



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-014376-2017

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following :

Special Permit : √ Variance : Appeal :

PETITIONER : Swissbakers Inc. - C/O Thomas Stohr

PETITIONER'S ADDRESS : 168 Western Ave. Allston, MA 02134

LOCATION OF PROPERTY : 1350 Massachusetts Ave Cambridge, MA 02138

TYPE OF OCCUPANCY : 4.35.0 ZONING DISTRICT : Business B Zone

REASON FOR PETITION :

Change in Use / Occupancy

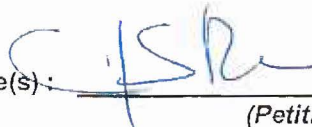
DESCRIPTION OF PETITIONER'S PROPOSAL :

Petitioner proposes to operate a fast order food establishment. The proposed use is one permitted and allowed by Special Permit under CZO 4.35.0 in a Business B zoning district.

SECTIONS OF ZONING ORDINANCE CITED :

Article 4.000 Section 4.35.0 (Fast Order Food Establishment).

Article 11.000 Section 11.30 (Fast Order Food Establishment).

Original Signature(s): 
 (Petitioner(s) / Owner)

Heleen Stohr / Thomas
 (Print Name) Stohr

Address : 168 Western Ave
Allston 02134

Tel. No. : 617 903 3112

E-Mail Address : Thomas@Swissbakers.com

Date : _____

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 1350 Massachusetts Ave Cambridge, MA 02138 (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed use, swissbäkers, a fast order food establishment, is one permitted and allowed by Special Permit under CZO 4.35.0 in a Business B zoning district. Located along the Smith Campus Center's interior arcade, swissbäkers will offer an array of healthy and affordable dining options for breakfast and all day. Prepared in the Swiss culinary tradition specialties include fresh breads and sandwiches such as the signature pretzel baguette, homemade soups, salads, as well as traditional Swiss baked goods including coconut macarons and Leckerli. This food venue will be located in the Smith Campus Center which will offer abundant indoor and outdoor seating that is available to the public including the patrons of swissbäkers.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Traffic generated and patterns of access or egress will not cause a congestion hazard. Harvard University undertook a voluntary traffic study for the overall Smith Campus Center renovation which assumed multiple food venues in the building as well as the other proposed uses. This study validated that the project will have no adverse traffic impacts and it was reviewed with the Cambridge Traffic, Parking and Transportation Department.

The proposed use, swissbäkers, will not create a detriment to the public in terms of traffic impacts as it will serve the same population - Harvard affiliates, Harvard Square and Cambridge residents workers, and visitors - that have long been served by food establishments in this building which is in a location that is highly pedestrian oriented and transit accessible. This will result in no increase in traffic. The building is located in the heart of Harvard Square and directly adjacent to the MBTA subway and bus station a Hubway station and the site will be equipped with ample bike parking. Swissbäkers will be located in the building's interior along the pedestrian arcade of the Smith Campus Center and will have no direct frontage along the building perimeter. The customers are expected to be walk-ins from the Smith Campus Center and other neighboring buildings as well as those visiting Harvard Square.

Loading for swissbäkers will take place at adjacent on-street loading zones on Mt. Auburn Street and Dunster Street, consistent with how the building has been serviced in the past.

There will be no change in established neighborhood character as the Petitioner's proposed use is consistent with pre-existing fast food uses and previous fast food uses in the Smith Campus Center/former Holyoke Center.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The continued operation of or development of adjacent uses as permitted in the CZO will not be adversely affected by the nature of the proposed use. The proposed food establishment, swissbäkers, is highly compatible with the existing commercial uses in close proximity and consistent with food establishments that have operated in this building for more than three decades. With this array of Swiss food offerings, the addition of swissbäkers to the Smith Campus Center will expand the dining choices available within Harvard Square and Cambridge.

D) Nuisance or hazard would not be created to the detriment of the health and safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

There will be no nuisances nor hazards created as there will be centralized building trash and recycling receptacles and removal. These receptacles will be provided in multiple locations throughout the first floor and other areas of the building, and will be convenient to the swissbäkers space. Swissbäkers will only use cardboard cups and plates, and utensils will be recyclable plastic.

