

FRANK J. MANNING APARTMENTS



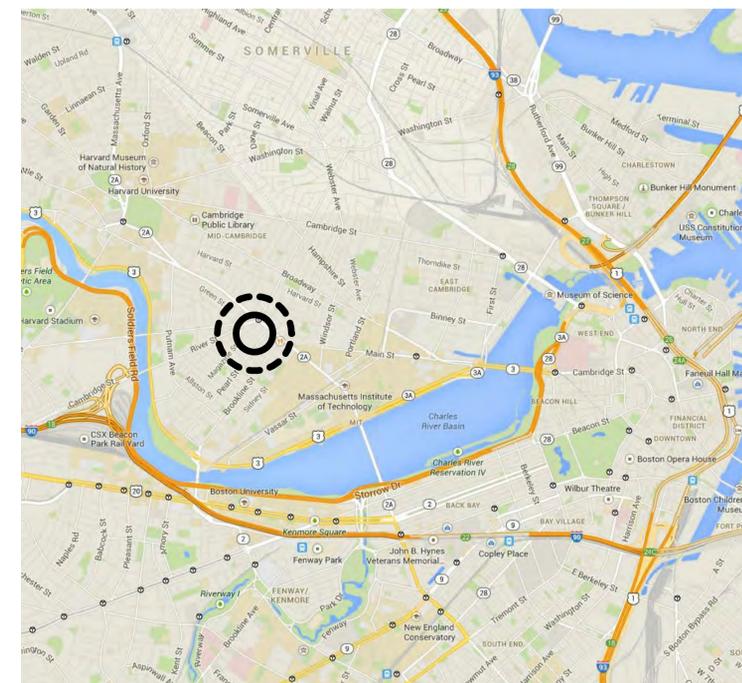
240 GREEN STREET, CAMBRIDGE, MA 02139 SPECIAL PERMIT APPLICATION SET

ISSUED October 14, 2015

DRAWING LIST

A001 COVER SHEET

| CIVIL : | ARCHITECTURAL : |
|--|---|
| C001 SITE SURVEY - Complete City Parcel | A002 CODE REVIEW SUMMARY |
| C002 SITE SURVEY - Manning Parcel | D100 BASEMENT DEMOLITION PLAN |
| C100 EXISTING CONDITIONS PLAN OF LAND | D101 1ST FLOOR DEMOLITION PLAN |
| C101 SITE UTILITY & GRADING PLAN | D102 2ND FLOOR DEMOLITION PLAN |
| C102 SITE UTILITY & GRADING PLAN | D103 TYPICAL UPPER FLOOR DEMOLITION PLANS |
| C200 CONSTRUCTION DETAILS | D104 PENTHOUSE & ROOF DEMOLITION PLANS |
| C201 CONSTRUCTION DETAILS | D200 SOUTH & EAST DEMOLITION ELEVATIONS |
| | D201 NORTH & WEST DEMOLITION ELEVATIONS |
| LANDSCAPE : | A100 BASEMENT FLOOR PLAN |
| L100 SITE ORIENTATION PLAN | A101 1ST FLOOR PLAN |
| L101 PLANTING PLAN | A102 2ND FLOOR PLAN |
| | A103 3RD THROUGH 7TH FLOOR PLANS |
| L400 BASE BID MATERIALS PLAN: FRANKLIN ST. PLAZA | A104 8TH, 9TH, 13TH & 17TH FLOOR PLANS |
| L401 BASE BID LAYOUT: FRANKLIN ST. PLAZA | A105 10TH, 11TH, 12TH, 14TH, 15TH, 16TH, 18TH & 19TH FLOOR PLANS |
| L402 BASE BID MATERIALS: GREEN ST. PLAZA | A106 PENTHOUSE & ROOF PLANS |
| L403 BASE BID LAYOUT: GREEN ST. PLAZA | A107 GLASS CANOPY PLAN |
| L404 ADD ALTERNATE FRANKLIN STREET PLAZA LAYOUT PLAN | A200 SOUTH & EAST ELEVATIONS |
| L405 ADD ALTERNATE FRANKLIN STREET PLAZA PLANTING PLAN | A201 NORTH & WEST ELEVATIONS |
| | A202 PARTIAL NORTH & SOUTH ELEVATIONS |
| | A203 LOWER LEVEL ELEVATIONS |
| | A204 LOWER LEVEL ELEVATIONS (ALTERNATE #1) |
| | A205 PENTHOUSE ELEVATIONS |
| | A210 BUILDING SECTIONS |
| | A300 ENVELOPE MOCK-UP |
| | A301 PARTIAL EAST ELEVATION A, PLAN & WALL SECTIONS |
| | A302 PARTIAL EAST ELEVATION B, PLAN & WALL SECTIONS |
| | A303 PARTIAL EAST ELEVATION C, PLAN & WALL SECTIONS |
| | A304 PARTIAL SOUTH ELEVATION D, PLAN & WALL SECTIONS |
| | A305 PARTIAL EAST ELEVATION E, PLAN & WALL SECTIONS |
| | A306 PARTIAL EAST ELEVATION G, PLAN & WALL SECTIONS |
| | A307 PARTIAL EAST ELEVATION H, PLAN & WALL SECTIONS |
| | A308 PARTIAL WEST ELEVATION I, PLAN & WALL SECTIONS |
| | A309 PARTIAL WEST ELEVATION J, PLAN & WALL SECTIONS |
| | A310 PARTIAL ELEVATIONS K&L, PLAN & WALL SECTIONS |
| | A311 WALL SECTIONS |
| | A312 WALL SECTIONS @ KITCHEN & REAR VESTIBULE |
| | A316 SECTIONS @ 2ND FLOOR TERRACE (ALTERNATE #1) |
| | A320 PENTHOUSE SECTIONS |
| | A350 WALL SECTIONS @ EAST ARCADE |
| | A351 WALL SECTIONS @ EAST ARCADE |
| | A411 BASEMENT & RAMP ENLARGED PLANS & SECTIONS |
| | A412 COMMERCIAL KITCHEN & RAMP ENLARGED PLANS & ELEVATIONS |
| | A413 MULTI-PURPOSE ROOM ENLARGED PLAN & ELEVATIONS |
| | A414 PUBLIC ENTRANCE, COMMUNITY SPACE, & OFFICE SUITE ENLARGED PLAN |
| | A417 2ND FLOOR COMMUNITY SPACE ENLARGED PLAN & ELEVATIONS |



LOCATION MAP

ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
300 A Street
Boston, MA 02210
617 350-0450 Tel
617 350-0215 Fax
www.bhplus.com

PROJECT NAME

Frank J. Manning Apartments

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CLIENT

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ISSUED FOR:

SPECIAL PERMIT APPLICATION

DRAWING TITLE

Cover Sheet Volume 1

DRAWING INFORMATION



OCTOBER 14, 2015

DATE OF ISSUE

SPECIAL PERMIT APPLICATION

DESCRIPTION

3/16" = 1'-0"

SCALE

2896

PROJECT #

FILE NAME

DRAWING NUMBER

A000

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I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN. (MASS. GEN. LAWS CHAPTER 41, SEC. 81-X).

DATE _____ PROFESSIONAL LAND SURVEYOR _____

REFERENCES:

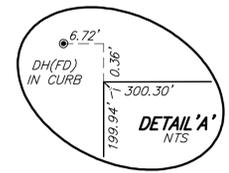
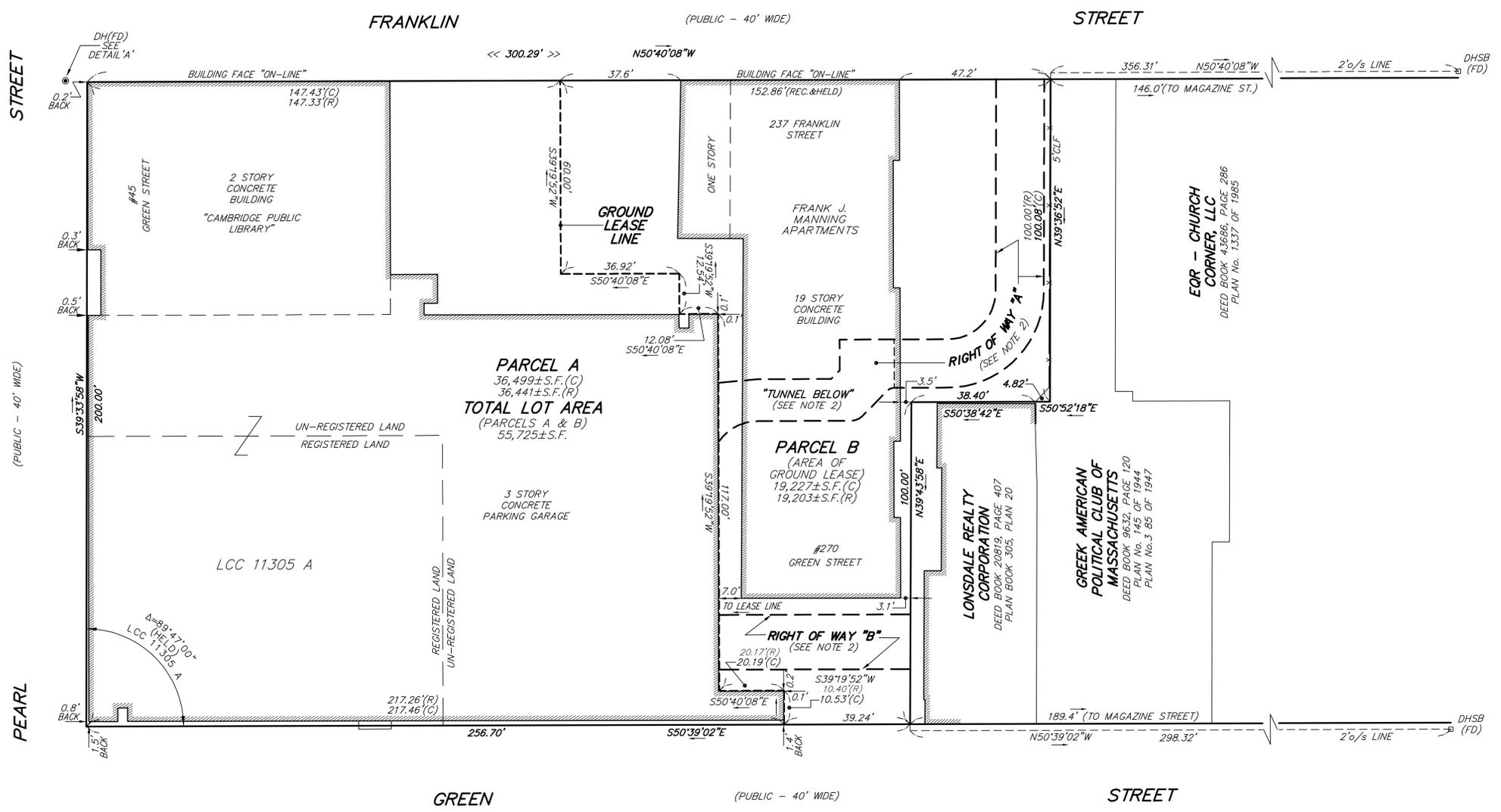
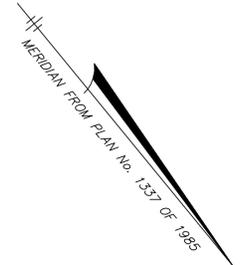
- DEED BOOK 10568, PAGE 435
- DEED BOOK 10607, PAGE 110
- DEED BOOK 9406, PAGE 587
- DEED BOOK 8682, PAGE 541
- DEED BOOK 8099, PAGE 455
- L.C. CERT. #23263
- PLAN No. 1337 OF 1985
- PLAN No. 1439 OF 1967
- PLAN No. 993 OF 1959
- PLAN No. 342 OF 1956
- PLAN No. 385 OF 1947
- PLAN No. 145 OF 1944
- PLAN IN BOOK 4834, END
- PLAN BOOK 305, PLAN 20
- PLAN BOOK 27, PLAN 11
- LCC 13641 B
- LCC 7166 A
- LCC 13948 A

ASSESSORS: MAP 106, LOT 122

RECORD OWNER:
THE CITY OF CAMBRIDGE

GROUND LEASE DATA:
GROUND LEASE FROM THE CITY OF CAMBRIDGE TO THE CAMBRIDGE HOUSING AUTHORITY DATED JULY 31, 1972
PLAN ENTITLED: "PLAN OF LAND IN CAMBRIDGE, MASS" DATED DECEMBER 20, 1973, BY WILLIAM S. CROCKER, INC. CIVIL ENGINEERS AND SURVEYORS ATTACHED TO ABOVE GROUND LEASE AS EXHIBIT A.

NOTES:
1) BUILDING OFFSETS SHOWN HEREON ARE TO CORNER CONCRETE.
2) LOCATION AND CONFIGURATION OF LIMIT OF RIGHTS OF WAY "A" AND "B" HAVE BEEN SCALED FROM 1972 PLAN REFERENCED ABOVE..



PLAN BOOK 27, PLAN 11

(PUBLIC - 40' WIDE)

PEARL

STREET

FRANKLIN

(PUBLIC - 40' WIDE)

STREET

GREEN

(PUBLIC - 40' WIDE)

STREET

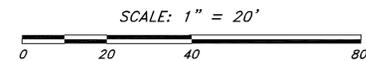
PLAN No. 1439 OF 1967

FOR REGISTRY USE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____ PROFESSIONAL LAND SURVEYOR _____

- LEGEND:**
- (R) RECORD
 - (C) CALCULATED
 - (M) MEASURED
 - (H) HELD



240 - 270
GREEN
STREET

Cambridge, Massachusetts

PREPARED FOR:
THE CAMBRIDGE HOUSING AUTHORITY

HANCOCK ASSOCIATES

- Civil Engineers
- Land Surveyors
- Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM

ISSUED BY BH+A as
Drawing C001 - FOR:
SPECIAL PERMIT APPLICATION
OCTOBER 14, 2015

| NO. | BY | APP | DATE | ISSUE/REVISION | DESCRIPTION |
|-----|-----|-----|--------|-----------------------|-------------|
| 1. | JMS | WJC | 1/8/10 | ADD GROUND LEASE DATA | |

DATE: 11/19/2009 DRAWN BY: JMS
SCALE: 1" = 20' CHECK BY: WJC

PLAN OF LAND IN CAMBRIDGE, MA

PLOT DATE: Jan 08, 2010 4:11 pm
PLOT BY: F:\Land Projects\02155821.dwg

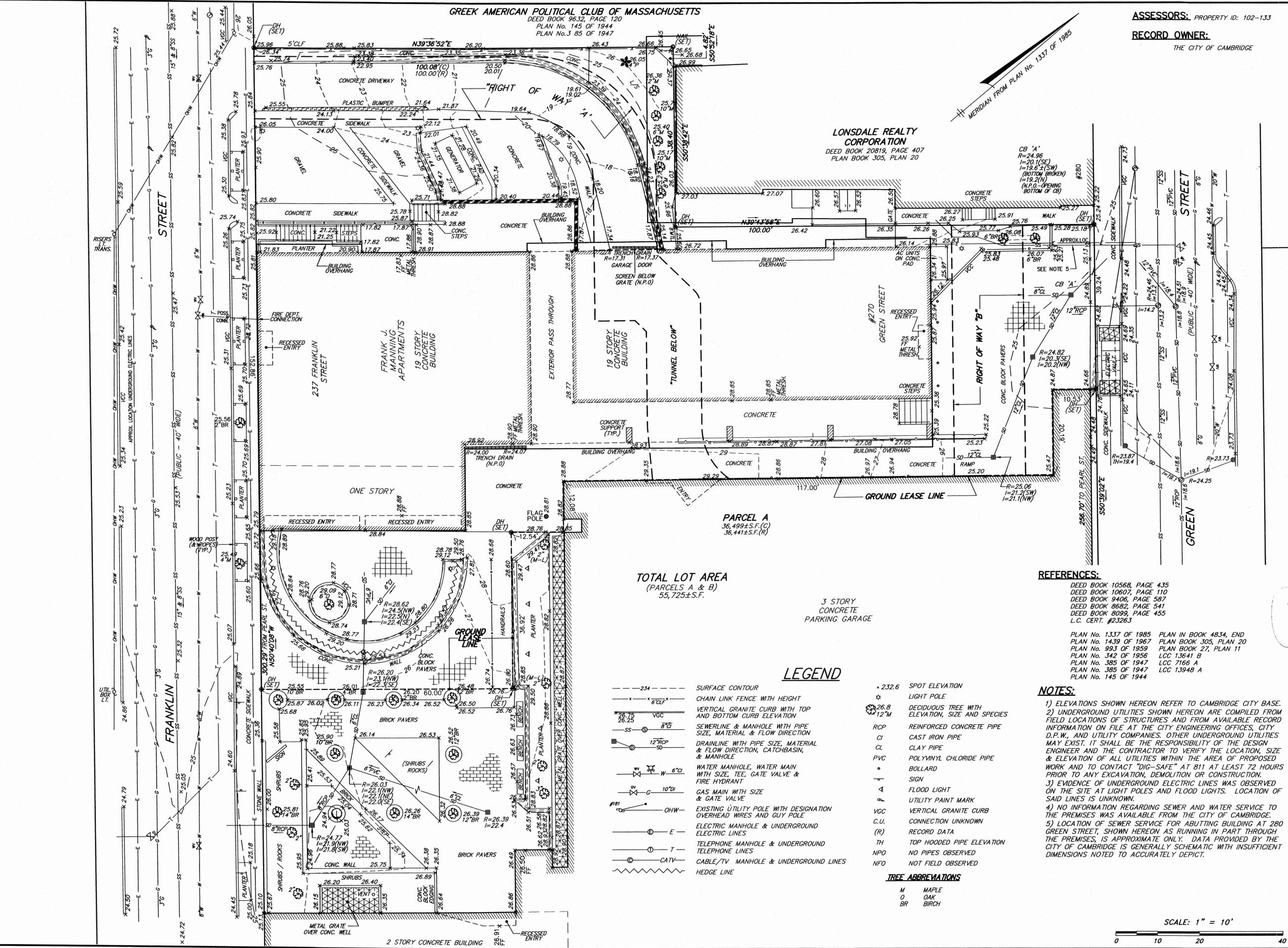
DWG: 15582sv.dwg

LAYOUT: LEASE-AREA

SHEET: 1 OF 1

PROJECT NO.: **15582**

C001



GREEK AMERICAN POLITICAL CLUB OF MASSACHUSETTS
 DEED BOOK 9632, PAGE 120
 PLAN No. 145 OF 1944
 PLAN No. 3 85 OF 1947

LONSDALE REALTY CORPORATION
 DEED BOOK 20819, PAGE 407
 PLAN BOOK 305, PLAN 20

ASSESSORS: PROPERTY ID: 102-133
 RECORD OWNER:
 THE CITY OF CAMBRIDGE

FRANK J. MANNING APARTMENTS

237 Franklin Street
 Cambridge, Massachusetts

PREPARED FOR:
CAMBRIDGE HOUSING AUTHORITY

362 Green Street
 Cambridge, Massachusetts 02139

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

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 WWW.HANCOCKASSOCIATES.COM



PARCEL A
 36,499±S.F.(C)
 36,441±S.F.(R)

TOTAL LOT AREA
 (PARCELS A & B)
 55,725±S.F.

