

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 189 Charles LLC c/o Chris Koskores
(OWNER)

Address: 22 McGrath HWY #206 Somerville, MA 02143

State that I/We own the property located at 189 Charles St., which is the subject of this zoning application.

The record title of this property is in the name of 189 Charles LLC

*Pursuant to a deed of duly recorded in the date 12/7/17, Middlesex South County Registry of Deeds at Book 70351, Page 239; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Chris Koskores
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

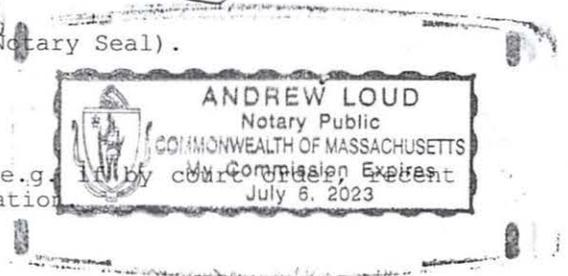
Commonwealth of Massachusetts, County of Suffolk

The above-name Christopher Koskores personally appeared before me, this 25 of April, 2018, and made oath that the above statement is true.

Andrew Loud Notary

My commission expires July 6, 2023 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. deed, or inheritance, please include documentation



BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 189 Charles St Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
With the requested relief the requirements of the ordinance will be satisfied.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
No congestion, hazard, or substantial change in the established neighborhood character will result from approval of the windows within the setback because the new window will provide additional light and air into the renovated dwelling.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
The continued operation of or the development of adjacent uses will not be adversely affected because there is no change to the proposed use.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
No nuisance or hazard will be created nor will any detriment to the health, safety and/or welfare of the occupants of the proposed use or the citizens of the City because the additional windows will allow the appropriate light and air into the reconfigured dwelling.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
The proposed addition will not impair the integrity of the district and is consistent with the intent of the ordinance by allowing for the renovation and modernization of Cambridge's older housing stock.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Hope Legal law Offices **PRESENT USE/OCCUPANCY:** Multi-family
LOCATION: 189 Charles St Cambridge, MA **ZONE:** Residence C-1 Zone
PHONE: 6174920220 **REQUESTED USE/OCCUPANCY:** No Change

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	2,130sf	2,130sf	3,750sf	(max.)
<u>LOT AREA:</u>	1,086sf	1,086sf	5,000sf	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²	1.96	1.96	.75	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	362sf	362sf	1,500sf	(min.)
<u>SIZE OF LOT:</u>	WIDTH	38'+/-	38'+/-	50' min (min.)
	DEPTH	28.34'	28.34'	None
<u>SETBACKS IN FEET:</u>	FRONT	0	0	10' min (min.)
	REAR	5.55'	5.55'	20' min (min.)
	LEFT SIDE	1'-7"	1'-7"	7.5'min (min.)
	RIGHT SIDE	5'-9"	5'-9"	7.5'min (min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	34.5'	34.5'	35' max (max.)
	LENGTH	23.9'	23.9'	n/a
	WIDTH	30.4'	30.4'	n/a
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	0	0	30%	(min.)
<u>NO. OF DWELLING UNITS:</u>	3	3	0	(max.)
<u>NO. OF PARKING SPACES:</u>	0	0	0	(min./max)
<u>NO. OF LOADING AREAS:</u>	0	0	0	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	3.45'	3.45'	n/a	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

2018 MAY -2 AM 10:42

OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS
 Plan No: BZA-016276-2018

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : √ Variance : Appeal :

PETITIONER : 189 Charles Street LLC - Chris Koskores C/O Sean D. Hope, Esq.

PETITIONER'S ADDRESS : 675 Massachusetts Avenue Cambridge, MA 02139

LOCATION OF PROPERTY : 189 Charles St Cambridge, MA

TYPE OF OCCUPANCY : 4.31 ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

Other: Windows in the setback

DESCRIPTION OF PETITIONER'S PROPOSAL :

Petitioner requests Special Permit relief to add/alter windows within the setback(s).

SECTIONS OF ZONING ORDINANCE CITED :

Article 8.000 Section 8.22.2(C) (Alteration/Non-conforming Structure).

Article 10.000 Section 10.40 (Specail Permit).

Original Signature(s) :


 (Petitioner(s) / Owner)

Sean D. Hope

(Print Name)

Address : 675 Massachusetts Avenue

 Cambridge, MA 02139

Tel. No. : 617-492-0220

E-Mail Address : sean@hopelegal.com

Date : May 1, 2018

189 CHARLES STREET, CAMBRIDGE MA.

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
 259 ELM STREET, SUITE 301
 SOMERVILLE, MA 02144
 PH 617-354-3989 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT

RENOVATION OF THREE FAMILY BUILDING

189 CHARLES STREET,
 CAMBRIDGE, MA

PREPARED FOR

KRE COMPANY, LLC.
 22 McGRATH HWY
 SUITE 206
 Somerville, MA. 02143

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DRAWING TITLE

TITLE SHEET

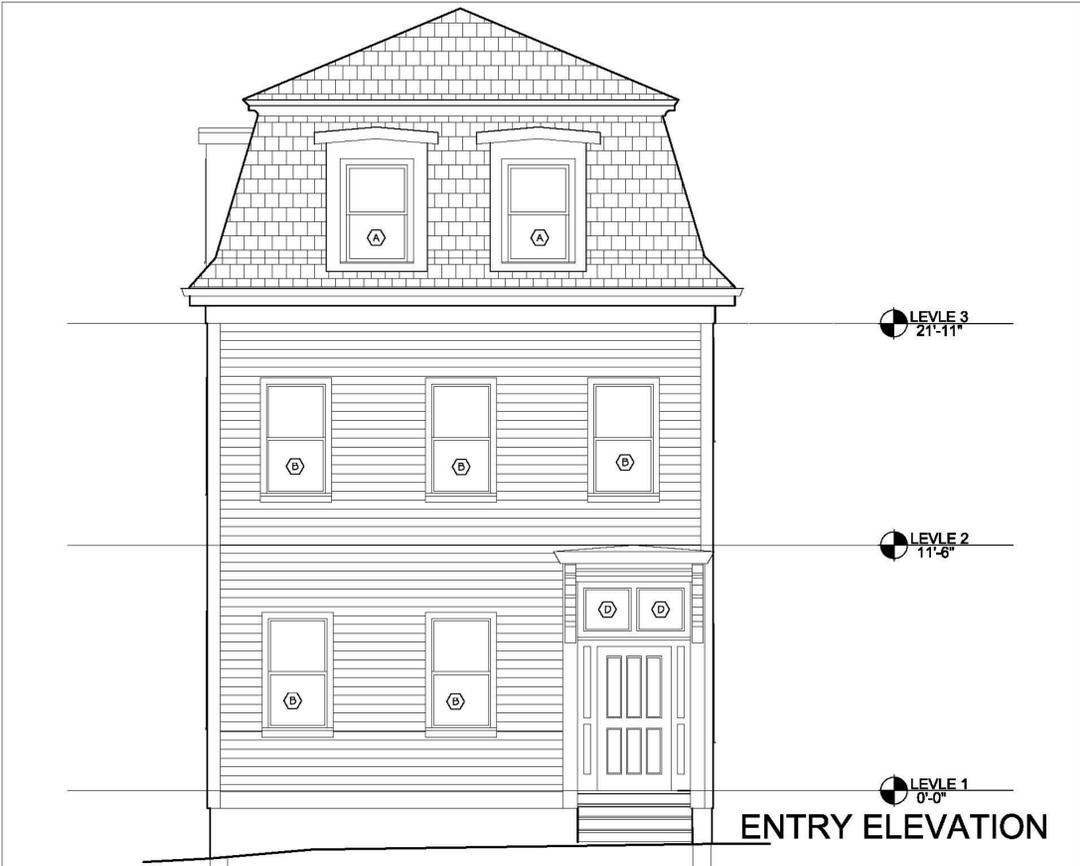
SCALE AS NOTED

REVISION / ISSUE	DATE
PERMIT SET	02 JAN 2018
DRAWN BY ELM	REVIEWED BY PQ

SHEET

T-1

LIST OF DRAWINGS		PERMIT SET	
		02 JAN 2017	
GENERAL			
T-1	TITLE SHEET	X	
	CERTIFIED PLOT PLAN	X	
G1.0	GENERAL NOTES, ABBREVIATIONS, KEY SYMBOLS AND PARTITION TYPES	X	
G1.1	CODE ANALYSIS	X	
ARCHITECTURAL			
D1.0	DEMO PLANS	X	
A0.1	ARCHITECTURAL SITE PLAN	X	
A1.0	ARCHITECTURAL FLOOR AND ROOF PLANS	X	
A2.1	ELEVATIONS	X	
A3.1	BUILDING SECTIONS	X	
A3.2	WALL SECTIONS	X	
A4.1	WINDOW SCHEDULE & TYPICAL DETAILS	X	
A4.2	DOOR SCHEDULE & DETAILS	X	
A5.1	EXTERIOR DETAILS		
A5.2	EXTERIOR DETAILS		
STRUCTURAL			
S-1	STRUCTURAL DETAILS		
S-2	GENERAL STRUCTURAL NOTES & DETAILS		
S-3	STRUCTURAL DETAILS		
ELECTRICAL			
E1.0	ELECTRICAL PLANS	X	
FIRE PROTECTION			
FP1.0	FP DETAILS		
FP1.1	FP FLOOR PLANS		
	FP CALCULATIONS		
	FP NARRATIVE		



DESIGN PER 780CMR MASSACHUSETTS STATE BUILDING CODE 9th ED.

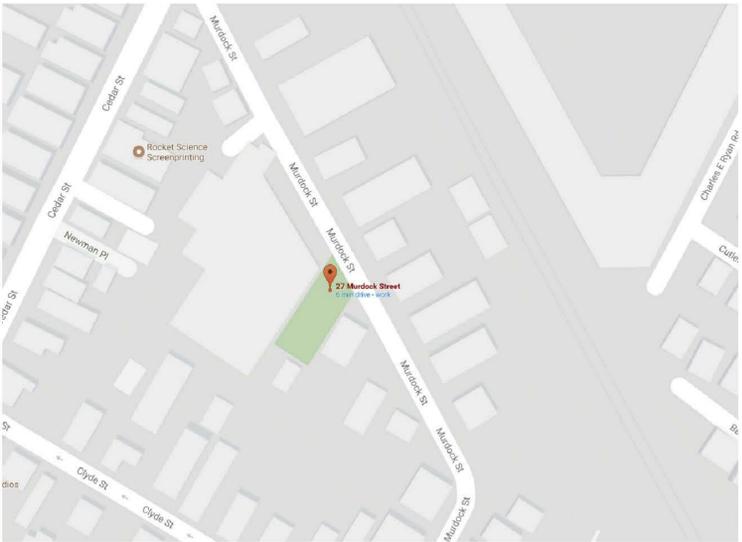
ENERGY CODES:
 STRETCH ENERGY CODE -
 AA 104 EXISTING BUILDING -
 3-STORY RESIDENTIAL, COMPLY WITH
 780 CMR 51.00 RESIDENTIAL CODE
 AS AMENDED - SECTION N1100.1 THROUGH N1111.2

SECTION N1109 (R503) ALTERATIONS-
 N1109.1 (R503.1)
 ALTERATIONS TO EXISTING BUILDINGS
 SHALL COMPLY WITH SECTIONS N1109.1.1 THOUGH N1109.2

SECTION N1109.1 (503.1)-
 ALTERATIONS SHALL COMPLY WITH SECTION N1102 (R402)
 AS REQUIRED, EXCEPT PER EXCEPTION-2
 WHERE EXISTING STUD CAVITIES
 SHALL BE FILLED WITH INSULATION.

