

Drawing List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
0-Cover Sheet			
A-000	Cover Sheet	08/11/2021	
1-Civil			
C-1	Drainage Plan	08/10/2021	
C-2	Details	08/10/2021	
C-3	Details	08/10/2021	
2-Landscape			
L-1	Landscape Plan	09/03/2021	
3-Architectural			
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A-010	Code Review & Egress Calculations	08/11/2021	
A-015	Fenestration Diagram	08/11/2021	
A-016	Bike Path Layout	08/31/21	09/08/2021
A-020	Architectural Site Plan	08/11/2021	09/08/2021
A-021	Area Plans	08/11/2021	
A-100	Basement, First & Second Floor Plans	08/11/2021	
A-100.1	Foundation Plan	08/11/2021	
A-101	Third Floor & Roof Plans	08/11/2021	
A-110	Enlarged Basement Plan	08/11/2021	
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A-200	Basement & 1ST Floor RCP	08/11/2021	
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A-300	Exterior Elevations	08/11/2021	
A-400	Longitudinal Section Left	08/11/2021	
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A-402	Cross Section 1	08/11/2021	
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A-610	Common Toilets Plans & Interior Elevations	08/11/2021	
A-701	Lula Lift Section	08/11/2021	
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Drawing List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
A-800	Door & Window Schedule	08/11/2021	
A-801	Window Details	08/11/2021	
A-802	Door & Finish Floor Details	08/11/2021	
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AV-3	PROPOSED RENDERING FROM PARK	09/07/21	09/08/2021
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S-005	Roof Plan	08/05/21	
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5-Mechanical			
H-100	Basement, First & Second Floor HVAC Plans	02/08/21	
H-101	Third Floor & Roof HVAC Plans	02/08/21	
H-200	HVAC Notes & Schedules	02/08/21	
H-201	HVAC Schedules	02/08/21	
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H-203	HVAC Details	02/08/21	
6-Electrical			
E-100	Power Plans	02/08/21	
E-101	Power Plans	02/08/21	
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E-300	Electrical Notes	02/08/21	
E-301	Electrical Notes	07/15/21	
7-Fire Alarm			
FA-100	Fire Alarm Plans	02/08/21	
FA-101	Fire Alarm Plans	02/08/21	
FA-200	Fire Alarm Notes	02/08/21	
8-Fire Protection			
FP-100	Fire Protection Plans	02/08/21	
FP-101	Fire Protection Plans	02/08/21	
FP-200	Fire Protection Details	02/08/21	
FP-201	Fire Protection Legend, Schedule and Specification	02/08/21	
9-Plumbing			
P-100	Basement, First & Second Floor Plumbing Plans	02/08/21	
P-101	Third Floor & Roof Plumbing Plans	02/08/21	
P-200	Plumbing Notes & Schedules	02/08/21	
P-201	Plumbing Notes	02/08/21	
P-202	Plumbing Details	02/08/21	
P-203	Plumbing Details	02/08/21	
P-204	Plumbing Risers	02/08/21	



PROJECT: ONE CEDAR ST MIXED-USE

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PERMIT SET
08/11/2021
REV 1: DESIGN REVIEW
09/08/2021

LOCUS MAP



PROJECT NAME		
1 Cedar St Residences		
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REGISTRATION		
		
Project number	20012	
Date	08/11/2021	
Drawn by	T.C.	
Checked by	JSK	
Scale		
REVISIONS		
No.	Description	Date
Cover Sheet		
A-000		
1 Cedar St Residences		

ARCHITECTURAL ABBREVIATIONS

A	AND	C	E	F	J	N	R	S	W
ABL ANCHOR BOLT ACPL ACCESS FLOOR ACOUS ACoustICAL ACT ACoustICAL CEILING TILE ADD AREA DRAIN ADD ADDITIONUM ADZ ADDITIONAL ADJ ADJACENT ADM ADMINISTRATION AFB ABOVE FINISH FLOOR ALUM ALUMINUM ALT ALTERNATE AP ACCESS PANEL ANUN ANNUNCIATOR APC ARCHITECTURAL PRECAST CONCRETE APPROX APPROXIMATE ARCH ARCHITECTURAL AUTO AUTOMATIC AWT ACOUSTICAL WALL TREATMENT	CD COLLING DOOR CC CLASS CLR CENTER LINE CM CONCRETE CMU CONSTRUCTION MANAGER CONC CONCRETE MASONRY UNIT COB COMBINATION COL COLUMN COMB COMBINATION CONC CONCRETE CONF CONFERENCE CONC CONSTRUCTION CONTR CONTRACTOR CORR CORRUGATED CORR CORRUGATED COT CARPET CTI CERAMIC TILE CEN CENTER CTSK COUNTERTOP CUB CABINET UNIT HEATER CUR CURTAIN WALL CW COLD WATER CYL CYLINDER	CO COLLING DOOR CC CLASS CLR CENTER LINE CM CONCRETE CMU CONSTRUCTION MANAGER CONC CONCRETE MASONRY UNIT COB COMBINATION COL COLUMN COMB COMBINATION CONC CONCRETE CONF CONFERENCE CONC CONSTRUCTION CONTR CONTRACTOR CORR CORRUGATED CORR CORRUGATED COT CARPET CTI CERAMIC TILE CEN CENTER CTSK COUNTERTOP CUB CABINET UNIT HEATER CUR CURTAIN WALL CW COLD WATER CYL CYLINDER	EIT EXPANSION JOINT EL ELEVATION ELEV ELEVATION EMERG EMERGENCY ENGR ENGR ENTR ENTRANCE EP ELECTRICAL EQ EQUAL EQIP EQUIPMENT END END SECTION EKA EXHAUST AIR EXHA EXHAUST EXP EXPANSION EXT EXTERIOR E EXISTING EFC EXISTING FAN EINS EXISTING INSULATION EIT ELEVATION ELEC ELECTRICAL EMERG EMERGENCY ENTR ENTRANCE EQIP EQUIPMENT END END SECTION EKA EXHAUST AIR EXHA EXHAUST EXP EXPANSION EXT EXTERIOR	FRM FRAMING FS FULL SIZE FSK FLOOR SINK FTOP FIRE STOPPING FTS FOOTING FTR FIRE TUBE RADIATION FUR FURRING FUT FUTURE	JAN JANITOR JBT JOINT JT JOINT	NA NOT APPLICABLE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NSC NOISE REDUCTION NT NOTE NTS NOT TO SCALE	R RADIIUS RIS RISER R RETURN RAD RADIATION RES RESILIENT BASE RD ROOF DRAIN RELOC relocate EXISTING RECE RECEIVED REF REFERENCE REF REFERENCE REF REFERENCE REIN REINFORCE/EDGING REIN REINFORCING REIN REINFORCING REV REVERSE REV REVERSE RH RESILIENT FLOOR RH ROUGH HATCH RM ROOM RMO ROUGH OPENING RW ROUGH SLAB RW RAIN WATER CONDUCTOR	STS STEEL STRUCTURE SUVP SUPERVISOR SUS SUSPENDED SW SWITCH SWD SOFTWOOD SYM SYMMETRICAL	W WETTHWIDE WF WEE FLANGE W WITH WID WITHOUT WC WALL WC WALL COVERING W WOOD WDW WINDOW WH WALL WH WALL GUARD WH WALL HYDRANT WH WATERPROOF WH WATERPROOF WH WEATHERSTRIP WH WINDOW WH WINDOW TREATMENT WH WINDOW WH WOOD WINDOW WH WELED WIRE FABRIC
B	D	D	H	H	M	P	S	T	U
BA BUILDING BOARD BC BRICK COURSES BFD BUILDING BOARD BFE BOTTOM FOOTING ELEVATION BIG BIRCH BIT BITUMINOUS BKT BRACKET BLD BUILDING BLDG BLDG BLW BELOW BLW BELOW BO OWNER BOF BOTTOM FUTURE BOT BOTTOM BRG BEARING BRG BRICK LEGGE BSMT BASEMENT BSMT BASEMENT STW STRUT BUR BUILT-UP ROOFING	D DEPTH OR DEEP DEMO DEMOLITION DEPT DEPARTMENT DET DETAILING DF DRAINAGE DIA DIAMETER DIA DIAMETER DIF DIFFUSER DISP DISPENSER DIST DISTRIBUTION DIV DIVISION DJT JUNCTION DN DOWN DR REMOUNTABLE PARTITION DP DATA PROCESSING DS DOWNSPOUT DWY DRAIN/WATER DWG DRAWING DWS DOWELS	D DEPTH OR DEEP DEMO DEMOLITION DEPT DEPARTMENT DET DETAILING DF DRAINAGE DIA DIAMETER DIA DIAMETER DIF DIFFUSER DISP DISPENSER DIST DISTRIBUTION DIV DIVISION DJT JUNCTION DN DOWN DR REMOUNTABLE PARTITION DP DATA PROCESSING DS DOWNSPOUT DWY DRAIN/WATER DWG DRAWING DWS DOWELS	H HIGH HB HAND DRIVER HDC HANDCAMP HDR HEADER HDW HARDWARE HM HOLLOW METAL HORZ HORIZONTAL HPT HORIZONTAL HT HEIGHT HTR HEATER HW HOT WATER HW AIR CONDITIONING HW HARDWOOD	H HIGH HB HAND DRIVER HDC HANDCAMP HDR HEADER HDW HARDWARE HM HOLLOW METAL HORZ HORIZONTAL HPT HORIZONTAL HT HEIGHT HTR HEATER HW HOT WATER HW AIR CONDITIONING HW HARDWOOD	M MIDDLE MATL MATERIAL MBO MARKER BOARD MCU MODULAR COOLING UNIT MECH MECHANICAL MEMB MEMBRANE MEZZ MEZZANINE MFR MANUFACTURER MHP MARHOLE MIR MIRROR MIN MINIMUM MISC MISCELLANEOUS MO MONO MPC METAL PANEL CEILING MPS MULTIPANEL UNIT MNT MOUNTED MTE MILL MULL MULLION	P PART PB PAPER BUTTON PC PRECAST CONCRETE PCD PAPER CUP DISPENSER PED PRECAST PL PLATE PL PROPERTY LINE PLAM PLASTIC LAMINATE PLB PLUMBING PLS PLASTER PLW PLYWOOD PNL PANEL PREL PRELIMINARY PRES PRESSURE PRM PRIMARY PRO POWER ROOF VENTILATOR PRT PRINTER PTC PAPER TOWEL CABINET PVC POLYVINYL CHLORIDE	S SINK SCHEDULE SD SHOWER DRAIN SD SMOKE DAMPER SDSP SHOWER DISPENSER SECT SECTION SECT SECTION SF STORE FRONT SFT SQUARE FOOT SH SHOWER SHD SHOWER HEAD SHT SHEATHING SHT SHEATHING SIM SIMILAR SIN SIN SINT SEALANT SIV SANITARY WAXPIN CABINET SNC SANITARY NAPKIN CABINET SND SANITARY NAPKIN DISPOSER SLAB ON GRADE SPEC SPECIFICATIONS SPP SINGLE PLY SPP SINGLE PLY SR SERVICE RECEPTOR SR SERVICE RECEPTOR SST STAINLESS STEEL SST STAINLESS STEEL ST STONE ST STONE ST STONE STN STONE STN STONE LEDGE STOR STORAGE STRCT STRUCTURAL	T TOP TAN TANGENT TBD TACKBOARD TCAB TOWEL CABINET TDSB TISSUE DISPENSER TDR TRENCH DRAIN TEL TELEPHONE TEMP TEMPERATURE THRESH THRESHOLD TIG TONGUE & GROOVE TIG TEMPERED PLATE GLASS TILE TILES TR TRANSFORMER TR TRANSFORMER TS TUBE SECTION TV TELEVISION TYP TYPICAL	U URINAL UNDERCUT UNDER FLOOR DUCT UNDERGROUND UN UNDER UN UN UN UNLESS NOTED OTHERWISE UTIL UTILITY
C	E	E	I	I	Q	Q	Q	V	V
C DISP CUP DISPENSER CAB CABINET CG CORNER GUARD CHT CHAIR CK CONTROL JOINT CCT CLOSED CIRCUIT TELEVISION	E EXISTING E EXISTING EFC EXISTING FAN EINS EXISTING INSULATION EIT ELEVATION ELEC ELECTRICAL EMERG EMERGENCY ENTR ENTRANCE EQIP EQUIPMENT END END SECTION EKA EXHAUST AIR EXHA EXHAUST EXP EXPANSION EXT EXTERIOR	E EXISTING E EXISTING EFC EXISTING FAN EINS EXISTING INSULATION EIT ELEVATION ELEC ELECTRICAL EMERG EMERGENCY ENTR ENTRANCE EQIP EQUIPMENT END END SECTION EKA EXHAUST AIR EXHA EXHAUST EXP EXPANSION EXT EXTERIOR	I INTERCOM ID INSIDE DIAMETER IN INCH INSUL INSULATION INT INTERIOR ISO INSULATION MNT MOUNTED MTE MILLION	I INTERCOM ID INSIDE DIAMETER IN INCH INSUL INSULATION INT INTERIOR ISO INSULATION MNT MOUNTED MTE MILLION	Q QUARRY TILE	Q QUARRY TILE	Q QUARRY TILE	V VALVE CABINET VENT VENTILATION VERT VERTICAL VTR VAPOR RETARDER VTR VENT THROUGH ROOF	V VALVE CABINET VENT VENTILATION VERT VERTICAL VTR VAPOR RETARDER VTR VENT THROUGH ROOF

SYMBOLS

	LEVEL LINE, CONTROL OR DATUM ELEVATION		DETAIL REFERENCE DRAWING NUMBER
	REVISION NUMBER		EXTERIOR ELEVATION NUMBER
	PARTITION TYPE		INTERIOR ELEVATION KEY
	CASEWORK TYPE		ROOMSPACE NUMBER
	INTERIOR WINDOW TYPE		DOOR NUMBER
	WINDOW TYPE		SEALANT AND BACKER ROD JOINT
	COLUMN REFERENCE GRID		DASH AND DOT CENTER LINE
	BUILDING SECTION REFERENCE DRAWING NUMBER		DASH AND DOUBLE DOT LINES PROPERTY LINES, BOUNDARY LINES
	WALL SECTION REFERENCE DRAWING NUMBER		SECTION DETAIL REFERENCE DRAWING NUMBER
	DIMENSION LINE		BREAK LINE TO BREAK OFF PARTS OF A DRAWING
	DOTTED LINE HIDDEN OR CONSTRUCTION ABOVE, BEYOND		

INDICATION OF MATERIALS

EARTH		EARTH/CONTRACT FILL	POROUS FILL/ GRAVEL
CONCRETE		CONCRETE	SAND MORTAR
MASONRY		BRICK	CONCRETE MASONRY UNIT
STONE		RUBBLE	MARBLE
METAL		STEEL/IRON	ALUMINUM
WOOD		WOOD SHIM	CONTINUOUS BLOCKING
		PLYWOOD	FINISH
GLASS		GLASS	GLASS BLOCK
INSULATION		BATT/ LOOSE FILL	RIGID
		FIRE SAFING	
FINISHES		GYPSUM WALL BOARD	ACOUSTICAL TILE

GENERAL NOTES

- GENERAL CONDITIONS: THE GENERAL CONDITIONS FOR THIS CONTRACT SHALL BE AIA DOCUMENT A201 (1987 EDITION) EXCEPT AS HEREIN AMENDED.
- SCOPE: WORK TO INCLUDE DEMOLITION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE SCOPE OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
- CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
- COORDINATION OF THE WORK: THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
- MECHANICAL TRADES: THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
- EXAMINATION OF THE SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONFORMANCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY COORDINATE AND COORDINATE HIS WORK WITH THE OTHERS.
- GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
- TRASH REMOVAL: PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS. DUMPSTER LOCATION TO BE COORDINATED WITH THE OWNERS. AT THE END OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY AT HIS OPTION PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES, DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILING TO BE 5/8" FIRE CODE OR 1/2" GYPSUM BOARD, 5/8" MOISTURE RESISTANT TYPE X OR 5/8" GYPSUM BOARD. FINISHES AND TEXTURES TO BE SELECTED BY THE OWNER. MANUFACTURED BY U.S. GYPSUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT), ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, VVC, OR PANELING.
- STORAGE: THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E., TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.
- PROTECTION: THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROPERTY.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRICAL LINES AND PIPES. HE IS ALSO ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM LINES BY HAND DUG TEST PITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.
- ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, & SPRINKLER: EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- DAMAGE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILING, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.
- THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING: LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS; ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
- CARPET AND/OR TILE: CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
- HANDICAPPED REQUIREMENTS: THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (ADA) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
- SPRINKLER HEAD LOCATION: REFER TO NFPA STANDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC.
- ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILING, WALL AND FLOORS SHALL BE CLASS 1½ WITH A FLAME SPREAD RATING OF 0 TO 25.
- SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
- BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
- ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.

PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
1 CEDAR ST., LLC.

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REGISTRATION

Project number: 20012
Date: 08/11/2021
Drawn by: Aulhof
Checked by: [Signature]
Scale: 1/2" = 1'-0"

REVISIONS

No.	Description	Date
30	ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILING, WALL AND FLOORS SHALL BE CLASS 1½ WITH A FLAME SPREAD RATING OF 0 TO 25.	
31	SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.	
32	BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.	
33	ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.	

General Notes & Abbreviations
A-001
1 Cedar St Residences

GENERAL NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
- ALL WORK SHALL CONFORM TO CITY OF CAMBRIDGE GENERAL CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
- PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS II BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
- BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.O.P.W. M1.03.1 WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
- ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN.
- ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1" WEAR COURSE OVERLYING A 1 1/2" BINDER COURSE OVERLYING A 6" COMPACTED GRAVEL BASE COURSE.
- THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE CITY OF CAMBRIDGE DPW.
- CONTRACTOR TO ENSURE THAT ALL SURFACE WATER IS DIVERTED AWAY FROM BUILDING FOUNDATION DURING FINAL GRADING.

SURVEY NOTES:

- INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 02-01-2020.
- DEED REFERENCE: BOOK 73154 PAGE 468 PLAN REFERENCE: BOOK 78 PAGE 3 MIDDLESEX SOUTH REGISTRY OF DEEDS.
- THIS PLAN IS NOT INTENDED TO BE RECORDED.
- I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X. ON FLOOD HAZARD BOUNDARY MAP NUMBER 250170419E, PANEL NUMBER 0554E, COMMUNITY NUMBER: 0419E, DATED 06/04/2010.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
- FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
- THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE MA. DATUM.