3 STORY CONCRETE PARKING GARAGE

LEGEND

- SURFACE CONTOUR
- - - CHAIN LINK FENCE WITH HEIGHT
- VERTICAL GRANITE CURB WITH TOP AND BOTTOM CURB ELEVATION
- SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
- DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, & MANHOLE
- WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- GAS MAIN WITH SIZE & GATE VALVE
- EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
- CABLE/TV MANHOLE & UNDERGROUND LINES
- HEDGE LINE
- 232.6 SPOT ELEVATION
- ☆ LIGHT POLE
- ☆ 26.8 DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
- RCP REINFORCED CONCRETE PIPE
- CI CAST IRON PIPE
- CL CLAY PIPE
- PVC POLYVINYL CHLORIDE PIPE
- BOLLARD
- SIGN
- △ FLOOD LIGHT
- UTILITY PAINT MARK
- VGC VERTICAL GRANITE CURB
- C.U. CONNECTION UNKNOWN
- (R) RECORD DATA
- TH TOP HOODED PIPE ELEVATION
- NPO NO PIPES OBSERVED
- NFO NOT FIELD OBSERVED

TREE ABBREVIATIONS

- M MAPLE
- O OAK
- BR BIRCH

REFERENCES:

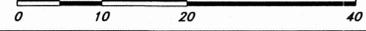
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 PLAN No. 1439 OF 1967
 PLAN No. 993 OF 1959
 PLAN No. 342 OF 1956
 PLAN No. 385 OF 1947
 PLAN No. 385 OF 1947
 PLAN No. 145 OF 1944

NOTES:

- 1) ELEVATIONS SHOWN HEREON REFER TO CAMBRIDGE CITY BASE.
- 2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE CITY ENGINEERING OFFICES, CITY D.P.W., AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 3) EVIDENCE OF UNDERGROUND ELECTRIC LINES WAS OBSERVED ON THE SITE AT LIGHT POLES AND FLOOD LIGHTS. LOCATION OF SAID LINES IS UNKNOWN.
- 4) NO INFORMATION REGARDING SEWER AND WATER SERVICE TO THE PREMISES WAS AVAILABLE FROM THE CITY OF CAMBRIDGE.
- 5) LOCATION OF SEWER SERVICE FOR ABUTTING BUILDING AT 280 GREEN STREET, SHOWN HEREON AS RUNNING IN PART THROUGH THE PREMISES, IS APPROXIMATE ONLY. DATA PROVIDED BY THE CITY OF CAMBRIDGE IS GENERALLY SCHEMATIC WITH INSUFFICIENT DIMENSIONS NOTED TO ACCURATELY DEPICT.

SCALE: 1" = 10'



ISSUED BY BH+AS as
 Drawing C002 - FOR:
SPECIAL PERMIT APPLICATION
 OCTOBER 14, 2015

| NO. | BY | APP | DATE | ISSUE/REVISION DESCRIPTION |
|--------|---------|-----------|------|----------------------------|
| DATE: | 3/26/14 | DRAWN BY: | JMS | |
| SCALE: | 1"=20' | CHECK BY: | WCJ | |

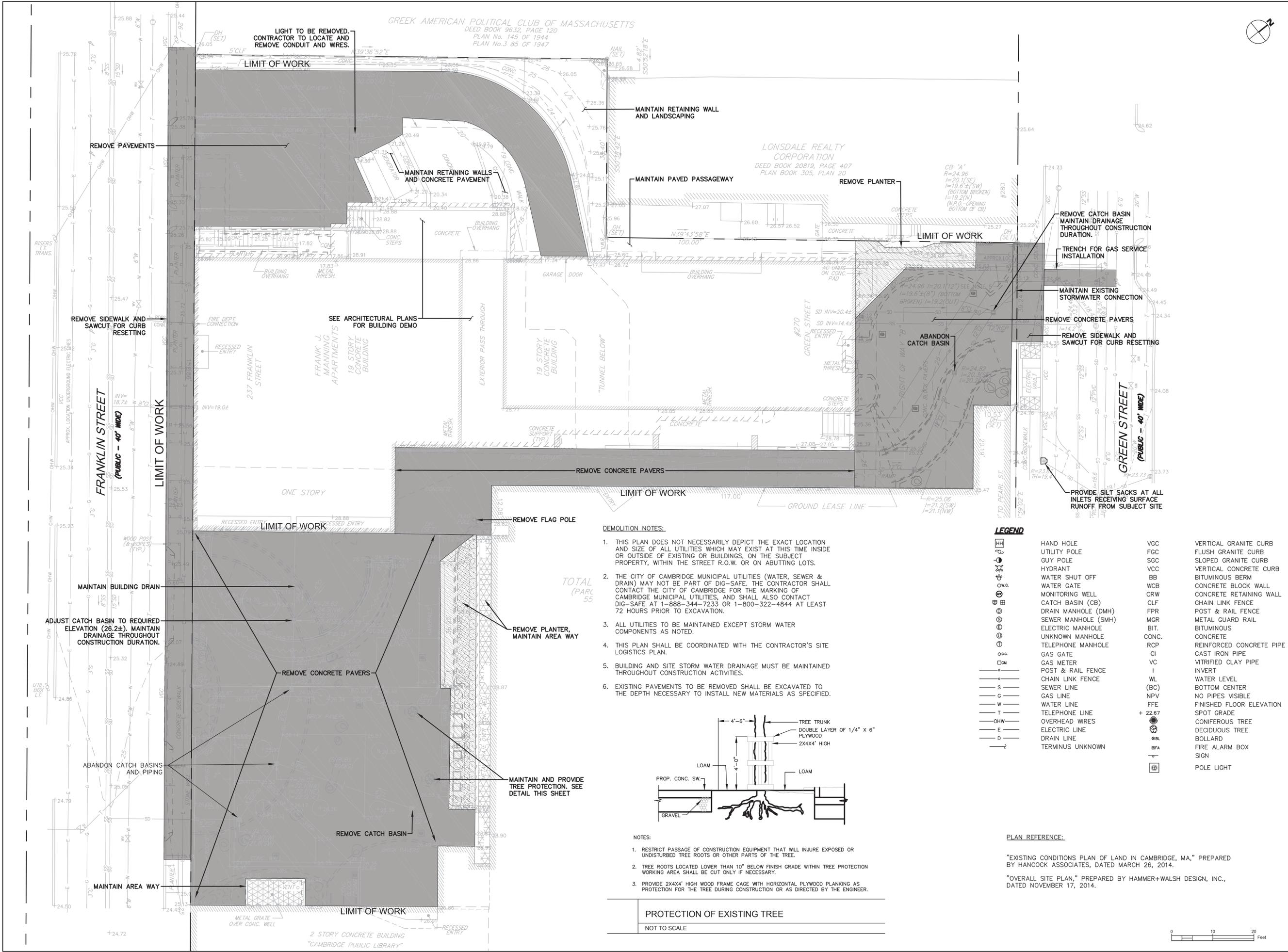
EXISTING CONDITIONS PLAN OF LAND IN CAMBRIDGE, MA

PLOT DATE: JUL 08 2014 10:17 am
 PLINE: P:\Land Projects\2014\18182ec.dwg

DWG: 18182ec.dwg
 LAYOUT: EC
 SHEET: 1 OF 1

C002

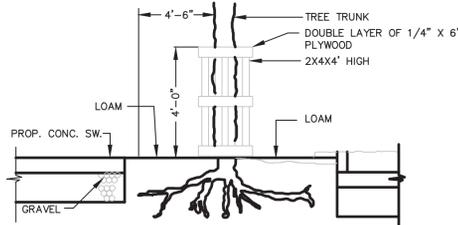
PROJECT NO.: 18182



GREEK AMERICAN POLITICAL CLUB OF MASSACHUSETTS
 DEED BOOK 9632, PAGE 120
 PLAN No. 145 OF 1944
 PLAN No.3 85 OF 1947

LONSDALE REALTY CORPORATION
 DEED BOOK 20819, PAGE 407
 PLAN BOOK 305, PLAN 20

- DEMOLITION NOTES:**
1. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET R.O.W. OR ON ABUTTING LOTS.
 2. THE CITY OF CAMBRIDGE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) MAY NOT BE PART OF DIG-SAFE. THE CONTRACTOR SHALL CONTACT THE CITY OF CAMBRIDGE FOR THE MARKING OF CAMBRIDGE MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 3. ALL UTILITIES TO BE MAINTAINED EXCEPT STORM WATER COMPONENTS AS NOTED.
 4. THIS PLAN SHALL BE COORDINATED WITH THE CONTRACTOR'S SITE LOGISTICS PLAN.
 5. BUILDING AND SITE STORM WATER DRAINAGE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES.
 6. EXISTING PAVEMENTS TO BE REMOVED SHALL BE EXCAVATED TO THE DEPTH NECESSARY TO INSTALL NEW MATERIALS AS SPECIFIED.



- NOTES:**
1. RESTRICT PASSAGE OF CONSTRUCTION EQUIPMENT THAT WILL INJURE EXPOSED OR UNDISTURBED TREE ROOTS OR OTHER PARTS OF THE TREE.
 2. TREE ROOTS LOCATED LOWER THAN 10" BELOW FINISH GRADE WITHIN TREE PROTECTION WORKING AREA SHALL BE CUT ONLY IF NECESSARY.
 3. PROVIDE 2X4X4' HIGH WOOD FRAME CAGE WITH HORIZONTAL PLYWOOD PLANKING AS PROTECTION FOR THE TREE DURING CONSTRUCTION OR AS DIRECTED BY THE ENGINEER.

PROTECTION OF EXISTING TREE
 NOT TO SCALE

LEGEND

| | | | |
|-----|---------------------|---------|--------------------------|
| HH | HAND HOLE | VGC | VERTICAL GRANITE CURB |
| UP | UTILITY POLE | FGC | FLUSH GRANITE CURB |
| HP | GUY POLE | SGC | SLOPED GRANITE CURB |
| HY | HYDRANT | VCC | VERTICAL CONCRETE CURB |
| WS | WATER SHUT OFF | BB | BITUMINOUS BERM |
| WG | WATER GATE | WCB | CONCRETE BLOCK WALL |
| MW | MONITORING WELL | CRW | CONCRETE RETAINING WALL |
| CB | CATCH BASIN (CB) | CLF | CHAIN LINK FENCE |
| DMH | DRAIN MANHOLE (DMH) | FPR | POST & RAIL FENCE |
| SMH | SEWER MANHOLE (SMH) | MGR | METAL GUARD RAIL |
| EMH | ELECTRIC MANHOLE | BIT | BITUMINOUS |
| UMH | UNKNOWN MANHOLE | CONC. | CONCRETE |
| TMH | TELEPHONE MANHOLE | RCP | REINFORCED CONCRETE PIPE |
| GG | GAS GATE | CI | CAST IRON PIPE |
| GM | GAS METER | VC | VITRIFIED CLAY PIPE |
| PR | POST & RAIL FENCE | I | INVERT |
| CLF | CHAIN LINK FENCE | WL | WATER LEVEL |
| S | SEWER LINE | (BC) | BOTTOM CENTER |
| G | GAS LINE | NPV | NO PIPES VISIBLE |
| W | WATER LINE | FFE | FINISHED FLOOR ELEVATION |
| T | TELEPHONE LINE | + 22.67 | SPOT GRADE |
| OHW | OVERHEAD WIRES | ☀ | CONIFEROUS TREE |
| E | ELECTRIC LINE | 🌳 | DECIDUOUS TREE |
| D | DRAIN LINE | 🚧 | BOLLARD |
| — | TERMINUS UNKNOWN | 🚒 | FIRE ALARM BOX |
| | | 🚧 | SIGN |
| | | 🚧 | POLE LIGHT |

PLAN REFERENCE:

"EXISTING CONDITIONS PLAN OF LAND IN CAMBRIDGE, MA," PREPARED BY HANCOCK ASSOCIATES, DATED MARCH 26, 2014.

"OVERALL SITE PLAN," PREPARED BY HAMMER+WALSH DESIGN, INC., DATED NOVEMBER 17, 2014.



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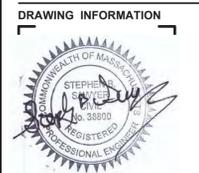
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ISSUED FOR:
SPECIAL PERMIT APPLICATION

DRAWING TITLE
SITE DEMO PLAN



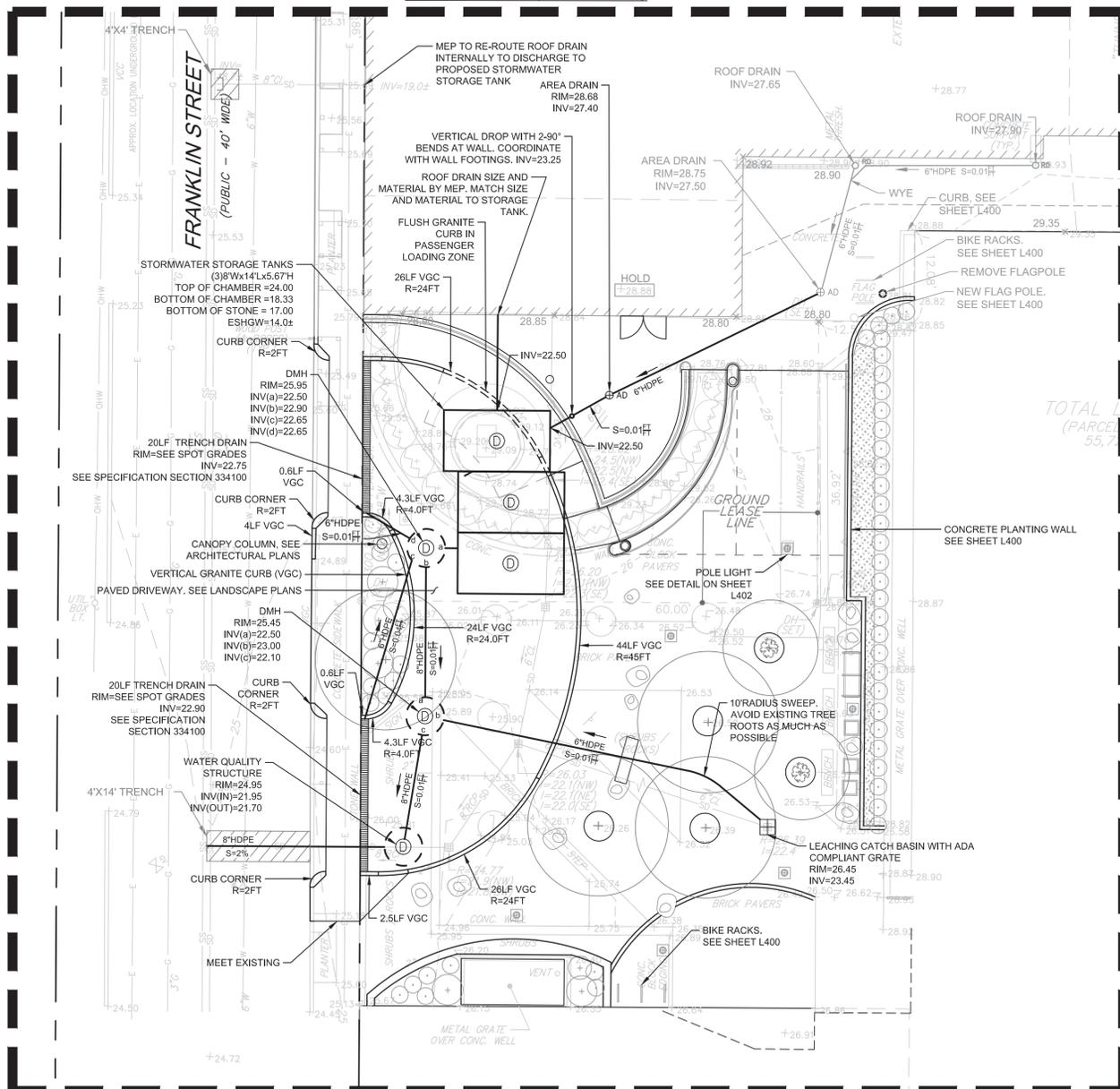
OCTOBER 14, 2015
 DATE OF ISSUE:
 SPECIAL PERMIT APPLICATION
 DESCRIPTION: 1" = 10' R. BOUCHER
 SCALE: DRAWN BY: 2014-035 Manning Apps, Inc.
 PROJECT#: FILE NAME:

DRAWING NUMBER

C100

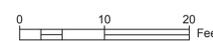


MATCHLINE (SEE C101)



GRADING - LAYOUT & MATERIALS

TOTAL 1 (PARCEL) 55.7



PIPE MATERIALS:

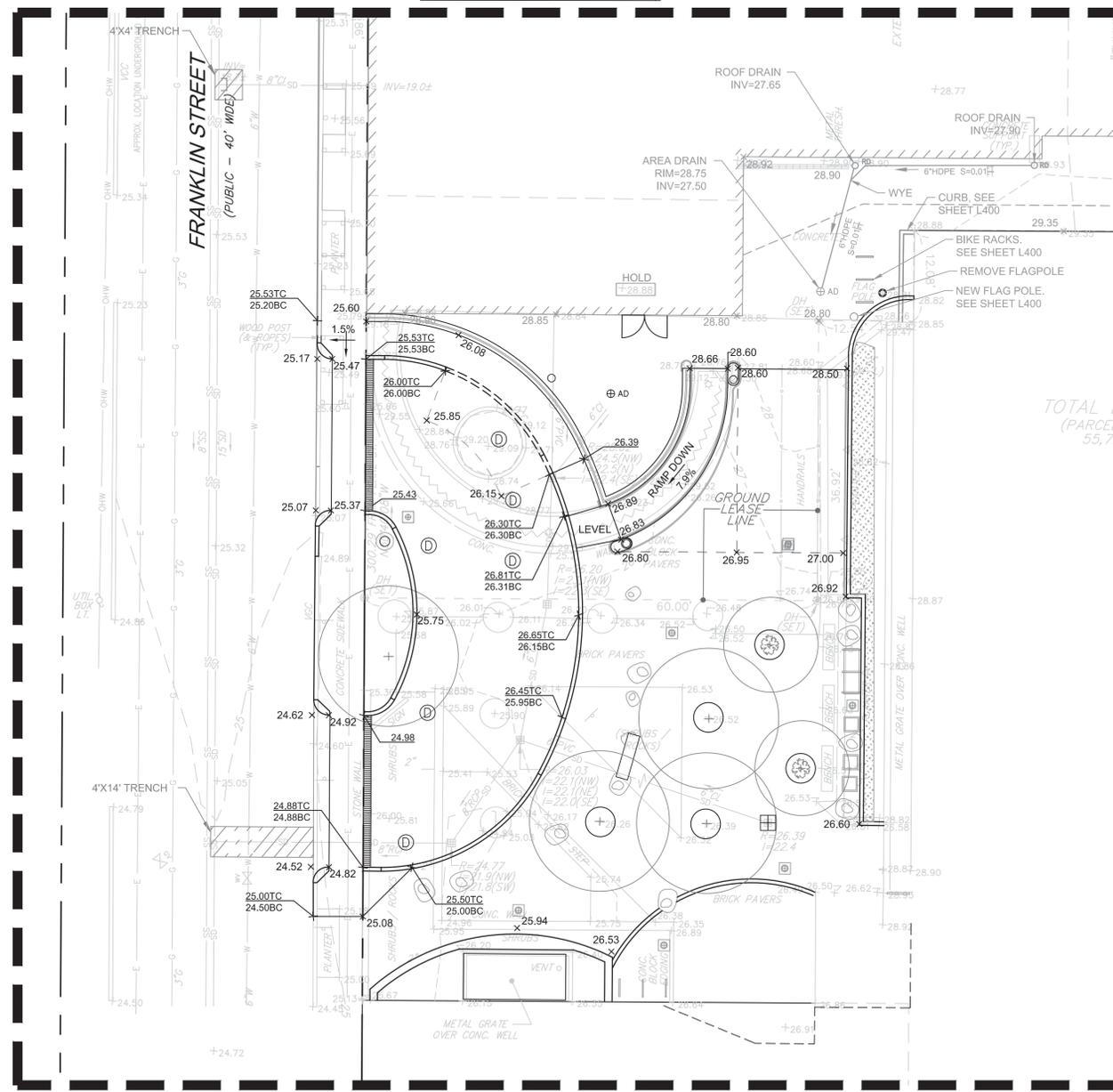
STORM DRAIN: HDPE, OR AS NOTED
SIZE AS NOTED
SLOPE=0.010 FT/FT (MINIMUM), OR AS NOTED

PLAN REFERENCE:

"EXISTING CONDITIONS PLAN OF LAND IN CAMBRIDGE, MA," PREPARED BY HANCOCK ASSOCIATES, DATED MARCH 26, 2014.

"OVERALL SITE PLAN," PREPARED BY HAMMER+WALSH DESIGN, INC., DATED NOVEMBER 17, 2014.