SECTION N1102 (R402)-
 PER TABLE R402.1.2-
 CEILING R-VALUE 49
 WALL FRAMING R-VALUE 20 OR 13+5
 FLOOR R-VALUE 30
 BASEMENT WALL R-VALUE 15 OR 19 (15 CL. EXTERIOR
 OR 19 CL. INTERIOR

WHERE POSSIBLE
 WHERE NOT POSSIBLE EXCEPTION 2 USED AND CAVITIES FILLED
 WITH INSULATION



LOCUS MAP

PREPARED BY:

ARCHITECT
 PETER QUINN ARCHITECTS LLC
 259 ELM STREET, SUITE 301
 SOMERVILLE, MA 02144
 PH (617) 354.3989

SURVEYOR

STRUCTURAL ENGINEER

BOMBARDIER STRUCTURAL
 ENGINEERING
 131 LINCOLN STREET
 ABINGTON, MA 02351
 PH (508) 631.3332

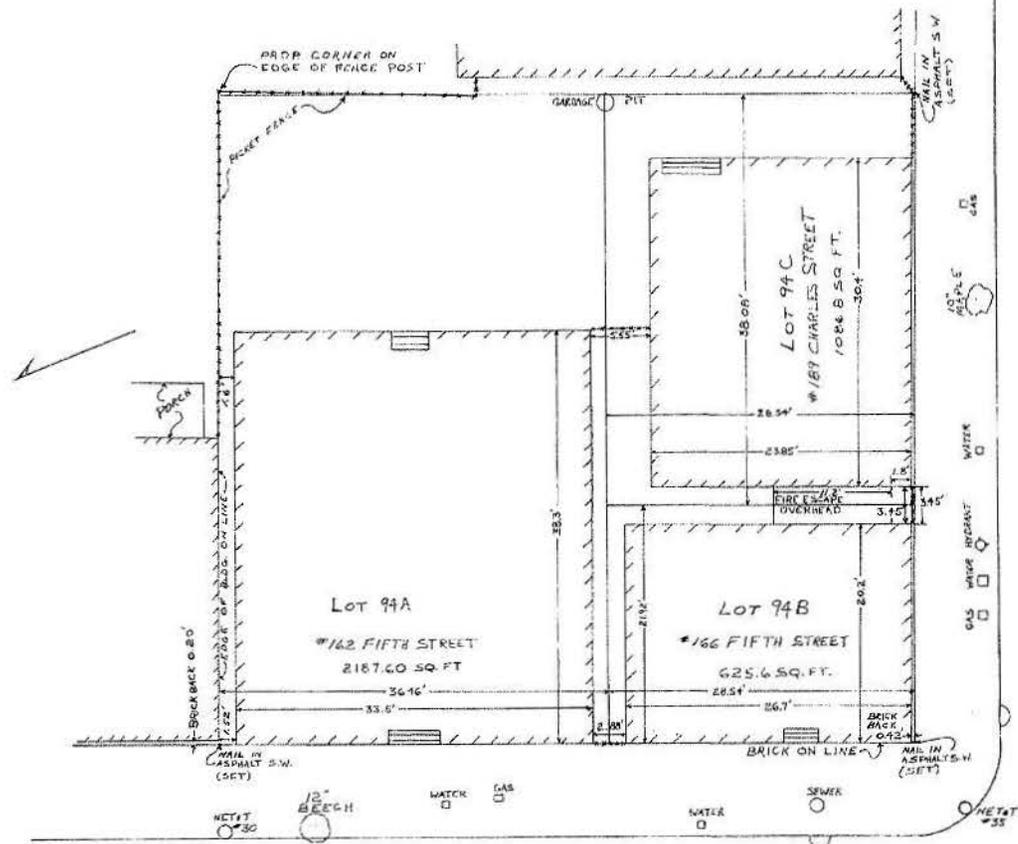
M/E/P ENGINEER

ZADE ASSOCIATES
 140 BEACH STREET
 BOSTON, MA 02111
 PH (617) 338.4402

PREPARED FOR:

KRE COMPANY, LLC
 22 McGRATH HWY, SUITE 208
 SOMERVILLE, MA 02143
 PH (978) 337.3982

2



CHARLES STREET

FIFTH STREET

Fee 25 By S.W.
 Middlesex Registry of Deeds
 Southern District
 Cambridge, Massachusetts
 Plan No. 76 of 1820
 Rec'd JAN 20 1934
 at 3.40 PM and No. 475
 Rec'd, Bk 15415, Pg 13
J. J. [Signature]

I CERTIFY THAT THIS PLAN HAS BEEN FILED IN CONFORMITY
 WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS
 OF THE COMMONWEALTH OF MASSACHUSETTS.

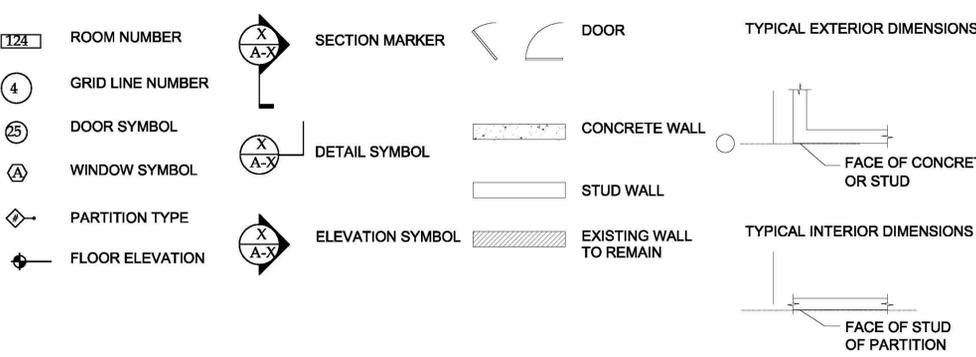


PROPOSED SUBDIVISION
 OF LOT 94 PLAT 26
 IN CAMBRIDGE, MASSACHUSETTS
 SCALE: 1" = 5' DATE: 10-2-33

ABBREVIATIONS

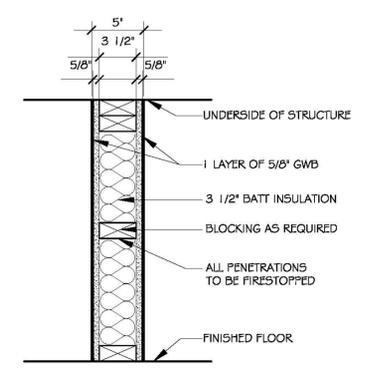
ABV ABOVE	ACOUS ACUSTICAL	ADD ADDENDUM(S)	ADH ADHERED, ADHESIVE	ADJ ADJUSTABLE, ADJACENT	AFF ABOVE FINISH FLOOR	ALT ALTERNATE(S)	ALUM ALUMINUM	ALTH ALUMINUM THRESHOLD	ANOD ANODIZED	APPROX APPROXIMATE	ARCHT ARCHITECT	ASPH ASPHALT(IC)	B.O. BOTTOM OF BOARD	BD BIT	BLDG BUILDING	BLK BLOCK	BLKG BLOCKING	BLW BLOW	BM BEAM, BENCHMARK	BOT BOTTOM	BR BEDROOM	BRG BEARING	BRK BRICK	BRKT BRACKET	BRZ BRONZE	BSMT BASEMENT	BTN BATTEN	BTWN BETWEEN	BUR BUILT-UP ROOFING	BVL BEVEL(ED)	CB CATCH BASIN, CASING BEAD	CI CABINET	CAB CABINET	CEM CEMENT(TIOUS)	CER CERAMIC	CHNL CHANNEL	CL CLOSET, CENTER LINE, COLUMN LINE	CLG CEILING	CMU CONCRETE MASONRY UNIT(S)	CNTR COUNTER	COL COLUMN	COMP COMPRESS(ED), (ION)	CONC CONCRETE	CONST CONSTRUCTION	CONT CONTINUOUS	CONTR CONTRACTOR	COORD COORDINATE	CORR CORRIDOR, CORRUGATED	CPR COPPER	CPT CARPET(ED)	CRS COURSE(S)	CSMT CASIMENT	CTSCK COUNTERSINK	CTR CENTER	CW COLD WATER	D DEEP, DEPTH, DRYER	DBL DOUBLE	DEMO DEMOLISH, DEMOLITION	DEP DEPRESSED, DEPRESSION	DOUG. FIR, DRINKING FOUNTAIN	DH DOUBLE HUNG	DIA DIAMETER	DIAG DIAGONAL(LY)	DIM DIMENSION(S)	DISP DISPOSAL, DISPENSER	DL DEAD LOAD	DN DOWN	DR DOOR	DRAIN DRAIN	DTL DETAIL(S)	DUMP DUMPSTER	DW DISHWASHER	DWG DRAWING(S)	EA EACH	EL ELEVATION (HEIGHT)	ELEC ELECTRICAL	EL.PAN. ELECTRICAL PANEL	ELEV ELEVATION (FACADE)	ELIM ELIMINATE	EMER EMERGENCY	ENCL ENCLOSURE, ENCLOSURE	E.O. EDGE OF	EQ EQUAL	EQUIP EQUIPMENT	EXH EXHAUST	EXIST EXISTING	EXT EXTERIOR	F.E. FIRE EXTINGUISHER	F.O.C. FACE OF CONCRETE	F.O.F. FACE OF FINISH	F.O.M. FACE OF MASONRY	F.O.S. FACE OF STUD	F.O.T. FACE OF TREAD	FAST FASTENER	F.D. FLOOR DRAIN	FIN FINISHED	FIN FISHED FLOOR	F.F. FLASHING	FLR FLOOR	FLUOR FLUORESCENT	FRF FIREPROOF	FRM(G) FRAME(D), FRAMING	FT FOOT, FEET	FTG FOOTING	FUR FURRED, FURRING	G GAS	G.C. GENERAL CONTRACTOR	GI GALVANIZED IRON	GA GAUGE	GALV GALVANIZED	GB GRAB BAR(S)	GL GLASS, GLAZING	GRD GRADE	GSKT GASKET	GVL GRAVEL	GYSUM GYPSUM WALLBOARD	GYP GYPSUM	HT HIGH, HEIGHT	HB HOLLOW CORE	HC HEAVY DUTY	HDCP HANDICAPPED	HDR HEADER	HDRL HANDRAIL	HDWR HARDWARE	HM HOLLOW METAL	HP HEAT PUMP	HR HOUR	HVAC HEATING, VENTILATING & AIR CONDITIONING	HW HOT WATER	HWH HOT WATER HEATER	HYD HYDRANT	ID INSIDE DIAMETER	IN INCHES	INCL INCLUDE(D), INCLUDING	INSUL INSULATE(D), INSULATING	INT INTERIOR	INTERM INTERMEDIATE	INV INVERT	ISO ISOMETRIC	JST JOIST(S)	JT JOINT(S)	KIT KITCHEN	L LONG, LENGTH	LAM LAMINATE(D)	LAV LAVATORY	LBL LABEL	LF LINEAR FOOT	LH LEFT HAND	LL LIVE LOAD	LR LIVING ROOM	LT LIGHT	LTL LINTEL	LVR LOUVER	M.O. MASONRY OPENING	MAS MASONRY	MAX MAXIMUM	MBR MEMBER	M.C. MEDICINE CABINET	MECH(L) MECHANICALLY	MED MEDIUM, MEDICINE	MEMB MEMBRANE	MFR MANUFACTURER	MH MANHOLE	MIN MINIMUM	MIRR MIRROR	MLD MOLDING	MR MOISTURE RESISTANT	M.T.H. MARBLE THRESHOLD	MTL METAL	MUL MULLION	N NORTH	N.I.C. NOT IN CONTRACT	N.T.S. NOT TO SCALE	O.C. ON CENTER	OD OUTSIDE DIMENSION	O.F.O.S. OUTSIDE FACE OF STUDS	OH OVERHEAD	OPNG OPENING	PERIM PERIMETER	PKG PARKING	PL PLATE, PROPERTY LINE	PLAS PLASTER, PLASTIC	PLF POUNDS PER LINEAR FOOT	PLYWD PLYWOOD	PNL PANEL	PRCST PRECAST	PRF PREFABRICATED	PSF POUNDS PER SQUARE FOOT	PSI POUNDS PER SQUARE INCH	PT PAINT	PVMT PAVEMENT	QT QUARRY TILE	QTY QUANTITY	R RISER(S)	RA RETURN AIR	RAD RADIUS	RBT RABBET(ED)	RCP REINFORCED CONCRETE PIPE	RD ROOF DRAIN	REF REFERENCE	REFL REFLECTED	REFR REFRIGERATOR	REG REGISTER	REINF REINFORCED	REQ REQUIRED	RESIL RESILIENT	REV REVISED, REVISION	RFG ROOFING	RH RIGHT HAND	RL RAILING	RM ROOM	R.O. ROUGH OPENING	RWL RAIN WATER LEADER	SC SOLID CORE	SCHED SCHEDULE	SF SQUARE FEET	SFGL SAFETY GLASS	SHWR SHOWER	SHT SHEET(S)	SHTG SHEATHING	SIM SIMILAR	SLNT SEALANT	SPEC SPECIFICATION(S)	S.P. STAND PIPE	SQ SQUARE	SECT SECTION	SSTL STAINLESS STEEL	STD STANDARD	STL STEEL	STROR STORAGE	STRUCT STRUCTURAL	SUSP SUSPENDED	SW SWITCH	SYM SYMMETRICAL	T TREAD	TC TRASH COMPACTOR	T&G TONGUE & GROOVE	TB TOWEL BAR	TBD TO BE DETERMINED	T.O. TOP OF	T.O.C. TOP OF CURB	T.O.P. TOP OF PLATE	T.O.S. TOP OF STEEL	TEMP TEMPERED, TEMPORARY	THK THICK	TPD TOILET PAPER DISPENSER	THRES THRESHOLD	TRNSF TRANSFORMER	TYP TYPICAL	VB VAPOR BARRIER, VINYL BASE	VERT VERTICAL	VEST VESTIBULE	VNR VENEER	VP VENT PIPE	W WITH	W.W. WATER, WASHER	WD WIDTH	WC WATER CLOSET	WOOD WOOD	WT WOOD THRESHOLD	WH WATER HEATER	WP WATERPROOF
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KEY SYMBOLS

