

HATHAWAY LOFTS

15-33 RICHDALE AVENUE, CAMBRIDGE MA 02140



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ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
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Boston, MA 02210
617 350-0450 Tel
617 350-0215 Fax
www.bhplus.com

PROJECT NAME

Hathaway Lofts

15-33 Richdale Avenue
Cambridge, MA 02140

CLIENT

**Hathaway
Partners, LLC.**

30 Brattle Street, 4th Floor
Cambridge, MA 02138
617 864-8200

PROJECT TEAM

CIVIL ENGINEER
Design Consultants, Inc.
120 Middlesex Avenue Suite 20
Somerville, MA 02145
617 776-3350

LANDSCAPE ARCHITECT
Kyle Zick Landscape Architecture,
Inc.
36 Bromfield Street Suite 202
Boston, MA 02108
617 451-1018

STRUCTURAL ENGINEER
Veitas & Veitas Engineers, Inc.
639 Granite Street
Braintree, MA 02184
781 843-2863

**MEP & FIRE PROTECTION
ENGINEERS**
Allied Consulting Engineering
Services, Inc.
215 Boston Post Road
Sudbury, MA 01776
978 443-7888

REVISIONS

| NO. | DATE | DESCRIPTION |
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DRAWING TITLE

Cover Sheet

DRAWING INFORMATION

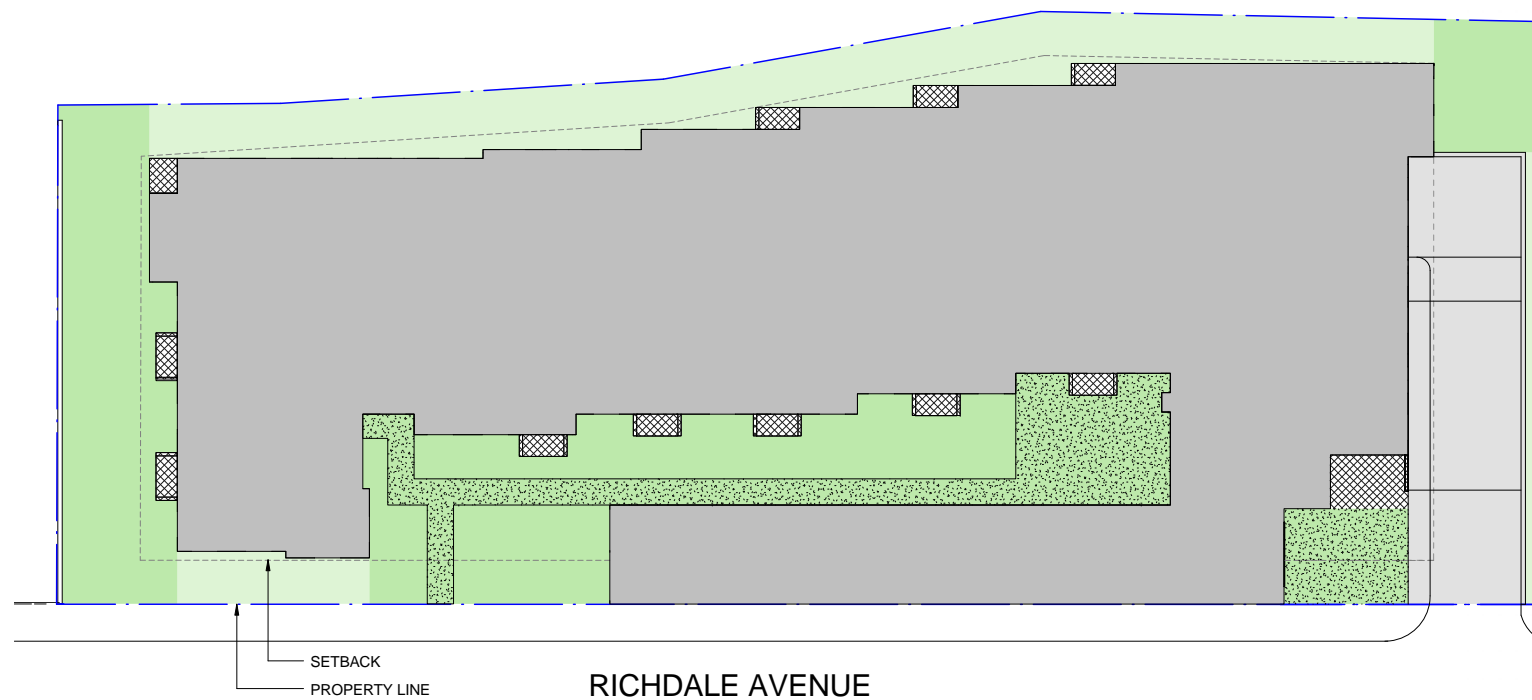
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| September 3, 2013 | |
| DATE OF ISSUE | |
| Special Permit Application | |
| DESCRIPTION | |
| N.T.S. | MRV |
| SCALE | DRAWN BY |
| 3143 | 3143_Richdale_Ave.rvt |
| PROJECT # | FILE NAME |
| Printed on Konica 360 EP/RGB 90% | |

DRAWING NUMBER

A000

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COMMUTER RAIL



- LEGEND**
- PROPOSED BUILDING
 - ▨ BALCONY OR OVERHANG
 - INELIGIBLE OPEN SPACE
 - OPEN SPACE
 - ▨ OPEN SPACE - IMPERVIOUS
 - OPEN SPACE LESS THAN 15'-0" IN WIDTH (EXCLUDED IN CALCULATIONS)

OPEN SPACE CALCULATIONS

| | REQUIRED | PROPOSED | CALCULATED |
|----------------------|---------------------------|----------|------------|
| PRIVATE OPEN SPACE | 15% | 21% | 9,015 SF |
| PERMEABLE OPEN SPACE | 50% OF PRIVATE OPEN SPACE | 70% | 6,308 SF |

1 Open Space Plan and Calculations

DIMENSIONAL FORM

Project Address: 15-33 Richdale Avenue

Application Date: September 3, 2013

| | Existing | Allowed or Required (max/min) | Proposed | Permitted |
|--------------------------------|----------|-------------------------------|---------------|-----------|
| Lot Area (sq ft) | 42,043 | 5,000 | 42,043 | |
| Lot Width (ft) | 337 | 50 | 337 | |
| Total Gross Floor Area (sq ft) | 61,056 | 68,320 | 68,320 | |
| Residential Base | 0 | 52,554 | 52,554 | |
| Non-Residential Base | 61,056 | 0 | 0 | |
| Inclusionary Housing Bonus | 0 | 15,766 | 15,766 | |
| Total Floor Area Ratio | | | | |
| Residential Base | - | 1.25 | 1.25 | |
| Non-Residential Base | 1.45 | 0 | 0 | |
| Inclusionary Housing Bonus | - | 0.30 | 0.30 | |
| Total Dwelling Units | 0 | 54 | 54 | |
| Base Units | - | 42 | 42 | |
| Inclusionary Bonus Units | - | 6 | 6 | |
| Base Lot Area / Unit (sq ft) | - | 1,000 | 1,001 | |
| Total Lot Area / Unit (sq ft) | - | - | 779 | |
| Building Height(s) (ft) | +/- 30 | 45 | 45 | |
| Front Yard Setback (ft) | 0 | 10 | new = 10 | |
| Side Yard Setback – Side? (ft) | 0 | 19 | 19 | |
| Side Yard Setback – Side? (ft) | 53 | 24 | 24 | |
| Rear Yard Setback (ft) | 3 to 13 | 65 | 10 minimum | |
| Open Space (% of Lot Area) | | | | |
| Private Open Space | 0 | 15% | 21% | |
| Permeable Open Space | 0 | 50% of P.O.S. | 70% of P.O.S. | |
| Other Open Space (Specify) | 0 | - | - | |
| Off-Street Parking Spaces | 20 | 54 | 54 | |
| Bicycle Parking Spaces | 0 | 56 | 56* | |
| Loading Bays | 1 | n/a | 0 | |

Use space below and/or attached pages for additional notes:

* 56 Long term bike parking spaces will be provided in garage. In addition, 6 Short term bike parking spaces will be provided next to building entrance.

CITY OF CAMBRIDGE, MA • PLANNING BOARD • SPECIAL PERMIT APPLICATION

ARCHITECT
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 300 A Street
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 978 443-7888

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DRAWING TITLE
Special Permit Application and Open Space Diagram

DRAWING INFORMATION

September 3, 2013
 DATE OF ISSUE
 Special Permit Application
 DESCRIPTION
 1" = 20'-0" MRY CL
 SCALE DRAWN BY
 3143 3143_Richdale_Ave.rvt
 PROJECT # FILE NAME
 Printed on Konica 360 EPWGB 90%

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A001



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 978 443-4636

REVISIONS

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EXISTING CONDITIONS

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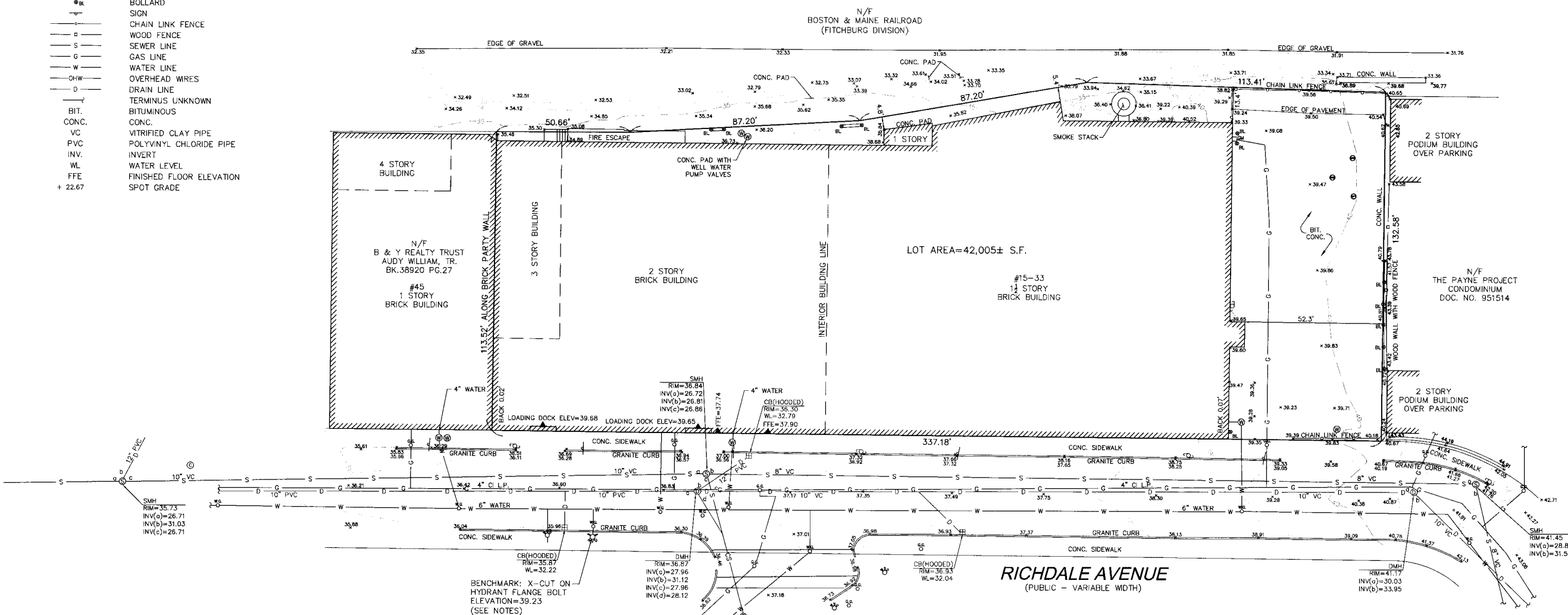
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| Progress Drawings | |
| DESCRIPTION | |
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| PROJECT # | FILE NAME |
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C1.0

LEGEND

- UTILITY POLE
- ⊕ HYDRANT
- ⊕ WATER SHUT OFF
- ⊕ WATER GATE
- ⊕ WATER MANHOLE
- ⊕ MONITORING WELL
- ⊕ CATCH BASIN (CB)
- ⊕ DRAIN MANHOLE (DMH)
- ⊕ SEWER MANHOLE (SMH)
- ⊕ UNKNOWN MANHOLE
- ⊕ GAS GATE
- ⊕ GAS METER
- ⊕ BOLLARD
- ⊕ SIGN
- CHAIN LINK FENCE
- WOOD FENCE
- SEWER LINE
- GAS LINE
- WATER LINE
- OVERHEAD WIRES
- DRAIN LINE
- TERMINUS UNKNOWN
- BIT. BITUMINOUS
- CONC. CONCRETE
- VC VITRIFIED CLAY PIPE
- PVC POLYVINYL CHLORIDE PIPE
- INV. INVERT
- WL WATER LEVEL
- FFE FINISHED FLOOR ELEVATION
- + 22.67 SPOT GRADE

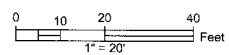


PLAN REFERENCES

- L.C. PLAN NO. 10925A
- L.C. PLAN NO. 2930
- PL. 104 OF 1972

LOCUS TITLE INFORMATION

15-33 RICHDALE AVENUE
 OWNER: HATHAWAY PARTNERS, LLC
 DEED REFERENCE: BK. 61730 PG. 177
 PLAN REFERENCE: PL. 104 OF 1972
 ASSESSORS: PARCEL ID 178-122



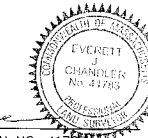
NOTES

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE BASE DATUM.
 ABUTTERS INFORMATION WAS TAKEN CITY OF CAMBRIDGE ASSESSORS RECORDS ON JULY 1, 2013.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN JUNE 21 & JULY 9, 2013, BY DESIGN CONSULTANTS, INC.

P.L.S. *Everett J. Chandler*
 EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783
 DATE 7/12/13



PROJECT NAME AND LOCATION

DESCRIPTION

THE APPLICANT PROPOSES TO _____

SOIL CHARACTERISTICS

THE EXISTING SITE IS PRESENTLY PREDOMINANTLY DEVELOPED. THE UNDERLYING SOILS CONSIST _____

SEQUENCE OF MAJOR ACTIVITIES

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY _____ ± ACRES.