MATCHLINE (SEE C101)



GRADING - ALTERNATE

ARCHITECT
bh+a
Bargmann Hendrie + Archetype, Inc.
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Boston, MA 02210
617 350-0450 Tel
617 350-0215 Fax
www.bhplus.com

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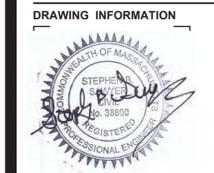
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ISSUED FOR:
SPECIAL PERMIT APPLICATION

DRAWING TITLE
SITE UTILITY & GRADING PLAN ALTERNATE BID



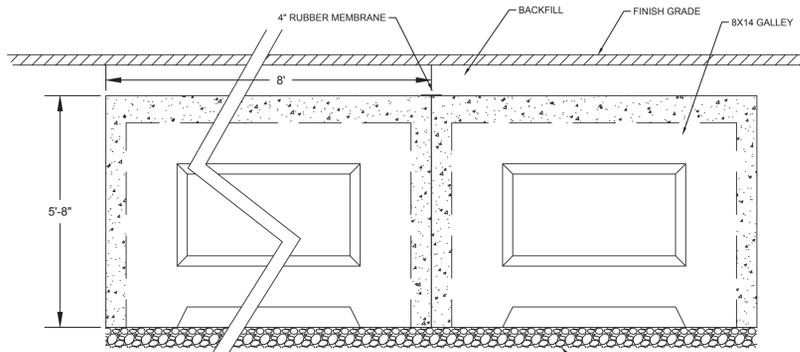
DRAWING INFORMATION
DATE OF ISSUE: OCTOBER 14, 2015
SPECIAL PERMIT APPLICATION
DESCRIPTION: 1" = 10'
SCALE: R. BOUCHER
DRAWN BY: Manning Apts.rtl
PROJECT #: FILE NAME:

DRAWING NUMBER

C102

GENERAL NOTES:

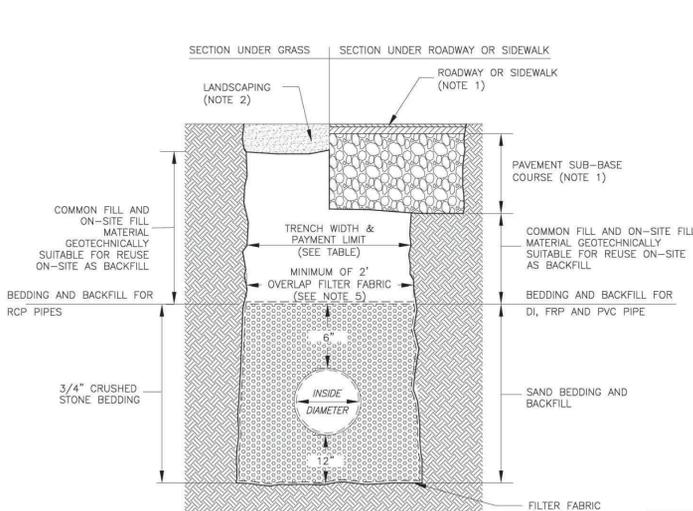
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET R.O.W. OR ON ABUTTING LOTS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE LOCATION OF EACH PROPOSED UTILITY CONNECTION.
- THE CITY OF CAMBRIDGE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) MAY NOT BE PART OF DIG-SAFE. THE CONTRACTOR SHALL CONTACT THE CITY OF CAMBRIDGE FOR THE MARKING OF CAMBRIDGE MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO PERFORM ALL WET AND/OR DRY TAPS AS PART OF THIS CONTRACT.
- NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF CAMBRIDGE.
- A DYE TEST SHALL BE PERFORMED BY A CITY OF CAMBRIDGE INSPECTOR PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
- THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
- THE CITY OF CAMBRIDGE RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO STANDARDS OF THE CITY OF CAMBRIDGE, DEPARTMENT OF PUBLIC WORKS AND ANY OTHER AGENCY OR BODY WITH AUTHORITY IN THIS AREA.
- ALL EXISTING UTILITY SERVICE CONNECTIONS, SEWER DISPOSAL FACILITIES, AND WELLS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF EACH CONNECTION. THE WATER, DRAIN, AND SEWER SERVICES SHALL BE CAPPED AND CUT AT THE MAIN IN THE STREET BY THE CONTRACTOR. ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANY.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE APPROXIMATE AND THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. (SEE MECHANICAL ENGINEER PLANS)
- CONTRACTOR SHALL ADJUST ALL GATES, SERVICE BOXES, ETC. WITHIN THE RECONSTRUCTION OF THE SIDEWALK AREA.
- FOR ZONING REQUIREMENTS AND SETBACK INFORMATION, SEE ARCHITECTURAL DRAWING AND ZONING COMPLIANCE PLAN.
- GRADES PROVIDED ARE INTERPOLATED FROM EXISTING CONDITIONS SURVEY. CONTRACTOR SHALL MEET THE EXISTING, UNEXCAVATED TOP OF CURB GRADE AND SIDEWALK GRADE AT THE LIMIT OF WORK.
- ELEVATIONS DEPICTED ON PLANS ARE ON CITY OF CAMBRIDGE BASE DATUM.



- NOTES:
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 - DESIGNED FOR AASHTO HS-20 LOAD, 0 TO 5 FT COVER.
 - END & SIDE UNITS DO NOT HAVE FLOW-THRU OPENINGS.

STORMWATER STORAGE TANK - 8'W X 14'L X 5'-8"H

NOT TO SCALE



TRENCH DETAIL FOR SEWER AND DRAIN PIPES

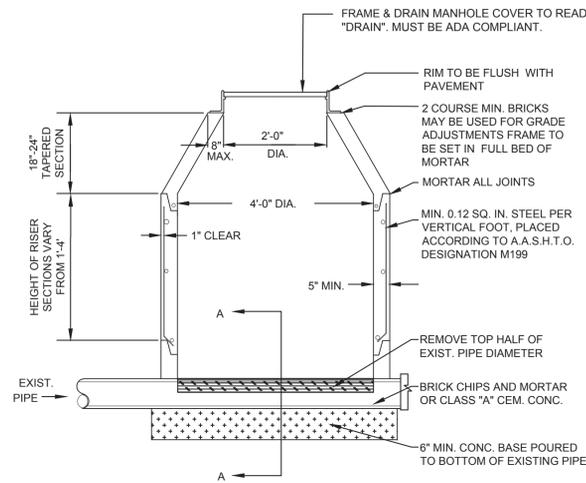
NOT TO SCALE

- NOTES:
- REFER TO PAVING AND SURFACING, AND CURBS, WALKS AND DRIVEWAYS REQUIREMENTS.
 - REFER TO LANDSCAPING REQUIREMENTS.
 - REFER TO "TRENCH PAY LIMIT TABLE FOR PIPES" FOR PAYMENT OF ALL ITEMS IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR CALCULATIONS OF QUANTITIES EXCEPT FOR TRENCH PAVEMENT.
 - REFER TO TRENCH PAVEMENT DETAIL FOR PAVEMENT PAYMENT WIDTHS.

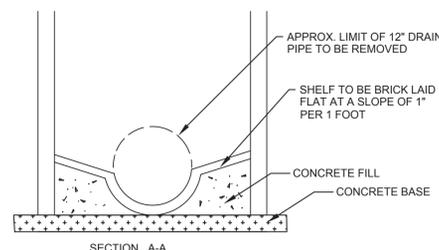
| PIPE SIZE (DIA.) | MAX TRENCH WIDTH |
|------------------|------------------|
| LESS THAN 2" | 2'-0" |
| 2" TO 6" | 3'-0" |
| 8" TO 22" | 4'-0" |
| 24" & GREATER | I.D. + 2'-0" |

I.D. = INSIDE DIMENSION
 FOR TRENCHES GREATER THAN 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

| | FILTER FABRIC USE | |
|--------------------|-------------------|----------------------------|
| | SOIL TYPE | |
| ABOVE GROUND WATER | SILT OR CLAY | FILTER FABRIC NOT REQUIRED |
| BELOW GROUND WATER | GRANULAR SOIL | FILTER FABRIC NOT REQUIRED |
| | | FILTER FABRIC REQUIRED |
| | | FILTER FABRIC NOT REQUIRED |

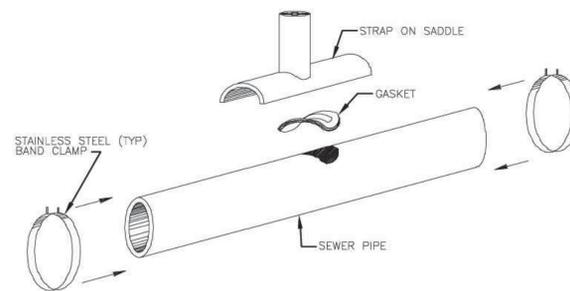


NOTE: PROVIDE SUPPORT FOR EXISTING 12" PIPE SURFACE DRAIN WHEN POURING CONCRETE BASE



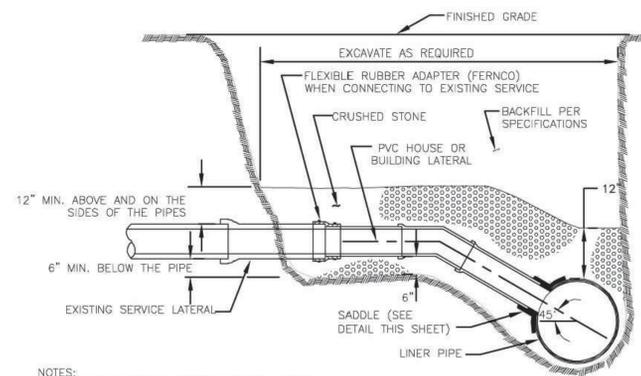
"DOGHOUSE" MANHOLE

NOT TO SCALE



SADDLE CONNECTION - PLAN

NOT TO SCALE



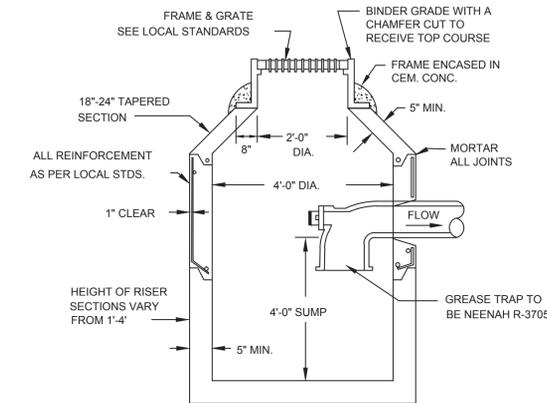
- NOTES:
- REPLACE EXISTING SERVICE LINE TO EXTENT SHOWN ON PLAN/PROFILES AND AS SPECIFIED.

SADDLE CONNECTION - SECTION

NOT TO SCALE

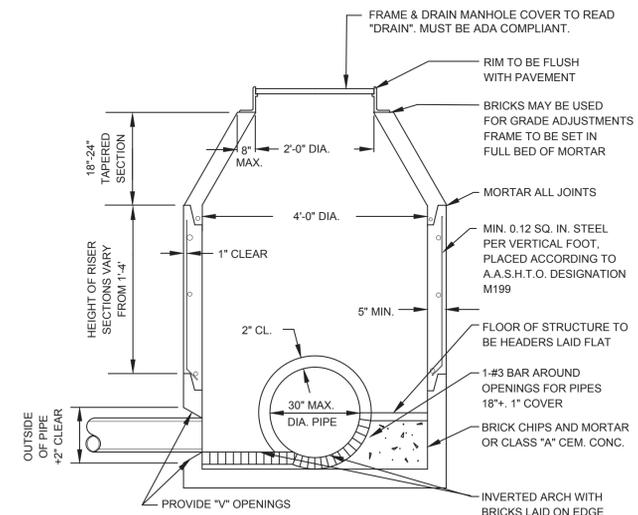
SADDLE CONNECTION FOR DRAIN

NOT TO SCALE



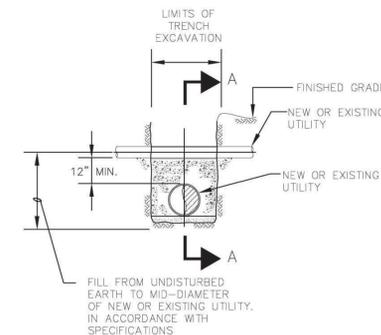
PRECAST CONCRETE CATCH BASIN WITH GAS TRAP

NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE

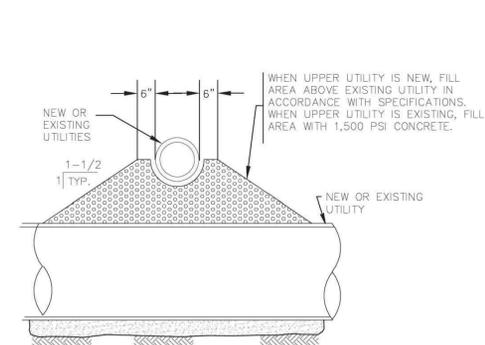
NOT TO SCALE



ELEVATION

UTILITY CROSSING

NOT TO SCALE



SECTION A-A

ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
 300 A Street
 Boston, MA 02210
 617 350-0450 Tel
 617 350-0215 Fax
 www.bhplus.com

PROJECT NAME

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237 Franklin Street, Cambridge, MA 02139

CLIENT

Cambridge Housing Authority

PROJECT TEAM

ISSUED FOR:

SPECIAL PERMIT APPLICATION

DRAWING TITLE

CONSTRUCTION DETAILS

DRAWING INFORMATION



OCTOBER 14, 2015

DATE OF ISSUE

SPECIAL PERMIT APPLICATION

DESCRIPTION

DRAWN BY R. BOUCHER

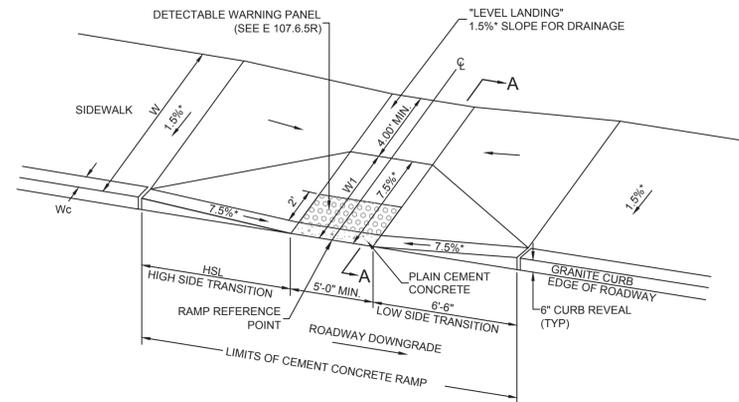
SCALE 2014-035

PROJECT # 3143_ResSubst_Acc.rvt

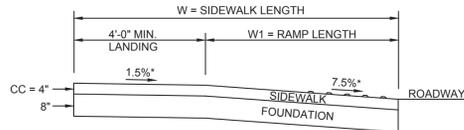
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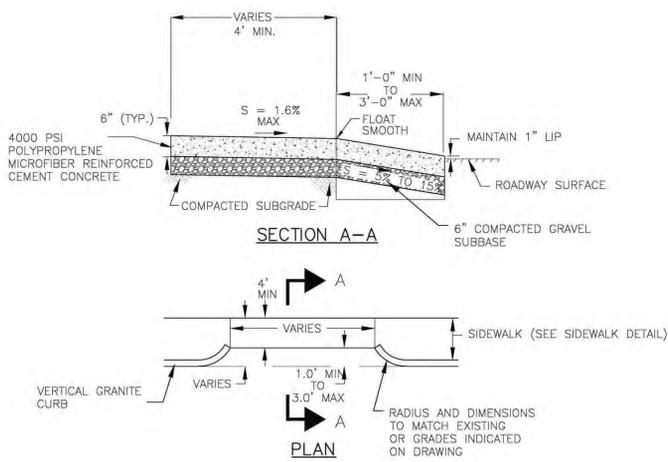


LEGEND:
 HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.9.0R)
 W = SIDEWALK WIDTH
 Wc = CURB WIDTH
 W1 = PERPENDICULAR RAMP LENGTH
 CC = CEMENT CONCRETE
 * = TOLERANCE FOR CONSTRUCTION ± 0.5%
 USABLE SIDEWALK WIDTH PER AAB = W-Wc
 RAMP LENGTH, W1=W-(4'-0") MIN.



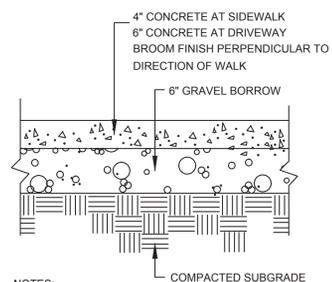
WHEELCHAIR RAMP

NOT TO SCALE



CEMENT CONCRETE DRIVEWAY APRON

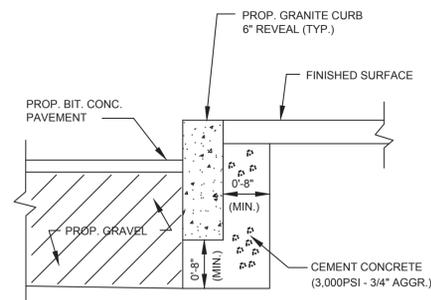
NOT TO SCALE



- NOTES:**
- CONCRETE SHALL BE 4,000 PSI.
 - PROVIDE 1/2" CONSTRUCTION CONTROL JOINT WITH PREFORMED EXPANSION MATERIAL EVERY 20'-0" O.C. MAX.
 - PROVIDE A TOOLED DUMMY JOINT 1/4"W x 1/2"D AS NEEDED TO PROVIDE SYMMETRY.

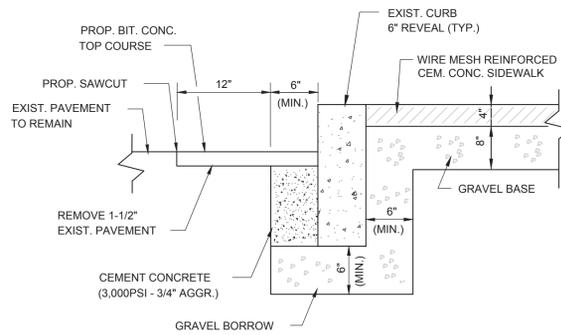
CEMENT CONCRETE SIDEWALK

NOT TO SCALE



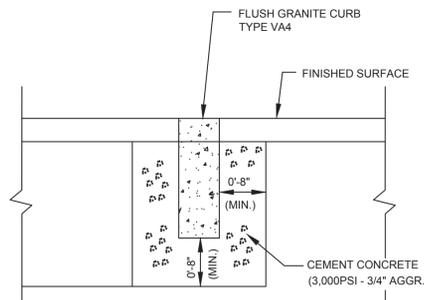
GRANITE CURB

NOT TO SCALE



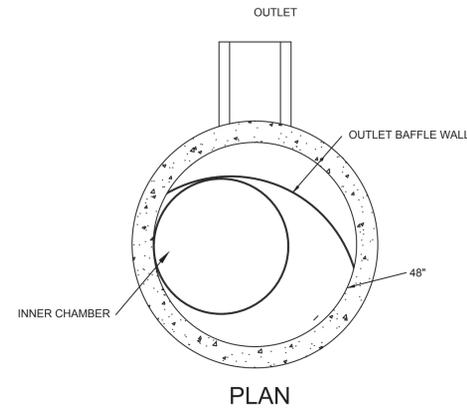
R&R EXISTING CURB IN EXISTING PAVEMENT & CEMENT CONCRETE SIDEWALK RECONSTRUCTION

NOT TO SCALE



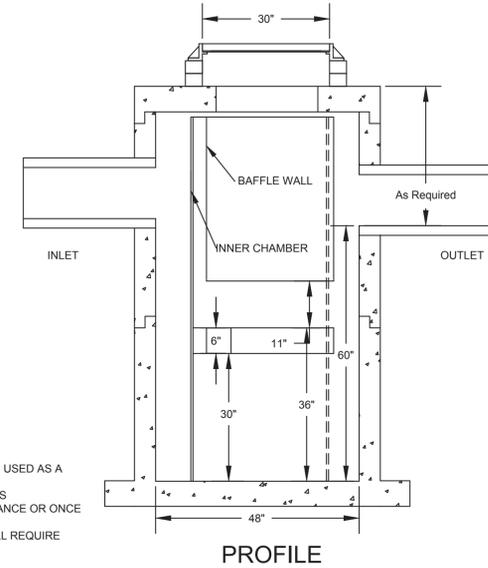
FLUSH GRANITE CURB

NOT TO SCALE



- DIMENSIONS IN INCHES
- PERMANENT POOL VOLUME = 450 US GALLONS
- THE HYDROGUARD MUST BE CLEANED AFTER THE CONSTRUCTION PERIOD IF IT IS USED AS A SEDIMENT AND EROSION CONTROL MEASURE
- THE HYDROGUARD SHOULD BE INSPECTED ONCE PER YEAR FOR STABILIZED SITES
- INSPECTION WILL DETERMINE THE MAINTENANCE FREQUENCY (ANNUAL MAINTENANCE OR ONCE EVERY TWO YEARS TYPICAL FOR STABILIZED SITES)
- SITES WITH UNSTABLE CONDITIONS (EXPOSED SOIL OR MATERIALS STORAGE) WILL REQUIRE MORE FREQUENT INSPECTION AND MAINTENANCE

