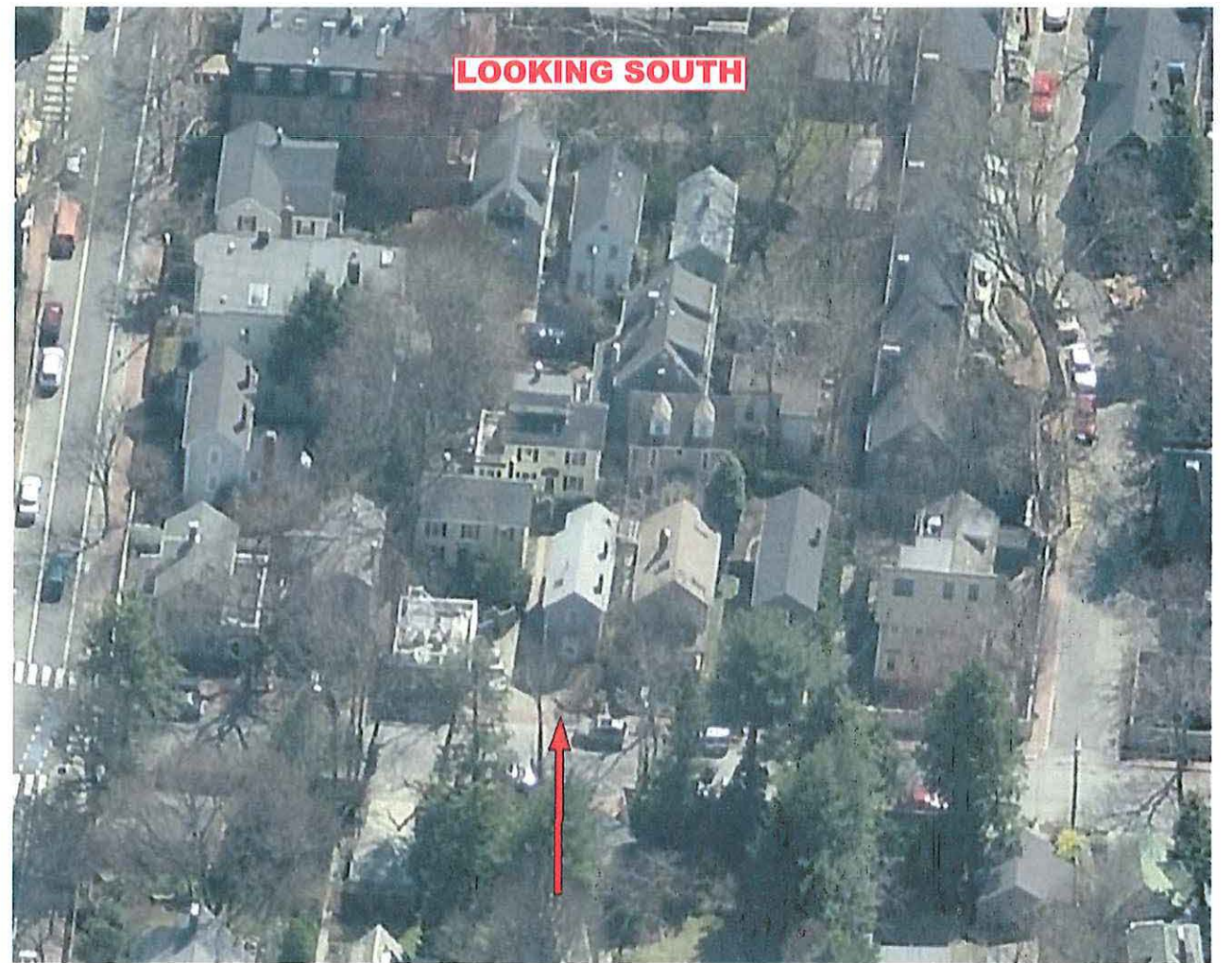
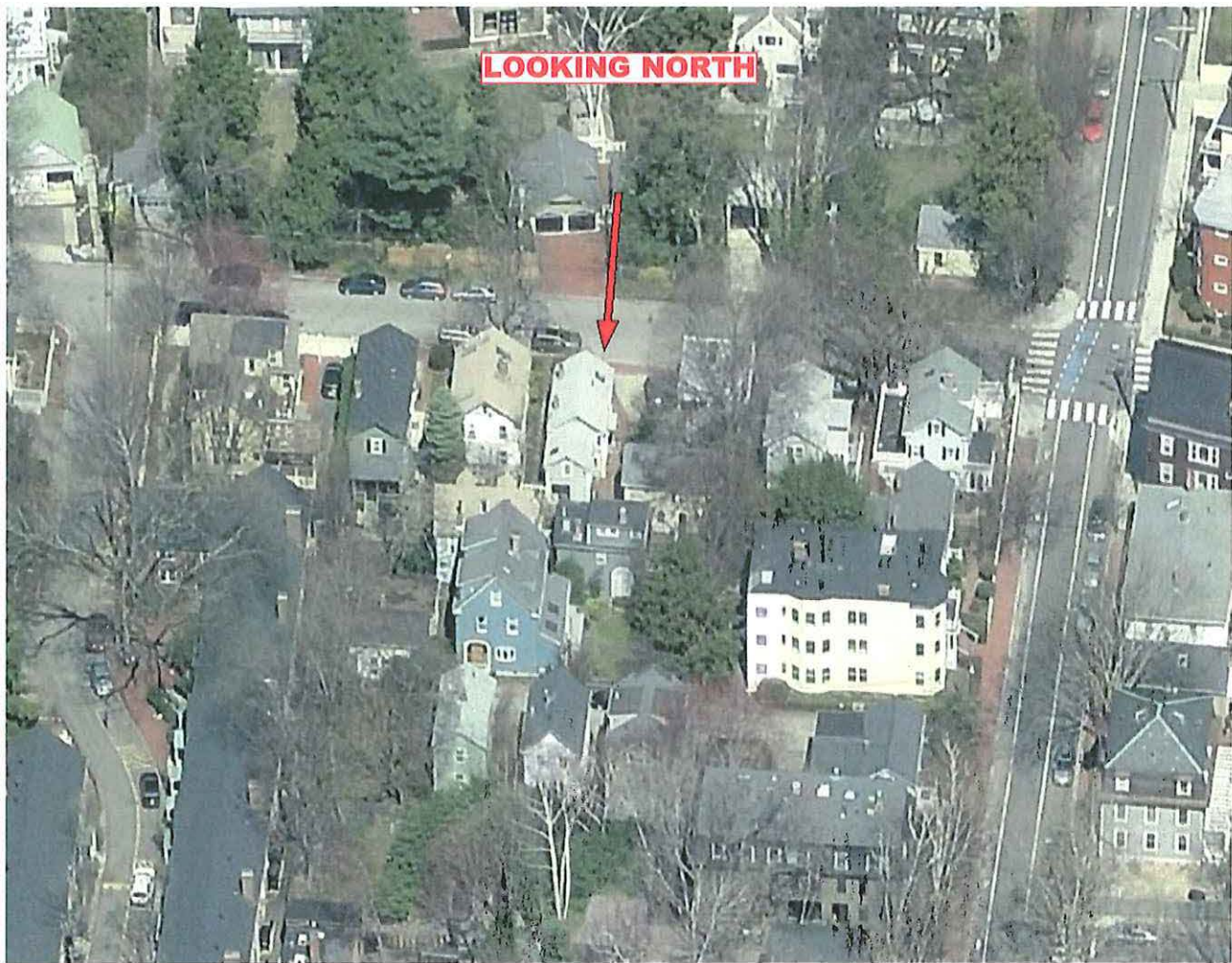
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- (125.0) Deed Dimension
- 100 Parcel size in Sq. Ft.
- 44.0LC Land Court Dimension
- 65.0 Survey Dimensions

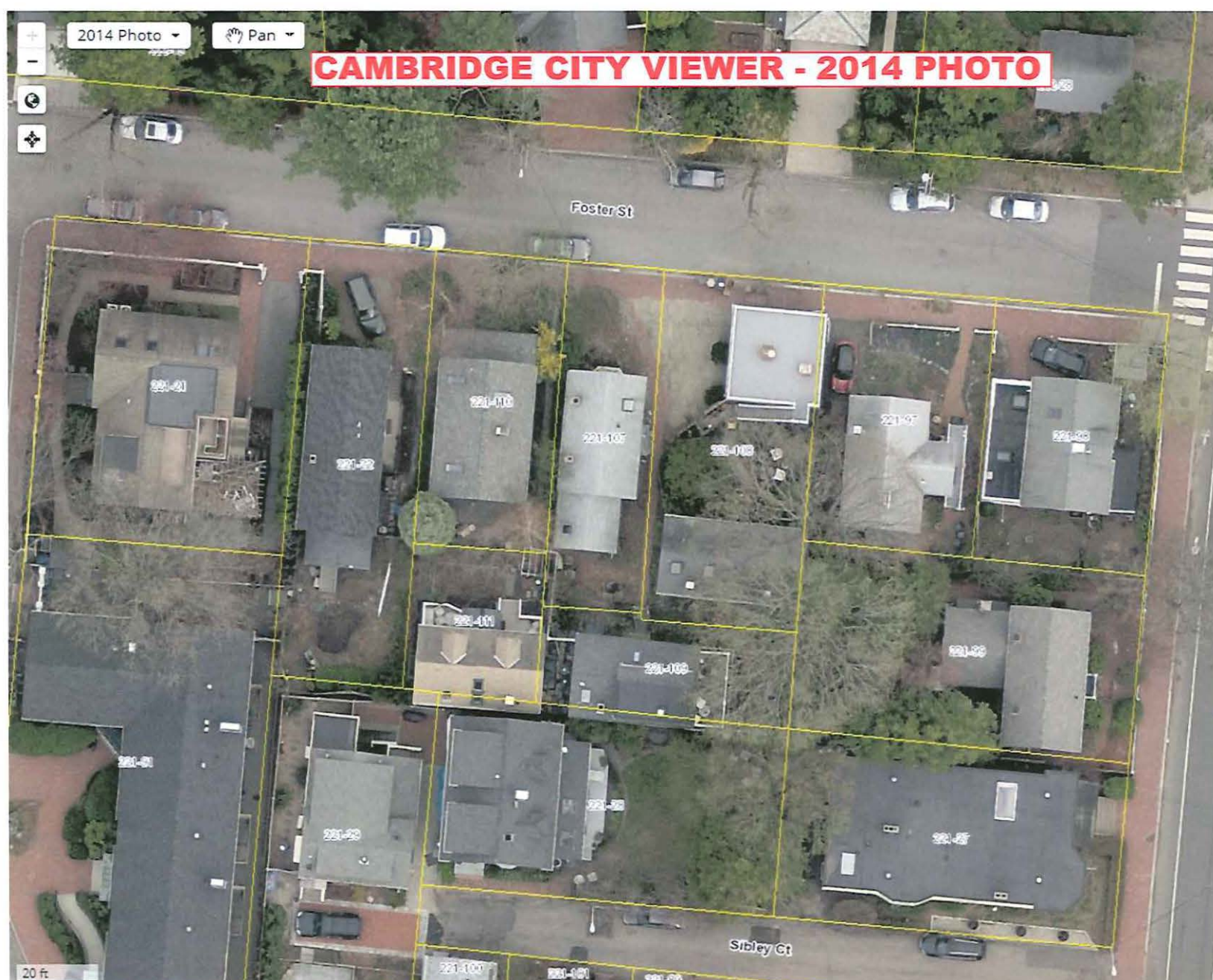
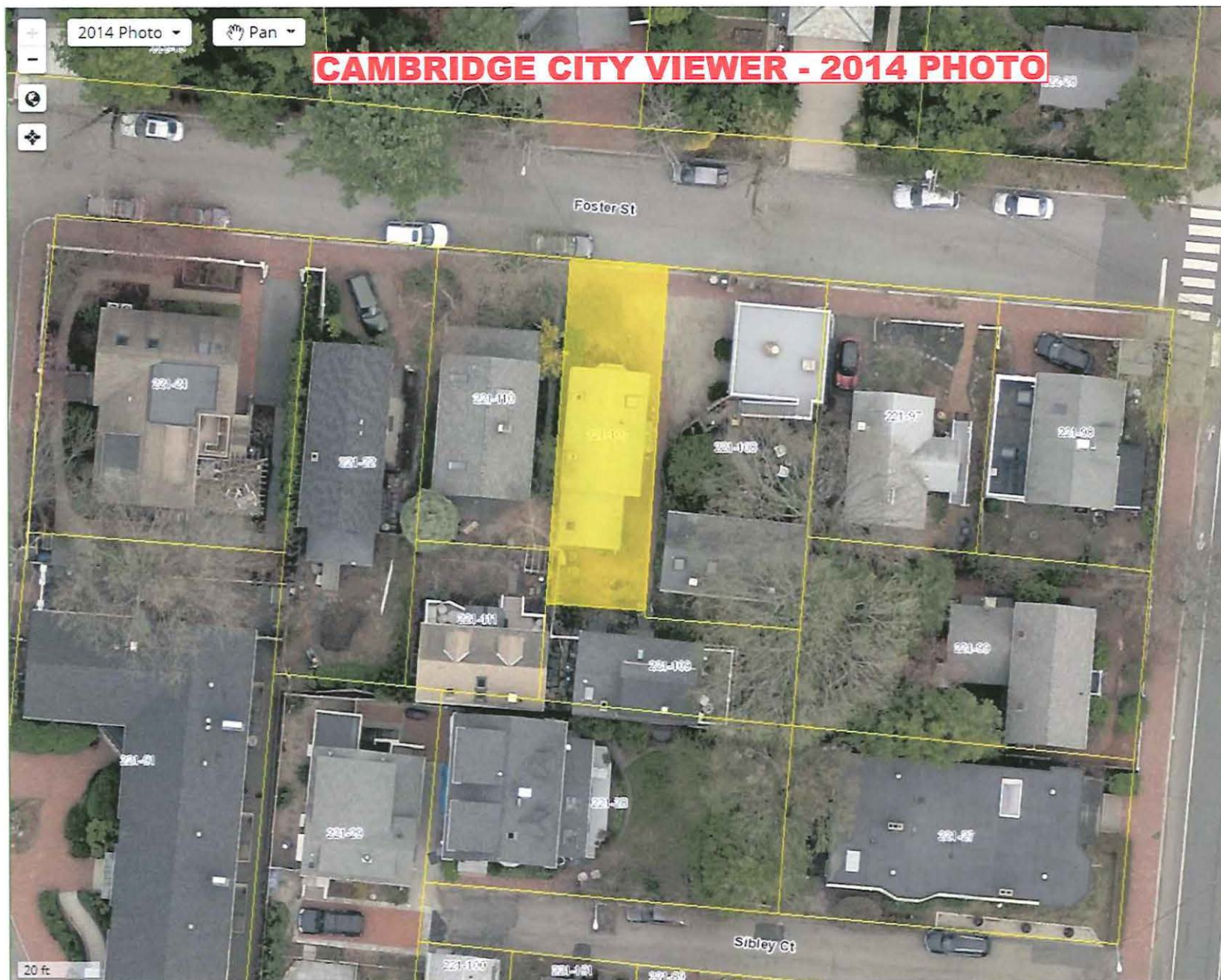
DISCLAIMER:
All Real Property shown on this map was compiled from existing Assessor's Tax Maps dated 1976 to 2018 and revised by the City Assessor's Office and the Department of Public Works. Subsequent maintenance has been completed using the City of Cambridge Geographic Information System (GIS). Parcels have not been created from survey, and map is suitable for assessing purposes only.
The City of Cambridge assumes no legal responsibility for information shown on this map.

