



CITY OF CAMBRIDGE

Community Development Department

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Community Development*

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Community Development*

DEVELOPMENT CONSULTATION PROCEDURE CERTIFICATE OF COMPLIANCE

Small Project Review: _____

Large Project Review: X

1. Applicant: Porter Square Properties, LLC
2. Owner: Porter Square Properties, LLC, c/o Ben Rogan, President
3. Area of Special Planning Concern: H Sq__ C Sq__ BB-1/2__
N. Mass Ave. X Parkway__ Other _____
4. Location of Project: **18 White Street**
5. Base Zoning District: **Business C**
- 6 Type of Development:
 - a) New Building: **9,979 SF residential building**
 - b) Other new structure
 - c) Other exterior alteration increasing gross floor area by 100 square feet or more (1,000 sq ft in the Parkway Overlay District):
 - d) Construction of five or more parking spaces (ten in the Parkway Overlay District)
 - e) Erection of a sign:
 - f) Other alterations facing a street not otherwise excluded:
7. Brief Description of Project: **Construction of 8 units and 8 parking spaces.**
8. Date Complete Materials Submitted: February 21, 2013
9. Materials Submitted:
 - a) Written Description: Text from Sean Hope, Hope Legal Law Offices; Zoning compliance calculations and graphics from Peter Quinn Architects, LLC.
 - b) Graphic information: site plan X cross sections X floor Plans X elevations X other Street views
10. Date of Development Consultation: March 4, 2013

11. Presentation and Comments: The Large Project Review opened with Peter Quinn, architect, presenting the proposal for the 8 housing units and 8 parking spaces at 18 White Street, replacing the existing structure. The proposal has been reviewed by the Historical Commission and the 6 month Demolition Delay has expired. The proposal will comply with the Zoning Ordinance including the advertised and pending revisions to the Bicycle Parking Zoning. Sean Hope, the attorney, discussed the lobby use, garage entrance, and other issues as required in the North Mass Avenue Overlay District and attached to this document.

Three members of the public attended, one of whom is a direct abutter, and had the following comments:

The building appears to be bulky next to the 2 story residential building.

There is concern that ground floor retail use will not return to the lot.

Currently drivers access the White Street driveways by driving the wrong way on White Street.

The garage door will be frosted glass in response to concerns about the blank wall.

The fence along the shared property line will block light.

The existing brick element along the front of the property should be repaired and protected during construction.

There are concerns about the management of snow removal from the site as well as clearing the entire sidewalk in front of the property.

The applicant has complied with the requirements of Section 19.40 of the Zoning Ordinance by participating in the Development Consultation Procedure.

Date: March 12, 2013

Community Development Department staff person: Elizabeth M. Park

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Large Project Review for 18 White Street, Cambridge, MA

February 21, 2013

To: City of Cambridge, Community Development Department

RE: 18 White Street Development Consultation

Project Overview: The proposed new construction is a residential development providing 8 dwelling units with 8 parking spaces at grade. The parcel (5,080sf) is sited in the Business C zoning district and within the Massachusetts Avenue Overlay district. Presently the parcel contains a wood-framed commercial structure that will be demolished as part of the proposal.

The proposed development has a floor area ratio of 1.96 totaling 9,979sf. *See Zoning Packet for Summary.*

Section 19 - Large Project Review

Section 19.43.2: Application for a Large Project Review. Prior to application for a building permit, the applicant shall submit the following materials to the Community Development Department for its review. The written and graphic materials listed below shall give a reasonably complete indication of the nature and scope of the development proposal. Each of the following shall be submitted as appropriate to the proposal:

- (1) A site plan indicating the general location and boundaries of the lot, major anticipated changes in natural features, existing and proposed buildings, publicly beneficial open space and/or useable beneficial open space and/or private open space, existing and proposed curb cuts, off street parking areas, loading and service facilities, and generalized landscaping scheme or other anticipated treatment of open spaces.

For Overall Site Plan see Drawing A1.0. The existing curb cut will be used. For Parking layout see A1.1.

- (2) Cross section(s), generalized floor plans and other diagram(s) indicating the anticipated locations of various land uses within the building and on the site and major pedestrian pathways. **See attached Floor Plans.**

- (3) Architectural elevations or sketches indicating anticipated facade treatment along public ways including the proposed entrances, fenestration, and signage. **See attached Elevations (A2.0 and A2.1)**

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(4) A Summary indicating compliance with applicable zoning requirements. See **Zoning Summary packet.**

Section 19.43.4: Review Criteria and Required Findings of the Large Project review Procedure. *In reviewing each application, the Community Development Department shall:*

(1) Evaluate the proposal for general compliance with zoning requirements, for consistency with City development guidelines prepared for the proposal area, for appropriateness in terms of other planned or programmed public or private development activities in the vicinity and for consistency with the Citywide Urban Design Objectives set forth in Section 19.30. The Department shall consider the proposal in terms of the specific and general impact of the use and/ or dimensions proposed therein on the area of special planning concern and on adjacent neighborhoods and shall further take account of the following considerations:

Scale: *The proposed residential building is appropriate in scale compared to the abutting Porter Square galleria and adjacent shopping plaza across White Street.*

Bulk: *The proposed building is sensitive to the residential district behind it and Complies with the 60' limitation.*

Density: *The proposed building is less than the maximum FAR as well as having less units than are allowed on this site.*

Aesthetic Qualities: *The building is a contemporary style residential project implementing modern materials and panels as well as Green building elements and limited balconies.*

Land Use: *The proposed residential project is appropriate per the zone.*

Traffic Impacts & other functional characteristics: *We believe the proposed residential project will not create traffic and or congestion as it is close to several modes of public transportation including the Porter Square T stop, commuter rail and Mass avenue buses.*

Parking & Loading: *We are providing parking for all units in the building as well as a bicycle space per unit.*

Impact on Public Services and Facilities: *The current utilities in place are adequate for the load that will be placed on them with the addition of a residential building. The trash will stored within the building and will be handled in compliance with the rules and regulation of Cambridge's Department of Public works department.*

Section 20.100 MASSACHUSETTS AVENUE OVERLAY DISTRICT

20.103 Applicability. The Massachusetts Avenue Overlay District shall be an overlay district on the zoning map established by Section 3.20.

The project is within the Massachusetts Overlay District but not the North Massachusetts Avenue sub-district.

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20.103.1 The buildings and land uses within said district shall be controlled by the pertinent regulations within the base zoning district, except as modified by the requirements of this Section 20.100 which shall apply in addition to regulations imposed by the base zoning map designations. Where the base zoning regulations differ from the 20-46 requirements of this Section 20.100 the stricter provisions shall apply except where a waiver from those requirements is granted by special permit from the Planning Board under any of the provisions of this Section 20.100.

The Proposed land uses, multi-family residential (see section 4.31.f) are an allowed use in the base and overlay districts.

20.103.2 North Massachusetts Avenue Subdistrict. Within the portion of the Overlay District having a base Business A-2 zoning district designation extending on the southwesterly side of Massachusetts Avenue from the centerline of Creighton Street on the east to the centerline of Cottage Park Avenue on the west, and on the northeasterly side of Massachusetts Avenue from the centerline of Beech Street on the east to the Residence B zoning district line on the west, the regulations set forth in Sections 20.103 to 20.109 shall apply except as modified by the regulations set forth further below in Section 20.110.