Swissbäkers will be located in a building that is being transformed to engage the vibrancy of Harvard Square and meet the needs of Harvard affiliates, visitors, and the Cambridge community in a way that will be of tremendous public benefit. Overall the building will have improved and expanded seating areas, food venues, and visitor services that are welcoming to all. Forbes Plaza along Massachusetts Avenue is being redesigned to include comfortable seating, chess tables, and new plantings that are inviting and allow for flexible outdoor usage for performances. The new transparent Welcome Area pavilion includes seating areas on the first and second floors with views of Harvard Square and Forbes Plaza for full-year enjoyment. The redesigned Mount Auburn Plaza calls for a lush grove of trees to create a more contemplative plaza with seating, chess tables, and more legible and improved site circulation. Dunster Street will offer outdoor dining, with a second floor roof garden overlooking the street for a unique Harvard Square experience that can be enjoyed by the public. The Holyoke Street Pavilion will house a food venue and event space which will create an active street front. Base building services and amenities will be enhanced including information and ticketing on events and activities at Harvard University and bike parking. The number of public restrooms will increase and will be relocated to a more convenient location. The sustainable design approach includes green roofs and green walls, plentiful natural light, rainwater collection and reuse, a high performance glass facade that maximizes energy efficiency, an interior garden within the arcade and healthy building materials. All visitors to the building, including the customers of swissbäkers, will enjoy these amenities.

E) For other reasons the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The establishment of swissbäkers to be located at the Smith Campus Center will not create any detriment to Harvard Square. The proposal calls for a continuation of the building's commercial food uses. It will continue to serve the Harvard University population, visitors, and the Cambridge community as it has for decades during the same general time frame from early morning to late at night. The proposed project calls for no adverse impacts in terms of traffic. Therefore, requested relief does not nullify or substantially derogate from the intent or purpose of the Ordinance. Granting the requested special permit is consistent with the intent and purpose of the Ordinance and will permit the Richard A. and Susan F. Smith Campus Center to provide a public benefit to Harvard Square.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: swissbakers inc.

PRESENT USE/OCCUPANCY: na

LOCATION: 1350 Massachusetts Ave Cambridge, MA 02138

ZONE: Business B Zone

PHONE: _____

REQUESTED USE/OCCUPANCY: Fast Food

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	<u>326470</u>	<u>no change</u>	<u>299455</u>	(max.)
<u>LOT AREA:</u>	<u>74863.7</u>	<u>no change</u>	<u>none</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>	<u>4.36</u>	<u>no change</u>	<u>4.0</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>na</u>	<u>na</u>	<u>na</u>	(min.)
<u>SIZE OF LOT:</u>				
<u>WIDTH</u> 00'+ along Mass Ave & Mt. Auburn	<u>no change</u>	<u>no change</u>	<u>none</u>	(min.)
<u>DEPTH</u> 380' along Holyoke & Dunster	<u>no change</u>	<u>no change</u>	<u>none</u>	
<u>SETBACKS IN FEET:</u>				
<u>FRONT</u>	<u>na</u>	<u>na</u>	<u>none</u>	(min.)
<u>REAR</u>	<u>na</u>	<u>na</u>	<u>none</u>	(min.)
<u>LEFT SIDE</u>	<u>na</u>	<u>na</u>	<u>none</u>	(min.)
<u>RIGHT SIDE</u>	<u>na</u>	<u>na</u>	<u>none</u>	(min.)
<u>SIZE OF BLDG.:</u>				
<u>HEIGHT</u>	<u>112'-1"</u>	<u>no change</u>	<u>60', 80' with Special Permit</u>	(max.)
<u>LENGTH</u> Holyoke: 365.5' Dunster 278.8'	<u>no change</u>	<u>no change</u>	<u>none</u>	
<u>WIDTH</u> Mass Ave: 185.5' Mt. Auburn: 170'	<u>no change</u>	<u>no change</u>	<u>none</u>	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>	<u>na</u>	<u>na</u>	<u>none</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>0</u>	<u>0</u>	<u>na</u>	(max.)
<u>NO. OF PARKING SPACES:</u>	<u>113</u>	<u>no change</u>	<u>0</u>	(min./max)
<u>NO. OF LOADING AREAS:</u>	<u>0</u>	<u>0</u>	<u>0</u>	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>na</u>	<u>na</u>	<u>na</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

not applicable

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

(To be completed by OWNER, signed before a notary, and returned to Secretary of Board of Appeal.)

I/We President and Fellows of Harvard College

(OWNER)

Address: c/o Carolee Hill, Harvard Real Estate, 1350 Massachusetts Avenue, Suite 573, Cambridge, MA 02138

State that I/We own the property located at 1350 Massachusetts Avenue which is the subject of this

zoning application.

