

BZA APPLICATION FORM
GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: Michael Kim, Architect on behalf of Myung-Hee Vabulas

PETITIONER'S ADDRESS: 65 Griswold Street, Cambridge MA 02138

LOCATION OF PROPERTY: 65 Griswold Street, Cambridge MA 02138

TYPE OF OCCUPANCY: Residential 2-Family ZONING DISTRICT: Residence B

REASON FOR PETITION:

- | | |
|--|---------------------|
| _____ Additions | _____ New Structure |
| _____ Change in Use/Occupancy | _____ Parking |
| _____ Conversion to Addi'l Dwelling Unit's | _____ Sign |
| <u>X</u> Dormer | _____ Subdivision |
| _____ Other: _____ | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

Variance - to build a dormer into the roof of an existing-non conforming structure

SECTIONS OF ZONING ORDINANCE CITED:

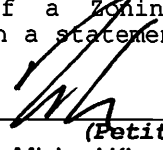
Article 5.000 Section 5.31 - Table of Dimensional Requirements

Article _____ Section _____

Article _____ Section _____

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):



(Petitioner(s)/Owner)
Michael Kim
(Print Name)

Address: Michael Kim Associates
1 Holden Street #3, Brookline MA 02445

Tel. No.: 617 739 6925

E-Mail Address: mkim@mkimarchtiecture.com

Date: 23 April 2018

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to
The Secretary of the Board of Zoning Appeals.

I/We Myung-Hee Vabulas and Shinichiro Fuse
(OWNER)

Address: 63-65 Griswold St, Cambridge, Massachusetts

State that I/We own the property located at 63-65 Griswold St, Cambridge, MA
which is the subject of this zoning application.

The record title of this property is in the name of Myung-Hee
Vabulas and Shinichiro Fuse

*Pursuant to a deed of duly recorded in the date 06/22/2016 Middlesex South
County Registry of Deeds at Book _____, Page _____; or
Middlesex Registry District of Land Court, Certificate No. 262473
Book 01491 Page 118.

[Signature]

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

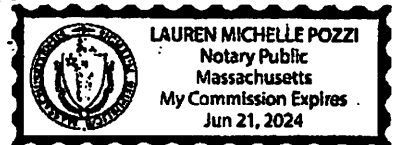
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Shinichiro Fuse Myunghee Vabulas personally appeared before me,
this 8 of April, 2018, and made oath that the above statement is true.

[Signature] Notary

My commission expires June 21, 2024 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
The owners of the property are planning a substantial renovation to accommodate their growing family. A proposed dormer addition will allow light and headroom into a new loft playroom at what is currently the attic level of their existing house. The existing house extends approx. 1'-6" into the side yard setback. The dormer will extend to the existing sidewall, with the existing roof overhang preserved to break up the mass of the sidewall. The dormer will also add 177 sf to the gross floor area, however the literal enforcement of the "courtyard" provision in the definition of gross floor area will not allow the subtraction of 354 sf of attic floor space above 5' high that is being proposed.

N.B.: The status of the building as existing non-conforming in F.A.R. disqualifies it from consideration of 8.22.1/h

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:
The existing house was built in 1945 within the confines of the existing lot in a configuration and size which became non-conforming with the side-yard setback and F.A.R. requirements of the zoning ordinance. The proposed dormer will not extend beyond the side wall below. Dormers of similar scale are found in the zoning district. All other use, parking, etc. provisions are unaffected.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

The addition is modest in scale and would not increase the density of use on the site.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The addition does not extend beyond the footprint of the existing non-conforming house. It conforms to the recommendations of the 1996 "Design Guidelines for Roof Dormers" (subject to BZA approval) and would allow a resident Cambridge family to better enjoy their home.

- *** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM**DIMENSIONAL INFORMATION**

APPLICANT: Michael Kim, Architect / Myung-Hee Vabulas **PRESENT USE/OCCUPANCY:** 2 Family Residence

LOCATION: 65 Griswold St. Cambridge MA 02445 **ZONE:** Residence B

PHONE: 617 739-6925 **REQUESTED USE/OCCUPANCY:** 2 Family Residence

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>		2,735 SF	2,912 SF (2,866 alt. scheme)	1,768 SF (max.)
<u>LOT AREA:</u>		3,537 SF	3,537 SF	2,500 SF (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>		0.77	0.82 (0.81 alt.)	0.50 (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		n/a	n/a	n/a (min.)
<u>SIZE OF LOT:</u>	WIDTH	40'	40'	n/a (min.)
	DEPTH	94'	94'	n/a
<u>Setbacks in Feet:</u>	FRONT	13'-7"	13'-7"	15' (min.)
	REAR	19'-8"	19'-8"	25' (min.)
	LEFT SIDE	5'-3"	5'-3"	7'-6" (min.)
	RIGHT SIDE	6'	6'	7'-6" (min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	25'-11"	25'-11"	35' (max.)
	LENGTH	44'-8"	44'-8"	n/a
	WIDTH	25'-4"	25'-4"	n/a
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>		n/a	n/a	n/a (min.)
<u>NO. OF DWELLING UNITS:</u>		2	2	2 (max.)
<u>NO. OF PARKING SPACES:</u>		2	2	2 (min./max)
<u>NO. OF LOADING AREAS:</u>		n/a	n/a	n/a (min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		n/a	n/a	n/a (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

There are no other buildings on the lot. There appear to be four other stacked 6/6 two-family homes on the same side of Griswold St. The immediate neighbor has a 4 dormers of comparable scale to the proposed design that were added to the attic level of the structure. The proposed dormer is of wood-frame construction.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM
GENERAL INFORMATION

2018 APR 24 PM 2:06
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

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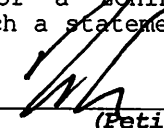
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Tel. No.:

617 739 6925

E-Mail Address:

mkim@mkimarchtitecture.com

Date: 23 April 2018



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 65 Griswold Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- ☐ Old Cambridge Historic District
- ☐ Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- ☐ Avon Hill Neighborhood Conservation District
- ☐ Half Crown – Marsh Neighborhood Conservation District
- ☐ Harvard Square Conservation District
- ☐ Mid Cambridge Neighborhood Conservation District
- ☐ Designated Landmark
- ☐ Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- ☐ Preservation Restriction or Easement (as recorded)
- ☒ Structures is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
No demolition proposed. No CHC review.
- ☐ No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- ☐ No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date April 26, 2018

Received by Uploaded to Energov

Date April 26, 2018

Relationship to project BZA 16152-2018

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

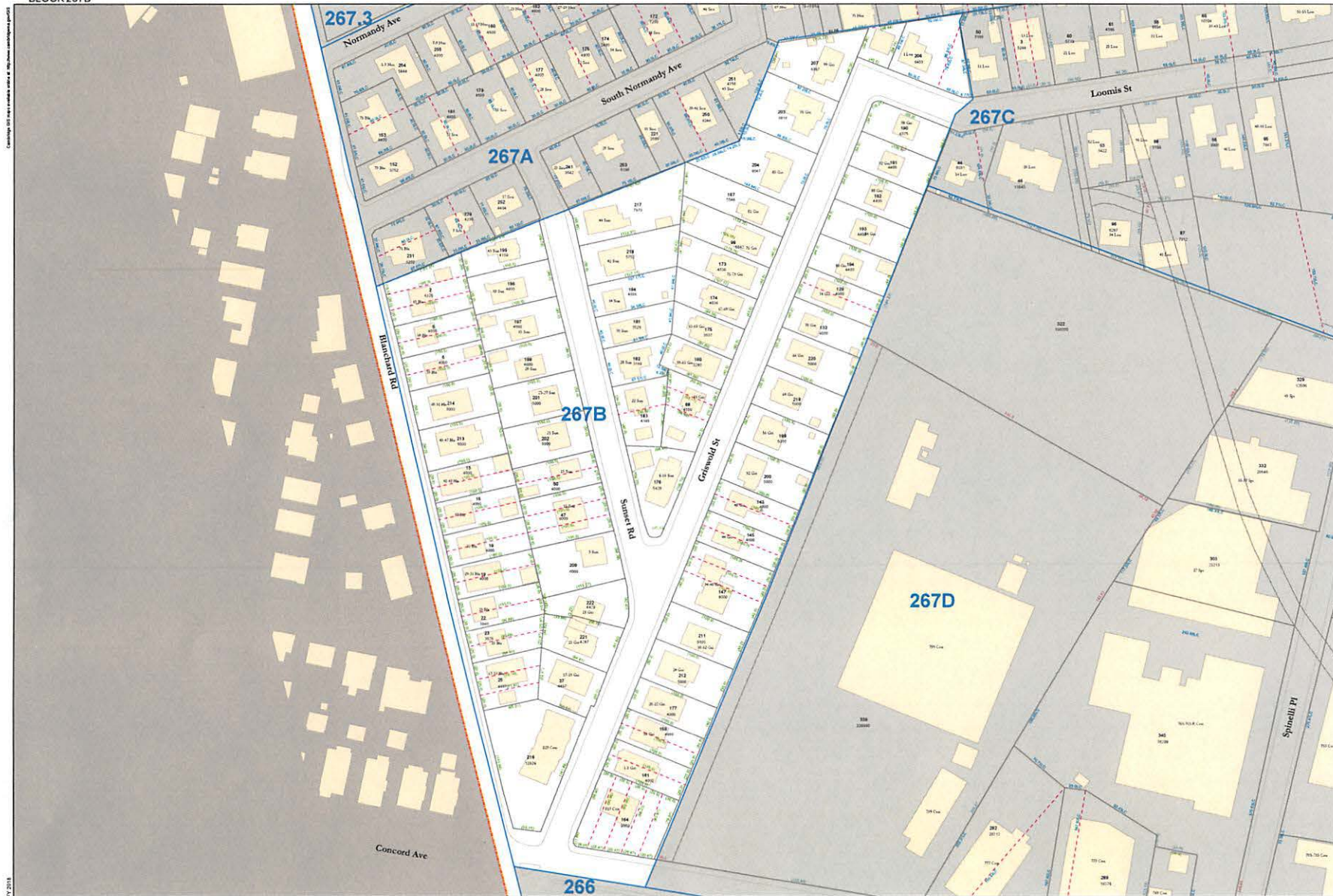
Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>

BLOCK 267B



City of Cambridge
Assessing Department

795 Massachusetts Ave.
Cambridge, MA 02139

- | | |
|---------------|-----------------|
| Buildings | Water |
| Lot Line | Sub-Parcel Line |
| Block Line | Easement |
| City Boundary | Railway |

10 Lot Number	100 Parcel size in Sq. Ft.
267B Block Number	44.0LC Land Court Dimension
10 Cam Street Number	65.0 Survey Dimensions
(125.0) Deed Dimension	

DISCLAIMER:
All Parcel Property shown on this map was compiled from Assessor's Tax Maps dated 4/1/2018 and maintained by the City necessary to the City and the Department of Public Works. Subsequent maintenance has been completed using the City of Cambridge Geographic Information System (GIS). The map has not been verified from survey, and map is suitable for assessment purposes only.
The City of Cambridge assumes no legal responsibility for information shown on this map.