N/A

20.104 Dimensional Standards in the Massachusetts Avenue Overlay District.

20.104.1 Maximum Height. The maximum height of any structure in the Overlay District shall be sixty (60) feet or the height applicable in the base district, whichever is less.

Complies. See attached zoning summary.

20.104.2 Modifications to the Definition of Gross Floor Area. Notwithstanding the definition of Gross Floor Area contained in Article 2.000 - Definitions, the following shall not be included as part of the gross floor area of any building in the Overlay District:

1. Enclosed bays and other small projections from the principal wall plane of a building normally included as gross floor area, provided they are three (3) feet or less in depth and further provided that the following conditions are met:
 - a. The maximum width of the projection does not exceed six (6) feet in length;
 - b. No more than fifty (50) percent of the area of each principal wall plane is covered with such projections.

Complies. See attached zoning summary and elevations (A.1 A1.1, A2.0, A2.1)

20.104.3 Additional Dimensional Standards for Lots Located in both a Business C zoning district and an abutting Residence C-1 or Residence B Zoning District
The provisions of this Section 20.104.3 shall apply to lots held in single ownership as of June 1, 2008 that are located entirely within the Overlay District and shall be granted after the issuance of a special permit from the Planning Board.

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1. Modification of the Transitional Requirements of Section 5.40. The Planning Board may waive the Front and Side Yard and Height requirements of Section 5.40 for Hotel or Motel Use provided the Board finds that the intended buffering provided by the provisions of Section 5.40 is reasonably provided through other means. The Board shall specifically find the following:

- a. The lot contains a contiguous area that is within the adjoining residential district.
- b. The portion of the lot in the residential district is substantially dedicated to at grade Green Area, Permeable, or Publically Beneficial Open Space as defined in Article 2.000.
- c. The portion of the lot dedicated to Open Space provides an adequate transition buffer between any structure constructed in the commercially zoned portion of the lot and adjacent residential uses in the residential district. Such Open Space shall have a minimum depth of twenty (20) feet.

N/A

2. Modification of the FAR limitations for a Hotel or Motel Use (Sections 5.30 and 5.33), for a lot located in both a Business C and a Residence B Zoning District. The Planning Board may allow a FAR of 1.60, calculated on the area of the entire lot, in both the Business C and Residence B districts, subject to the following conditions and limitations:

- a. All of the resulting Gross Floor Area will be located on the Business C portion of the lot.
- b. All parking required by this ordinance will be located in a below-grade parking facility.
- c. The at-grade portion of the lot within the Residence B District is substantially dedicated to Green Area, Permeable, or Publically Beneficial Open Space as defined in Article 2.000.
- d. The additional FAR of 1.60 shall only apply to the first 15,000 square feet of a lot. For portions of the lot greater than 15, 000 square feet the FAR permitted in the applicable base Business C and residential districts shall continue to apply.
- e. No preferably preserved significant building, as determined by the Cambridge Historical Commission, is demolished, as set forth in the City of Cambridge Demolition Ordinance #965.

No Hotel or Motel Use is being proposed.

20.105 Restrictions in Required and/or Provided Setbacks. That area between the principal wall plane of a building and a public street or public park whether required or provided shall be devoted to Green Area Open Space as defined in Article 2.000 of this Ordinance, an expansion of the adjacent public sidewalk, park, or other landscaped or paved area devoted exclusively to pedestrian use and extending along the entire length of the lot facing the street or park. Areas devoted to vehicular use are prohibited from this area with the exception of access drives to parking facilities located elsewhere on the site and which shall be limited to a total of thirty (30) feet of width for each one hundred (100) feet of lot frontage.

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The required Green Area Open Space, landscaping or other paved area devoted to pedestrian uses shall be located at the mean grade of the relevant public street or open space at the property line unless an exception is granted under the provisions of Section 20.108 of this Section 20.100.

The project complies with all required setbacks for the applicable zoning district.

20.106 Use Restrictions. The ground (first) floor of that portion of a building facing a public street or public park shall consist of Gross Floor Area devoted to any one or combination of the following uses: Residential (Section 4.31), Office (Section 4.34), retail business (Section 4.35), Institutional (Section 4.33), but specifically excluding Gross Floor Area in structured parking counted as Gross Floor Area, meeting the following conditions:

The project is 100% residential with lobby and uses exclusive to occupants of the building. The parking is enclosed and is setback from the street.

1. At least eighty (80) percent of the floor elevation of the ground (first) floor shall be no higher than the four (4) feet above the mean grade of the adjacent public sidewalk or public park, at the property line, except that Retail Business uses in new construction shall be located at mean grade;

N/A

2. The use shall have a depth of at least twenty (20) feet;

N/A

3. Where a lot fronts on two streets the provisions of this Section 11.106 shall apply only to the principal arterial street frontage provided the remainder of the ground floor of the building facing the public street shall be screened with a permanent wall in materials equal in quality to those of the rest of the building and having a minimum opacity of fifty (50) percent.

N/A

4. One parking space for each unit in a Townhouse shall be exempt from the limitations of this Section 20.106.

N/A

20.106. 1 Accessory Parking and Vehicular Access for Hotel Use. Notwithstanding the provisions of Table 4.30 and Section 6.22,, for a lot located in both a Business C and a Residence B zoning district, the Planning Board may grant a Special Permit to allow accessory Hotel or Motel Use parking within the Residence B District, including vehicular access to the parking facility and loading facility, with the following limitations and conditions:

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1. The portion of the lot in the Residence B district is contiguous to the portion of the lot in the BC District.
2. The parking is located in a below-grade parking structure.
3. The at-grade portion of the lot within the Residence B district is substantially dedicated to Green Area, Permeable, or Publically Beneficial Open Space as defined in this Ordinance.

N/A

20.107 Design Standards

20.107.1 Building Facades. Building facades shall be designed to enhance the visual quality of the Overlay District, create an environment pleasant and inviting for the pedestrian and compatible with the residential neighborhoods in close proximity to the district.

The following standards shall apply:

1. Principal building entrances shall face Massachusetts Avenue where a lot abuts the Avenue;

N/A

2. Where office and/or retail uses are accommodated on the ground floor each separately leased space shall have an individual public entrance onto the abutting street where any portion of the space fronts towards the street;

N/A

3. Facades facing a public street, a public park, or designated city landmark building, or building in a local historic district or neighborhood conservation district, on an abutting lot, shall consist of a minimum twenty-five (25) percent clear glass in total for the facade, with clear glass increased to fifty (50) percent on the ground floor where retail and office uses are established. The maximum amount of clear glass permitted shall be seventy-five (75) percent of the facade. Reflective and opaque glass shall be prohibited.

The façade facing the street is at least 25% glass.

20.108 Divergence from the standards specified in Sections 20.105 - 20.107 may be allowed by issuance of a special permit from the Planning Board. The Board shall grant such a permit upon its determination that the development proposed will better serve the objectives of this Section 20.100 than if the standards were followed and that the criteria specified in Section 10.43 will be satisfied.

The Board shall be guided in its determination by *Northern Massachusetts Avenue Urban Design Guidelines* and other such guidelines as may be established for this portion of Massachusetts Avenue. This Section 20.108 is intended for variations from the standards which may be appropriate in specific locations and circumstances and where careful design detail is a controlling factor.