LEGEND

SS	SEWER LINE
====	DRAIN LINE
⊙	SEWER MANHOLE
∩	WATER LINE
—	GAS LINE
⊕	UTILITY POLE
⊞	GAS VALVE
⊞	OVERHEAD ELECTRIC SERVICE
⊞	WATER VALVE
□	CATCH BASIN
○	FENCE
⊞	CONTOUR LINE (M/R)
125	CONTOUR LINE (M/R)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊞	TREE

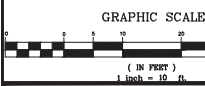
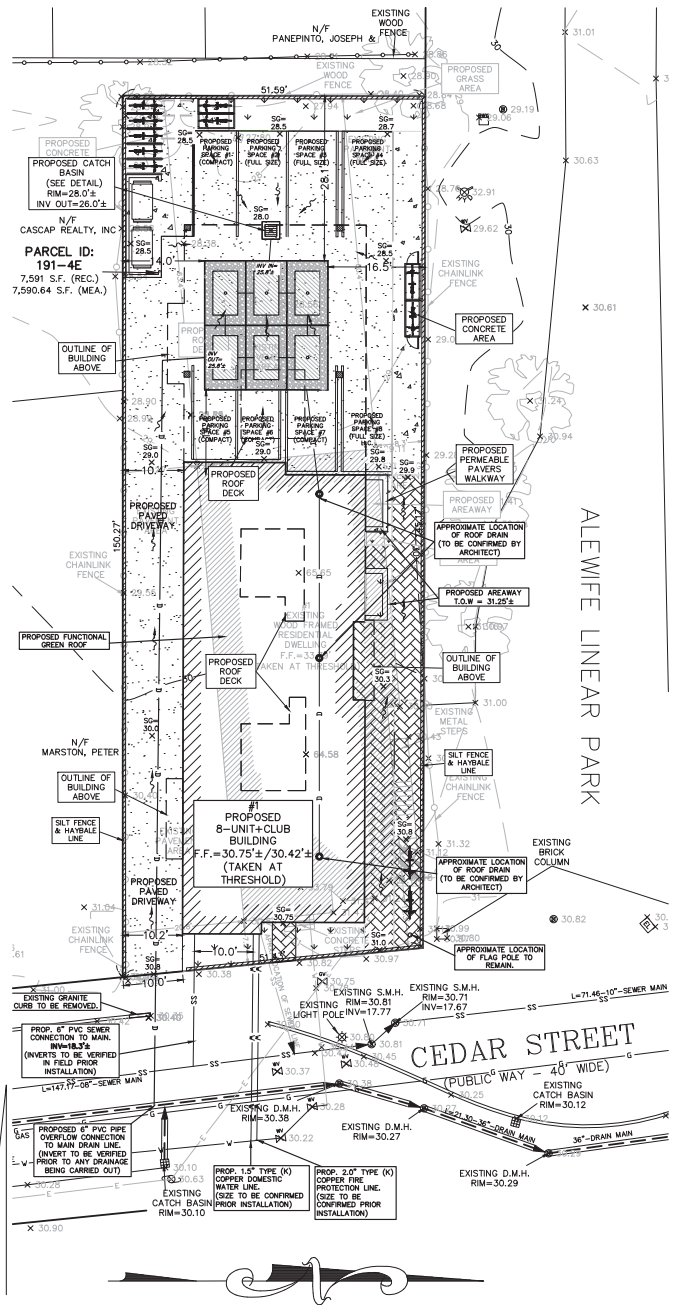
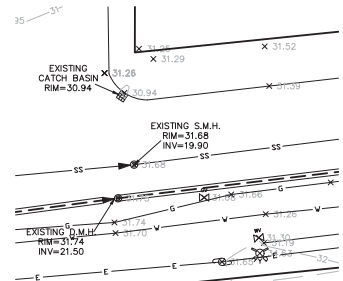
***FLOOD ELEVATIONS (CAMBRIDGE FLOODVIEWER V2.1)**
 2030-100 YEAR STORM = 29'
 2070-100 YEAR STORM = 29.1'
 PRESENT DAY - 100 YEAR STORM = 28.9'

DRAINAGE AREA SUMMARY

PROPOSED ROOF AREA = 2,401.8 S.F.
 PROPOSED PAVED AREA = 3,952.2 S.F.
 PROPOSED UNCONNECTED IMPERVIOUS = 150.5 S.F.
 PROPOSED PERMEABLE PAVERS = 557.1 S.F.
 PROPOSED LANDSCAPE AREA = 507.6 S.F.
TOTAL PROPOSED IMPERVIOUS AREA = 6,525.5 S.F.

Stormwater Management Calculations
 Date: April 25, 2021

Category	Area (S.F.)	Runoff Coefficient (C)	Runoff Volume (CU FT)
Roof	2,401.8	0.9	208.16
Paved	3,952.2	0.9	355.69
Impervious	150.5	0.9	13.54
Permeable Pavers	557.1	0.3	50.14
Landscape	507.6	0.1	45.68
TOTAL	6,525.5	0.68	623.11



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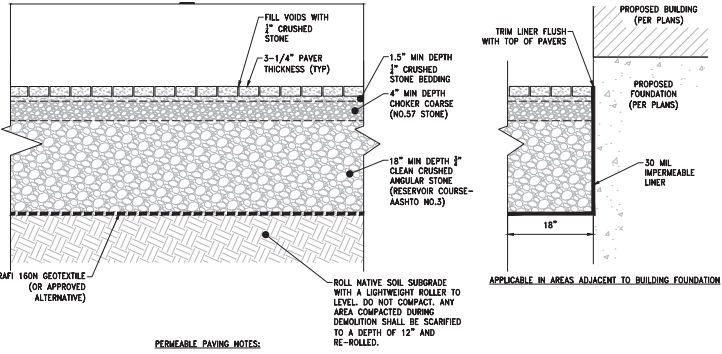
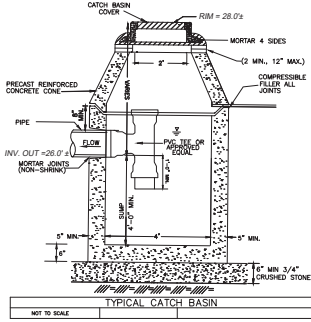
1 CEDAR STREET CAMBRIDGE MASSACHUSETTS	
CIVIL PLANS	
REVISION BLOCK	

DESCRIPTION	DATE
REV. AS PER CITY COMMENTS	9/8/2021

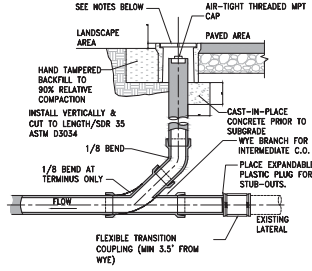
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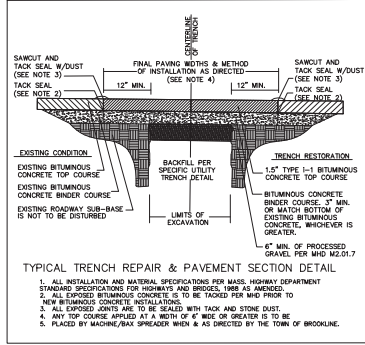
DATE:	9/10/2021
DRAWN BY:	G.P.
CHECKED BY:	E.S.
APPROVED BY:	G.C.
DRAINAGE PLAN	
SHEET 1 OF 3	



PERVIOUS PAVEMENT DETAIL
SCALE: NOT TO SCALE



- NOTES:**
- RECTANGULAR OR CIRCULAR BOXES ARE PERMITTED.
 - CONCRETE/FIBERLYTE LIDS ARE ACCEPTABLE IN NON-VEHICULAR AREAS. H-20 CAST IRON TRAFFIC LIDS AND BOXES IN VEHICULAR AREAS.
 - ALL CLEANOUT LIDS SHALL BE MARKED WITH AN "S" OR THE WORD "SEWER" FOR SANITARY SEWER CLEANOUPS.
 - CLEANOUP PIPE SHALL BE THE SAME DIAMETER AS THE CONNECTED SITE PIPE.
 - TERMINATE C.O. AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED, THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.
- CLEANOUP TO GRADE
N1S



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1 CEDAR STREET
CAMBRIDGE
MASSACHUSETTS

CIVIL PLANS

REVISION BLOCK

DESCRIPTION	DATE

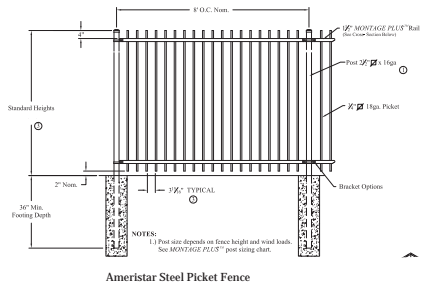
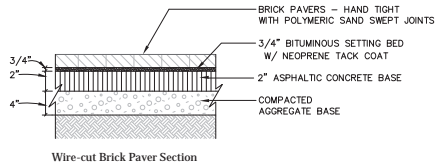
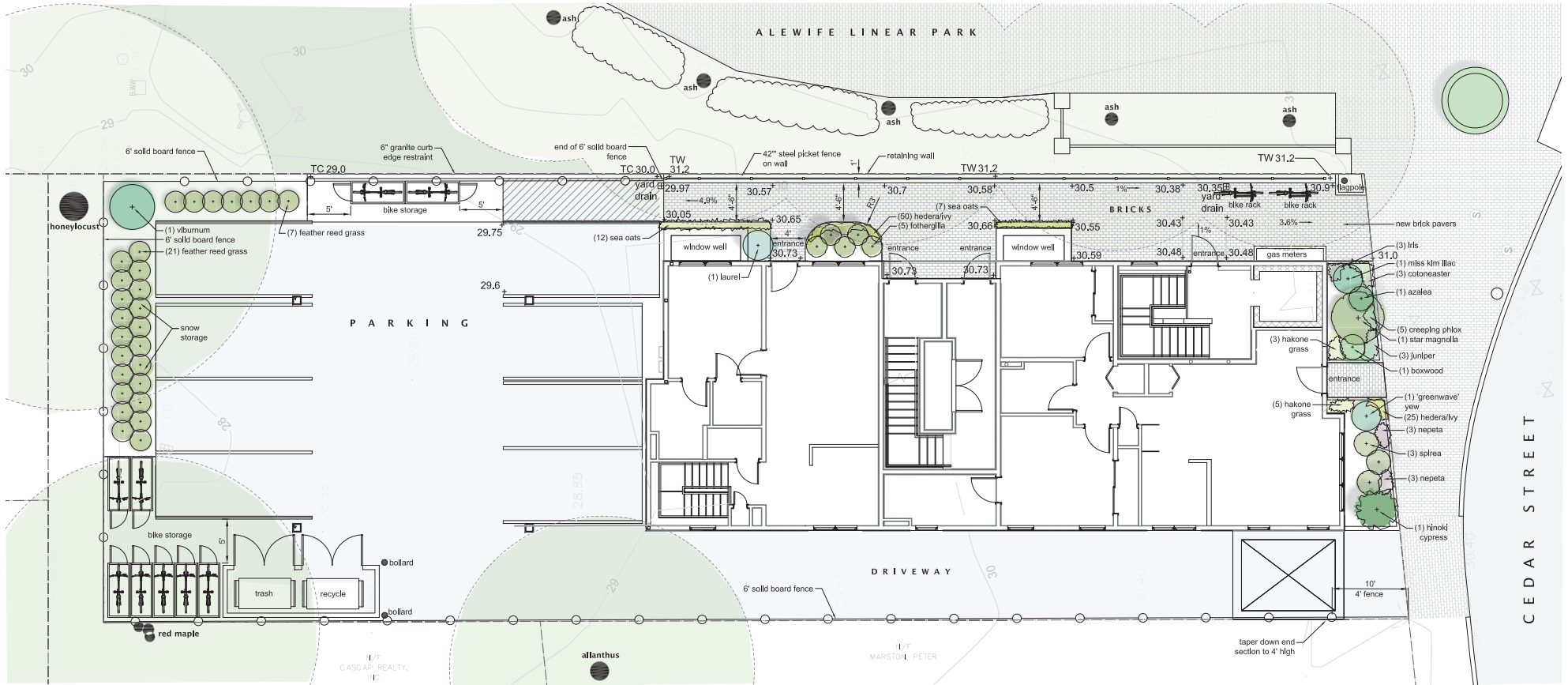
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CHECKED BY:	E.S.
APPROVED BY:	C.C.

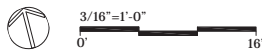
DETAILS

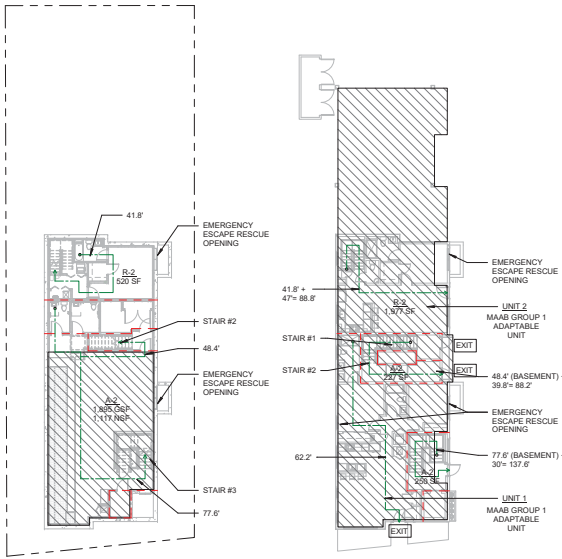
SHEET 3 OF 3



Plant List

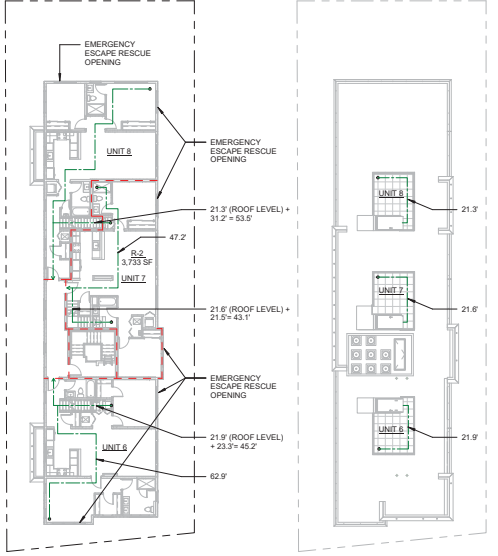
Quantity	Botanical Name	Common Name	Size	Notes
1	Azalea x 'Pleasant White'	Pleasant White Azalea	24"-30" Height	
1	Buxus x 'Winter Gem'	Winter Gem Boxwood	30"-36" Height	
28	Calamagrostis 'Karl Foerster'	Feather Reed Grass	1 Gallon	
1	Chamaecyparis obtusa gracilis	Hinoki Cypress	4'-5' HT.	B&B
19	Chasmanthium latifolium	Northern Sea Oats	2 Quart	
3	Cotoneaster horizontalis	Rockspray Cotoneaster	3 Gallon	No substitutions allowed
5	Fothergilla gardenii	Dwarf Fothergilla	30"-36" Height	
8	Hakonechloa macra 'Aureola'	Hakone Grass	2 Quart	
3	Iris x 'Caesar's Brother'	Caesar's Brother Iris	2 Quart	
75	Hedera helix 'Baltica'	Baltic Ivy	2 Pots	Space 6 per square foot
1	Magnolia stellata	Star Magnolia	7'-8' HT. Multistem	B&B
6	Nepeta x 'Blue Wonder'	Blue Wonder Catmint	2 Quart	
5	Phlox subulata x 'Blue'	Blue Flowering Creeping Phlox	2 Quart	
1	Prunus laurocerasus 'Otto Luyken'	Laurel	30"-36" Height	
3	Spiraea x 'Anthony Waterer'	Anthony Waterer Spiraea	24"-30" Height	
1	Syringa x 'Miss Kim'	Miss Kim Korean Lilac	3'-4' Height	
1	Taxus x 'Greenwave'	Low Growing Yew	24"-30" Spread	
1	Viburnum trilobum 'Wentworth'	Wentworth Viburnum	7 Gallon	36"-42" HT.





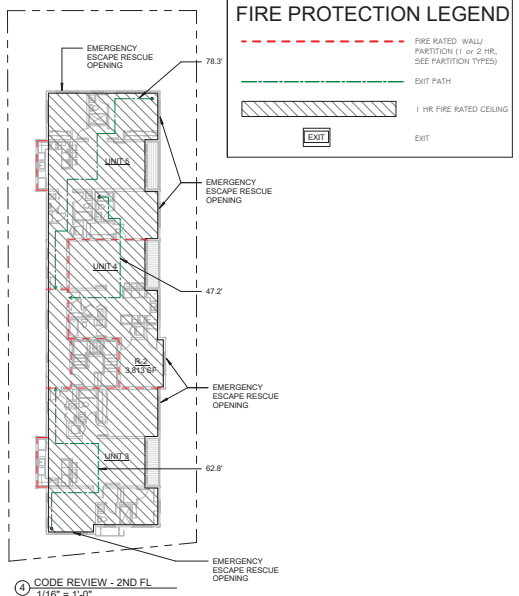
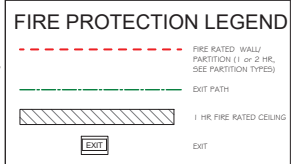
2 CODE REVIEW - BASEMENT
1/16" = 1'-0"

3 CODE REVIEW - 1ST FL
1/16" = 1'-0"



5 CODE REVIEW - 3RD FL
1/16" = 1'-0"

6 CODE REVIEW - ROOF PLAN
1/16" = 1'-0"



4 CODE REVIEW - 2ND FL
1/16" = 1'-0"

BUILDING CODE REVIEW INTERNATIONAL BUILDING CODE-2015 EDITION

SECTION 1006.3.1

All spaces within each story shall have access to the minimum number of approved independent exits as specified in Table 1006.3.1.1 based on the occupant load of the story. For the purposes of this chapter, occupied roofs shall be provided with exits as required for stores.

EXIT ACCESS TRAVEL DISTANCE

STORY	OCCUPANCY	MAXIMUM OCCUPANTS (OR DWELLING UNITS) PER FLOORING TRAVEL DISTANCE
BASEMENT	A-2	NOT PERMITTED
BASEMENT	R-2 FOOTNOTE A	4 DWELLING UNITS AND 125 FEET TRAVEL DISTANCE
FIRST, SECOND & THIRD STORY	R-2 FOOTNOTE A	4 DWELLING UNITS AND 125 FEET TRAVEL DISTANCE
FOURTH STORY ABOVE GRADE PLANE AND HIGHER	R-2	NOT PERMITTED

a. Buildings classified as Group R-2 equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 and provided with emergency escape and rescue openings in accordance with Section 1009.

EGRESS CALCULATIONS:

FLOOR	USE GROUP	AREA/200	OCCUPANT/FLOOR
1	BASEMENT-A2	1,117/ 15	75
1	BASEMENT-R2	500/ 200	3
1	FIRST-R2	1,977/ 200	10
1	SECOND-R2	3,813/ 200	20
1	THIRD-R2	3,733/ 200	19
TOTAL # R.1.2.3			127

#	STAIR	EGRESS CAPACITY	WIDTH IN INCH	WIDTH PROVIDED
1	STAIR-R2	0.3 OCCUPANTS	44"	44"
2	STAIR-A2	22.5"	44"	44"
3	STAIR-A2	22.5"	44"	44"

#	DOOR	EGRESS CAPACITY	WIDTH IN INCH	WIDTH PROVIDED
1	CORRIDOR	0.2 OCCUPANTS	32"	32"
1	CORRIDOR	10.4"	32"	60"
1	EXTERIOR EGRESS DOOR	10.4" RESIDENTIAL 15" CLUB	32"	36" DOOR/ 32" CLEAR

BUILDING CODE REVIEW INTERNATIONAL BUILDING CODE-2015 EDITION

USE GROUP - RESIDENTIAL R-2

BUILDING NO.	FLOOR	USE GROUP	ALLOWED AREA S.F.	ALLOWED STORIES/HEIGHT	PROVIDED AREA S.F.	PROVIDED STORIES/HEIGHT	REMARKS
0	BASEMENT	"A2"	18,000	2/ 60 FT	1,895	0	SEE SECTION 1006.3.1.1
0	BASEMENT	"R2"	21,000	3/ 60 FT	500	0	SEE SECTION 1006.3.1.1
1	FIRST	"A2"	21,000	3/ 60 FT	477	1	SEE SECTION 1006.3.1.1
1	FIRST	"R2"	21,000	3/ 60 FT	1,977	1	SEE SECTION 1006.3.1.1
2	SECOND	"R2"	21,000	3/ 60 FT	3,813	1	SEE SECTION 1006.3.1.1
3	THIRD	"R2"	21,000	2/ 60 FT	3,733	1	SEE SECTION 1006.3.1.1
TOTAL			21,000	3	12,415	3	

BUILDING "A2" ASSEMBLY AREA = 2,372 S.F.
BUILDING "R2" RESIDENTIAL AREA = 10,043 S.F. TOTAL BUILDING AREA = 12,415 S.F.