0 20 40 80 Feet
1 inch = 47 feet

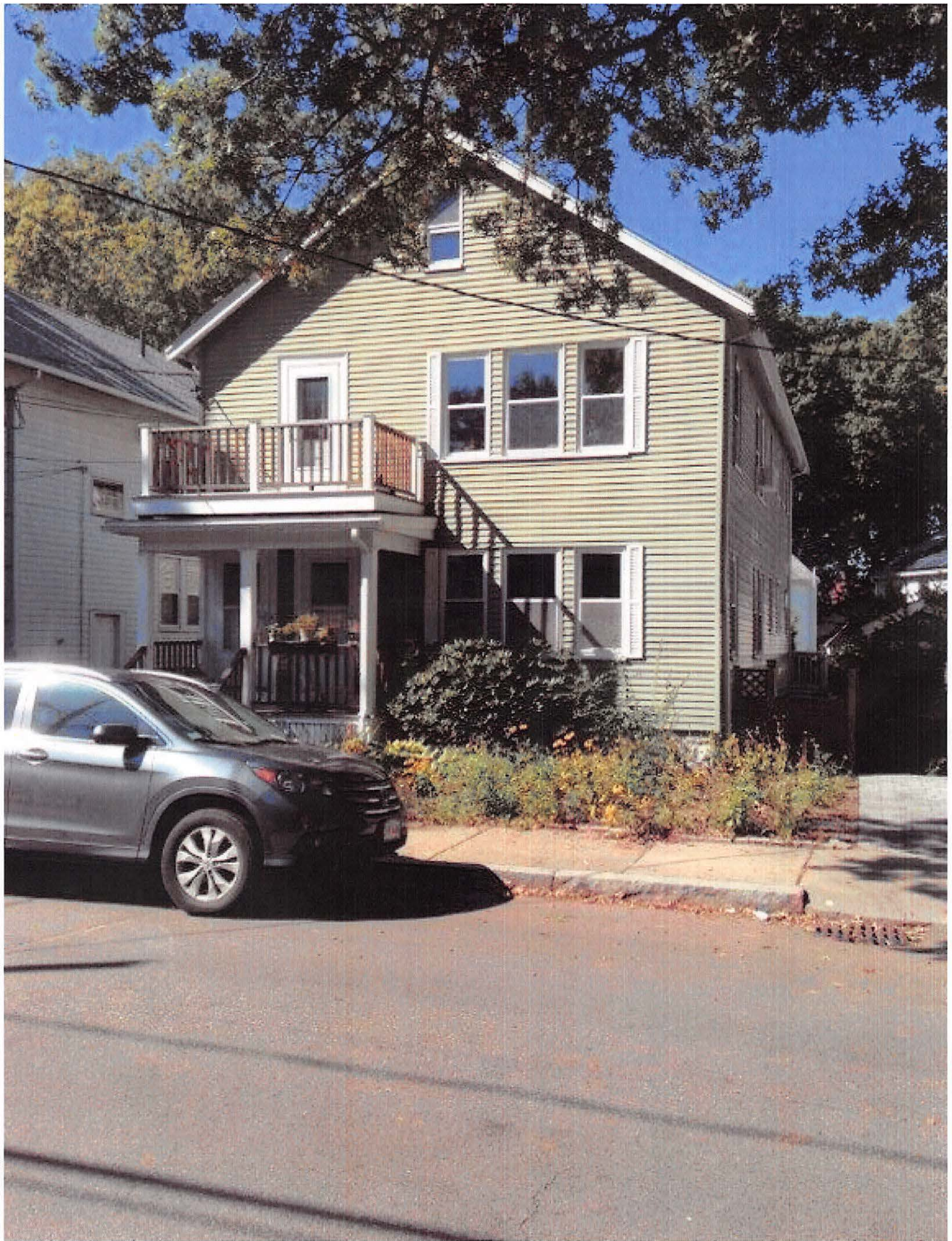


Parcel Block Map

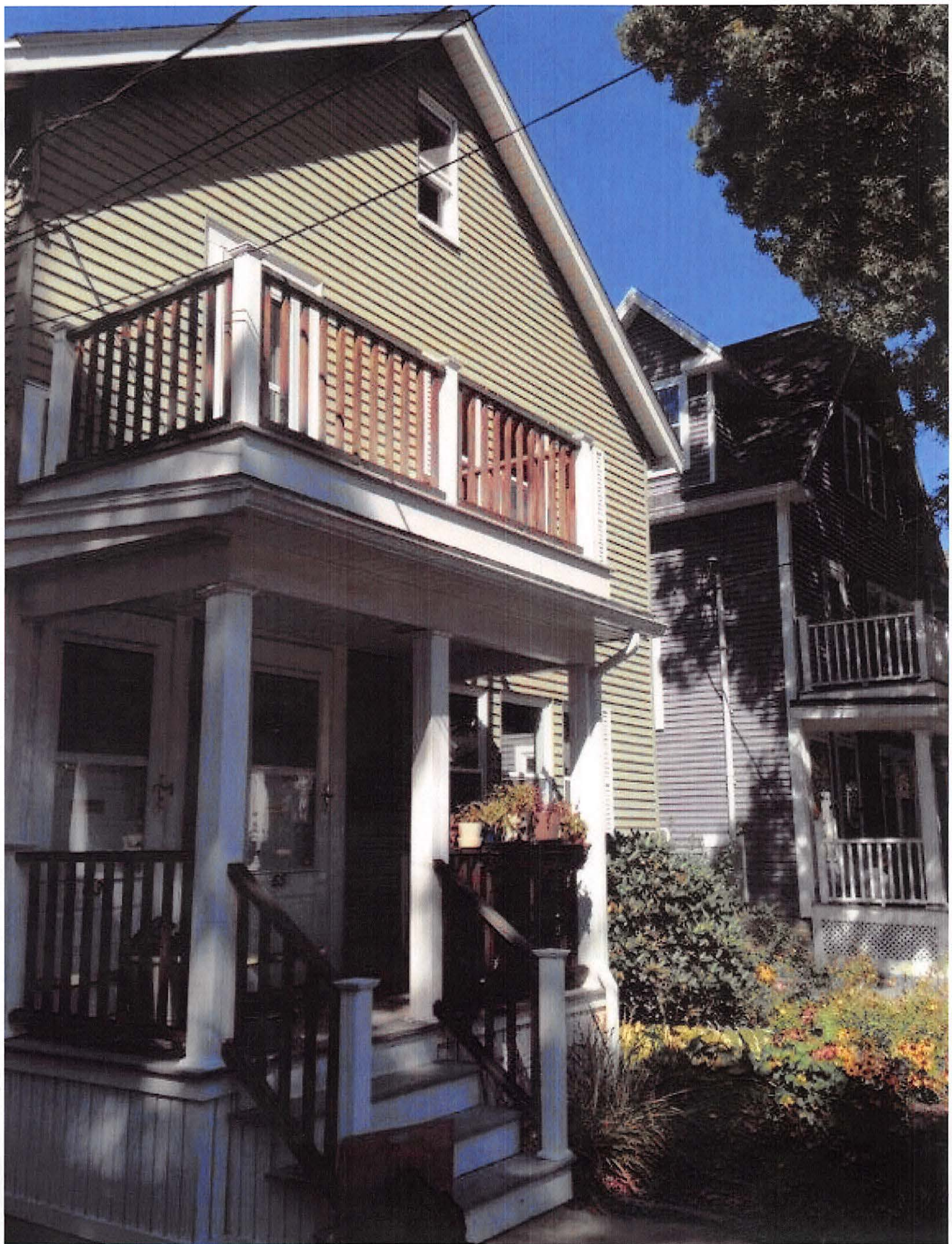
267B

65 Grosvenor St.











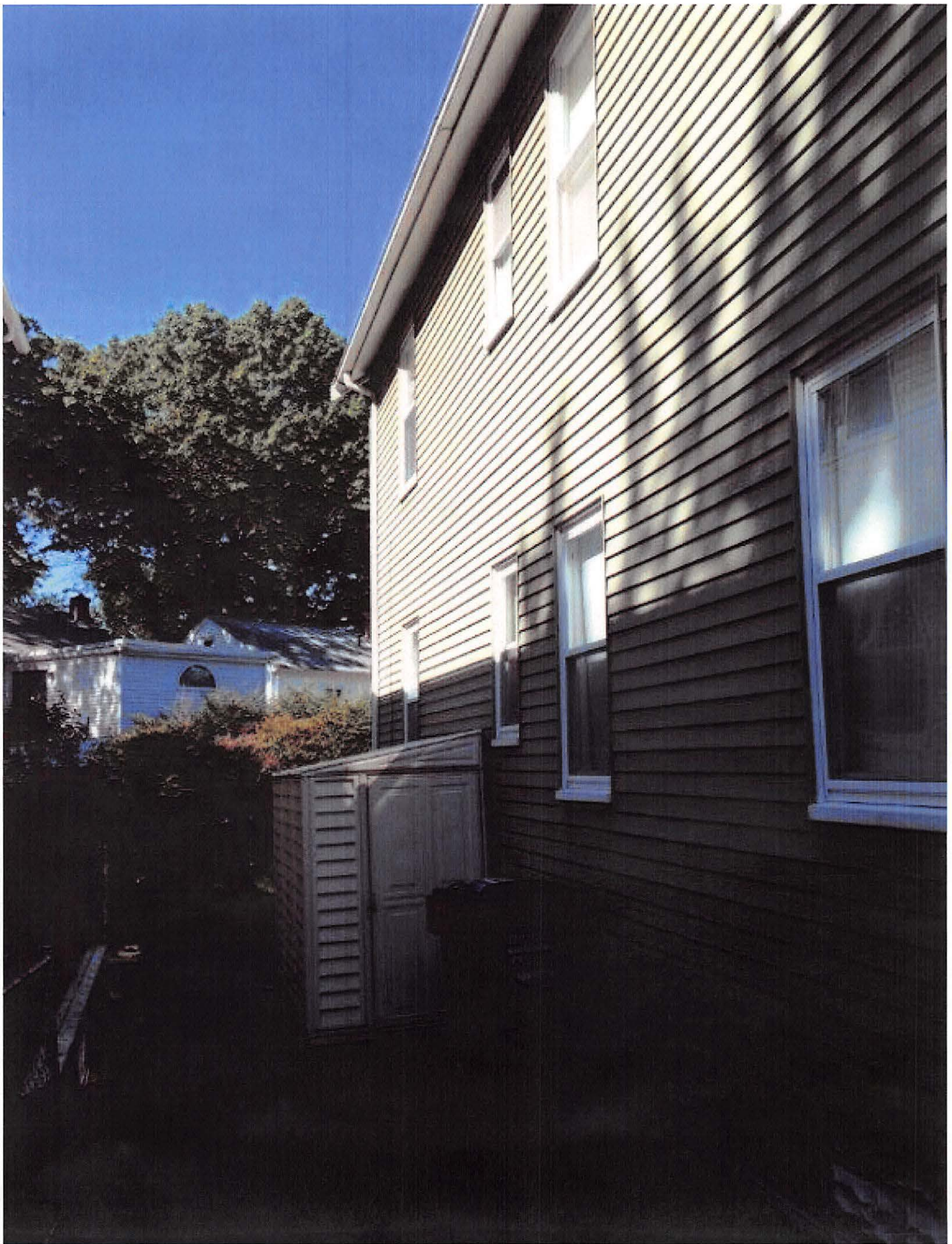












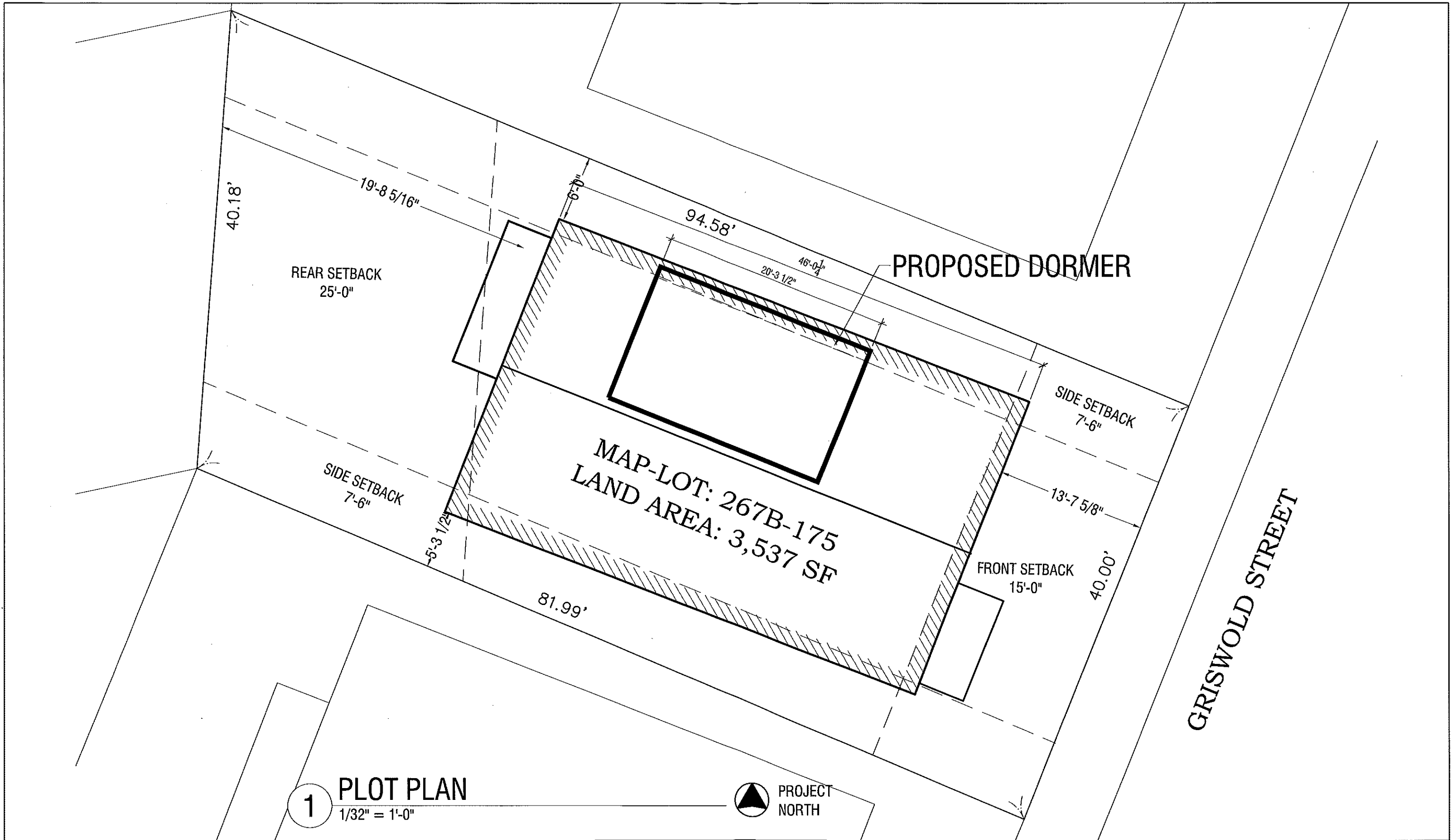












Vabulas Residence

65 Griswold Street
Cambridge MA, 02138

michael kim | associates

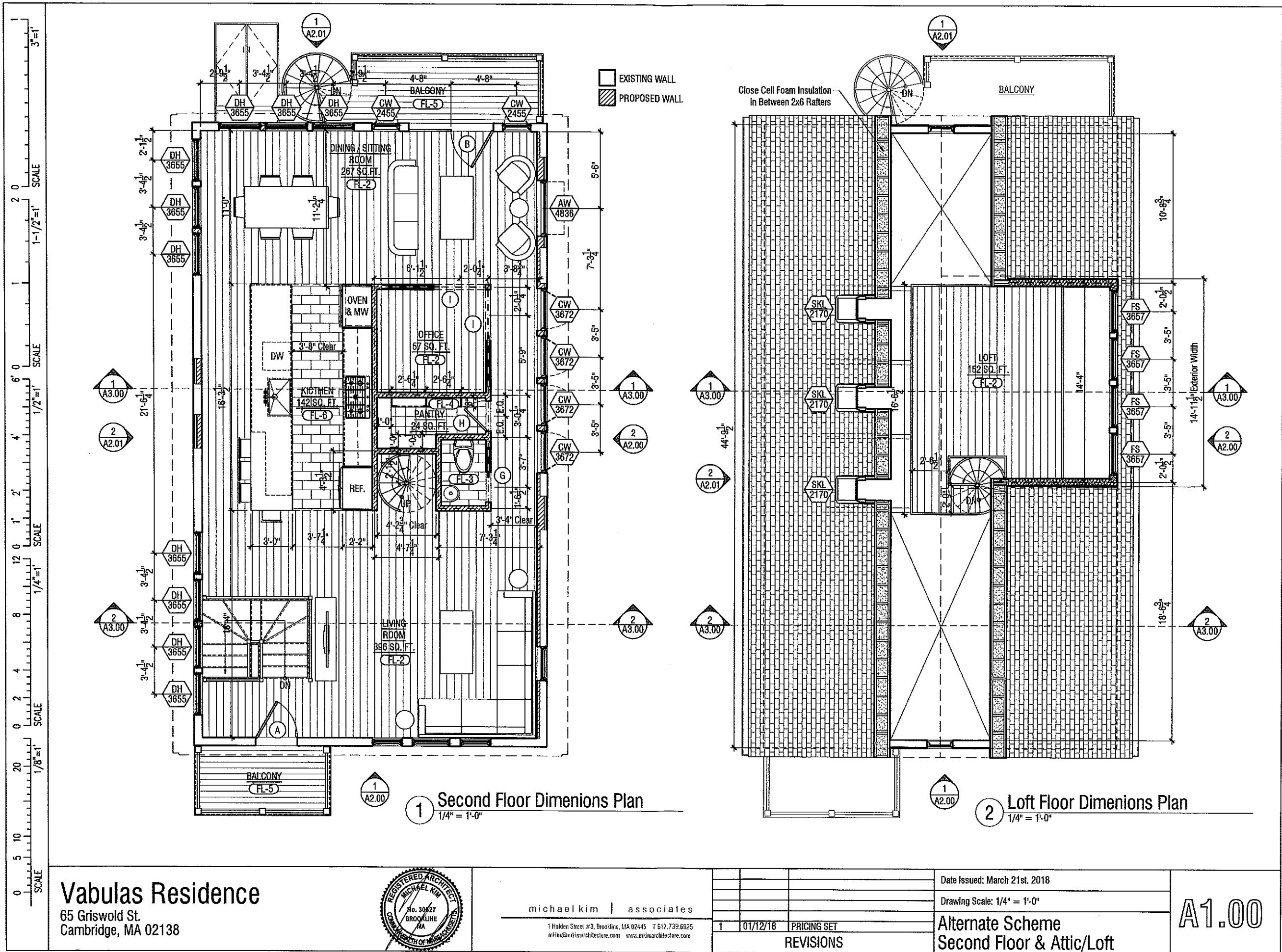
1 Holden Street #3, Brookline, MA 02445 | 617.739.6925
mkim@nikimarchitecture.com www.nikimarchitecture.com