20.109 Nonconforming structures. Notwithstanding the provisions of Section 8.23, that

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portion of a legal, nonconforming structure lying within the Massachusetts Avenue Overlay District which is destroyed or damaged by fire, explosion, or other catastrophe may be rebuilt or restored and used again, in the same way as it had been legally used immediately before the damage, without limit as to cost of such rebuilding or restoring provided the following conditions are met:

1. Any restoration or rebuilding shall commence within twelve (12) months after the catastrophe;
2. The structure shall be restored or rebuilt to the same design, including materials and design details as existed previously; or should the restoration not be feasible necessitating that the structure be rebuilt to a different design, said design shall be at least equal to the original design of the structure in quality of materials used, the quantity and quality of design details employed, and the compatibility of the site design with abutting properties;
3. The Community Development Department shall certify to the Superintendent of Buildings that the above conditions have been met.

With respect to the comparability of newly designed buildings, the Community Development Department shall consult the Cambridge Historical Commission for structures greater than fifty (50) years old. Should the Community Development Department find that said conditions have not been met the restoring or rebuilding shall require a special permit from the Board of Zoning Appeal. The restored or rebuilt structure shall in no aspect increase the nonconforming nature of the original structure; nothing in this Section 20.110, however, shall prohibit a rebuilding or restoring which reduces the nonconforming nature of the original structure.

N/A

20.111 *The Massachusetts Avenue Overlay District shall be considered an area of special planning concern.* Notwithstanding the provisions in Section 19.43.1 – Applicability of Large Project Review Procedure, in the Massachusetts Avenue Overlay District the Large Project Review Procedure shall apply to any development proposal containing more than two thousand (2,000) square feet of Gross Floor Area but less than fifty thousand (50,000) square feet, unless such development is exempt by virtue of the provisions of Section 19.45.

A. 19.30 Citywide Urban Design Objectives

1. Pursuant to Section 19.31 of the Ordinance, new projects should be responsive to the existing or anticipated pattern of development. Indicators include:
 - a) Heights and setbacks provide suitable transition to abutting or nearby residential zoning districts that are generally developed to low scale residential uses.

The project is located in the Business C zoning district and the Massachusetts Avenue Overlay District but is not part of the North Massachusetts Avenue sub-district. The size and scale of the proposed residential project is consistent the adjacent uses of the abutting Porter Square Galleria and Commercial Shopping Center across white street.

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b) New buildings are designed and oriented on the lot so as to be consistent with the established streetscape on those streets on which the project lot abuts. Streetscape is meant to refer to the pattern of building setbacks and heights in relationship to public streets.

The proposed new residential structure will have its primary entrance facing White Street creating a transition from the much denser and commercial structure abutting Massachusetts Avenue and Porter Square.

c) In mixed-use projects, uses are to be located carefully to respect context, e.g. retail should front onto a street, new housing should relate to any adjacent existing residential use etc.

The project is residential only.

d) Where relevant, historical context are respected e.g. special consideration should be given to buildings or buildings that are preferably preserved on adjacent to the Site.

The Cambridge Historic Commission, at its monthly hearing in February voted to not Commission a landmark study for the existing structure proposed to be demolished.

2. Pursuant to Section 19.32 of the Ordinance, development should be pedestrian and bicycle-friendly, with a positive relationship to its surrounding. Indicators include

(a) Ground floors, particularly where they face public streets, public parks, and publicly accessible pathways, consist of spaces that are actively inhabited by people, such as retail stores, consumer services businesses and restaurants where they are allowed, or general office, educational or residential uses and building lobbies. Windows and doors that normally serve such inhabited spaces are encouraged to be prominent aspect of the relevant building facades. Where a mix of activities are accommodated in the building, the more active uses are encouraged facing public street, parks and pathways.

The project is residential only with landscaping in the portion of the building façade facing the street and exclusive uses including the lobby and building entrance on the ground floor.

In commercial districts, such active space consists of retail and consumer service stores and building lobbies that are oriented towards the street and encourage pedestrian activity on the sidewalk. However, in all cases such ground floor spaces should be occupied by uses (a) permitted in the zoning district within which the structure is located, and (c) compatible with the principal use for which the building is designed.

The ground floor will include building lobby and entrance within the first 20' and enclosed at-grade parking in the middle and rear of the lot

(b) Covered parking on the lower floors of a building and on-grade open parking, particularly where located in front of a building, is discouraged where a building faces a public street or public park and publicly accessible pathways.

The parking is screened from public view on all sides and located away from the public street and publically accessible pathways.

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(c) Ground floors should be generally 25-50% transparent. The greatest amount of glass would be expected for retail uses with lesser amount for office, institutional or residential use.

The ground floor will be landscaped and will contain a partial glass door for additional light and air.

(d) Entries to buildings are located so as to ensure safe pedestrian movement across street, encourage walking as preferred mode of travel within the city and to encourage the use of public transit for employment and other trips. Relating building entries as directly as possible to crosswalks and to pathways that lead to bus stop and transit stations is encouraged; siting buildings on a lot and developing site plans that reinforce expected pedestrian pathways over the lot and through the district is also encouraged.

The building entrance is sited in close proximity to the crosswalk and away from driveway entrance.

(e) Pedestrians and bicyclists are able to access the site safely and conveniently; bicyclists should have, secure storage facilities conveniently located on-site and out of the weather. If bicycle parking is provided in a garage, special attention must be paid to providing safe access to the facilities from the outside.

The bicycle parking storage is located within the building with access through the lobby and or pedestrian walkway along the non-driveway side of the building.

(f) Alternate means of serving this policy objective 19.32 through special building design, siting, or site design can be anticipated where the building form or use is distinctive such as freestanding parking structures, large institutional buildings such as churches and auditoriums, freestanding service buildings, power plants, athletic facilities, manufacturing plants, etc.

N/A

3) Pursuant to Section 19.33 of the Ordinance, the building and site design should mitigate adverse environmental impacts of the development upon its neighbors. Indicators include:

The building design will mitigate adverse environmental impacts by proposing a solely residential use in a zoning district that allows retail and commercial uses. Also green building elements will be utilized throughout the development lessen environmental impacts for the abutting neighbors and surrounding areas.

a) Mechanical equipment that is carefully designed, well organized or visually screened from its surroundings and is acoustically buffered from neighbors. Consideration is given to the size, complexity and appearance of the equipment, its proximity to residential areas, and its impact on the existing streetscape and skyline. The extent to which screening can bring order, lessen negative impacts and enhance the overall appearance of the equipment should be taken into account.

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The project is designed to minimize negative impacts on its surroundings and enhance the overall appearance of the existing streetscape. Specifically, the mechanicals including elevator shaft are being located on the roof away from the public view. Similarly the parking is screened on all side and sited in the middle-rear of the lot.

b) Trash that is handled to avoid impacts (noise, odor, and visual quality) on neighbors e.g. the use of trash compactors or containment of all trash storage and handling within a building is encouraged.

The trash/recycling storage and handling for the residence will be located away from the public view and handled to minimize odor through the use of covered trash receptacles. In compliance with the Ordinance, no refuse storage areas are located in the front yard setbacks.

c) Loading Docks that are located and designed to minimize impacts (visual and operational) on neighbors.

N/A

d) Stormwater Best Management Practices and other measures to minimize runoff and improve water quality are implemented.

N/A

e) Landscaped areas and required Green Area Open Space, in addition to serving as visual amenities, are employed to reduce the rate and volume of storm water runoff compared pre-development conditions.