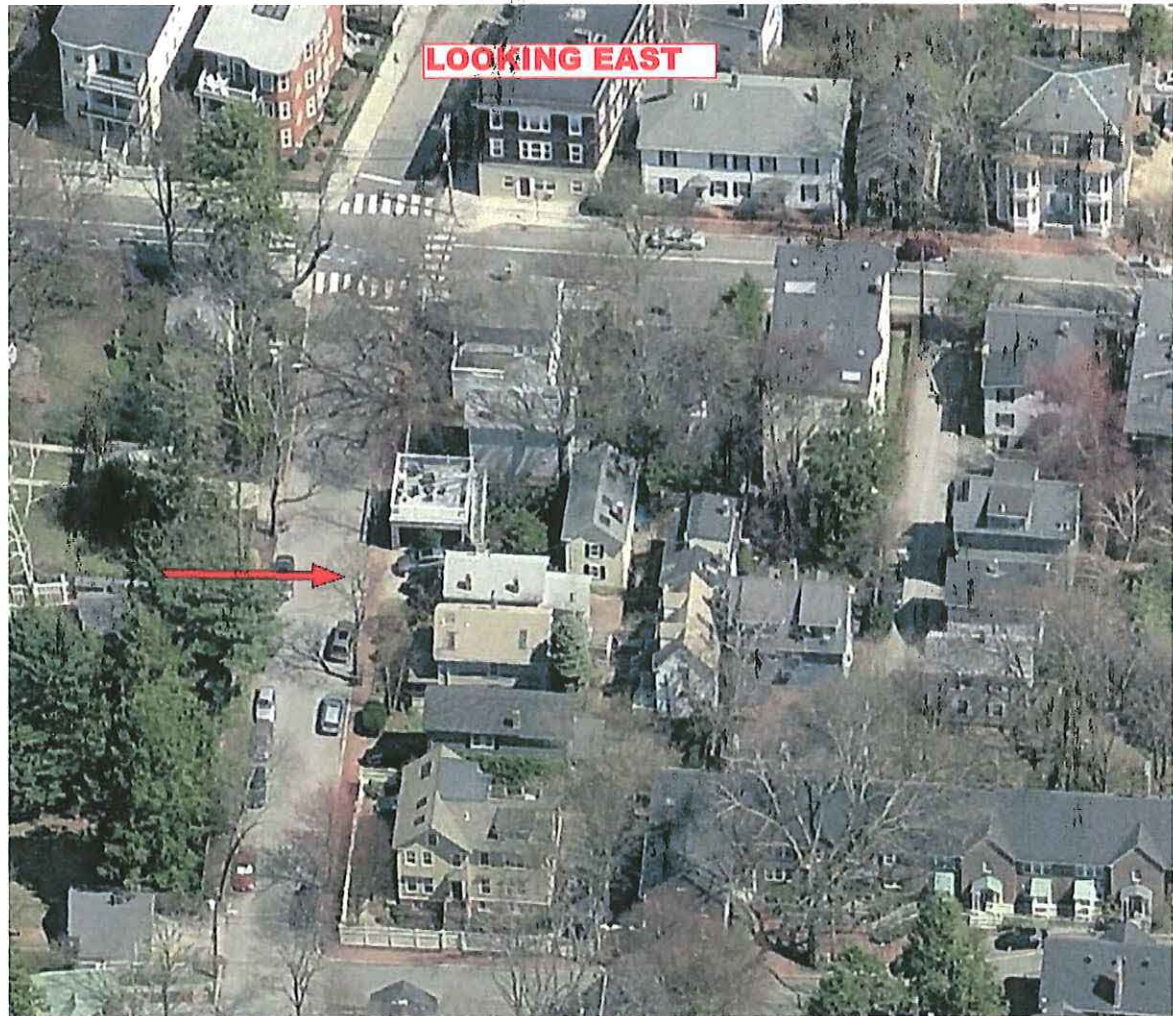
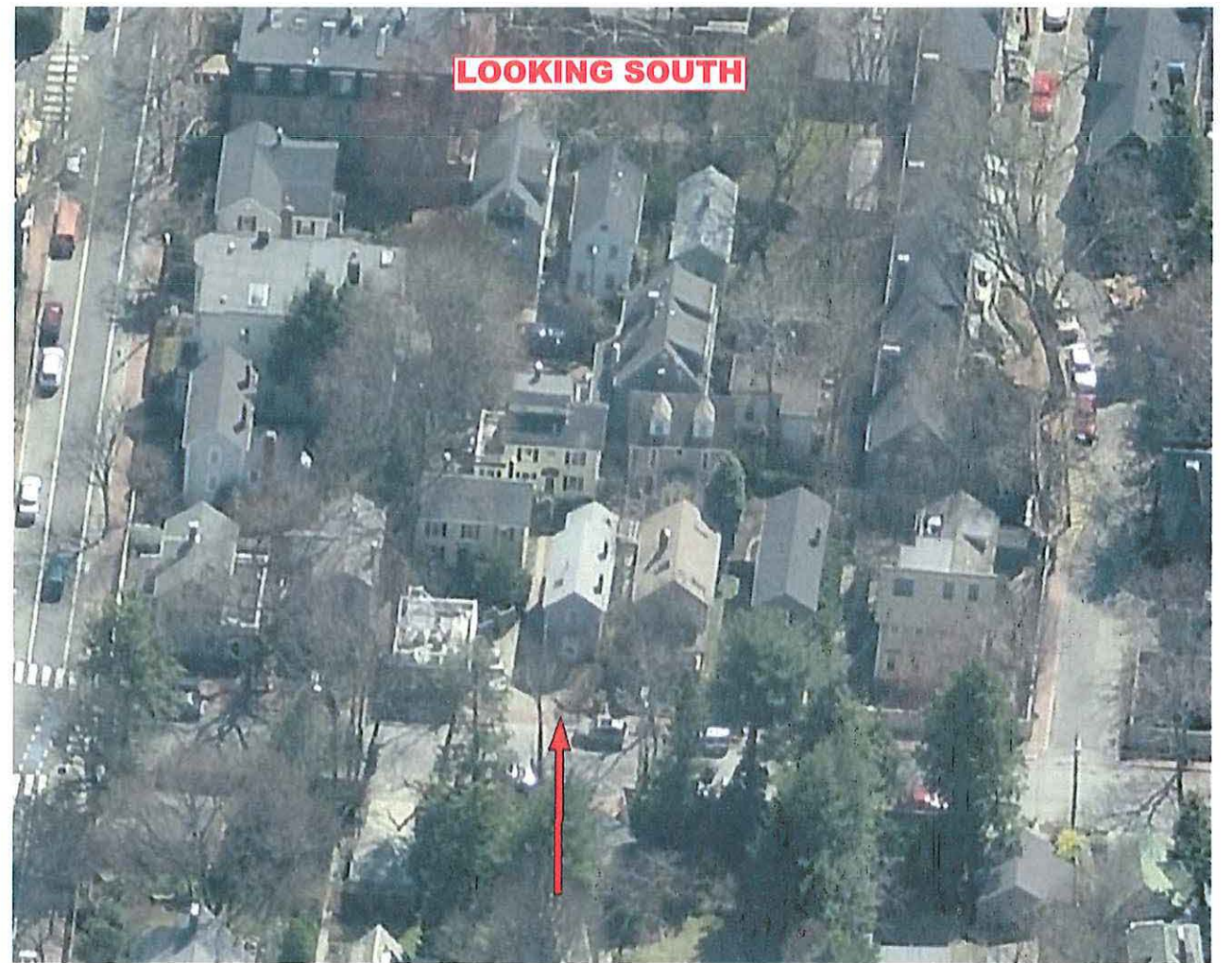
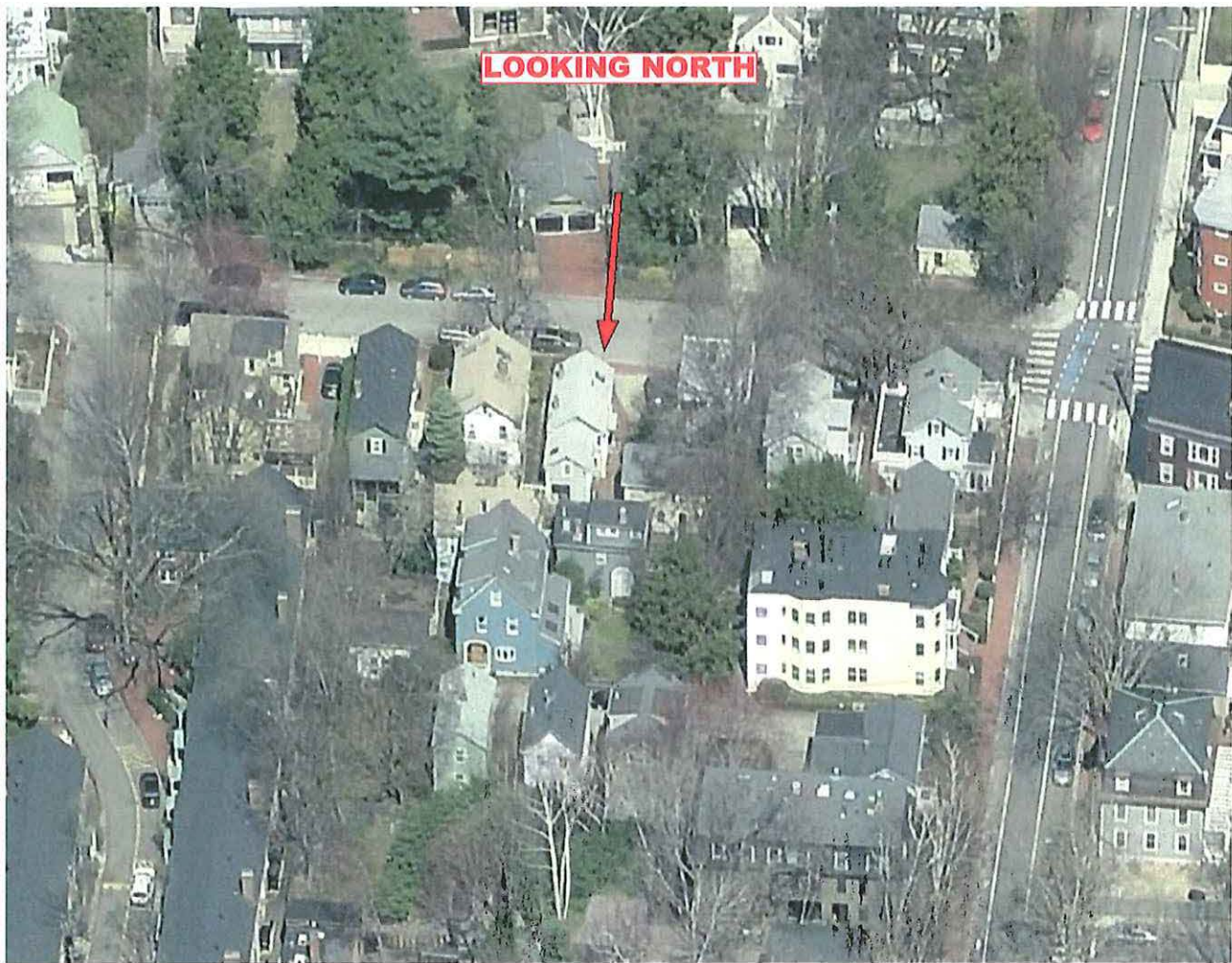


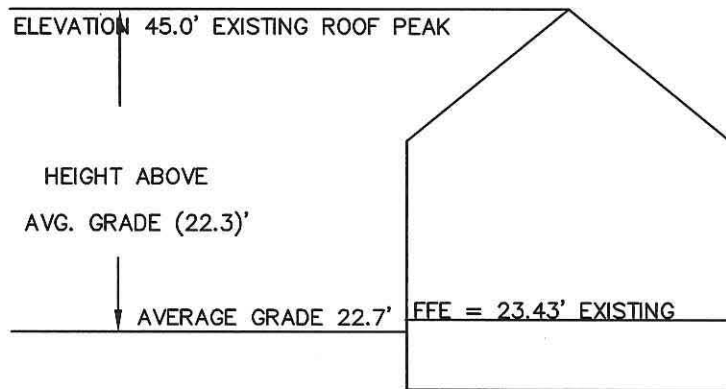
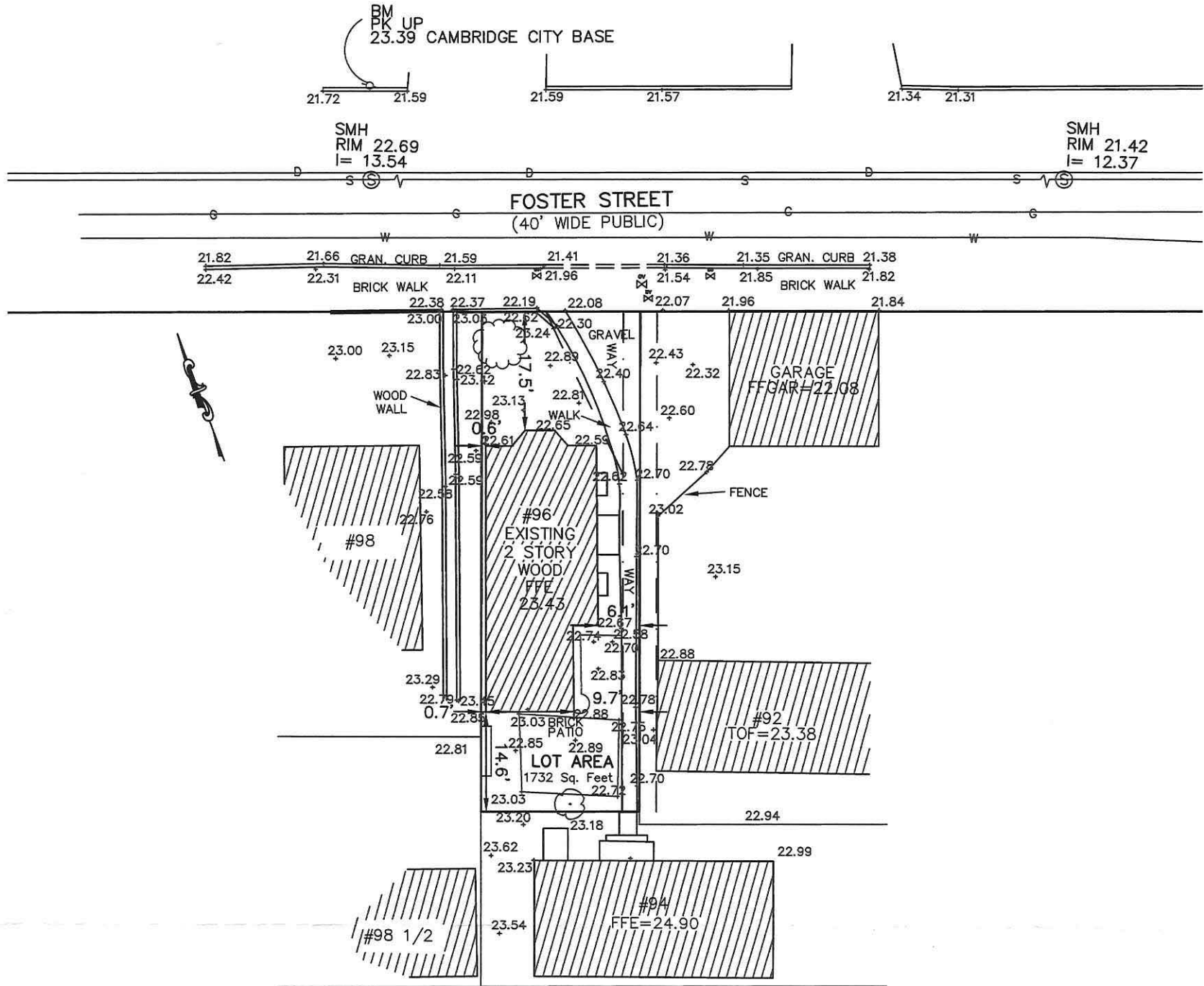
Parcel Block Map
221











EXISTING CONDITIONS PLAN
FOR
96 FOSTER STREET
IN
CAMBRIDGE, MASS.