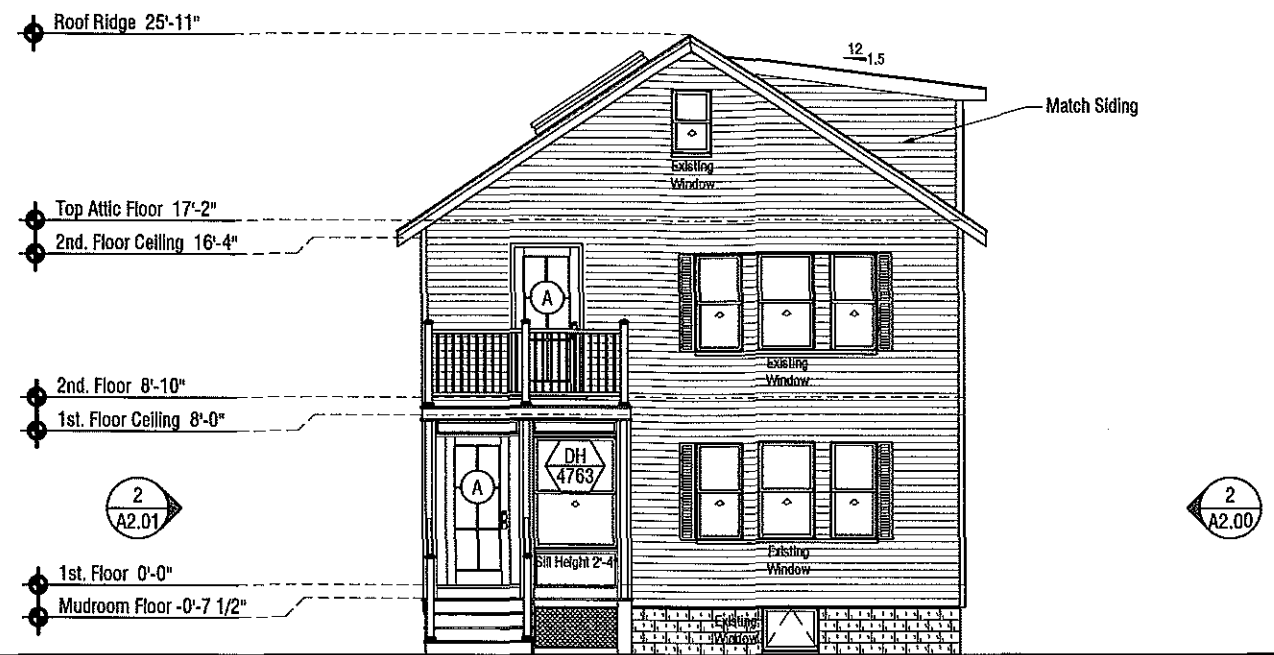
Date Issued March 19, 2018

Drawing Scale As Noted

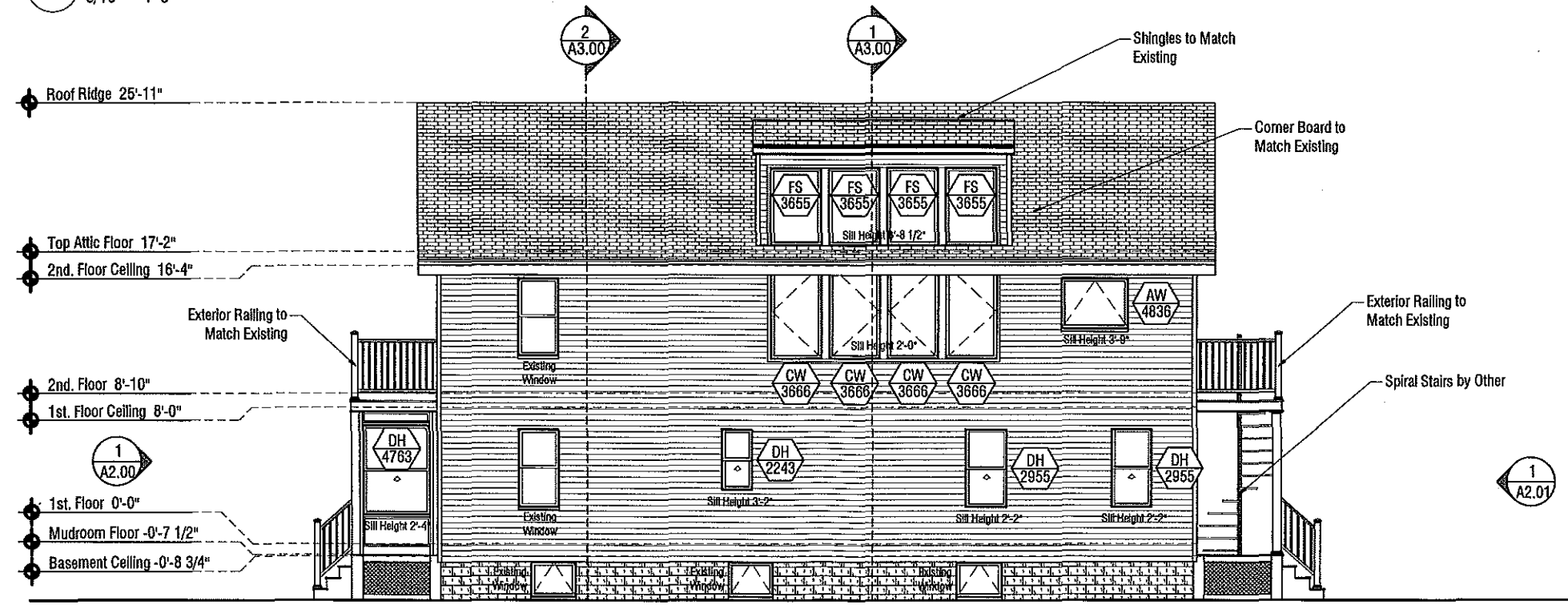
SITE PLAN

PL1.0





1 Front Elevation
3/16" = 1'-0"



2 Right Elevation
3/16" = 1'-0"

Vabulas Residence
65 Griswold St.
Cambridge, MA 02138



michaelkim | associates
1 Holden Street #3, Brookline, MA 02445 T 617.739.6925
mkim@mikimarchitect.com www.mikimarchitect.com

NO.	DATE	REVISIONS
1	01/12/18	PRICING SET

Date Issued: March 21st, 2018
Drawing Scale: 3/16" = 1'-0"
Alternate Scheme
Front & Right Elevations

A1.01



1 Rear Elevation
3/16" = 1'-0"



2 Left Elevation
3/16" = 1'-0"

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Cambridge, MA 02138

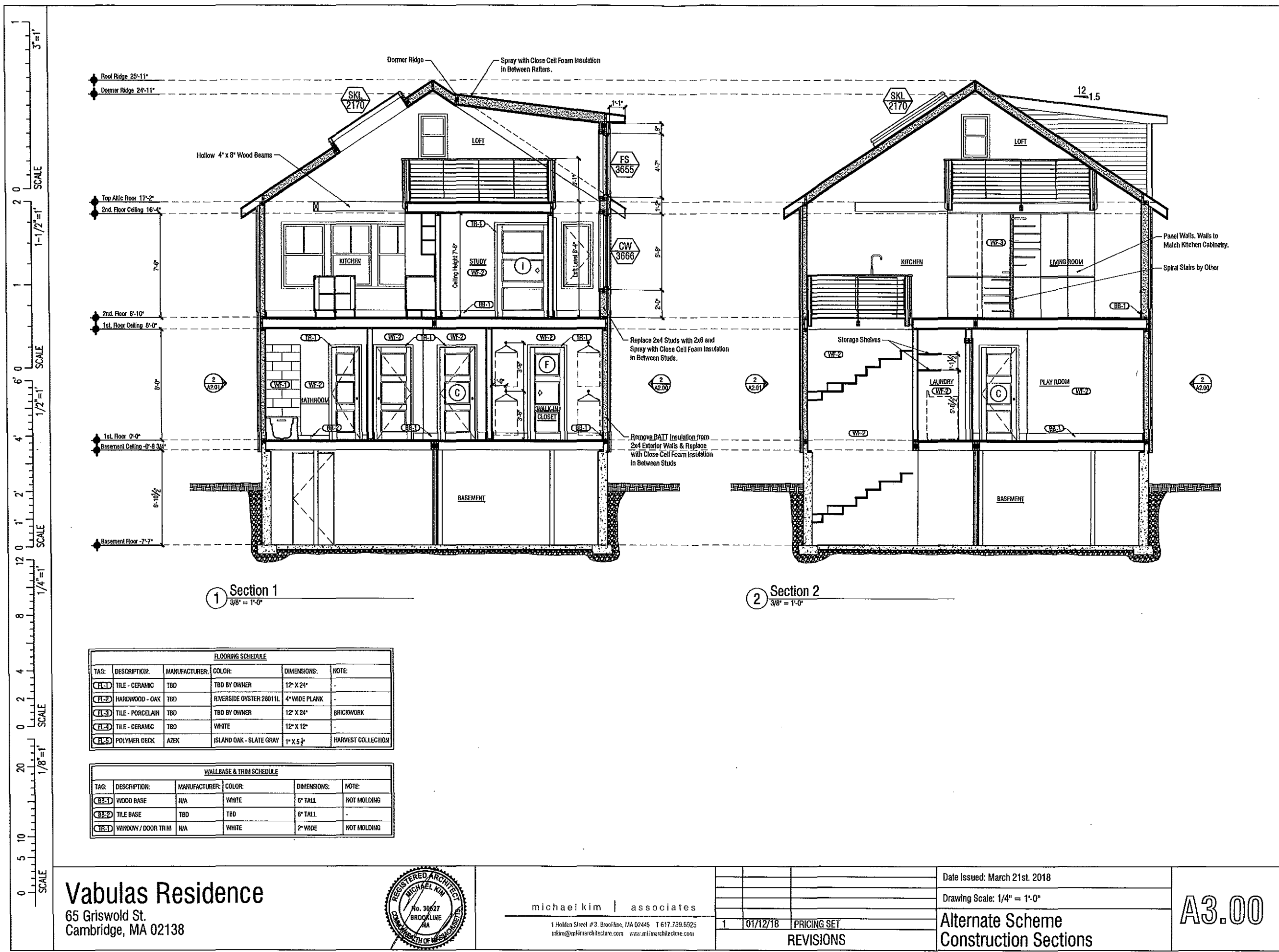


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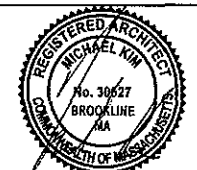
NO.	DATE	DESCRIPTION
1	01/12/18	PRICING SET
REVISIONS		

Date Issued: March 21st, 2018
Drawing Scale: 3/16" = 1'-0"
**Rear & Left Elevations
Alternate Scheme**

A2.01



Vabulas Residence
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Cambridge, MA 02138



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1	01/12/18	PRICING SET	
REVISIONS			

Date Issued: March 21st, 2018
Drawing Scale: 1/4" = 1'-0"
Alternate Scheme
Construction Sections

A3.00

VR

VABULAS RESIDENCE

65 GRISWOLD STREET, CAMBRIDGE MA - 02138

PRICING SET - MARCH 2018

ARCHITECT:
MICHAEL KIM ASSOCIATES
1 Holden Street #3
Brookline, MA 02445
Tel: (617) 739-6925
Email: mkim@mkimarchitecture.com
CONTACT: Michael Kim

CLIENT/OWNER:
SHINICHIRO FUSE & MYUNG-HEE VABULAS
65 Griswold Street
Cambridge, MA 02138
Tel:
Email: mvabulas@gmail.com
CONTACT: Myung-Hee Vabulas

SURVEYOR:
Name
Address
Tel: (000) 000-000
Email:
CONTACT:

CONTRACTOR:
Name
Address
Tel: (000) 000-000
Email:
CONTACT:

DRAWING INDEX:

MKA	
A0.00	PROJECT INFORMATION & ZONING
D1.00	DEMOLITION PLAN - BASEMENT & 1ST. FL.
D1.01	DEMOLITION PLAN - 2ND. FLOOR
A1.00	DIMENSION PLAN - BASEMENT
A1.01	DIMENSION PLAN & SCHEDULES 1ST. FL.
A1.02	DIMENSION PLAN - 2ND. & LOFT FLOOR
A2.00	EXTERIOR ELEVATIONS - FRONT & RIGHT
A2.01	EXTERIOR ELEVATIONS - REAR & LEFT
A3.00	RCP & SCHEDULES - 1ST. FLOOR
A3.01	RCP - 2ND. & LOFT FLOOR
F1.00	FRAMING PLAN - BASEMENT & 1ST. FL.
F1.01	FRAMING PLAN - 2ND. & LOFT FLOOR

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE OF MASSACHUSETTS, THE LINCOLN BUILDING DEPARTMENT AND OTHER MUNICIPAL AGENCIES HAVING JURISDICTION.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES INCLUDING THE 2016 RESIDENTIAL CODE OF MASSACHUSETTS STATE AND ALL APPLICABLE SUB CODES AND RELATED REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE WORK BEFORE WORK COMMENCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CORRECTNESS OR FITNESS OF NEW CONSTRUCTION, AND NOTIFY THE OWNER AND ARCHITECT IF ANY DESIGN FEATURES CONFLICT WITH ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES AND DEVIATIONS FROM APPROVED PLANS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH REQUIREMENTS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO WILL ARRANGE FOR INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND SAFETY PROCEDURES DURING PROGRESS OF THE WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY ARE PART OF THE SCOPE OF THE WORK.
- UPON COMPLETION, THE CONTRACTOR SHALL ARRANGE FOR REQUIRED INSPECTIONS AND SIGN-OFFS.
- CONTRACTOR SHALL ASSURE THAT ALL EMPLOYEES AND SUB-CONTRACTORS ARE PROPERLY INSURED AND EDUCATED ON SAFETY PROCEDURES ON A WORK SITE.