See attached site plan.

f) The structure is designed and sited to minimize shadow impacts on neighboring lots, especially shadows that would have a significant impact on the use and enjoyment of adjacent open space and shadows that might impact the operation of a Registered Solar System as defined in Section 22.60 of the Ordinance.

The dwellings are sited to minimize excess shadows and light spillage on neighboring lots to the extent possible. The property is located at least 50' from a the C-1 Residential neighborhood.

g) Changes to the grade across the lot are designed in ways to minimize the need for structural retaining walls close to the property line.

No changes to the grade are proposed that would require structural retaining walls.

h) Building Scale and wall treatment, including the provision of windows, are sensitive to existing residential uses on adjacent lots.

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The Project is designed to be congruous with both Retail and Residential abutters by respecting the setbacks on all side of the property and window placement on the lower floors to protect privacy.

i) Outdoor lighting is designed to provide minimum lighting necessary to ensure adequate safety, night vision and comfort, while minimizing light pollution.

Residential lighting along the front and side yard areas and parking areas will provide safe lighting enhancing the visual landscape in the evenings.

j) The creation of Tree Protection Plan that identifies important trees on the site, encourages their protection, or provides for adequate replacement of trees lost to development on the site.

Trees and densely planted shrubs will be planted in the front yard facing the public street to enhance the pedestrian environment.

4) Pursuant to Section 19.34 of the Ordinance, projects should not overburden the City infrastructure services, including roads, city water supply system and sewer system.

a) The building and site design are designed to make use of water-conserving plumbing and minimize the amount of stormwater run-off through the use of best management practices for stormwater management.

Water-conserving plumbing fixtures will be used in keeping with residential industry standards and as required to meet LEED standards.

b) The capacity and condition of drinking water and wastewater infrastructure systems are shown to be adequate, or the steps necessary to bring them up to an acceptable level are identified.

The lot has an existing residential structure and the current infrastructure will be updated as necessary in conjunction with Cambridge's department of public works.

5) Pursuant to Section 19.35 of the Ordinance, new construction should reinforce and enhance the complex urban aspects of Cambridge as it has developed historically. Indicators include

a) New Educational institutional construction that is focused with the existing campuses.

N/A

b) Where institutional construction occurs in commercial areas, retail, consumer service enterprises, and other uses that are accessible to the general public are provided at the ground (or lower) floors of buildings. Where such uses are not suitable for programmatic reasons, institutional uses that encourage active pedestrian traffic to and from the site.

N/A

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c) In large, multiple-building, non-institutional developments, a mix of uses, including publicly accessible retail activity, is provided where such uses are permitted and where the mix of uses extends the period of time the area remains active throughout the day.

N/A

d) Historic structures and environments are preserved.

There are no protected structures as determined by the Cambridge Historic Commission on the lot.

e) Preservation or provision of facilities for start-up companies and appropriately scaled manufacturing activities that provide a wide diversity of employment paths for Cambridge residents as a component of the development; however, activities heavily dependent on trucking for supply and distribution are not encouraged.

N/A

6) Pursuant to Section 19.36 of the Ordinance, expansion of the inventory of housing in the City is encouraged. Indicators include

a) Housing is a component of any large, multiple building commercial development. Where such development abuts residential zoning districts substantially developed to low-scale residential uses, placement of housing within the development such that it acts as a transition/buffer between uses within and without the development.

The proposed structure is sited in the Business C zoning district and at least 50' from a residential district. The project serves as a residential buffer to the smaller residential neighbor contained within the Business C to the Somerville border.

b) Where housing is constructed, providing affordable units exceeding that mandated by the Ordinance. Targeting larger family-sized middle income units is encouraged.

The project will have a range of bedroom sizes and does not trigger the inclusionary housing provision 11.200.

7) Pursuant to Section 19.37 of the Ordinance, enhancement and expansion of open space amenities in the city should be incorporated into new development in the city. Indicators include:

a) On large-parcel commercial development, publicly beneficial open space is provided.

N/A

b) Open space facilities are designed to enhance or expand existing facilities or to expand networks of pedestrian and bicycle movement within the vicinity of the development.

N/A

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c) A wider range of open space activities than presently found abutting area is provided.

The residential project will satisfy the open space requirement and add trees and densely planted bushes in the front yard increasing the pedestrian environment.

DEVELOPMENT PROPOSAL FOR 18 WHITE STREET CAMBRIDGE, MA

PORTER SQUARE PROPERTIES, LLC



VIEW FROM WHITE ST.

PREPARED BY:

ARCHITECT

PETER QUINN ARCHITECTS LLC

1904 MASSACHUSETTS AVE
CAMBRIDGE, MA 02140
PH (617) 354 3989

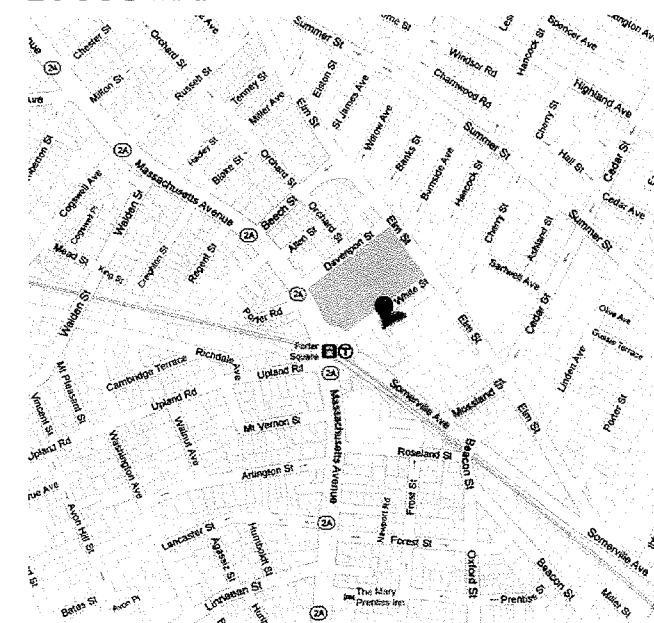
ZONING CRITERIA

THE SITE IS A COMPLYING LOT IN THE BUS-C ZONING DISTRICT. IT HAS NO ABUTTING RESIDENTIAL DISTRICT WITHIN 50-FT. THE LOT IS WITHIN THE NORTH MASSACHUSETTS AVE. OVERLAY DISTRICT. THE PROJECT PROPOSED IS EXPECTED TO BE FULLY COMPLIANT WITH THE ZONING BY-LAW AND DOES NOT REQUIRE ZONING RELIEF OR SPECIAL PERMIT. BECAUSE IT IS WITHIN THE OVERLAY, IT WILL ONLY REQUIRE THE ADMINISTRATIVE LARGE PROJECT REVIEW PROCESS PER ZBL ARTICLE 19.43.

DRAWING LIST

- COVER
- A0.1 STREET VIEW
- A0.2 BIRD'S EYE VIEW
- A0.3 ELEVATIONS (RENDERED)
- A1.0 SITE PLAN AND STREET ELEVATION
- A1.1 FLOOR PLANS
- A2.0 WEST AND SOUTH ELEVATIONS
- A2.1 EAST AND NORTH ELEVATIONS

LOCUS MAP



PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
1904 MASS AVE, 2ND FLOOR
CAMBRIDGE, MA 02140
PH 617-354-3989 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT

18 WHITE ST.

18 WHITE STREET
CAMBRIDGE, MA 02140

PREPARED FOR

PORTER SQUARE
PROPERTIES, LLC.