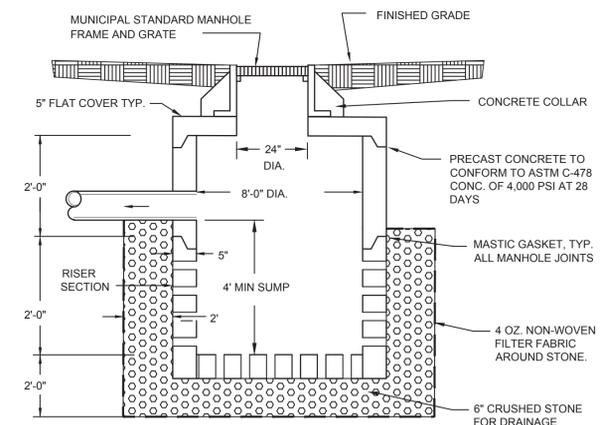
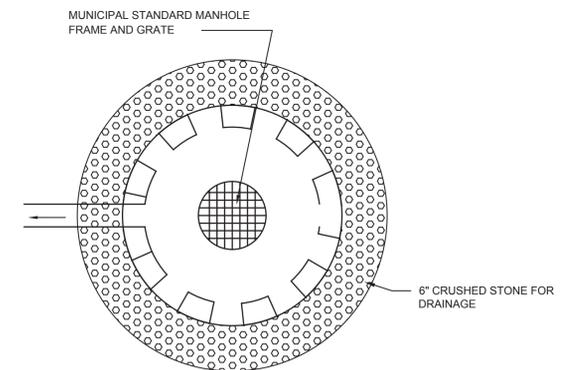
Hydroworks, LLC
 50 S. 21st St., Kenilworth, NJ 07033
 Phone: 888-290-7900 Fax: 888-783-7271
 Web: www.hydroworks.com



PROFILE

WATER QUALITY UNIT - HYDROWORKS

NOT TO SCALE



LEACHING CATCH BASIN

NOT TO SCALE

ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
 300 A Street
 Boston, MA 02210
 617 350-0450 Tel
 617 350-0215 Fax
 www.bhplus.com

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DESCRIPTION

SCALE: R. BOUCHER

2014-035 DRAWN BY

PROJECT # 3143_Repairs_Apr14 FILE NAME

DRAWING NUMBER

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SEE PLAN I / L 401

DEED BOOK 9632, PAGE 120
PLAN No. 145 OF 1944
PLAN No. 3 85 OF 1947

DEED BOOK 20819, PAGE 407
PLAN BOOK 305, PLAN 20

SEE ENLARGED
PLAN I / L 402

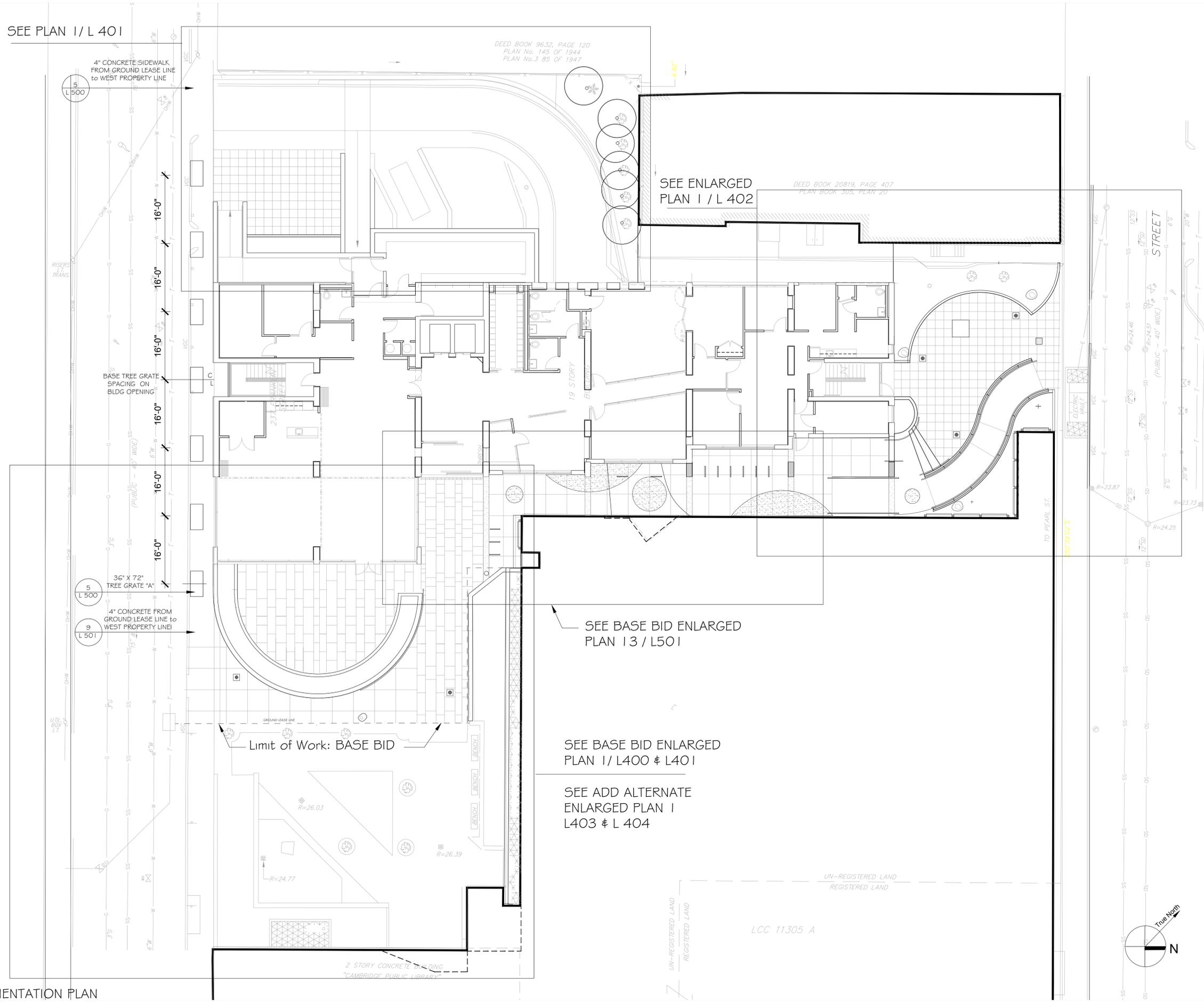
SEE BASE BID ENLARGED
PLAN I 3 / L501

SEE BASE BID ENLARGED
PLAN I / L400 & L401

SEE ADD ALTERNATE
ENLARGED PLAN I
L403 & L 404

Limit of Work: BASE BID

2 STORY CONCRETE BUILDING
"CAMBRIDGE PUBLIC LIBRARY"



FROM PLAN No. 1357 OF 1988

4" CONCRETE SIDEWALK
FROM GROUND LEASE LINE
TO WEST PROPERTY LINE

36" X 72"
TREE GRATE "A"

4" CONCRETE FROM
GROUND LEASE LINE TO
WEST PROPERTY LINE

BASE TREE GRATE
SPACING ON
BLDG OPENING

ARCHITECT
bh+a
 Bargmann Hendrie + Archetype, Inc.
 300 A Street
 Boston, MA 02210
 617 350-0450 Tel
 617 350-0215 Fax
 www.bhplus.com

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CLIENT
Cambridge Housing Authority
 362 Green Street
 Cambridge, MA 02139
 617-864-3020 Tel
 616-868-5372 Fax
 www.cambridge-housing.org

PROJECT TEAM
STRUCTURAL CONSULTANT
 DM Berg Consultants, PC
 100 Crescent Road, Suite 1A
 Needham, MA 02494
 718-444-5156 Tel
 718-444-5157 Fax
 www.dnberg.com

MECHANICAL, PLUMBING, & FIRE PROTECTION CONSULTANT
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 Woburn, MA 01801
 781-935-7228 Tel
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 32 Prince Street
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 978-777-7650 Tel
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LANDSCAPE ARCHITECT
 Hammer+Walsh Design Inc.
 300 A Street
 Boston, MA 02210-1620
 617-439-0125 Tel
 617-439-0126 Fax

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 120 Middlesex Avenue, Suite 20
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 617-776-3350 Tel
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ISSUED FOR:

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DRAWING TITLE
Site Orientation Plan

DRAWING INFORMATION



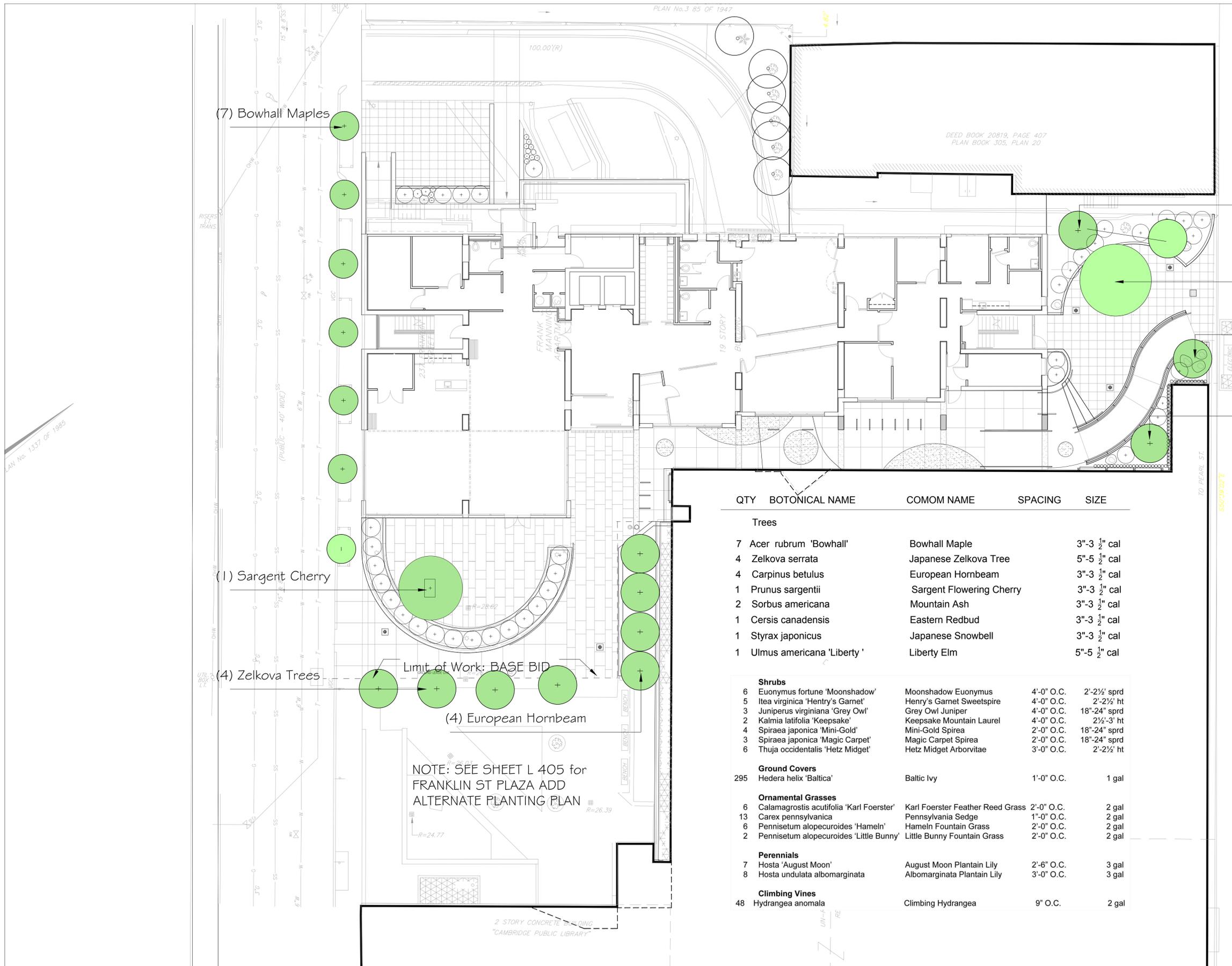
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 PROJECT # FILE NAME

DRAWING NUMBER

L100

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1 SITE ORIENTATION PLAN



| QTY | BOTONICAL NAME | COMOM NAME | SPACING | SIZE |
|---------------------------|---|----------------------------------|------------|----------------|
| Trees | | | | |
| 7 | <i>Acer rubrum</i> 'Bowhall' | Bowhall Maple | | 3"-3 1/2" cal |
| 4 | <i>Zelkova serrata</i> | Japanese Zelkova Tree | | 5"-5 1/2" cal |
| 4 | <i>Carpinus betulus</i> | European Hornbeam | | 3"-3 1/2" cal |
| 1 | <i>Prunus sargentii</i> | Sargent Flowering Cherry | | 3"-3 1/2" cal |
| 2 | <i>Sorbus americana</i> | Mountain Ash | | 3"-3 1/2" cal |
| 1 | <i>Cersis canadensis</i> | Eastern Redbud | | 3"-3 1/2" cal |
| 1 | <i>Styrax japonicus</i> | Japanese Snowbell | | 3"-3 1/2" cal |
| 1 | <i>Ulmus americana</i> 'Liberty' | Liberty Elm | | 5"-5 1/2" cal |
| Shrubs | | | | |
| 6 | <i>Euonymus fortunei</i> 'Moonshadow' | Moonshadow Euonymus | 4'-0" O.C. | 2'-2 1/2" sprd |
| 5 | <i>Itea virginica</i> 'Henry's Garnet' | Henry's Garnet Sweetpire | 4'-0" O.C. | 2'-2 1/2" ht |
| 3 | <i>Juniperus virginiana</i> 'Grey Owl' | Grey Owl Juniper | 4'-0" O.C. | 18"-24" sprd |
| 2 | <i>Kalmia latifolia</i> 'Keepsake' | Keepsake Mountain Laurel | 4'-0" O.C. | 2 1/2'-3' ht |
| 4 | <i>Spiraea japonica</i> 'Mini-Gold' | Mini-Gold Spirea | 2'-0" O.C. | 18"-24" sprd |
| 3 | <i>Spiraea japonica</i> 'Magic Carpet' | Magic Carpet Spirea | 2'-0" O.C. | 18"-24" sprd |
| 6 | <i>Thuja occidentalis</i> 'Hetz Midget' | Hetz Midget Arborvitae | 3'-0" O.C. | 2'-2 1/2" ht |
| Ground Covers | | | | |
| 295 | <i>Hedera helix</i> 'Baltica' | Baltic Ivy | 1'-0" O.C. | 1 gal |
| Ornamental Grasses | | | | |
| 6 | <i>Calamagrostis acutifolia</i> 'Karl Foerster' | Karl Foerster Feather Reed Grass | 2'-0" O.C. | 2 gal |
| 13 | <i>Carex pennsylvanica</i> | Pennsylvania Sedge | 1'-0" O.C. | 2 gal |
| 6 | <i>Pennisetum alopecuroides</i> 'Hameln' | Hameln Fountain Grass | 2'-0" O.C. | 2 gal |
| 2 | <i>Pennisetum alopecuroides</i> 'Little Bunny' | Little Bunny Fountain Grass | 2'-0" O.C. | 2 gal |
| Perennials | | | | |
| 7 | <i>Hosta</i> 'August Moon' | August Moon Plantain Lily | 2'-6" O.C. | 3 gal |
| 8 | <i>Hosta undulata albomarginata</i> | Albomarginata Plantain Lily | 3'-0" O.C. | 3 gal |
| Climbing Vines | | | | |
| 48 | <i>Hydrangea anomala</i> | Climbing Hydrangea | 9" O.C. | 2 gal |

NOTE: SEE SHEET L 405 for FRANKLIN ST PLAZA ADD ALTERNATE PLANTING PLAN

OVERALL PLANTING PLAN

ARCHITECT
bh+a
 Bargmann Hendrie + Archetype, Inc.
 300 A Street
 Boston, MA 02210
 617 350-0450 Tel
 617 350-0215 Fax
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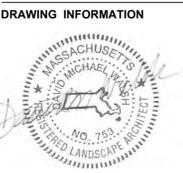
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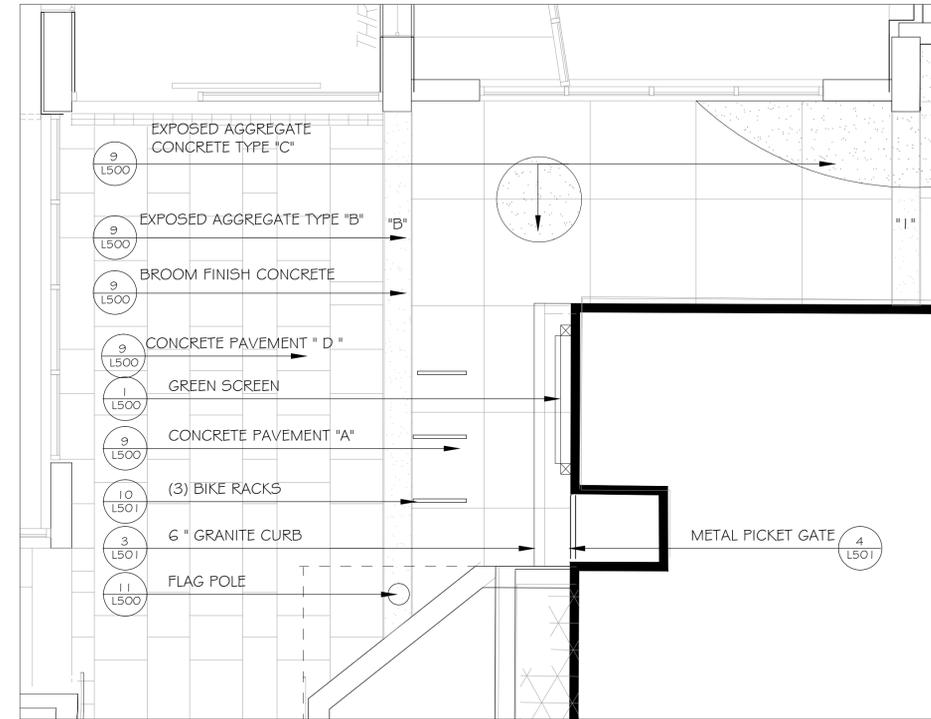
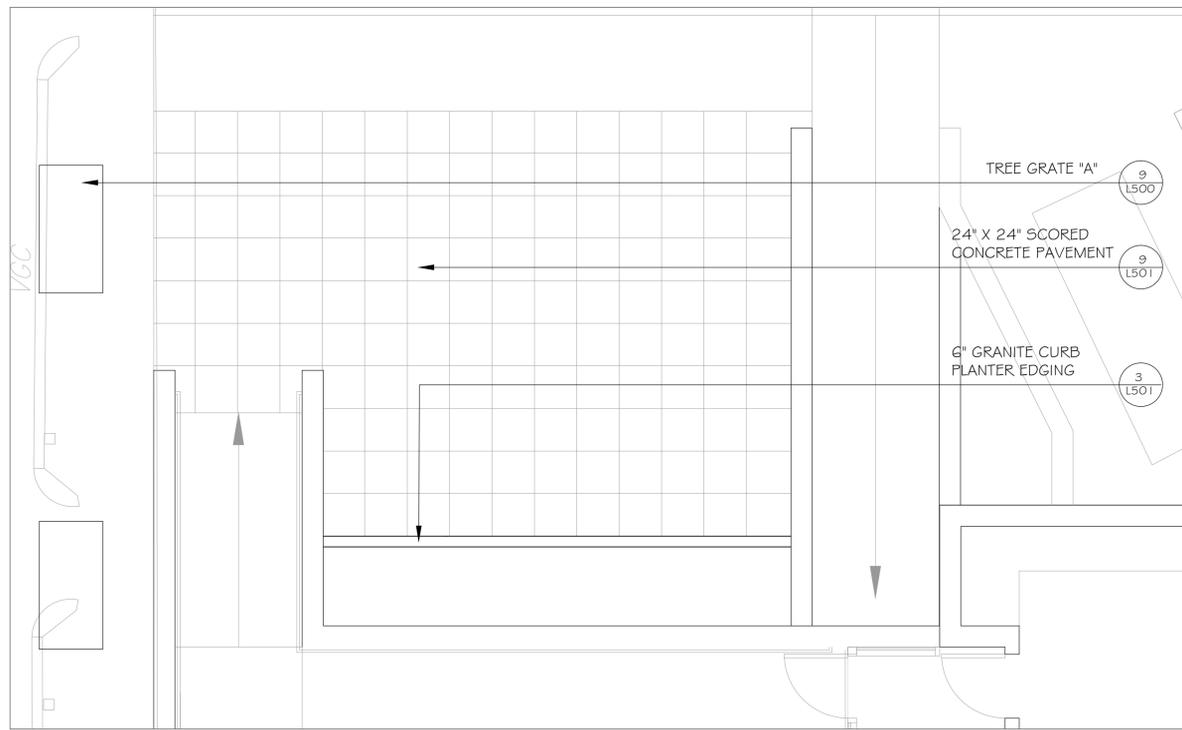
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DRAWING TITLE
Base Bid Planting Plan