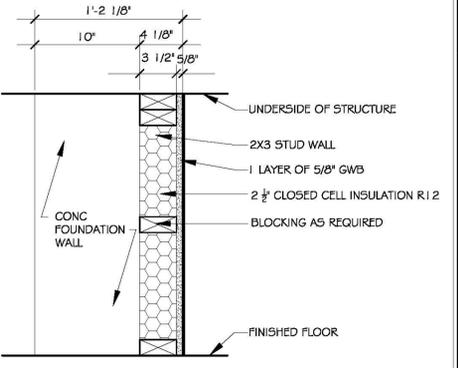


GENERAL NOTES:

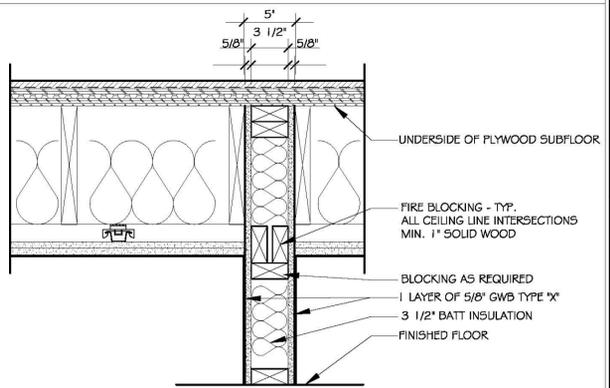
- ALL THE WORK IS SHOWN, DESCRIBED OR SPECIFIED IN THE DRAWINGS.
 - FIELD DIRECTIONS FROM OWNERS AGENTS OTHER THAN PQA ARCHITECTS TO THE GENERAL CONTRACTOR SHALL BE COPIED TO THE ARCHITECT. ANY DEVIATION FROM THESE PLANS INVOLVING ISSUES PERTAINING TO LIFE SAFETY, STATE BUILDING CODE, OR SOMERVILLE ZONING REGULATIONS SHALL REQUIRE THE APPROVAL OF THE ARCHITECT PRIOR TO IMPLEMENTATION.
 - PRIOR TO CONSTRUCTION A PRE-CONSTRUCTION MEETING SHALL BE CALLED BY THE CONTRACTOR AND HELD WITH THE OWNER, THE CONTRACTOR AND THE ARCHITECT.
- DIV. 1 - GENERAL REQUIREMENTS:**
- THE GENERAL CONTRACTOR SHALL BE LICENSED BY THE COMMONWEALTH OF MASSACHUSETTS.
 - PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE IN A COMPANY OR COMPANIES LICENSED TO DO BUSINESS IN THE COMMONWEALTH OF MASSACHUSETTS. LIABILITY INSURANCE SHALL INCLUDE ALL MAJOR DIVISIONS OF COVERAGE AND BE ON A COMPREHENSIVE BASIS INCLUDING:
 - PREMISES - OPERATIONS.
 - INDEPENDENT CONTRACTOR'S PROTECTIVE.
 - PRODUCTS AND COMPLETED OPERATIONS.
 - CONTRACTUAL.
 - OWNED, NOT OWNED, AND HIRED MOTOR VEHICLES.
 - BROAD-FORM COVERAGE FOR PROPERTY DAMAGE.
 - WORKMAN'S COMPENSATION.
 - ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, IBC 2009 WITH 8TH EDITION, AS AMENDED, AND ALL LOCAL CODES AND ORDINANCE, EXCEPT IN CASES WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED IN THESE DRAWINGS.
 - PROVIDE SUPERVISION AND EQUIPMENT, TOOL, AND APPLIANCE INSPECTION TO INSURE A SAFE WORKING ENVIRONMENT IN COMPLIANCE WITH O.S.H.A. REGULATIONS.
 - DO NOT SCALE DRAWINGS.
 - ALL NEW AND EXISTING DIMENSIONS AND ELEVATIONS TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION, CONTACT THE ARCHITECT IMMEDIATELY ABOUT ANY DISCREPANCIES THAT MAY ARISE. DO NOT PROCEED UNTIL FULL COORDINATION WITH ARCHITECT HAS BEEN DONE.
 - ALL WORK, MATERIAL AND LABOR SHOULD BE WARRANTED FOR THREE (3) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION. UNLESS OTHERWISE NOTICE IN SPECIFICATION.
 - PRIOR TO ANY EXCAVATION CONTACT DIGSAFE, 1-800-322-4644.
 - CONTRACTOR TO APPLY FOR AND ACQUIRE ALL PERMITS FROM THE CITY OF CAMBRIDGE.
 - ALL PRODUCTS, EQUIPMENT, AND WORK SHALL BE INSTALLED/APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN REQUIREMENT AND SPECIFICATIONS APPLICABLE TO THE CONSTRUCTION CONDITIONS. THERE SHALL BE NO DEVIATIONS MADE FROM THIS SPECIFICATION OR THE APPROVED SHOP DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE MANUFACTURER.
 - PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
 - DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND/OR SIMILAR DETAIL.
 - WORK WHICH IS OBVIOUSLY REQUIRED TO PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNERS VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATIONS HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
 - THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL ALIGN W/ AND MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN OFFS.
 - ALL INTERIOR DIMENSIONS ARE TO CENTER OF WALL. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
 - CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
 - CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, ACCESSORIES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
 - CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO, OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS OR THEIR WORK.
 - CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
 - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/ FINISHES FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/ SUBSTITUTION FROM CONTRACT DOCUMENTS.
 - CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT WITH OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTEES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY. COORDINATE WITH OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST: WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINERY. ALL FLOORS MUST BE MOPPED CLEAN.
 - CONTRACTOR TO PROVIDE 3 COPIES OF AS-BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.
 - CONTRACTOR TO SELECT AND INSTALL CARBON MONOXIDE DETECTORS/ALARMS IN ACCORDANCE W/ ALL APPLICABLE CODES.



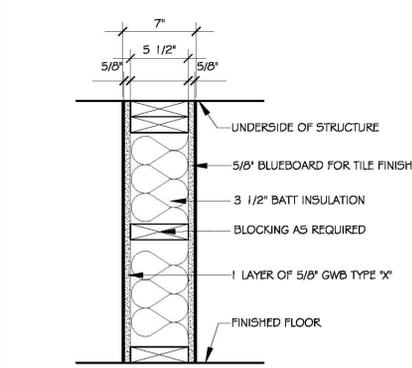
3 PARTITION TYPE 3
SCALE 1-1/2"=1'-0"



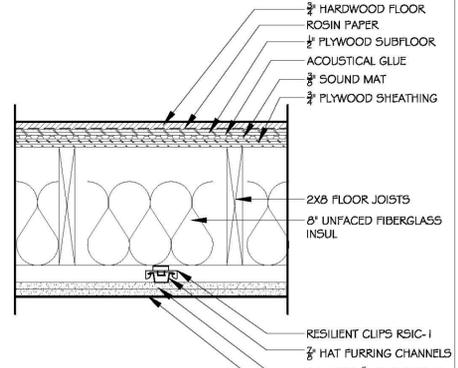
2 PARTITION TYPE 2
SCALE 1-1/2"=1'-0"



1 1 HR FIRE RATED PARTITION TYPE 1 (UL U305)
SCALE 1-1/2"=1'-0"



5 PARTITION TYPE 5
SCALE 1-1/2"=1'-0"



4 1HR. FLOOR/PARTITION TYPE 4 (UL514)
SCALE 1-1/2"=1'-0"

PARTITION NOTES

- ALL ASSEMBLIES SHALL BE CONSTRUCTED PER DESIGNATED UL TESTED ASSEMBLY.
- AT ALL FIRE RATED PARTITION ASSEMBLIES GYPSUM BOARD SHALL BE 5/8" TYPE-X.
- FOR ALL SOUND PARTITIONS USE ACOUSTICAL SEALANT AT TOP AND BOTTOM.
- USE FIRE RATED SEALANT SUCH AS HILTI CP 50G SERIES SEALANT AT RATED PARTITIONS. USE RATED ACOUSTICAL SEALANT AT RATED ACOUSTICAL PARTITIONS
- AT ALL TILED WALLS USE 5/8" CEMENT BOARD ("DUROCK" OR APPROVED EQUAL) IN LIEU OF 5/8" FIRE CODE GYPSUM WALL BOARD, MAINTAINING REQUIRED FIRE RATING.
- AT ALL TUB LOCATIONS ABUTTING A DEMISING OR FIRE SEPARATION WALL, EXTEND 5/8" FIRE CODE GYPSUM WALL BOARD OR 5/8" "DUROCK" TO FLOOR DECK BEHIND FIXTURE, BEFORE PLACING FIXTURE MAINTAIN FIRE RATED ASSEMBLY NOTED.
- PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT CABINETS AND TOILET ACCESSORIES. REFER TO SHADED AREAS ON BATHROOM ELEVATIONS FOR EXTENT OF BLOCKING. INCLUDING BLOCKING FOR FUTURE FIXTURES.
- AT BATHROOM USE MOISTURE RESISTANT GYPSUM BOARD.
- GWB LAYERS TO BE LAPPED AND JOINTED AS REQUIRED. TYPICAL LAP IS ONE STUD WIDTH. REFER TO THE SPECIFIED UL DESIGN FOR THE REQUIREMENTS OF EACH RATED CONSTRUCTION TYPE.