PREPARED FOR:

MARY LORD
2125 NEWPOT PLACE NW
WASHINGTON DC 20037-3002

SCALE: 1"=20' AUGUST 30, 2016

NOTES:

1. ZONING CLASSIFICATION - B
2. PLAN REFERENCES:
MIDDLESEX REGISTRY OF DEEDS LANDCOURT PLAN 7354B
3. LOCUS DEED:
MIDDLESEX REGISTRY OF DEEDS LANDCOURT CERTIFICATE 249583
ASSESSORS SBL 221-107

C & G SURVEY COMPANY
37 JACKSON ROAD
SCITUATE, MA. 02066
1-877-302-8440



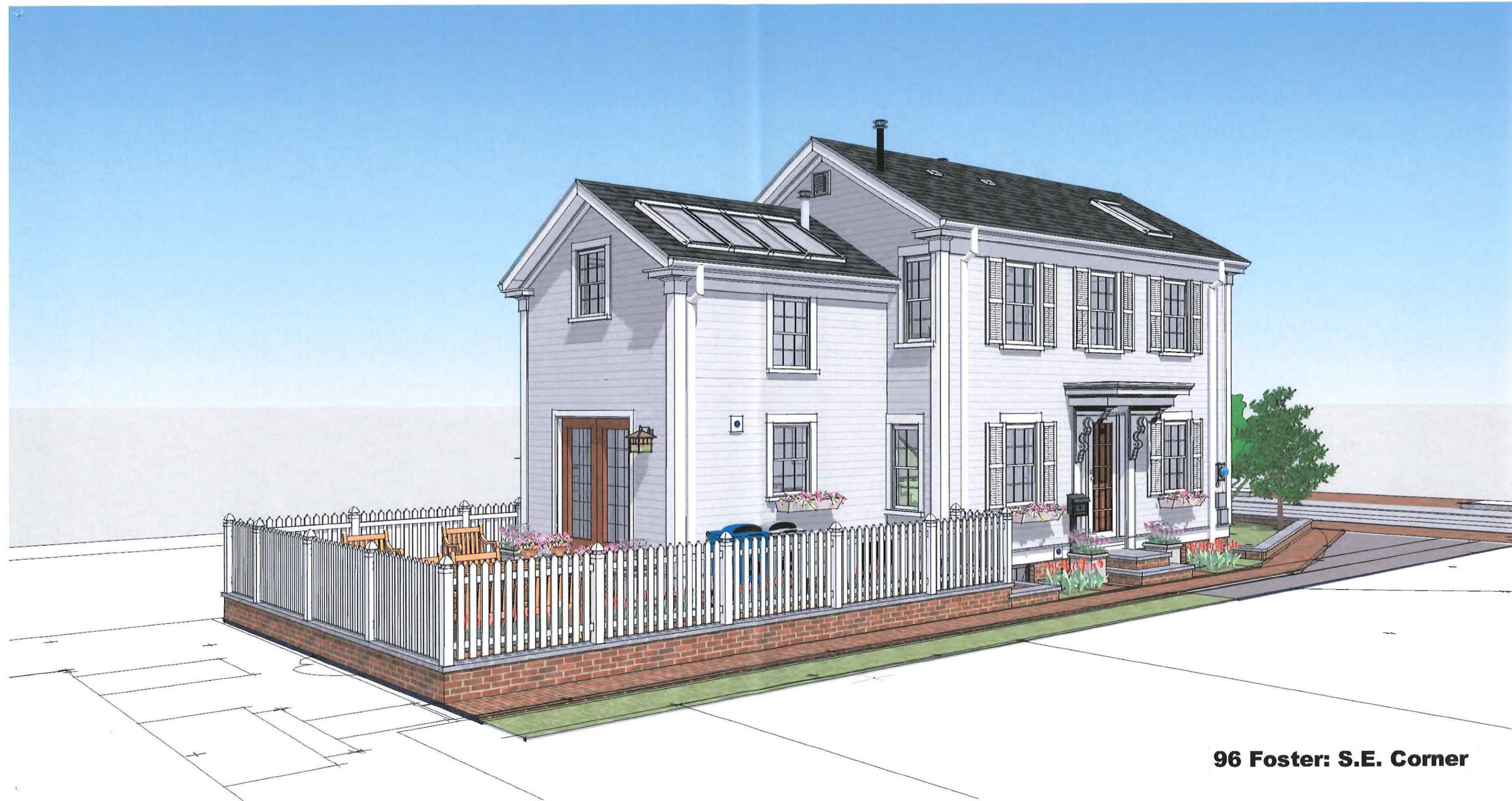
96 Foster - Site Plan



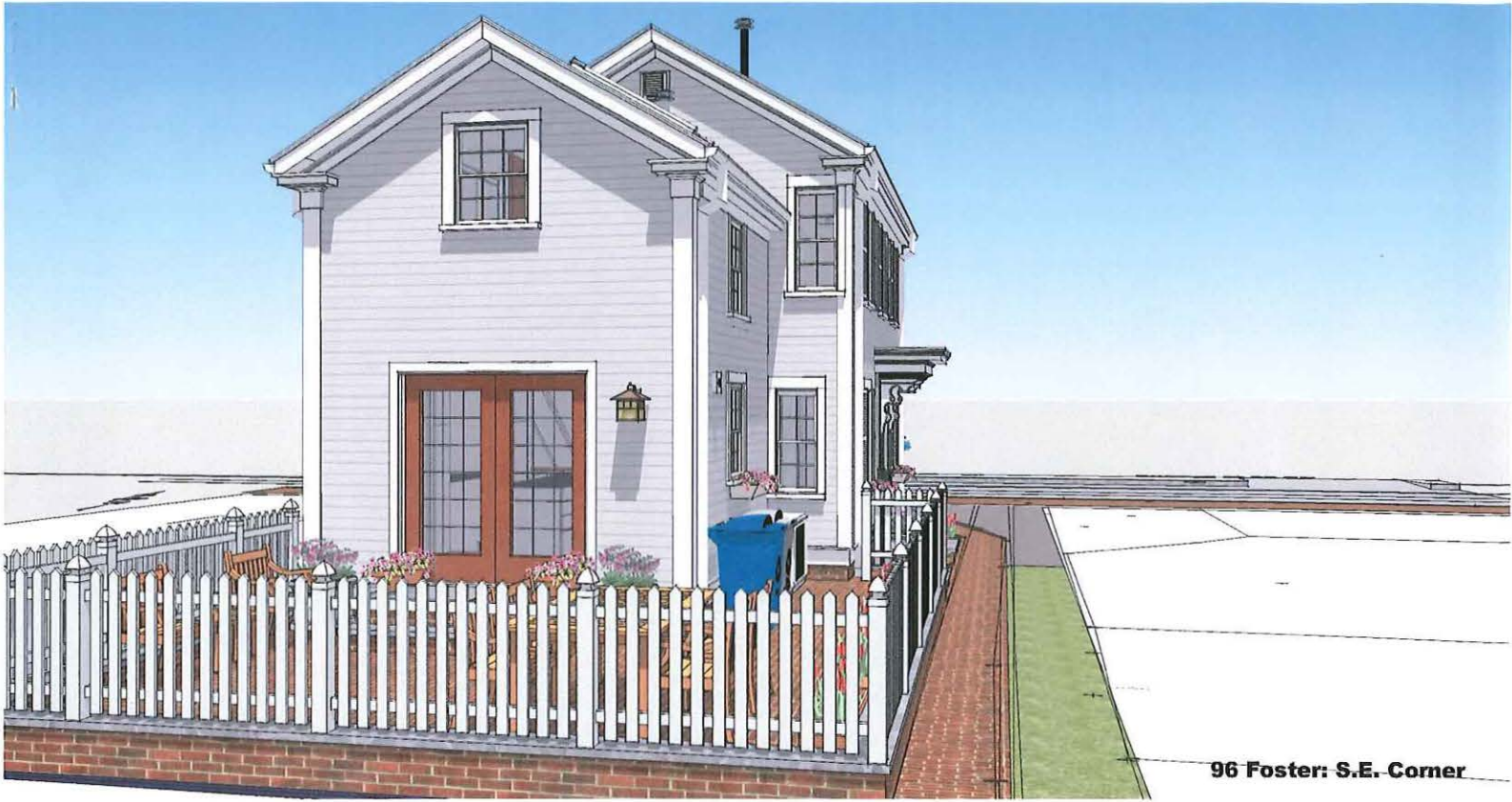
96 Foster: N.E. Corner



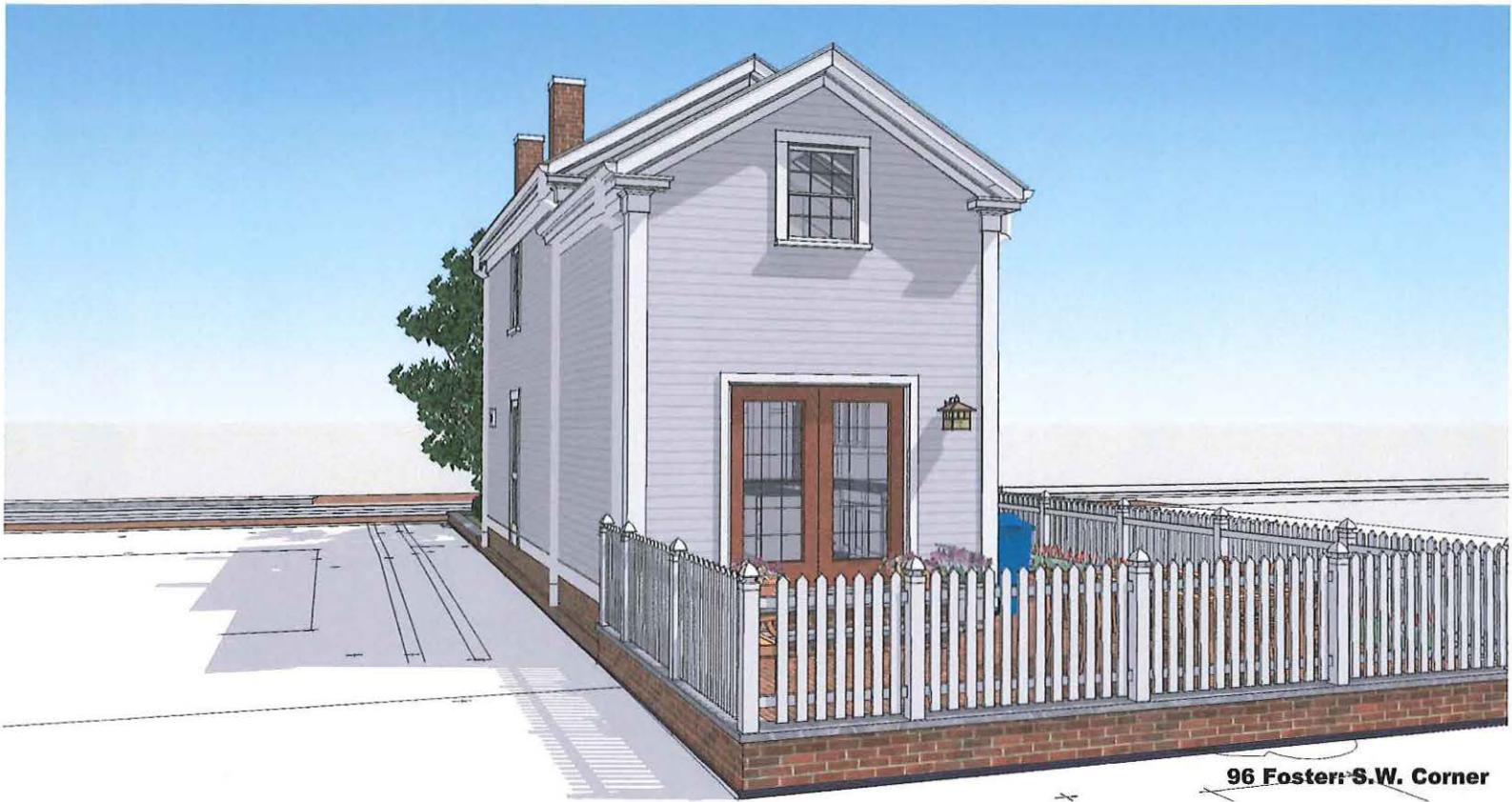
96 Foster: N.E. Corner



96 Foster: S.E. Corner



96 Foster: S.E. Corner



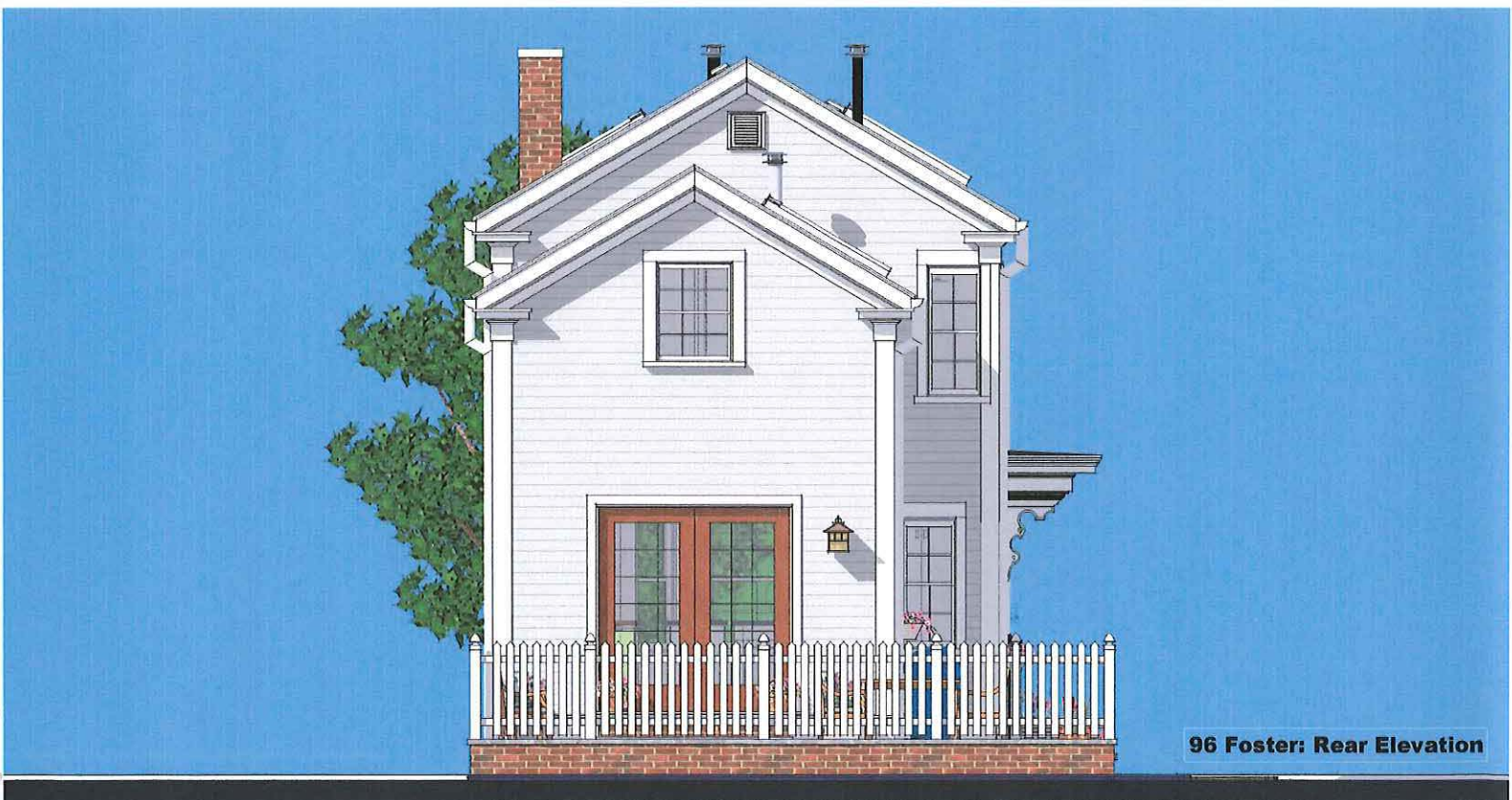
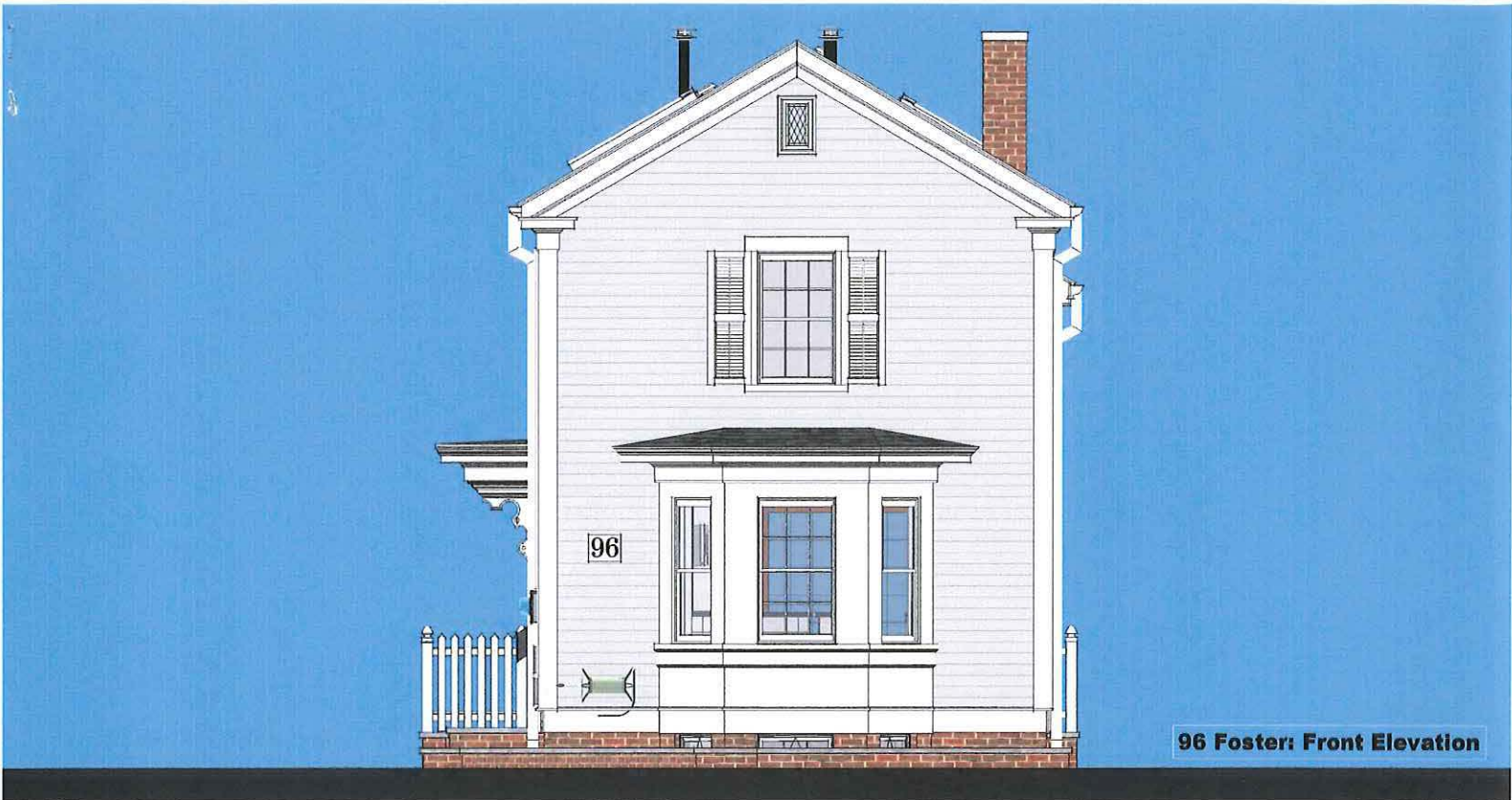
96 Foster: S.W. Corner



96 Foster: NW Corner



96 Foster: East Entry Detail



96 Foster St. Cambridge, MA.

Thomas Bakalars
Architects P.C.

30 The Fenway
Boston, MA. 02215
617-536-6100

SURVEY

C & G SURVEY COMPANY
37 Jackson Road, Scituate, MA, 02066
Phone: 617-930-2149

CIVIL ENGINEER

EBI CONSULTING
100 Hancock St, 4th Floor, Quincy, MA, 02169
Phone: 781-273-2500

OWNER

MARY LORD / WOODY LANDAY
2125 Newport Place Washington, DC 20637
Phone: 301-502-6510

PROJECT

ALTERATIONS TO:
96 Foster St. Cambridge, MA

PHASE

Approvals

Sheet Title

TITLE SHEET

REVISION SCHEDULE:

1	DATE: 12/14/16	ISSUED TO: Owner
	FOR: Permit	
2	DATE:	ISSUED TO:
	FOR:	
3	DATE:	ISSUED TO:
	FOR:	
4	DATE:	ISSUED TO:
	FOR:	
5	DATE:	ISSUED TO:
	FOR:	



Summary Of Work

96 Foster Street is a detached two story single family house built in approximately 1867. It is located in the Half Crown Marsh Historic District and is considered a contributing structure.

Basement headroom varies from 6'3" to 6'8".

The interior of the house was gutted under a previous building permit.

Due to the topography of the site and that the abutters have, over time, raised the adjacent grades, the rear yard of 96 Foster is lower than its neighbors. Additionally the top of the masonry foundation (particularly in the rear) is partially below grade exposing the top of the foundation wall and portions of the sill plates to the earth. Consequently there are numerous water infiltration issues which have contributed to the deterioration of the building.

It is proposed to renovate the exterior in compliance with the Historic District requirements and to completely renovate the interior including all new utility services and mechanical and electrical systems.