SECTION 508.4

Fire Resistance Rating Requirements for Fire Separation Assemblies Between Fire Areas (in Hours)

OCCUPANCY	A	R ^a
A	N	1
R ^b	-	N

SECTION 506.3

USE GROUP "R2"=10,043 S.F., USE GROUP "A2"= 2,372 SF
 5. ALLOWABLE AREA INCREASE DUE TO STREET FRONTAGE- SECTION - 506.2 - (NOT USED)
 6. AREA ANALYSIS ALLOWABLE AREA INCREASE (NOT USED) DUE TO COMPLIANCE WITH BASIC REQUIREMENTS OF TABLE 503
 NOTE: BUILDING IS FULLY FIRE SUPPRESSED

FIRE RESISTANCE OF STRUCTURAL ELEMENTS:

STRUCTURAL ELEMENTS	TYPE OF CONSTRUCTION	FIRE RATING FILE #
1. EXTERIOR FRAME: INCLUDING COLUMNS, GIRDERS, TRUSSES	VB	
2. BEARING WALLS EXTERIOR	OHR	
3. NONBEARING WALLS AND PARTITIONS: EXTERIOR	(table 602)	OHR
4. NONBEARING WALLS AND PARTITIONS: INTERIOR	OHR	
5. FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	OHR	
6. ROOF CONSTRUCTION: INCLUDING SUPPORTING BEAMS AND JOISTS	OHR	

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS

Fire Separation Distance - X (feet)	TYPE OF CONSTRUCTION	NOT USED	Occupancy R, S-2 & U Type V-A/B
x < 5 (c)	VB		1
5 ≤ x < 10	VB		1
10 ≤ x < 30	VB		0
x ≥ 30	VB		0

Downing Unit Separations
 Downing units must be separated from each other (horizontally and vertically) and the rest of the building by construction that provides at least a one half (1/2) hour FRP (780 CMR Sections 780.3 & 712.3). Corridors in Use Group R-2 are required to provide a 30 minute FRP per Table 1018.1.1. Concealed Spaces
 Fire-stopping and draft-stopping shall be installed in combustible concealed locations in accordance with 780 CMR 717.0

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



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TELEPHONE: 617-591-8682

CONSULTANTS:

REGISTRATION

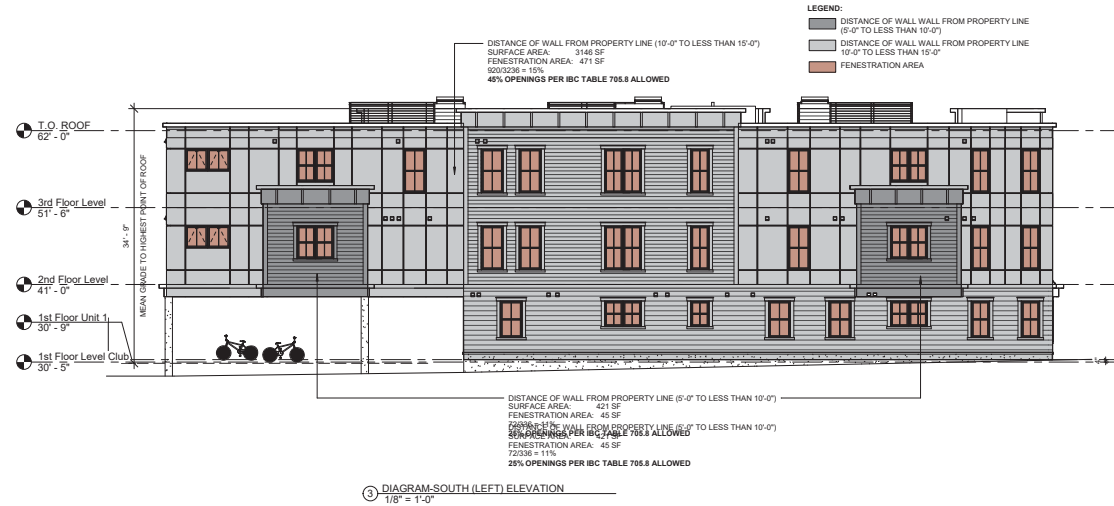
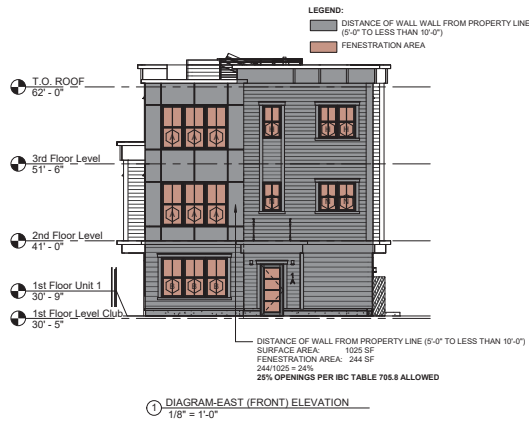


Project number 20012
Date 08/11/2021
Drawn by Author
Checked by Checked
Scale As Indicated

REVISIONS

No.	Description	Date

Code Review & Egress Calculations
A-010
1 Cedar St Residences



PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS

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No.	Description	Date

Fenestration Diagram

A-015

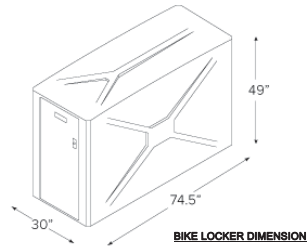
1 Cedar St Residences

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9/8/2021 4:11:26 PM

- Manufactured with molded fiberglass reinforced plastic composite
- Long life in all weather conditions
- Finish Resistant to Scratches, UV Damage, Graffiti, will never need painting
- One piece with no external or internal frame – no assembly required
- 2 standard colors available – tan or medium gray
- No Common Walls – lockers are easily relocated
- Features zinc, chrome, aluminum, and stainless steel parts – handle, locking, hinges, vents and door number plates
- Standard pop out T-handle lock (3 keys) recessed in door face
- Internal locking bar or padlock handle available
- Can be stacked with add-on adapter

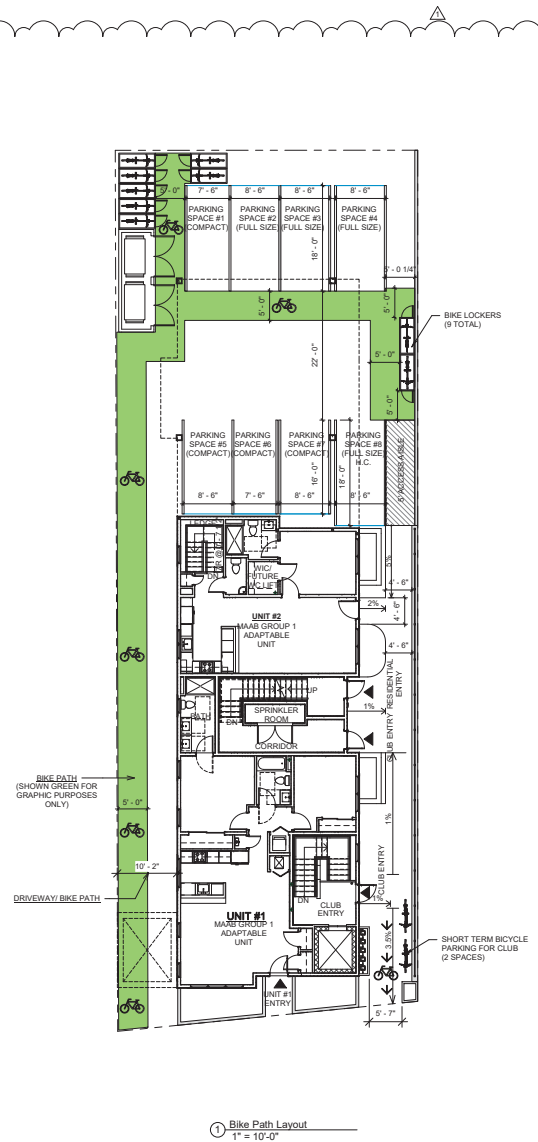
301



BIKE LOCKER DIMENSION



BIKE LOCKER VIEW




1 Bike Path Layout
1" = 10'-0"

PROJECT NAME
1 Cedar St Residences


PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
1 CEDAR ST., LLC.

ARCHITECT

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REGISTRATION


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Date	08/11/2021
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Scale	1" = 10'-0"

No.	Description	Date
1	Design Review	08/08/2021

Bike Path Layout

A-016
1 Cedar St Residences

ZONING CHART

ZONE - BUS A2	REQUIRED	PROPOSED	REMARKS
LOT AREA, MIN S.F.	NONE	7,990 S.F. +/-	COMPLIES
LOT AREA, MIN S.F. / DU	600 S.F. / DU 7,990 SF/ 600 SF= 12 DU ALLOWED	8 DU= 948 S.F. / DU	COMPLIES
MAX. FAR (See 5.30.11 & 5.30.12 BELOW)	1.0 FOR COMMERCIAL 1.75 FOR RESIDENTIAL	CLUB FAR= 0.28 / 2,114 SF RESIDENTIAL FAR= 1.52 / 9,981 SF TOTAL FAR= 1.6 / 12,095 SF	COMPLIES
MIN. LOT WIDTH	NONE	51.43'	COMPLIES
MIN. FRONT YARD	5'-0" (FOOTNOTE M)	5'-0"	COMPLIES
MIN. SIDE YARDS	20'-0" (LEFT) 10'-0" (RIGHT) (FOOTNOTE I)	7'-4 3/4" (LEFT) 10'-0" (RIGHT)	DOES NOT COMPLY (LEFT) COMPLIES (RIGHT)
MIN. REAR YARD	21'-8" (FOOTNOTE J)	22'-0"	COMPLIES
MAX. HEIGHT	35'-0" (FOOTNOTE K)	34'-9"	COMPLIES (SEE FOOTNOTE L)
MIN. RATIO OF PRIVATE OP. SP. TO LOT AREA	NONE	NA	
VEHICLE PARKING	RESIDENTIAL = 1 SPACE/ DU (8) CLUB = 1 PER 6 MEMBERS, 40 MEMBERS > 7 SPACES	8 SPACES (RESIDENTIAL), 4 COMPACT, 4 FULL SIZE 0 SPACES (CLUB)	COMPLIES (RESIDENTIAL) DOES NOT COMPLY (CLUB)
BICYCLE PARKING	RESIDENTIAL = 1 SPACE/ DU + 8 SHORT TERM = 0.10 SPACE/ DU = 1 CLUB = 2 SHORT TERM SPACES	RESIDENTIAL = 8 LONG TERM SHORT TERM SPACES CLUB = 2 SHORT TERM SPACES	COMPLIES (RESIDENTIAL) COMPLIES (CLUB)

FOOTNOTES

(l) The maximum height of a building may be increased to sixty (60) feet provided the average height of the building is fifty (50) feet (excluding any portion of the building devoted to parking which is not covered with building including in gross floor area). The heights of the several parts of the building shall be such that the volume of building exceeding fifty (50) feet in height shall be equal to or less than the volume of space lying between the fifty (50) foot height and portions of building less than fifty (50) feet in height, as illustrated below:

Volume 1 (area of building at a single height - 1 above fifty feet) ÷ the difference between height - 1 and fifty feet + Volume 2 (area of building at a single height - 2 above fifty feet) ÷ the difference between the height - 2 and fifty feet) MUST EQUAL OR BE LESS THAN THE SUM OF Volume 1' (area of building at a single height - 1 below fifty feet) ÷ the difference between height 1' and fifty feet + Volume 2' (area of building at single height - 2 below fifty feet) ÷ the difference between height - 2' and fifty feet.

(j) Or two-thirds (2/3) of the height of the rear wall whichever is greater; however in the Business C and Business C-1 districts no rear yard shall be required where the rear lot line abuts a lot of which lies in a business or industrial district.

(k) Provided however that any portion of a building having a height greater than thirty-five (35) feet shall be set back of a bulk control plane rising at an angle of forty-five (45) degree from the plane of the principal front wall and rear wall planes beginning at a height of thirty-five (35) feet.

Where the parcel has frontage on two or more streets, this setback plane provision shall apply only to the front wall plane facing the principal abutting arterial street and to the opposite wall plane facing either a side or front property line. In addition to the above provisions, that portion of a building located within fifty (50) feet of a residential zoning district line shall be limited to thirty-five (35) feet where the maximum height permitted in the residential district is thirty-five (35) feet or less.

(m) Or the setback of the principal front wall plane of any adjacent building facing the same street, whichever is less.

6.34 Parking Space Size Allocation - In all parking facilities required to have five or more spaces, a combination of regular and compact spaces may be provided; however, no more than fifty (50) percent of the required spaces shall be designed for compact cars (as specified in Subsection 6.42). All off street parking facilities shall contain spaces designed for handicapped access. The number of such spaces shall be determined by the requirements of the currently applicable "Rules and Regulations of the Architectural Barriers Board of the Commonwealth of Massachusetts."

6.47 Screening requirements may be waived in the following cases (a) If said parking facility is already effectively screened by an existing building, wall, fence, or hedge on an adjoining lot and within five feet of the common property line, screening shall not be required so long as such adjoining screening is maintained (b) If said parking facility is already effectively screened by a natural terrain feature, railroad tracks, or change in grade (c) If said parking facility abuts another parking facility under different use or ownership, a landscaped planting strip at least five (5) feet in width may be used in lieu of screening along the common property line.

5.30.11 FAR and Height.
Where two numbers appear in Column (1) - Maximum Ratio of Floor Area to Lot Area and Column (6) Maximum Height in Feet, the first number shall apply to all permitted uses in the district except Residential Uses, Section 4.31 a-h, and Dormitory (but excluding resident fraternity or sorority) Uses, Section 4.33 (7), both of which shall be governed by the second number.

5.30.12 Calculation of Permitted Gross Floor Area on a Lot.
Where two numbers regulate the permitted FAR on a lot, the Gross Floor Area of any uses proposed on the lot shall be determined by the following formula:
Gross Floor Area Permitted = (A x FAR1) x Lot Area + (B x FAR2) x Lot Area

Where A equals the percentage of Gross Floor Area in the building to be used for nonresidential use(s), and Where B equals the percentage of Gross Floor Area in the building to be used for residential and dormitory uses, and
Where A + B = 100% (or 1.0) or less, and FAR1 equals permitted FAR for nonresidential uses, and FAR2 equals permitted FAR for residential and dormitory uses.

CLUB FAR= 0.19 / 1,417 SF
RESIDENTIAL FAR= 1.48 / 11,239 SF
TOTAL FAR= 1.67 / 12,656 SF

GROSS FLOOR AREA PERMITTED= (A x FAR1) x Lot Area + (B x FAR2) x Lot Area
GROSS FLOOR AREA PERMITTED= (11% x 1.0) x 7,990 + (89% x 1.75) x 7,990
GROSS FLOOR AREA PERMITTED = (834.9 SF) + (11,621.425 SF)
GROSS FLOOR AREA PERMITTED = 12,656.325 SF
A + B = 100% (or 1.0) or less
11% + 89% = 100%

Gross Floor Area shall include:
(a)Roofed porches and balconies whether enclosed or unenclosed;
(b)Unroofed porches and balconies above third floor, with the exception of porch and balcony spaces associated with Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
(c)Elevator shafts and stairwells on each floor, not excluded in (d) below;
(d)Attic space, whether finished or unfinished, within the area of a horizontal plane that is five (5) feet above the attic floor and which touches the side walls and/or the underside of the roof rafters and which is not excluded in (e) below;
(e)Interior balconies, mezzanines, and penthouses;
(f)Staircases;
(g)Area of parking facilities in structures except as excluded in (2) below; and
(h)Any accessory parking spaces not in above ground structures if in excess of the maximum number permitted on the premises as set forth in Section 5.25 and 6.30.

Gross Floor Area shall not include:
(1)Areas used for off street loading purposes;
(2)Area of parking facilities in structures located underground and the area of on grade open parking spaces outside the building footprint at or below the maximum number permitted on the premises as set forth in Sections 5.25 and 6.30;
(3)Basement and cellar areas devoted to the operations and maintenance of the building such as heating and cooling equipment, electrical and telephone facilities, and fuel storage;
(4)Open and lattice-work enclosures;
(5)Unroofed porches and balconies no higher than third floor;
(6)Attic space and other areas devoted to elevator machinery or mechanical equipment necessary for the operation of the building, including sustainable mechanical systems and related equipment and chases for systems including, but not limited to, solar energy systems, geothermal systems and heat pumps, solar hot water systems and related tubes and tanks, equipment related to radiant heating, hydronic cooling, heat recovery ventilators, and energy recovery ventilators;
(7)Elevator shafts and stairwells on floors where there is no other area which qualifies to be included in gross floor area;
(8)Attic space not otherwise included in (d) above;
(9)Basement and cellar spaces with less than seven (7) feet of ceiling height measured from the floor to the line of the bottom of the floor joists, or to any subfloor or finished surface above any floor joists that are spaced not less than four (4) feet on center, and further provided that the basement or cellar is not a Story Above Grade as defined in the State Building Code;
(10)Bicycle parking meeting or exceeding the requirements of Article 6.000, which shall include all areas occupied by Bicycle Parking Spaces and access routes intended exclusively for use by bicycles, which shall be clearly indicated in the bicycle parking plan requirements set forth in Section 6.52, whether located in a principal use structure, any parking facility for motor vehicles, or in an accessory structure;

(11)Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
(12)Interior air spaces within Double-Sided Facades and additional exterior wall thickness to accommodate insulation, in accordance with the regulations in Section 22.40 of this Zoning Ordinance; and
(13)Space directly beneath overhangs, eaves, awnings, pergolas, arbors, trellises or other sun-shading devices, in accordance with the regulations in Section 22.43 of this Zoning Ordinance.
(14)Public Bicycle-Sharing Stations.
(15)Any basement or cellar living space in any single-family or two-family home.
(16)Any basement or cellar living space in other than a principal use structure with the issuance of a special permit. In granting such a special permit, the permit granting authority may approve the exemption of any portion of Gross Floor Area (GFA) located in a basement or cellar from the calculation of GFA, provided the permit granting authority finds that the uses occupying such exempted GFA support the character of the neighborhood or district in which the applicable lot is located.



SITE PLAN LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- BUILDING ABOVE
- LANDSCAPE
- REQUIRED SETBACKS

NOTE:
THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.

PERVIOUS AREA CALCULATION

	EXISTING	PROPOSED
PERVIOUS AREA	0 SF	684 SF

PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
1 CEDAR ST., LLC.

ARCHITECT
KHALSA
17 VALUO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8862

CONSULTANTS:

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REGISTRATION

Project number 20012
Date 08/11/2021
Drawn by TJC
Checked by JSK
Scale As indicated

REVISIONS

No.	Description	Date
1	Design Review	09/06/2021

Architectural Site Plan
A-020
1 Cedar St Residences



UNIT AREA

PROJECT NAME
1 Cedar St Residences

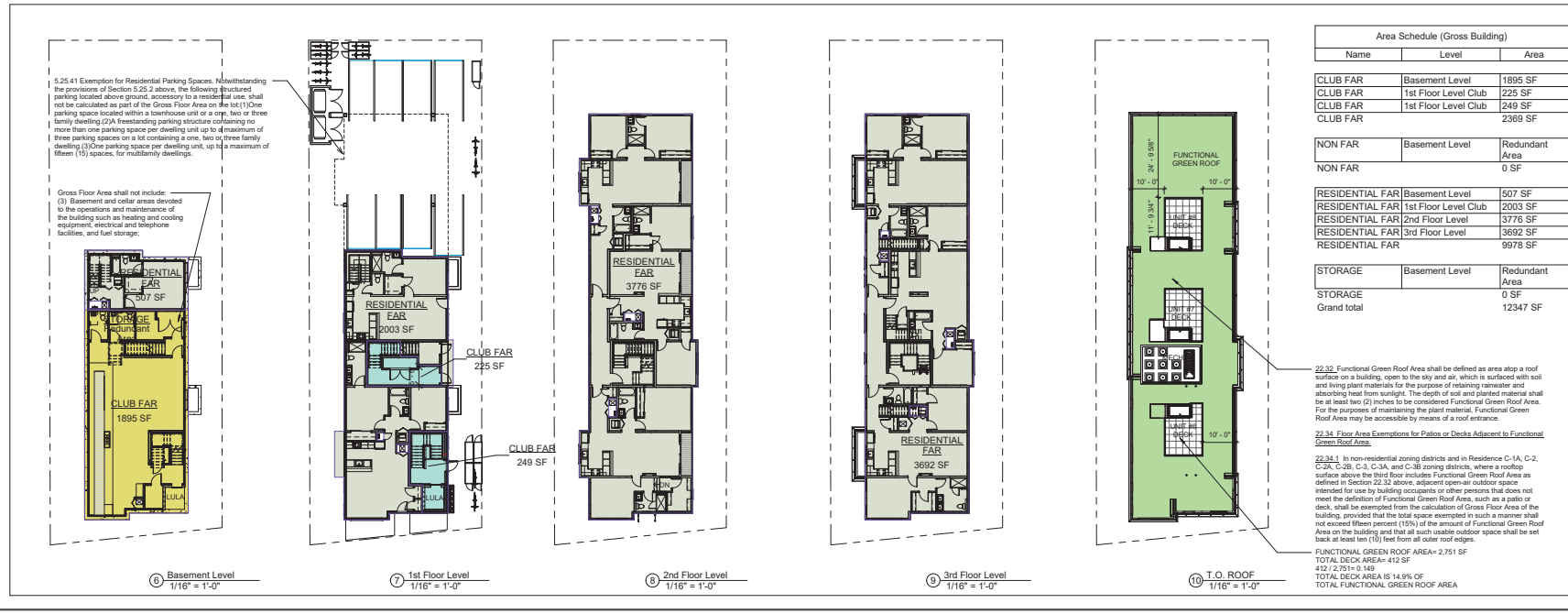
PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
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ARCHITECT
KHALSA DESIGN

17 VALOOL STREET SUITE 400
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CONSULTANTS:



GROSS/ FAR AREA

REGISTRATION

Project number: 20012
Date: 08/11/2021
Drawn by: TC
Checked by: JSK
Scale: 1/16" = 1'-0"

REVISIONS

No.	Description	Date

Area Plans
A-021
1 Cedar St Residences

5.25.41 Exemption for Residential Parking Spaces. Notwithstanding the provisions of Section 5.25.2 above, the following structured parking located above ground, accessory to a residential use, shall not be calculated as part of the Gross Floor Area on the lot: (1) One parking space located within a townhouse unit or a one, two or three family dwelling (GFA Residing parking structure containing no more than one parking space per dwelling unit up to a maximum of three parking spaces on a lot containing a one, two or three family dwelling); (2) One parking space per dwelling unit, up to a maximum of fifteen (15) spaces, for multifamily dwellings.