PETER QUINN ARCHITECTS
ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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PH 617-354-3989 FAX 617-868-0280



SEAL

CONSULTANT

PROJECT

RENOVATION OF THREE FAMILY BUILDING
189 CHARLES STREET,
CAMBRIDGE, MA

PREPARED FOR

KRE COMPANY, LLC.
22 McGRATH HWY
SUITE 206
Somerville, MA. 02143

DRAWING TITLE

**GEN. NOTES,
ABBREVIATIONS
KEY SYMBOLS
PARTITION
TYPES**

SCALE AS NOTED

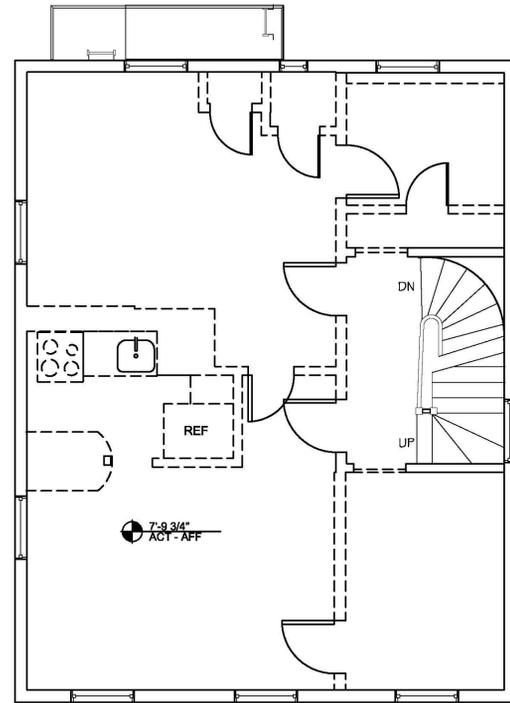
REVISION / ISSUE	DATE

PERMIT SET 02 JAN 2018

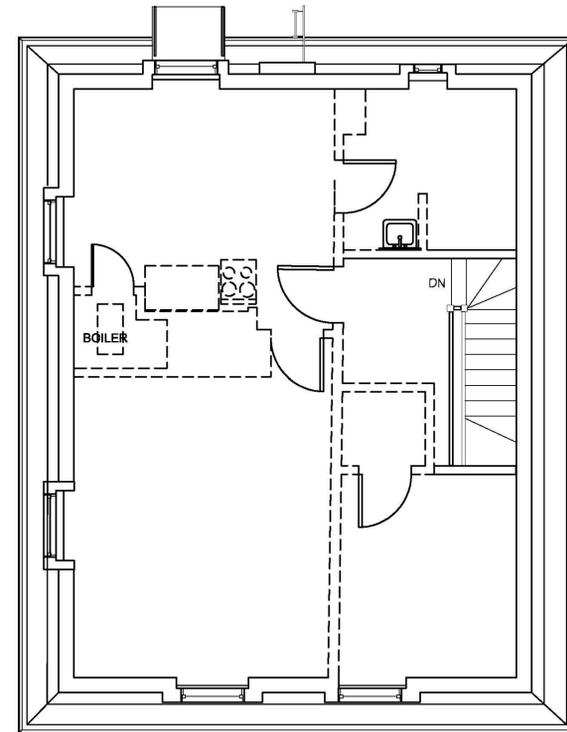
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SHEET

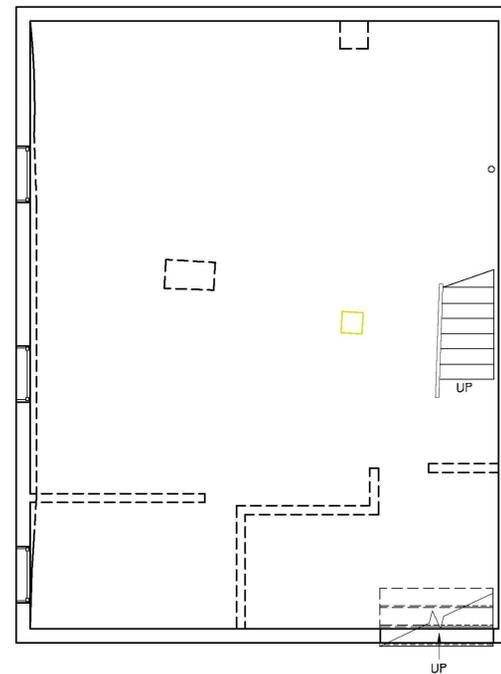
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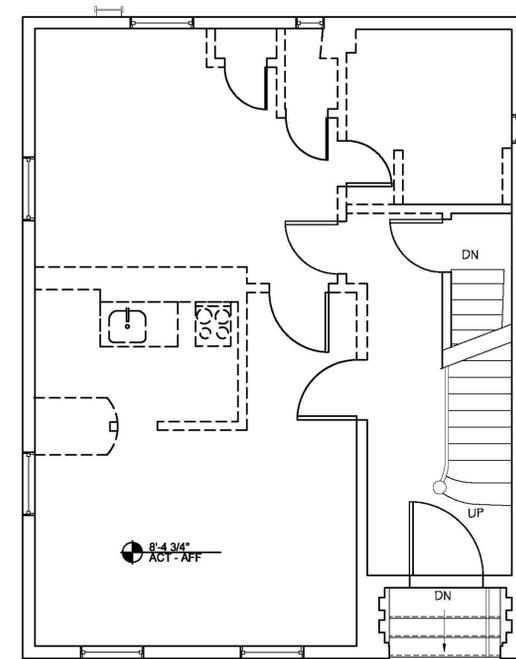
③ SECOND FLOOR PLAN
SCALE: SCALE: 1/4" = 1'-0"



④ ATTIC LEVEL
SCALE: SCALE: 1/4" = 1'-0"



① BASEMENT FLOOR PLAN
SCALE: SCALE: 1/4" = 1'-0"



② FIRST FLOOR PLAN
SCALE: SCALE: 1/4" = 1'-0"

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**RENOVATION OF
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189 CHARLES STREET,
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**DEMO
FLOOR PLANS**

SCALE AS NOTED

REVISION / ISSUE	DATE

PERMIT SET ## NOV 2017

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D1.0

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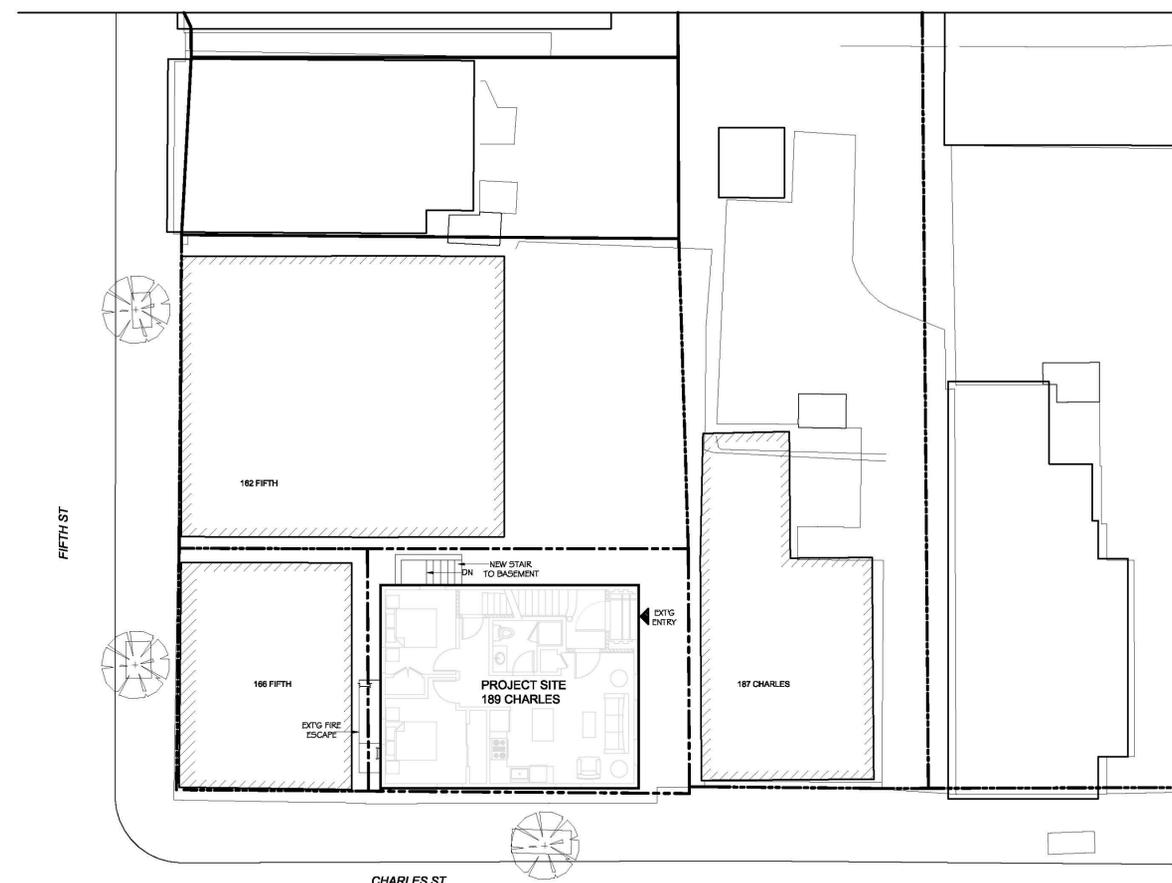
**ARCHITECTURAL
SITE PLAN**

SCALE AS NOTED

REVISION / ISSUE	DATE
PERMIT SET	02 JAN 2018
DRAWN BY ELM	REVIEWED BY PQ

SHEET

A-0.1



① SITE PLAN
SCALE: 1/16" = 1'-0"

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RENOVATION OF THREE FAMILY BUILDING

189 CHARLES STREET,
CAMBRIDGE, MA

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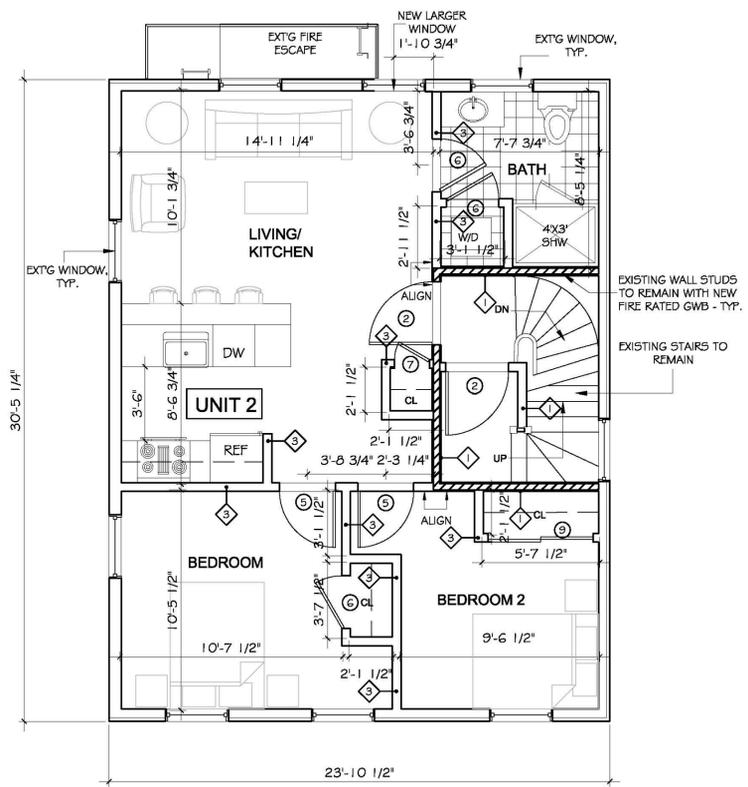
PROPOSED FLOOR PLANS

SCALE AS NOTED

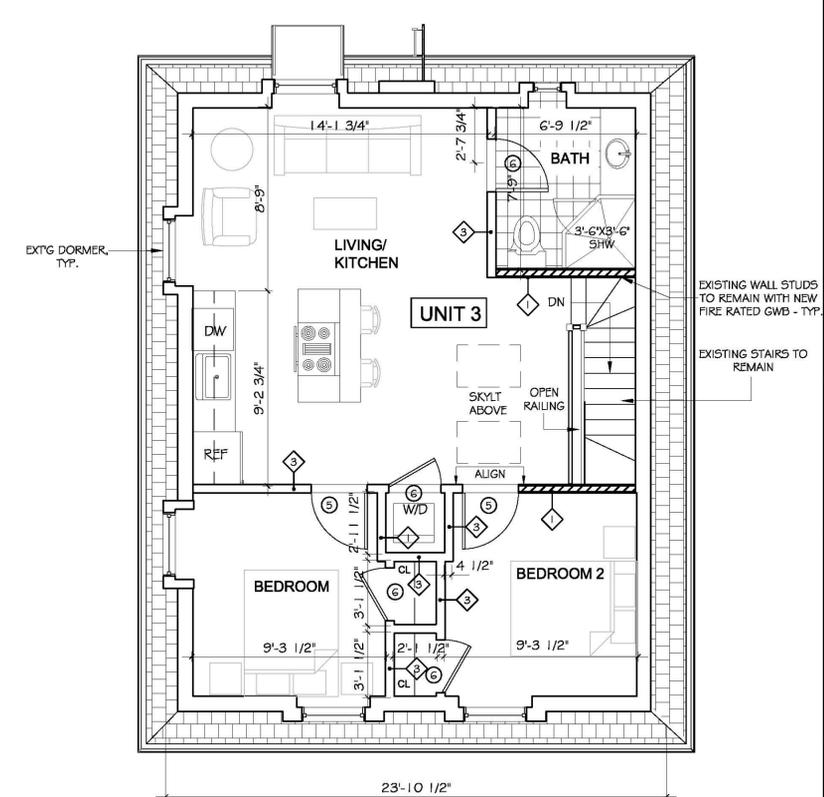
REVISION / ISSUE	DATE
PERMIT SET	## NOV 2017
DRAWN BY ELM	REVIEWED BY PQ