1. INSTALL EROSION CONTROLS, CLEAR AND GRUB SITE.
2. STRIP AND STOCKPILE TOPSOILS.
3. CLEAR & GRUB, REMOVE PAVEMENT, FENCES, ETC.
4. CONSTRUCT BUILDING AND UTILITIES.
5. CONSTRUCT PAVEMENT DRAINAGE SYSTEMS AND FINAL STABILIZATION OF SITE.
6. CONSTRUCT LANDSCAPING.
7. REMOVE EROSION CONTROLS.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

1. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
2. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

1. TEMPORARY SEEDING.
2. MULCHING.
3. STONE RIP-RAP.
4. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSES TO THE SITE AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE AND SILT FENCES SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTHWORKS WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

STABILIZED CONSTRUCTION ENTRANCE

1. SPECIFICATIONS
 - A. AGGREGATE SIZE: USE TWO (2) INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
 - C. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
 - D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
 - E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.
2. MAINTENANCE
 - A. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

WASTE DISPOSAL

1. WASTE MATERIALS
 - A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LOADED RECEIPTABLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
 - A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION

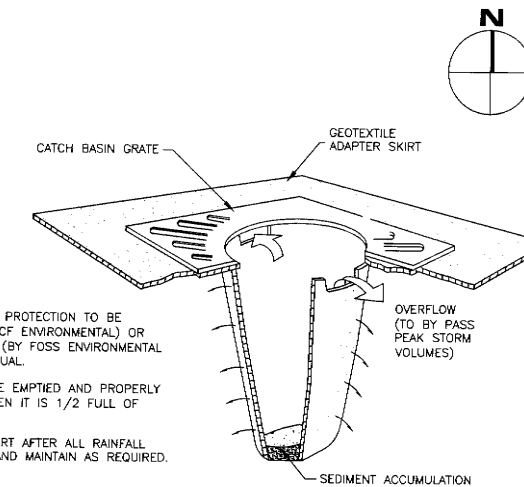
1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
2. AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW/FALL AFTER EACH STORM EVENT.

DUST CONTROL

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJACENT AREAS.

ADDITIONAL NOTES FOR DRAINAGE INFILTRATION SYSTEMS

1. THE CONTRACTOR SHALL INSURE NO SEDIMENT ENTERS THE INFILTRATION BASINS DURING CONSTRUCTION. ADDITIONALLY NO SEDIMENT SHALL BE ALLOWED INTO THE DRAINAGE SYSTEM UPON COMPLETION OF THE SYSTEM. ALL SILTATION BARRIERS SHALL BE INSPECTED DAILY AND CLEANED AND MAINTAINED. SILT SACKS SHOULD BE REPLACED 8-WEEKLY OR AFTER ANY STORM EVENT IN EXCESS OF 0.5 INCHES. WATER QUALITY UNITS SHALL BE INSPECTED DAILY AND UNITS SHALL BE CLEANED IF ANY EVIDENCE OF SEDIMENT.

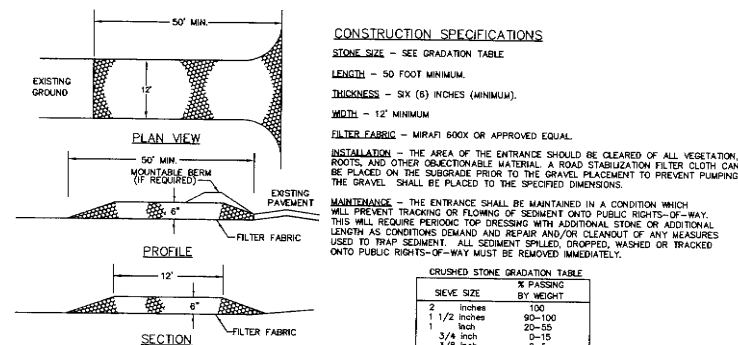


NOTES

1. CATCH BASIN PROTECTION TO BE "SILTSACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES) OR EQUAL.
2. INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
3. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

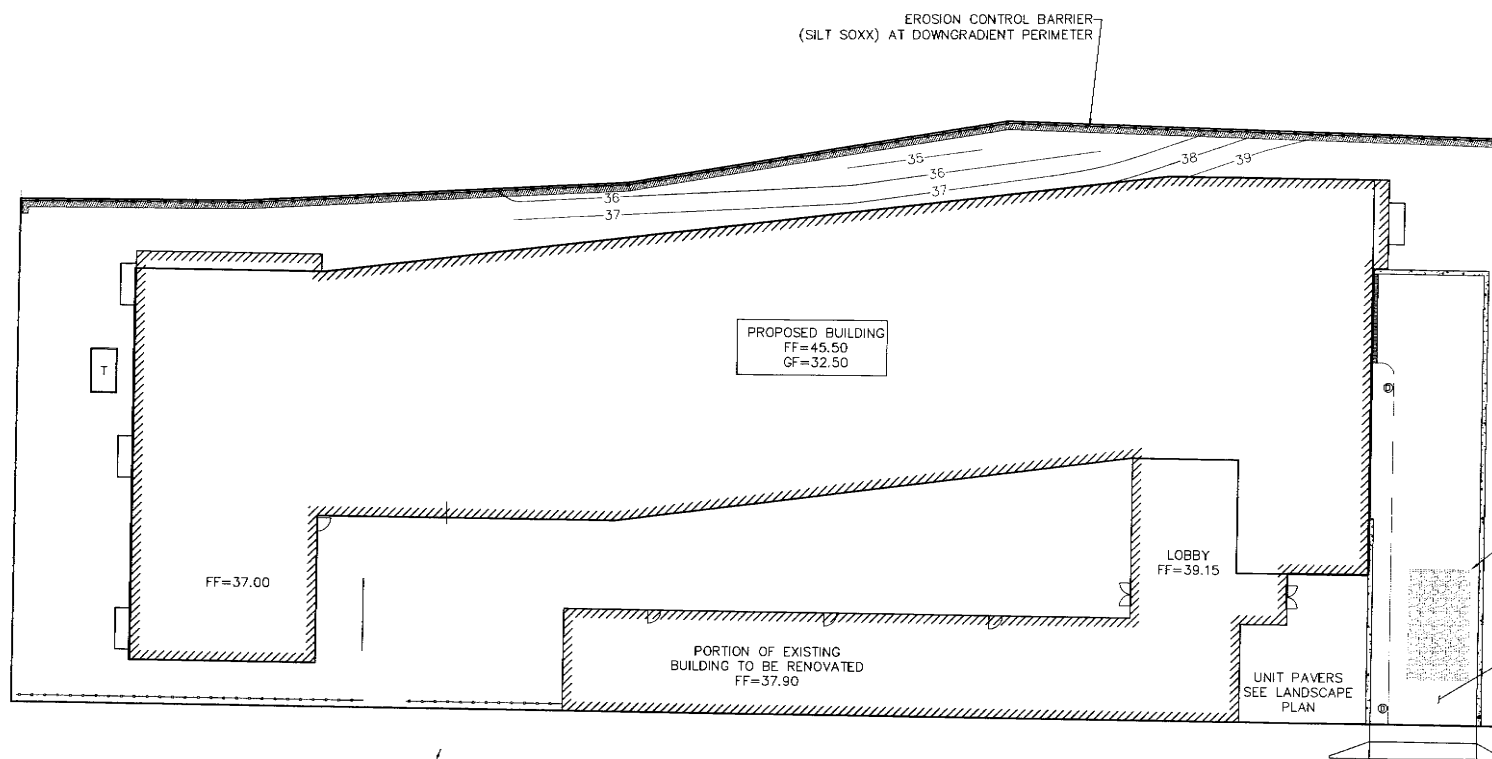
SILT SACK @ CATCH BASINS

NOT TO SCALE

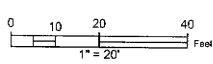


CONSTRUCTION ENTRANCE

NOT TO SCALE



INSTALL SILT SACK INLET SEDIMENT PROTECTION FOR DURATION OF CONSTRUCTION ACTIVITIES, TYPICAL



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DRAWING TITLE

SEDIMENT AND EROSION CONTROL PLAN (DRAFT)

DRAWING INFORMATION

DRAFT

August 2, 2015
DATE OF ISSUE
Progress Drawings
DESCRIPTION
SCALE: _____ DRAWN BY: _____
3143 3143_Richdale_Ave.dwg
PROJECT# _____ FILE NAME: _____

DRAWING NUMBER

C1.1

GENERAL NOTES:

- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET R.O.W. OR ON ABUTTING LOTS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE LOCATION OF EACH PROPOSED UTILITY CONNECTION.
- THE CITY OF CAMBRIDGE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) MAY NOT BE PART OF DIG-SAFE. THE CONTRACTOR SHALL CONTACT THE CITY OF CAMBRIDGE FOR THE MARKING OF CAMBRIDGE MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO PERFORM ALL WET AND/OR DRY TAPS AS PART OF THIS CONTRACT.
- NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF CAMBRIDGE.
- A DYE TEST SHALL BE PERFORMED BY A CITY OF CAMBRIDGE INSPECTOR PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
- THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
- THE CITY OF CAMBRIDGE RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO STANDARDS OF THE CITY OF CAMBRIDGE, DEPARTMENT OF PUBLIC WORKS AND ANY OTHER AGENCY OR BODY WITH AUTHORITY IN THIS AREA.
- ALL EXISTING UTILITY SERVICE CONNECTIONS, SEWER DISPOSAL FACILITIES, AND WELLS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF EACH CONNECTION. THE WATER, DRAIN, AND SEWER SERVICES SHALL BE CAPPED AND CUT AT THE MAIN IN THE STREET BY THE CONTRACTOR. ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANY.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE APPROXIMATE AND THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. (SEE MECHANICAL ENGINEER PLANS)
- CONTRACTOR SHALL ADJUST ALL GATES, SERVICE BOXES, ETC. WITHIN THE RECONSTRUCTION OF THE SIDEWALK AREA.
- FOR ZONING REQUIREMENTS AND SETBACK INFORMATION, SEE ARCHITECTURAL DRAWING AND ZONING COMPLIANCE PLAN.
- GRADES PROVIDED ARE INTERPOLATED FROM EXISTING CONDITIONS SURVEY. CONTRACTOR SHALL MEET THE EXISTING, UNEXCAVATED TOP OF CURB GRADE AND SIDEWALK GRADE AT THE LIMIT OF WORK.
- ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE BASE DATUM.

PIPE MATERIALS:

- DOMESTIC WATER SERVICE: CEMENT-LINED DUCTILE IRON (CLDI) CLASS 52 OR COPPER TYPE K (SIZE AND MATERIAL AS NOTED ON PLAN)
- FIRE SERVICE: CEMENT-LINED DUCTILE IRON (CLDI) CLASS 52 OR COPPER TYPE K (SIZE AND MATERIAL AS NOTED ON PLAN)
- SEWER SERVICE: PVC ASTM D3034-SDR 35 SIZE TO BE DETERMINED BY MEP SLOPE=0.020 FT/FT (MINIMUM)
- STORM DRAIN: PVC ASTM D3034-SDR 35 SIZE AS NOTED SLOPE=0.010 FT/FT (MINIMUM)

THRUST BLOCKS:

CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

SEWER CLEANOUTS & INTERNAL SEWER SERVICES:

THE OWNER SHALL FURNISH AND INSTALL ALL SEWER CLEANOUTS. EXACT LOCATION OF ALL SEWER CLEANOUTS AND INTERNAL SEWER SERVICES TO BE CONFIRMED/ COORDINATED BY MECHANICAL ENGINEER AND ARCHITECT.

PIPE COVER:

ALL WATER SERVICE AND WATER MAIN PIPING SHALL BE INSTALLED WITH A MINIMUM COVER OF FIVE (5) FEET THROUGHOUT.



ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
300 A Street
Boston, MA 02210
617 350-0450 Tel
617 350-0215 Fax
www.bhplus.com

PROJECT NAME

Hathaway Lofts

15-33 Richdale Avenue
Cambridge, MA 02140

CLIENT

Hathaway Partners LLC.