The proposal includes the following items not in compliance with the Zoning requirements.

Lifting the building 1' 2-1/2" (1.21') brings the top of the foundation above grade along the entire building perimeter. This results in a Basement ceiling height of 7' 1 1/2" under the main house and a ceiling height of 7' - 6 3/4" under the rear Kitchen adding 531 sq. ft. of gross floor area. The limiting factor in raising the height is the number of stair risers required to accommodate the East side main entry door within the dimensional limitation of the easement.

- The addition of a foundation under the front bay window adds 14 sq. ft. (included in the line item above) to the building.
- Two door and window changes violate existing setbacks.
 - The bay window foundation is within the right side yard setback.
 - The rear sliding glass door is to be replaced with a French door pair and repositioned to the center of the room within the rear yard setback.

Areas:

Lot Area: 1,732 Sq.Ft.

Building Area:

	Existing	Proposed
Attic	0	0
Second	599	599
Ground	610	610
Basement	0	531
	1,209	1,740

Building Code:

APPLICABLE CODE
2009 International Residential Code® for One- and Two-family Dwellings with Massachusetts 8th Edition Amendments.
2015 International Energy Conservation Code

USE GROUP CLASSIFICATION
Use and Occupancy Classification: R3 - Single Family Residential

TYPES OF CONSTRUCTION
Existing building: Type V-B
Proposed building: Type V-B

Fire Suppression
The building is not equipped with an approved automatic fire suppression system.

Occupancy
The occupancy of the proposed building is 9.

Handicapped Accessibility
The Project is not required to comply with the rules and regulations of 521 CMR - Massachusetts Architectural Access Board.

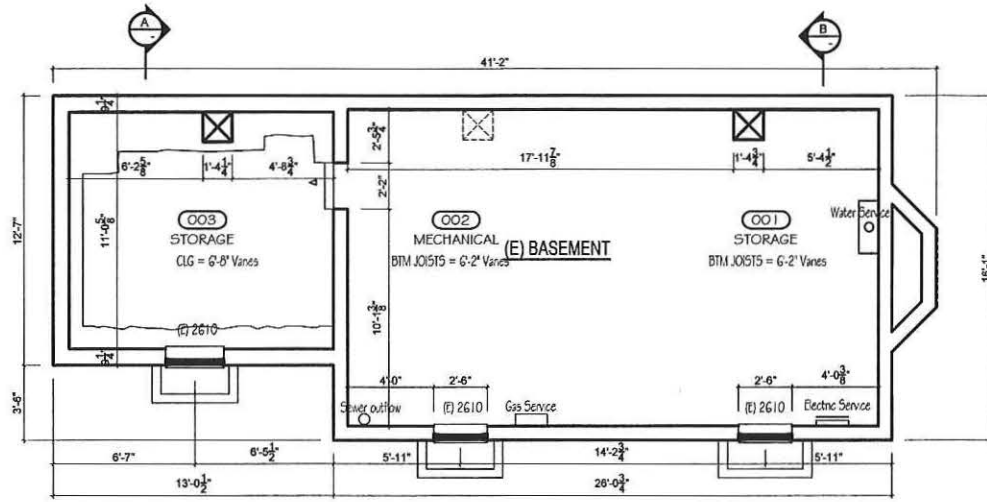
Drawing List

T-1	Title Sheet	12/14/16
	Survey	8/30/16
X--1	Existing Conditions: Floor Plans	11/28/16
X-2	Existing Conditions: Elevations	11/28/16
C-1	Civil Engineering Layout & Materials Plan	12/9/16
C-2	Civil Engineering Details	12/9/16
A-1	Floor Plans	12/14/16
A-2	East Elevation	12/14/16
A-3	N,S Elevations	12/14/16
A-4	West Elevation	12/14/16
A-5	Sections	12/14/16
A-6	Framing Plans	12/14/16
A-7	Window Plans	12/14/16
A-8	Schedules	12/14/16

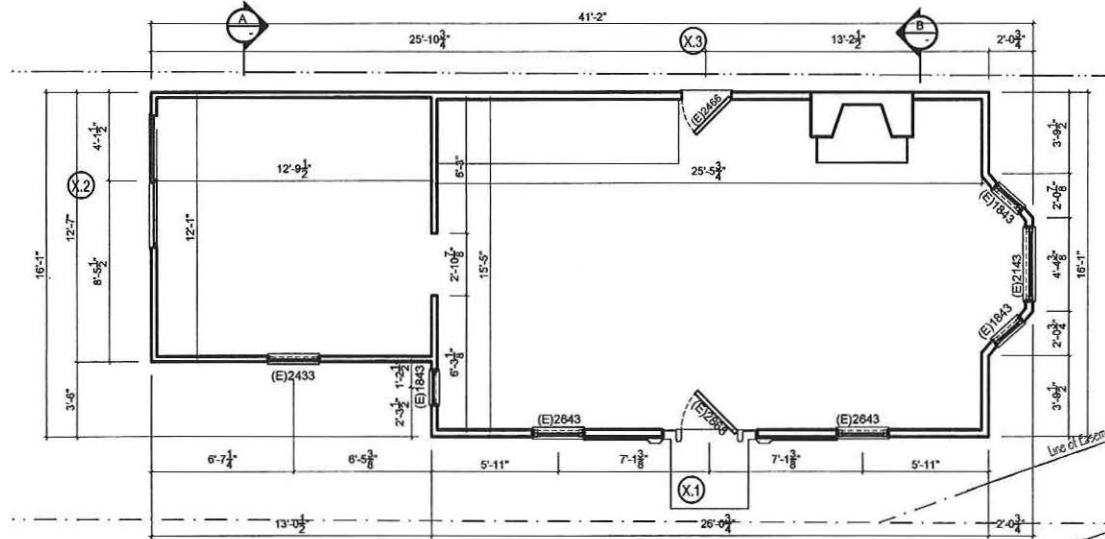


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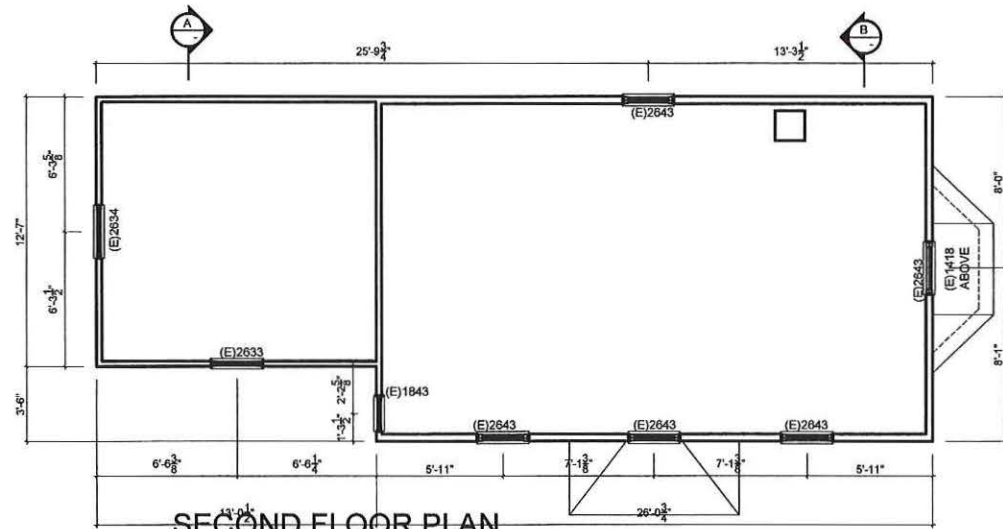
T-1