The record title of this property is in the name of President and Fellows of Harvard College

*Pursuant to a deed of duly recorded in the date See list below, Middlesex South

County Registry of Deeds at Book, _____, Page _____; or Middlesex

Registry District of Land Court, Certificate No. _____ Book _____

_____ Page _____

Carolee Hill

Signature by Land Owner or Authorized Trustee, Officer or Agent*

Commonwealth of Massachusetts, County of

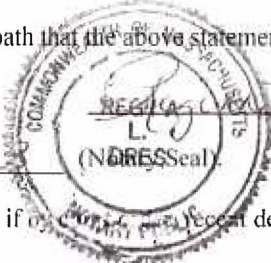
Middlesex

The above-name Carolee Hill personally appeared before me, this

24th day of August, 20 17, and made oath that the above statement is true.

My Commission Expires

12/28/2018

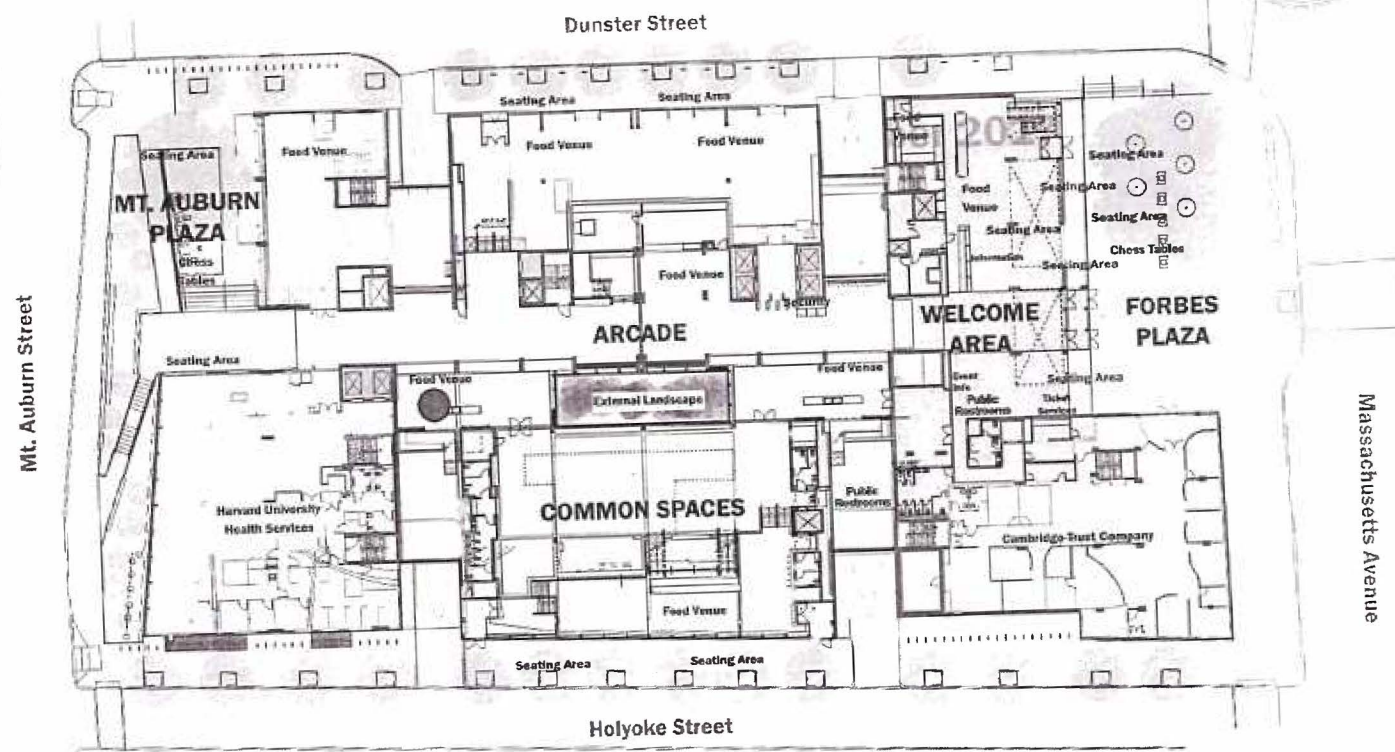


Notary

* If ownership is not shown in recorded deed, e.g. if on recent deed, or inheritance, please include documentation.