Gross Floor Area shall not include:
(3) Basement and cellar areas devoted to the operations and maintenance of the building such as heating and cooling equipment, electrical and telephone facilities, and fuel storage.

22.32 Functional Green Roof Area shall be defined as area atop a roof surface on a building, open to the sky and air, which is surfaced with soil and living plant materials for the purpose of retaining rainwater and absorbing heat from sunlight. The depth of soil and planted material shall be at least ten (10) inches to be considered Functional Green Roof Area. For the purposes of maintaining the plant material, Functional Green Roof Area may be accessible by means of a roof entrance.

22.34 Floor Area Exemptions for Patios or Decks Adjacent to Functional Green Roof Area.

22.34.1 In non-residential zoning districts and in Residence C-1A, C-2, C-2A, C-2B, C-3, C-3A, and C-3B zoning districts, where a rooftop surface above the third floor includes Functional Green Roof Area as defined in Section 22.32 above, adjacent open-air outdoor space intended for use by building occupants or other persons that does not meet the definition of Functional Green Roof Area, such as a patio or deck, shall be exempt from the calculation of Gross Floor Area of the building, provided that the total space exempted in such a manner shall not exceed fifteen percent (15%) of the amount of Functional Green Roof Area on the building and that all such usable outdoor space shall be set back at least ten (10) feet from all outer roof edges.

FUNCTIONAL GREEN ROOF AREA= 2,751 SF
TOTAL DECK AREA= 412 SF
412 / 2,751 = 0.149
TOTAL DECK AREA IS 14.9% OF
TOTAL FUNCTIONAL GREEN ROOF AREA

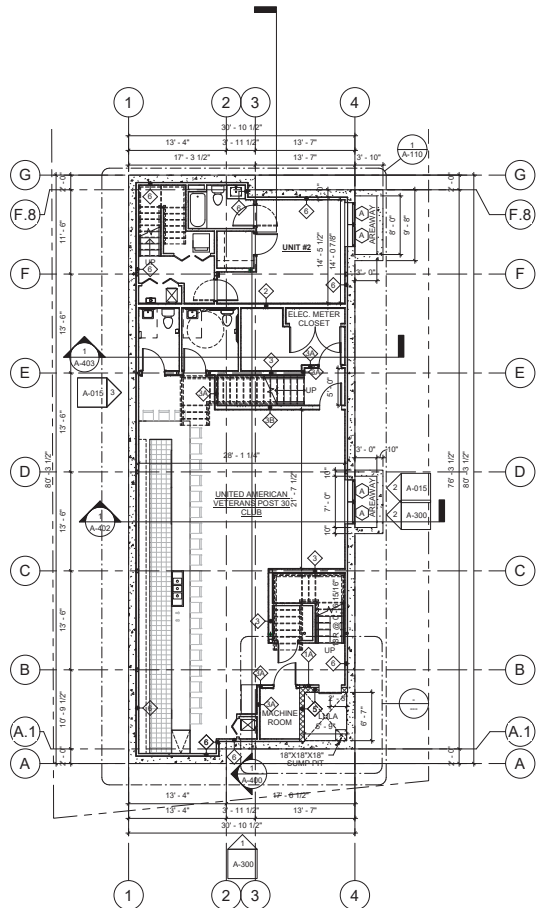
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LEGEND

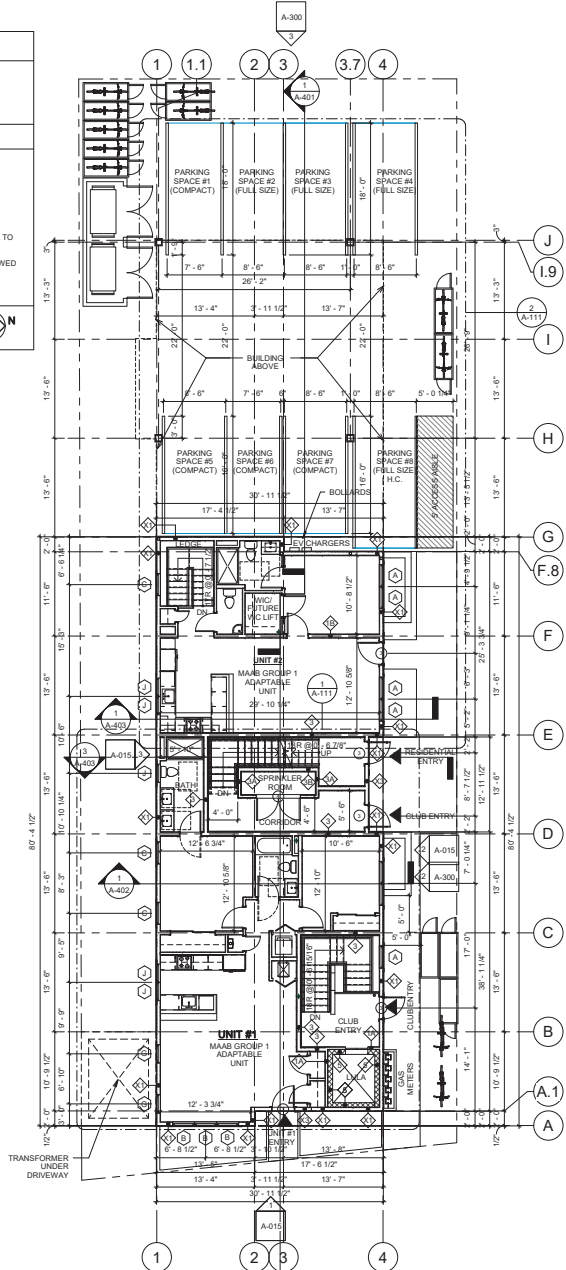
- NEW WALL
- WALL TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

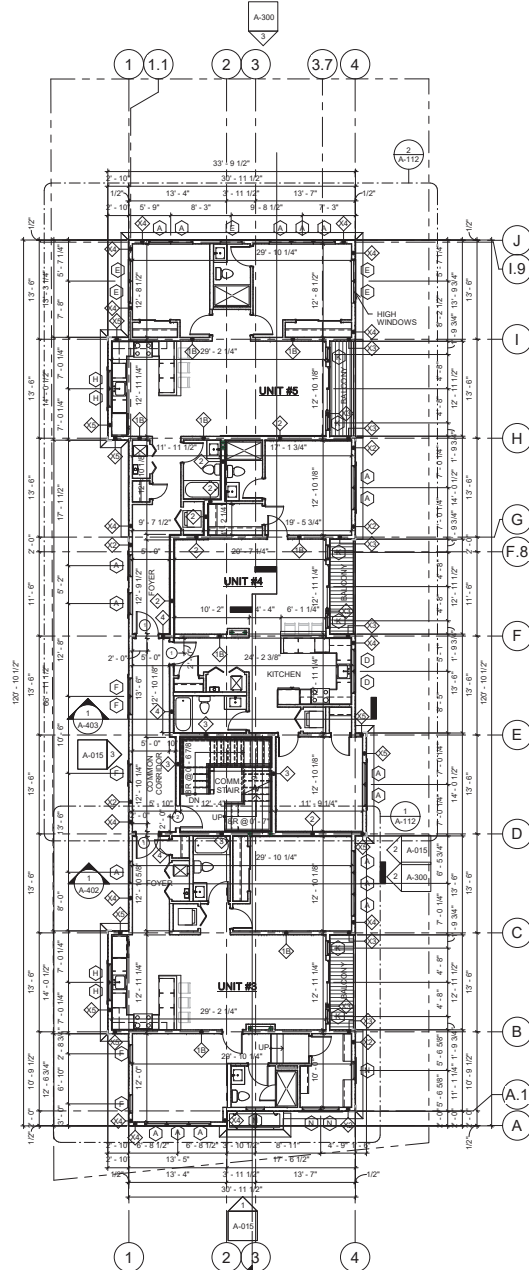
1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER
2. REFER TO FINISH SCHEDULE FOR FINISHES
3. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"
4. SEE A-810 FOR PARTITION TYPES
5. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
6. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
7. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
8. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING AND CENTER LINE OF OPENINGS. UNLESS NOTED OTHERWISE
9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES
10. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.
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14. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "X1"



1 Basement Level
1/8" = 1'-0"



2 1st Floor Level
1/8" = 1'-0"



3 2nd Floor Level
1/8" = 1'-0"

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS

1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



17 VALUO STREET SUITE 400
SOMERVILLE, MA 02143

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REGISTRATION



Project number	20012
Date	08/11/2021
Drawn by	Author
Checked by	Checker
Scale	As Indicated

REVISIONS

No.	Description	Date

Basement, First &
Second Floor
Plans

A-100

1 Cedar St Residences

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS

1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



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Project number 20012
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Checked by Checker
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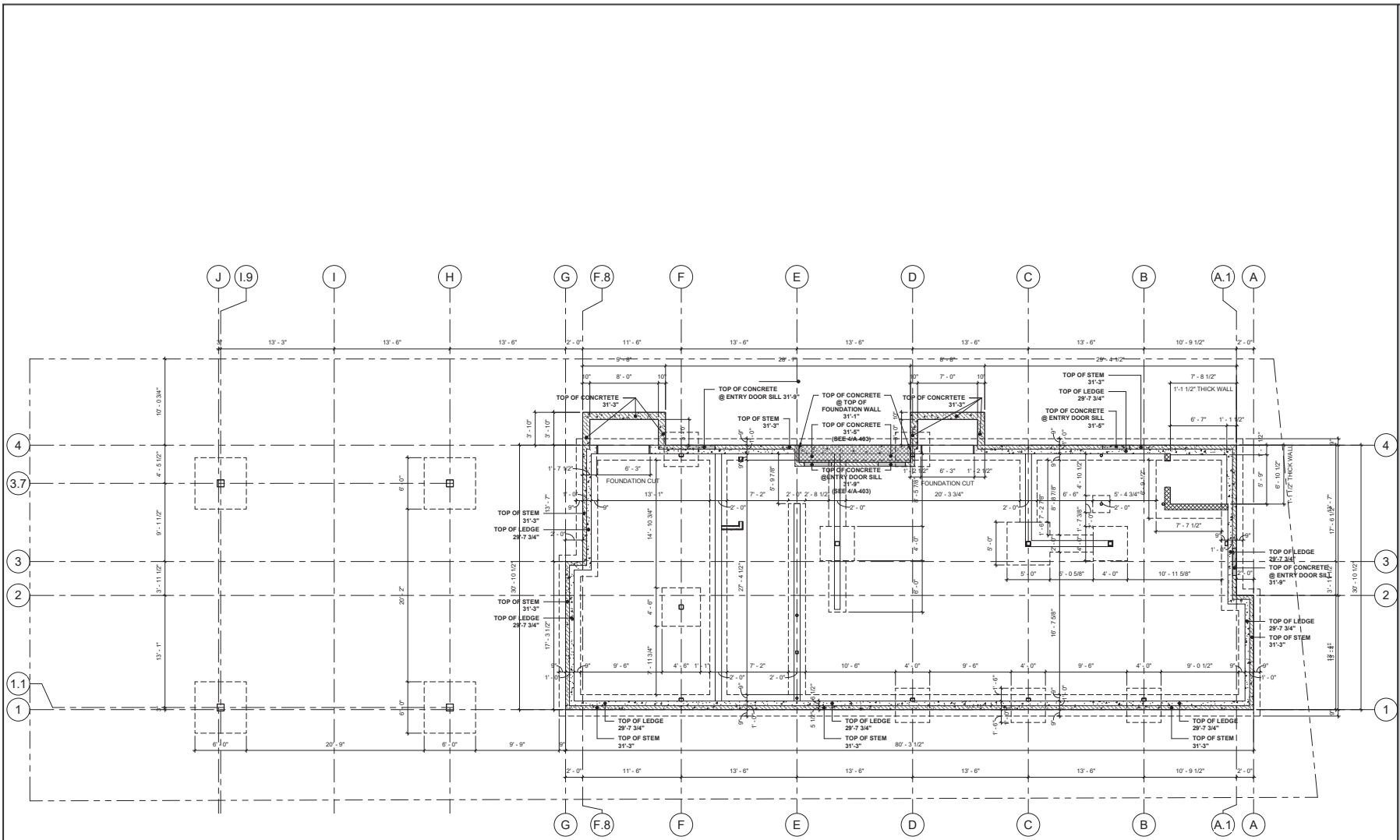
REVISIONS

No.	Description	Date

Foundation Plan

A-100.1

1 Cedar St Residences



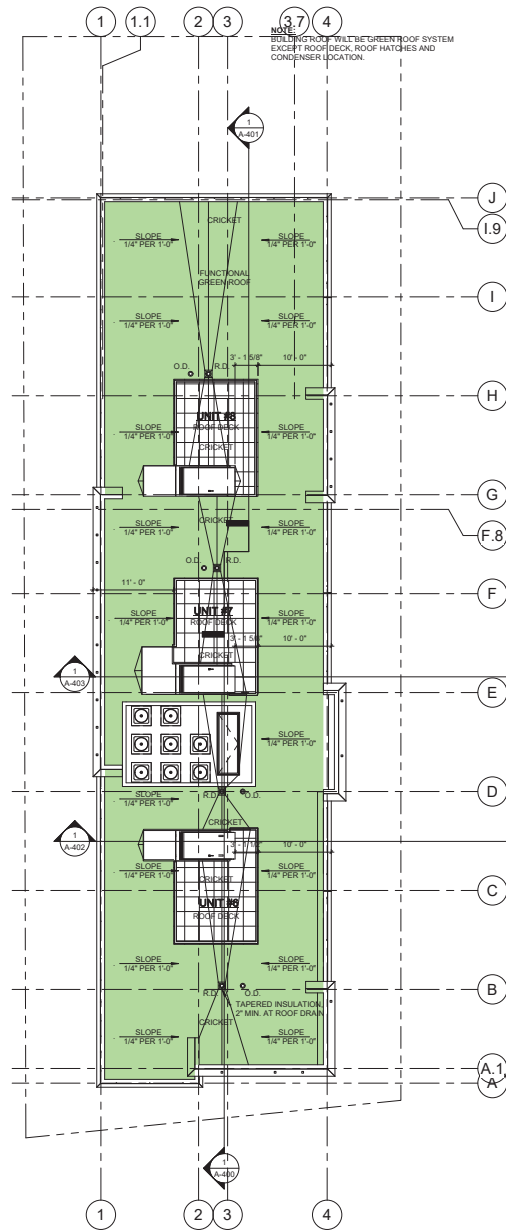
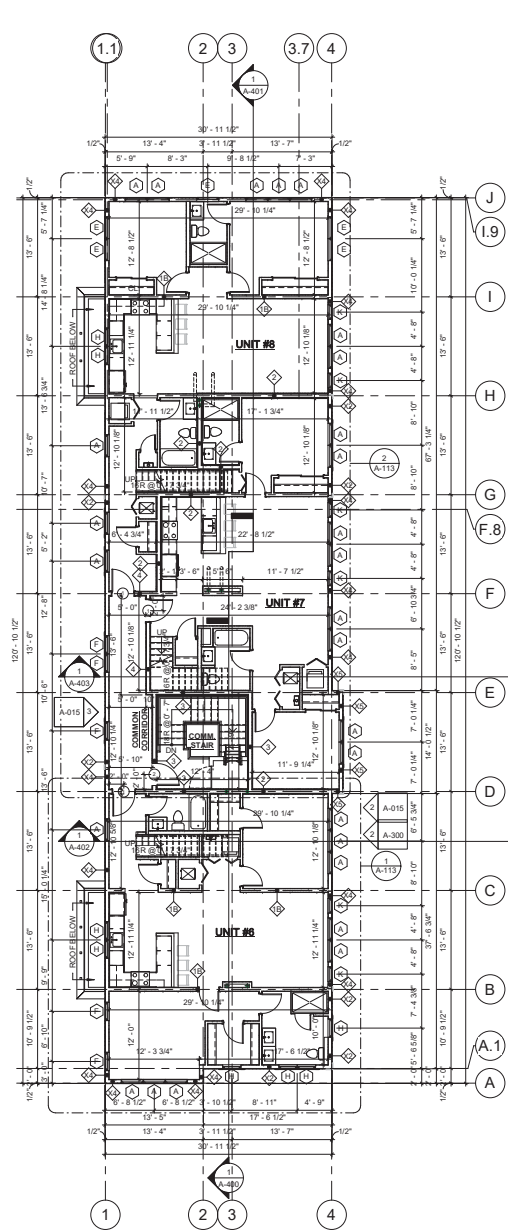
1 Foundation Plan
3/16" = 1'-0"

LEGEND

- NEW WALL
- WALL TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER
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PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
1 CEDAR ST., LLC.