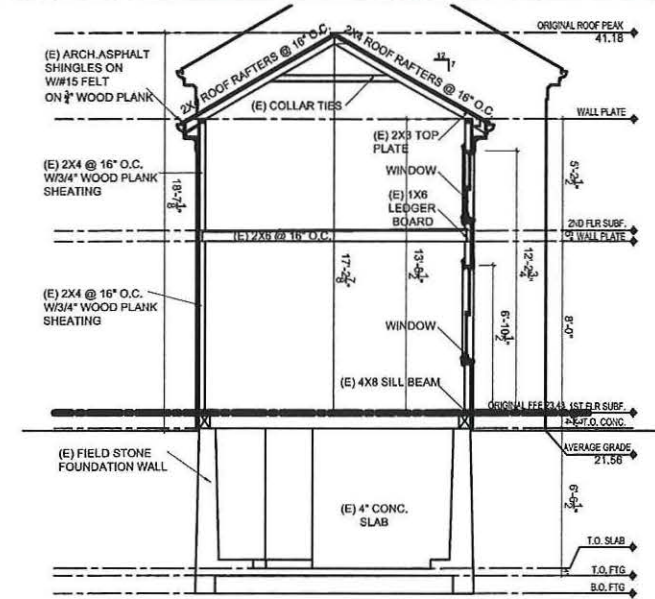
EXISTING BASEMENT PLAN
1/4" = 1'-0"



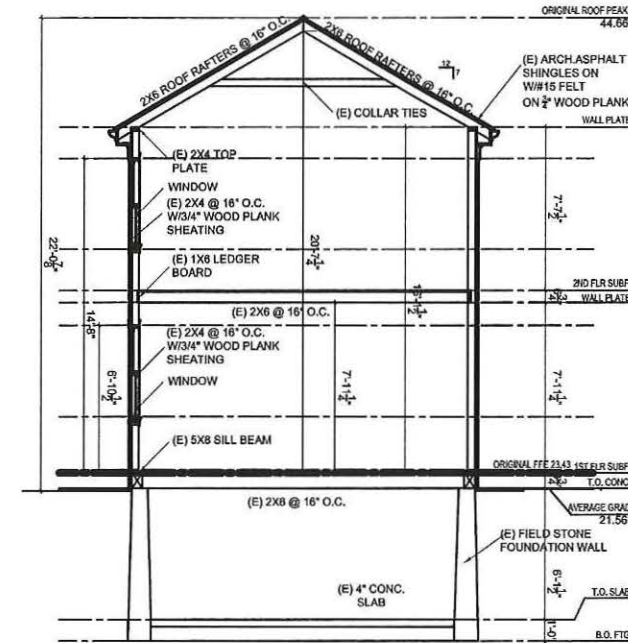
EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



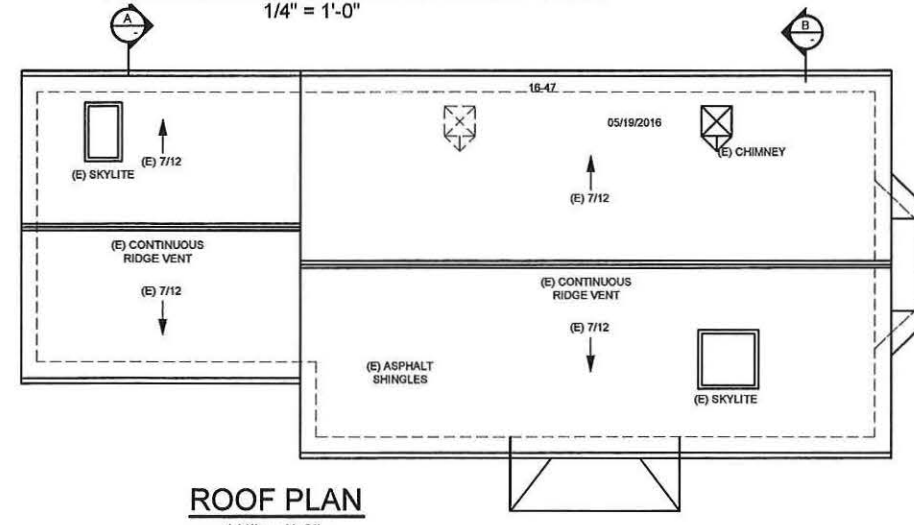
SECOND FLOOR PLAN
1/4" = 1'-0"



EXISTING BUILDING SECTION "A"
1/4" = 1'-0"



EXISTING BUILDING SECTION "B"
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"

Thomas Bakalars Architects P.c.

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617-536-6100

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CIVIL ENGINEER

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100 Hancock St, 4th Floor, Quincy, MA, 02169
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OWNER

MARY LORD / WOODY LANDAY
2125 Newport Place Washington, DC 20637
Phone: 301-502-6510

PROJECT

ALTERATIONS TO:
96 Foster ST. Cambridge, MA

PHASE

Existing Conditions

Sheet Title

FLOOR PLANS

REVISION SCHEDULE:

NO.	DATE	ISSUED TO	FOR
1	11/28/16	ISSUED TO: Owner	FOR: Permit
2		ISSUED TO:	FOR:
3		ISSUED TO:	FOR:
4		ISSUED TO:	FOR:
5		ISSUED TO:	FOR:



Thomas Bakalars MA Registration # 6201

Sheet #:

X-1

30 The Fenway
Boston, MA. 02215
617-536-6100

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C & G SURVEY COMPANY
37 Jackson Road, Scituate, MA, 02066
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PROJECT

ALTERATIONS TO:
96 Foster St. Cambridge, MA

PHASE

Existing Conditions

Sheet Title

ELEVATIONS

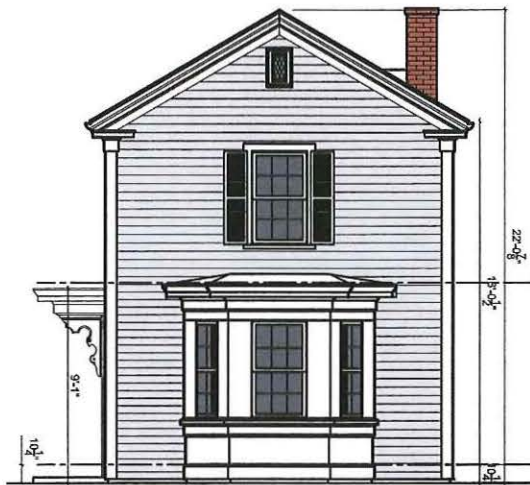
REVISION SCHEDULE:

NO.	DATE	ISSUED TO	FOR
1	11/28/16	Owner	Permit
2			
3			
4			
5			

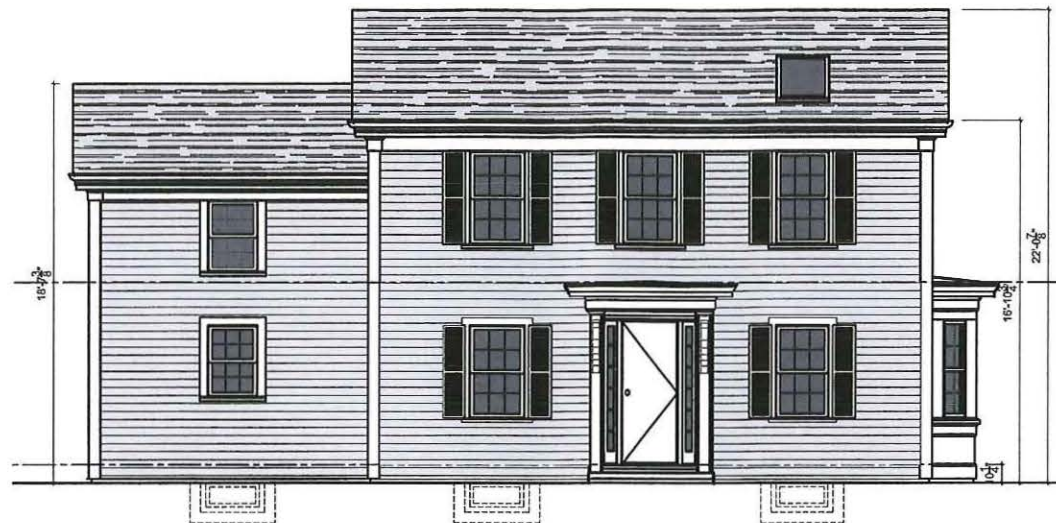


Thomas Bakalars MA Registration # 6201
Sheet #:

X-2



NORTH ELEVATION (FOSTER ST.)
1/4" = 1'-0"



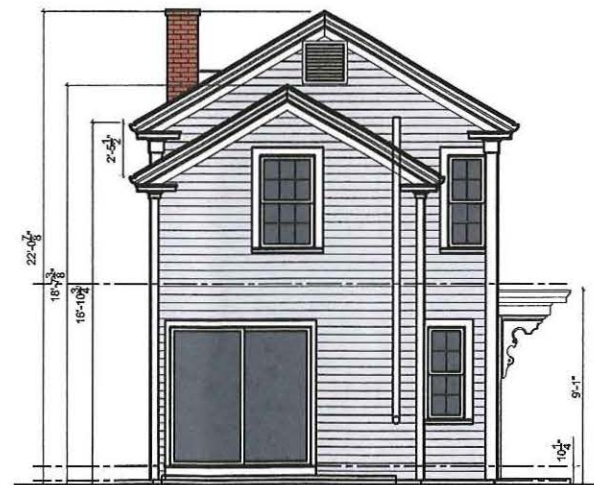
EAST ELEVATION
1/4" = 1'-0"



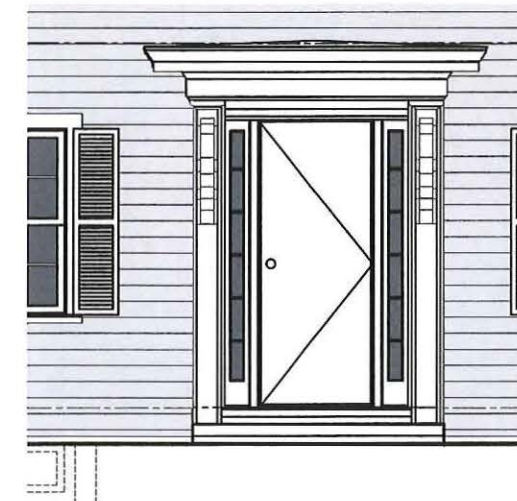
PARTIAL NORTH ELEVATION
1/2" = 1'-0"



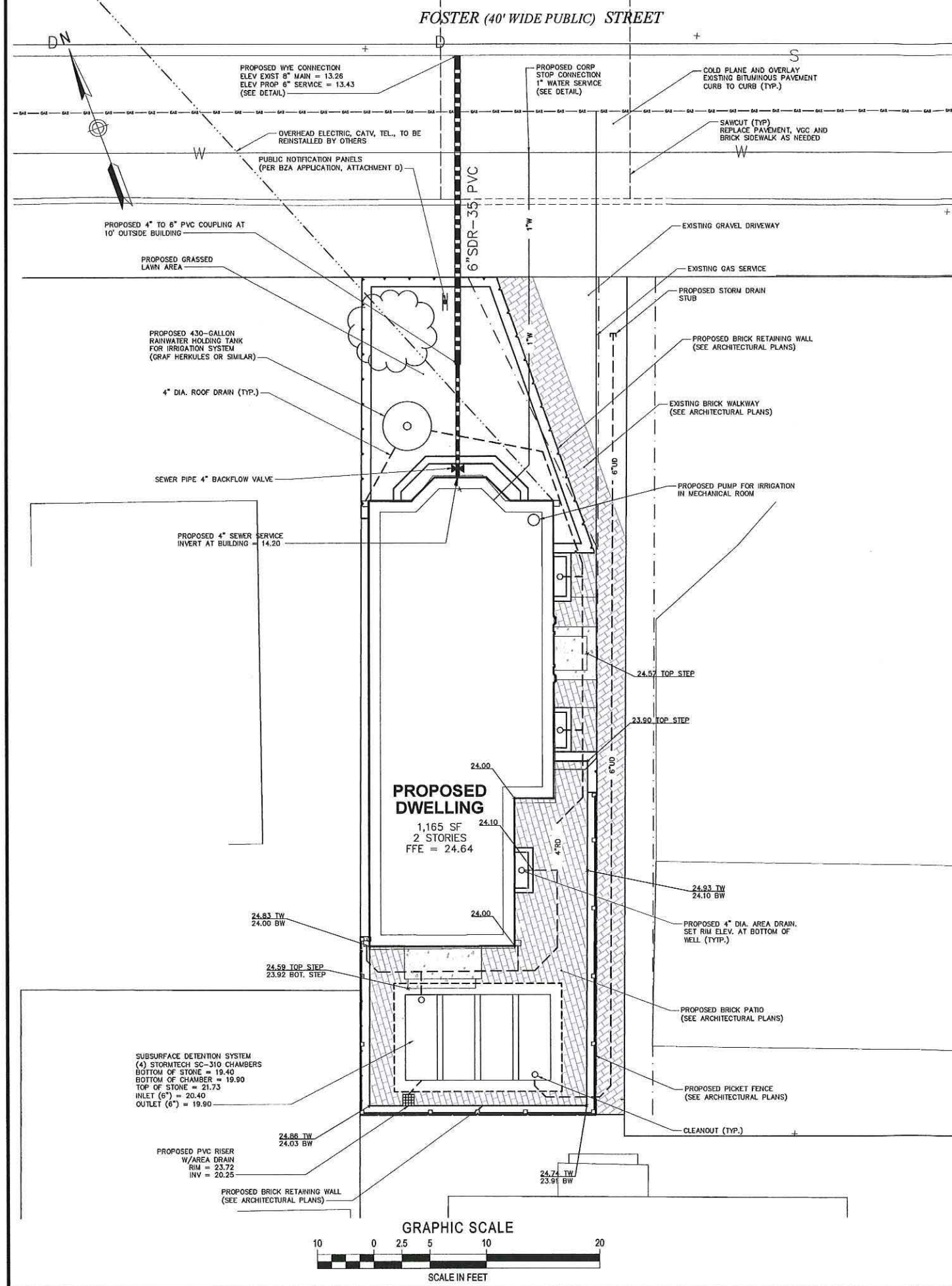
WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



PARTIAL EAST ELEVATION DETAIL
1/2" = 1'-0"



GENERAL NOTES

- General Information:**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY, CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
 - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
 - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED TO SUBGRADE ELEVATIONS.
 - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
 - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS, AND CORRECTIVE ACTION IF SUCH OCCURS.
 - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- Demolition:**
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
 - EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
 - CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- Layout and Materials:**
- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
 - PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
 - SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
 - CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- Utilities:**
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVES HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF ALL CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
 - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
 - CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY UTILITIES COMPANY.
 - UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - A. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE)
 - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35 SEWER PIPE
 - C. WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON, CLASS 52

- Existing Conditions:**
- THE EXISTING CONDITIONS SHOWN ARE BASED ON THE ALTAIACS LAND TITLE SURVEY PREPARED BY C&G SURVEY COMPANY.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. AND COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES.

SURFACES	AREA (SF)
PAVERS	826.60
LANDSCAPED	269.77
BUILDING	635.21
TOTAL	1731.58

EBC Consulting
environmental | engineering | due diligence

1400 Hancock Street, 4th Floor
Quincy, MA 02169
Tel: 617.481.5985
www.ebiconsulting.com

PREPARED FOR:
Thomas Bakalars Architects Pc.

30 Fenway
Boston, MA 02215
Tel: (617) 536-6100

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DRAWING SCALES NOTED ARE FOR 24" x 36" SIZE PRINTED MEDIA ONLY. ALL OTHER PRINTED SIZES ARE DEEMED "NOT TO SCALE".