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Cambridge, MA 02138
617 864-8200
617 864-8201

PROJECT TEAM

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Design Consultants, Inc.
120 Middlesex Avenue Suite 20
Somerville, MA 02145
617 776-3350
617 776-7710

LANDSCAPE ARCHITECT

Kyle Zick Landscape Architecture, Inc.
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617 913-4663

STRUCTURAL ENGINEER

Vellaz & Vellaz Engineers, Inc.
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Braintree, MA 02184
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781 849-2065

MECHANICAL, ELECTRICAL, PLUMBING ENGINEERS

Allied Consulting Engineering Services, Inc.
215 Boston Post Road
Sudbury, MA 01776
978 443-7888
978 443-4636

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1 | | |
| 2 | | |
| 3 | | |
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| 5 | | |

DRAWING TITLE

SITE & UTILITY PLAN

DRAWING INFORMATION



September 3, 2013

DATE OF ISSUE

Progress Drawings

DESCRIPTION

SCALE

3143

PROJECT #

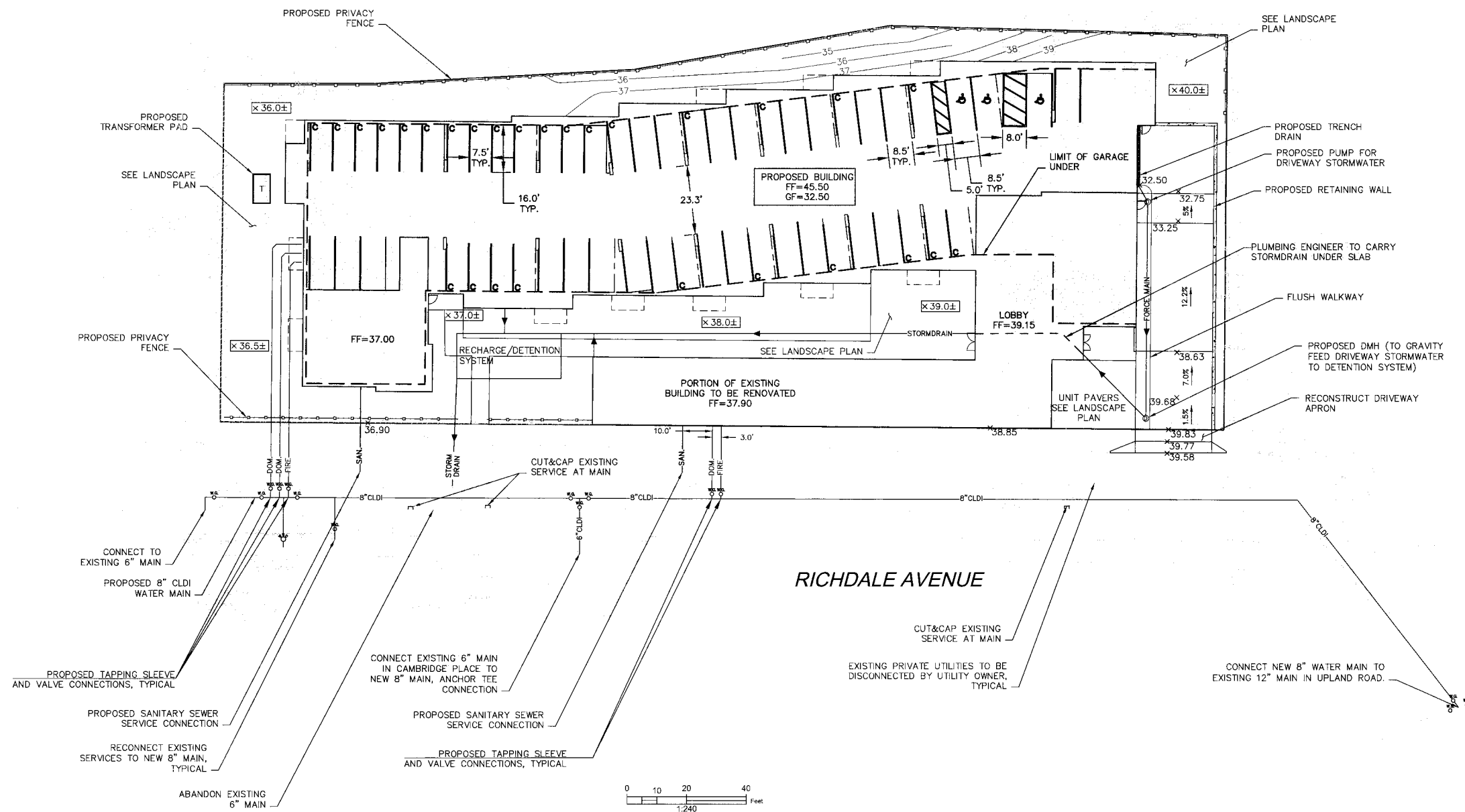
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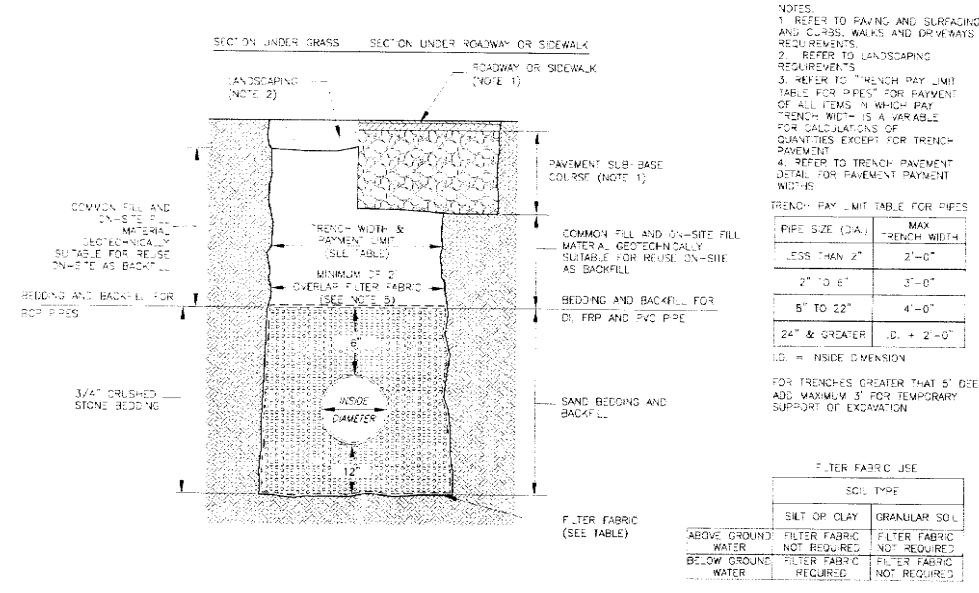
C2.0

Copyright BH+A, Inc.

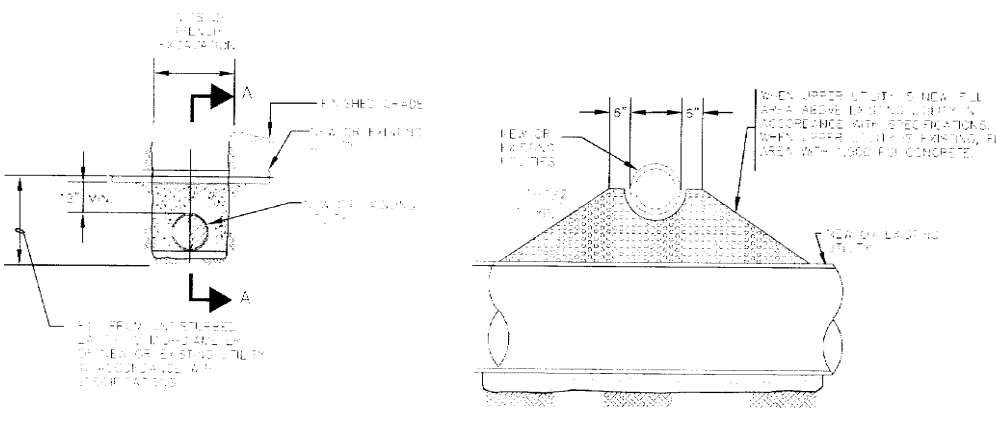
LEGEND

- S— SANITARY SEWER
- D— DRAIN LINE
- W— WATER LINE
- DOM— DOMESTIC WATER SERVICE
- FIRE— FIRE PROTECTION SERVICE
- E— ELECTRIC LINE
- G— GAS LINE
- T— TELEPHONE LINE
- 35— EXISTING CONTOUR
- 35— PROPOSED CONTOUR
- ⊙ SANITARY MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ CATCH BASIN
- ⊙ FIRE HYDRANT
- W.G. WATER GATE
- G.G. GAS GATE
- * 18.13 SPOT GRADE
- C CAMPACT PARKING SPACE
- ♿ HANDICAP PARKING SPACE

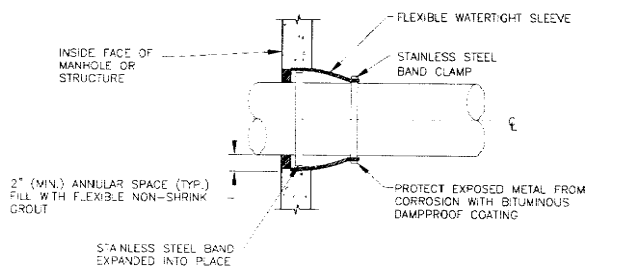




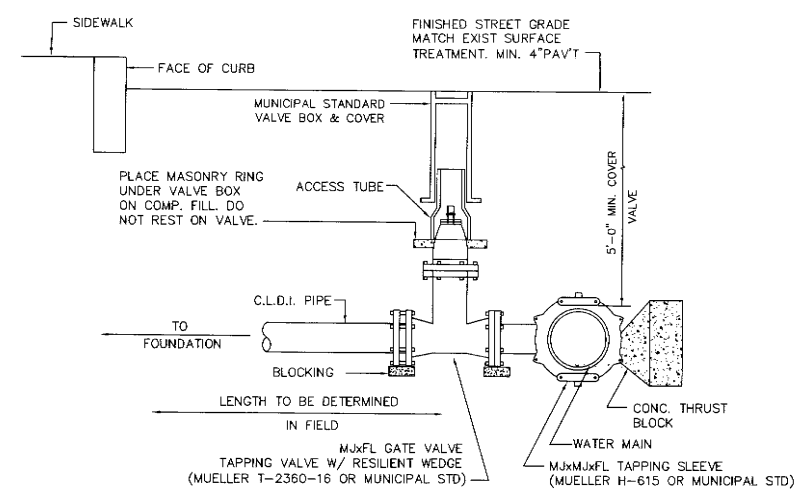
TRENCH DETAIL FOR SEWER AND DRAIN PIPES
NOT TO SCALE



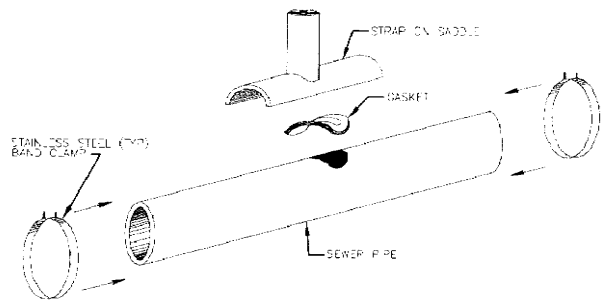
UTILITY CROSSING
NOT TO SCALE



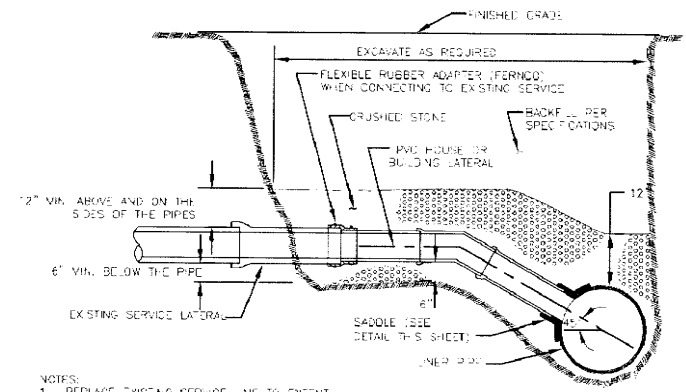
FLEXIBLE SLEEVE CONNECTION
NOT TO SCALE



WATER CONNECTION WITH WET TAP FOR 4 & 6 INCH SERVICE PIPE
NOT TO SCALE

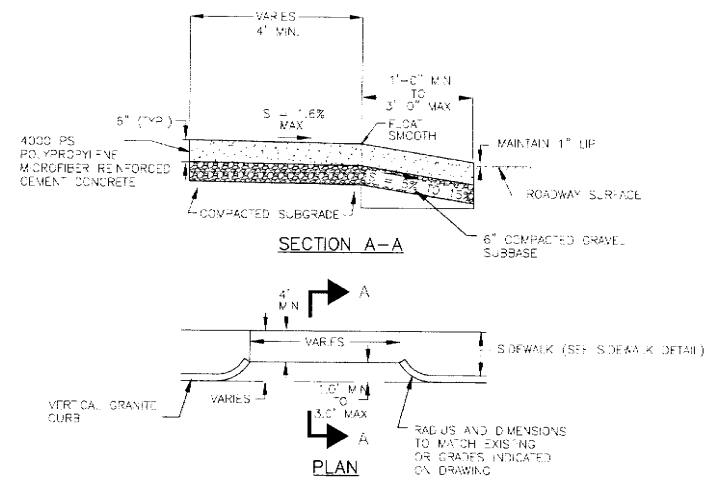


SADDLE CONNECTION - PLAN
NOT TO SCALE

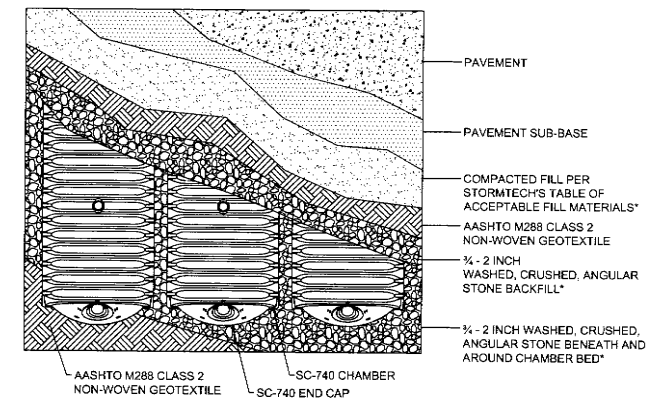


SADDLE CONNECTION - SECTION
NOT TO SCALE

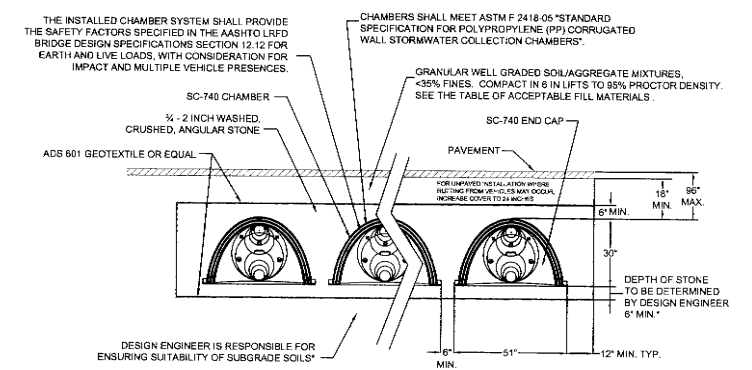
SADDLE CONNECTION FOR SEWER OR DRAIN
NOT TO SCALE



CEMENT CONCRETE DRIVEWAY APRON
NOT TO SCALE



STORMTECH SC-740 CHAMBER SYSTEM PLAN VIEW DETAIL
NOT TO SCALE



INFILTRATION/DETENTION SYSTEM
NOT TO SCALE

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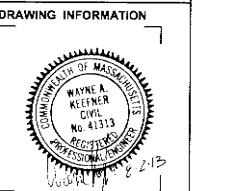
STRUCTURAL ENGINEER
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781 843-2095

MECHANICAL, ELECTRICAL, PLUMBING ENGINEERS
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215 Boston Post Road
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REVISIONS

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DRAWING TITLE
DETAILS



August 2, 2013
DATE OF ISSUE
Progress Drawings
DESCRIPTION
SCALE
DRAWN BY
3143
3143, Richdale Ave. v1
PROJECT #
FILE NAME

DRAWING NUMBER

C3.0

ARCHITECT

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PROJECT NAME

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617 864-8201

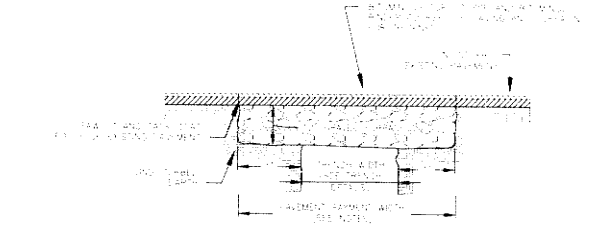
PROJECT TEAM

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978 443-4636



- NOTES:
1. PAVEMENT TRENCH PAVEMENT PATCH SHALL BE THE THICKER PATCH WITH 10% FIBER
 2. PAVEMENT TRENCH SHALL BE PATCHED WITH THE THICKER PATCH WITH 10% FIBER
 3. REMOVE ALL EXISTING PAVEMENT AND SUBGRADE AS REQUIRED. SET THE PATCH AND SUBGRADE TO THE REQUIRED GRADE TO PERMANENT FINISH ELEVATION.