May 1, 1795	Book 116	Page 557
November 27, 1918	Book 4231	Page 541
November 27, 1918	Book 4231	Page 542
February 26, 1926	Book 4944	Page 242
June 25, 1931	Book 5570	Page 131
July 1, 1936	Book 6041	Page 247
November 14, 1939	Book 6345	Page 209

PROPOSED



● Proposed location of swissbäkers



NOTES

1. THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY WSP FROM DECEMBER 18, 2013 TO JANUARY 7, 2014.
2. THE HORIZONTAL DATA, SHOW NEIGHBORING REFERENCED BOUNDS RELATIVE TO THE HORIZONTAL GEODETIC DATUM NAD 83.
3. THE VERTICAL DATA SHOW NEIGHBORING REFERENCED CANNONING CITY DATUM.
4. THE LOCATION OF THE METE PINS, SHOWN HEREIN WAS TAKEN FROM RECORD PLANS AND NOT THE RESULT OF ACTUAL FIELD MEASUREMENTS.

DISCLAIMER STATEMENTS

THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM AVAILABLE RECORDS. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE DETERMINED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE ACCURATE IN THE AREA COVERED BY THESE PLANS. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF UTILITIES SHOWN AND TO THE EXACT LOCATION INDICATED.

LEGEND

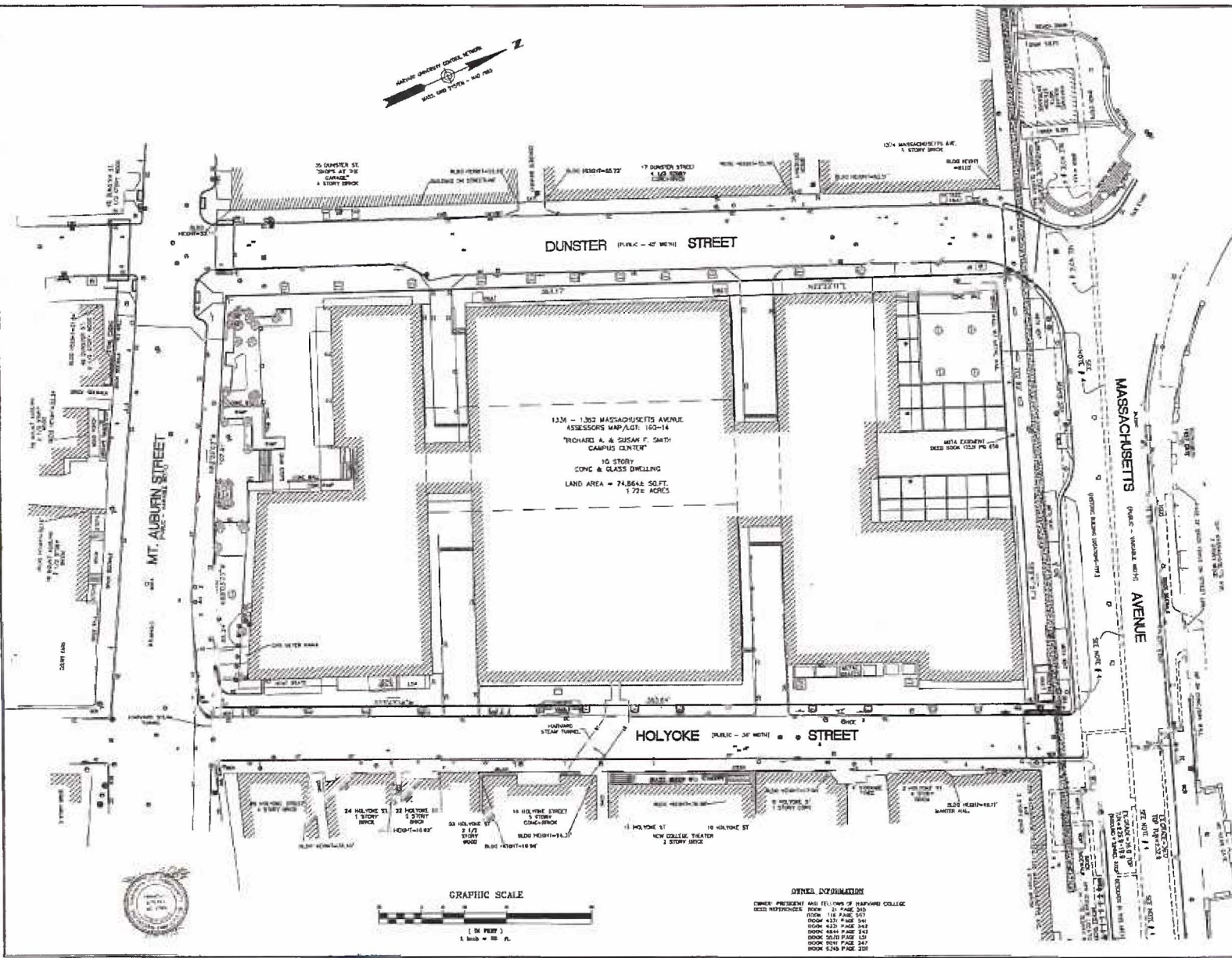
□ CATCH BASIN	○ DEGRADED TRUCK
▲ AREA SIGN	— SIGN (SINGLE POSTED)
◆ DRIVE MANHOLE	⊕ TRAFFIC SIGNAL
● SEWER MANHOLE	⊕ WHITING WALL
⊕ ELECTRIC BOX	⊕ WALKWAY
⊕ ELECTRIC MANHOLE	○ LIGHT POLE
⊕ ELECTRIC METER	⊕ BOLLARD
⊕ ELECTRIC MANHOLE	⊕ FIRE DEPARTMENT CONNECTION
⊕ GAS VALVE	⊕ TEST PIT
⊕ CABLE BOX	⊕ VALVE
⊕ DRAIN MANHOLE	⊕ WATER GATE
⊕ TELEPHONE BOX	⊕ IRRIGATION CONTROL VALVE
⊕ TELEPHONE MANHOLE	⊕ CONCRETE CURB
⊕ WATER MANHOLE	⊕ GRANITE CURB
⊕ FIRE HYDRANT	⊕ WHEEL CHAIR RAMP