ARCHITECT

KHALSA

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Project number	20012
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Scale	As indicated





REVISIONS

No.	Description	Date

Third Floor & Roof Plans

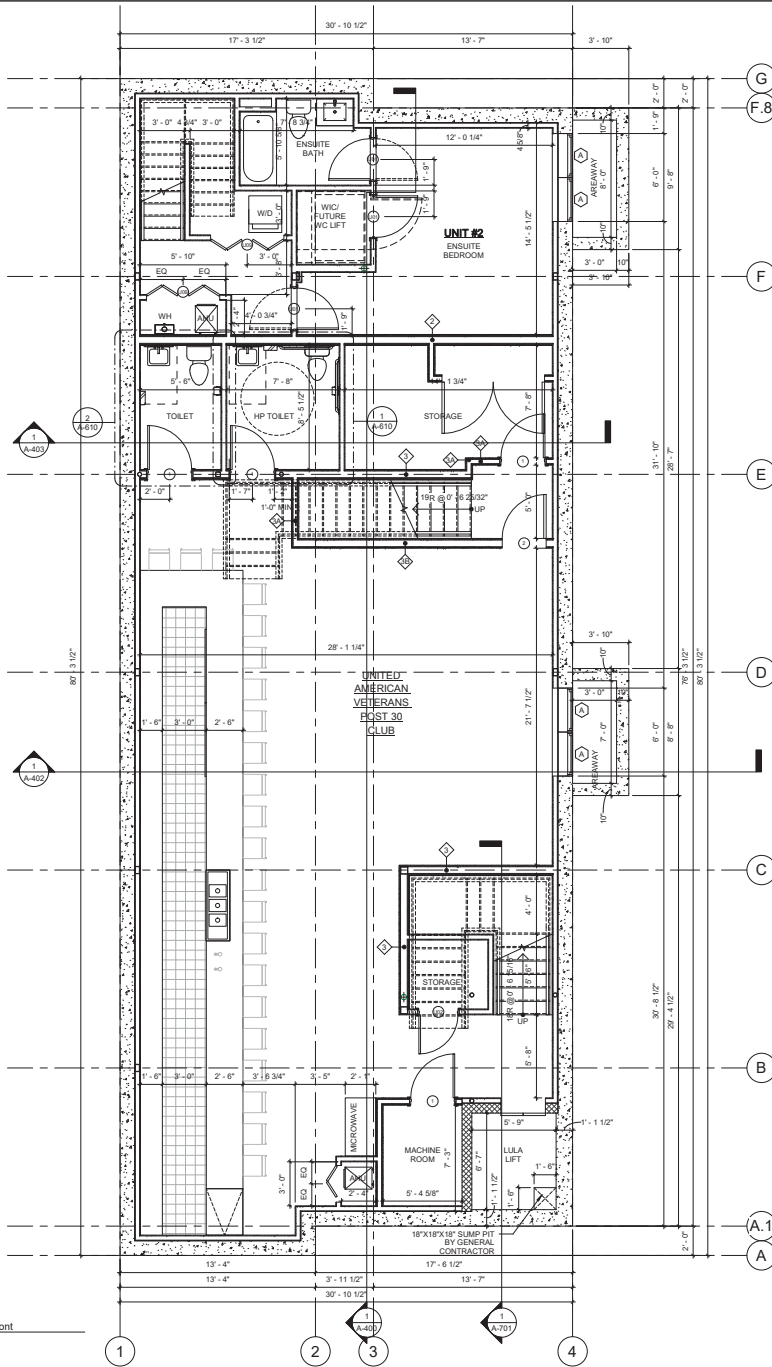
A-101
1 Cedar St Residences

LEGEND

-  NEW WALL
-  WALL TYPE
-  CARBON MONOXIDE DETECTOR
-  SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

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① Basement - Front
1/4" = 1'-0"

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



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TELEPHONE: 617-591-8882

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Project number	20012
Date	08/11/2021
Drawn by	T.C.
Checked by	Checked
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

Enlarged
Basement Plan

A-110
1 Cedar St Residences

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS

1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



17 VALUO STREET SUITE 400
SOMERVILLE, MA 02143
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Project number	20012
Date	08/11/2021
Drawn by	T.C.
Checked by	USK
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

Enlarged First
Floor Plans

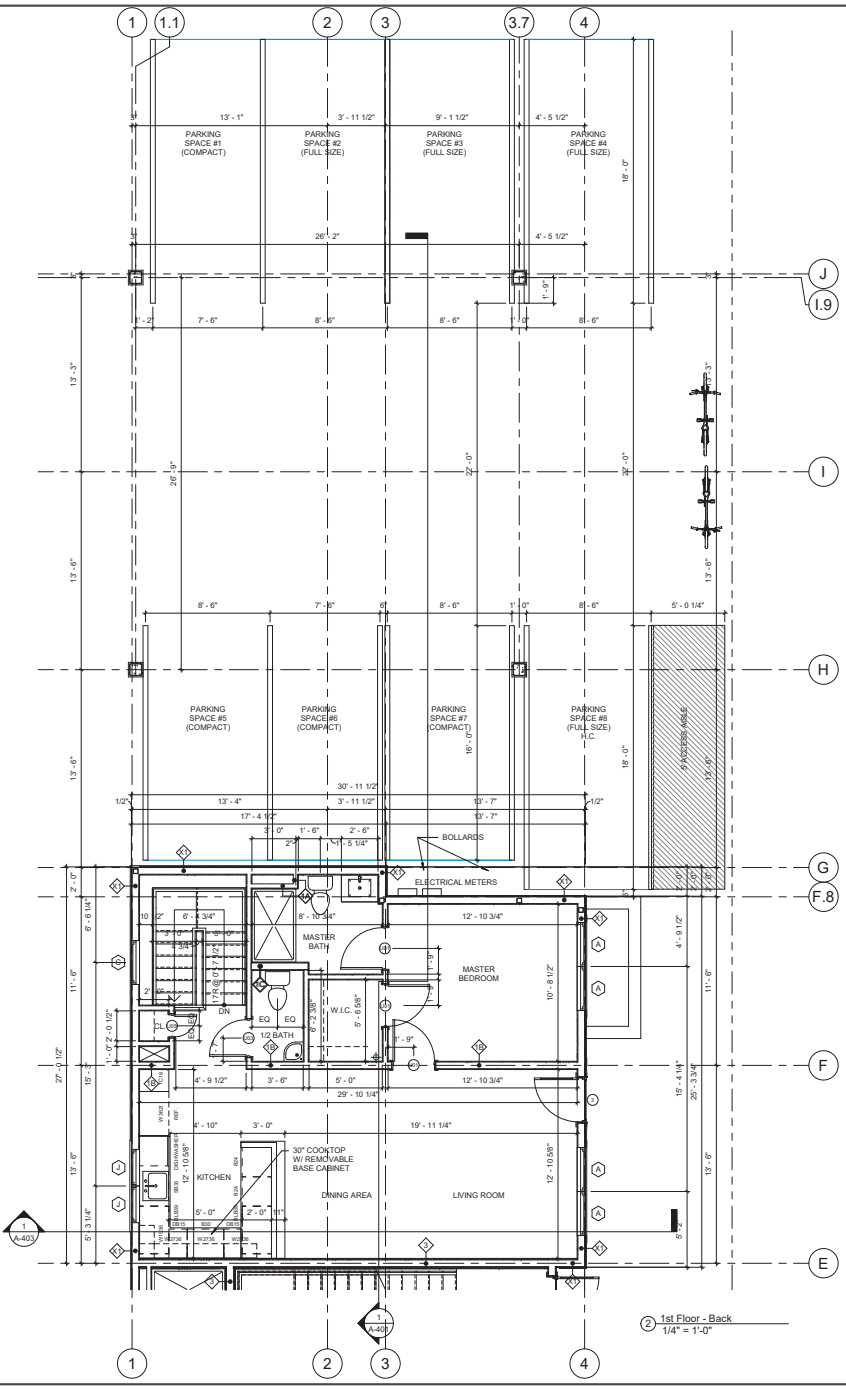
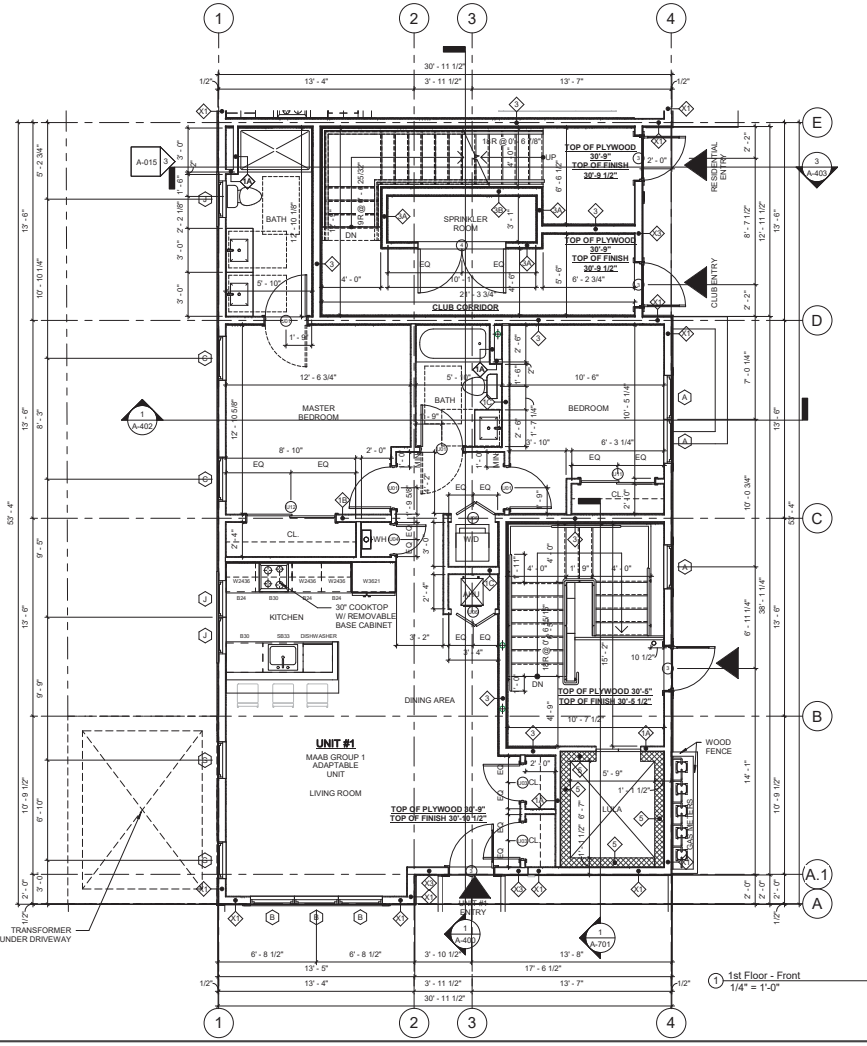
A-111
1 Cedar St Residences

LEGEND

NEW WALL
WALL TYPE
CARBON MONOXIDE DETECTOR
SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

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11/16/2021 1:12:10 PM

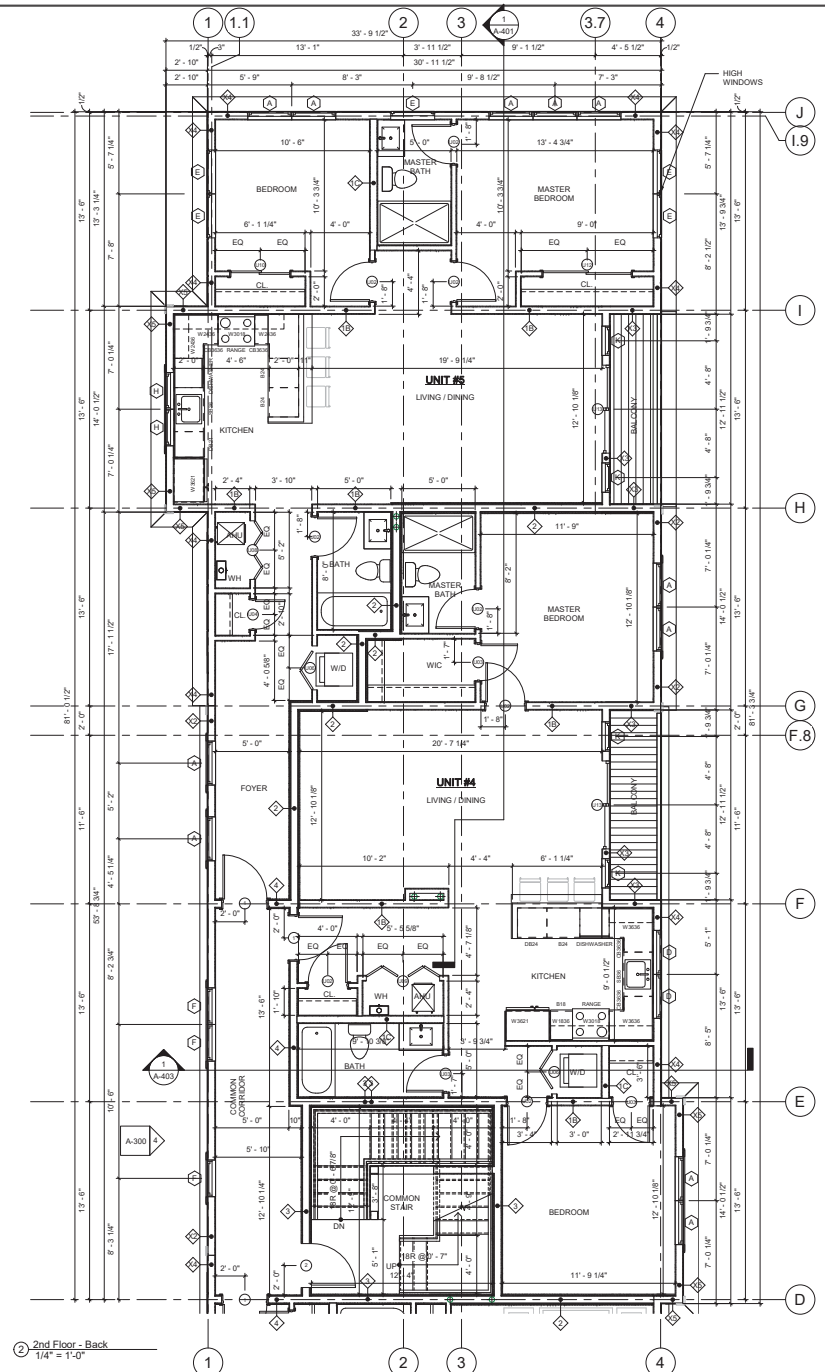
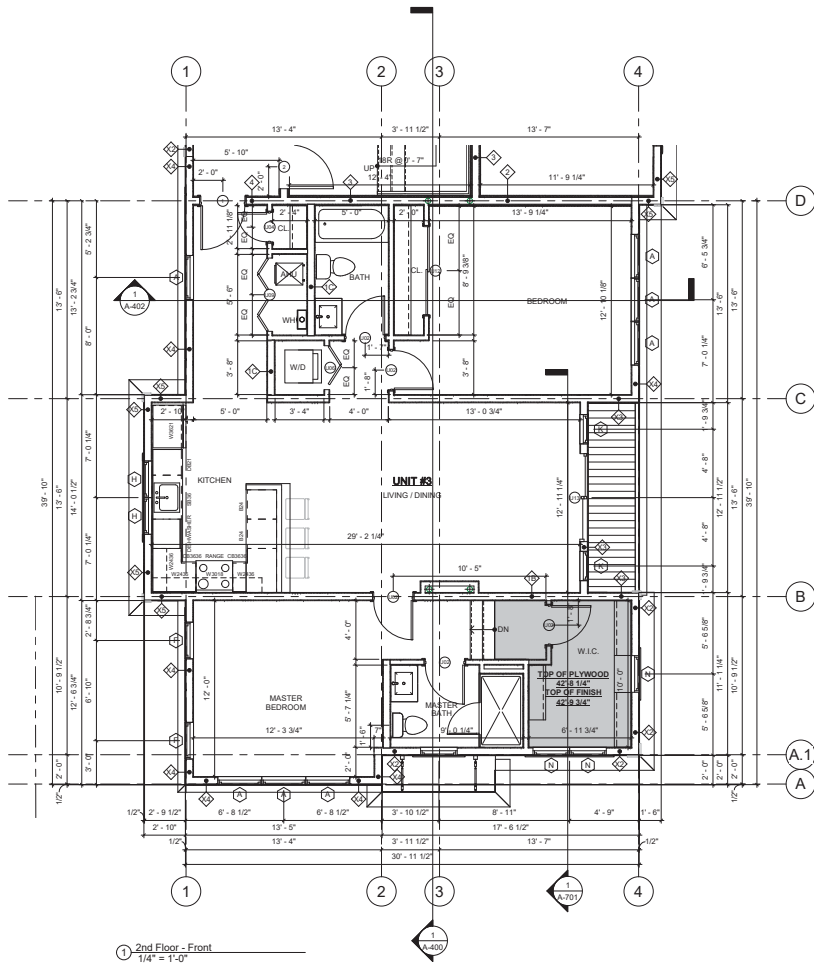
LEGEND

- NEW WALL
- WALL TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

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0' 4' 8' 16'



PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
1 CEDAR ST., LLC.

ARCHITECT

KHALSA

17 VALUO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8882

CONSULTANTS:

REGISTRATION

Project number 20012
Date 08/11/2021
Drawn by Author
Checked by Chacko
Scale 1/4" = 1'-0"

REVISIONS

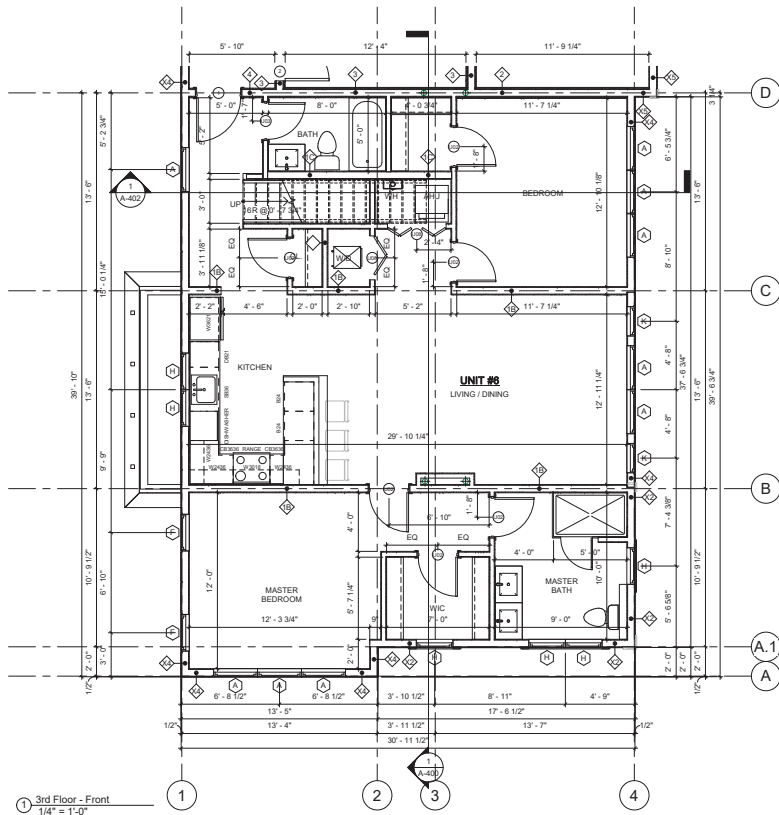
No.	Description	Date

Enlarged Second Floor Plan
A-112
1 Cedar St Residences

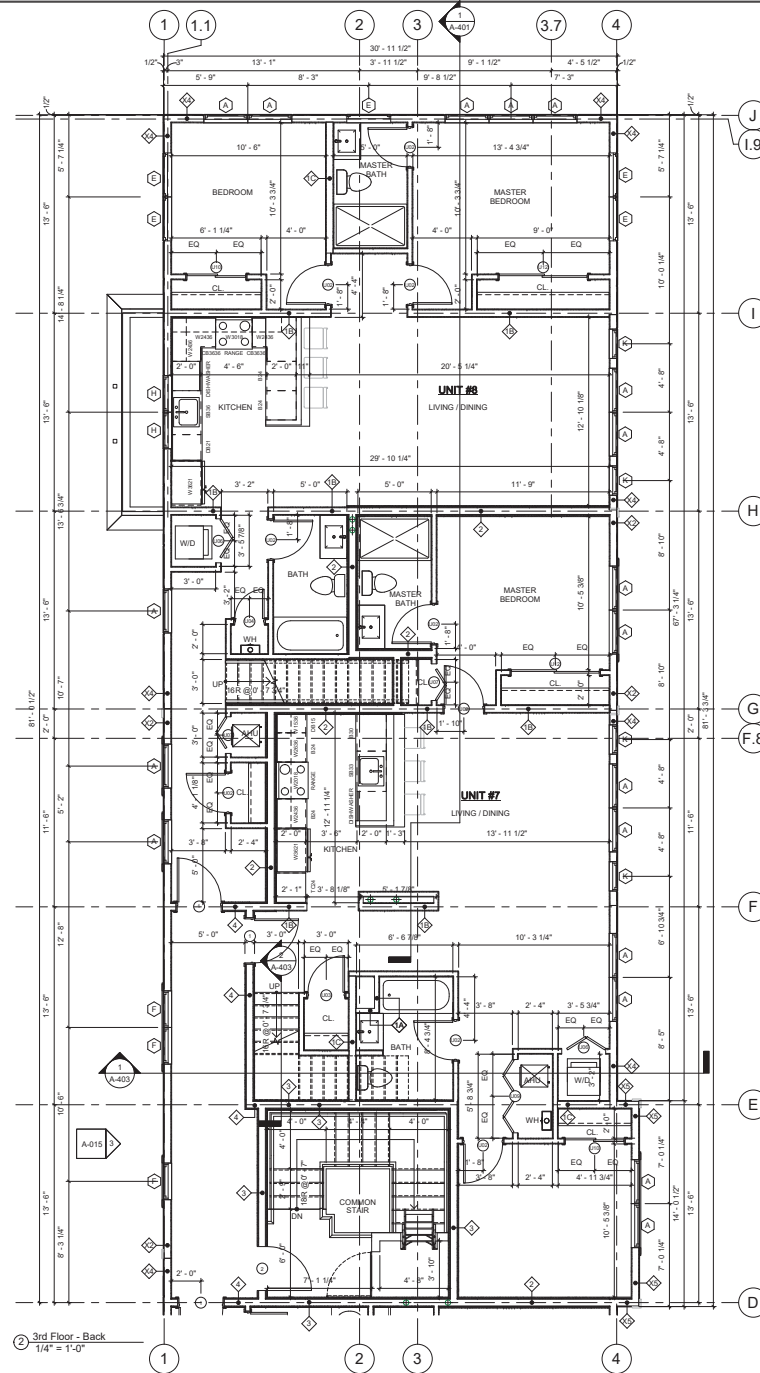
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9/8/2022 14:12:15 PM

LEGEND	
	NEW WALL
	WALL TYPE
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES	
1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER	9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES
2. REFER TO FINISH SCHEDULE FOR FINISHES	10. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.
3. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"	11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER
4. SEE A-810 FOR PARTITION TYPES	12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION
5. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS	13. CONTRACTOR TO SUBMIT DOOR & WINDOW SCHEDULE TO BE REVIEWED & APPROVED BY ARCHITECT PRIOR TO ORDERING AND CONSTRUCTION.
6. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS	14. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "X1"
7. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB	
8. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING AND CENTER LINE OF OPENINGS. UNLESS NOTED OTHERWISE	



① 3rd Floor - Front
1/4" = 1'-0"



② 3rd Floor - Back
1/4" = 1'-0"

PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
1 CEDAR ST., LLC.