SUBMITTALS			
NO.	DATE	DESCRIPTION	BY
1	12/09/16		

DATE: December 9, 2016 PROJECT NUMBER: 1616000017

PROJECT TITLE:
Proposed Single Family Home Renovation

96 Foster Street
Cambridge, Massachusetts 02138
Middlesex County

ISSUED FOR:
Local Approvals
(Not Approved for Construction)

SHEET TITLE:

Layout & Materials Plan

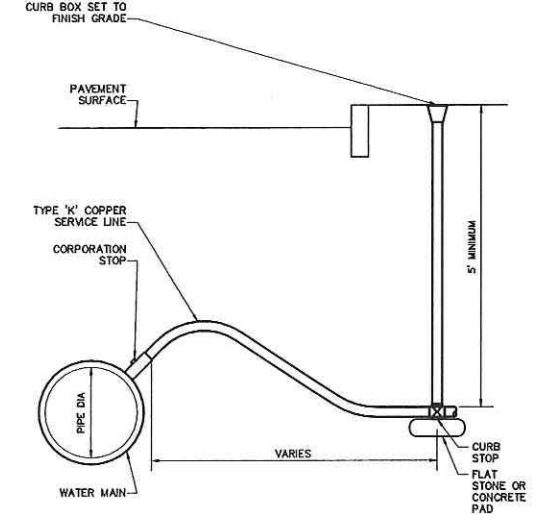
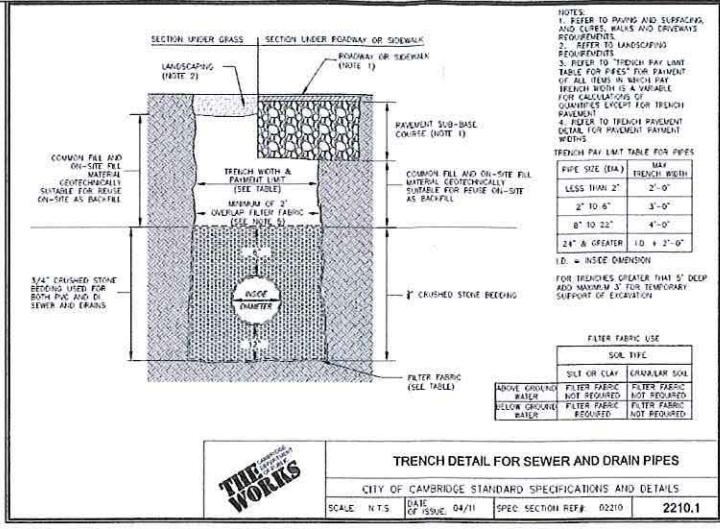
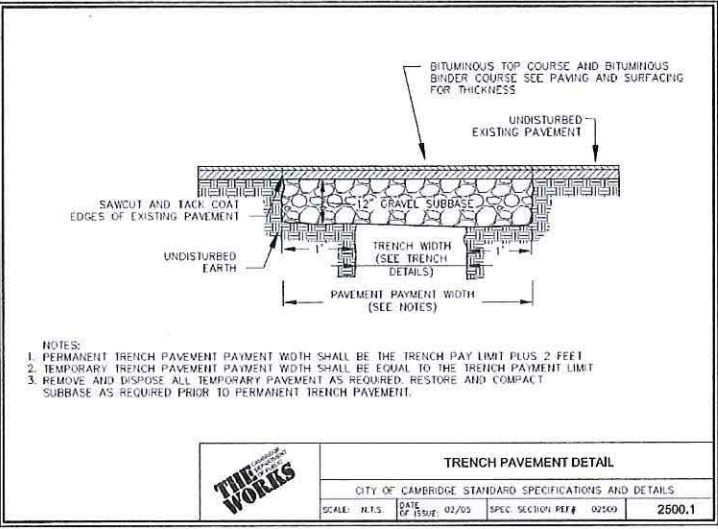
SCALE: 1" = 5'

DESIGNED BY: JVC

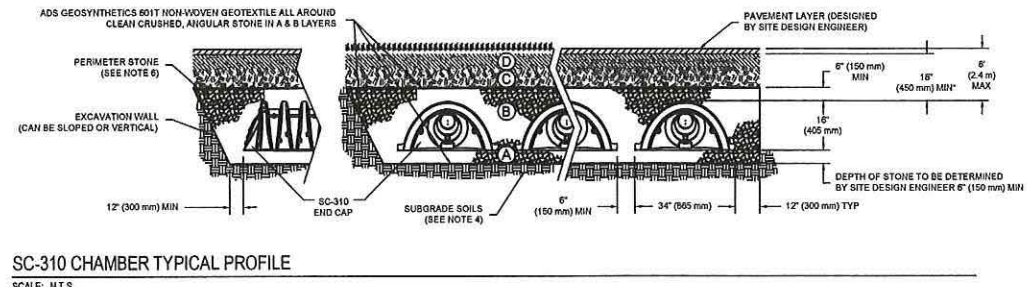
CHECKED BY: CMI

SHEET NO: **C-1**

1 OF 2



CONSTRUCTION NOTES
 1. INSTALLATION SHALL CONFORM WITH MUNICIPAL WATER WORKS SPECIFICATIONS AND STANDARDS.



DRAINAGE CALCULATIONS

	2-YR	10-YR	25-YR	100-YR
EXISTING	0.13 CFS	0.20 CFS	0.24 CFS	0.30 CFS
PROPOSED	0.07 CFS	0.11 CFS	0.14 CFS	0.29 CFS

NOTES:
 1. RAINFALL VOLUMES USED FOR THIS ANALYSIS WERE BASED ON THE NRCS TYPE III, 24-HR STORM EVENT FOR MIDDLESEX COUNTY; THEY WERE 3.3, 4.7, 5.7 AND 6.8 INCHES, RESPECTIVELY.



PREPARED FOR:
 Thomas Bakalars Architects Pc.
 30 Fenway
 Boston, MA 02215
 Tel: (617) 536-6100

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96 Foster Street
 Cambridge, Massachusetts 02138
 Middlesex County

ISSUED FOR:
 Local Approvals
 (Not Approved for Construction)

SHEET TITLE:
Details Plan

SCALE: N.T.S.	C-2
DESIGNED BY: JVC	
CHECKED BY: CMI	

2 OF 2

SURVEY

C & G SURVEY COMPANY
37 Jackson Road, Scituate, MA, 02066
Phone: 617-930-2149

CIVIL ENGINEER

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MARY LORD / WOODY LANDAY
2125 Newport Place Washington, DC 20837
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PROJECT

ALTERATIONS TO:
96 Foster St. Cambridge, MA

PHASE

Approvals

Sheet Title

FLOOR PLANS

REVISION SCHEDULE:

1	DATE: 12/14/16	ISSUED TO: Owner
	FOR: Permit	
2	DATE:	ISSUED TO:
	FOR:	
3	DATE:	ISSUED TO:
	FOR:	
4	DATE:	ISSUED TO:
	FOR:	
5	DATE:	ISSUED TO:
	FOR:	



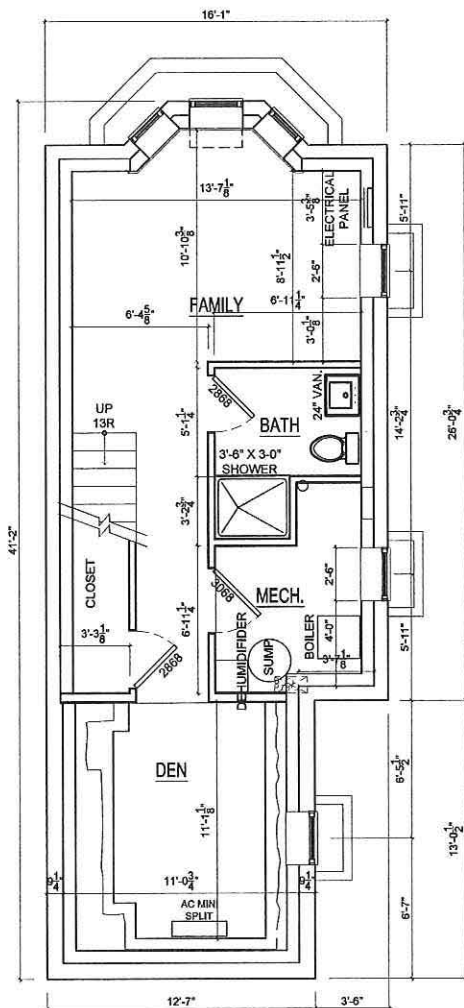
Thomas Bakalars

Thomas Bakalars MA Registration # 6201

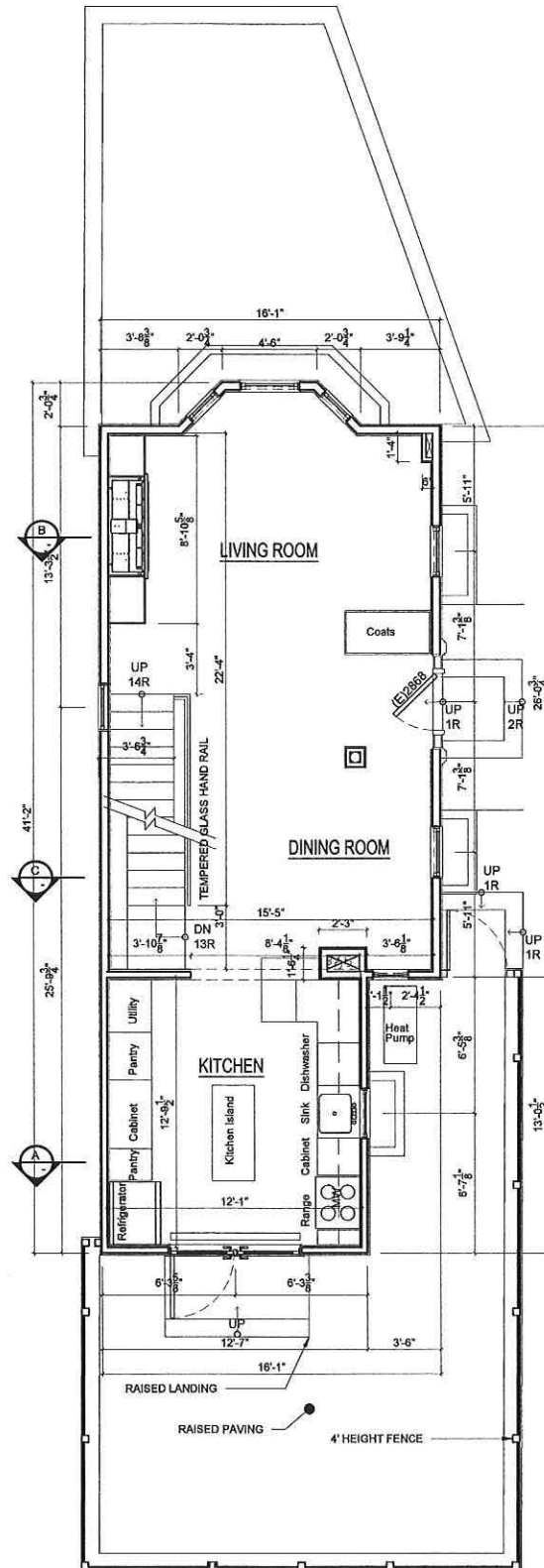
Sheet #:

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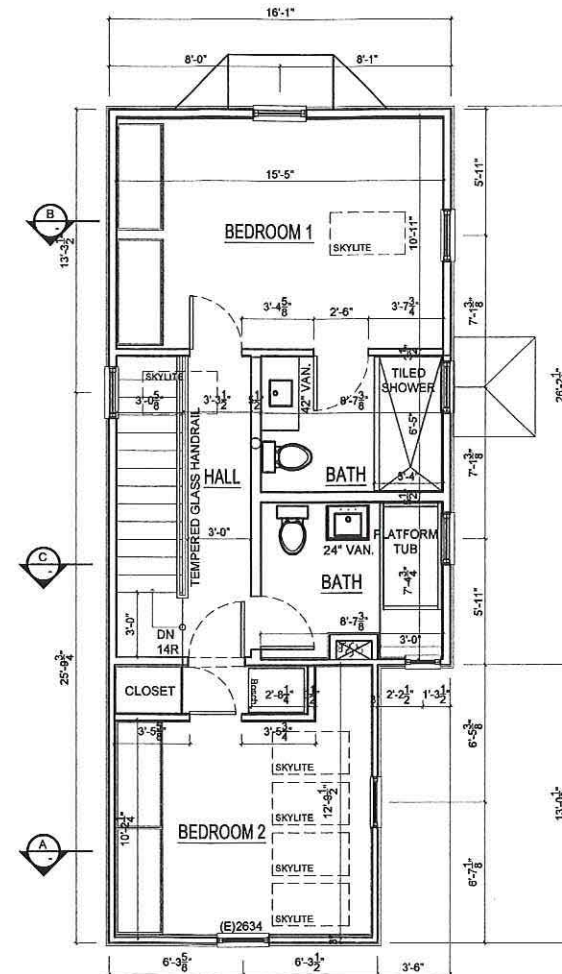
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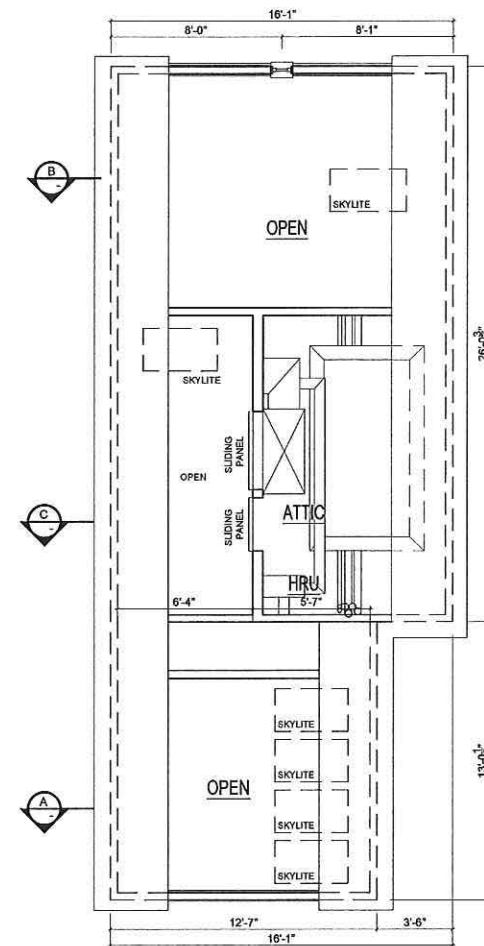
BASEMENT PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



ATTIC PLAN
1/4" = 1'-0"



EAST ELEVATION
1/2" = 1'-0"

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East Elevation

REVISION SCHEDULE:

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	FOR:	
3	DATE:	ISSUED TO:
	FOR:	
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5	DATE:	ISSUED TO:
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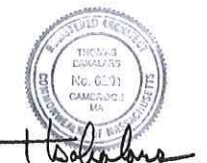
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North & South Elevation

REVISION SCHEDULE:

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2	DATE:	ISSUED TO:
	FOR:	
3	DATE:	ISSUED TO:
	FOR:	
4	DATE:	ISSUED TO:
	FOR:	
5	DATE:	ISSUED TO:
	FOR:	