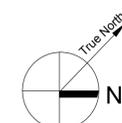
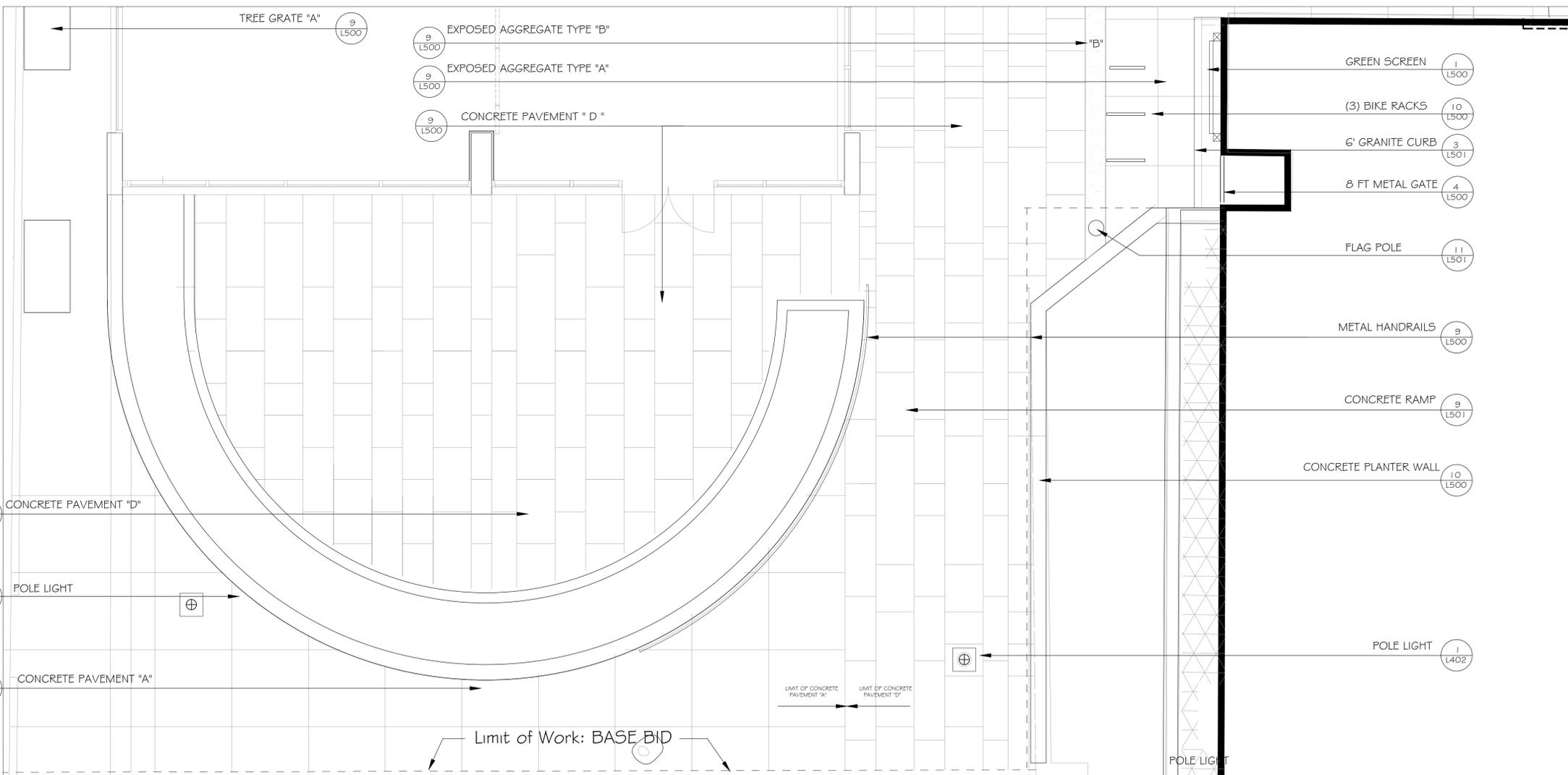


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SEE SHEETS L402 & L403



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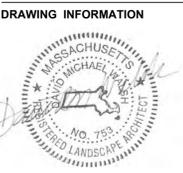
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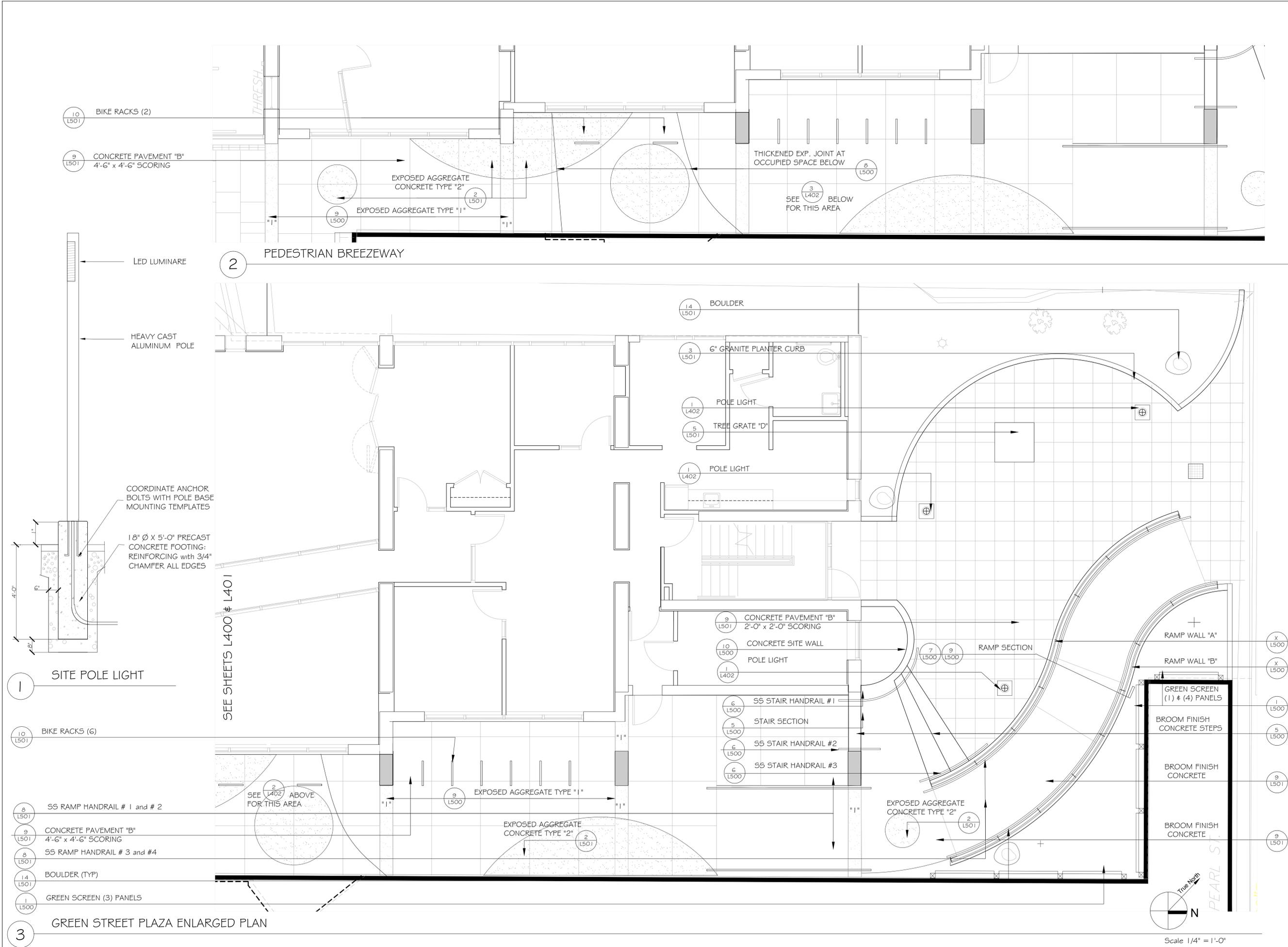
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Base Bid Materials Plan: Franklin St Plaza



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DRAWING NUMBER
L400



- 10 L501 BIKE RACKS (2)
- 9 L501 CONCRETE PAVEMENT "B"
4'-6" x 4'-6" SCORING
- 2 L501 EXPOSED AGGREGATE CONCRETE TYPE "2"
- 9 L500 EXPOSED AGGREGATE TYPE "1"
- 8 L501 LED LUMINAIRE
- HEAVY CAST ALUMINUM POLE
- COORDINATE ANCHOR BOLTS WITH POLE BASE MOUNTING TEMPLATES
- 1 8" Ø X 5'-0" PRECAST CONCRETE FOOTING. REINFORCING WITH 3/4" CHAMFER ALL EDGES
- 1 SITE POLE LIGHT
- 10 L501 BIKE RACKS (6)
- 8 L501 SS RAMP HANDRAIL # 1 and # 2
- 9 L501 CONCRETE PAVEMENT "B"
4'-6" x 4'-6" SCORING
- 8 L501 SS RAMP HANDRAIL # 3 and # 4
- 14 L501 BOULDER (TYP)
- 1 L500 GREEN SCREEN (3) PANELS
- 3 GREEN STREET PLAZA ENLARGED PLAN

2 PEDESTRIAN BREEZEWAY

SEE SHEETS L400 & L401

SEE L402 ABOVE FOR THIS AREA

THICKENED EXP. JOINT AT OCCUPIED SPACE BELOW

SEE L402 BELOW FOR THIS AREA

14 L501 BOULDER

3 L501 6" GRANITE PLANTER CURB

1 L402 POLE LIGHT

5 L501 TREE GRATE "D"

1 L402 POLE LIGHT

9 L501 CONCRETE PAVEMENT "B"
2'-0" x 2'-0" SCORING

10 L500 CONCRETE SITE WALL

1 L402 POLE LIGHT

6 L500 SS STAIR HANDRAIL # 1

5 L500 STAIR SECTION

6 L500 SS STAIR HANDRAIL # 2

6 L500 SS STAIR HANDRAIL # 3

7 L500 RAMP SECTION

9 L500 RAMP SECTION

RAMP WALL "A"

RAMP WALL "B"

GREEN SCREEN (1) & (4) PANELS

BROOM FINISH CONCRETE STEPS

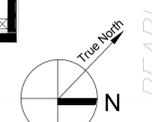
BROOM FINISH CONCRETE

BROOM FINISH CONCRETE

BROOM FINISH CONCRETE

EXPOSED AGGREGATE CONCRETE TYPE "2"

EXPOSED AGGREGATE CONCRETE TYPE "2"



Scale 1/4" = 1'-0"

ARCHITECT
bh+a
 Bargmann Hendrie + Archetype, Inc.
 300 A Street
 Boston, MA 02210
 617 350-0450 Tel
 617 350-0215 Fax
 www.bhplus.com

PROJECT NAME
Frank J. Manning Apartments
 237 Franklin Street, Cambridge, MA 02139

CLIENT
Cambridge Housing Authority
 362 Green Street
 Cambridge, MA 02139
 617-864-3020 Tel
 616-868-5372 Fax
 www.cambridge-housing.org

PROJECT TEAM
STRUCTURAL CONSULTANT
 DM Berg Consultants, PC
 100 Crescent Road, Suite 1A
 Needham, MA 02494
 718-444-5156 Tel
 718-444-5157 Fax
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 300 A Street
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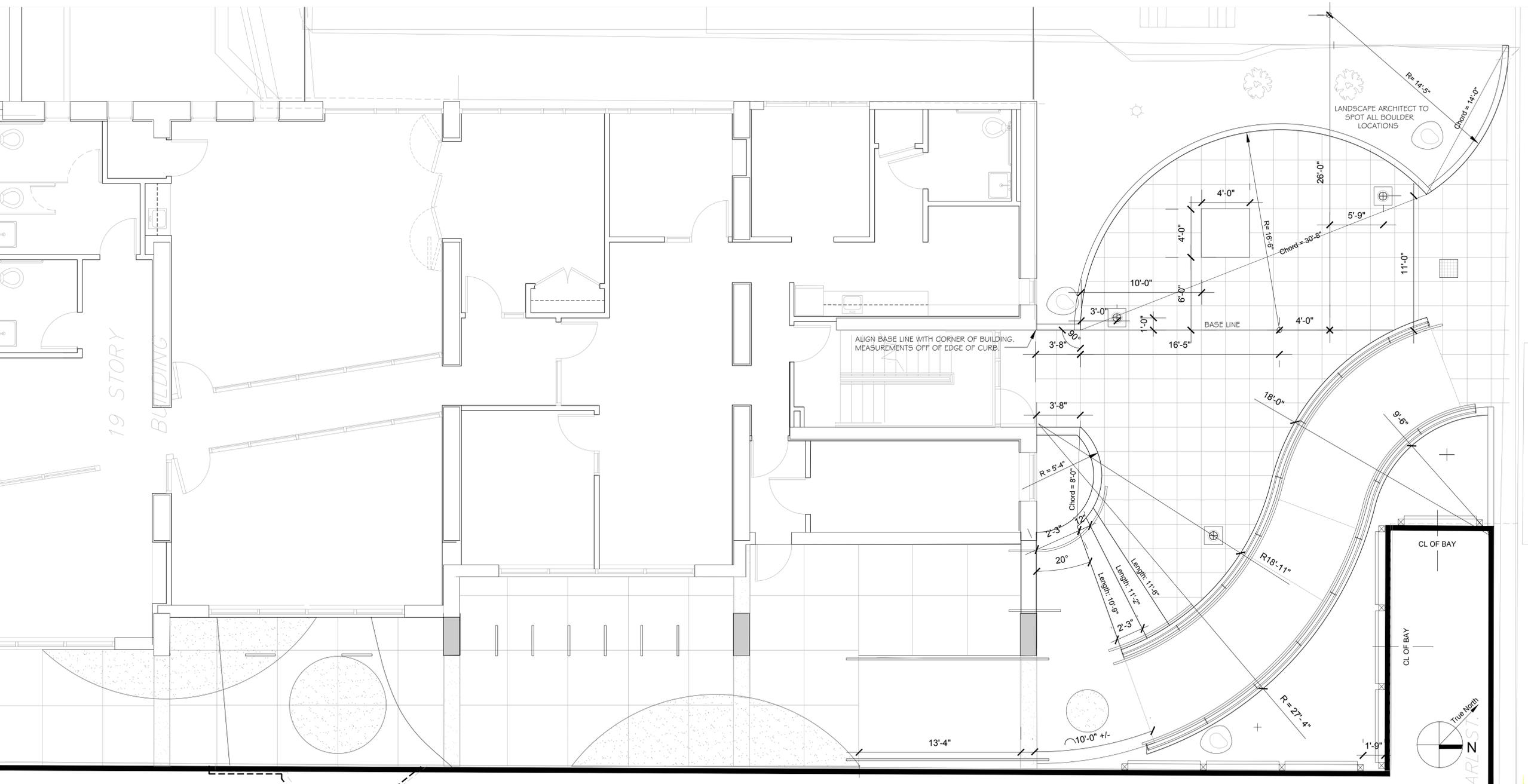
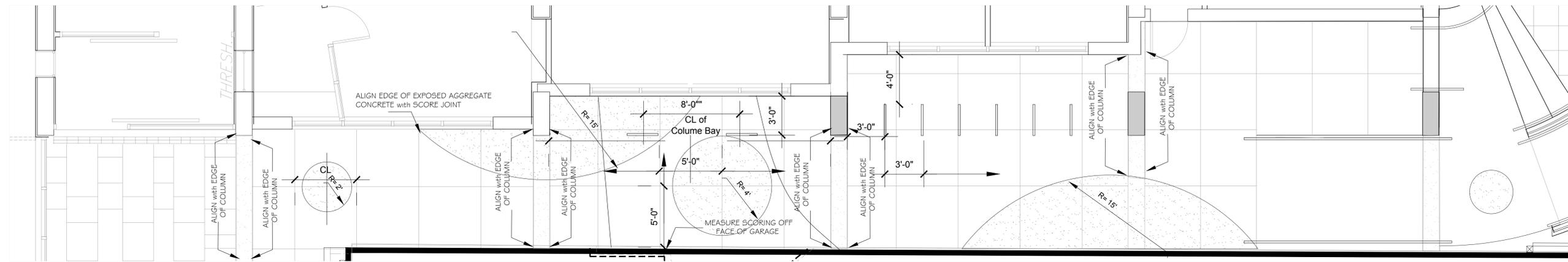
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DRAWING TITLE
Base Bid Enlarged Plans



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2 GREEN STREET PLAZA ENLARGED PLAN

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 617 350-0450 Tel
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 362 Green Street
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 616-868-5372 Fax
 www.cambridge-housing.org

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 Needham, MA 02494
 718-444-5156 Tel
 718-444-5157 Fax
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DRAWING TITLE

Base Bid Green Street Plaza

DRAWING INFORMATION

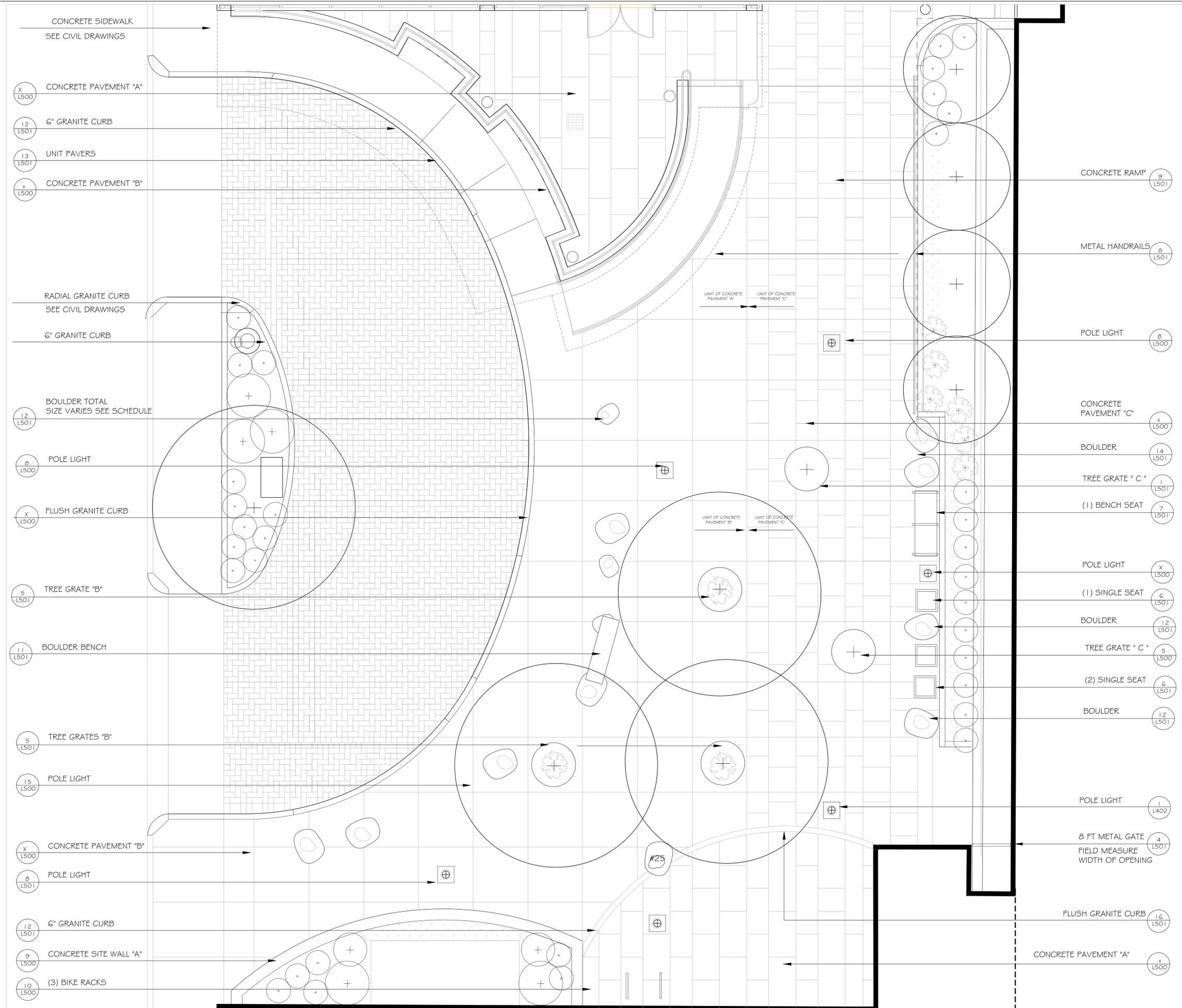


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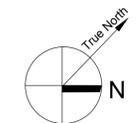
L403