GRAPHIC SYMBOLS:

DES - 00'-00"	LEVEL LINE, CONTROL OR DATUM ELEVATION
0'-0"	
	REVISION NUMBER
	PARTITION TYPE
	WINDOW TYPE
	DOOR TYPE
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	PLAN DETAIL
	EXTERIOR/INTERIOR ELEVATIONS

ZONING ANALYSIS

PROPERTY DATA:

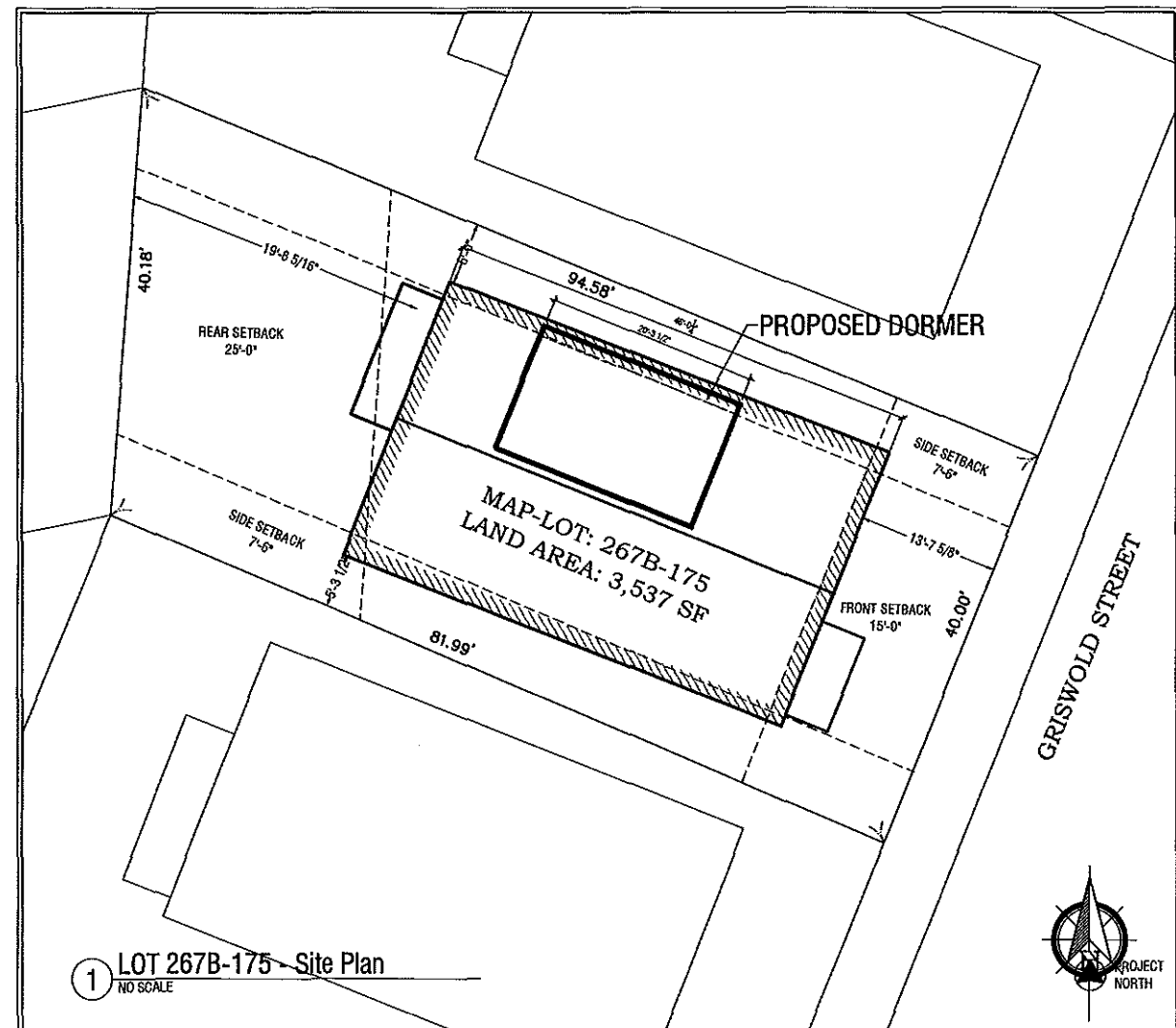
Address: 65 Griswold Street, Cambridge, MA
Parcel ID: 267B-175
District Designation: B
Occupancy: Two Family Residential
Year Built: 1945 +/-

DIMENSIONAL REQUIREMENTS:

Lot size - Minimum:	2,500 S.F.	
Lot size - Actual:	3,537 S.F.	[EXIST. CONFORMING]
Frontage - Minimum:	N/A	
Frontage - Actual:	N/A	
Height - Maximum:	35 FT.	
Height - Proposed:	25'-11"	[EXIST. CONFORMING]
Front Setback - Minimum:	15 FT.	
Front Setback - Actual:	13'-7"	[EXIST. CONFORMING]
Side Setback Left - Minimum:	7'-6"	
Side Setback Left - Actual:	6 FT.	[EXIST. CONFORMING]
Side Setback Right - Minimum:	7'-6"	
Side Setback Right - Actual:	6 FT.	[EXIST. CONFORMING]
Rear Setback - Minimum:	25 FT.	
Rear Setback - Actual:	19'-8"	[EXIST. CONFORMING]

DIMENSIONAL INFORMATION:

Lot Size: 3,537 SQ.F.
Existing Building Area: 2,735 SQ.F.
Proposed Building Area: 2,912 SQ.F.



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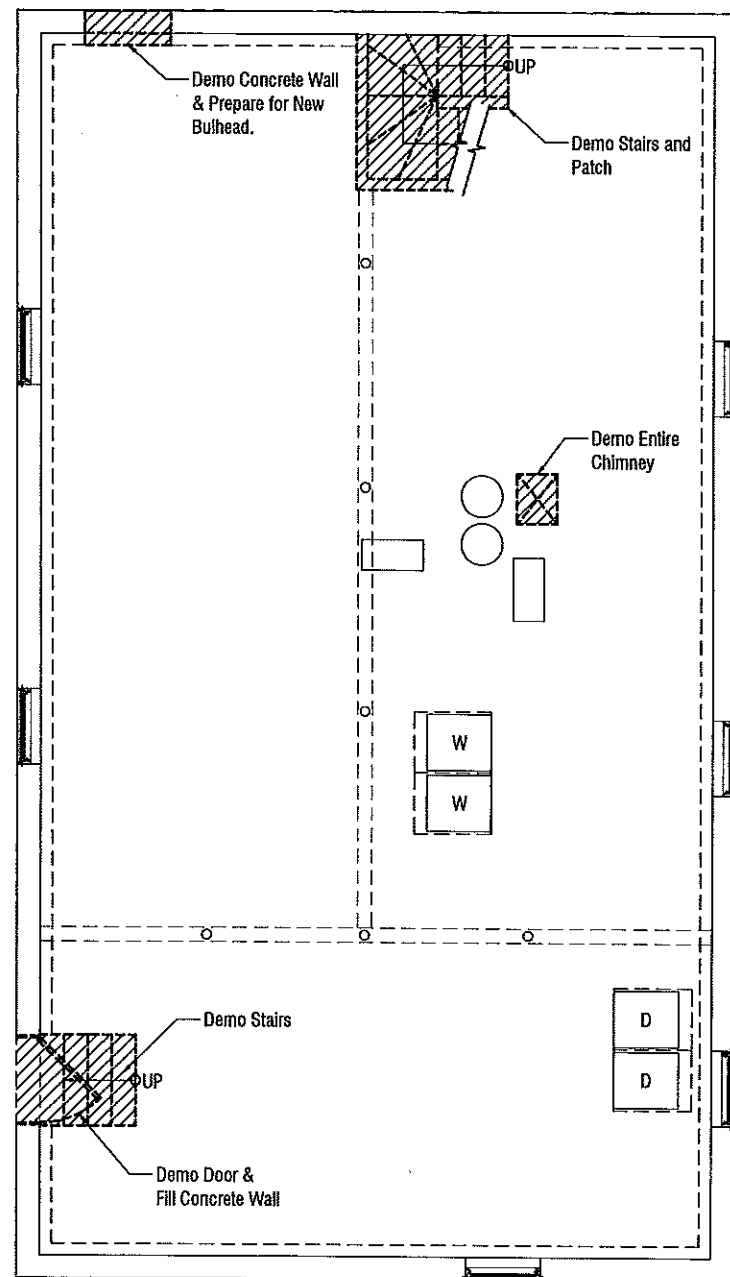
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PROJECT INFORMATION

A0.00

REVISIONS

NOTE:
 - PATCH HARDWOOD FLOORS AS NECESSARY
 - ALL INTERIOR WALLS TO BE DEMOLISHED
 UNLESS OTHERWISE NOTED

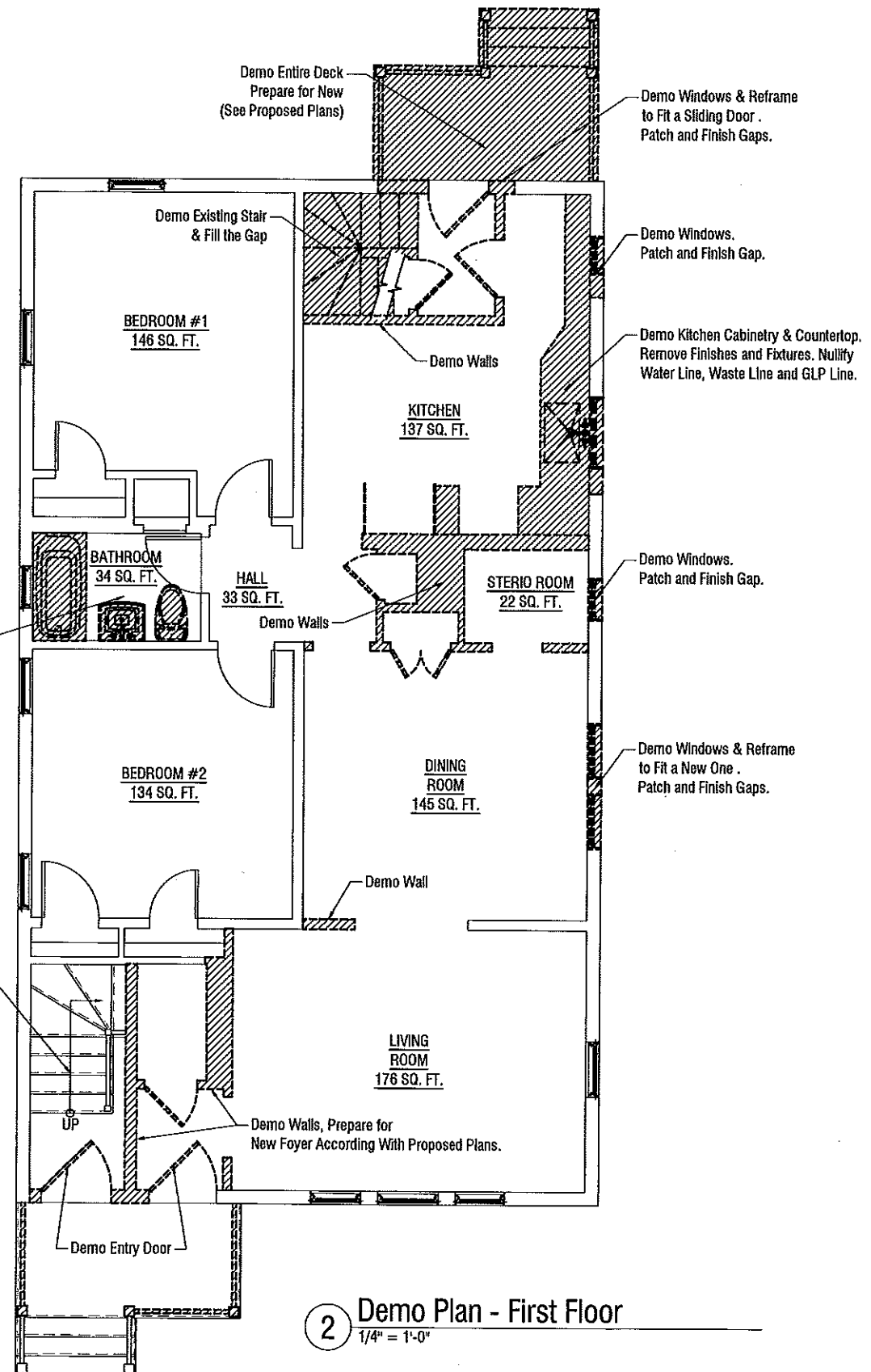


1 Demo Plan - Basement
 1/4" = 1'-0"

Remove Finishes, Fixtures
 and Existing Water Line, Waste
 Line and Ventilation Stack

Remove Flooring & Railing at Stairs
 Preserve Existing Stair Frame and
 Secure as Required.

EXISTING TO REMAIN
 EXISTING TO DEMOLISH



2 Demo Plan - First Floor
 1/4" = 1'-0"

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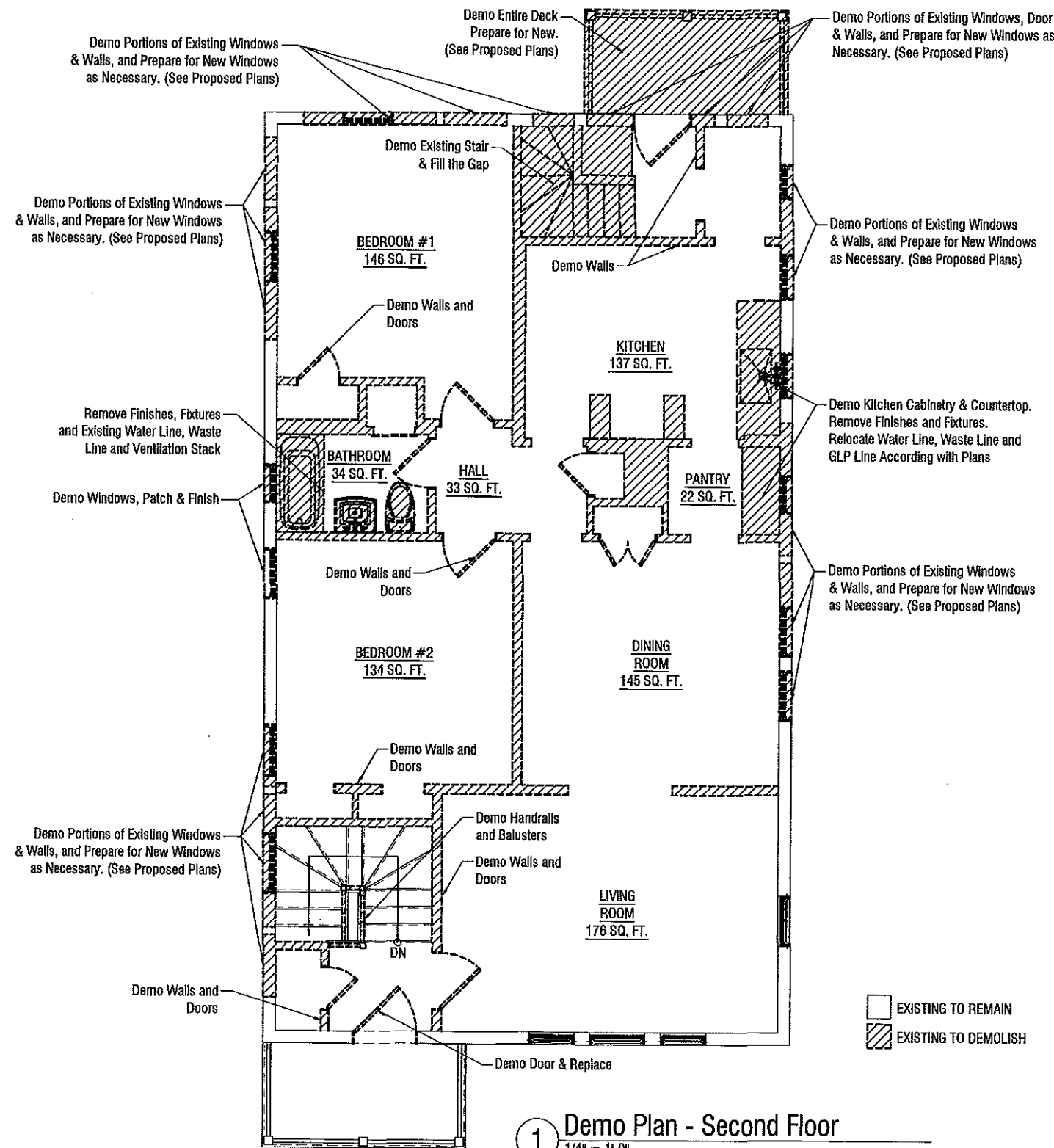
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REVISIONS		