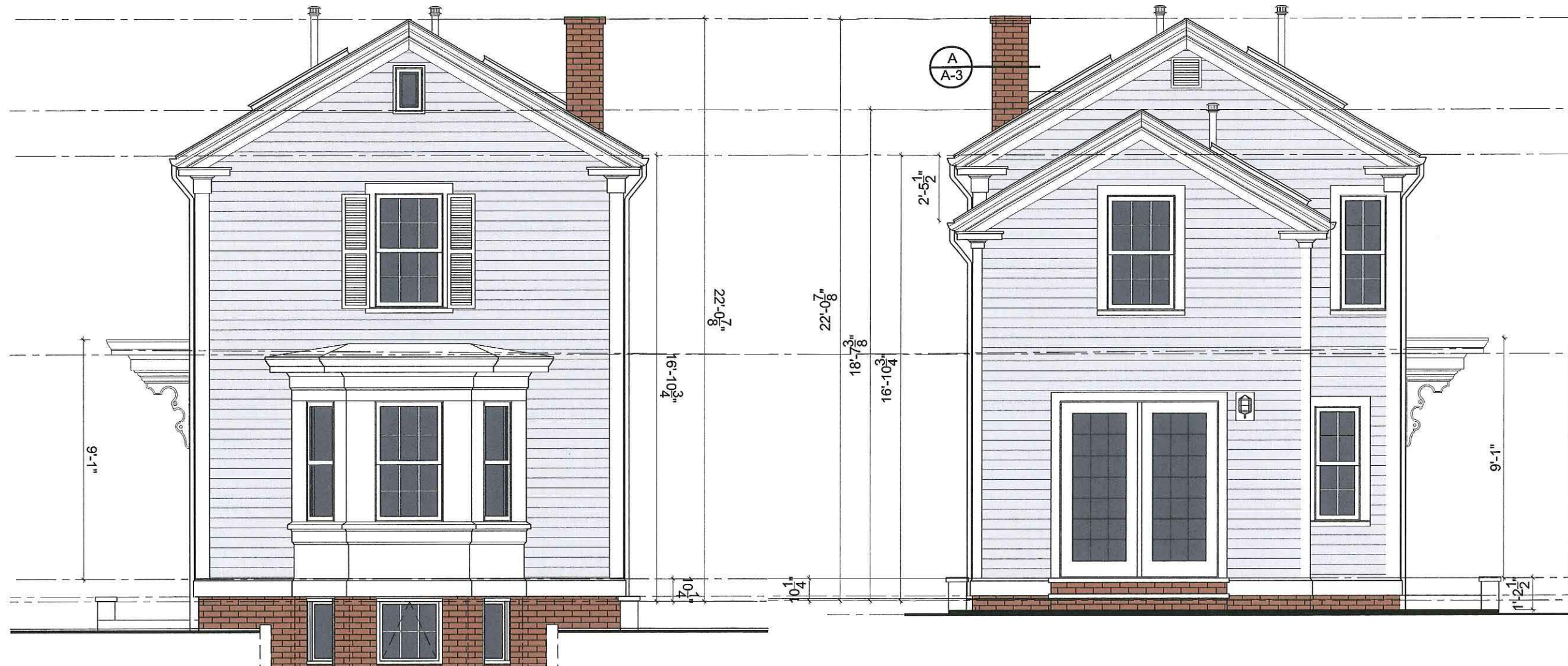


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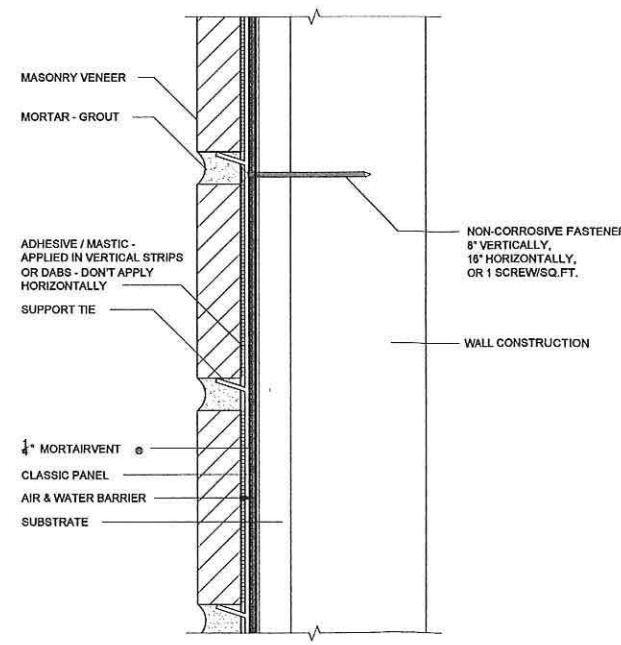
A-3

Scale:



NORTH ELEVATION (FOSTER ST.)
1/2" = 1'-0"

SOUTH ELEVATION
1/2" = 1'-0"



TYP. SECTION AT FAUX CHIMNEY
SCALE: 1'-0" = 1'-0"



WEST ELEVATION
1/2" = 1'-0"

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West Elevation

REVISION SCHEDULE:

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	FOR:	
3	DATE:	ISSUED TO:
	FOR:	
4	DATE:	ISSUED TO:
	FOR:	
5	DATE:	ISSUED TO:
	FOR:	



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Sections

REVISION SCHEDULE:

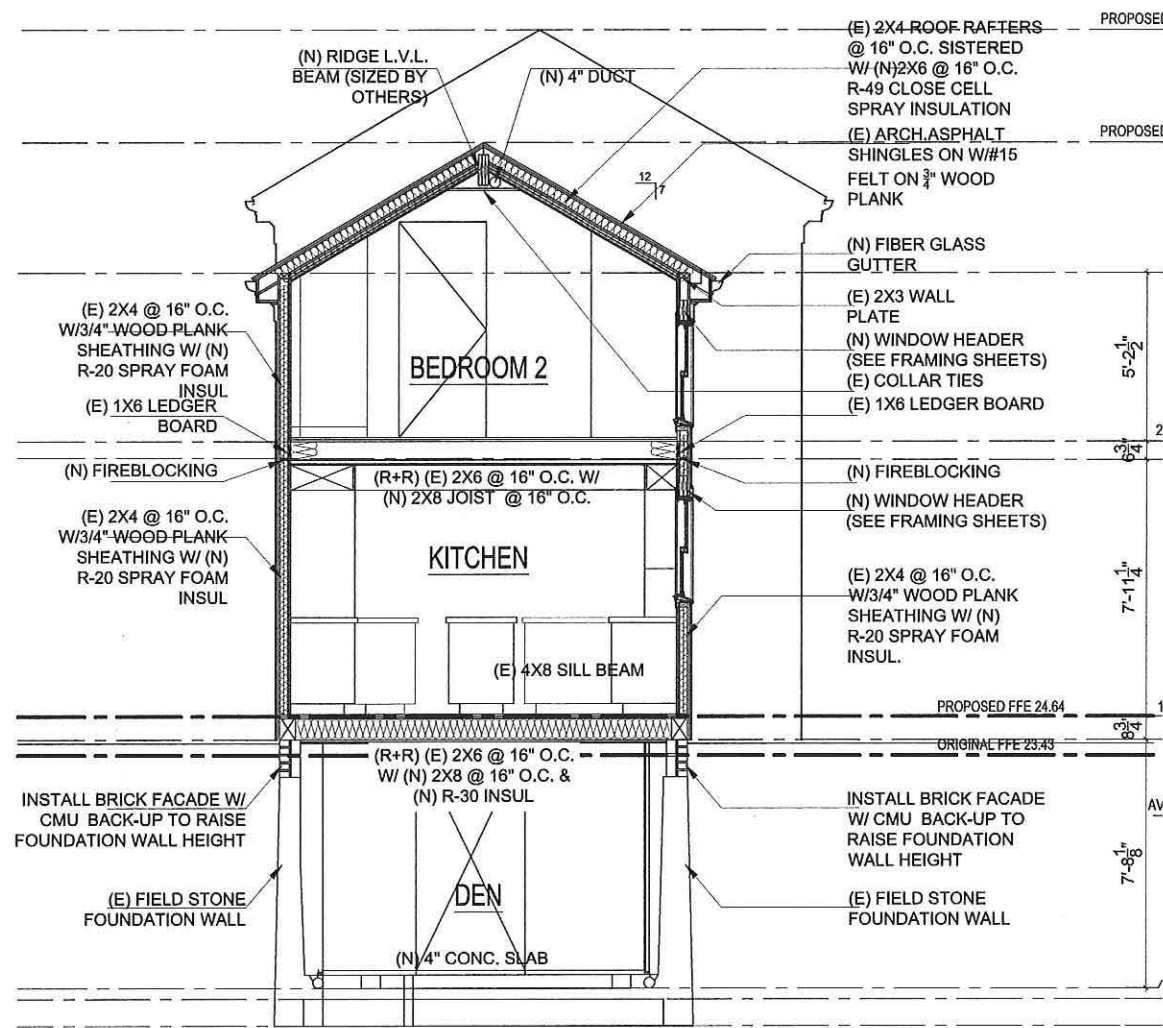
NO.	DATE	ISSUED TO	FOR
1	12/14/16	Owner	Permit
2			
3			
4			
5			



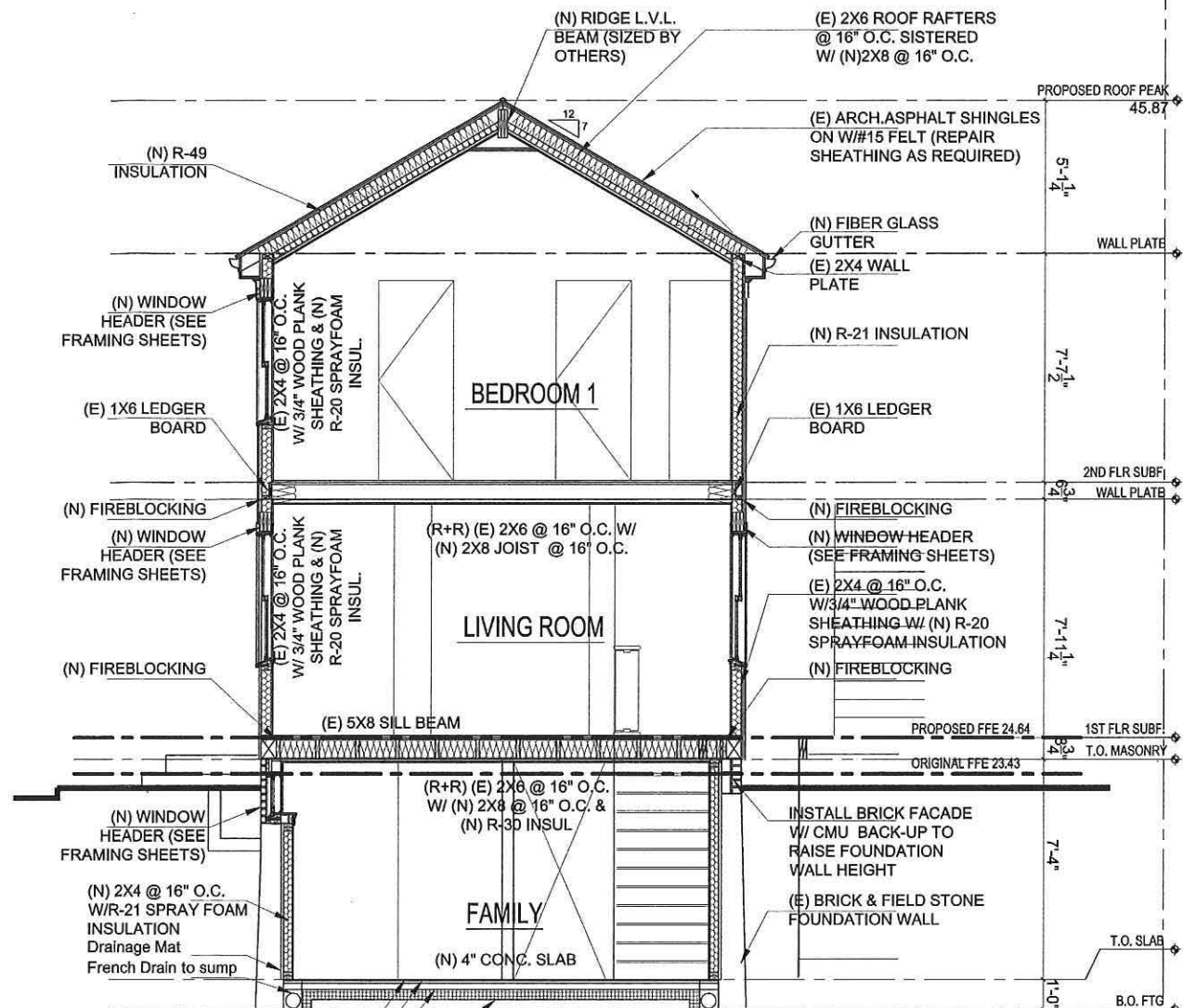
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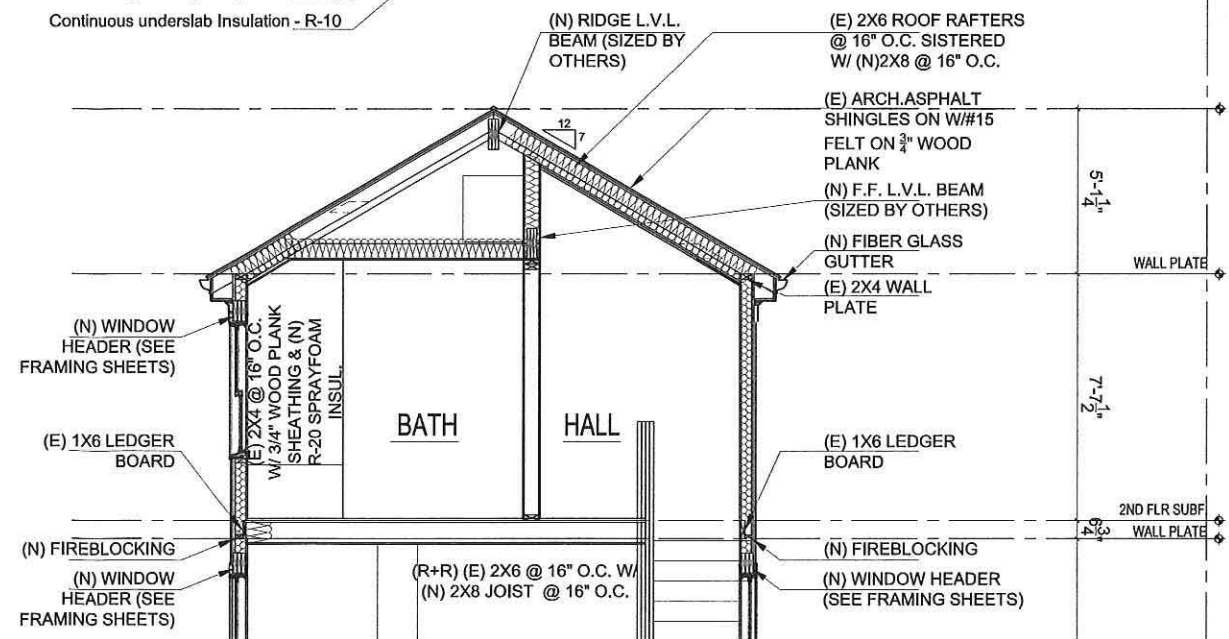
A-5