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- CONCRETE SIDEWALK
SEE CIVIL DRAWINGS
- (X L500) CONCRETE PAVEMENT "A"
- (12 L501) 6" GRANITE CURB
- (13 L501) UNIT PAVERS
- (X L500) CONCRETE PAVEMENT "B"
- RADIAL GRANITE CURB
SEE CIVIL DRAWINGS
- 6" GRANITE CURB
- (12 L501) BOULDER TOTAL
SIZE VARIES SEE SCHEDULE
- (8 L500) POLE LIGHT
- (X L500) FLUSH GRANITE CURB
- (5 L501) TREE GRATE "B"
- (11 L501) BOULDER BENCH
- (5 L501) TREE GRATES "B"
- (15 L500) POLE LIGHT
- (X L500) CONCRETE PAVEMENT "B"
- (8 L501) POLE LIGHT
- (12 L501) 6" GRANITE CURB
- (9 L500) CONCRETE SITE WALL "A"
- (10 L500) (3) BIKE RACKS

- CONCRETE RAMP (9 L501)
- METAL HANDRAILS (8 L501)
- POLE LIGHT (8 L500)
- CONCRETE PAVEMENT "C" (X L500)
- BOULDER (14 L501)
- TREE GRATE "C" (1 L501)
- (1) BENCH SEAT (7 L501)
- POLE LIGHT (X L500)
- (1) SINGLE SEAT (6 L501)
- BOULDER (12 L501)
- TREE GRATE "C" (5 L500)
- (2) SINGLE SEAT (6 L501)
- BOULDER (12 L501)
- POLE LIGHT (1 L402)
- 8 FT METAL GATE
FIELD MEASURE
WIDTH OF OPENING (4 L501)
- FLUSH GRANITE CURB (16 L501)
- CONCRETE PAVEMENT "A" (X L500)



ARCHITECT
bh+a
 Bargmann Hendrie + Archetype, Inc.
 300 A Street
 Boston, MA 02210
 617 350-0450 Tel
 617 350-0215 Fax
 www.bhplus.com

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 Needham, MA 02494
 718-444-5156 Tel
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MECHANICAL, PLUMBING, & FIRE PROTECTION CONSULTANT
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 Woburn, MA 01801
 781-935-7228 Tel
 781-935-1822 Fax
 www.vavint.com

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 Danvers, MA 01923
 978-777-7650 Tel
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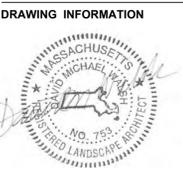
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 Boston, MA 02210-1620
 617-439-0125 Tel
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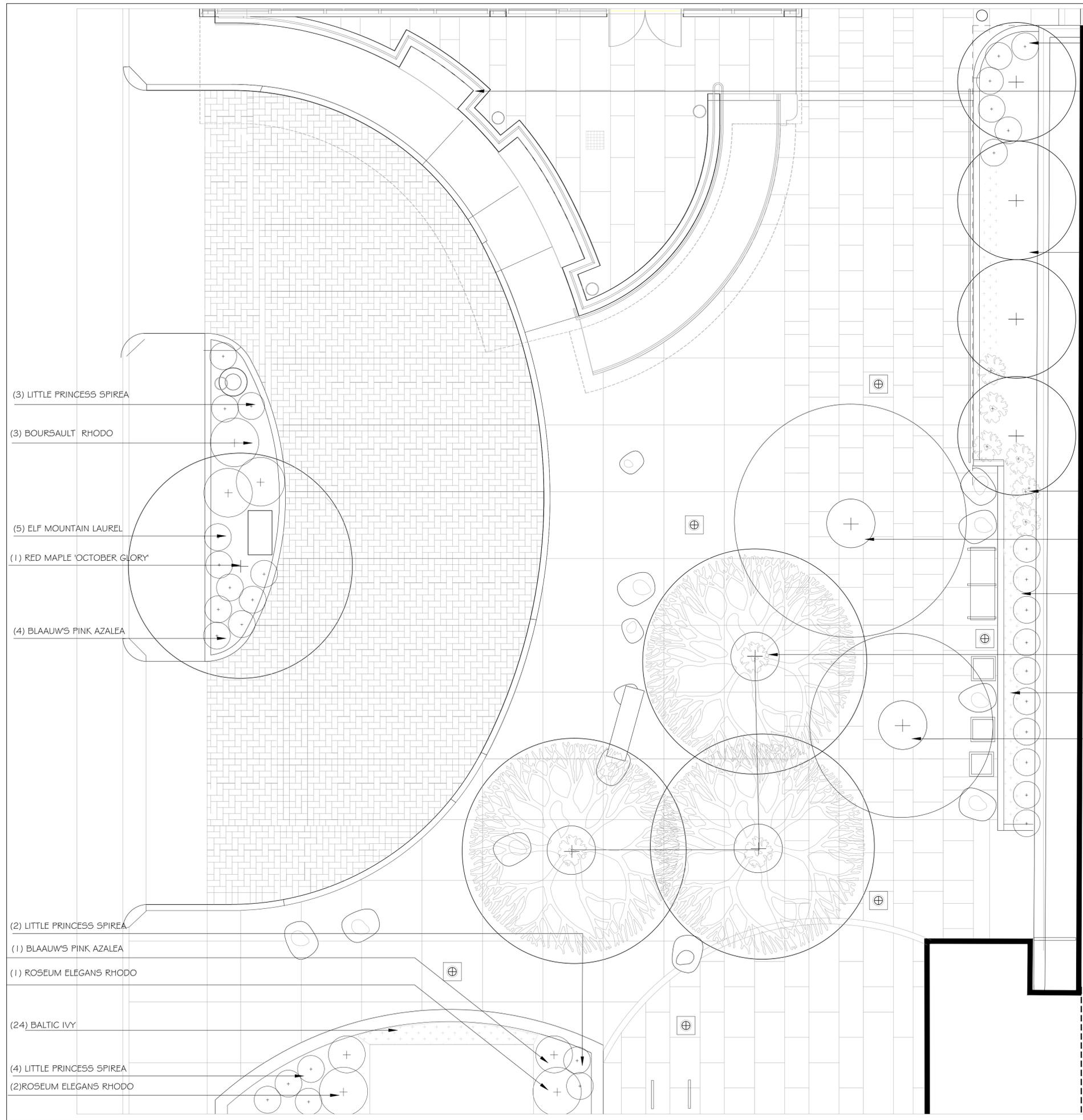
DRAWING TITLE
ADD Alternate Materials Plan: Franklin St Plaza



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SEE L 101 BASE BID PLANTING PLAN

(186) BALTIC IVY

SEE L 101 BASE BID PLANTING PLAN

(6) LITTLE PRINCESS SPIREA

(1) LIBERTY ELM

(9) CHINA GIRL HOLLY

(1) CHINA BOY HOLLY

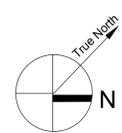
(3) EXISTING ZELKOVA TREES

(94) BALTIC IVY

(1) MORaine SWEETGUM

ADD ALTERNATE NO. 1 PLANT LIST

| QUAN | BOTANICAL NAME | COMMON NAME | SIZE |
|----------------------|------------------------------------|-------------------------|---------------|
| Trees | | | |
| 1 | Ulmus Americana 'Liberty | Liberty Elm | 5"-5 1/2" cal |
| 1 | Liquidambar styraciflua 'Moraine' | Moraine Sweetgum | 3"-3 1/2" cal |
| 1 | Acer rubrum 'October Glory' | October Glory Red Maple | 3"-3 1/2" cal |
| Shrubs | | | |
| 1 | Ilex meserveae 'China Boy' | China Boy Holly | 2 1/2'-3' ht |
| 9 | Ilex meserveae 'China Girl' | China Girl Holly | 2 1/2'-3' ht |
| 5 | Kalmia latifolia 'Elf' | Elf Mountain Laurel | 2'-2 1/2' ht |
| 3 | Rhododendron 'Boursault' | Boursault Rhododendron | 2 1/2'-3' ht |
| 4 | Rhododendron 'Blaauw's | Blaauw's Pink Azalea | 2 1/2'-3' ht |
| 15 | Spiraea japonica 'Little Princess' | Little Princess Spirea | 2 1/2'-3' ht |
| Ground Covers | | | |
| 304 | Hedera helix 'Baltica' | Baltic Ivy | 4" pots |



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 Needham, MA 02494
 718-444-5156 Tel
 718-444-5157 Fax
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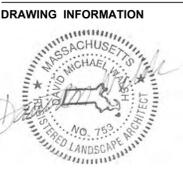
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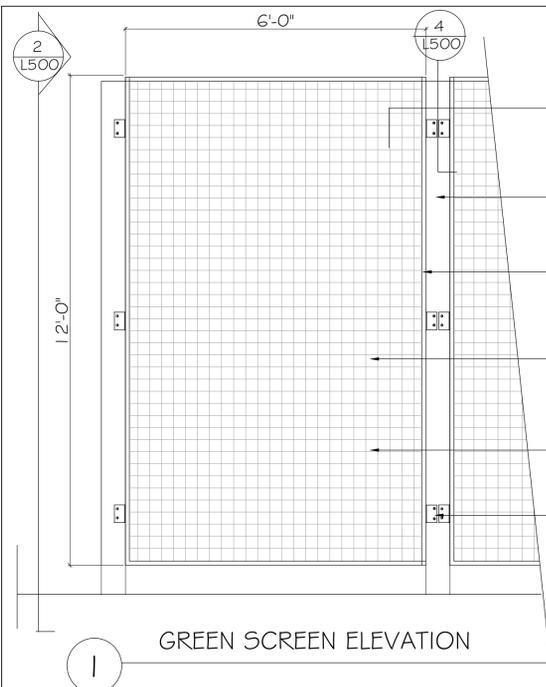
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DRAWING TITLE
ADD Alternate Planting Plan: Franklin St Plaza

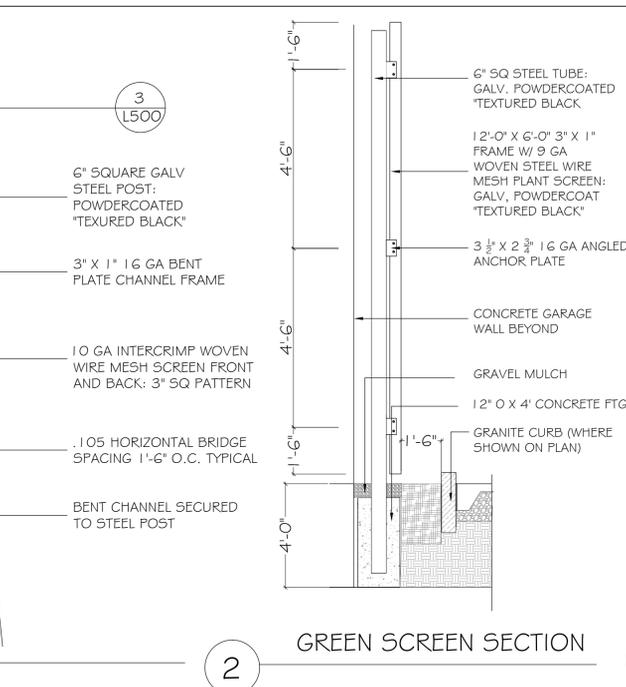


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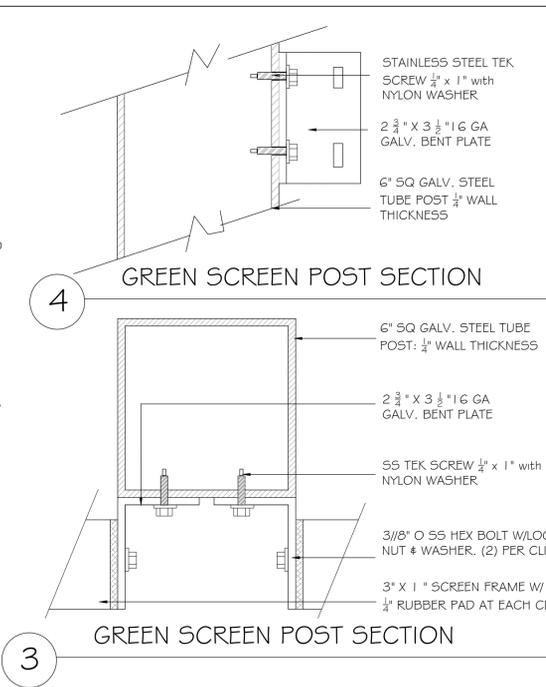
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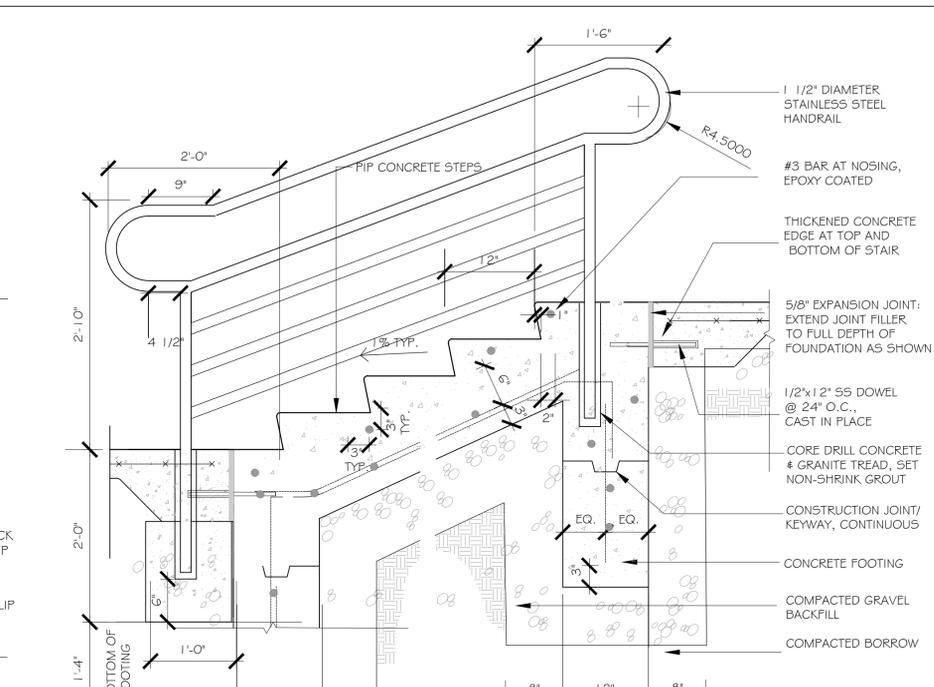
GREEN SCREEN ELEVATION



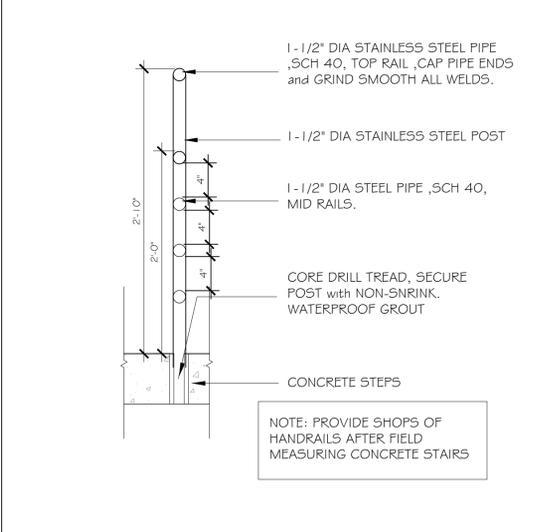
GREEN SCREEN SECTION



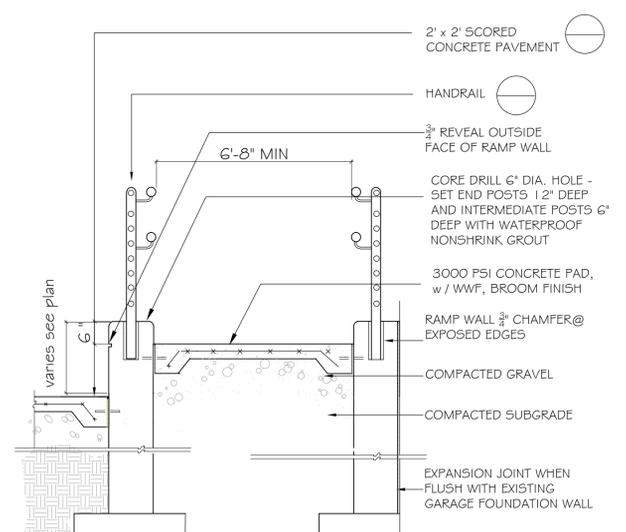
GREEN SCREEN POST SECTION



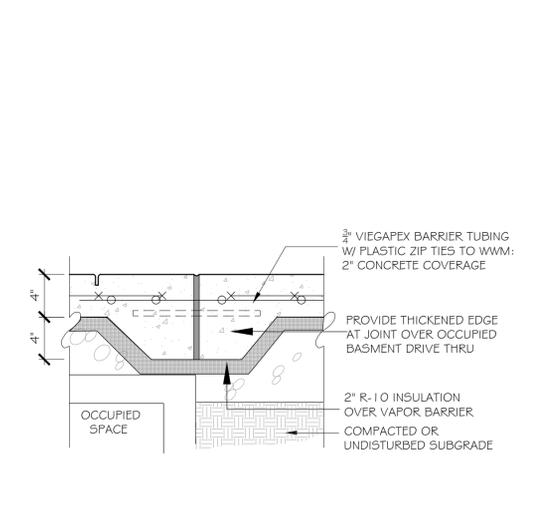
STEPS SECTION: GREEN ST PLAZA



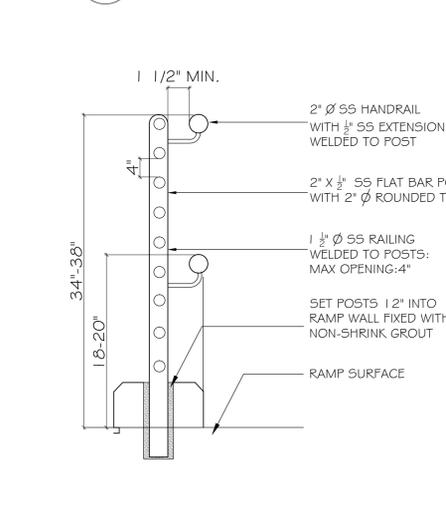
HANDRAIL @ STEP SECTION



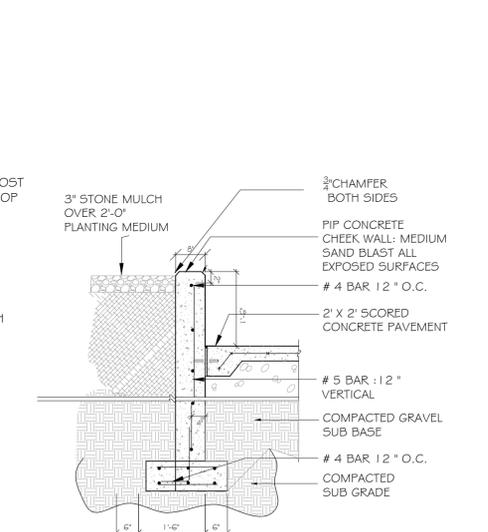
GREEN ST PLAZA RAMP SECTION



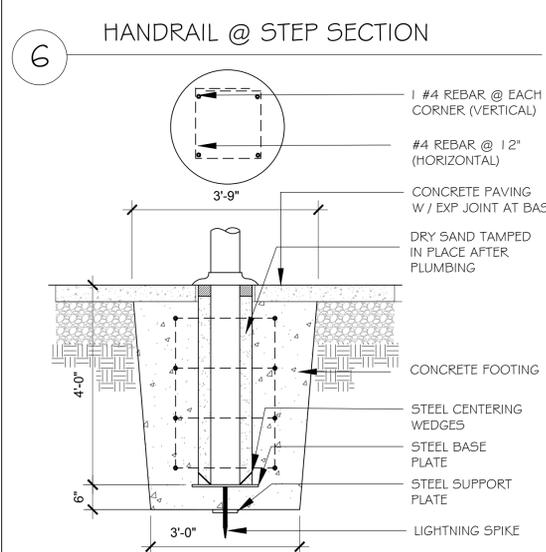
SNOW MELT AT CONCRETE PAVING



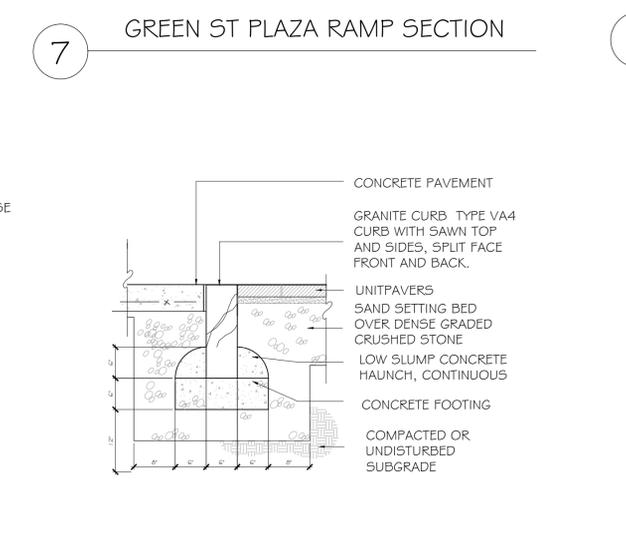
RAMP HANDRAIL SECTION



PLANTER WALL SECTION



FLAGPOLE FOOTING



FLUSH GRANITE CURB

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 300 A Street
 Boston, MA 02210
 617-350-0450 Tel
 617-350-0215 Fax
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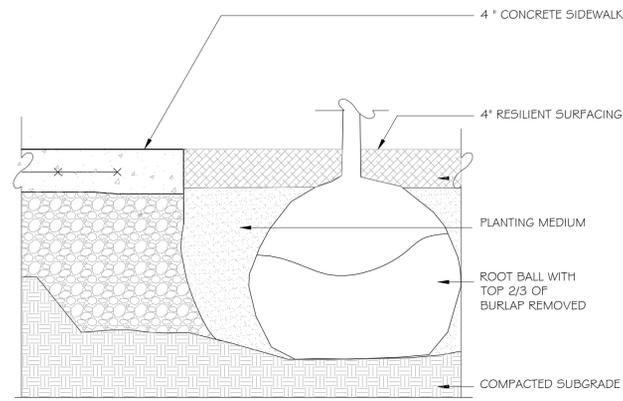
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Green St Plaza Details