PAVEMENT TRENCH PATCH
NOT TO SCALE

REVISIONS

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| 5 | DATE |

DRAWING TITLE

DETAILS

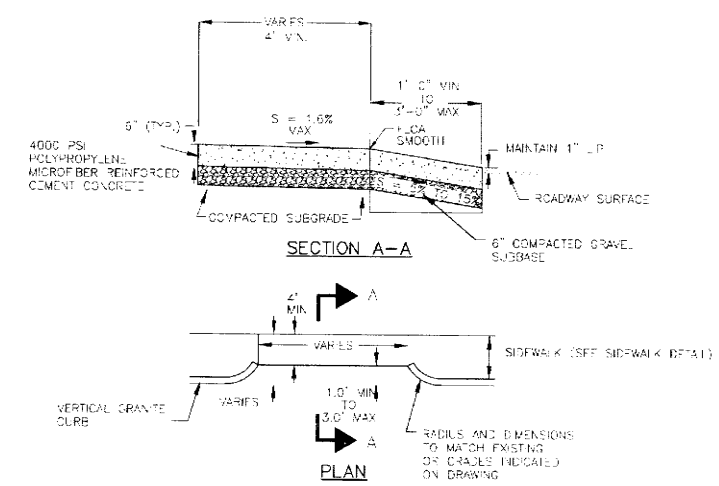
DRAWING INFORMATION



August 2, 2013
DATE OF ISSUE
Progress Drawings
DESCRIPTION
RLB
SCALE
3/4" = 1'-0"
DRAWN BY
3143
PROJECT #
1543_Richdale_Ave.rvt
FILE NAME

DRAWING NUMBER

C3.1



CEMENT CONCRETE DRIVEWAY APRON
NOT TO SCALE



REVISIONS

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DATE

DRAWING TITLE
Landscape Plan

DRAWING INFORMATION

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|-------------------|-------------|
| August 13, 2013 | |
| DATE OF ISSUE | |
| Progress Drawings | |
| DESCRIPTION | |
| 1"=20'-0" | YJL |
| SCALE | DRAWN BY |
| 3143 | xx-site.dwg |
| PROJECT # | FILE NAME |

DRAWING NUMBER

L-01



Trees



Honey Locust



Himalayan Birch

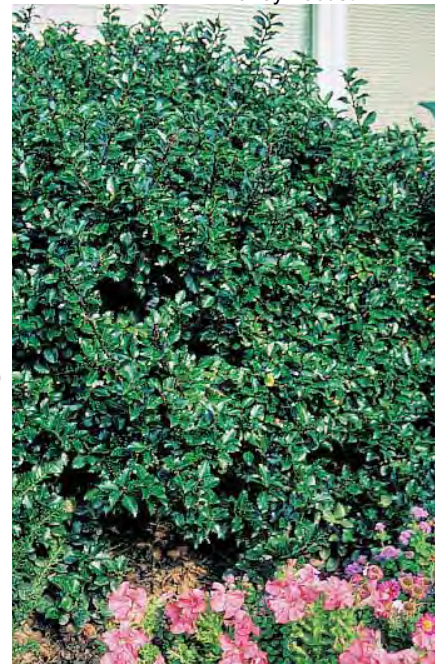


Sargent Cherry



Seven Sons Tree

Shrubs



Blue Prince Holly



Hydrangea



Witchhazel



Stephandra



Inkberry

Perennials



Coneflower



Daylily



Karl Foerester Grass



Ostrich Fern



White Astilbe



Liriope



Lady Fern

D:\Projects\3143_Richdale_Ave_young.plt
7/8/2013 10:50:31 AM MRY

ARCHITECT



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PROJECT NAME

Hathaway Lofts

15-33 Richdale Avenue
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Partners LLC.

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978 443-4636

REVISIONS

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| 5 | DATE |

DRAWING TITLE

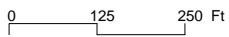
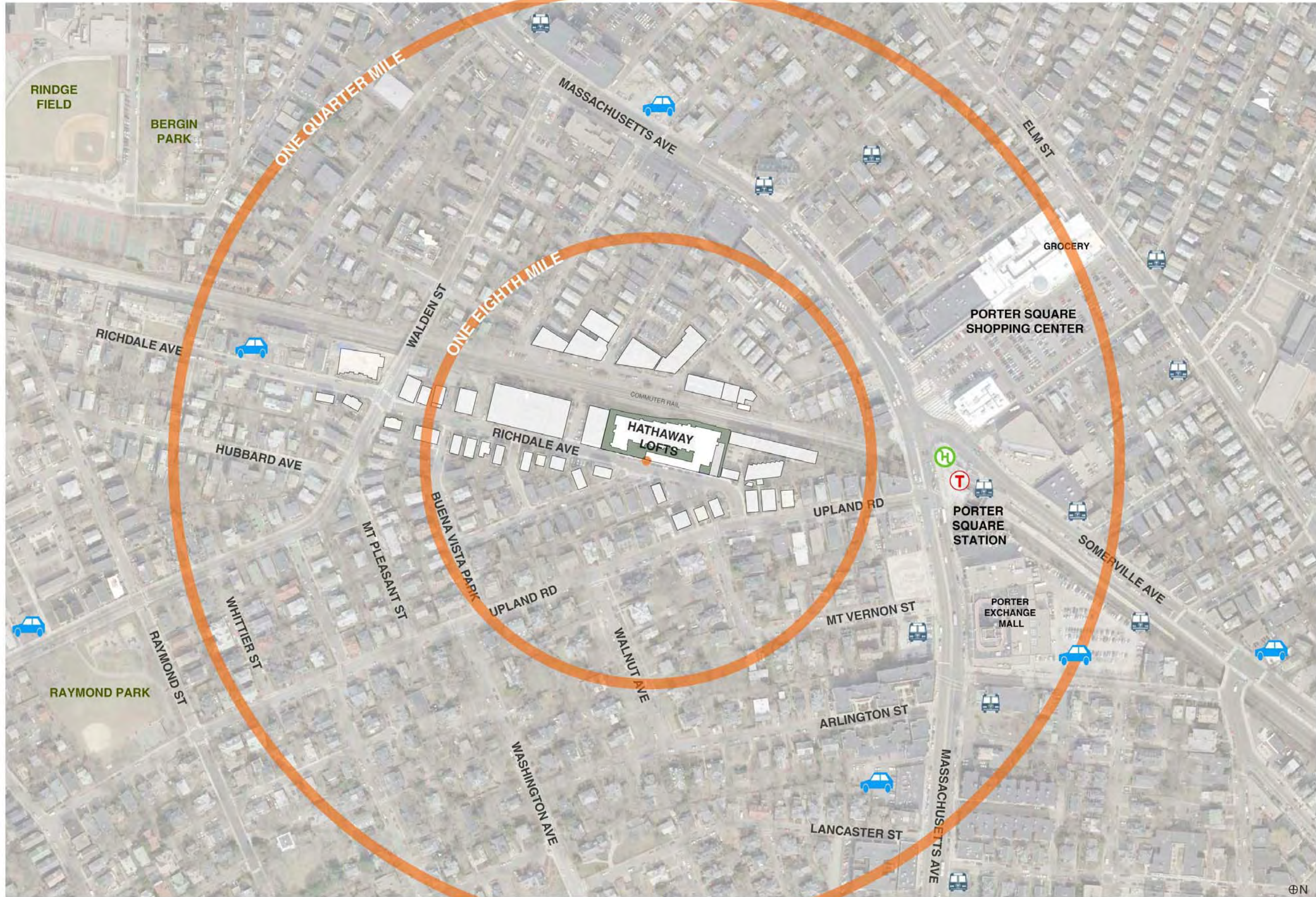
Plant Materials

DRAWING INFORMATION

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| August 2, 2013 | |
| DATE OF ISSUE | |
| Progress Drawings | |
| DESCRIPTION | |
| N/A | Y.J.L. |
| SCALE | DRAWN BY |
| 3143 | on-site.dwg |
| PROJECT # | FILE NAME |

DRAWING NUMBER

L-02



-  MBTA Rail Station
-  MBTA Bus Stop
-  Bike Share Hub
-  Car Share Location

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 www.bhplus.com

PROJECT NAME
Hathaway Lofts
 15-33 Richdale Avenue
 Cambridge, MA 02140

CLIENT
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 Braintree, MA 02184
 781 843-2863

MEP & FIRE PROTECTION ENGINEERS
 Allied Consulting Engineering Services, Inc.
 215 Boston Post Road
 Sudbury, MA 01776
 978 443-7888

REVISIONS

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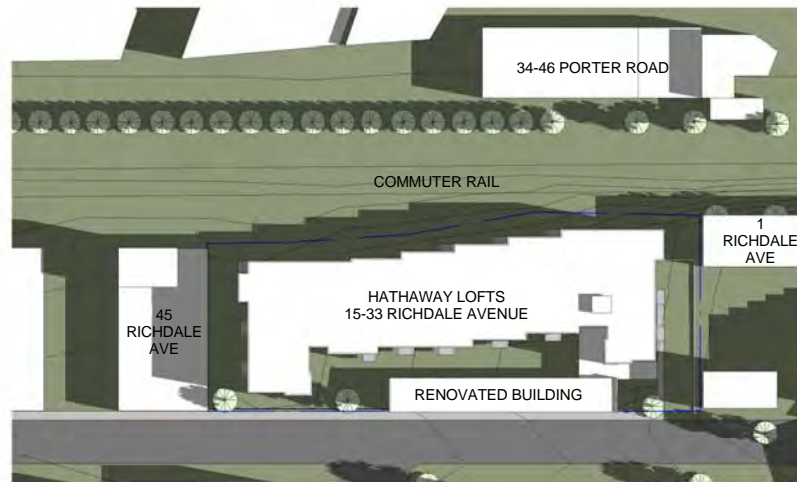
DRAWING TITLE
Site Context Plan

DRAWING INFORMATION

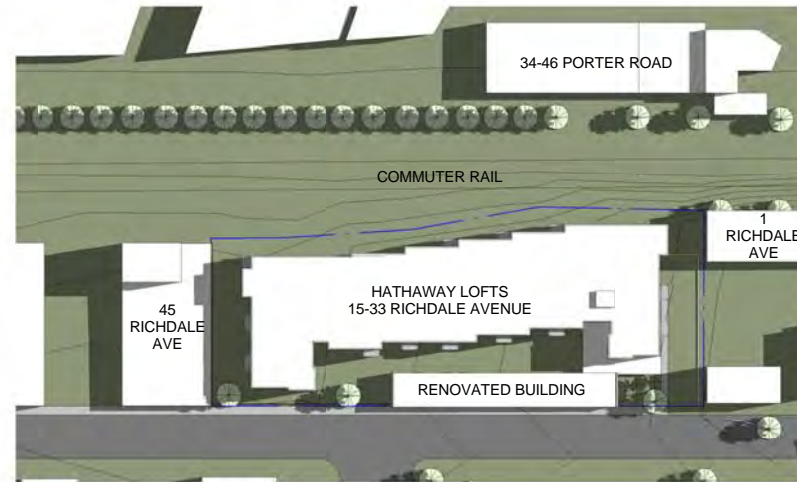
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| September 3, 2013 | |
| DATE OF ISSUE | |
| Special Permit Application | |
| DESCRIPTION | |
| 1" = 125' | MRY |
| SCALE | DRAWN BY |
| 3143 | 3143_Richdale_Ave.rvt |
| PROJECT # | FILE NAME |
| Printed on Konica 360 EPWGB 90% | |