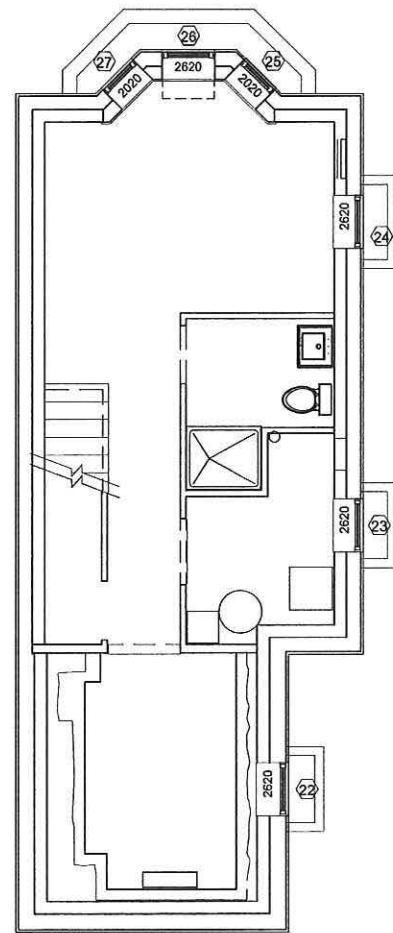
PROPOSED BUILDING SECTION "A"
3/8" = 1'-0"



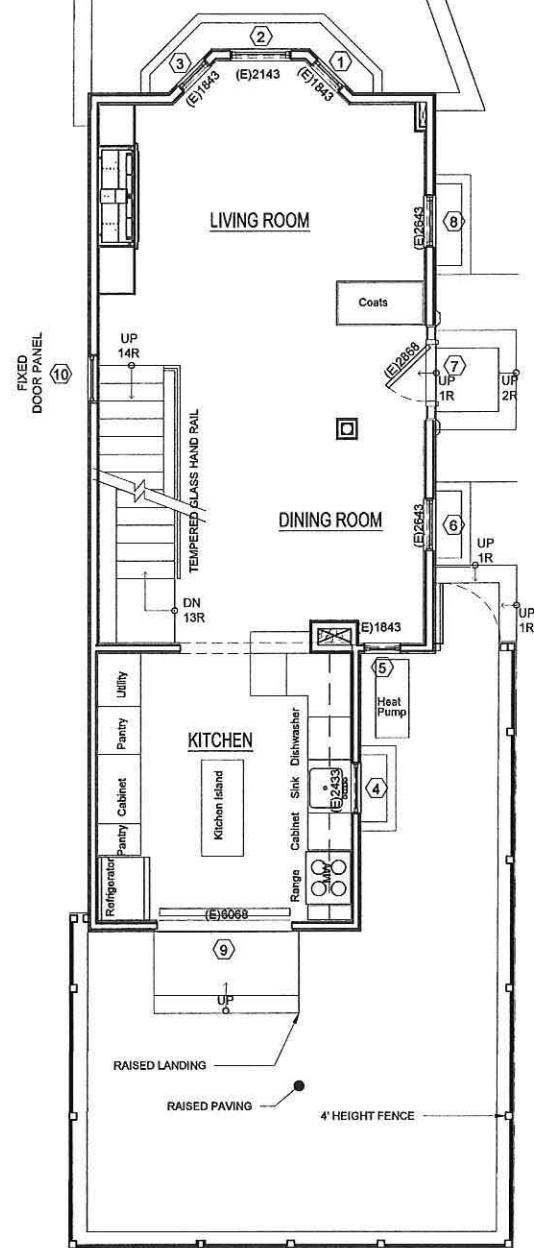
PROPOSED BUILDING SECTION "B"
3/8" = 1'-0"



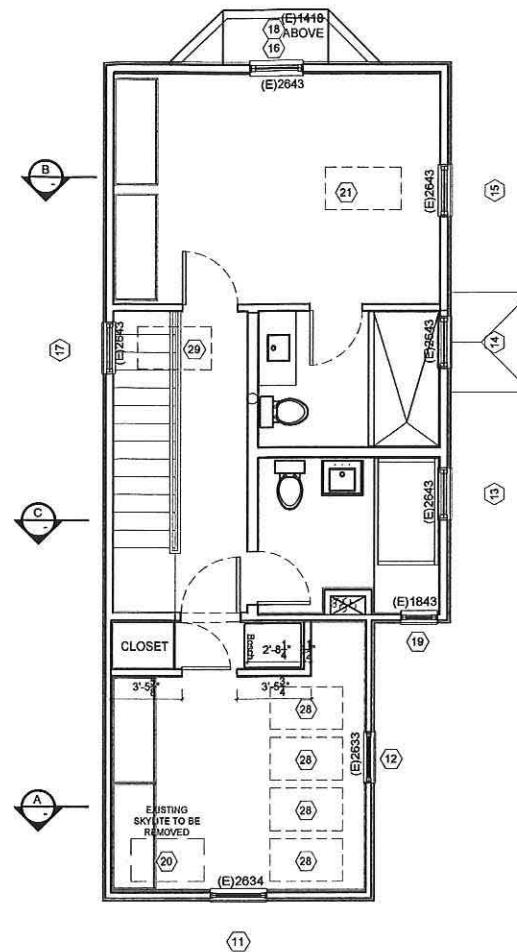
PROPOSED BUILDING SECTION "C"
3/8" = 1'-0"



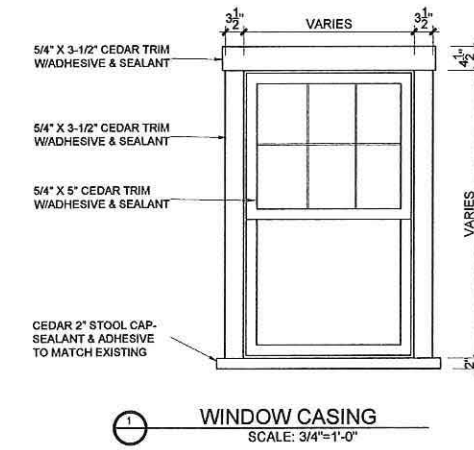
BASEMENT WINDOWS PLAN
1/4" = 1'-0"



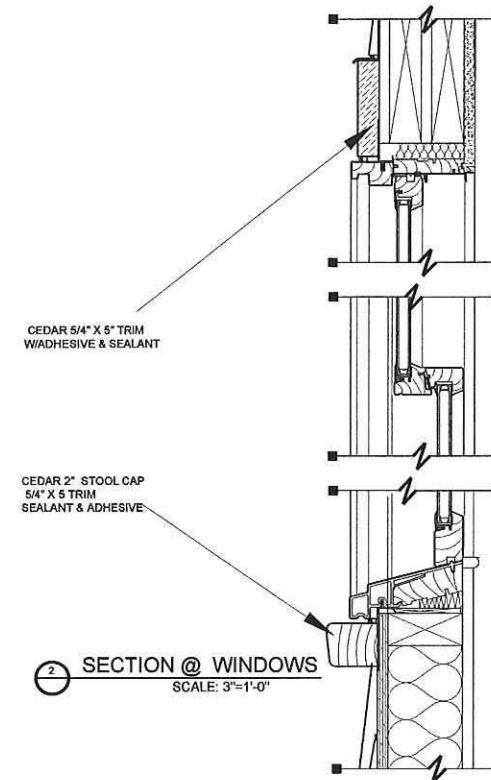
FIRST FLOOR WINDOWS PLAN
1/4" = 1'-0"



SECOND FLOOR WINDOWS PLAN
1/4" = 1'-0"



1 WINDOW CASING
SCALE: 3/4"=1'-0"



2 SECTION @ WINDOWS
SCALE: 3"=1'-0"

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WINDOW PLANS

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5		ISSUED TO:	



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Scale:

Schedule of Exterior Building Materials

Window / Door Schedule

Exterior Building Materials		
Roof	Tear off existing. Patch sheathing as required. New underlayment, ice & water shield, 3-tab Roofing Shingles. New Flashing and metal drip edge.	
Chimney's	There were 2 chimney's on West side of Main Roof. One was removed by others without approval. Remove remaining chimney and replicate both using thin brick on wood frame backup.	Brick Sample
Gutter	New Fiberglass gutter. The Fiberglass Gutter is a direct representation of a 4x5 Wood Gutter.	See Brochure and Sample
Downspout	4" Corrugated Metal, Painted. Transition to PVC piping at 6" above grade. Attach with 4" Round Hinged downspout hooks.	
Fascia Boards	Repair* Existing. Replicate at rear metal.	See Epoxy Repair Spec
Soffit	Repair* Existing. Replicate at rear metal.	See Epoxy Repair Spec
Corner Boards	Repair* Existing.	See Epoxy Repair Spec
Window Casings	Repair* Existing. New Brickmold at Basement Windows	See Epoxy Repair Spec
Door Casings	Repair* Existing. New to match at rear door.	See Epoxy Repair Spec
Bay Window Casings	Repair* Existing.	See Epoxy Repair Spec
East Door Surround	Repair* Existing.	See Epoxy Repair Spec
Clapboard Siding	Refinish Existing. Replace damaged, broken, rotted siding with new clapboards in same size and bevel as existing.	No epoxy Repairs to siding. See Surface Preparation spec.
Watertable	New Composite Profile. Painted	
Watertable Trim Bd.	New Composite Board. Painted	
Foundation Brick	Brick selected to match garage / chimney's	See Sample
Shutters	New Wood Shutters, painted. Correctly sized and mounted.	See Literature
Entry Door	New Wood Door, Hardware in existing frame. Add Wood storm door. Storm to mimic existing mutton profiles.	
W Side Door	Existing inswing Door is to be repaired and moved to the outswing position. The door will be permanently fixed in place and will be walled over from the interior. Hardware will be refurbished or replaced to match.	See Epoxy Repair Spec
Rear Door	See Window / Door Schedule	
WINDOWS	See Window Schedule. The Original Windows are to be repaired except those located at new Bathrooms. Existing Replacement Windows are to be removed and replaced with a new window and frame which will fit the Historic opening, sit in the same wall plane and mimic the existing mutton profiles. Safety Glass replacement at sills under 18".	
Basement Windows	Basement windows are to be New Composite Awning Windows and frame to fit the new openings. The windows will sit in the same wall plane as the existing basement windows and mimic existing frame and mutton profiles.	
Storm / Screens	Aluminum Combination Storm and Screen Windows. Color White.	
SkyLights	See Window / Door Schedule	
Paint: Field	Exterior Woodwork. Color White.	
Paint: Accent 1	Clapboard Siding. Color Gray.	
Paint: Accent 2	Front Door. Color	
DownLight at East Entrance	Nite Sky Compliant surface mounted down light at underside of Entrance Canopy	
DownLight at Rear Door	Nite Sky Compliant wall mounted down light.	
Rear Patio Lighting	Nite Sky Compliant Continuous LED surface mounted below stone cap.	
HVAC EQUIPMENT	Unico iSeries (Argo) 3 ton Inverter Heat Pump. Max sound pressure: 48 db(A). Compressor located so it does not directly face the walls of the adjacent abutters. Sound pressure level conforms to European standard EN 12102, a stricter standard than the typical units sold in the United States.	
*	Repair*. The patching, restoration and/or minor replacement of materials, elements, components, equipment and / or fixtures for the purposes of maintaining those materials, elements, components, equipment and / or fixtures in good or sound condition.	
Exterior Site Materials		
Paving Brick	Reuse existing. New to match.	
Brick Walls	Brick to match foundation brick (above).	
Stair Treads / Stone Cap	2" Granite	
Window wells	Poured Concrete, Brick.	
Fence	Picket Fence. Color white. 4' high (from original grade)	
Landscape materials	Various.	

#	TYPE EXISTING	TYPE PROPOSED	TOP	BOTTOM	Description	SAFETY GLASS	Head / Jamb / Sill Extension	EXT CASING	INT CASING	STORM SCREEN	SHUTTER	COMMENT
			DIVIDED LITES									
1	DH-ORIGINAL	Restore	0	0	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	NO	
2	DH-ORIGINAL	Restore	6	6	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	NO	
3	DH-ORIGINAL	Restore	0	0	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	NO	
4	DH-REPLACEMENT	New Wood Replica Window	6	6		N.A.	Interior	NEW	NEW		NO	
5	DH-ORIGINAL	Restore	4	4	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	NO	
6	DH-ORIGINAL	Restore	6	6	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	YES	
7	FRONT DOOR REPLACEMENT - SIDELITE ORIGINAL	New Door. Restore Frame and Sidelites	NA	NA	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	NO	
8	DH-ORIGINAL	Restore	6	6	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	YES	
9	ALSILIDER	New. Wood French Pair - Outswing	NA	NA		X	NEW	NEW	NEW	Interior Screen at operable leaf	NO	
10	DOOR	Move to Outswing position. Restore Exg. Hardware. Disable.	NA	NA		N.A.	N.A.	REPAIR	NEW	NO	NO	
11	DH-REPLACEMENT	New Wood Replica Window	6	6		N.A.	Interior	NEW	NEW	YES	NO	
12	Do it yourself using basement window.	New Wood Replica Window	6	6		X	Interior	NEW	NEW	YES	NO	
13	DH-ORIGINAL	New Composite Replica Window	6	6		X	Interior	NEW	NEW	YES	YES	
14	DH-REPLACEMENT JAMBS	New Composite Replica Window	6	6		X		NEW	NEW	YES	YES	
15	DH-ORIGINAL	Restore	6	6	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	YES	
16	DH-ORIGINAL	Restore	6	6	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	YES	
17	DH-ORIGINAL	Restore	6	6	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	YES	
18	STAIN GLASS	Restore. Add Storm.	0	0	See Window Restoration Specification	N.A.	Interior	REPAIR	NEW	YES	NO	
19	DH-REPLACEMENT	New Composite Replica Window	4	4		N.A.	Interior	NEW	NEW	YES	NO	
20	SKYLITE - HOME-MADE	Remove	NA	NA		X	N.A.	N.A.	N.A.	N.A.	N.A.	
21	SKYLITE	New Velux Skylight	NA	NA	VSE Deck mount, top hinged venting skylight. Electric Operation.	X	N.A.	N.A.	N.A.	N.A.	N.A.	
22	B-ORIGINAL	New 2620 Composite Awning	6	NA		X	NEW	NEW	NEW	No	NO	
23	B-NO WINDOW	New 2620 Composite Awning	6	NA		X	NEW	NEW	NEW	NO	NO	
24	B-REPLACEMENT	New 2620 Composite Awning	6	NA		X	NEW	NEW	NEW	NO	NO	
25	N.A.	New 2020 Composite Awning	0	NA		X	NEW	NEW	NEW	NO	NO	
26	N.A.	New 2620 Composite Awning	6	NA		X	NEW	NEW	NEW	NO	NO	
27	N.A.	New 2020 Composite Awning	0	NA		X	NEW	NEW	NEW	NO	NO	
28	N.A.	New - Velux Skylight. Gang of 4 with Combi-Flashing.	NA	NA	VS Deck mount, top hinged venting skylight. Manual Operation.	X	N.A.	N.A.	N.A.	N.A.	N.A.	
29	N.A.	New Velux Skylight	NA	NA	VSE Deck mount, top hinged venting skylight. Electric Operation.	X	N.A.	N.A.	N.A.	N.A.	N.A.	

Notes: Windows designated DH-ORIGINAL are replacement windows and frames estimated to be 50 - 55 years old.

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SCHEDULES

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