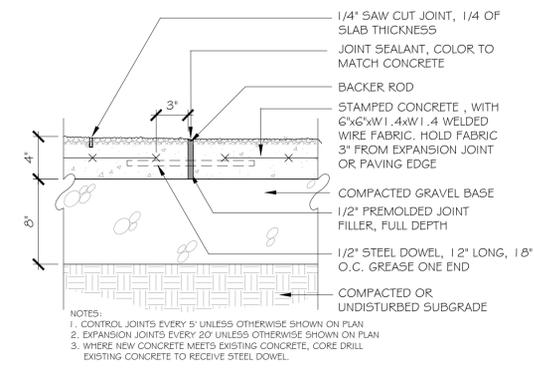
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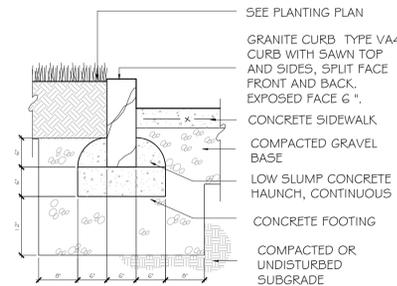
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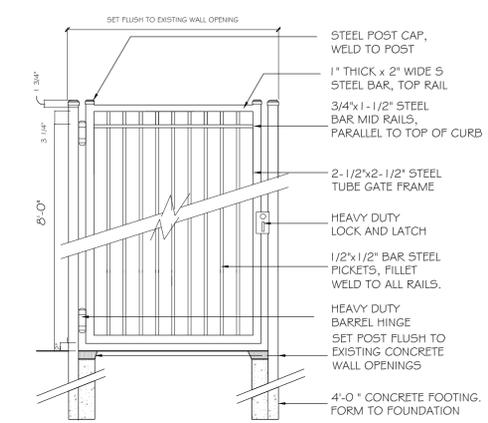
1 RESILIENT SURFACING AT TREE PIT



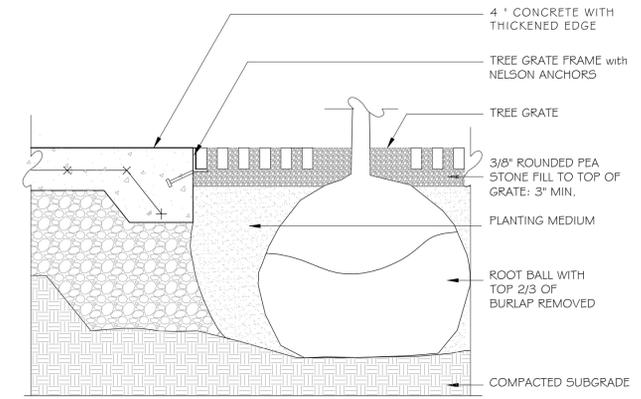
2 EXPOSED AGGREGATE CONCRETE



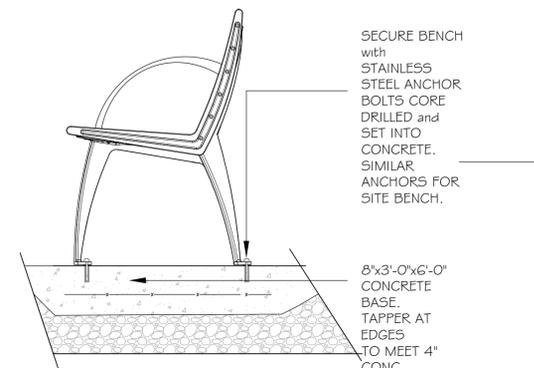
3 6" GRANITE CURB AT PLANTER



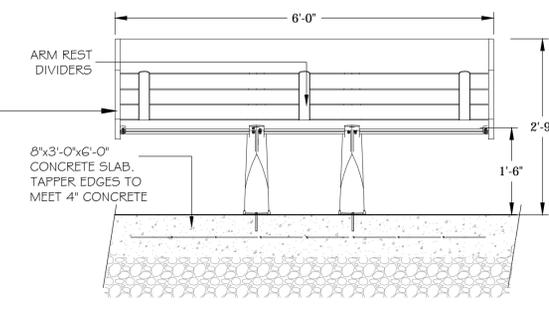
4 METAL GATE AT GARAGE OPENINGS



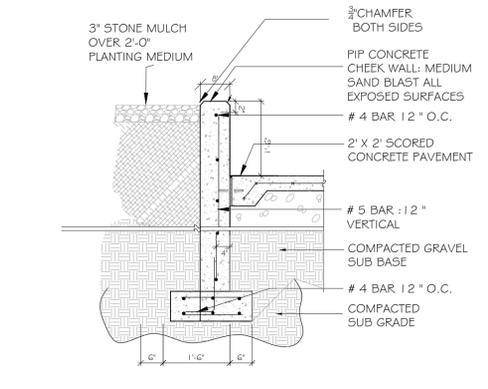
5 TREE GATE IN CONCRETE



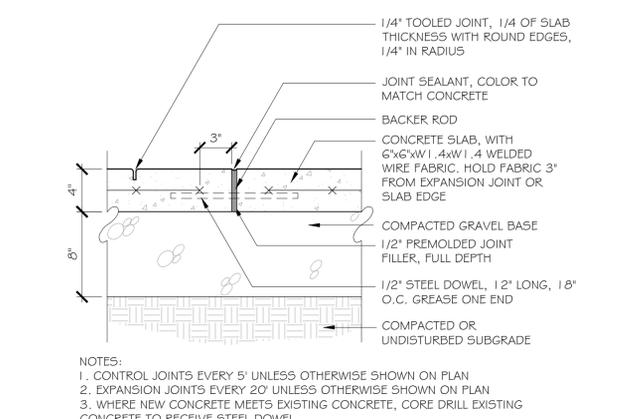
6 SINGLE SEAT (ADD ALTERNATE)



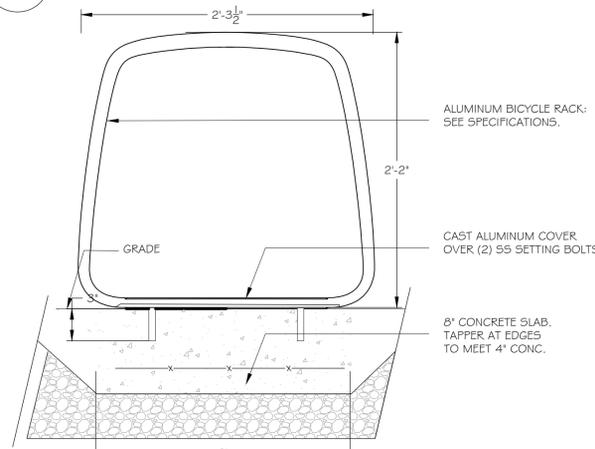
7 SITE BENCH (ADD ALTERNATE)



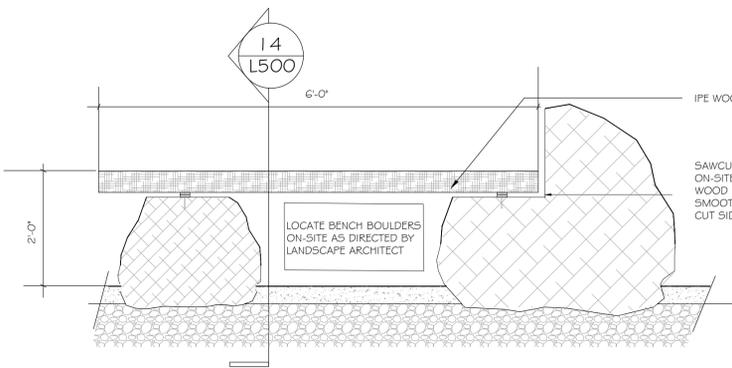
8 CONCRETE PLANTER WALL



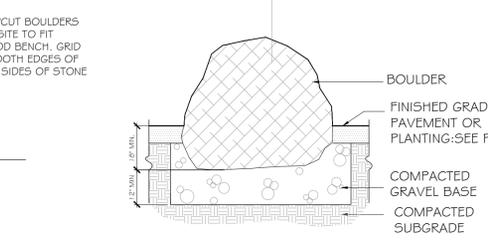
9 4" CONCRETE PAVEMENT



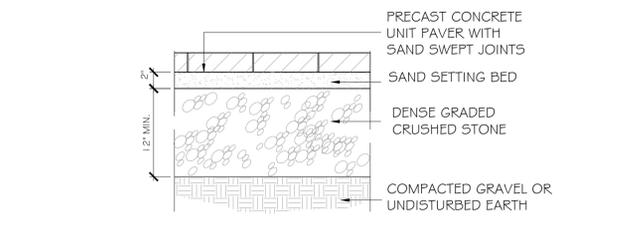
10 BIKE RACK ANCHOR



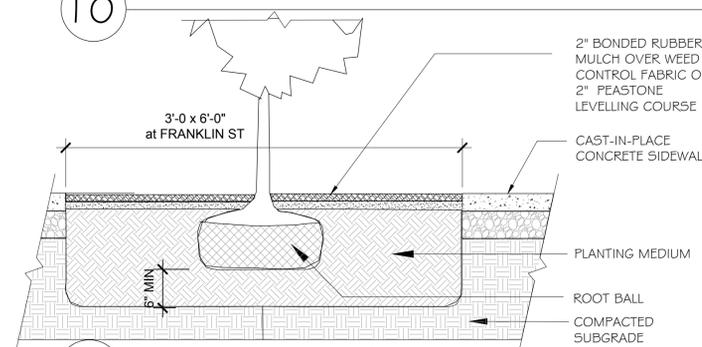
11 BOULDER BENCH (ADD ALTERNATE)



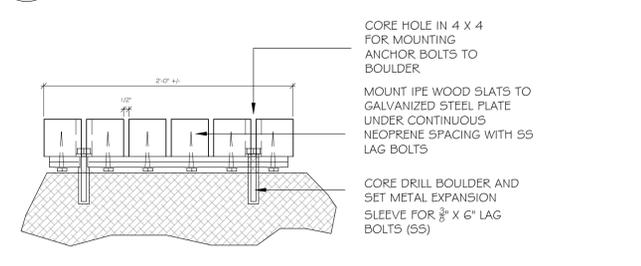
12 LANDSCAPE BOULDER



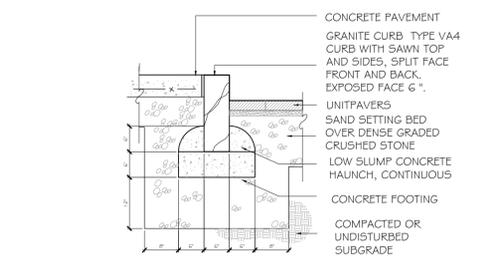
13 UNIT PAVERS AT DRIVEWAY (ADD ALTERNATE)



14 RUBBERIZED MULCH TREE WELL



15 BOULDER BENCH SECTION (ADD ALTERNATE)



16 GRANITE CURB @ UNIT PAVERS

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 781-935-1622 Fax
 www.vavint.com

ELECTRICAL CONSULTANT
 Nangle Engineering Incorporated
 32 Prince Street
 Danvers, MA 01923
 978-777-7650 Tel
 978-777-7653 Fax
 www.nangleengineering.com

LANDSCAPE ARCHITECT
 Hammer+Walsh Design Inc.
 300 A Street
 Boston, MA 02210-1620
 617-439-0125 Tel
 617-439-0126 Fax

CIVIL CONSULTANT
 Design Consultants, Inc. (DCI)
 120 Middlesex Avenue, Suite 20
 Somerville, MA 02145
 617-776-3350 Tel
 617-776-7710 Fax

REVISIONS

| | |
|---|--|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |

DRAWING TITLE

Site Details

DRAWING INFORMATION

| | |
|--------------------|------------------|
| September 11, 2015 | DATE OF ISSUE |
| 99% CD Submission | DESCRIPTION |
| As Noted | DW/WH |
| 2896 | DRAWN BY |
| | Manning Apts.rft |
| | PROJECT # |
| | FILE NAME |

DRAWING NUMBER

L501



OCTOBER 14, 2015
DATE OF ISSUE
SPECIAL PERMIT APPLICATION
DESCRIPTION
As indicated Author
SCALE DRAWN BY
2996 Manning Apts.rvt
PROJECT # FILE NAME

CODE REVIEW

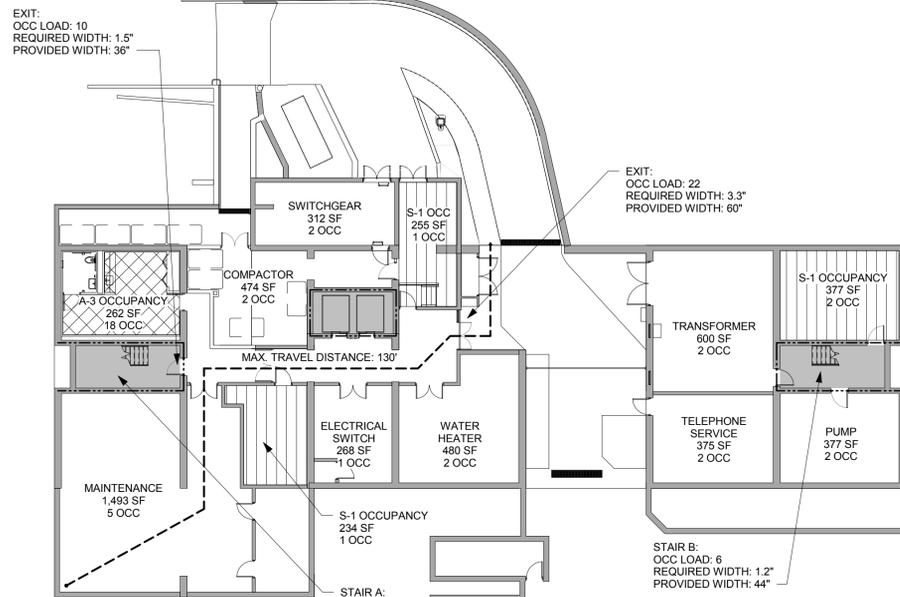
BUILDING DATA AND CODE REQUIREMENTS

I. BUILDING PROJECT DATA

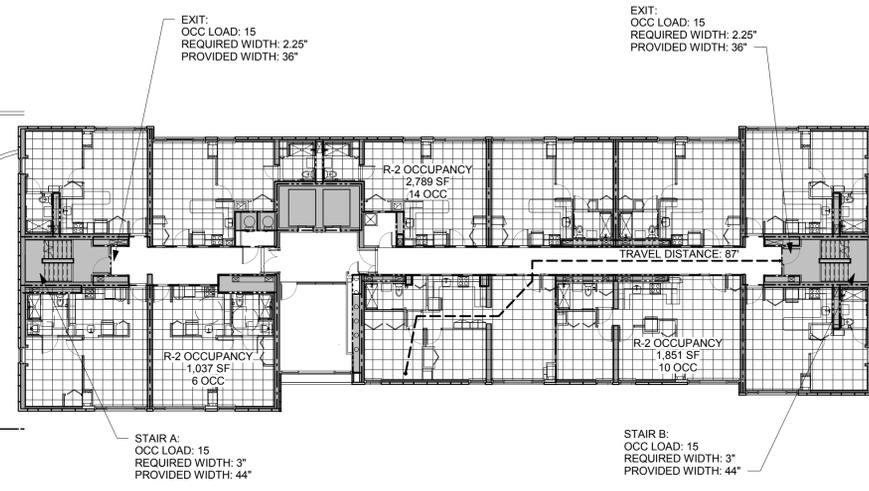
- A. Project Name: Frank J. Manning Apartments
- B. Legal Address: 237 Franklin Street, Cambridge, MA 02139
- C. Client / Owner: Cambridge Housing Authority
- D. Owner's Project Representative: BH+A
- E. New Construction: 1st & 2nd Floors; Penthouse/Roof Level
- F. Gross Building Area: 160,007 SF & 160,530 SF Alternate #1
- G. Construction Work Area (IEBC 401): 155,688 SF Existing / 160,007 SF & 160,530 SF Alternate #1
- H. Number of Stories: Twenty Stories (Includes Penthouse & Basement Floor)
- J. Gross Area per Story:
 - Basement: 8,854 SF Existing / 9,139 SF
 - 1st Floor: 8,351 SF Existing / 8,972 SF
 - 2nd Floor: 7,345 SF Existing / 7,535 SF & 8,058 SF Alternate #1
 - Typical Upper Floor: 7,618 SF Existing / 7,763 SF
 - Penthouse: 1,630 SF Existing / 2,390 SF