Date Issued: March 21st, 2018

Drawing Scale: 1/4" = 1'-0"

Demolition Plans
Basement & First Floor

D1.00



1 Demo Plan - Second Floor
1/4" = 1'-0"

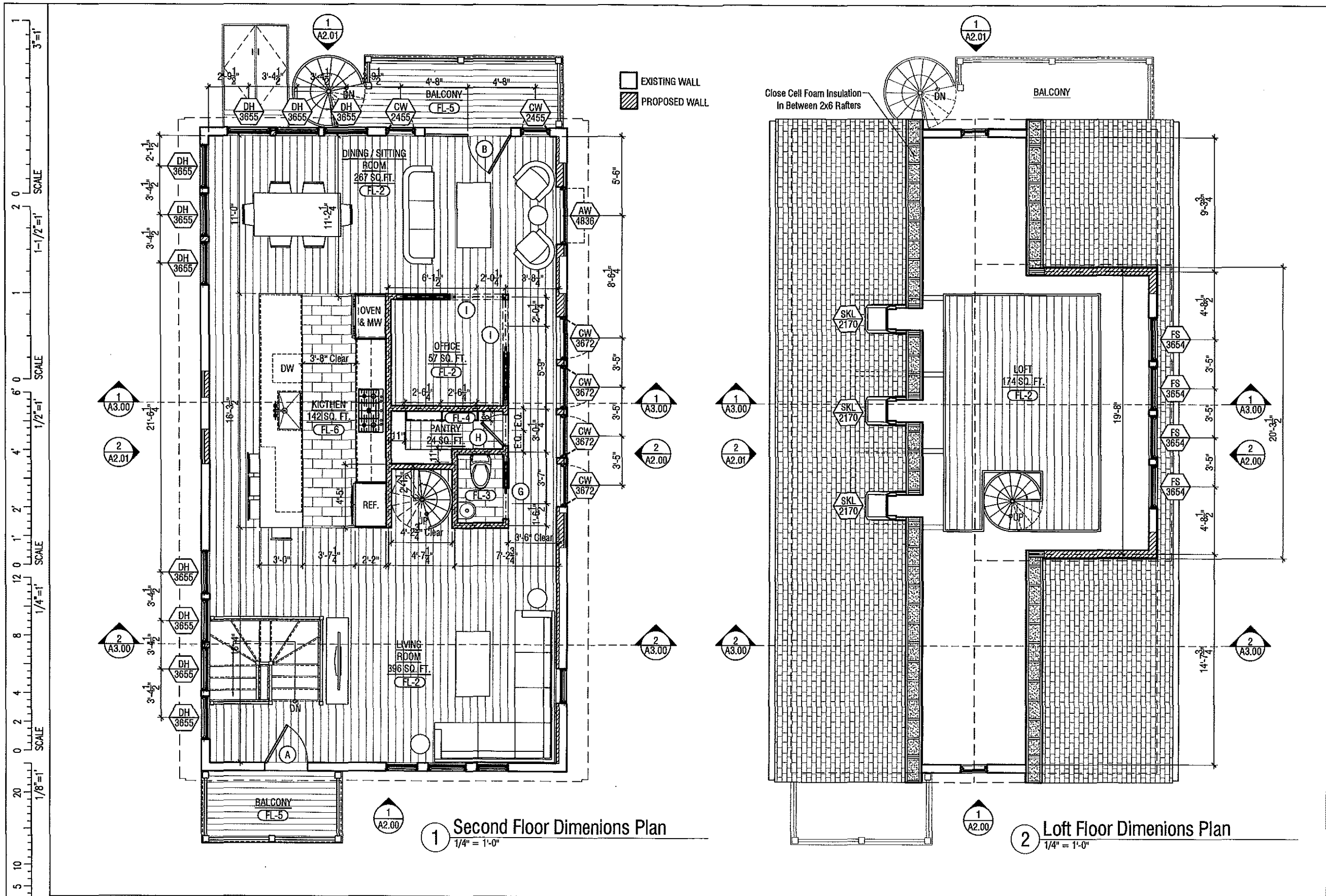
Vabulas Residence
65 Griswold St.
Cambridge, MA 02138

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mkim@mkimarchitecture.com www.mkimarchitecture.com

NO.	DATE	REVISIONS
1	01/12/18	PRICING SET

Date Issued: March 21st, 2018
Drawing Scale: 1/4" = 1'-0"
Demolition Plans Second Floor

D1.00



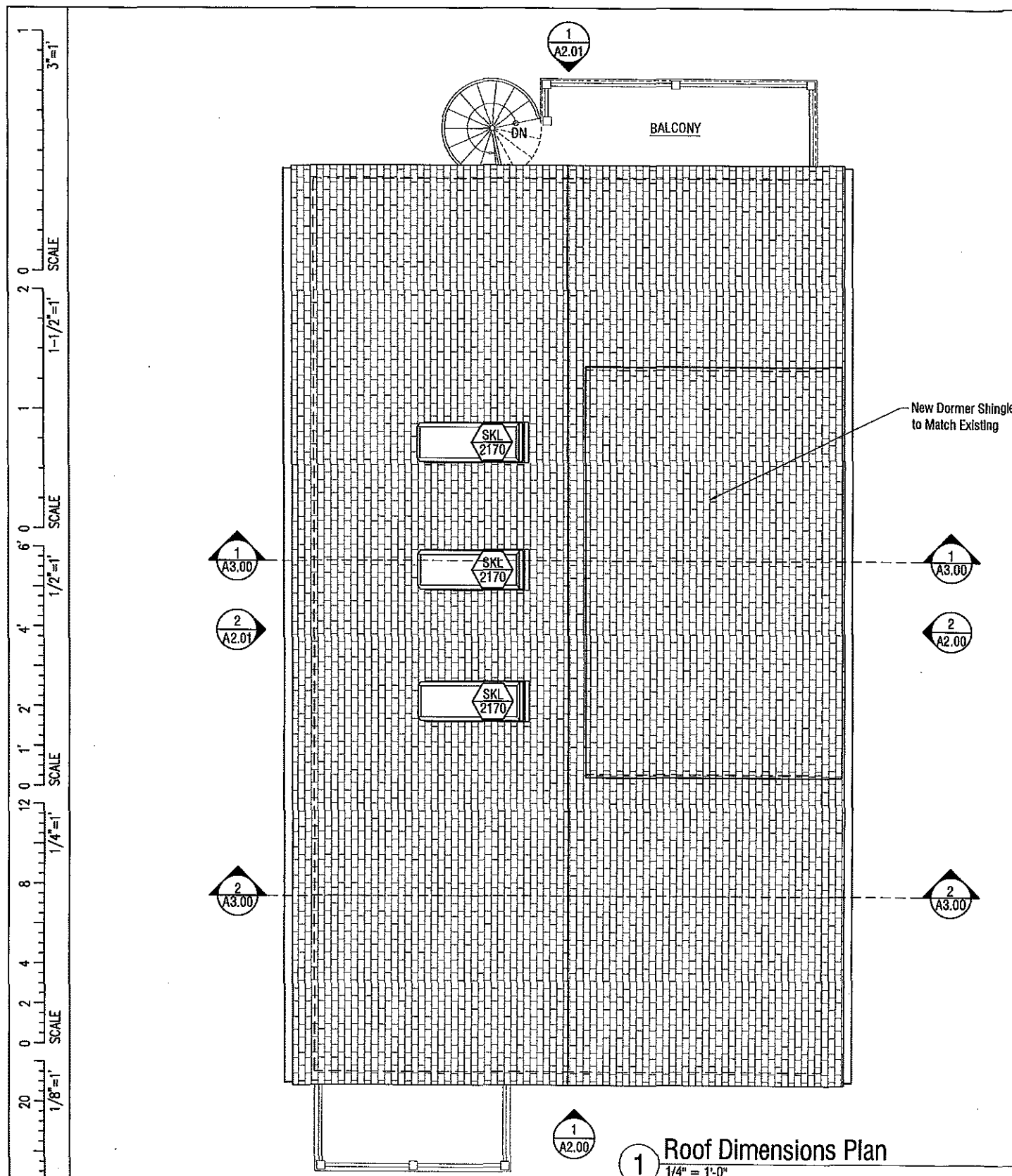
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NO.	DATE	DESCRIPTION
1	01/12/18	PRICING SET
REVISIONS		

Date Issued: March 21st, 2018
 Drawing Scale: 1/4" = 1'-0"
Dimension Plans & Schedules
First Floor

A1.01



1 Roof Dimensions Plan
1/4" = 1'-0"

WINDOW SCHEDULE						
TAG:	BRAND	MODEL:	FRAME SIZE	QTY:	EXTERIOR FINISH (COLOR):	INTERIOR FINISH:
DH 2243	PELLA 450 SERIES	CASEMENT WINDOW 2243 MASTER BATHROOM	1'-10" X 3'-7"	1	ALUMINUM - WHITE	CLAD WOOD (WHITE)
CW 2455	PELLA 450 SERIES	CASEMENT WINDOW 2455 2ND. FLOOR REAR BALCONY	2'-0" X 4'-7"	2	ALUMINUM - WHITE	CLAD WOOD (WHITE)
DH 2955	PELLA 450 SERIES	DOUBLE HUNG 2955 1ST. FLOOR - STANDARD	2'-5" X 4'-7"	10	ALUMINUM - WHITE	CLAD WOOD (WHITE)
DH 3655	PELLA 450 SERIES	DOUBLE HUNG 3655 2ND FLOOR - STANDARD	3'-0" X 4'-7"	13	ALUMINUM - WHITE	CLAD WOOD (WHITE)
AW 4836	PELLA 450 SERIES	AWNING WINDOW 4836 SITTING ROOM	4'-0" X 3'-0"	1	ALUMINUM - WHITE	CLAD WOOD (WHITE)
CW 3672	PELLA 450 SERIES	CASEMENT WINDOW 3672 2ND FLOOR - HALLWAY	3'-0" X 6'-0"	4	ALUMINUM - WHITE	CLAD WOOD (WHITE)
FS 3654	PELLA 450 SERIES	FIXED SASH 3654 LOFT DORMER	3'-0" X 4'-5"	4	ALUMINUM - WHITE	CLAD WOOD (WHITE)
SKL 2170	VELUX	FIXED SKYLIGHT 3170 ROOF	2'-7" X 5'-10"	3	TYP	N/A
DH 4255	PELLA 450 SERIES	DOUBLE HUNG 4255 MUDROOM	3'-6" X 4'-7"	1	ALUMINUM - WHITE	CLAD WOOD (WHITE)
DH 4855	PELLA 450 SERIES	DOUBLE HUNG 4855 MUDROOM	4'-0" X 4'-7"	2	ALUMINUM - WHITE	CLAD WOOD (WHITE)

DOOR SCHEDULE							
TAG:	MANUFACTURER:	STYLE:	TYPE:	QTY:	FRAME SIZE:	MATERIAL:	COLOR:
A	BROSCO	FULL VIEW	EXTERIOR/HINGED	2	3'-0" X 7'-0"	WOOD-GLASS	TBD
B	BROSCO	FULL VIEW	EXTERIOR/HINGED	1	6'-0" X 7'-0"	WOOD-GLASS	TBD
C	BROSCO	3 PANEL SQUARE	INTERIOR/HINGED	2	2'-6" X 6'-8"	PRIMED MDF	TBD
D	BROSCO	3 PANEL SQUARE	INTERIOR/HINGED	1	2'-0" X 6'-8"	PRIMED MDF	TBD
E	BROSCO	3 PANEL SQUARE	EXTERIOR/SLIDING	1	6'-0" X 7'-0"	PRIMED MDF	TBD
F	BROSCO	3 PANEL SQUARE	INTERIOR/POCKET	1	2'-4" X 6'-8"	PRIMED MDF	TBD
G	BROSCO	3 PANEL SQUARE	INTERIOR/POCKET	1	2'-2" X 6'-8"	PRIMED MDF	TBD
H	BROSCO	3 PANEL SQUARE	INTERIOR/HINGED	1	2'-2" X 6'-8"	PRIMED MDF	TBD
I	BROSCO	3 PANEL SQUARE	INTERIOR/POCKET	2	3'-8" X 6'-8"	PRIMED MDF	TBD
J	BROSCO	3 PANEL SQUARE	DOUBLE HINGED	1	2'-8" X 6'-8"	PRIMED MDF	TBD
K	BROSCO	3 PANEL SQUARE	DOUBLE HINGED	1	4'-4" X 6'-8"	PRIMED MDF	TBD

2 Schedules
1/4" = 1'-0"

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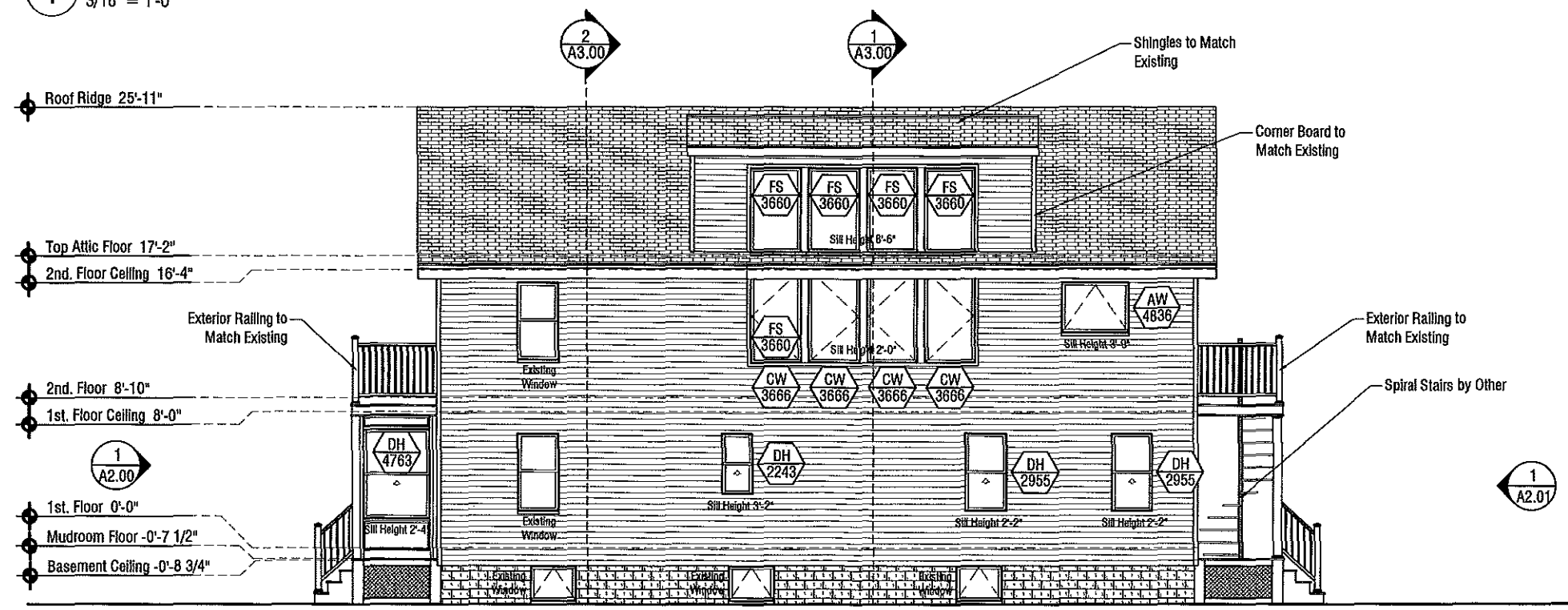
1	01/12/18	PRICING SET
		REVISIONS