— CHAIRS LIST LINE
 — PROPERTY LINE
 - - - - - RIGHT-OF-WAY
 - - - - - ROAD FRONT
 - - - - - METE PINS FOUND

PLOT PLAN
 RICHARD A. & SUSAN F. SMITH
 CAMPUS CENTER
 CAMBRIDGE, MASSACHUSETTS
 PREPARED FOR
 HARVARD PLANNING AND PROJECT
 MANAGEMENT



Scale: 1" = 20'	Date: JANUARY 22, 2015	Job No.: 12120150
Drawn By: JH	Sheet No.: 1 OF 1	



OTHER INFORMATION

OWNER: PRESIDENT AND FELLOWS OF HARVARD COLLEGE

DEED REFERENCES:	BOOK 11 PAGE 245
	BOOK 116 PAGE 503
	BOOK 427 PAGE 54
	BOOK 423 PAGE 242
	BOOK 484 PAGE 243
	BOOK 503 PAGE 124
	BOOK 501 PAGE 24
	BOOK 516 PAGE 201

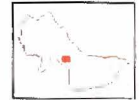
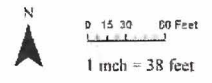


**City of Cambridge
Assessing Department**
786 Massachusetts Ave.
Cambridge, MA 02138

- Building
- Lot Line
- Block Line
- City Boundary
- Water
- Sub-Parcel Line
- Easement
- Railway

- 10 Lot Number
- 160 Block Number
- 100 Feet Street Number
- 125.0 Deed Dimension
- 100 Paved size in Sq Ft
- 44.0 LC Land Court Dimension
- 65.0 Survey Dimensions

DISCLAIMER
All data on this map is derived from the City's GIS system. The City is not responsible for any errors or omissions on this map. The City is not responsible for any errors or omissions on this map. The City is not responsible for any errors or omissions on this map.



Parcel Block Map
160

SCC Harvard Square, Cambridge,

Recommended menu by daytime: 7AM – 4PM

7AM – Freshly baked Ham&SwissCroissants / SpinachCrossants

Freshly baked ChocolateCroissants / AlmondCroissants

Chocoweggli / Energy rolls and Berliner

Signature Breakfast sandwiches on pretzel rolls

Classic fresh Swiss müesli / freshly squeezed orange juices / fruit cups

Local Fazenda drip coffee and Cold brew as well as espresso beverages

11AM – Daily swissbäkers soup

Mon: squash Tue: Tomato Wed: Sirloin Goulash Thu: Asparagus Fri: Leek

Salads

Freshly premade sandwiches on our signature pretzel baguette:

Ham&Swiss / Turkey / Salami / Tuna / TomatoMozzarella

ALL DAY swissbäkers classics:

American & Swisslinzer / coconut Macaroons and Leckerli in 5 oz. bags. Tutti Frutti (sb trailmix)

Beverages we offer:

Polar seltzer, Coke and diet coke as well as Choco milk and freshly squeezed OJ

Helene & Thomas Stohr, swissbäkers. 857-777-8233