DRAWING NUMBER

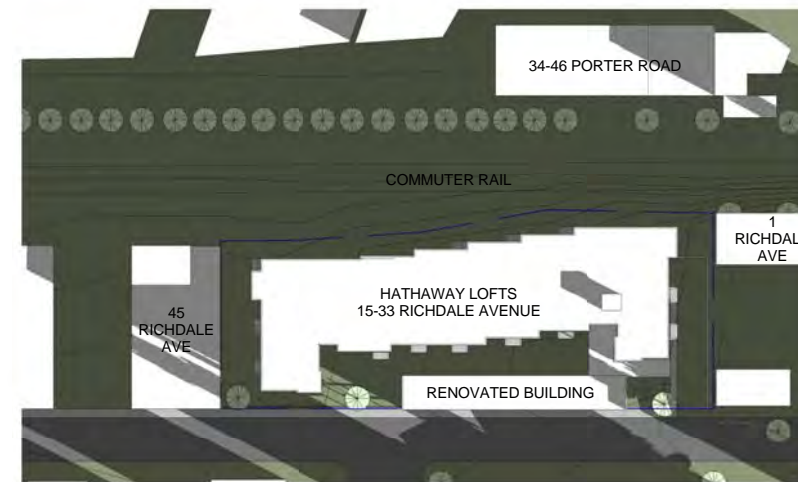
AS100



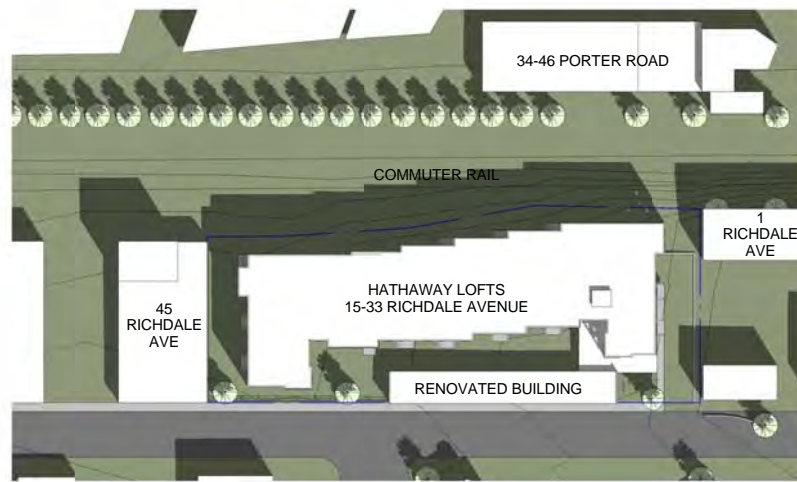
1A March 21 9 am



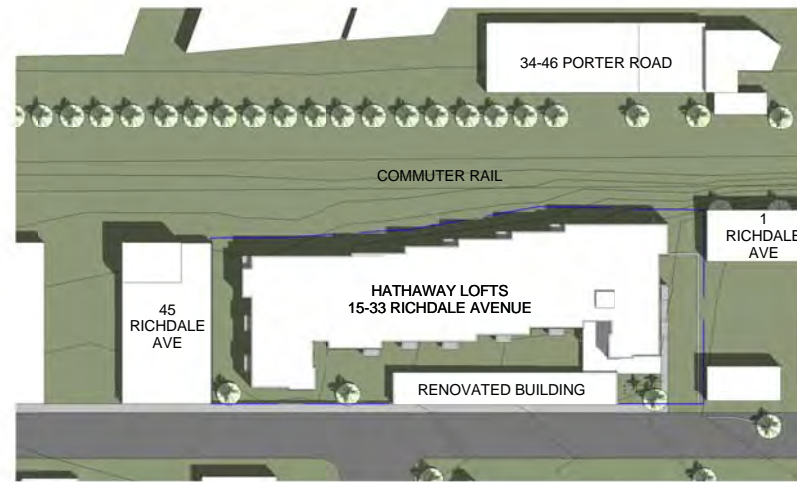
2A June 21 9 am



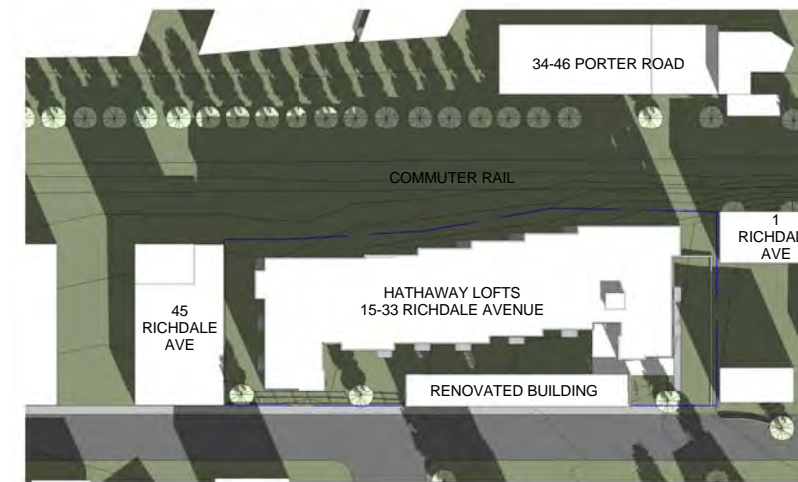
3A December 21 9 am



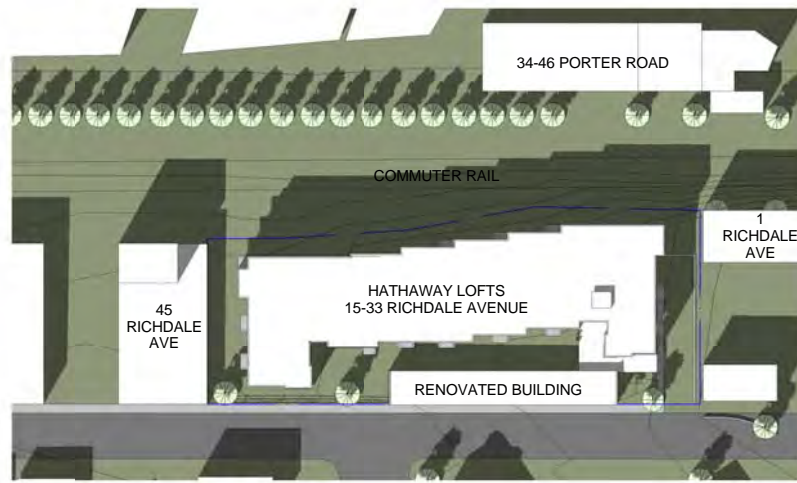
1B March 21 12 pm



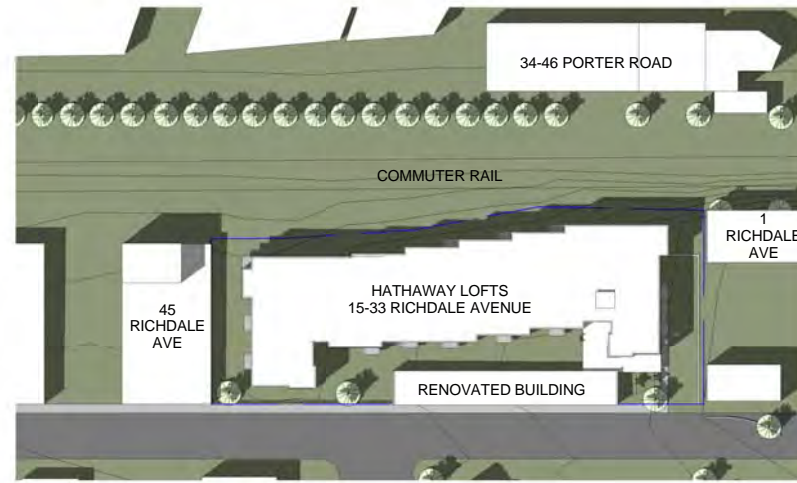
2B June 21 12 pm



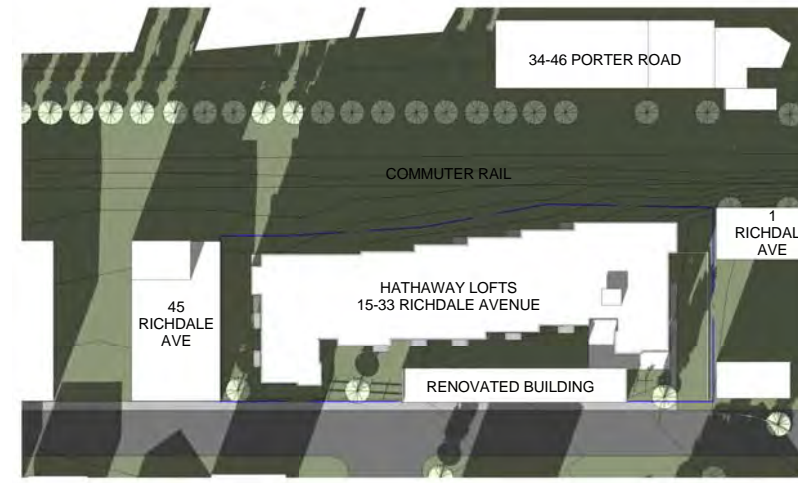
3B December 21 12 pm



1C March 21 3 pm

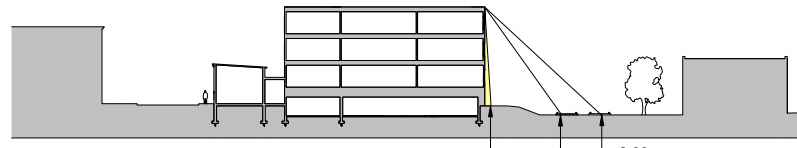


2C June 21 3 pm

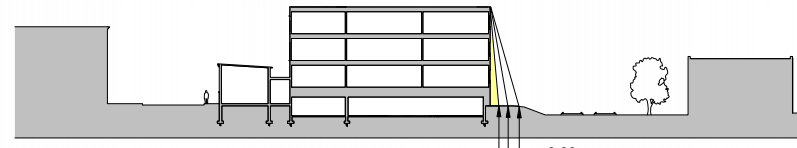


3C December 21 3 pm

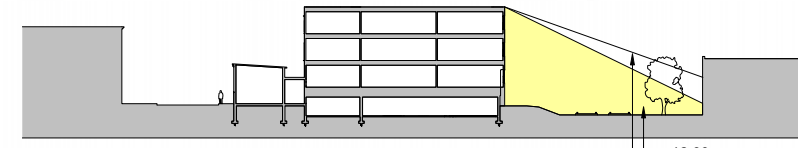
THIS DIAGRAM REPRESENTS THE MOST EXTREME ANNUAL SHADING SCENARIO.



1D Section Showing Shadows Cast March 21
1" = 40'-0"



2D Section Showing Shadows Cast June 21
1" = 40'-0"



3D Section Showing Shadows Cast December 21
1" = 40'-0"

REVISIONS

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DATE

DRAWING TITLE
Shadow Studies

DRAWING INFORMATION

| | |
|----------------------------------|-----------------------|
| September 3, 2013 | |
| DATE OF ISSUE | |
| Special Permit Application | |
| DESCRIPTION | |
| 1" = 40'-0" | MRY |
| SCALE | DRAWN BY |
| 3143 | 3143_Richdale_Ave.rvt |
| PROJECT # | FILE NAME |
| Printed on Konica 360 EP/RGB 90% | |

DRAWING NUMBER

AS101



1 Existing Building Looking East on Richdale Avenue



2 Existing Building Looking West on Richdale Avenue



3 Existing Loading Dock



4 Existing Building Entrance



5 Existing Center Bays



6 Existing End Bays



7 Rear Side of Existing Building Showing Areas of Repaired Facade Failure



8 Existing Building Looking East on Rail Road Right-of-Way



9 Existing Building Looking West on Rail Road Right-of-Way

ARCHITECT
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PROJECT NAME
Hathaway Lofts

15-33 Richdale Avenue
 Cambridge, MA 02140

CLIENT
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MEP & FIRE PROTECTION ENGINEERS
 Allied Consulting Engineering
 Services, Inc.
 215 Boston Post Road
 Sudbury, MA 01776
 978 443-7888

REVISIONS

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| 1 | |
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| 5 | DATE |

DRAWING TITLE
Existing Building Photos

DRAWING INFORMATION

September 3, 2013
 DATE OF ISSUE
 Special Permit Application
 DESCRIPTION
 N.T.S. MRV
 SCALE DRAWN BY
 3143 3143_Richdale_Ave.rvt
 PROJECT # FILE NAME
 Printed on Konica 360 EP100B 90%

DRAWING NUMBER

X001



1 Looking West from Upland Road



2 Looking West Along Richdale Avenue



3 Property Across the Street from Existing Building



4 General Residential Context Across the Street from Existing Building



5 General Residential Context Across the Street from Existing Building



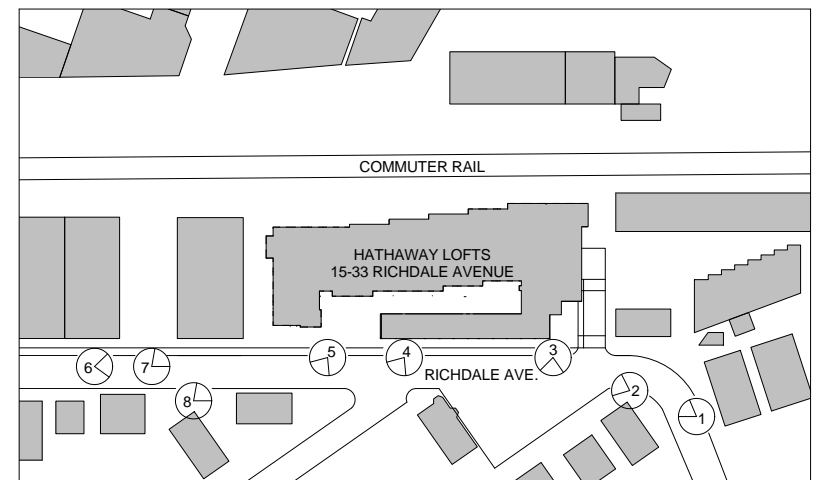
6 Looking East Along Richdale Avenue



7 Property to the East of Existing Building



8 Looking East Along Richdale Avenue



Key

ARCHITECT

bh+a

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REVISIONS

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DRAWING TITLE

Neighborhood Photos

DRAWING INFORMATION

| | |
|----------------------------------|---------------|
| September 3, 2013 | DATE OF ISSUE |
| Special Permit Application | DESCRIPTION |
| 1" = 80'-0" | SCALE |
| MRV | DRAWN BY |
| 3143 | FILE NAME |
| 3143 | PROJECT # |
| Printed on Konica 360 EP/RGB 90% | FILE NAME |