SHEET

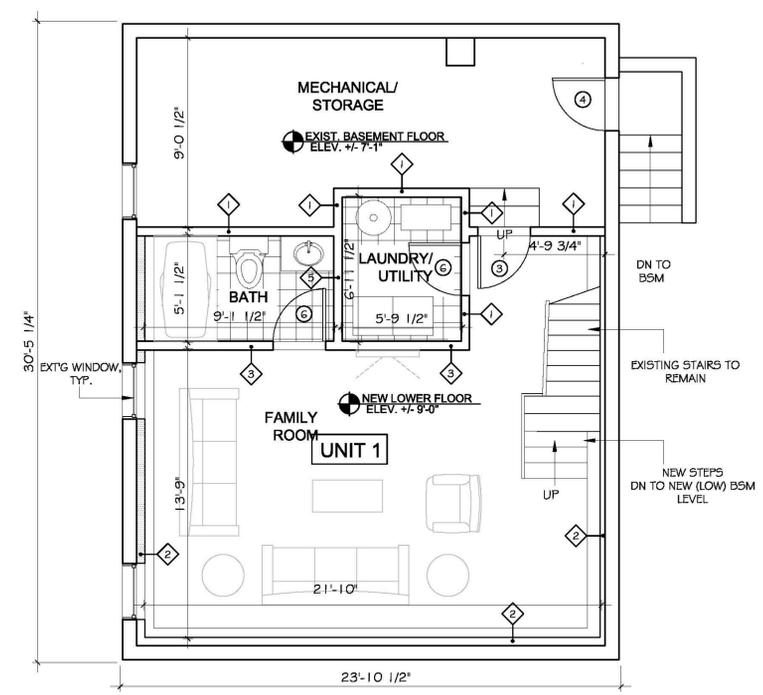
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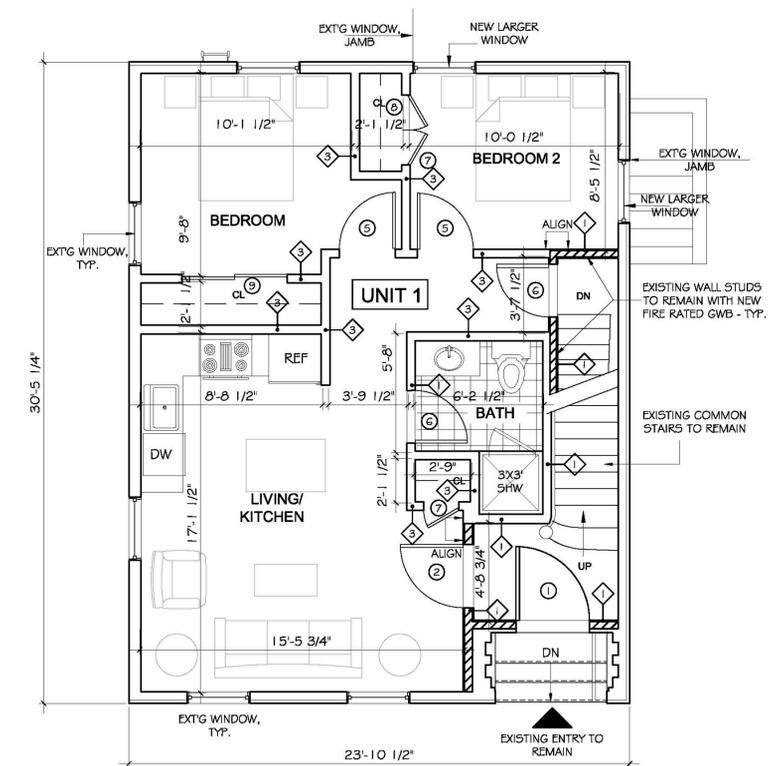
3 SECOND FLOOR PLAN
SCALE: SCALE: 1/4"=1'-0"



4 ATTIC LEVEL
SCALE: SCALE: 1/4"=1'-0"



1 BASEMENT FLOOR PLAN
SCALE: SCALE: 1/4"=1'-0"



2 FIRST FLOOR PLAN
SCALE: SCALE: 1/4"=1'-0"

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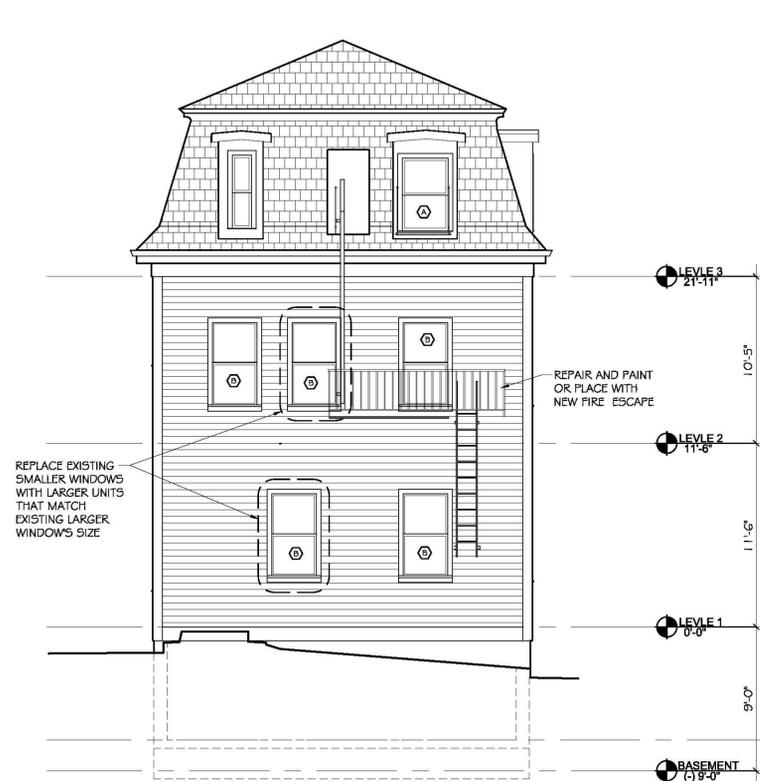
ELEVATIONS

SCALE AS NOTED

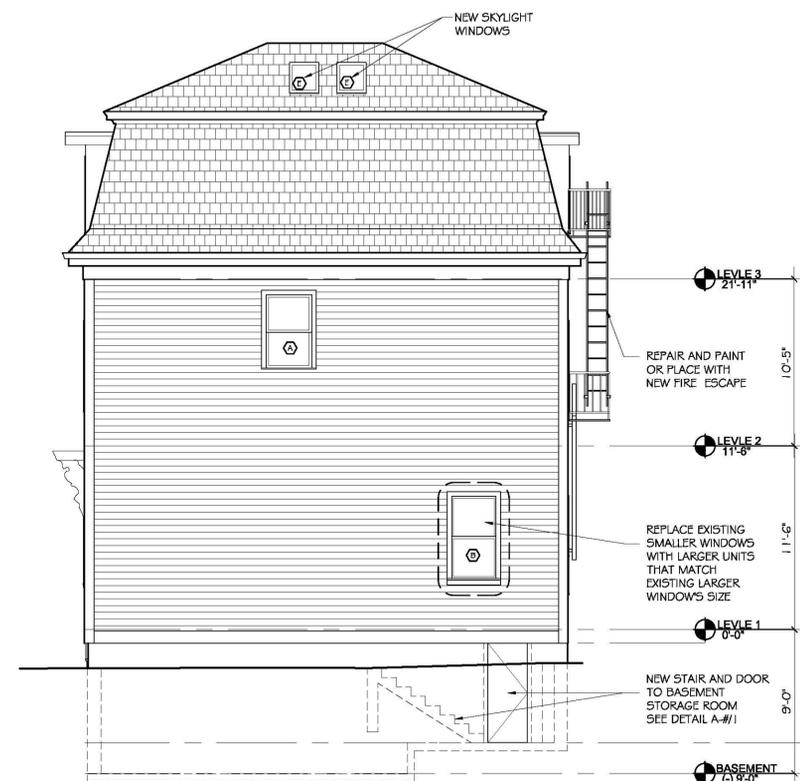
REVISION / ISSUE	DATE
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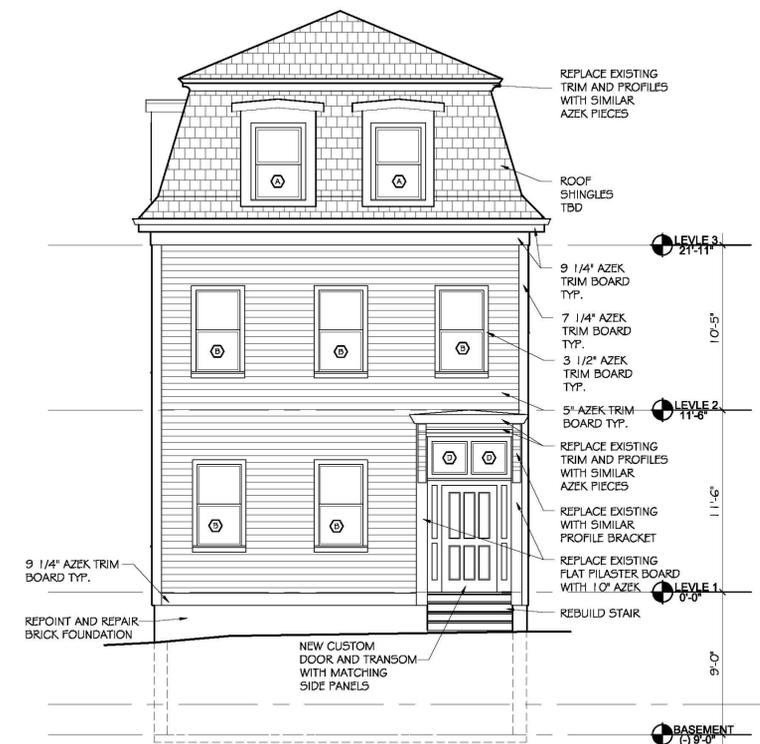
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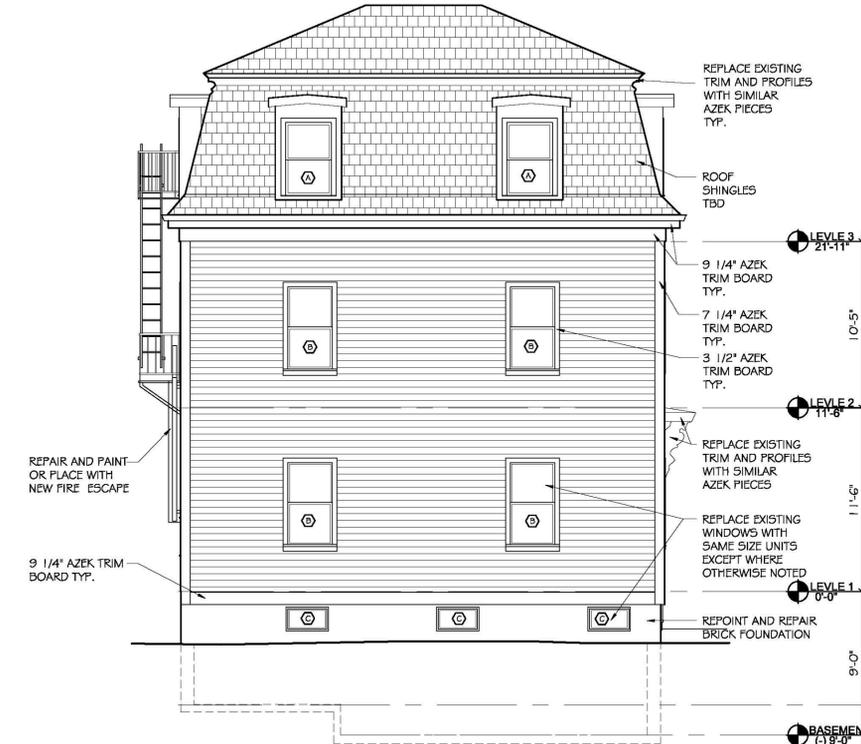
4 SIDE ELEVATION - WEST
SCALE: 3/16"