121 MYSTIC AVE.
MEDFORD, MA 02155

DRAWING TITLE

COVER SHEET

SCALE AS NOTED

REVISION	DATE

CCD REVIEW 2/20/13

DEMO PERMIT 1/25/13

DEMO APPL. 6/22/12

DRAWN BY	REVIEWED BY
ACW	PQ

SHEET



STREET VIEW
WHITE STREET LOOKING NORTH

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
1904 MASS AVE, 2ND FLOOR
CAMBRIDGE, MA 02140
PH 617-354-3989 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT
18 WHITE ST.

18 WHITE STREET
CAMBRIDGE, MA 02140

PREPARED FOR

PORTER SQUARE PROPERTIES, LLC.

121 MYSTIC AVE.
MEDFORD, MA 02155

DRAWING TITLE

STREET VIEW

SCALE AS NOTED

REVISION	DATE

CCD REVIEW	2/20/13
DEMO PERMIT	1/25/13
DEMO APPL.	6/22/12

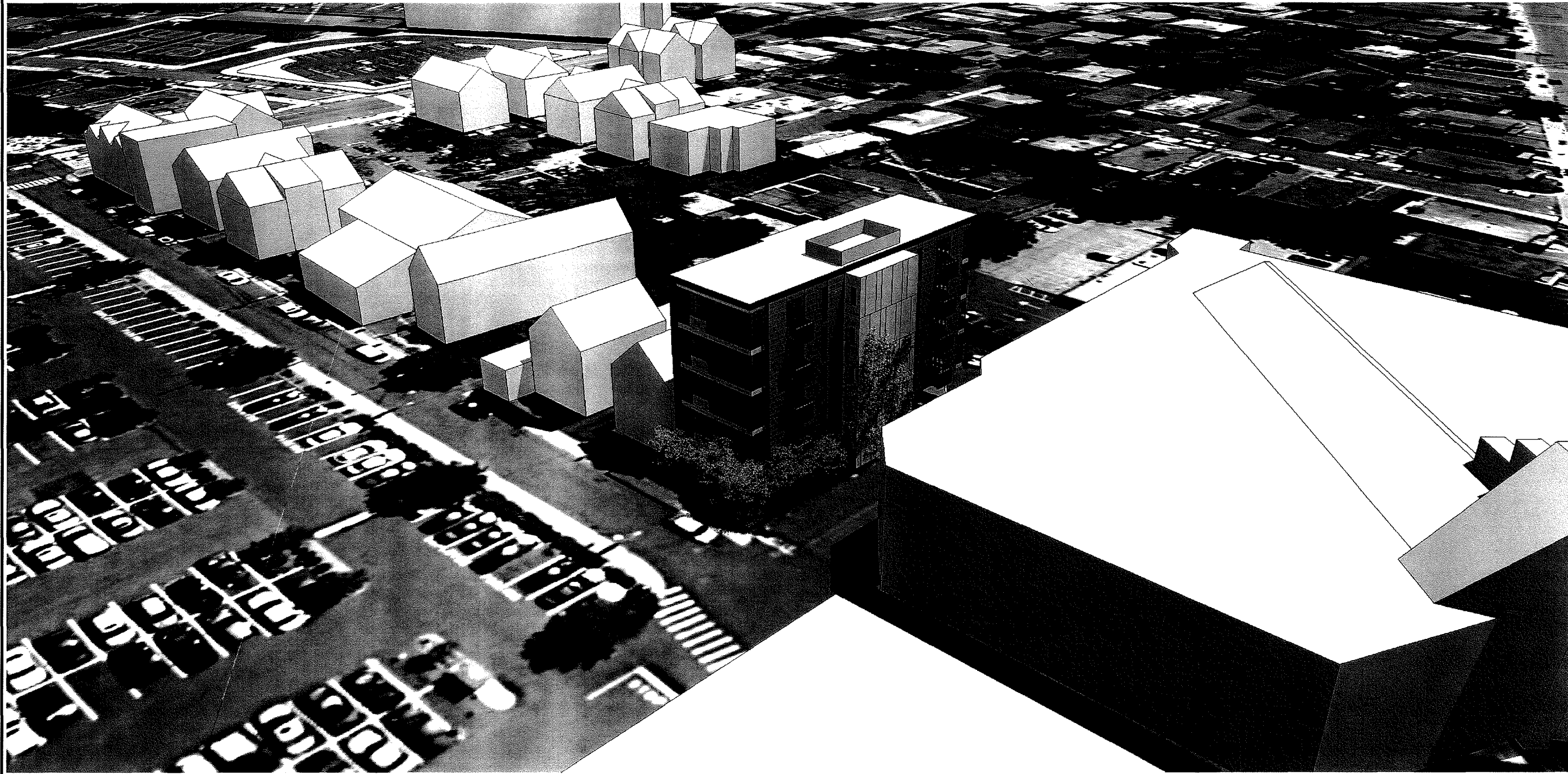
DEMO PERMIT	1/25/13
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DEMO APPL.	6/22/12
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DRAWN BY PN	REVIEWED BY PQ
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SHEET

A0.1



PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
1904 MASS AVE, 2ND FLOOR
CAMBRIDGE, MA 02140
PH 617-354-3989 FAX 617-888-0280

SEAL

CONSULTANT

PROJECT

18 WHITE ST.

18 WHITE STREET
CAMBRIDGE, MA 02140

PREPARED FOR

PORTER SQUARE
PROPERTIES, LLC.

121 MYSTIC AVE.
MEDFORD, MA 02155

DRAWING TITLE

BIRD'S EYE
VIEW

SCALE AS NOTED

REVISION	DATE
CCD REVIEW	2/20/13
DEMO PERMIT	1/25/13
DEMO APPL.	6/22/12
DRAWN BY PN	REVIEWED BY PQ

SHEET

BIRD'S EYE VIEW
LOOKING NORTH-EAST

A0.2



SOUTH ELEVATION (GALLERIA DRIVEWAY)

WEST ELEVATION (WHITE STREET)



NORTH ELEVATION

EAST ELEVATION (REAR)

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
 1904 MASS AVE, 2ND FLOOR
 CAMBRIDGE, MA 02140
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SEAL

CONSULTANT

PROJECT
18 WHITE ST.
 18 WHITE STREET
 CAMBRIDGE, MA 02140

PREPARED FOR
 PORTER SQUARE PROPERTIES, LLC.
 121 MYSTIC AVE.
 MEDFORD, MA 02155

DRAWING TITLE
**ELEVATIONS
 (RENDERED)**

SCALE AS NOTED

REVISION	DATE
CCD REVIEW	2/20/13
DEMO PERMIT	1/25/13
DEMO APPL.	6/22/12
DRAWN BY PN	REVIEWED BY PQ

SHEET
A0.3

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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1904 MASS AVE, 2ND FLOOR
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SEAL

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PROJECT
18 WHITE ST.

18 WHITE STREET
CAMBRIDGE, MA 02140

PREPARED FOR
PORTER SQUARE
PROPERTIES, LLC.