DRAWING NUMBER

X002

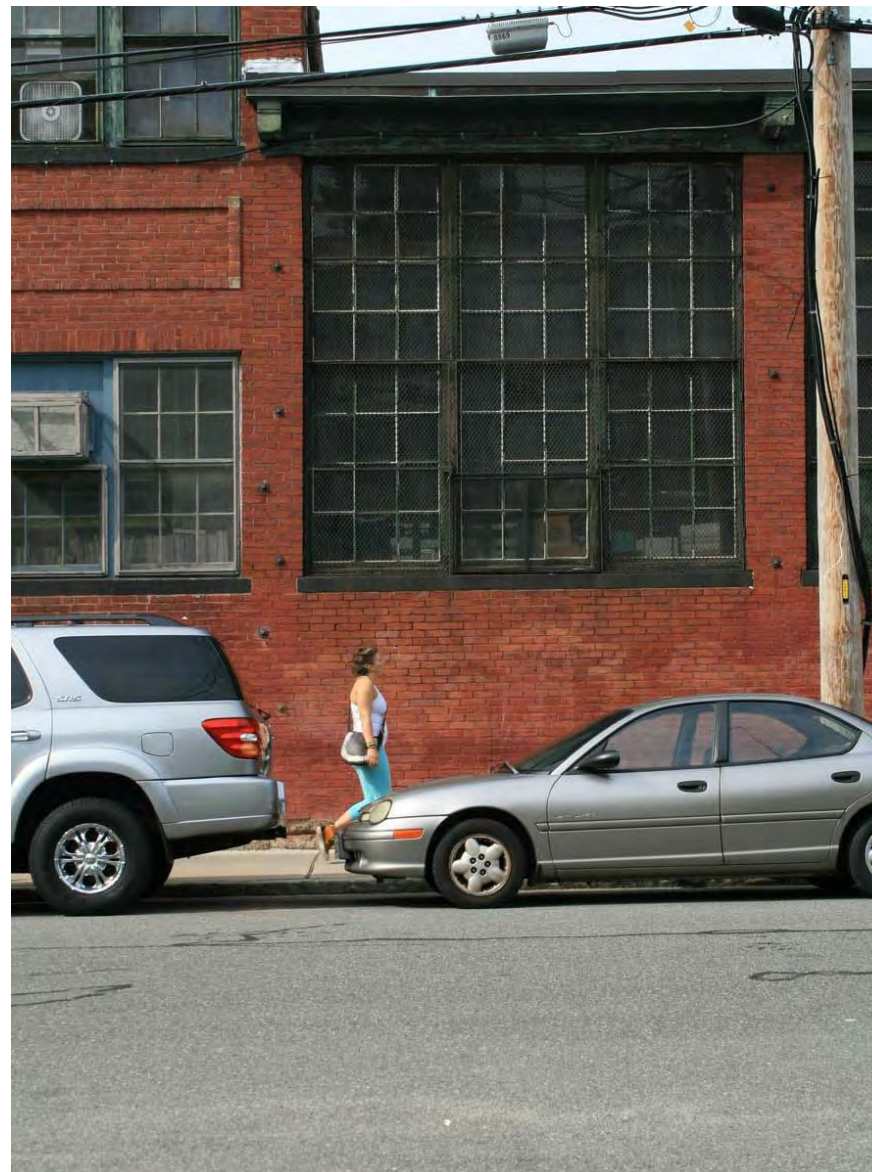
Copyright BH+A, Inc.



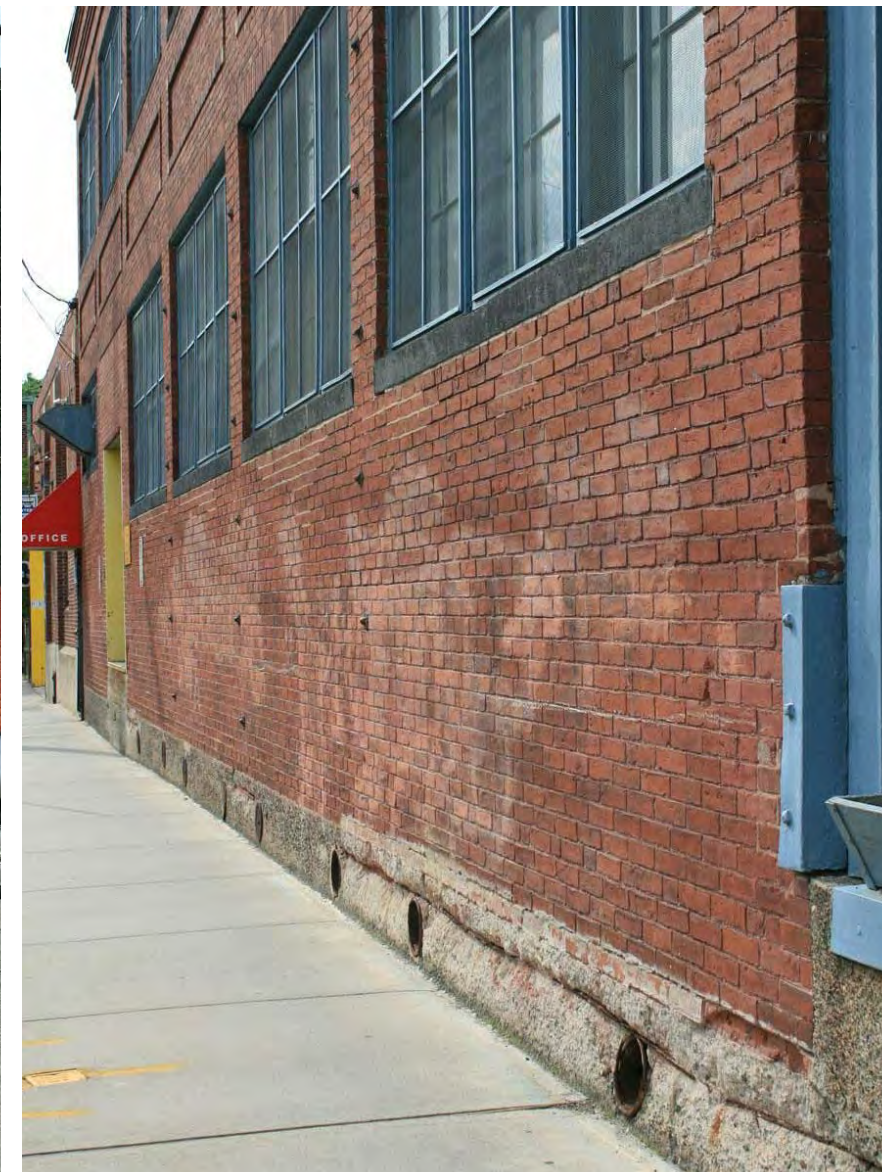
Existing stucco entry is lacking in detail and execution. It is also not handicapped accessible.



Roof eave requires significant repair. Windows and trim need replacement.



Window sills are above a pedestrian's head height and the wall is flush to the property line with zero setback.



The exterior facade is in poor condition, especially at the foundation where rebar is exposed.

REVISIONS

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DRAWING TITLE

Existing Building Photos

DRAWING INFORMATION

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|----------------------------|----------------------------------|
| September 3, 2013 | Author |
| DATE OF ISSUE | DRAWN BY |
| Special Permit Application | 3143_Richdale_Ave.rvt |
| DESCRIPTION | PROJECT # |
| | FILE NAME |
| | Printed on Konica 360 EP/RGB 90% |

DRAWING NUMBER

X003



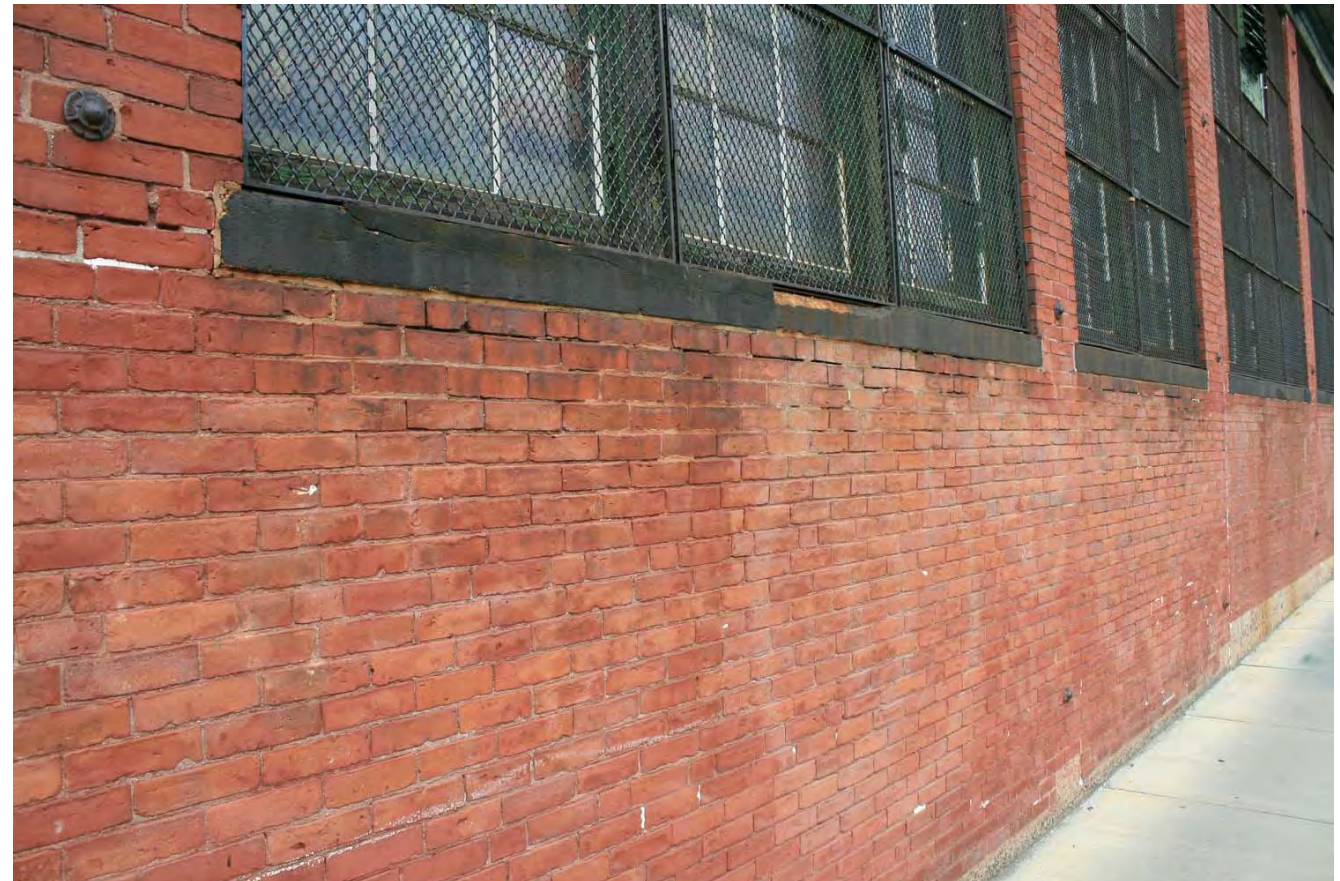
The design proposal is to remove the two story section of the building to create relief and add green space and trees to the streetscape.



The one story section of the building is a better representation of the original bakery facade.



This bay of the building has been adapted over time and no longer bears resemblance to the original 1910 design.



The building is in poor condition. Restoration of the one-story wing requires masonry and precast restoration and new windows.