3 REAR ELEVATION - NORTH
SCALE: 3/16"



2 ACCESSWAY ELEVATION - EAST
SCALE: 3/16"



1 CHARLES STREET ELEVATION - SOUTH
SCALE: 3/16"

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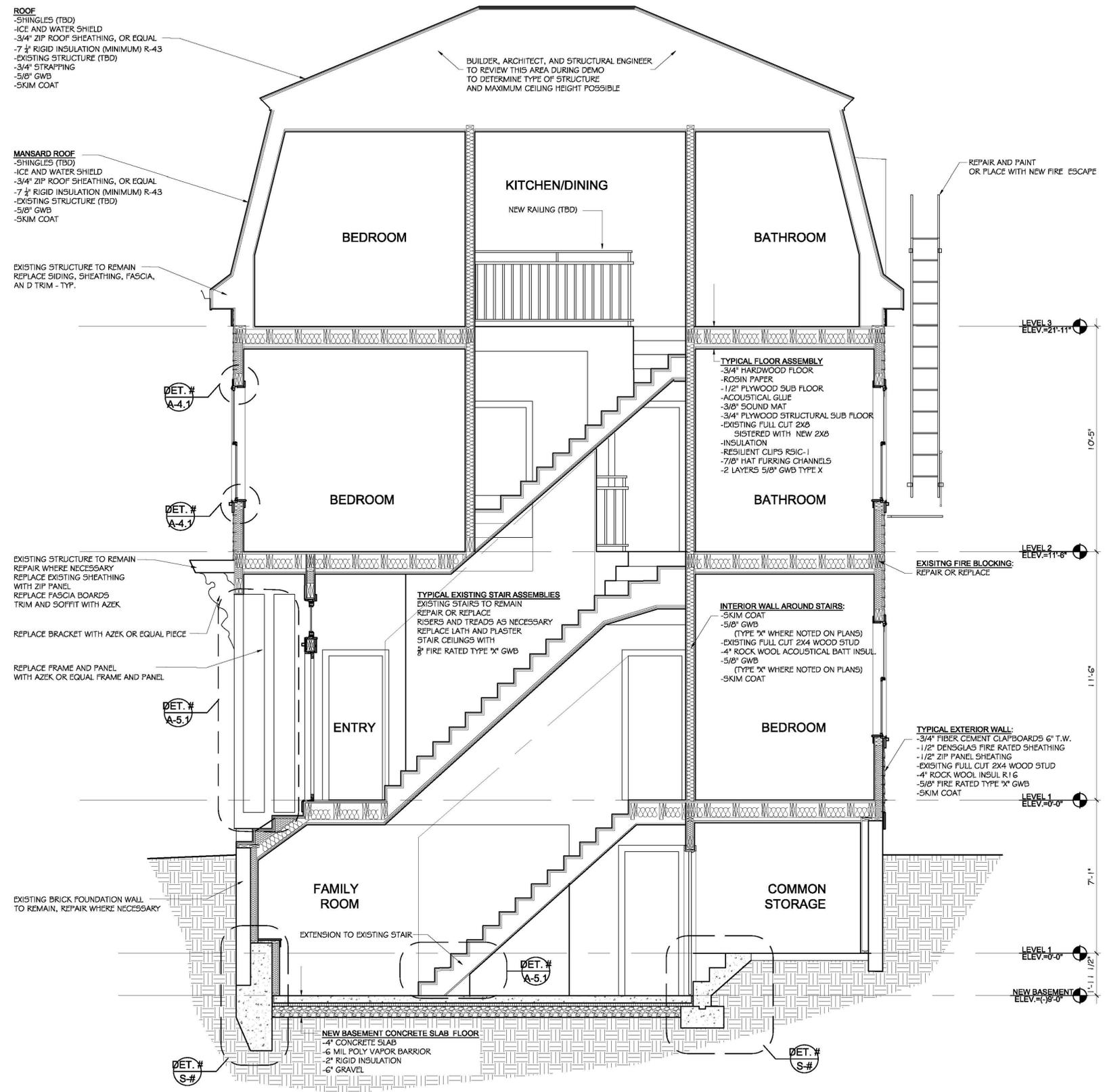
**BUILDING
SECTION**

SCALE AS NOTED

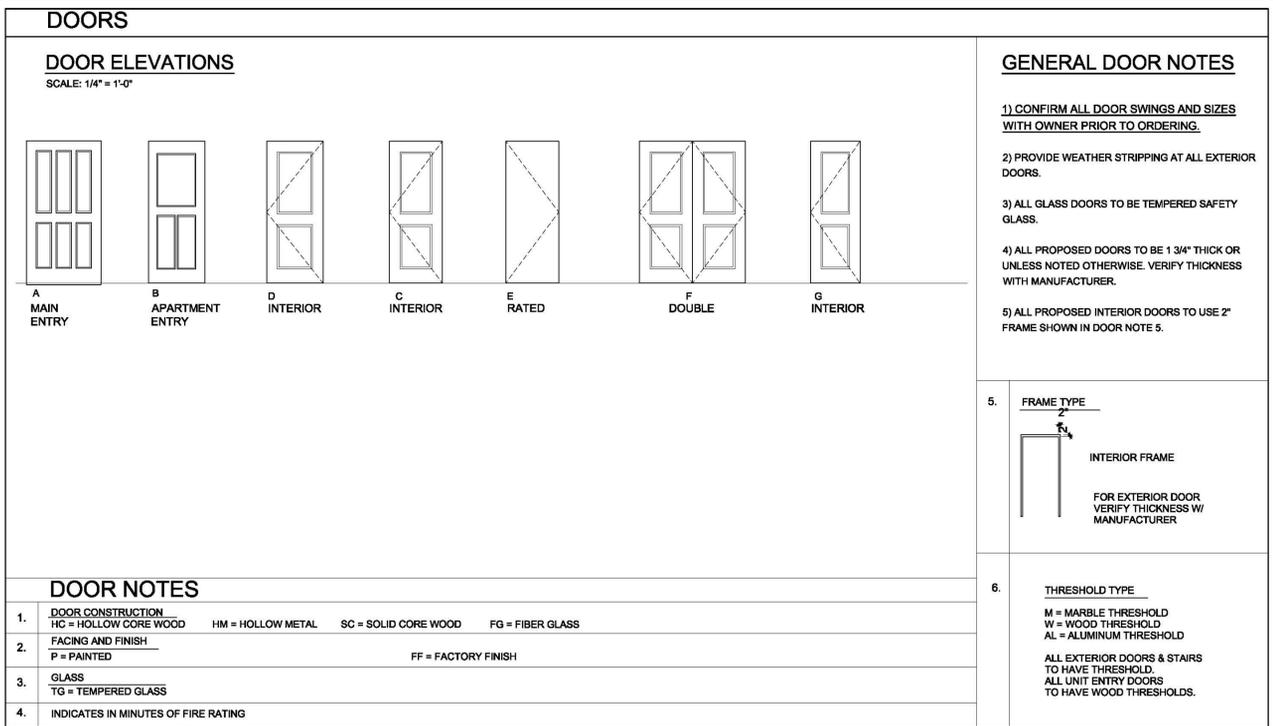
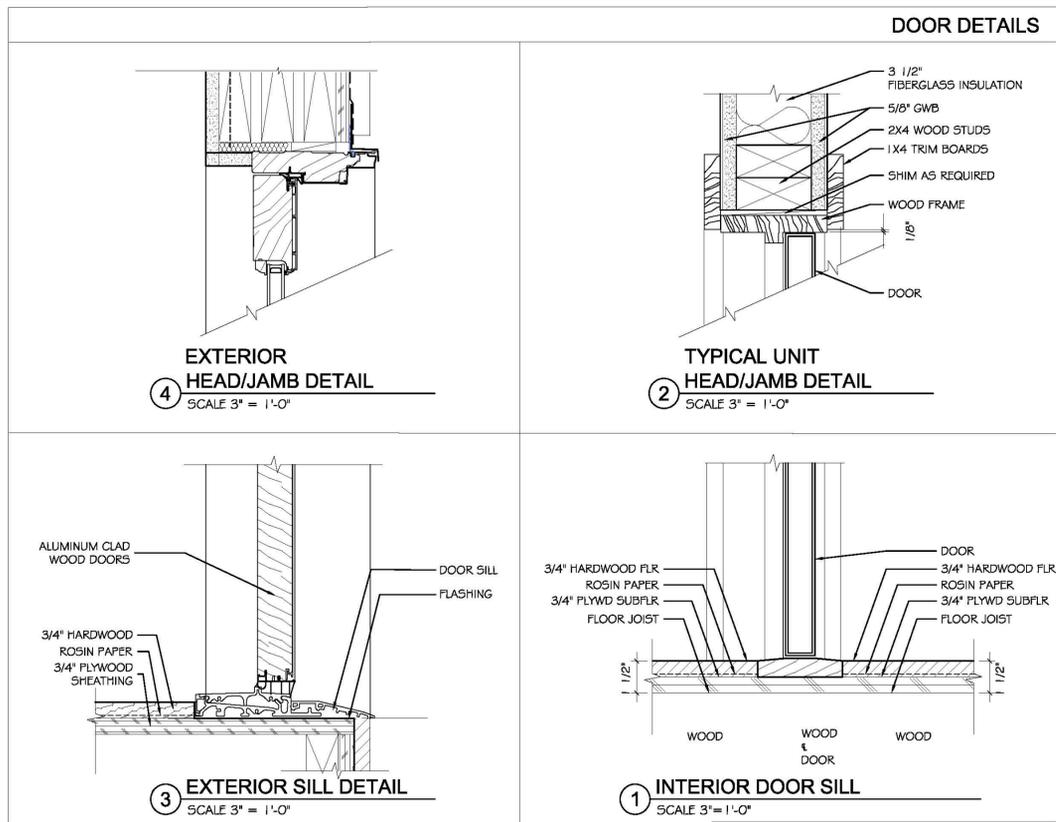
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1 BUILDING SECTION
SCALE: 3/8" = 1'-0"