121 MYSTIC AVE.
MEDFORD, MA 02155

DRAWING TITLE

SITE PLAN
AND STREET
ELEVATION

SCALE AS NOTED

REVISION DATE

CCD REVIEW 2/20/13

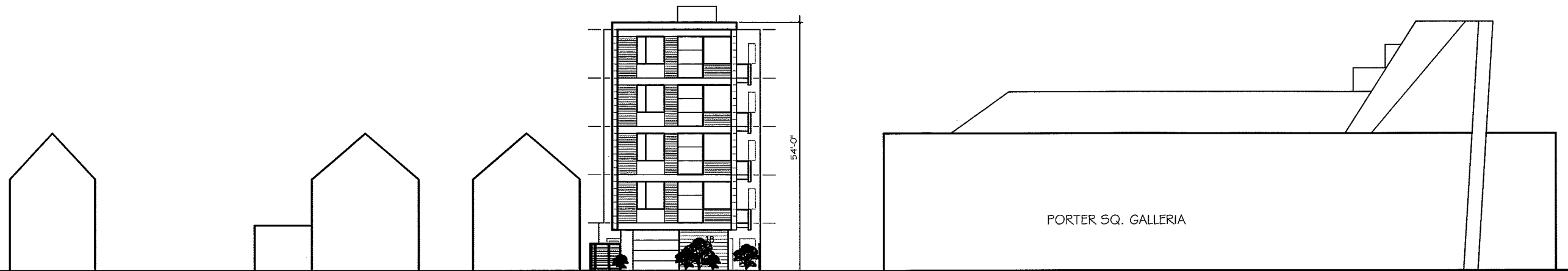
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DEMO APPL. 6/22/12

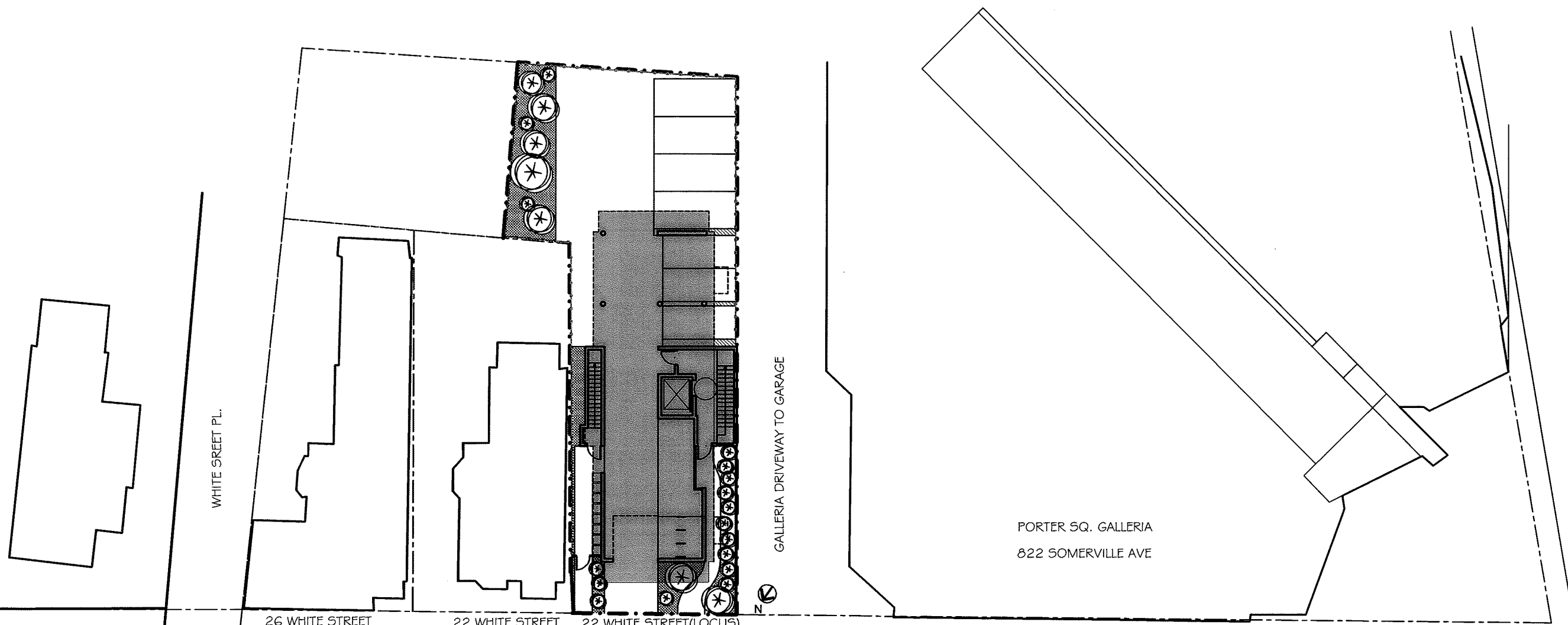
DRAWN BY ACW REVIEWED BY PQ

SHEET

A1.0



26 WHITE STREET 22 WHITE STREET 18 WHITE STREET (LOCUS) 822 SOMERVILLE AVE
① STREET ELEVATION WHITE ST.
1/16"=1'-0"



26 WHITE STREET 22 WHITE STREET 22 WHITE STREET (LOCUS) 822 SOMERVILLE AVE
② CONTEXT SITE PLAN
1/16"=1'-0"

SEAL

CONSULTANT

PROJECT
18 WHITE ST.

18 WHITE STREET
CAMBRIDGE, MA 02140

PREPARED FOR
PORTER SQUARE
PROPERTIES, LLC.