II. CODE REQUIREMENTS

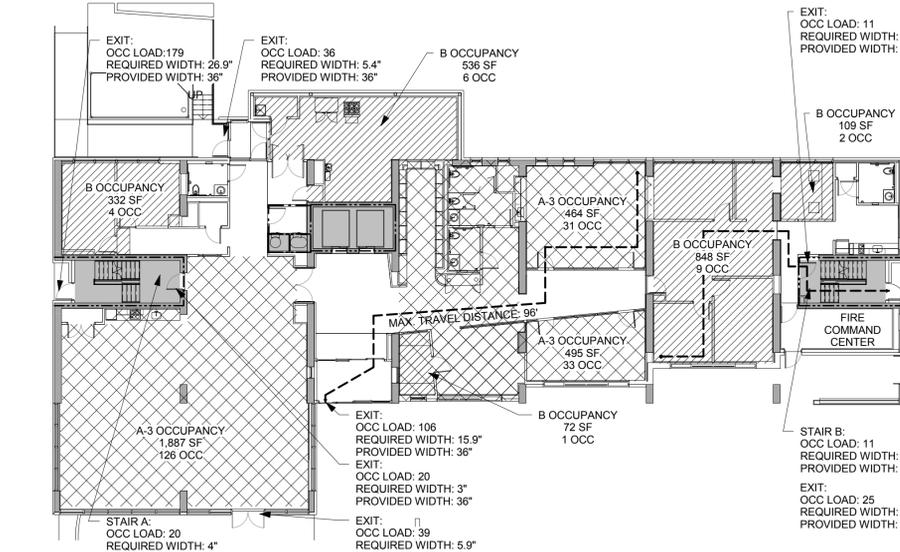
- A. Applicable Codes:
 - Building:
 - The Massachusetts State Building Code 780 CMR - 8th Edition
 - International Building Code (IBC) 2009 - Amended
 - International Existing Building Code (IEBC) 2009 - Amended
 - Fire Prevention:
 - Massachusetts Fire Prevention Regulations 527 CMR
 - Accessibility:
 - Massachusetts Architectural Access Board Regulations 521 CMR
 - Fair Housing Act (FHA) - IBC Safe Harbor 2006
 - Americans with Disabilities Act (ADA) - 2010 ADAAG
 - Electrical:
 - Massachusetts Electrical Code CMR 527.12.00
 - National Electric Code 2014 - Amended
 - Elevators:
 - Massachusetts Elevator Code 524 CMR
 - ASME A17.1 2004 - Amended
 - Mechanical:
 - International Mechanical Code 2009
 - Plumbing:
 - Massachusetts Plumbing Code 248 CMR
- B. Use:
 - 1. Use Group (IBC 310.0): Group A-3, Group B, Group R-2 & Group S-1
 - 2. Construction Type Existing (IBC 602): Type IA Reduced to IB (per 780 CMR 1st Edition)
 - 3. Construction Type Additions (IBC 602): Type IIB
 - 4. Classification of Work: Alteration Level 3
- C. General Limitations:
 - 1. Existing Building: Comply w/ 780 CMR Chapter 34 (8th Edition) & IEBC
 - 2. Existing Building Height (IBC 504): 205' Existing; Unlimited allowed per Table 503 for Type IA
 - 3. Existing Building Area (IBC 503): 157,331 SF Existing; Unlimited allowed per Table 503 for Type IA
- D. Fire Resistance Ratings for New Systems (IBC Chapters 6 & 7; IEBC Chapter 7):
 - 1. Exterior Walls (IBC 602): Varies: 1 Hr within 30' of Type IB
 - 2. Stairwells, Elevator & Other Shafts: 2 Hr
 - 3. Fire Partitions at Corridors (IBC 709): 1 1/2 Hr per Table 1018.1
 - 4. Fire Partitions at Dwelling Units (IBC 709): 1 Hr
 - 5. Other Non-Load Bearing Partitions (IBC 601): 0 Hr
 - 6. Floor Construction (IBC 601): 2 Hr at Type IB & 0 Hr at Type IIB
 - 7. Roof Construction (IBC 601): 1 Hr at Type IB & 0 Hr at Type IIB
- E. Fire Protection (IBC Chapter 9; IEBC 704; 780 CMR 9):
 - 1. Automatic Sprinkler System (IBC 903.2.8): Required per NFPA 13; Existing to be modified as required
 - 2. Standpipe (IBC 905.1): Required per NFPA 14; Existing
 - 3. Fire Protection Signaling (IBC 903.4 & 907): Required per NFPA 72; Existing to be modified as required
 - 4. Automatic Fire Detection (IBC 907 & IEBC 704.4): Required per NFPA 72; Existing to be modified as required
 - 5. Manual Fire Alarms (IBC 907.2.9.1): Required per NFPA 72; Existing to be modified as required
 - 6. Smoke Detection (IBC 907.2.9): Required per NFPA 72; Existing to be modified as required
 - 7. Fire Extinguishers (IBC 906): Required
 - 8. Fire Command Center (IBC 403.4.5): Required
- F. Egress Requirements (IBC Chapter 10):
 - 1. Occupant Load:
 - A. Basement: 40 Occupants
 - B. First Floor: 212 Occupants
 - C. Second Floor: 168 Occupants / 232 Occupants in Alternate #1
 - D. Third Through Nineteenth Floors: 30 Occupants per floor = 510 total
 - E. Penthouse: 5 Occupants
 - 2. Capacity per Unit Egress Width (Stair / Door):
 - A. Stair #1 / Exit #1: .2' per occupant / .15' per occupant
 - B. Stair #2 / Exit #2: .44' / .34' Provided
 - 3. Max Travel Distance with Sprinklers (IBC 1016): Group B, 300'; Group R, 250'
 - 4. Min Stair Width (IBC 1009): .44'; .44' Provided
 - 5. Min Corridor Width (IBC 1018): .44'; .60' Provided on upper floors



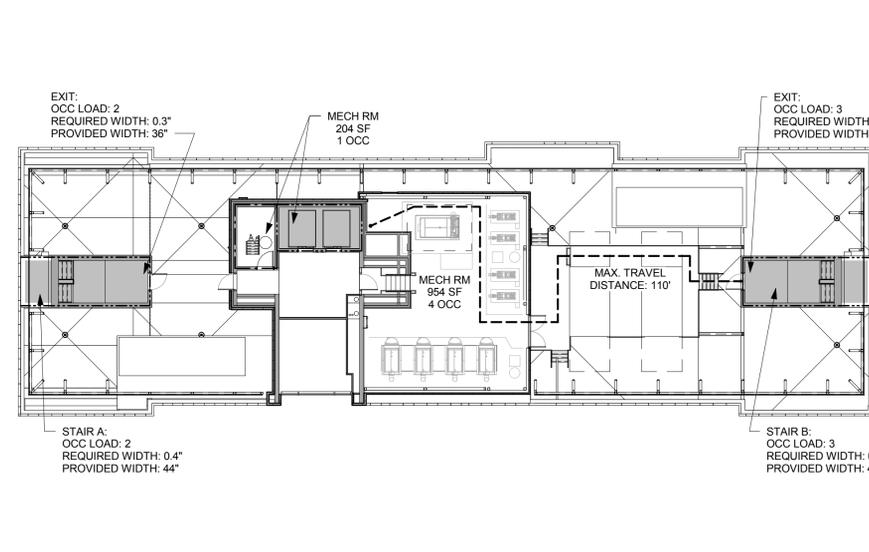
1 BASEMENT CODE PLAN
1/16" = 1'-0"



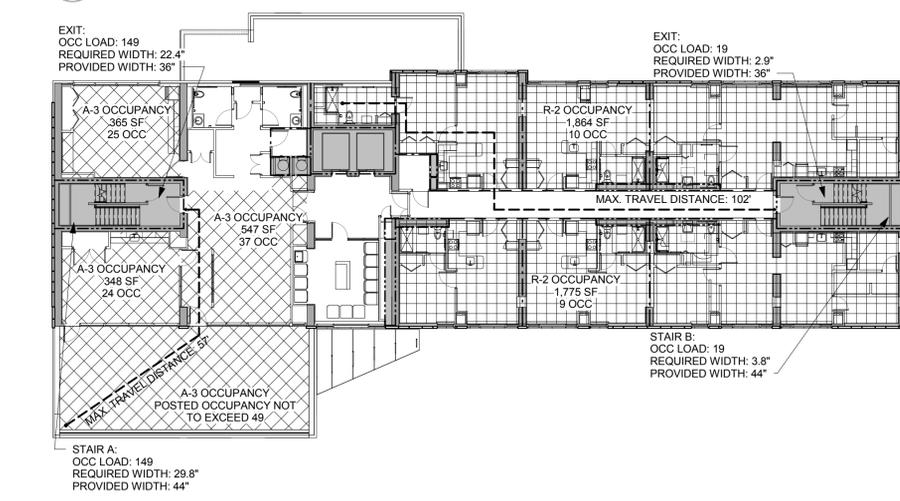
2 TYPICAL UPPER FLOOR CODE PLAN 3RD THROUGH 19TH FLOORS
1/16" = 1'-0"



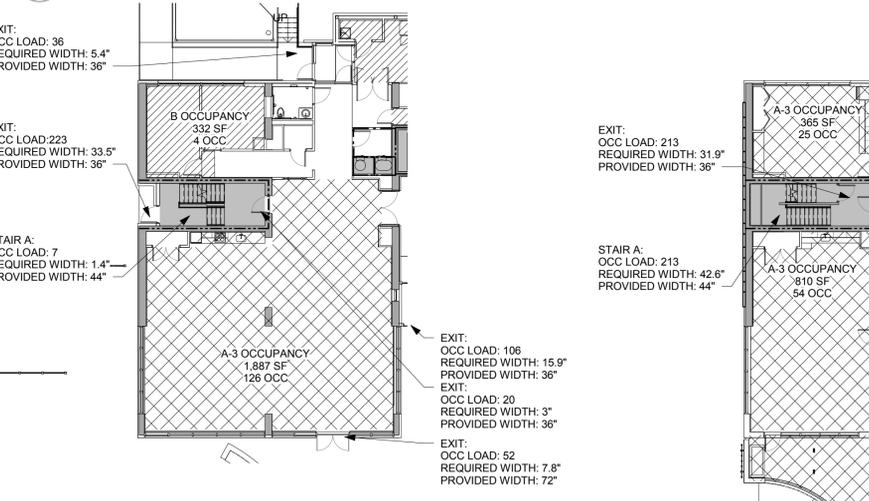
3 1ST FLOOR CODE PLAN
1/16" = 1'-0"



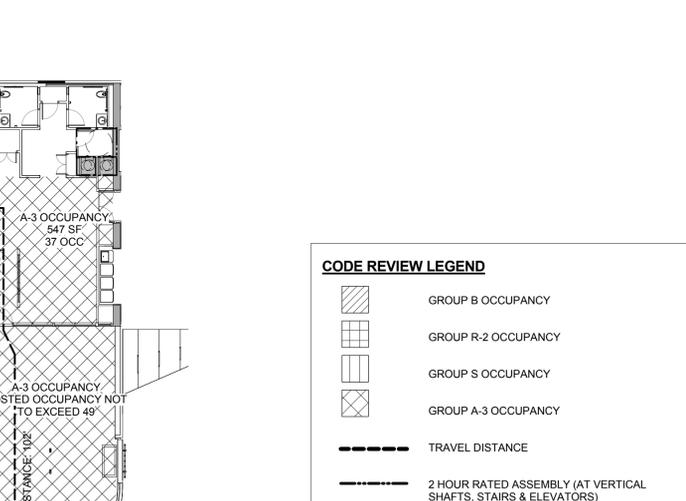
4 PENTHOUSE CODE PLAN
1/16" = 1'-0"



5 2ND FLOOR CODE PLAN
1/16" = 1'-0"



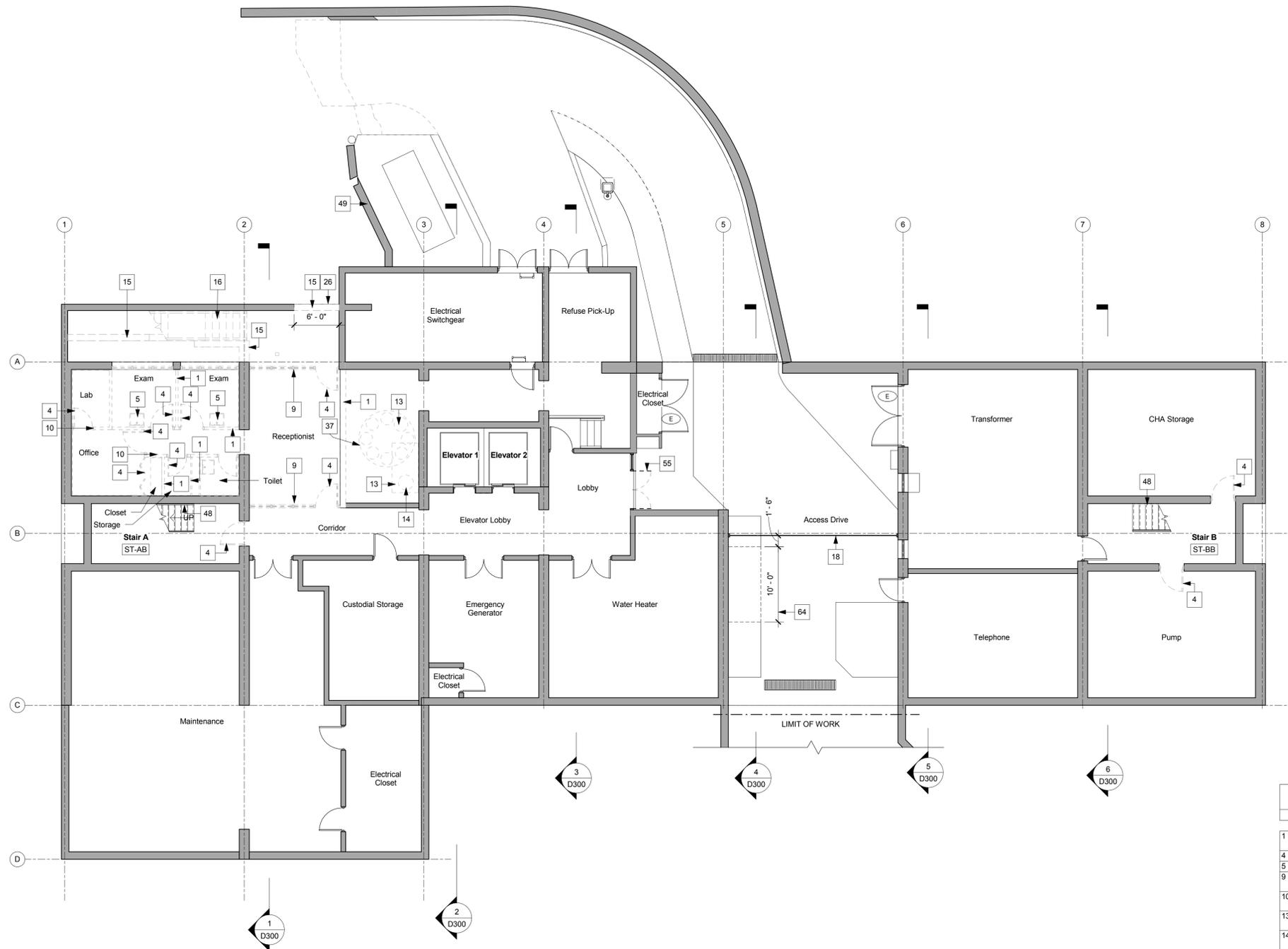
6 1ST FLOOR CODE PLAN / ALTERNATE #1
1/16" = 1'-0"



7 2ND FLOOR CODE PLAN / ALTERNATE #1
1/16" = 1'-0"

CODE REVIEW LEGEND

- GROUP B OCCUPANCY
- GROUP R-2 OCCUPANCY
- GROUP S OCCUPANCY
- GROUP A-3 OCCUPANCY
- TRAVEL DISTANCE
- 2 HOUR RATED ASSEMBLY (AT VERTICAL SHAFTS, STAIRS & ELEVATORS)
- 1 HOUR RATED ASSEMBLY
- 1/2 HOUR RATED ASSEMBLY (AT CORRIDORS)
- 2 HOUR VERTICAL SHAFT LOCATION



GENERAL DEMOLITION NOTES

1. WHERE EXISTING FINISH SURFACE IS TO REMAIN, REPAIR & PATCH ALL LOCATIONS ASSOCIATED WITH DEMOLITION & REMOVAL OF ADJACENT FINISHES, FRAMING, FASTENERS, ETC...
2. PROTECT ALL MATERIALS, DOORS/FRAMES, FINISHES THAT ARE TO REMAIN AT COMPLETION.
3. ALL ITEMS SLATED FOR REMOVAL ARE SHOWN DASHED. DEMOLITION KEYNOTE TAGS INDICATE TYPICAL REMOVALS.
4. REFER TO PHASING PLANS FOR PROJECT SEQUENCING.
5. ADDITIONAL DEMOLITION INFORMATION SPECIFIC TO TRADE IS IDENTIFIED WITHIN SITE, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION DRAWINGS.
6. WORK AREAS & SPACES AVAILABLE TO TENANTS TO BE CLEANED DAILY.
7. REFER TO A400 ENLARGED PLAN SERIES FOR DEMOLITION SPECIFIC TO EXISTING UNITS. UNIT TYPES 6, 9 & 10 ARE NEW & THE DEMO FOR THOSE INSTANCES IS ON D102.
8. EXISTING FLOORING IN ALL WORK AREAS TO BE REMOVED DOWN TO THE CONCRETE DECK. REMOVALS TO INCLUDE BUT NOT LIMITED TO VINYL COMPOSITION TILE, CARPET, SHEET FLOORING, CERMAIC TILE, TRANSITIONS, ADHESIVES & MASTICS, UNDERLAYMENT, MORTAR BEDDING.
9. REFER TO D202 FOR ENLARGED DEMOLITION ELEVATIONS OF LOWER FLOORS

| Demolition Keynotes | |
|---------------------|--|
| Key | Key Note |
| 1 | Remove entire partition; including but not limited to gypsum board, studs, CMU, concrete, fasteners, finishes, building utilities within partition. |
| 4 | Remove door & frame in its entirety, including but not limited to door, frame, sidelight / glass, anchors, fasteners, finishes, hardware. |
| 5 | Remove all plumbing fixtures in their entirety, including but not limited to fixture body, fasteners, supply & waste connections. |
| 9 | Remove windows, storefront, curtainwall & louvers, including but not limited to window, louver, sub sill, blocking & shims, fasteners, sealant, backer rod & flashing. Typical at all instances. |
| 10 | Remove all components of partition to extent shown on plan; including but not limited to gypsum board, studs, fasteners, finishes & building utilities within portion of partition to be removed. |
| 13 | Remove compactor & turntable in their entirety, including but not limited to primary equipment, fasteners, power connections, controls, connection to existing trash chute. |
| 14 | Remove trash chute at Basement & 1st Floors. Remainder of existing chute to remain in place & be connected to new chute at Basement & 1st Floors. |
| 15 | Remove concrete site wall, including but not limited to concrete, reinforcing, footers. |
| 16 | Remove concrete site stair in its entirety, including but not limited to treads & risers, handrails, fasteners, coordinate limits with Structural Drawings. |
| 18 | Remove, salvage & re-install existing gate system. Refer to A100 for new location. |
| 26 | Remove portion of concrete wall. Refer to Structural drawings for removal information. Coordinate with drawing D300 and Architecturals for dimensions. Sawcut opening. |
| 37 | Remove entirety of penthouse structure indicated down to concrete deck, including but not limited to framing, metal siding, roof assembly, fasteners, flashing. Demolition |
| 48 | Remove outside run handrails at Stairs A & B in their entirety, including but not limited to pipe, brackets, fasteners, sealant. Patch holes in walls where fasteners have been removed. Interior run handrail to remain. |
| 49 | Remove guardrail from top of concrete wall. Remove entirety of pipe assembly above concrete & grind cut down smooth to top of concrete. Fill pipe sleeve after grinding with non-shrink grout flush to top of concrete. Demolition |
| 55 | Remove door & hardware. Frame to remain, including sidelite & transom frame. New panel to be set into transom frame; coordinate with bus duct. |
| 64 | Sawcut and Remove Raised Concrete Curb. |

ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
300 A Street
Boston, MA 02210
617 350-0450 Tel
617 350-0215 Fax
www.bhplus.com

PROJECT NAME

Frank J. Manning Apartments

237 Franklin Street, Cambridge, MA 02139

CLIENT

Cambridge Housing Authority

362 Green Street
Cambridge, MA 02139
617-864-3020 Tel
616-868-5372 Fax
www.cambridge-housing.org

PROJECT TEAM

STRUCTURAL CONSULTANT
DM Berg Consultants, PC
100 Crescent Road, Suite 1A
Needham, MA 02494
718-444-5156 Tel
718-444-5157 Fax
www.dnberg.com

MECHANICAL, PLUMBING, & FIRE PROTECTION CONSULTANT
VAV International, Inc.
400 W. Cummings Park, Suite 4700
Woburn, MA 01801
781-935-7228 Tel
781-935-1622 Fax
www.vavint.com

ELECTRICAL CONSULTANT
Nangle Engineering Incorporated
32 Prince Street
Danvers, MA 01923
978-777-7650 Tel
978-777-7653 Fax
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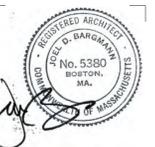
ISSUED FOR:

SPECIAL PERMIT APPLICATION

DRAWING TITLE

Basement Demolition Plan

DRAWING INFORMATION



OCTOBER 14, 2015

DATE OF ISSUE

SPECIAL PERMIT APPLICATION

DESCRIPTION

1/8" = 1'-0" Author

SCALE DRAWN BY

2896 Manning Apts.nt

PROJECT # FILE NAME

DRAWING NUMBER

D100

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