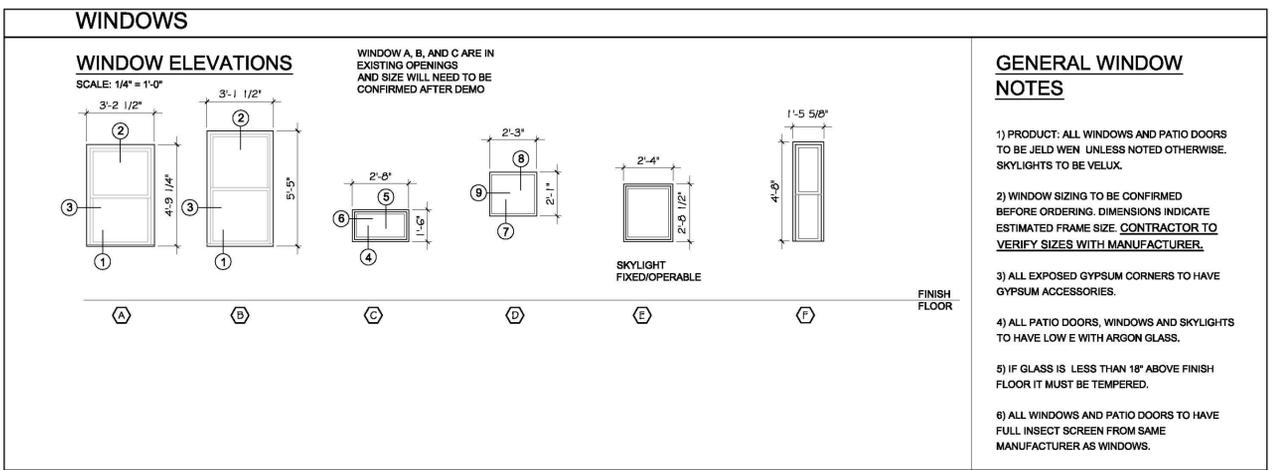
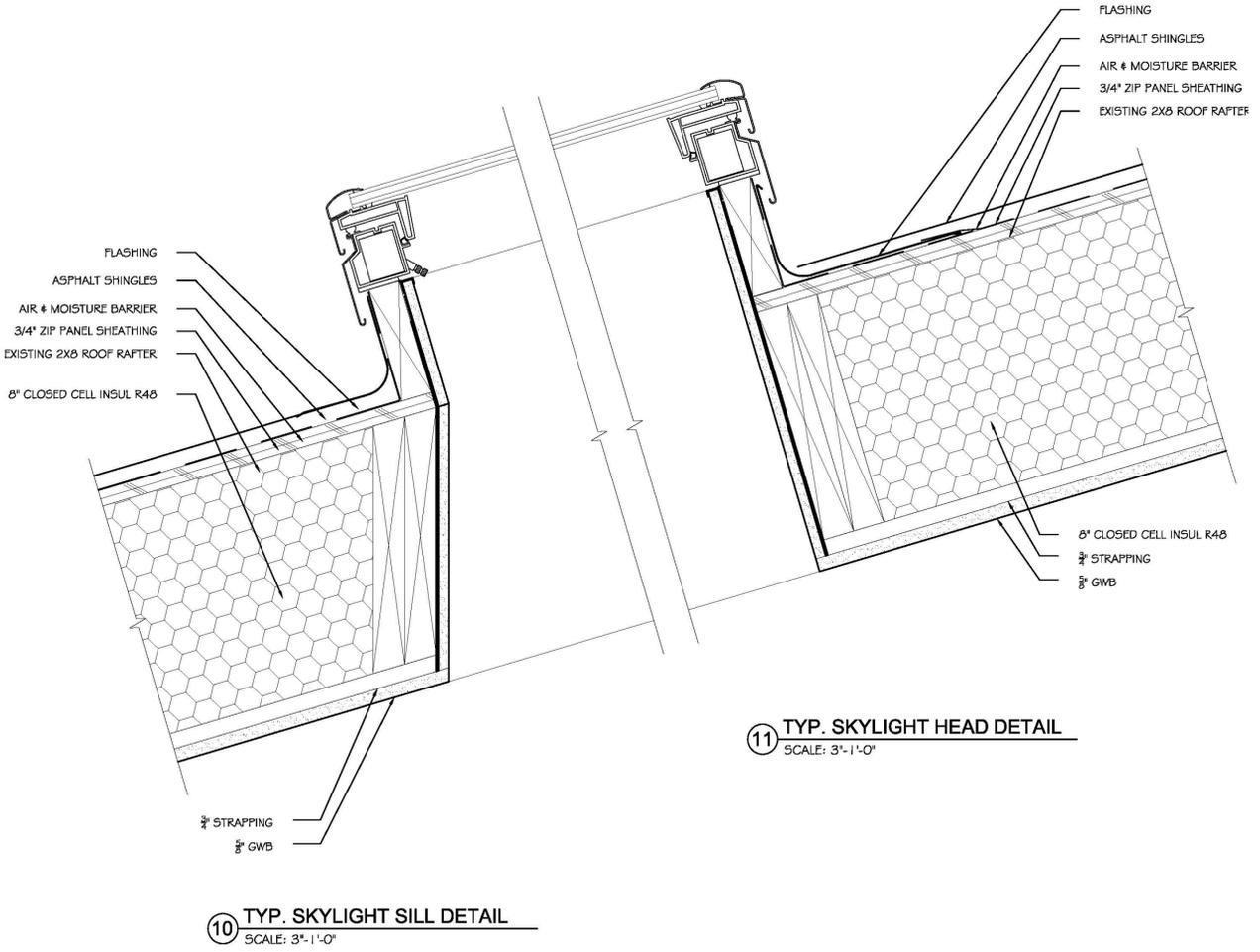


GENERAL DOOR NOTES

- CONFIRM ALL DOOR SWINGS AND SIZES WITH OWNER PRIOR TO ORDERING.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS.
- ALL GLASS DOORS TO BE TEMPERED SAFETY GLASS.
- ALL PROPOSED DOORS TO BE 1 3/4" THICK OR UNLESS NOTED OTHERWISE. VERIFY THICKNESS WITH MANUFACTURER.
- ALL PROPOSED INTERIOR DOORS TO USE 2" FRAME SHOWN IN DOOR NOTE 5.

5. FRAME TYPE
INTERIOR FRAME
FOR EXTERIOR DOOR VERIFY THICKNESS W/ MANUFACTURER

6. THRESHOLD TYPE
M = MARBLE THRESHOLD
W = WOOD THRESHOLD
AL = ALUMINUM THRESHOLD
ALL EXTERIOR DOORS & STAIRS TO HAVE THRESHOLD.
ALL UNIT ENTRY DOORS TO HAVE WOOD THRESHOLDS.



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189 CHARLES STREET,
CAMBRIDGE, MA

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KRE COMPANY, LLC.
22 McGRATH HWY
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Somerville, MA. 02143

DRAWING TITLE

WINDOW & DOOR SCHEDULE & DETAILS

SCALE AS NOTED

REVISION / ISSUE	DATE

PERMIT SET 02 JAN 2018

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A4.1

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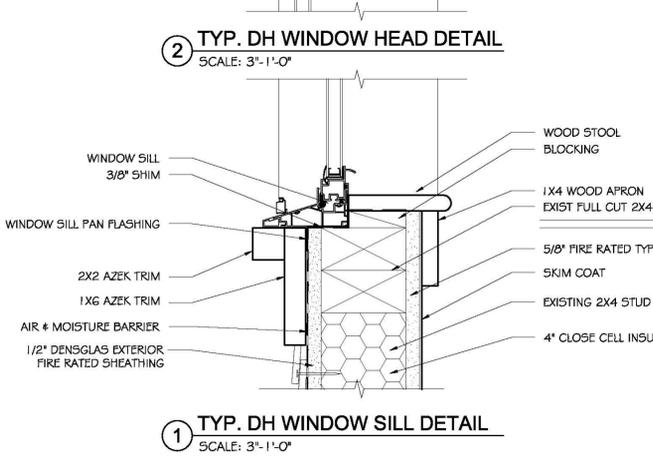
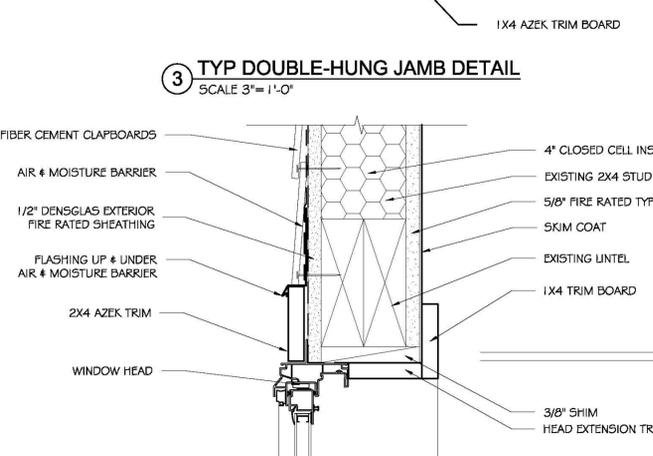
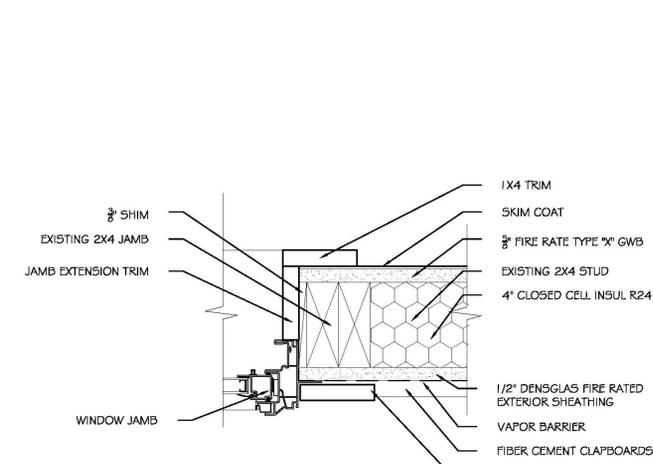
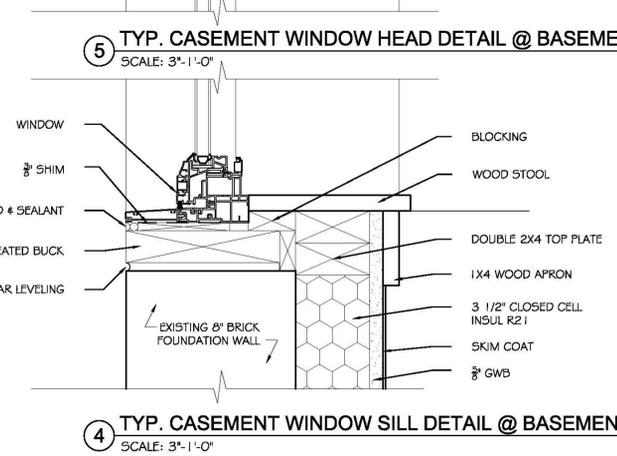
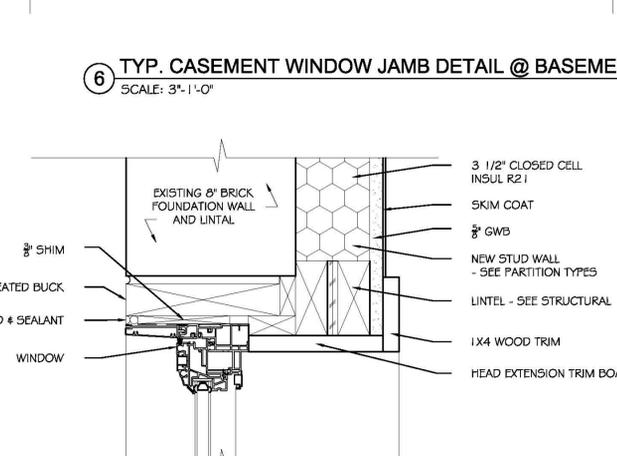
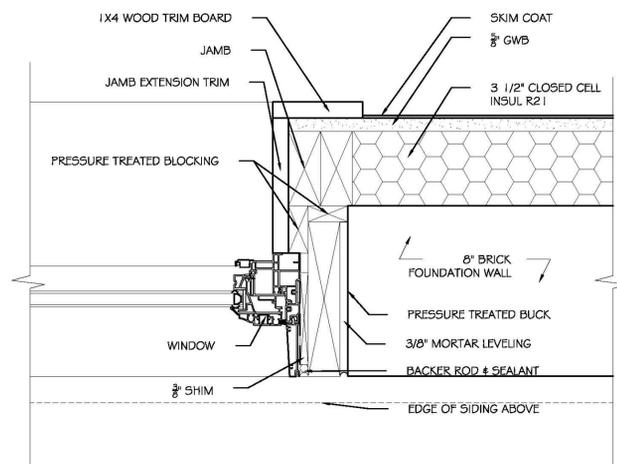
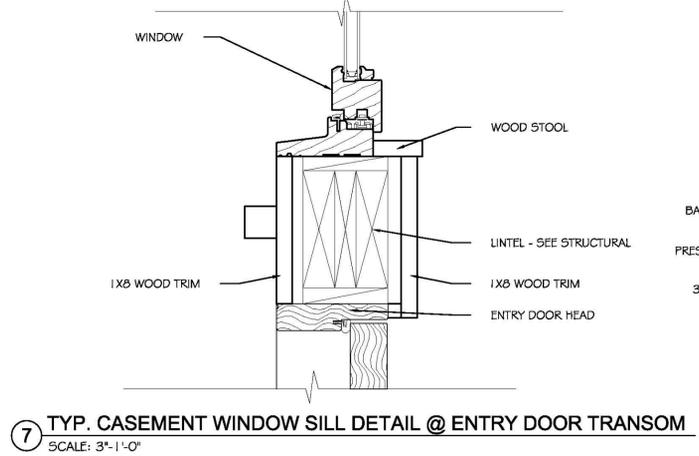
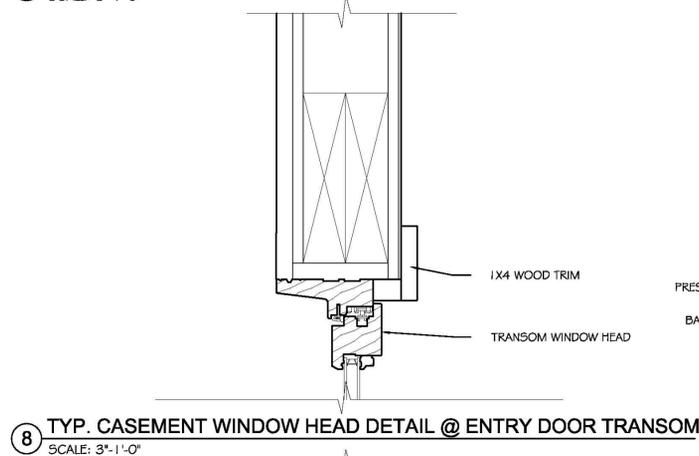
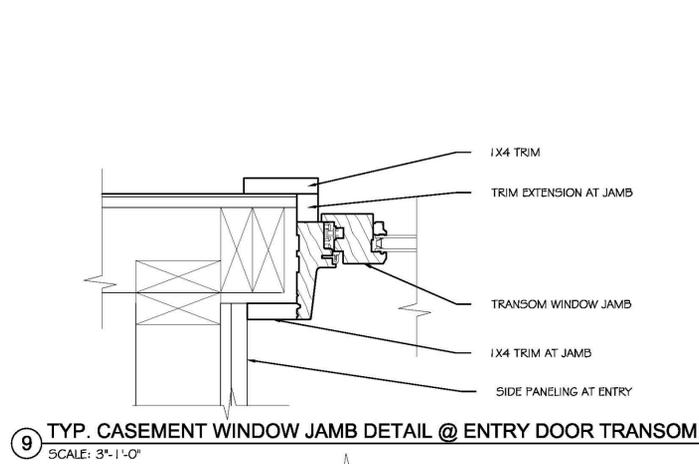
DRAWING TITLE