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REVISIONS

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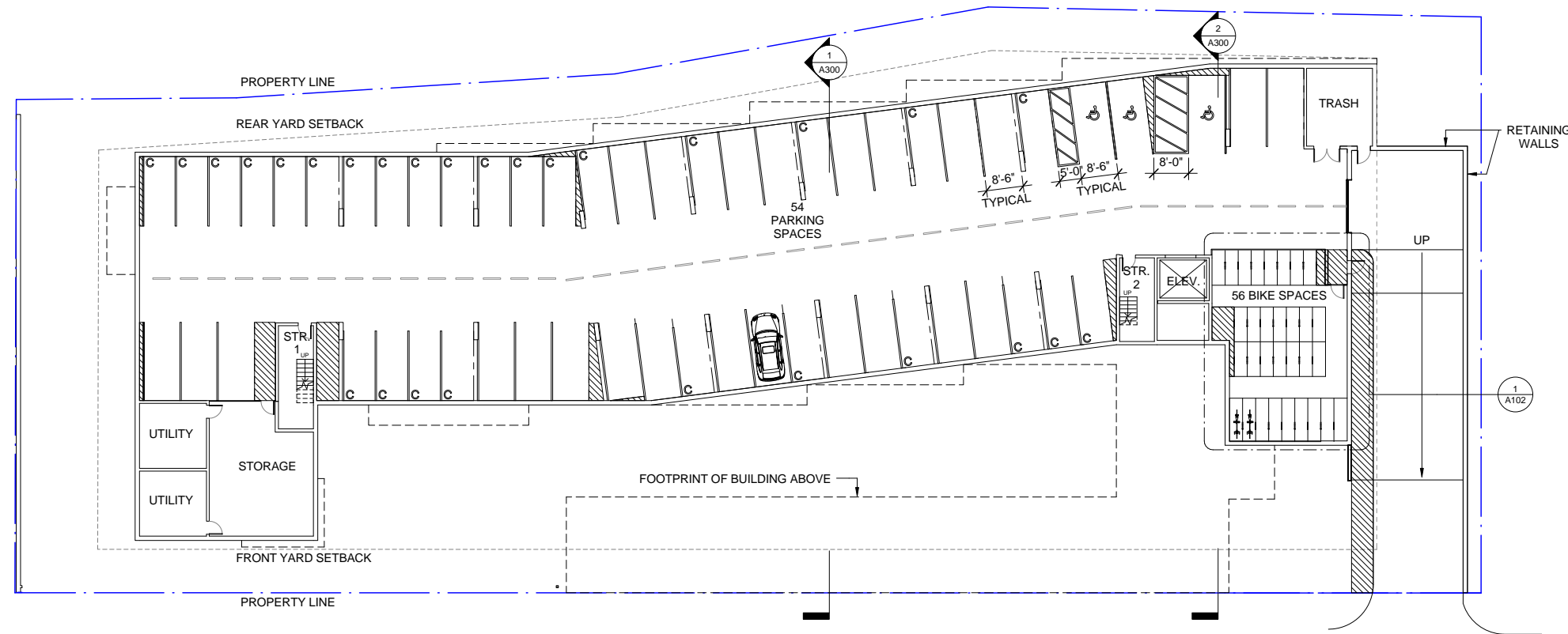
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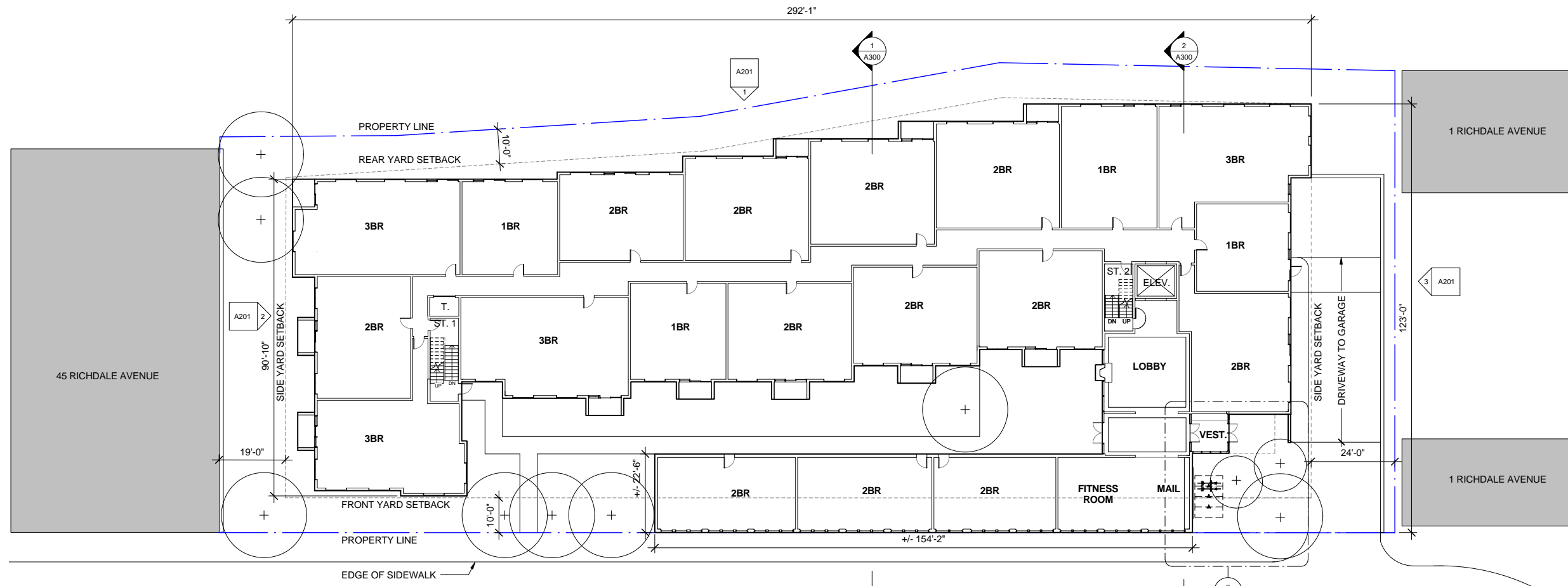
September 3, 2013
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 Special Permit Application
 DESCRIPTION
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 3143_Richdale_Ave.rvt
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X004



1 Garage Floor Plan



2 First Floor Plan

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DRAWING TITLE
Garage and First Floor Plans

DRAWING INFORMATION

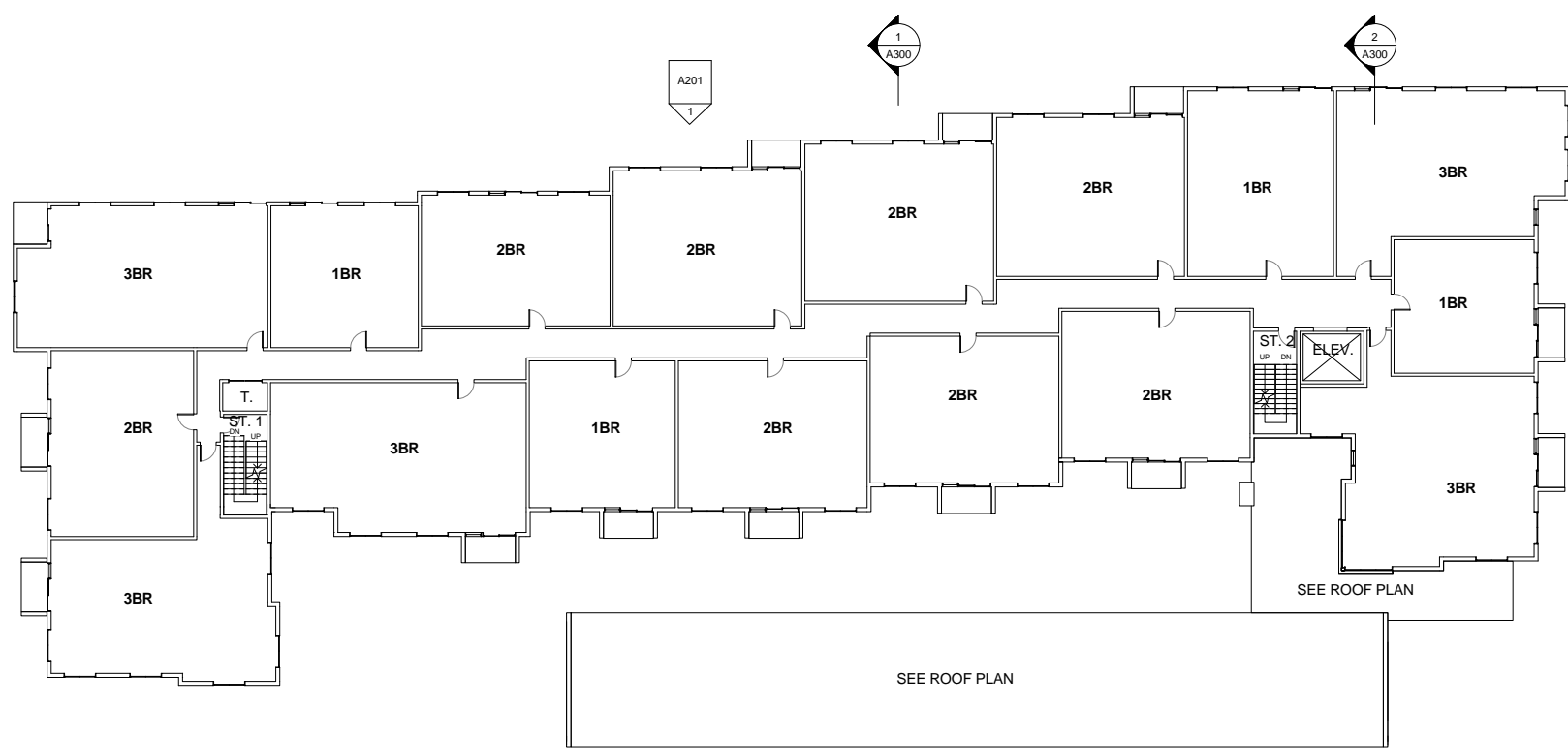
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| September 3, 2013 | |
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| PROJECT # | FILE NAME |
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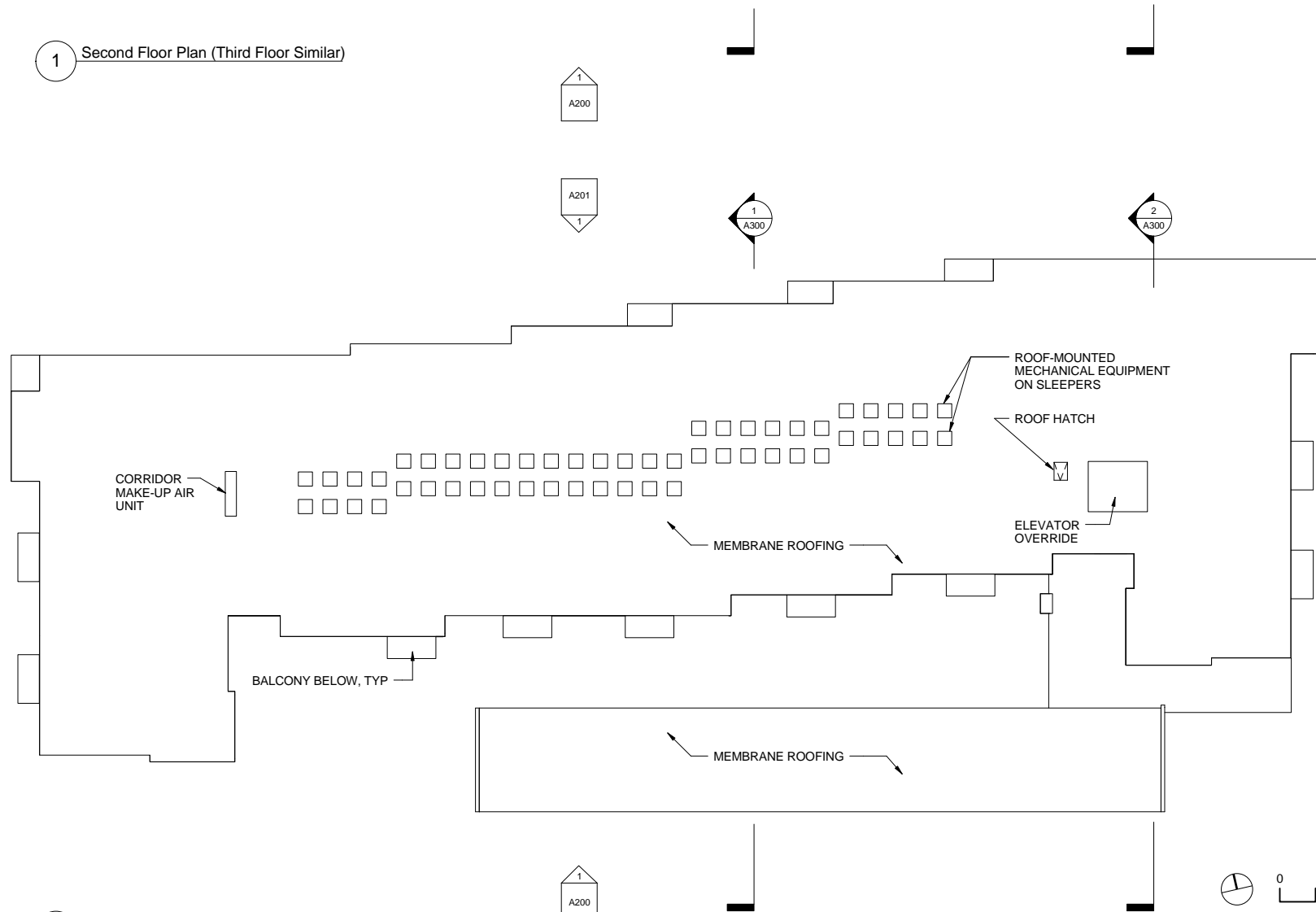
A100

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D:\Projects\3143_Richdale_Ave_Young.rvt
 9/3/2013 10:12:23 AM MRV



1 Second Floor Plan (Third Floor Similar)



2 Roof Plan

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DRAWING TITLE
Second Floor and Roof Plans

DRAWING INFORMATION

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| September 3, 2013 | DATE OF ISSUE |
| Special Permit Application | DESCRIPTION |
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| MRY | DRAWN BY |
| 3143 | PROJECT # |
| 3143_Richdale_Ave.rvt | FILE NAME |
| Printed on Konica 360 EP/RGB 90% | |

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A101

REVISIONS

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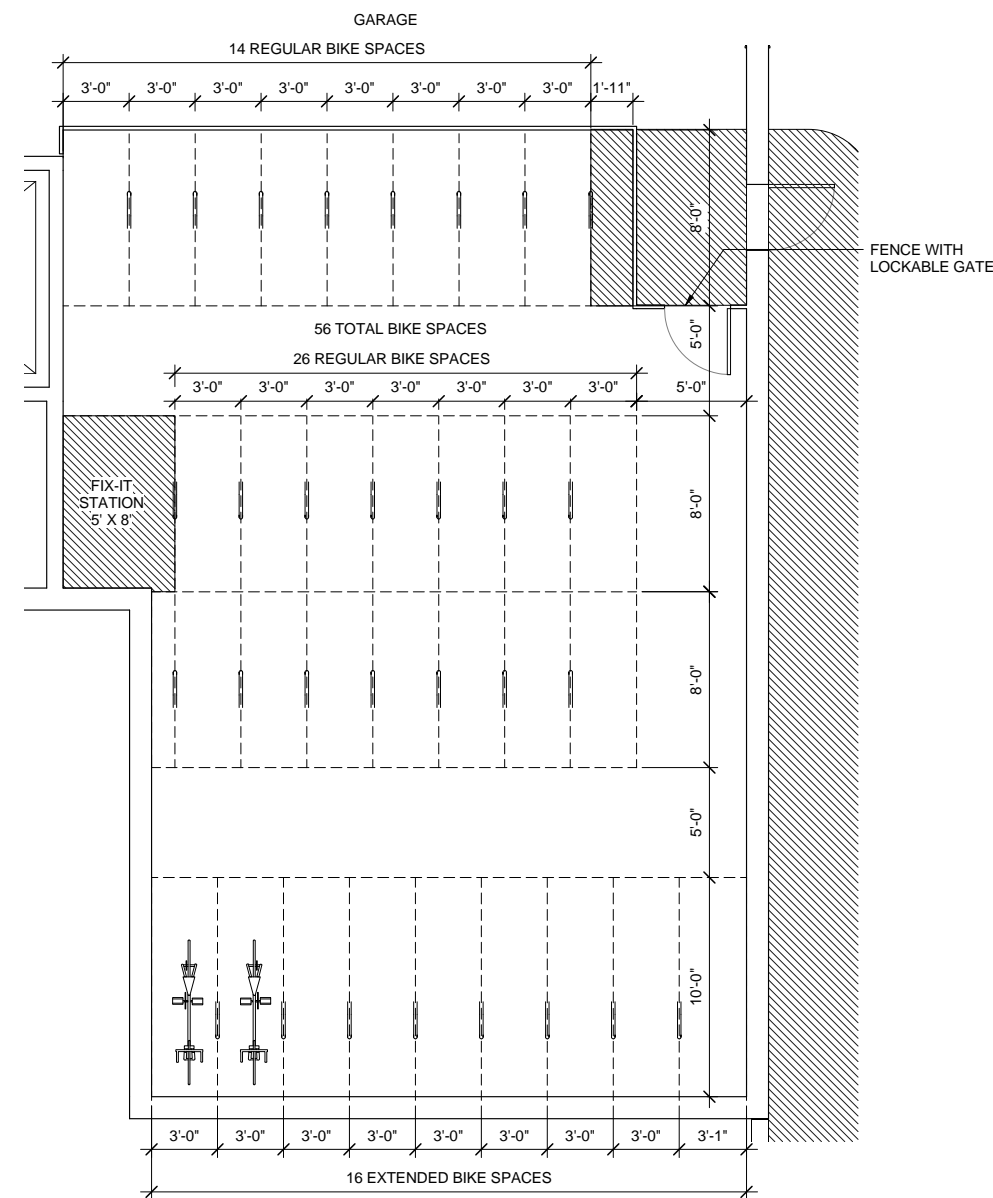
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Bike Parking Plans