ARCHITECT

17 VALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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REVISIONS		
No.	Description	Date

Enlarged Third Floor Plan

A-113

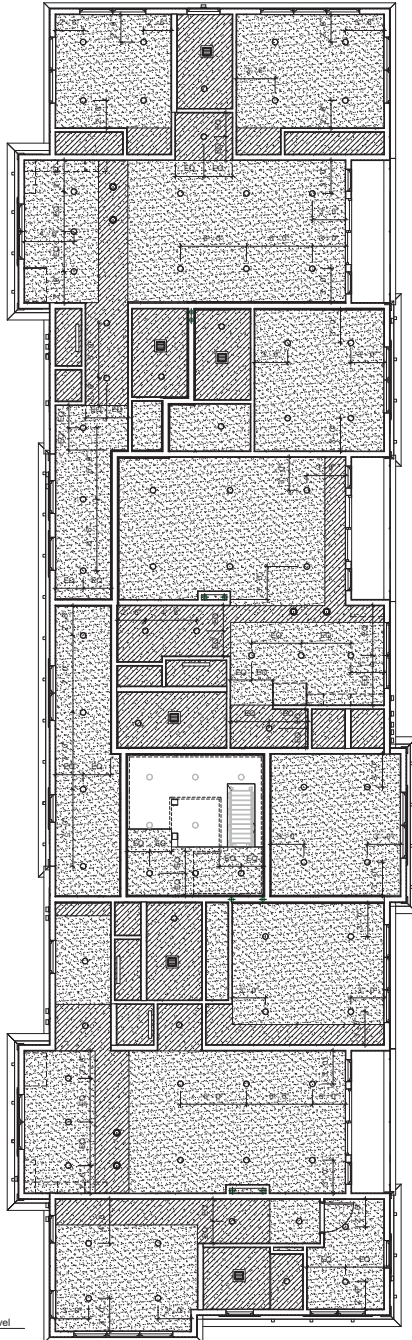
1 Cedar St Residences

REFLECTED CEILING PLAN LEGEND

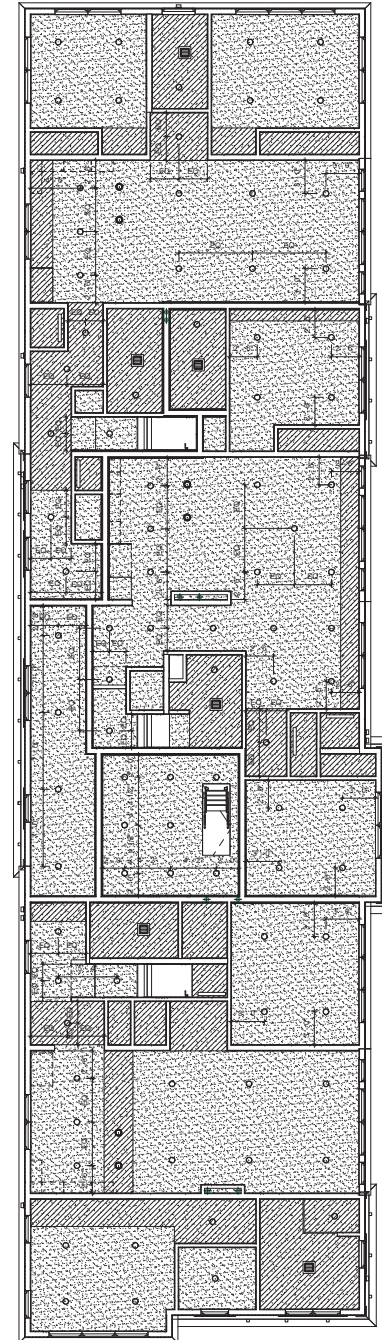
	GWB CEILING ATTACHED TO JOIST, SEE BUILDING/WALL SECTIONS FOR CEILING ASSEMBLY
	GWB SOFFIT, SIZE TBD BY MECH. DUCTWORK AND GWB CEILING ATTACHED TO JOIST ABOVE TO MAINTAIN FIRE RATING, SEE BUILDING SECTION FOR CEILING ASSEMBLY

NOTES:

- CROWN MOLDING IN ALL ROOMS STYLE TBD BY OWNER
- SMOKE DETECTORS TO BE INTERCONNECTED & HARD WIRED.
- SEE BUILDING SECTIONS FOR FLOOR/CEILING ASSEMBLY. MAINTAIN 1 HR FIRE RATING ABOVE ALL SOFFITS AND SUSPENDED CEILINGS BY PROVIDING 2 LAYER 1/2" TYPE "X" GWB ON 1/2" RESILIENT CHANNELS (RC-1) ATTACHED TO FLOOR JOISTS.
- ANY PENETRATIONS TO FIRE RATED FLOOR / CEILING ASSEMBLY ARE REQUIRED TO HAVE FIRE DAMPERS AT EACH PENETRATION.
- DUCT LAYOUT CONCEPT ONLY. MECHANICAL SUBCONTRACTOR TO REVIEW AND PROVIDE HVAC DESIGN PRIOR TO CONSTRUCTION.



1 2nd Floor Level
3/16" = 1'-0"



2 3rd Floor Level
3/16" = 1'-0"

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Scale	As indicated

REVISIONS

No.	Description	Date

**2nd & 3rd Floor
RCP**

A-201

1 Cedar St Residences

PROJECT NAME

1 Cedar St Residences

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1 Cedar Street
Cambridge, MA 02140

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Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

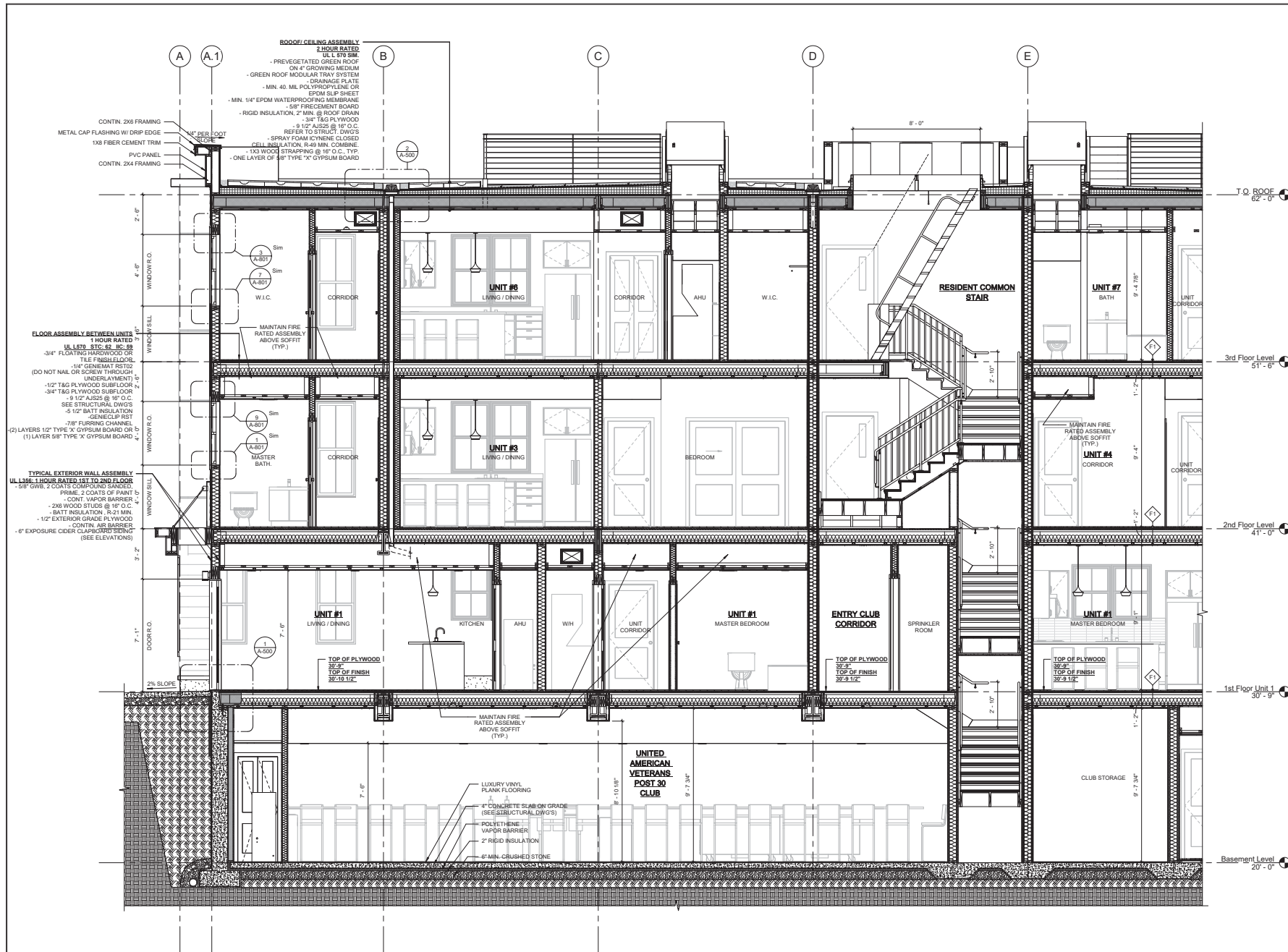
Exterior Elevations

A-300

1 Cedar St Residences



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PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS
 1 Cedar Street
 Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



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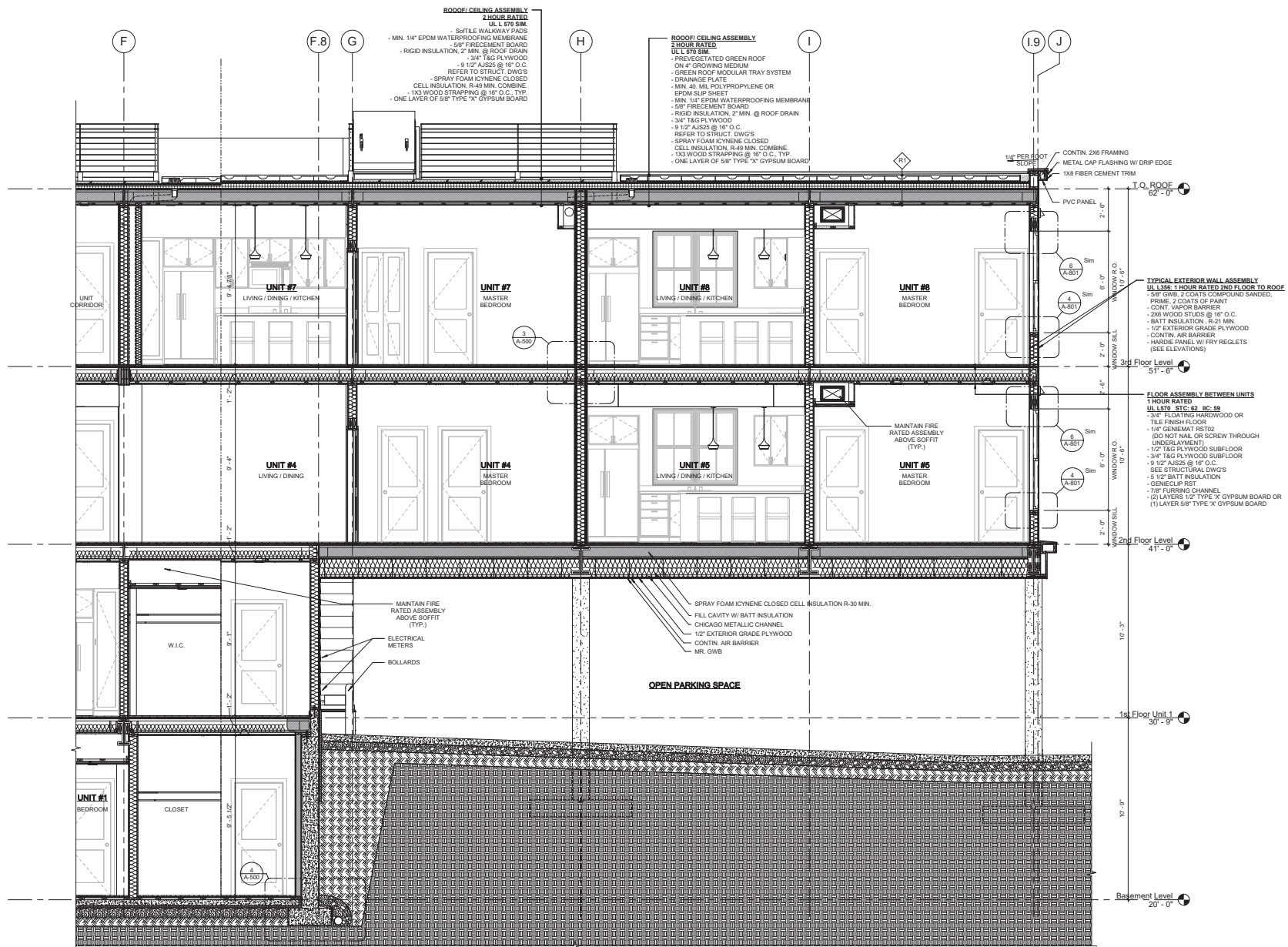
REVISIONS

No.	Description	Date

Longitudinal
 Section Left

A-400
 1 Cedar St Residences

1 Longitudinal Section Left
 3/8" = 1'-0"



① Longitudinal Section Right
3/8" = 1'-0"

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1 Cedar St Residences

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Cambridge, MA 02140

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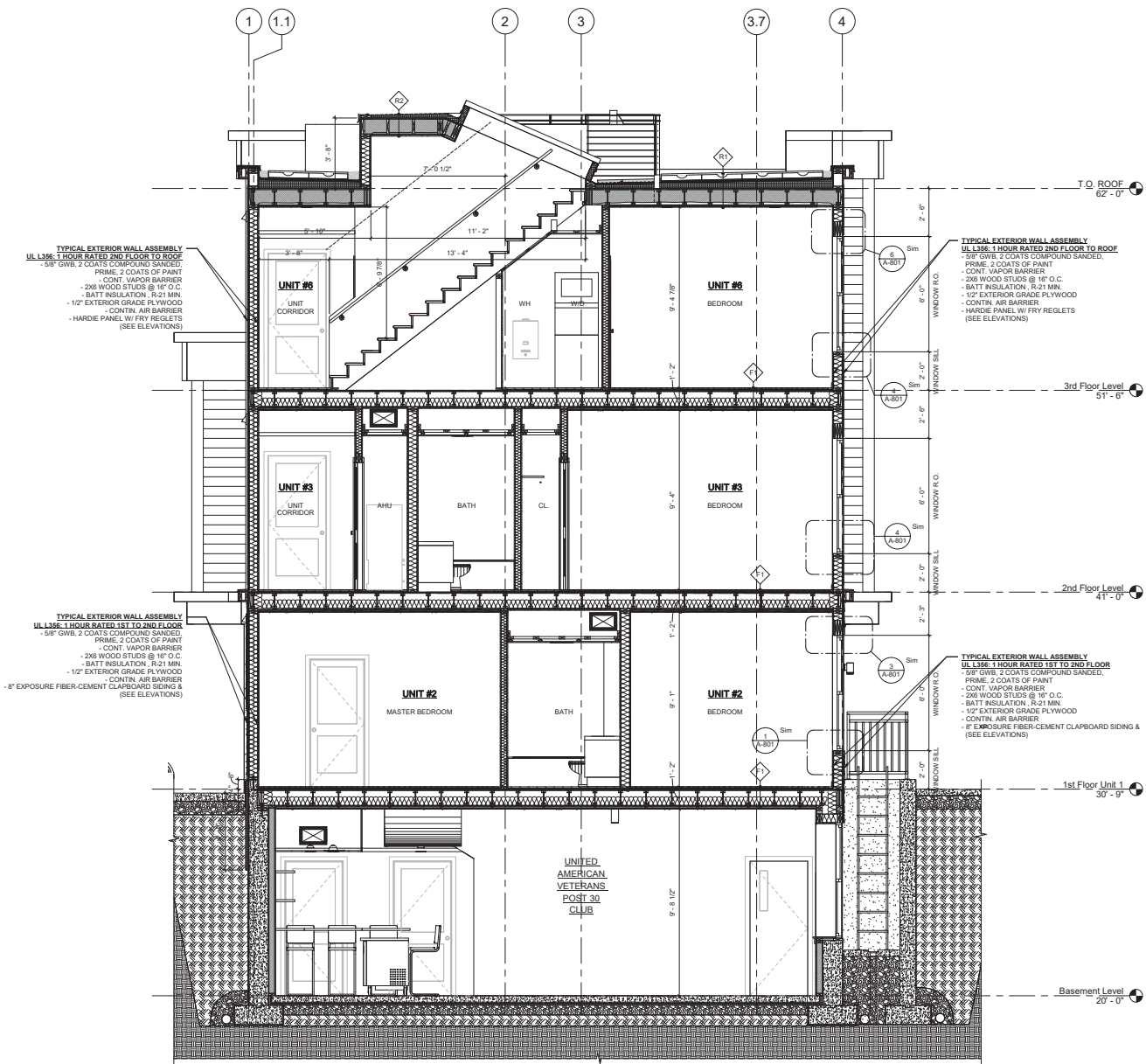
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Longitudinal Section Right
A-401
 1 Cedar St Residences



1 Cross Section 1
3/8" = 1'-0"

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Cambridge, MA 02140

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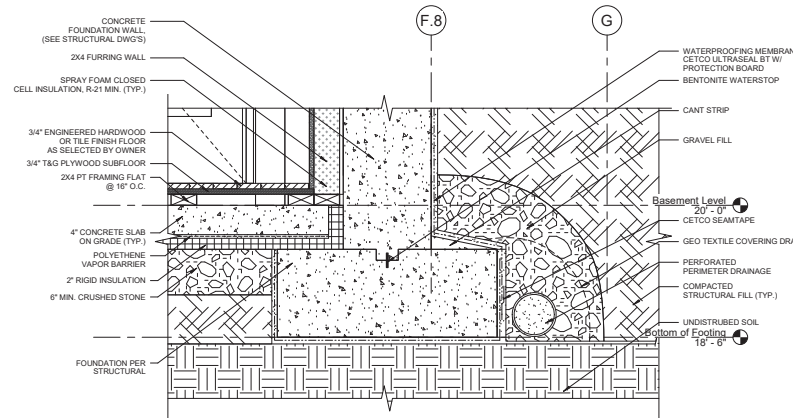

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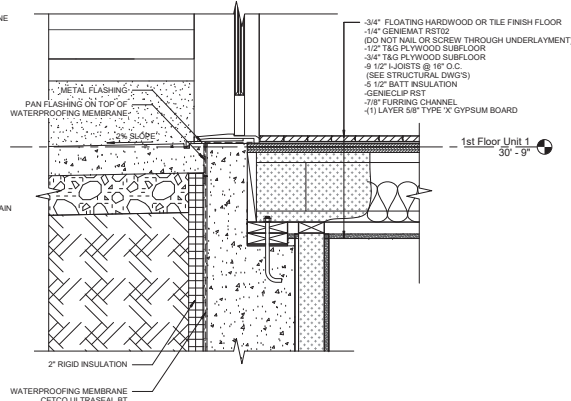
No.	Description	Date

Cross Section 1
A-402
 1 Cedar St Residences

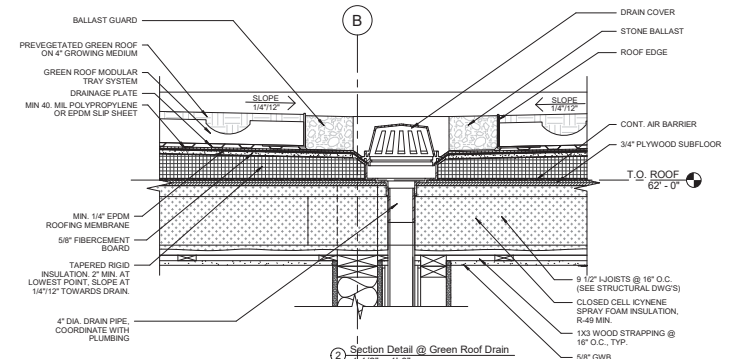
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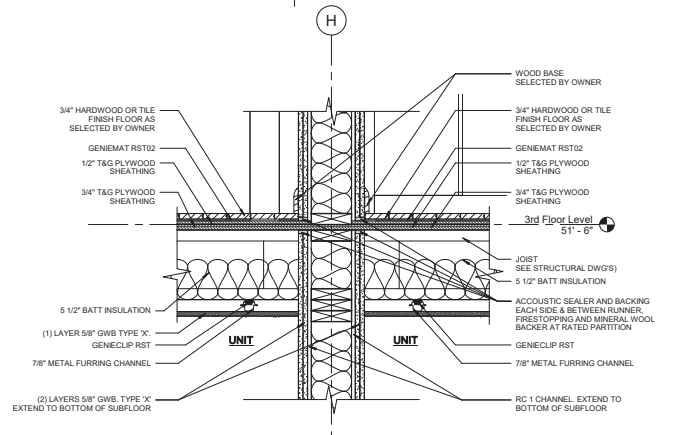
4 Footing Detail
1 1/2" = 1'-0"



1 Section Detail @ Unit 1 Entry
1 1/2" = 1'-0"



2 Section Detail @ Green Roof Drain
1 1/2" = 1'-0"




3 Demising Wall Detail Between Units
1 1/2" = 1'-0"


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ARCHITECT

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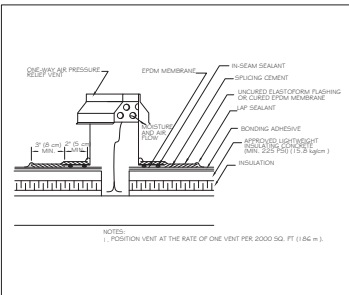
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 Date 08/11/2021
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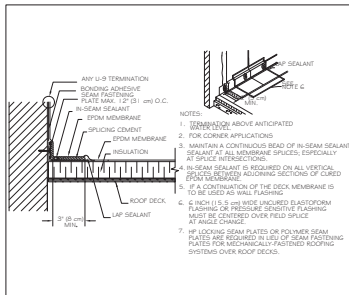
REVISIONS		
No.	Description	Date

Section Details
A-500
 1 Cedar St Residences

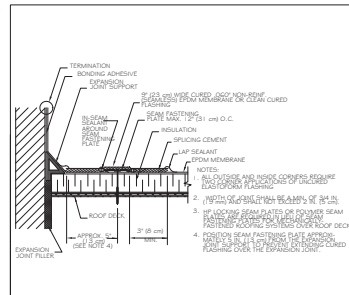
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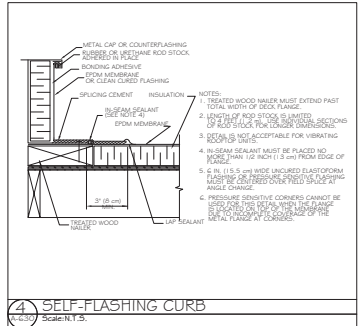
1 ONE-WAY AIR PRESSURE RELIEF VENT
Scale: N.T.S.