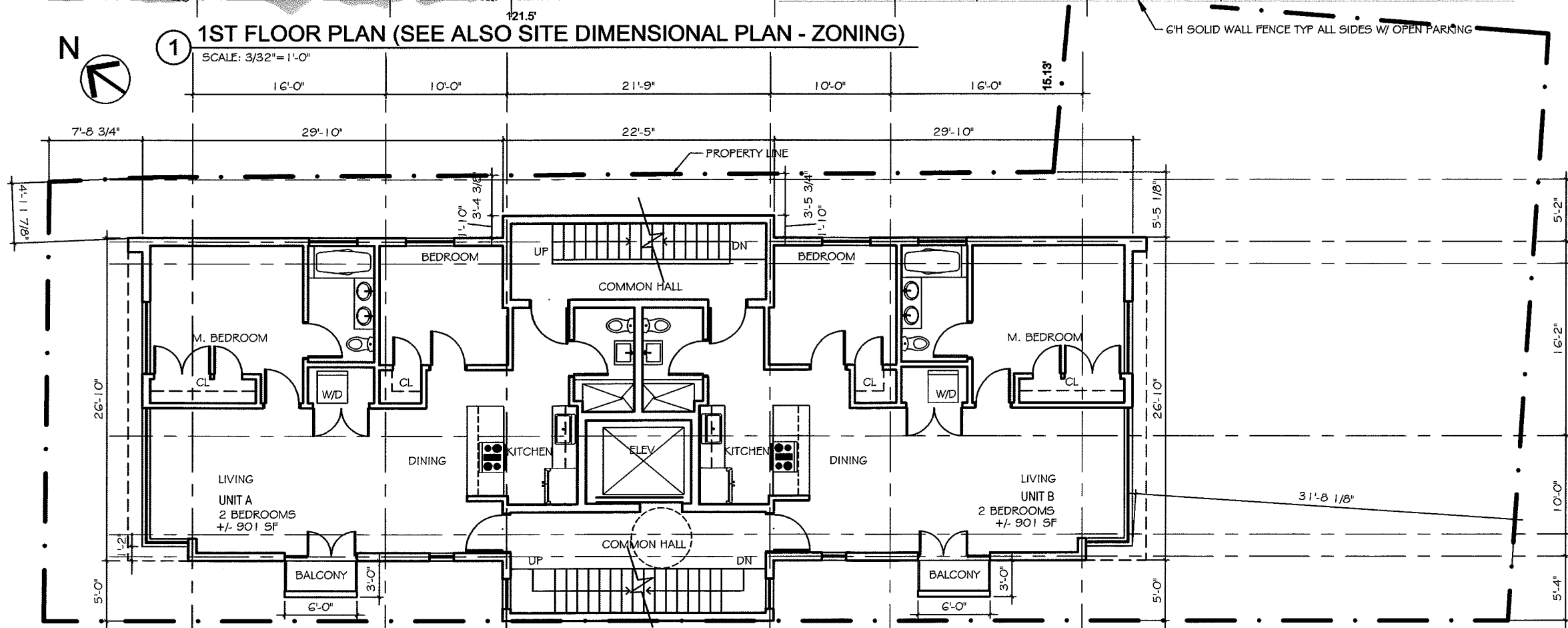
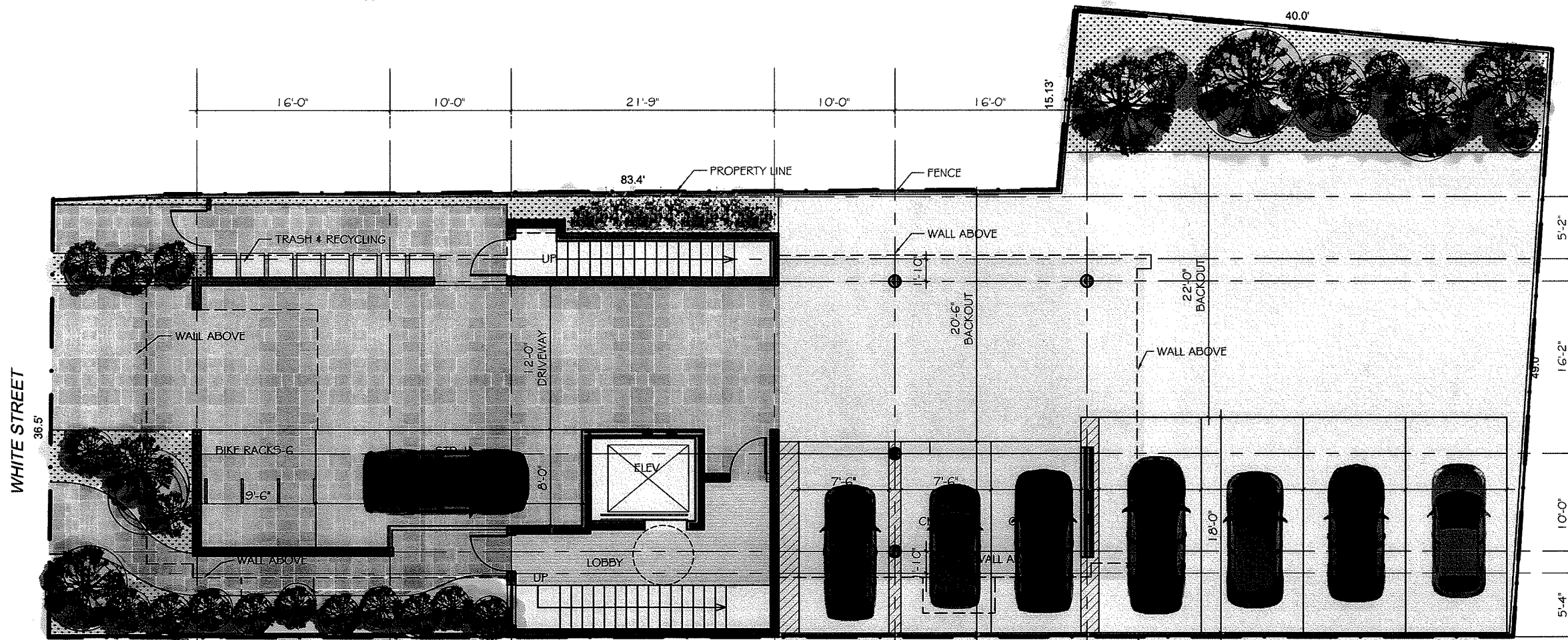
121 MYSTIC AVE.
MEDFORD, MA 02155

DRAWING TITLE
FLOOR PLANS

SCALE AS NOTED

REVISION	DATE
CCD REVIEW	2/20/13
DEMO PERMIT	1/25/13
DEMO APPL.	6/22/12
DRAWN BY ACW	REVIEWED BY PQ

A1.1



PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
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PH 617-354-3989 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT
18 WHITE ST.

18 WHITE STREET
CAMBRIDGE, MA 02140

PREPARED FOR
PORTER SQUARE
PROPERTIES, LLC.

121 MYSTIC AVE.
MEDFORD, MA 02155

DRAWING TITLE

**WEST AND
SOUTH
ELEVATIONS**

SCALE AS NOTED

REVISION DATE

CCD REVIEW 2/20/13

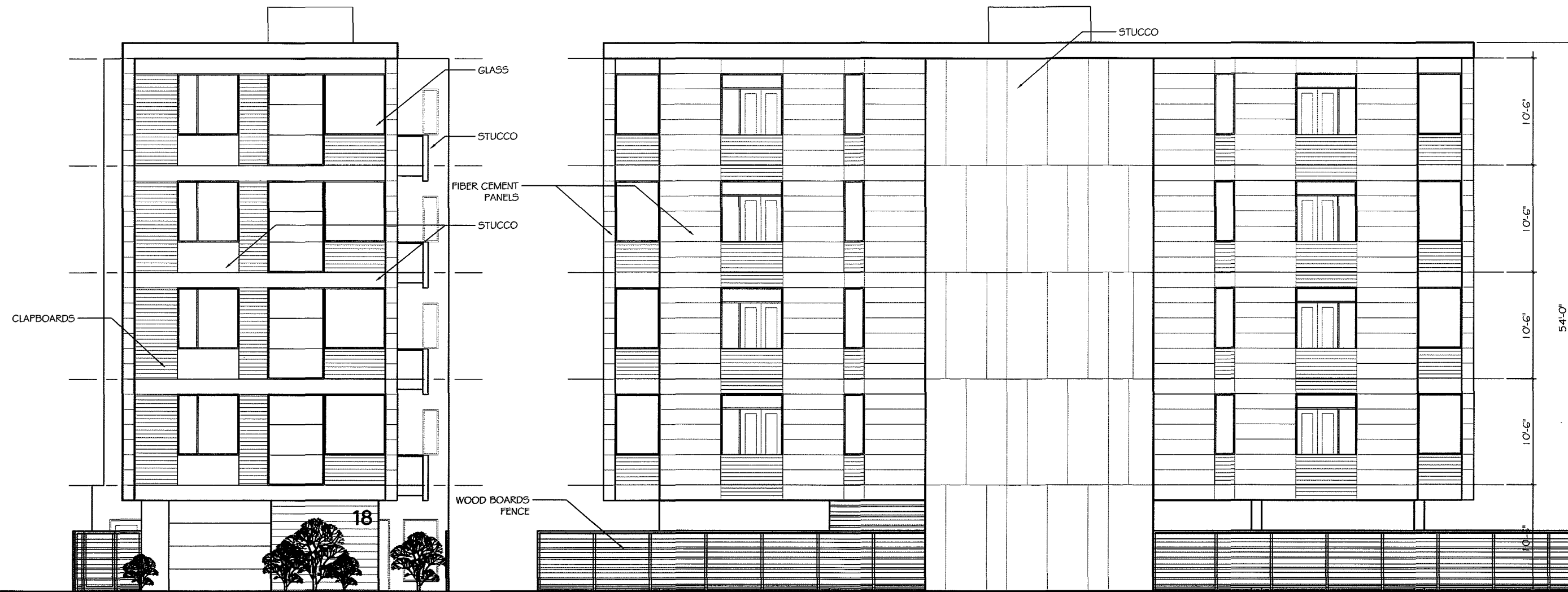
DEMO PERMIT 1/25/13

DEMO APPL. 6/22/12

DRAWN BY ACW REVIEWED BY PQ

SHEET

A2.0



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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SEAL

CONSULTANT

PROJECT

18 WHITE ST.

18 WHITE STREET
CAMBRIDGE, MA 02140

PREPARED FOR

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PROPERTIES, LLC.