DRAWING INFORMATION

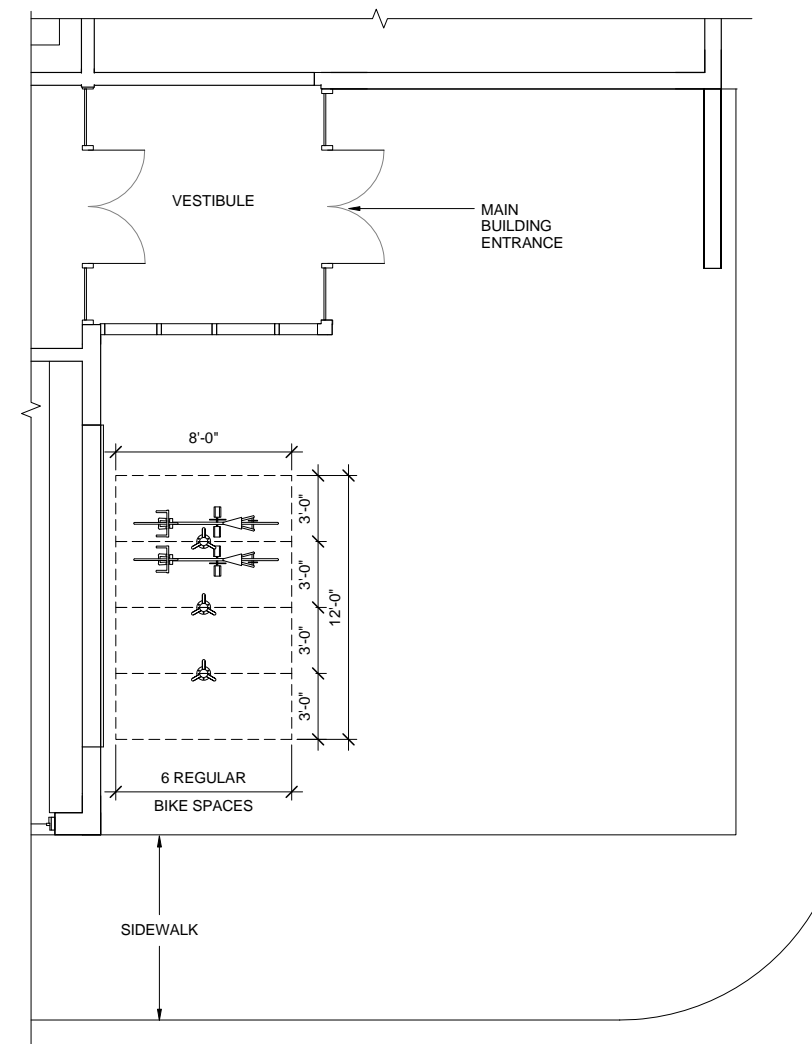
September 3, 2013
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 PROJECT # FILE NAME
 Printed on Konica 360 EP/RGB 90%

DRAWING NUMBER

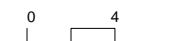
A102



1 Partial Garage Plan, Long Term Bike Parking



2 Partial Ground Floor Plan, Short Term Parking



REVISIONS

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DRAWING TITLE
Rendered South Elevation

DRAWING INFORMATION

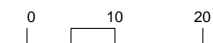
September 3, 2013
 DATE OF ISSUE
 Special Permit Application
 DESCRIPTION
 1" = 10' MRV
 SCALE DRAWN BY
 3143 3143_Richdale_Ave.rvt
 PROJECT # FILE NAME
 Printed on Konica 360 EP/RGB 90%

DRAWING NUMBER

A200



1 South Elevation Along Richdale Avenue



REVISIONS

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DATE

DRAWING TITLE
Rendered North, West, and East Elevations

DRAWING INFORMATION

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| September 3, 2013 | |
| DATE OF ISSUE | |
| Special Permit Application | |
| DESCRIPTION | |
| 1" = 10' | MRY |
| SCALE | DRAWN BY |
| 3143 | 3143_Richdale_Ave.rvt |
| PROJECT # | FILE NAME |
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DRAWING NUMBER

A201



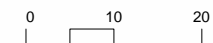
1 North Elevation Along Railroad Right-of-Way

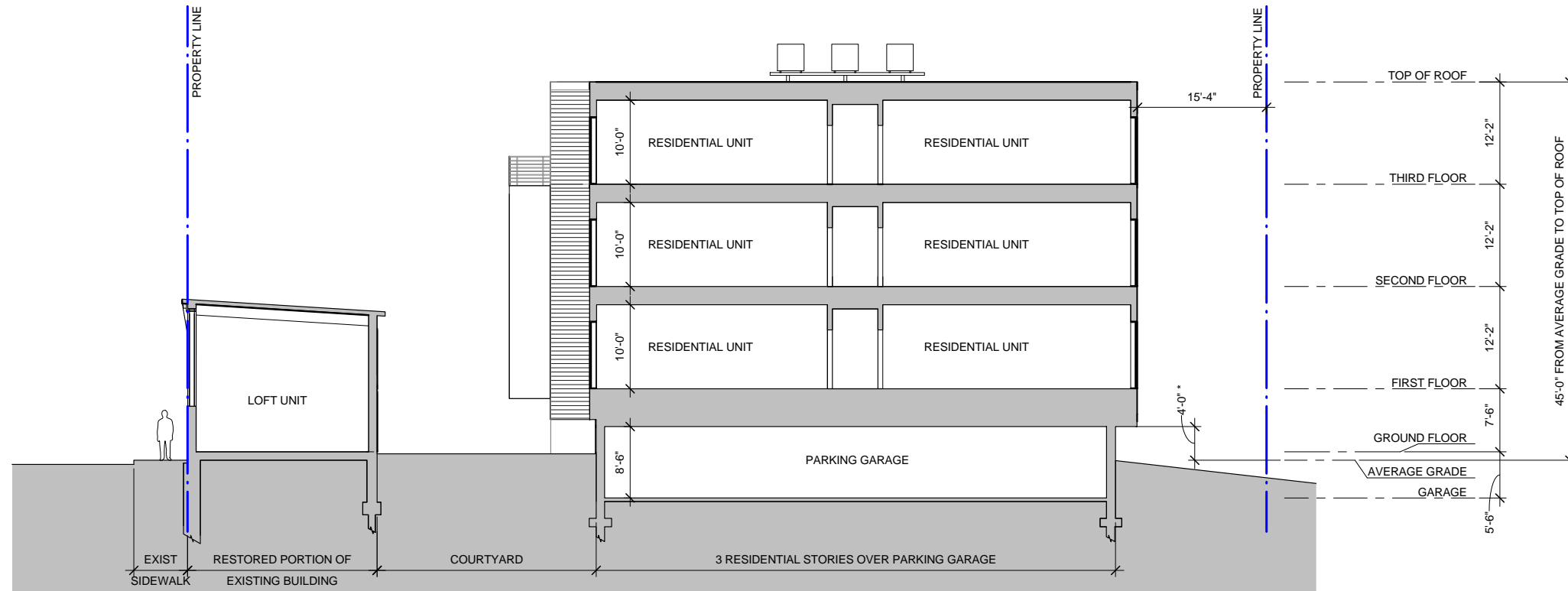


2 West Elevation



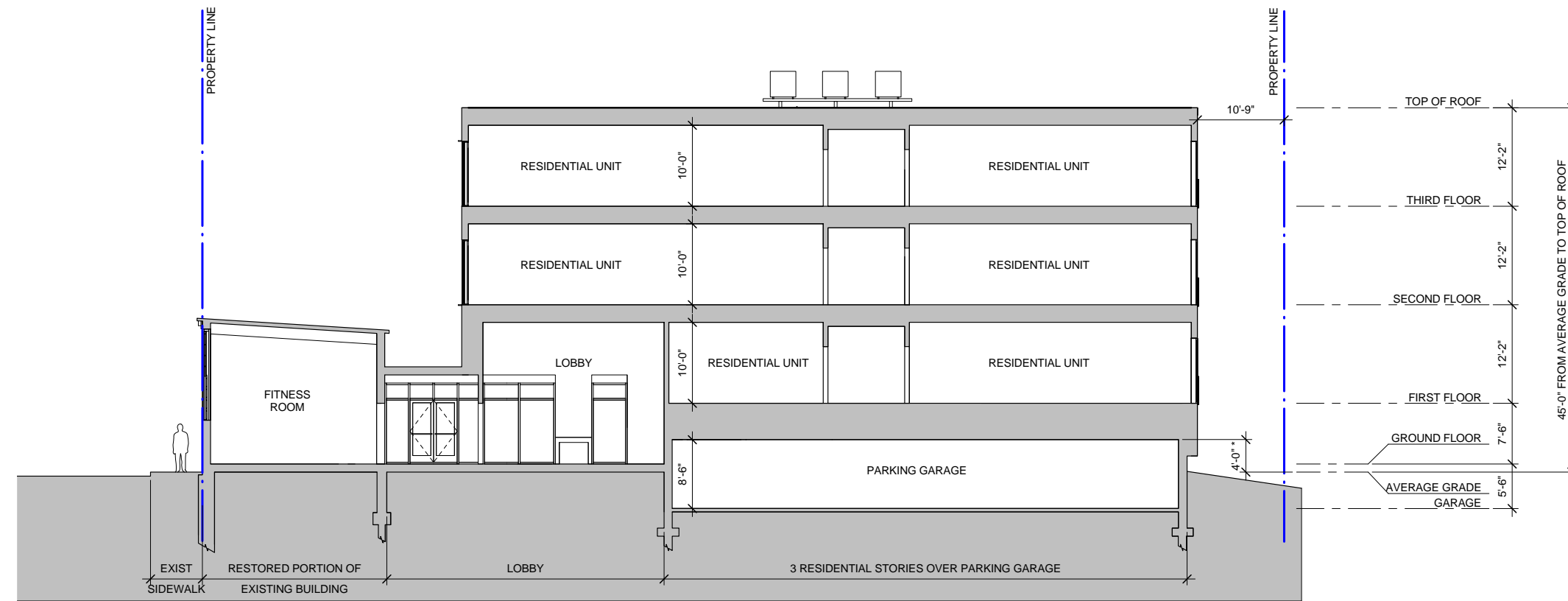
3 East Elevation





1 Transverse Section 1

* PER ZONING ARTICLE 5.25.22 (2):
 THE LOCATION OF A PORTION OF THE FACILITY ABOVE
 THE FINISHED GRADE AROUND THE ENTIRE PERIMETER
 OF THE FACILITY DOES NOT EXCEED FOUR (4) FEET...THE
 HEIGHT OF THE MEAN GRADE SHALL BE MEASURED TO
 THE ROOF OF THE FACILITY OR TO THE CEILING SHOULD
 THE FACILITY BE SET ENTIRELY BELOW OTHER NON-
 PARKING ELEMENTS OF A BUILDING.



2 Transverse Section 2

REVISIONS

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DRAWING TITLE
Building Sections

DRAWING INFORMATION

September 3, 2013
 DATE OF ISSUE
 Special Permit Application
 DESCRIPTION
 1/8" = 1'-0" MRY
 SCALE DRAWN BY
 3143 3143_Richdale_Ave.rvt
 PROJECT # FILE NAME
 Printed on Konica 360 EP/RGB 90%

DRAWING NUMBER

A300



Looking West on Richdale Avenue

ARCHITECT

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REVISIONS

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Perspective

DRAWING INFORMATION

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| September 3, 2013 | |
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| Special Permit Application | |
| DESCRIPTION | |
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| | 3143_Richdale_Ave.rvt |
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| | Printed on Konica 360 EP/RGB 90% |

DRAWING NUMBER

A400

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DRAWING TITLE

Perspective

DRAWING INFORMATION

September 3, 2013
DATE OF ISSUE
Special Permit Application
DESCRIPTION
N.T.S. MRVY
SCALE DRAWN BY
3143 3143_Richdale_Ave.rvt
PROJECT # FILE NAME
Printed on Konica 360 EP102B 90%

DRAWING NUMBER

A401

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View of Existing Conditions Looking West from Upland Road



View of Proposed Construction Looking West from Upland Road

REVISIONS

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DRAWING TITLE
Perspective

DRAWING INFORMATION

September 3, 2013
 DATE OF ISSUE
 Special Permit Application
 DESCRIPTION
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 3143 3143_Richdale_Ave.rvt
 PROJECT # FILE NAME
 Printed on Konica 360 EP/RGB 90%

DRAWING NUMBER

A402



View of Existing Conditions Looking West on Richdale Avenue



View of Proposed Construction Looking West on Richdale Avenue

ARCHITECT

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REVISIONS

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DRAWING TITLE

Perspective

DRAWING INFORMATION

September 3, 2013

DATE OF ISSUE

Special Permit Application

DESCRIPTION

Author

SCALE

3143

PROJECT #

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DRAWING NUMBER

A403

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View of Existing Conditions Looking East on Richdale Avenue



View of Proposed Construction Looking East on Richdale Avenue