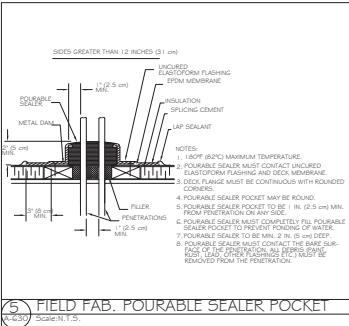
2 PARAPET/CURB CURED EPDM
Scale: N.T.S.



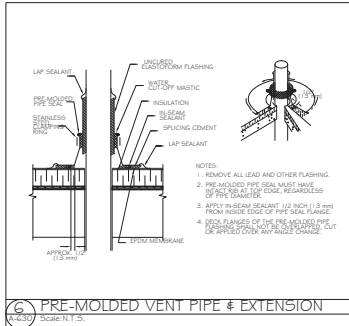
3 DECK TO WALL
Scale: N.T.S.



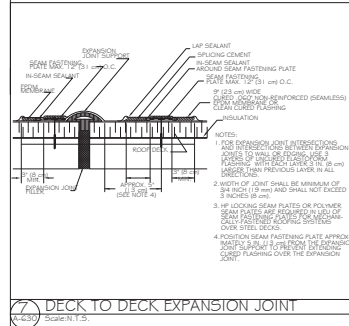
4 SELF-FLASHING CURB
Scale: N.T.S.



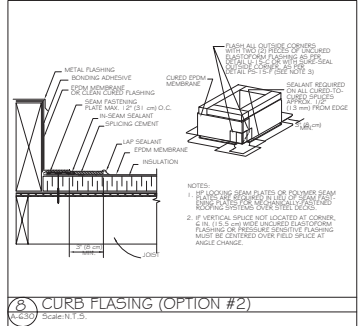
5 FIELD FAB. POURABLE SEALER POCKET
Scale: N.T.S.



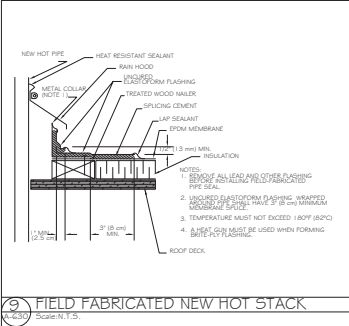
6 PRE-MOLDED VENT PIPE & EXTENSION
Scale: N.T.S.



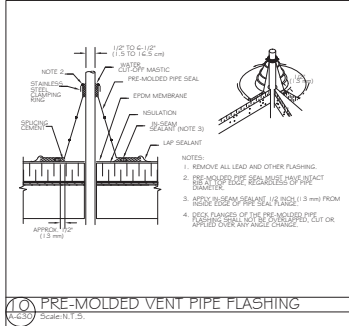
7 DECK TO DECK EXPANSION JOINT
Scale: N.T.S.



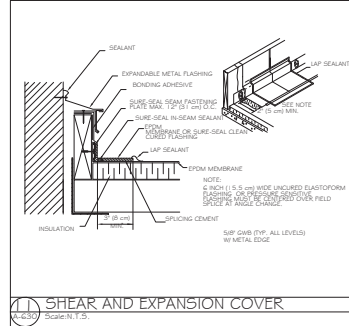
8 CURB FLASHING (OPTION #2)
Scale: N.T.S.



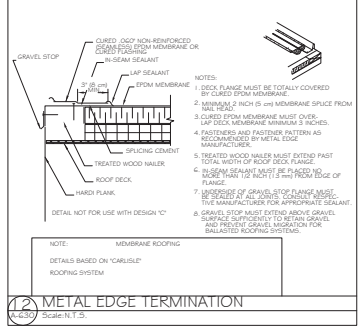
9 FIELD FABRICATED NEW HOT STACK
Scale: N.T.S.



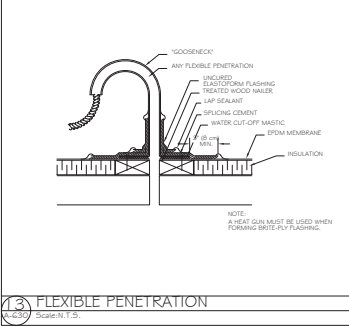
10 PRE-MOLDED VENT PIPE FLASHING
Scale: N.T.S.



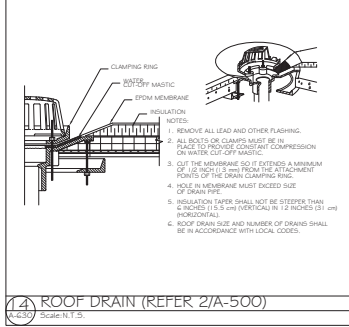
11 SHEAR AND EXPANSION COVER
Scale: N.T.S.



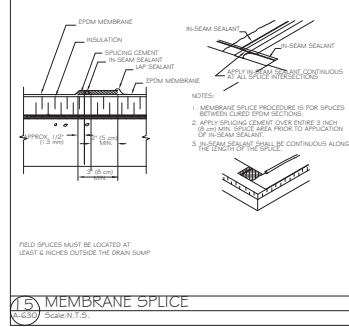
12 METAL EDGE TERMINATION
Scale: N.T.S.



13 FLEXIBLE PENETRATION
Scale: N.T.S.



14 ROOF DRAIN (REFER 2/A-500)
Scale: N.T.S.



15 MEMBRANE SPLICE
Scale: N.T.S.

PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
**1 Cedar Street
Cambridge, MA 02140**

CLIENT
1 CEDAR ST., LLC.



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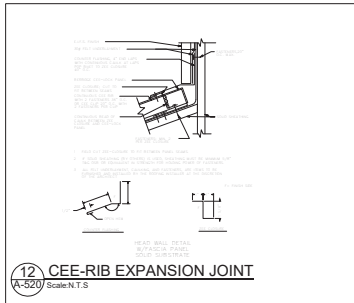
REVISIONS

No.	Description	Date

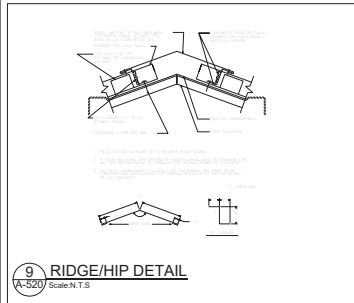
Typical Roof Details

A-520

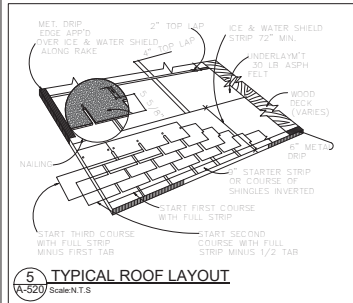
1 Cedar St Residences



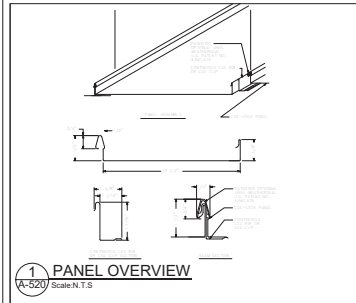
12 CEE-RIB EXPANSION JOINT
A-520 Scale:N.T.S



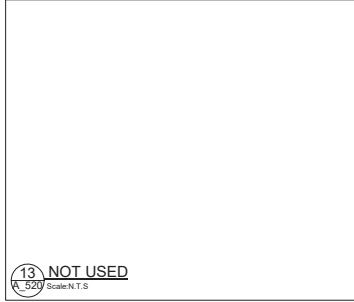
9 RIDGE/HIP DETAIL
A-520 Scale:N.T.S



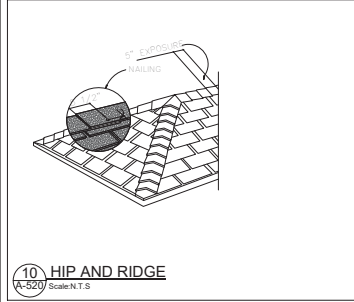
5 TYPICAL ROOF LAYOUT
A-520 Scale:N.T.S



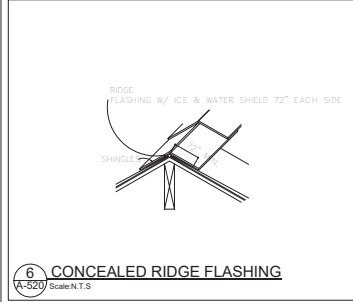
1 PANEL OVERVIEW
A-520 Scale:N.T.S



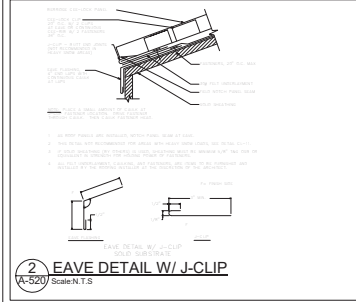
13 NOT USED
A-520 Scale:N.T.S



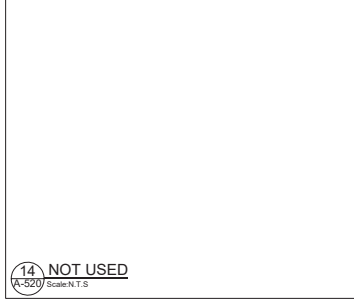
10 HIP AND RIDGE
A-520 Scale:N.T.S



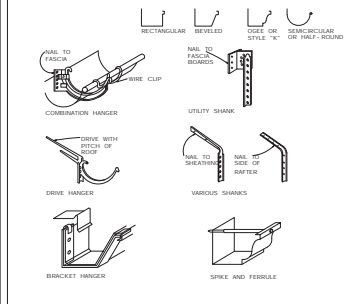
6 CONCEALED RIDGE FLASHING
A-520 Scale:N.T.S



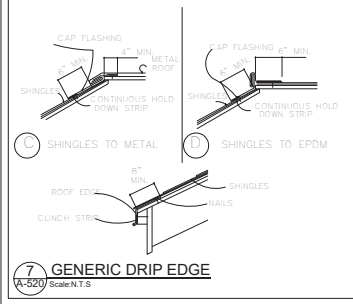
2 EAVE DETAIL W/ J-CLIP
A-520 Scale:N.T.S



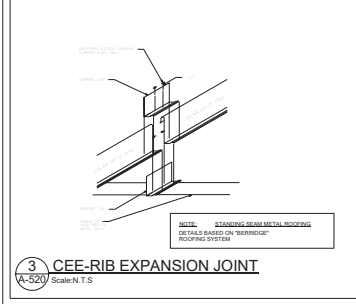
14 NOT USED
A-520 Scale:N.T.S



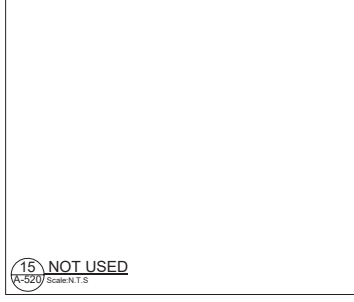
11 GUTTER & DOWN SPOUT
A-520 Scale:N.T.S



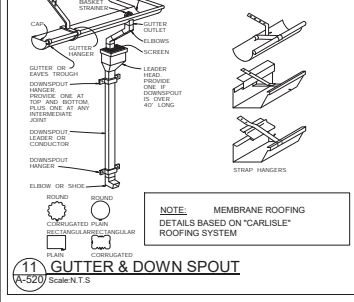
7 GENERIC DRIP EDGE
A-520 Scale:N.T.S



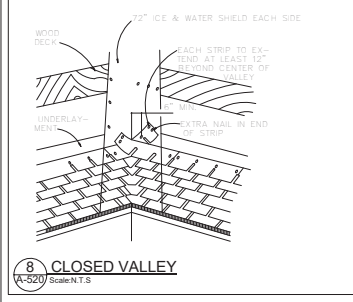
3 CEE-RIB EXPANSION JOINT
A-520 Scale:N.T.S



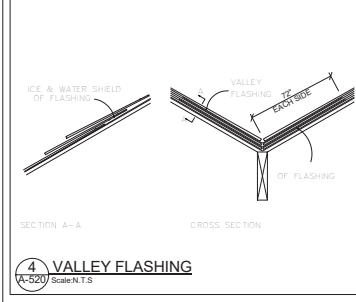
15 NOT USED
A-520 Scale:N.T.S



11 GUTTER & DOWN SPOUT
A-520 Scale:N.T.S



8 CLOSED VALLEY
A-520 Scale:N.T.S



4 VALLEY FLASHING
A-520 Scale:N.T.S

PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

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ARCHITECT
KHALSA

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REVISIONS

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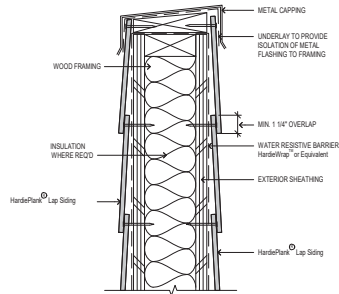
Typical Sloped Roof Details

A-521
1 Cedar St Residences

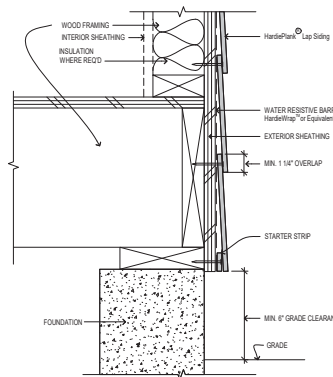
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GENERAL NOTES:

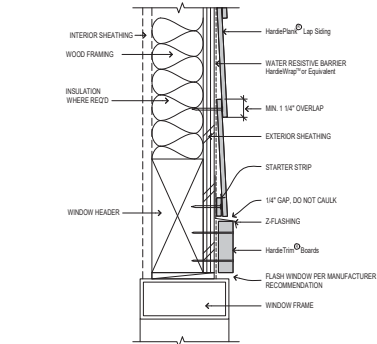
THIS SHEET SERVES AS A GENERAL GUIDE FOR HARDIE PANEL CONSTRUCTION DETAILS FOR INSTALLATION AND ASSEMBLY. REFER TO MANUFACTURE SPECS FOR FURTHER INFORMATION



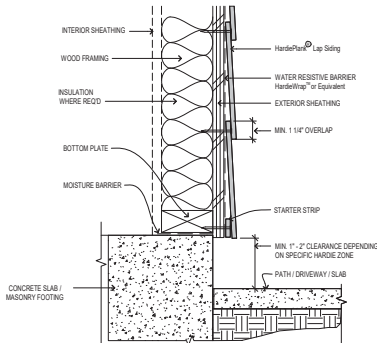
9 PARAPET
SCALE: 3/4"=1'-0"



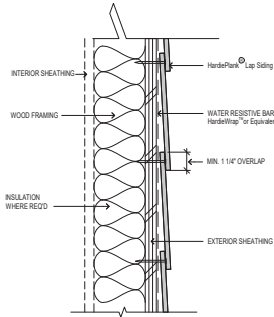
6 GRADE CLEARANCE
SCALE: 3/4"=1'-0"



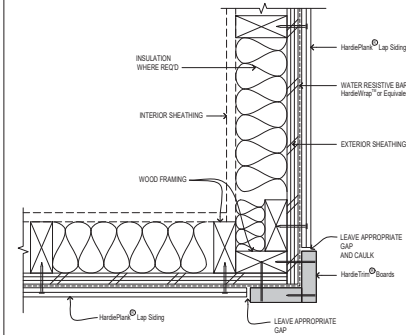
3 WINDOW/DOOR HEAD
SCALE: 3/4"=1'-0"



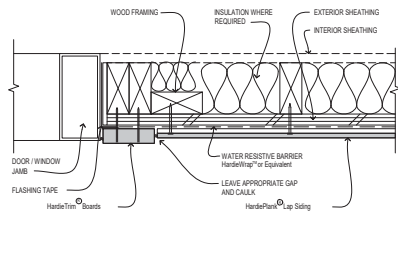
8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.
SCALE: 1/2"=1'-0"



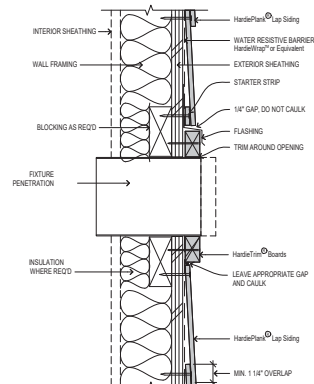
5 HORIZONTAL LAP VIEW
SCALE: 3/4"=1'-0"



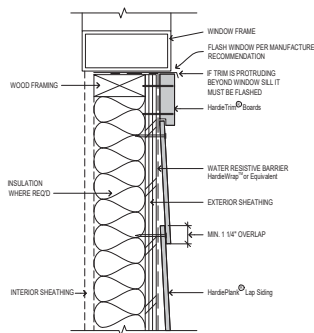
2 OUTSIDE CORNER
SCALE: 3/4"=1'-0"



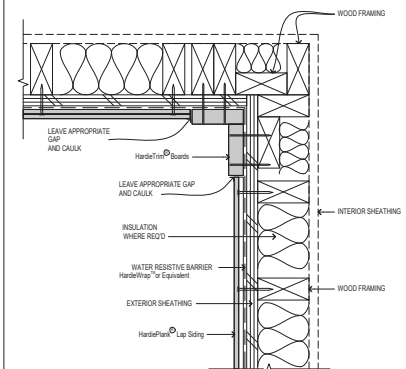
10 DOOR / WINDOW JAMB
SCALE: 3/4"=1'-0"