Date Issued: March 21st, 2018
Drawing Scale: 1/4" = 1'-0"
Dimension Plans
Second Floor & Loft level

A1.02



1 Front Elevation
3/16" = 1'-0"



2 Right Elevation
3/16" = 1'-0"

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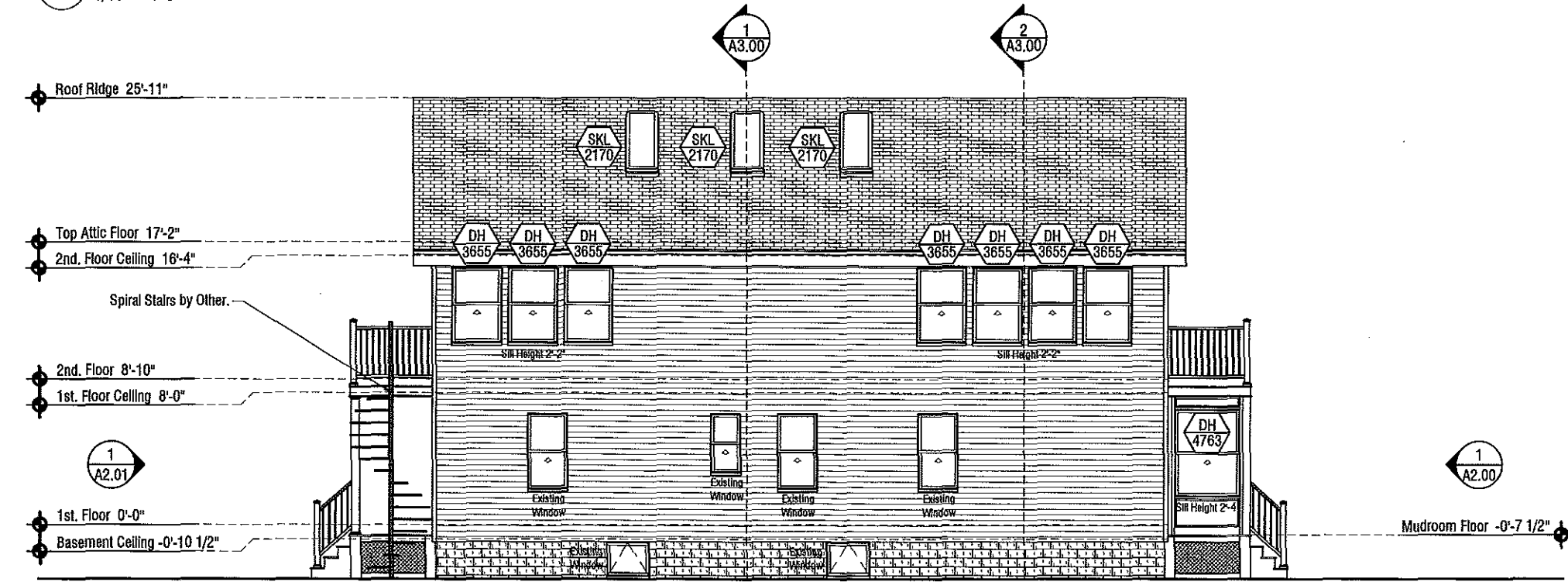
NO.	DATE	REVISIONS
1	01/12/18	PRICING SET

Date Issued: March 21st. 2018
Drawing Scale: 3/16" = 1'-0"
Front & Right
Exterior Elevations

A2.00



1 Rear Elevation
3/16" = 1'-0"



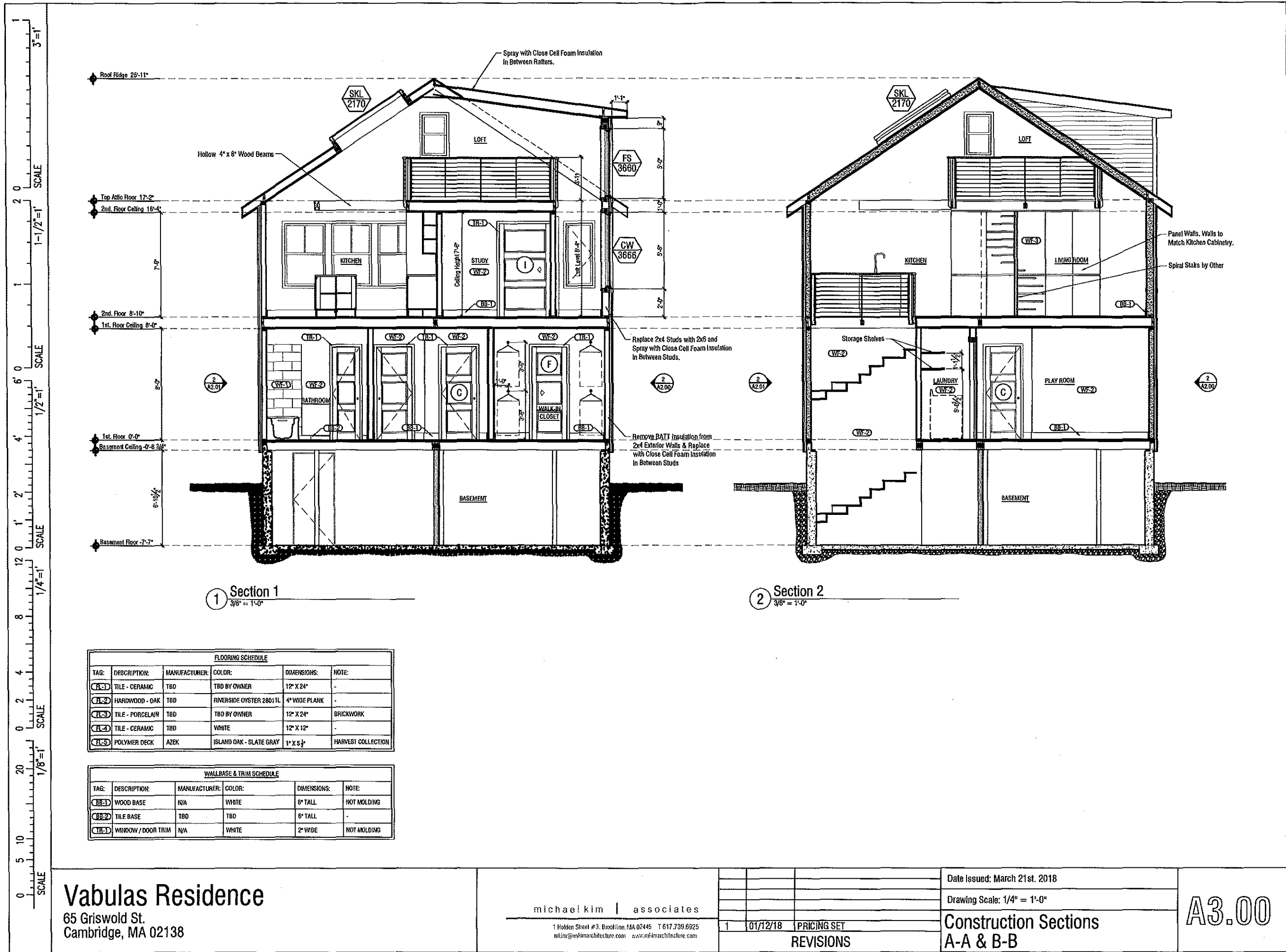
2 Left Elevation
3/16" = 1'-0"

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Date Issued: March 21st, 2018		
Drawing Scale: 3/16" = 1'-0"		
1	01/12/18	PRICING SET
REVISIONS		
		Exterior Elevations Rear & Left

A2.01



FLOORING SCHEDULE					
TAG:	DESCRIPTION:	MANUFACTURER:	COLOR:	DIMENSIONS:	NOTE:
FL-1	TILE - CERAMIC	TBD	TBD BY OWNER	12" X 24"	-
FL-2	HARDWOOD - OAK	TBD	RIVERSIDE OYSTER 28011L	4" WIDE PLANK	-
FL-3	TILE - PORCELAIN	TBD	TBD BY OWNER	12" X 24"	BRICKWORK
FL-4	TILE - CERAMIC	TBD	WHITE	12" X 12"	-
FL-5	POLYMER DECK	AZEK	ISLAND OAK - SLATE GRAY	1" X 5 1/2"	HARVEST COLLECTION

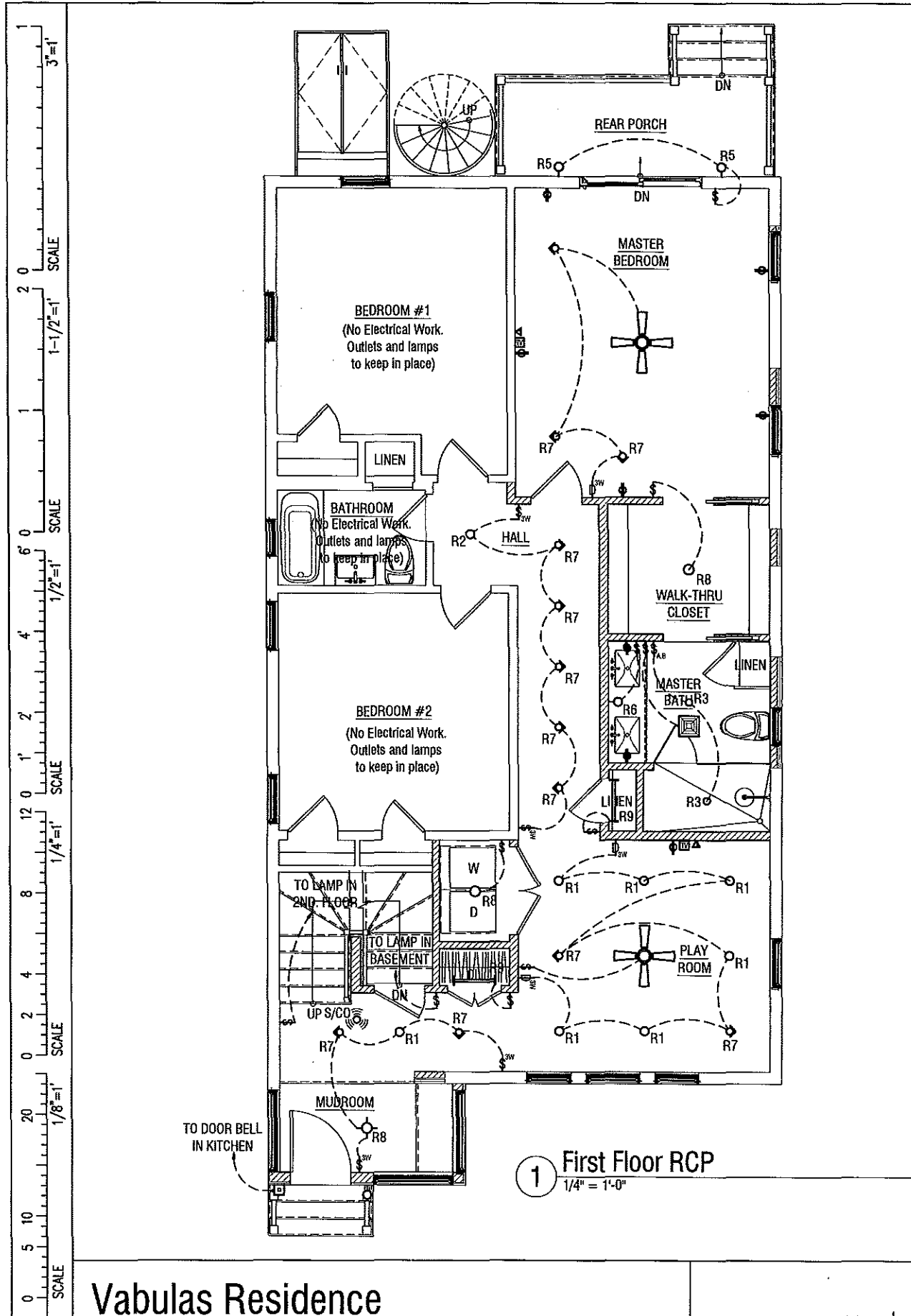
WALLBASE & TRIM SCHEDULE					
TAG:	DESCRIPTION:	MANUFACTURER:	COLOR:	DIMENSIONS:	NOTE:
WB-1	WOOD BASE	N/A	WHITE	6" TALL	NOT MOLDING
WB-2	TILE BASE	TBD	TBD	6" TALL	-
TR-1	WINDOW / DOOR TRIM	N/A	WHITE	2" WIDE	NOT MOLDING

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Date Issued: March 21st, 2018		
Drawing Scale: 1/4" = 1'-0"		
1	01/12/18	PRICING SET
REVISIONS		
Construction Sections A-A & B-B		

A3.00



ELECTRICAL INSTALLATION & RCP PLAN SCHEDULE					
TYPE:	MANUFACTURER:	CAP.	W.P. MODEL:	COLOR:	DESCRIPTION
⚡	LUTRON	120 V	DESIGNER ST.	BLACK SAT.	LIGHT SWITCH - SINGLE
⚡ _{3W}	LUTRON	120 V	DESIGNER ST.	BLACK SAT.	LIGHT SWITCH - THREE WAY
⚡	LUTRON	120 V	DESIGNER ST.	BLACK SAT.	LIGHT SWITCH - THREE WAY
⚡ _{3W}	LUTRON	120 V	DESIGNER ST.	BLACK SAT.	LIGHT SWITCH - THREE WAY
⚡	LEGRAND	120 V	RADIANT CO.	BLACK SAT.	DUPLEX CONVENIENCE OUTLET
⚡	LEGRAND	120 V	RADIANT CO.	BLACK SAT.	DUPLEX WEATHER PROOF OUTLET
📞	LEGRAND	120 V	RADIANT CO.	BLACK SAT.	TELEPHONE & CAT 4 OUTLET
📺	LEGRAND	120 V	RADIANT CO.	BLACK SAT.	CABLE OUTLET
🌀	PANASONIC	190 CFM	WHISPERCEILING	WHITE	EXHAUST FAN
🌀	TBD	190 CFM	WHISPERCEILING	STAINLESS STEEL	KITCHEN EXTRACTOR
🔔	TBD BY OWNER	-	TBD BY OWNER	-	DOOR BELL BUTTON
🔔	TBD BY OWNER	-	TBD BY OWNER	-	DOOR BELL
S/CO	TBD BY G.C.	BY CODE	TBD BY G.C.	WHITE	SMOKE / CO DETECTOR
🔥	TBD BY G.C.	BY CODE	TBD BY G.C.	WHITE	SMOKE DETECTOR
🔥	TBD BY G.C.	BY CODE	TBD BY G.C.	WHITE	HEAT DETECTOR

- ELECTRICAL INSTALLATIONS NOTES**
- CENTER LIGHTING FIXTURES IN ROOM OR OVER WORK STATIONS, UNO.
 - SMOKE/CO2/HEAT DETECTORS SHOWN ARE DESIGNED LOCATIONS ONLY. LICENSED PROFESSIONAL RESPONSIBLE FOR PROVIDING LAYOUT TO MEET CODE.
 - ALL CEILING FINISHES TO BE SMOOTH, NO TEXTURE.
 - WHERE POSSIBLE CONNECT FIXTURES TO EXISTING CODE-COMPLIANT CIRCUITS.
 - PLEASE NOTE SOME NEW FIXTURES TO REPLACE EXISTING AT JUNCTION BOX.
 - OUTLETS SHOWN ARE DESIGNED LOCATIONS ONLY. ELECTRICIAN RESPONSIBLE FOR PROVIDING OUTLET LAYOUT TO MEET CODE.