WINDOW DETAILS

SCALE AS NOTED

REVISION / ISSUE	DATE
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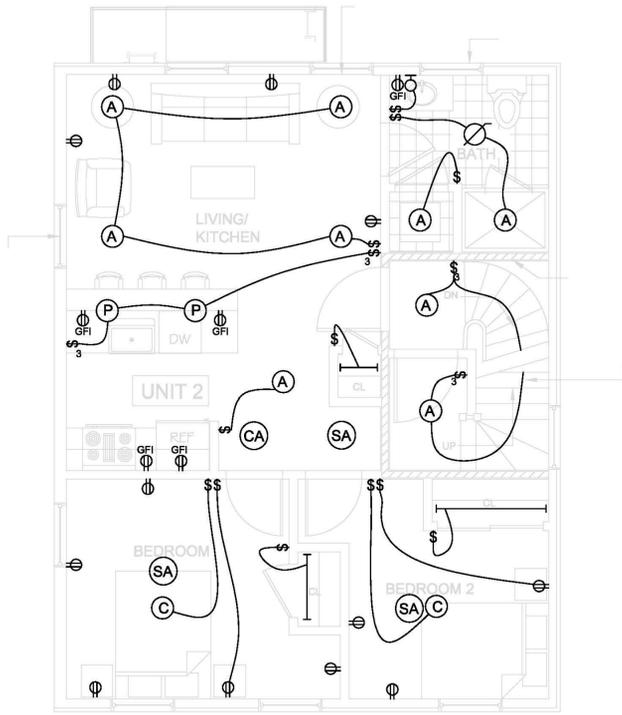
ELECTRICAL PLANS

SCALE AS NOTED

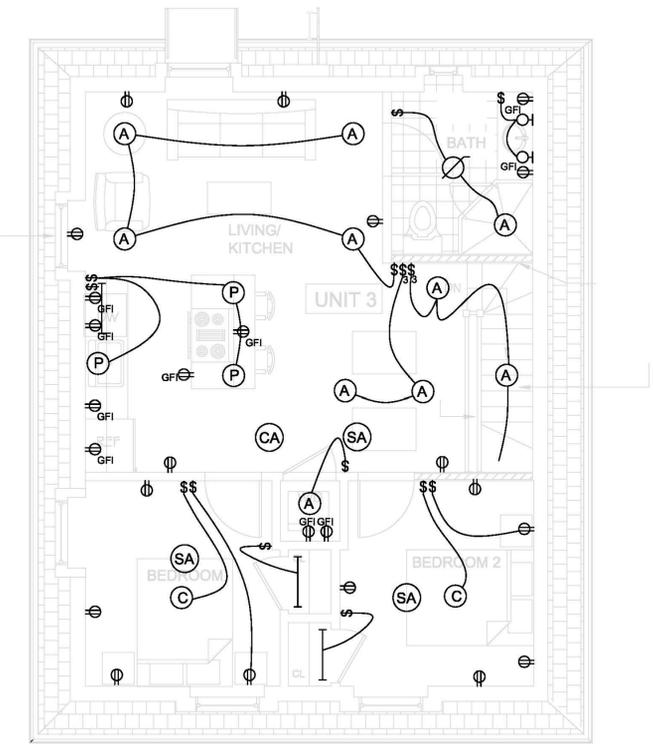
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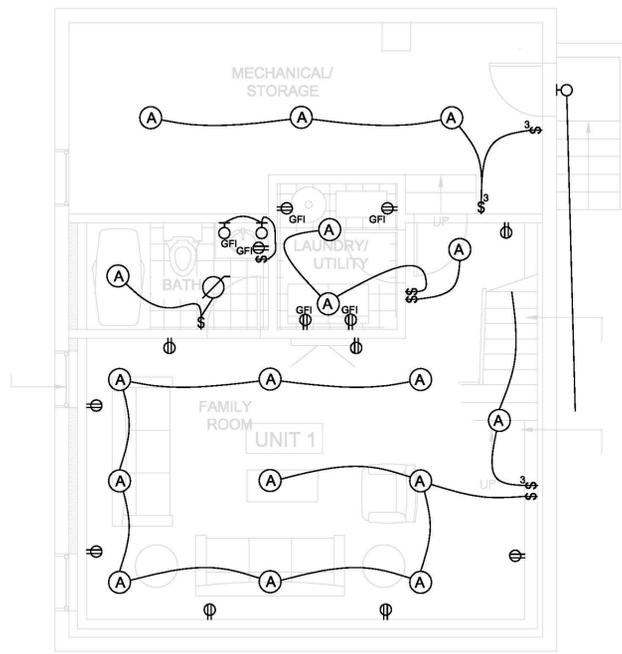
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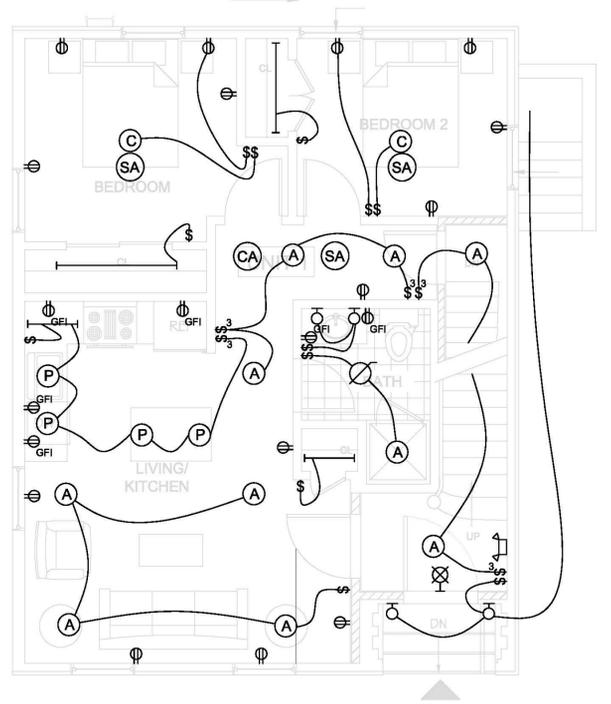
3 SECOND FLOOR PLAN
SCALE: SCALE: 1/4"=1'-0"



4 ATTIC LEVEL
SCALE: SCALE: 1/4"=1'-0"



1 BASEMENT FLOOR PLAN
SCALE: SCALE: 1/4"=1'-0"



2 FIRST FLOOR PLAN
SCALE: SCALE: 1/4"=1'-0"

LIGHT FIXTURE TYPES

- (A) RECESSED
- (B) RECESSED SPOT
- (C) CEILING MOUNTED
- (P) PENDENT
- (J) JUNCTION BOX

ELECTRICAL LEGEND

- ⊗ FAN W/ LIGHT
- Ⓢ SWITCH
- Ⓢ³ 3 WNY SWITCH
- D DIMMER
- ⊕ DUPLEX
- ⊕ 240
- ⊕_{WP} WATERPROOF
- ⊕_{GFI} GROUND FAULT
- ⊕_W WALL MOUNTED
- ⊕_F FLORECENT FIXTURE
- ⊕_{ES} WALL MOUNTED EXIT SIGN FIXTURE
- ⊕_S WALL MOUNTED STROBE
- ⊕_{WS} WALL MOUNTED STROBE

PROVIDE CONSTANT FEED TO BUILT-IN EMERGENCY BATTERY AS REQUIRED

DETECTOR AND ALARM LEGEND

- (HD) HEAT DETECTOR
- (SA) SMOKE ALARM
- (CA) CARBON MONOXIDE ALARM

SEE ELECTRICAL DRAWINGS FOR FULL LIST



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 189 Charles Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structures is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
No demolition permit anticipated.
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date May 10, 2018

Received by Uploaded to Energov

Date May 10, 2018

Relationship to project BZA 16276-2018

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>

189 Charles St.

Petitioner

26-76
PIRES, MARIA ,
TR. OF MP REALTY TRUST
135 AMORY ST.
CAMBRIDGE, MA 02139

26-92
179-181 CHARLES LLC.
ATT: AMY WILSON
105 MT. VERNON ST
BOSTON, MA 02108

SEAN D. HOPE, ESQ.
675 MASS AVENUE
CAMBRIDGE, MA 02139

26-95
HELENEK, KRIS A. & HENRY B. KASDON
160 FIFTH ST
CAMBRIDGE, MA 02141

26-96
GARVIN, CRAIG & PATRICIA A. ZERHUSEN
156 FIFTH ST
CAMBRIDGE, MA 02141

26-167
ANNACONE, ANGELO L. &
MARION J. ANNACONE
2 HENRY ST
MEDFORD, MA 02155

26-168
ORANDA, PETER O.
166 FIFTH ST
CAMBRIDGE, MA 02141

26-169
PFORTE, WILLIAM F., JR. &
KIMBERLY T. PFORTE
189 CHARLES ST.
CAMBRIDGE, MA 02141

27-69
KAGNO, N. IRA, SAMUEL GONDELMAN TRUSTEE
& CITY OF CAMBRIDGE TAX TITLE
188 CHARLES ST
CAMBRIDGE, MA 02141

26-93
RODGERS, MARTHA P.
187 CHARLES ST
CAMBRIDGE, MA 02141

BZA-016276-2018 189 Charles Street