121 MYSTIC AVE.
MEDFORD, MA 02155

DRAWING TITLE

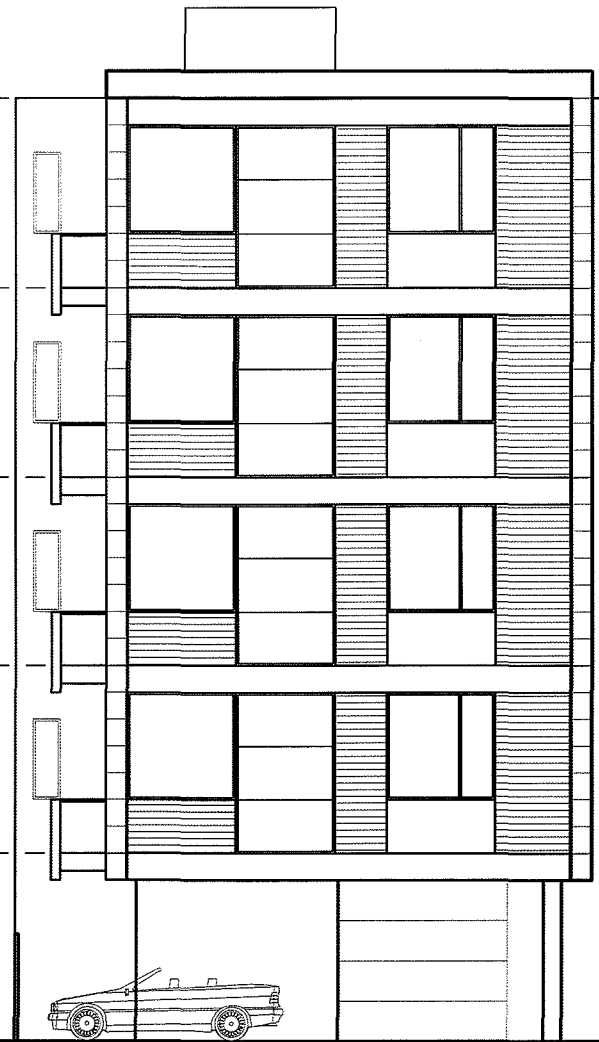
EAST AND
NORTH
ELEVATIONS

SCALE AS NOTED

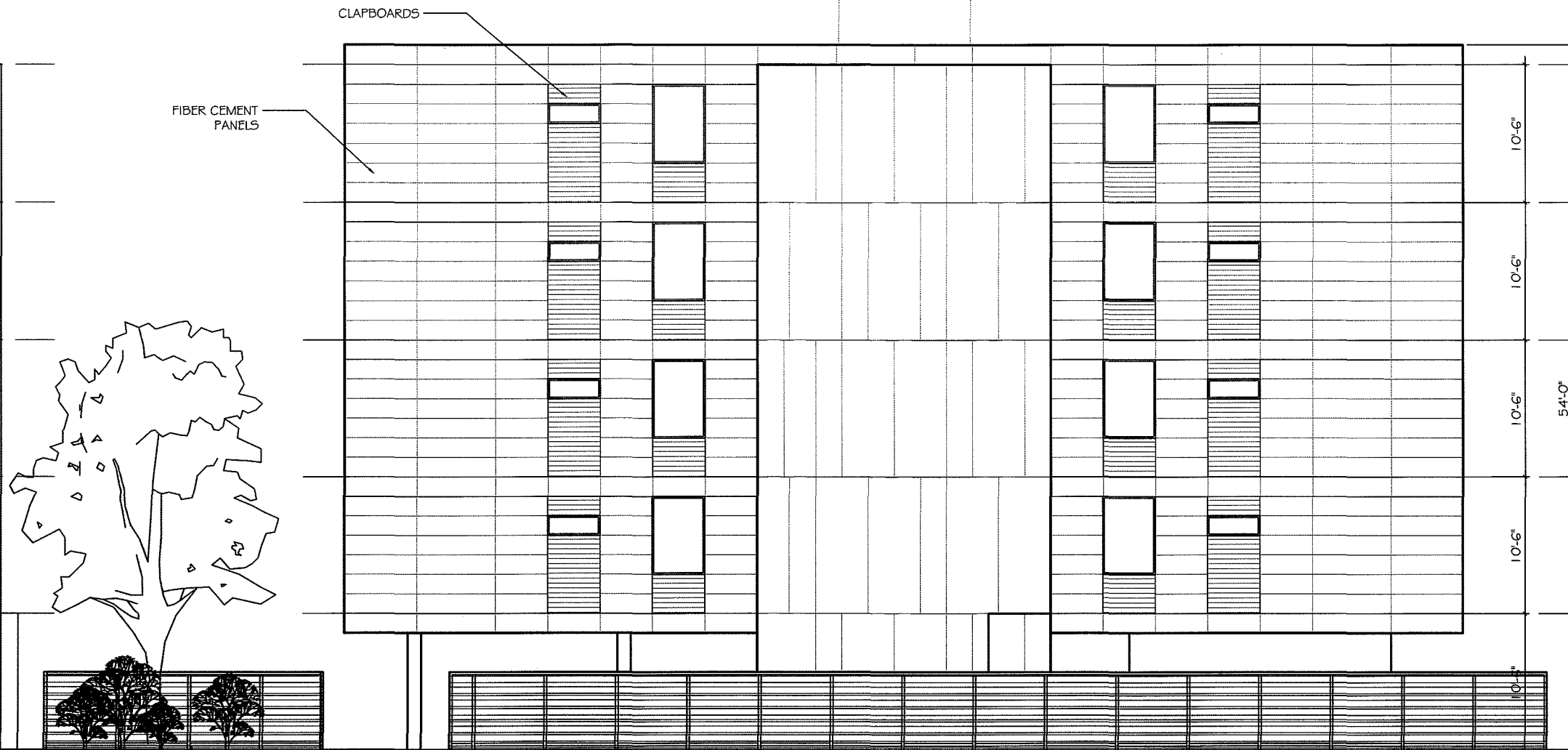
REVISION	DATE
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DRAWN BY ACW	REVIEWED BY PQ

SHEET

A2.1



3 EAST ELEVATION
SCALE: 3/32"=1'-0"



4 NORTH ELEVATION
SCALE: 3/32"=1'-0"

FIBER CEMENT
PANELS

CLAPBOARDS

10'-6"

10'-6"

10'-6"

10'-6"

54'-0"

110'-8"