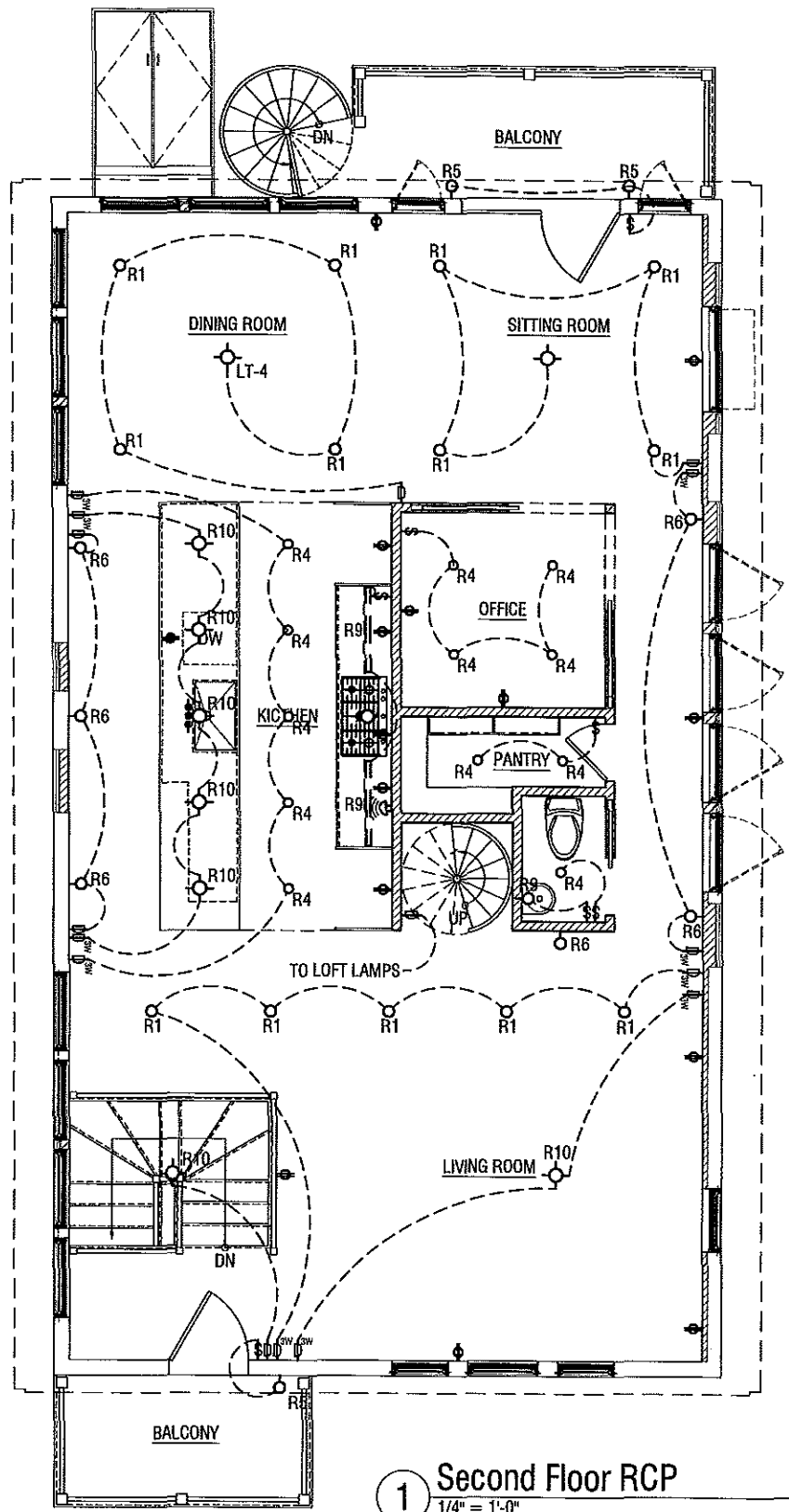
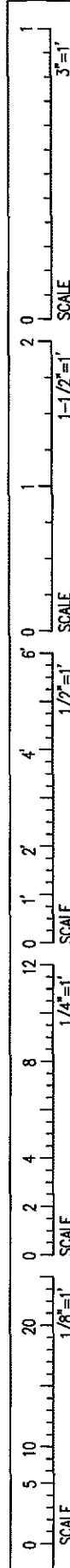
FIXTURE SCHEDULE							
TYPE:	MANUFACTURER:	VOLT:	LAMP:	NOTE:	APERTURE	FINISH:	LOCATION:
R1	PHILIPS	120V	RECESSED DOWNLIGHT - LED	-	5"	TBD	-
R2	PHILIPS	120V	RECESSED DOWNLIGHT - LED	-	4"	TBD	-
R3	PHILIPS	120V	RECESSED DOWNLIGHT - LED	WATERPROOF	4"	WHITE	-
R4	PHILIPS	120V	RECESSED DOWNLIGHT - LED	-	3"	WHITE	-
R5	PHILIPS	120V	EXTERIOR WALL SCENCE	WATERPROOF	5"	TBD	-
R6	PHILIPS	120V	INTERIOR WALL SCENCE	WATERPROOF	-	WHITE	-
R7	PHILIPS	120V	ACCENT DOWNLIGHT - LED	-	3"	WHITE	-
R8	TBD	120V	SURFACE FIXTURE - LED	-	-	TBD	-
R9	TBD	120V	FLEXIBLE UNDER-MOUNT STRIP LIGHT	-	-	WHITE	CLOSETS
R10	TBD	120V	PENDANT LAMP - LED	-	3"	WHITE	PANTRY, MASTER BEDROOM & HW

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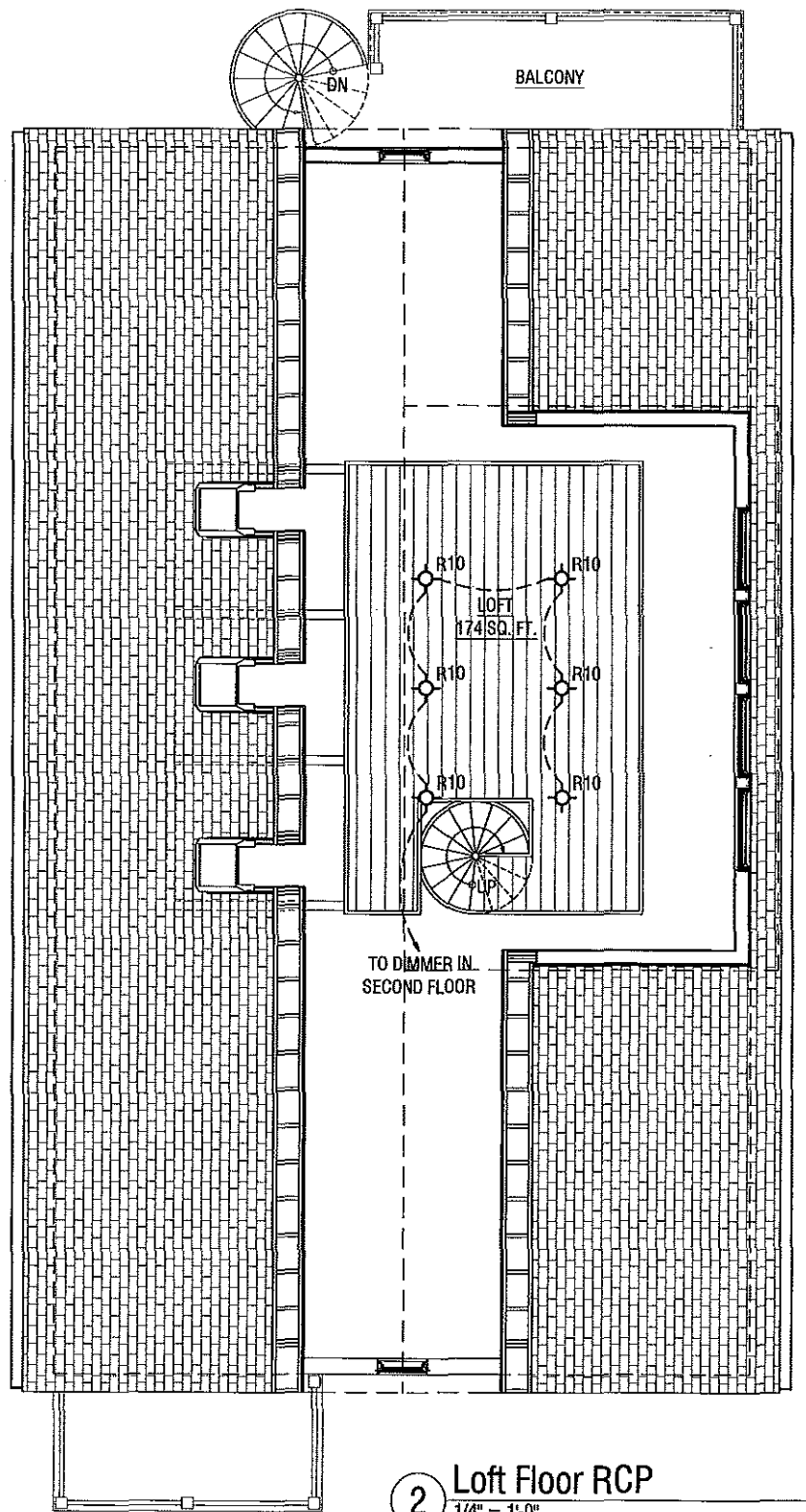
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			Date Issued: March 21st, 2018
			Drawing Scale: 1/4" = 1'-0"
1	01/12/18	PRICING SET	RCP - Electrical & Schedules
		REVISIONS	First Floor

A4.00



1 Second Floor RCP
1/4" = 1'-0"



2 Loft Floor RCP
1/4" = 1'-0"

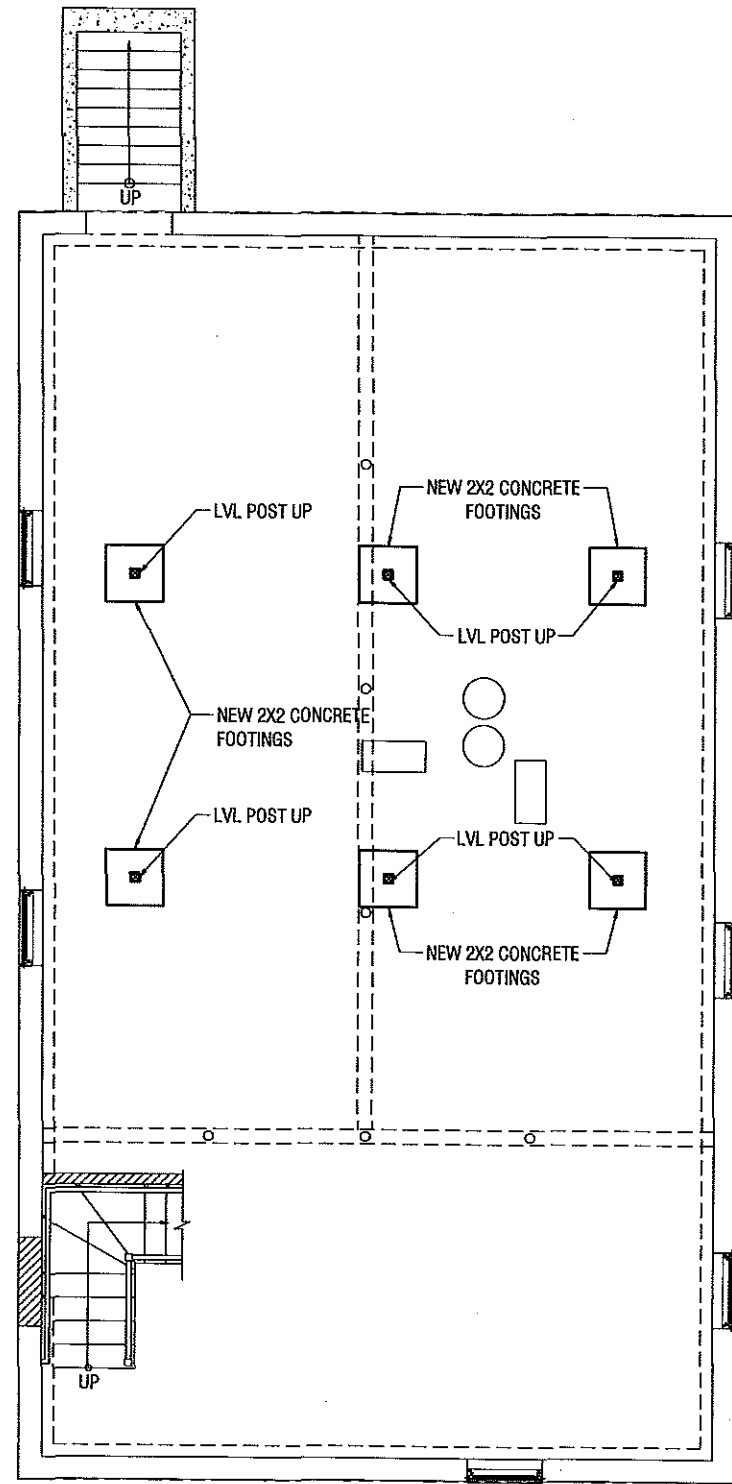
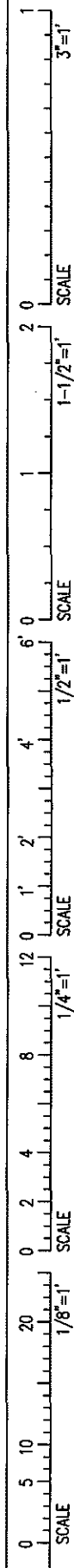
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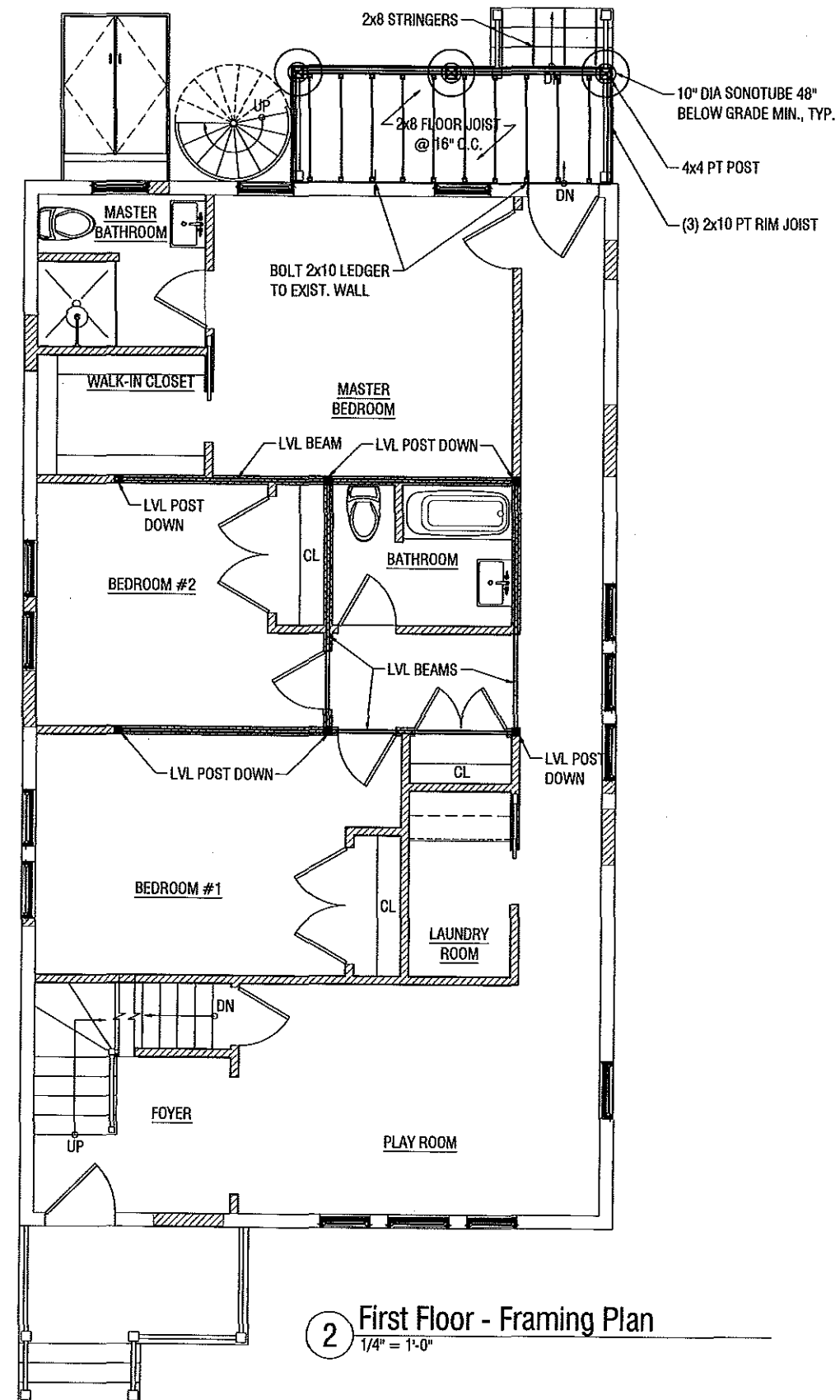
NO.	DATE	REVISIONS
1	01/12/18	PRICING SET

Date Issued: March 21st, 2018
Drawing Scale: 1/4" = 1'-0"
RCP - Electrical
Second & Loft Floor

A4.01



1 Basement - Foundation Plan
1/4" = 1'-0"



2 First Floor - Framing Plan
1/4" = 1'-0"

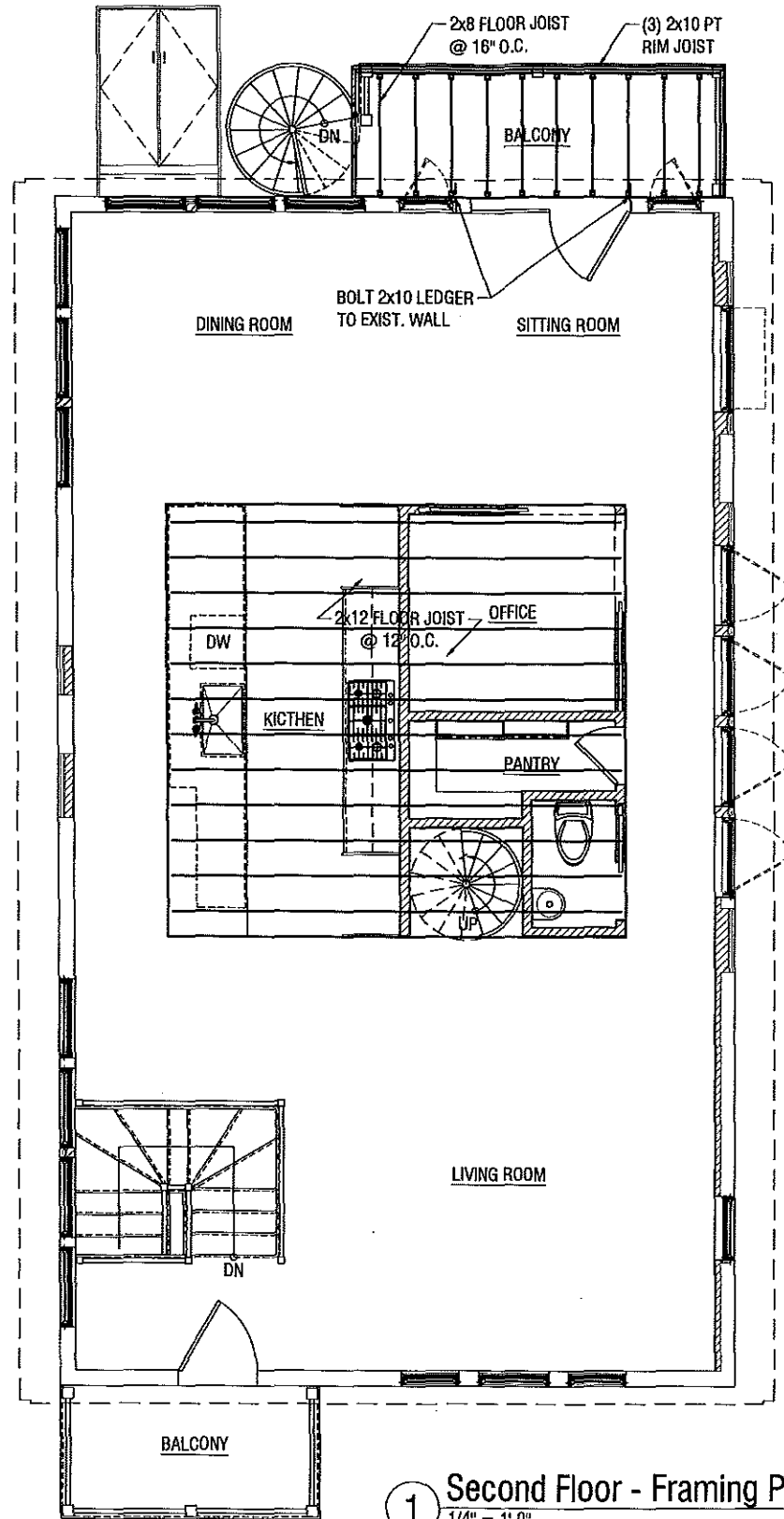
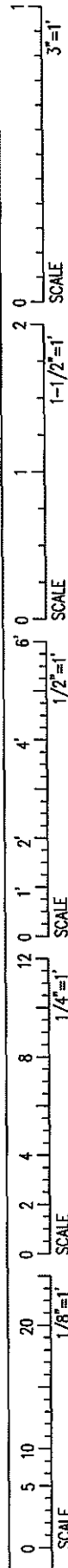
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NO.	DATE	REVISIONS
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Date Issued: March 21st, 2018
Drawing Scale: 1/4" = 1'-0"
Framing & Foundation Plan
Basement and First Floor

F1.00



Vabulas Residence

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1	01/12/18	PRICING SET	
REVISIONS			

Date Issued: March 21st. 2018

Drawing Scale: 1/4" = 1'-0"

Framing Plan
Second Floor

F1.01

BZA-016152-2018

**Hom Sack • 64 Griswold Street • Cambridge, MA 02138-1012
617.868.4412 • hom.sack@gmail.com**

Tuesday, May 1, 2018

City of Cambridge
Board of Zoning Appeal (BZA)
831 Massachusetts Avenue
Cambridge, MA 02139

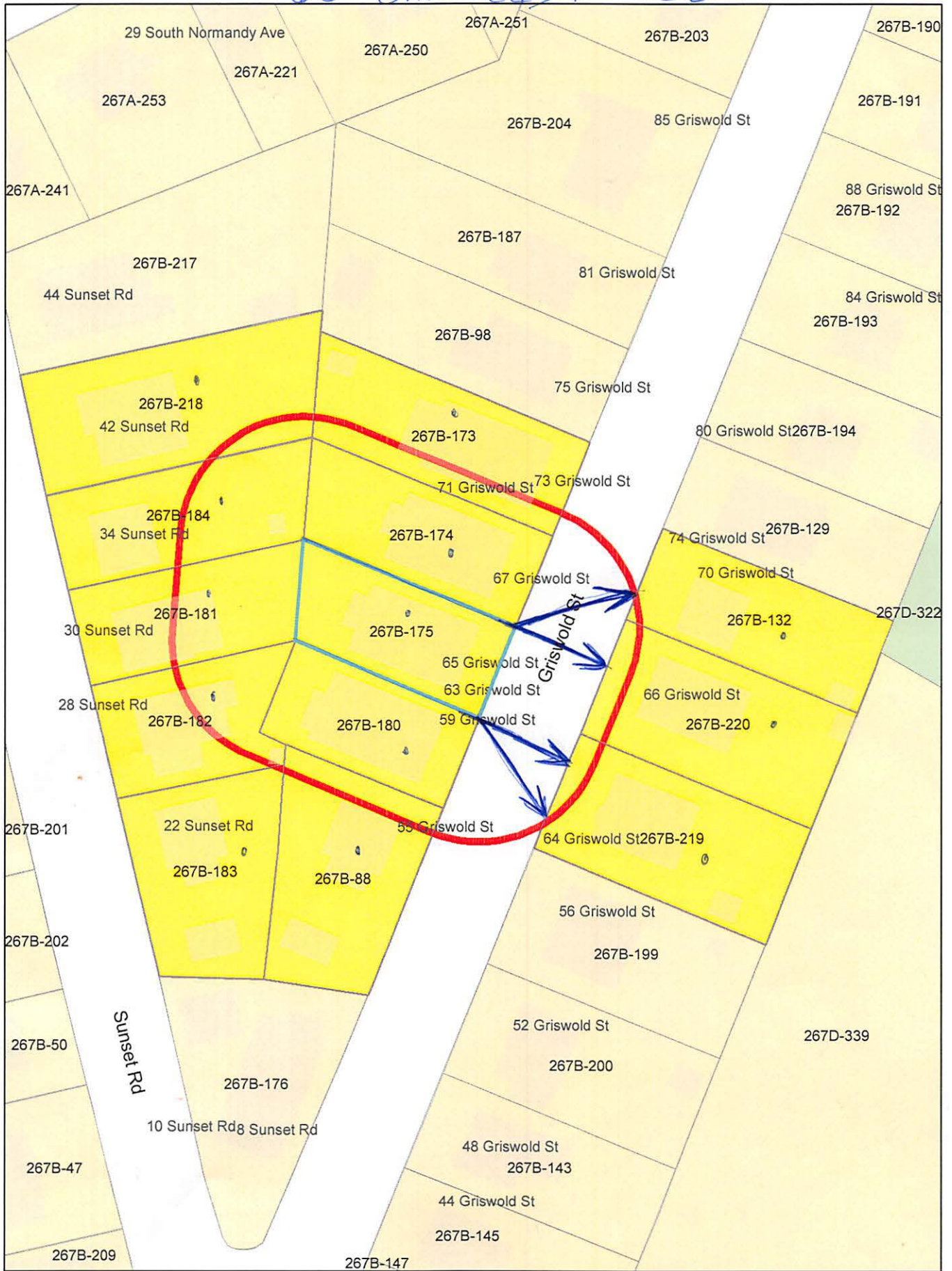
Dear BZA,

In regards to Shinichiro Fuse and Myung-Hee Vabulas's variance petition to convert their two-family at 63-65 Griswold Street to a single family house, I have seen the architectural proposal. Consequently, I think the change will better accommodate the needs of their family. Therefore, I wish to add my support.

Thank you,

Hom

65 Griswold Street



65 Griswold St.

Petitioner

267B-88
HOOKER, MARY ELIZABETH
55 GRISWOLD ST.
CAMBRIDGE, MA 02138

267B-132
MADDEN, SHERLY A.
70 GRISWOLD ST
CAMBRIDGE, MA 02138

MICHAEL KIM ASSOCIATES
C/O MICHAEL KIM
1 HOLDEN STREET #3
BROOKLINE, MA 02445

267B-175
VABULAS, MYUNG-HEE & SHINICHIRO FUSE
65 GRISWOLD ST
CAMBRIDGE, MA 02138

267B-181
GREEN, ESME E. & CHRISTOPHER J. PERRY
30 SUNSET RD
CAMBRIDGE, MA 02138

267B-182
MISTACCO, VICKI E.
28 SUNSET RD.
CAMBRIDGE, MA 02138

267B-183
PAN, PAMELA S.
47 WINDSWEPT RD
HOLMDEL, NJ 07733

267B-184
NOLAN, JOHN F JR & NOLEN, EILEEN F.
34 SUNSET RD
CAMBRIDGE, MA 02138

267B-218
CARLSON, NANCY B. & THOMAS R. CORWIN
42 SUNSET RD
CAMBRIDGE, MA 02138

267B-219
SACK, HOM KWONG
64 GRISWOLD ST
CAMBRIDGE, MA 02138

267B-220
XIONG, DAVID & LING LI
66 GRISWOLD
CAMBRIDGE, MA 02138

267B-174
HARTEVELDT, ANDREW W.
67-69 GRISWOLD ST., UNIT #67
CAMBRIDGE, MA 02139

267B-174
LITTLE, JOHN & JENNIFER SMITH
67-69 GRISWOLD ST., #69
CAMBRIDGE, MA 02138

267B-180
59-61 GRISWOLD REALTY LLC
375 HILLCREST RD.
NEEDHAM, MA 02492

267B-180
SCOTT, REBACCA A.
59-61 GRISWOLD ST. UNIT 2
CAMBRIDGE, MA 02139

267B-173
TENNIS, JOHN W. ANN M. TENNIS
71 GRISWOLD ST
CAMBRIDGE, MA 02138