7 FIXTURE PENETRATION
SCALE: 3/4"=1'-0"



4 WINDOW SILL
SCALE: 3/4"=1'-0"



1 INSIDE CORNER
SCALE: 3/4"=1'-0"

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS

1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



17 VALUO STREET SUITE 400
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CONSULTANTS:

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Project number 20012
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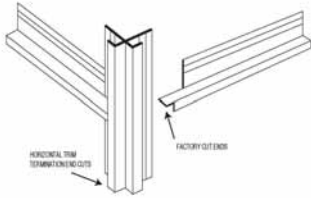
Typ. Hardie Lap
Siding Details

A-530

1 Cedar St Residences

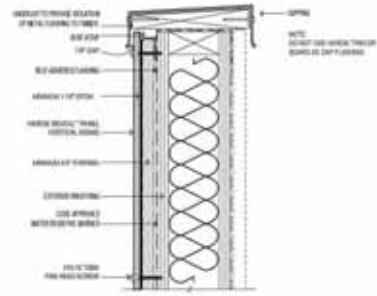
GENERAL NOTES:

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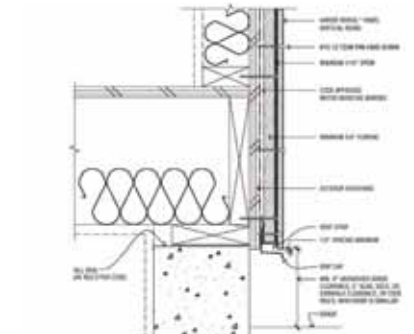
12 HORIZONTAL TRIM - TRIMINATION

SCALE: NTS



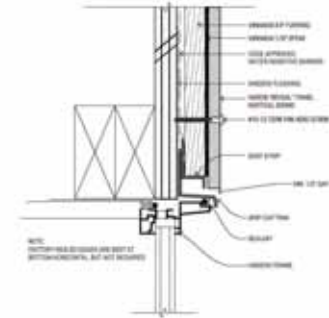
9 PARAPET

SCALE: NTS



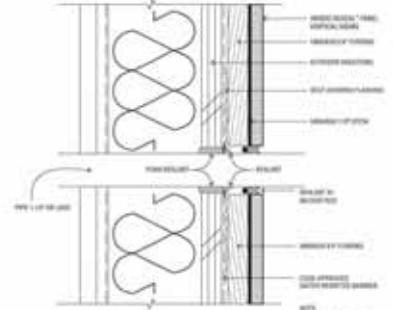
6 GRADE CLEARANCE

SCALE: NTS



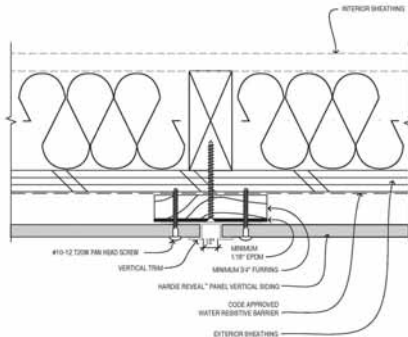
3 WINDOW/DOOR HEAD

SCALE: NTS



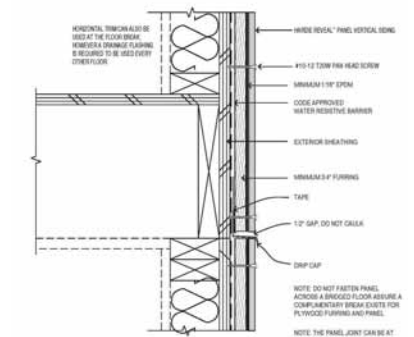
11 SECTION DETAIL 1 1/2" OR LESS HOLE PENETRATION TREATMENT

SCALE: NTS



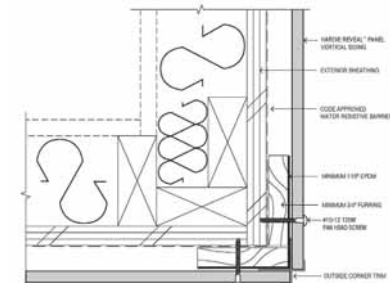
8 PLAN DETAIL-PANEL WITH VERTICAL TRIM

SCALE: NTS



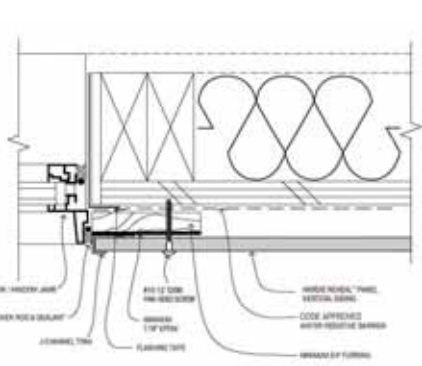
5 HORIZONTAL VIEW

SCALE: NTS



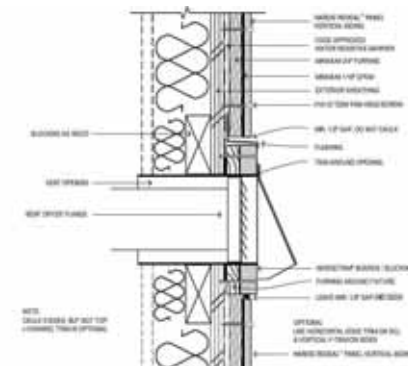
2 OUTSIDE CORNER

SCALE: NTS



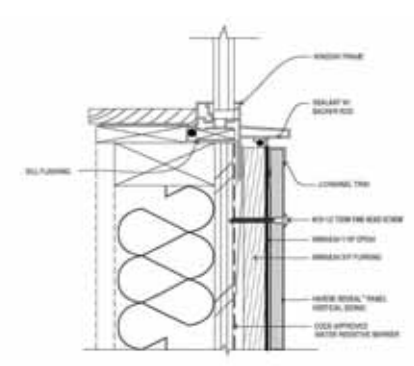
10 DOOR / WINDOW JAMB

SCALE: NTS



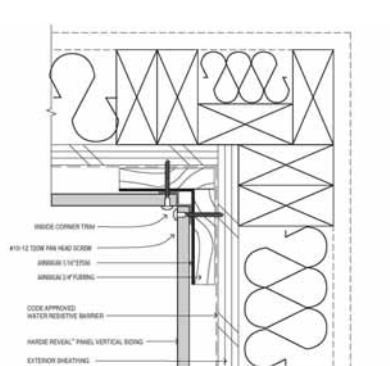
7 FIXTURE PENETRATION

SCALE: NTS



4 WINDOW SILL

SCALE: NTS



1 INSIDE CORNER

SCALE: NTS

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS

1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



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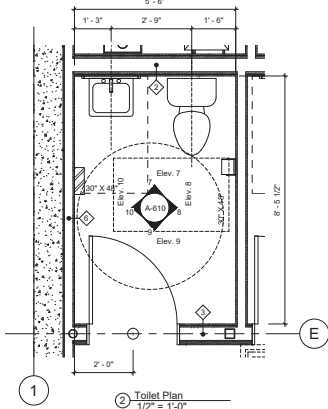
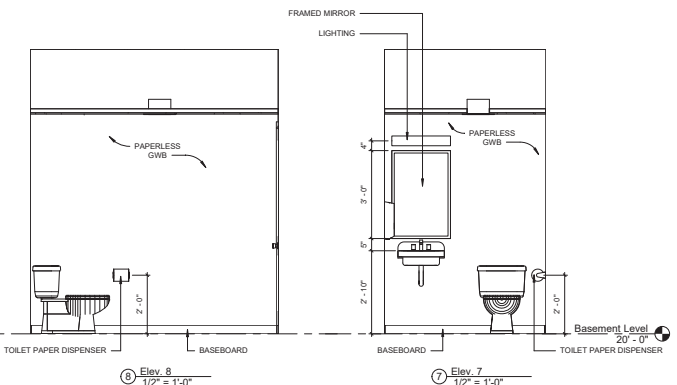
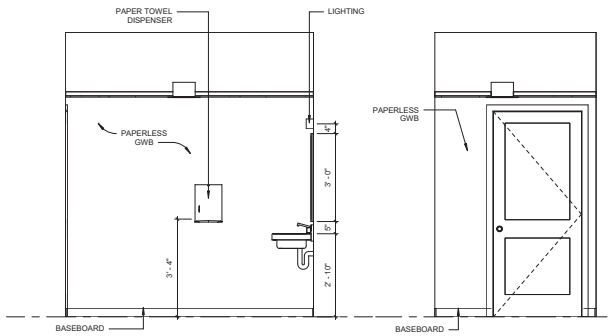
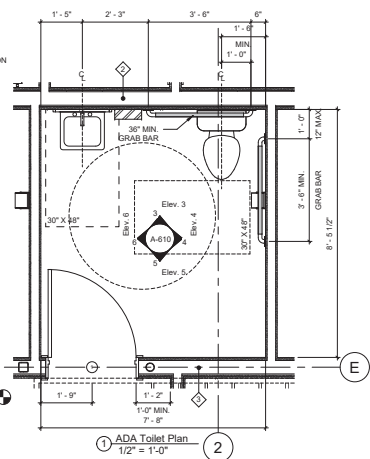
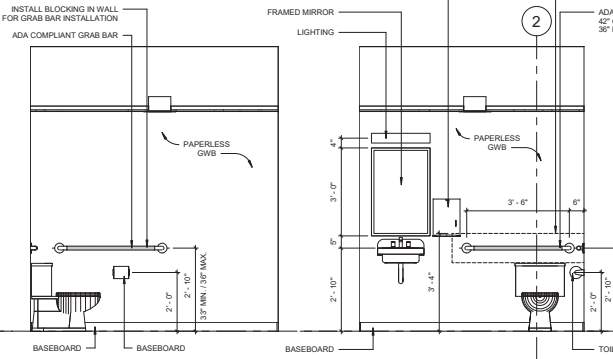
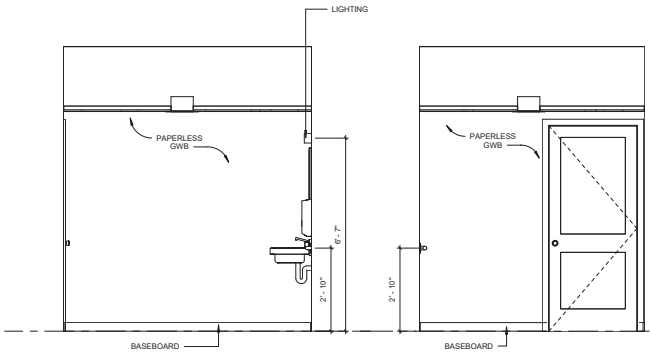
REVISIONS

No.	Description	Date

Typ. Hardie Panel Siding details

A-531

1 Cedar St Residences



GENERAL BATHROOM NOTES

1. WALLS ADJACENT TO AND BEHIND THE TOILET SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING THE FUTURE INSTALLATION OF GRAB BARS FROM 32"-38" A.F.F. THE BACK WALL SHALL HAVE REINFORCEMENT FROM THE INTERIOR CORNER TO A DISTANCE OF 6" BEYOND THE WEST PART OF THE TOILET. THE SIDE WALL SHALL HAVE REINFORCEMENT FROM THE INTERIOR CORNER TO DISTANCE OF 6" BEYOND THE FRONT EDGE OF THE TOILET. UNLESS INTERRUPTED BY A DOOR OR OTHER FIXTURE, THEN REINFORCEMENT SHALL BE INSTALLED AS FAR AS POSSIBLE WHEN THE TOILET IS LOCATED BETWEEN TWO FIXTURES. THE WALL REINFORCEMENT BEHIND THE TOILET SHALL BE EXTENDED 6" BEYOND THE WEST PART OF THE TOILET.
2. ALL TUB & SHOWER WALLS SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING THE FUTURE INSTALLATION OF GRAB BARS, SEATS ETC. FROM 4" ABOVE THE RIM TO A HEIGHT OF 48" ABOVE THE TUB BOTTOM AND SHALL EXTEND THE LENGTH AND WIDTH OF THE TUB. GRAB BARS SHALL NOT BE LOCATED BEHIND THE SEAT.
3. SEE PLANS FOR VANITY DIMENSIONS.

PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
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ARCHITECT
KHALSA DESIGN

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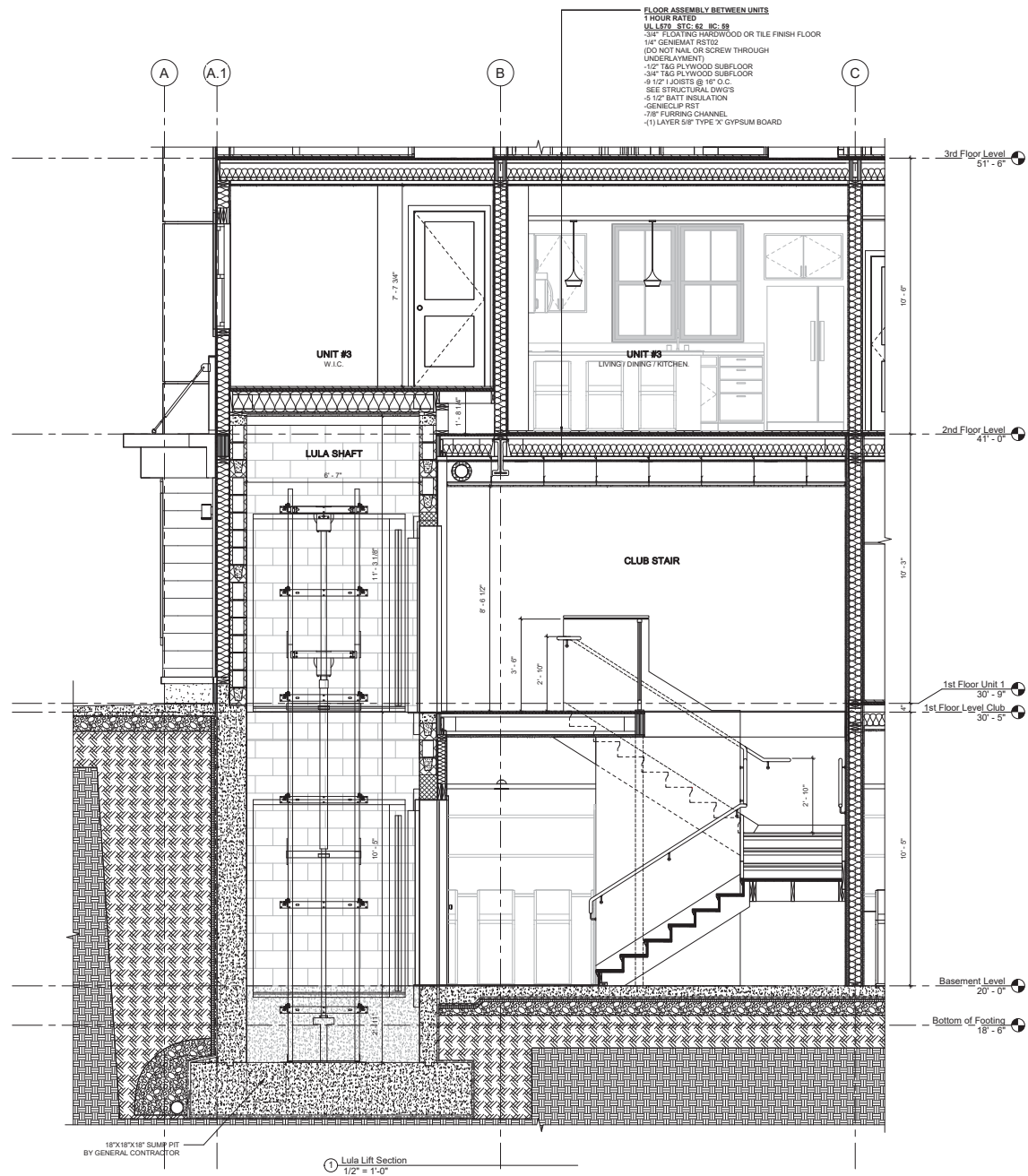
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Common Toilets Plans & Interior Elevations


A-610
1 Cedar St Residences



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1 Cedar St Residences


PROJECT ADDRESS
1 Cedar Street
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Lula Lift Section
A-701
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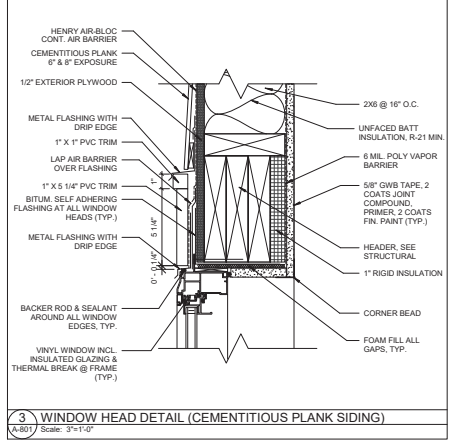


Project number	20012
Date	08/11/2021
Drawn by	Author
Checked by	Checker
Scale	3" = 1'-0"

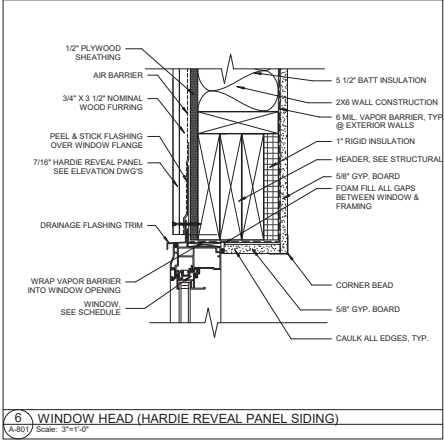
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No.	Description	Date

Window Details

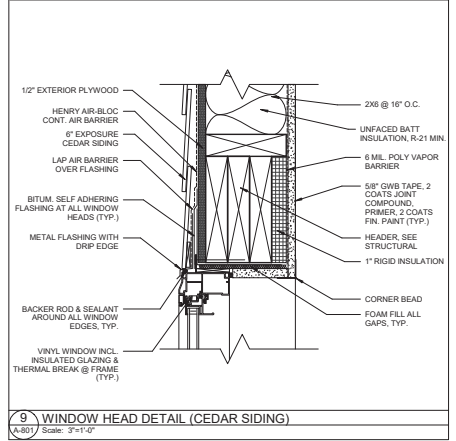
A-801
1 Cedar St Residences



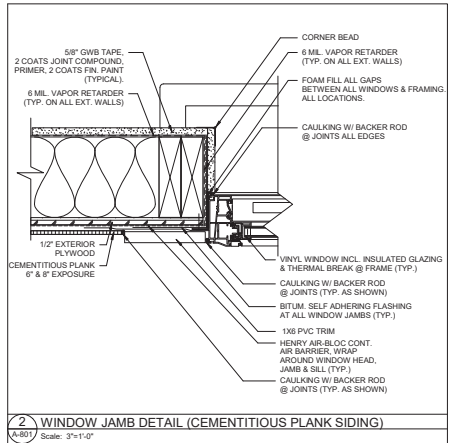
3 WINDOW HEAD DETAIL (CEMENTITIOUS PLANK SIDING)
A-801 Scale: 3"=1'-0"



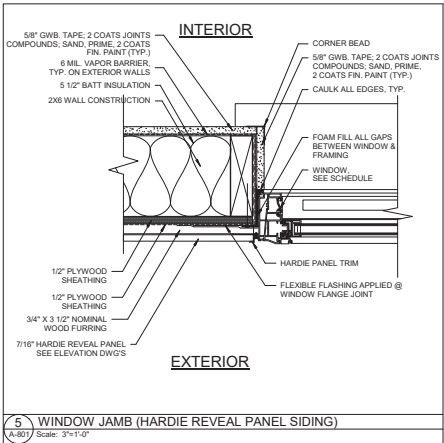
6 WINDOW HEAD (HARDIE REVEAL PANEL SIDING)
A-801 Scale: 3"=1'-0"



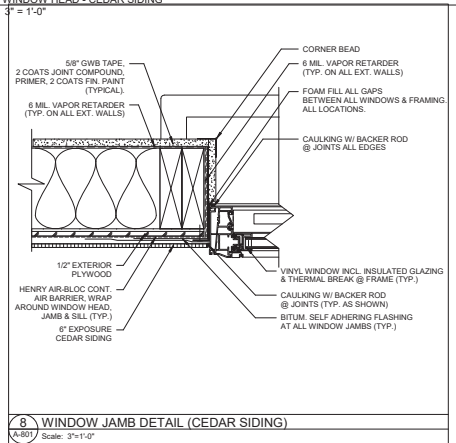
9 WINDOW HEAD DETAIL (CEDAR SIDING)
A-801 Scale: 3"=1'-0"



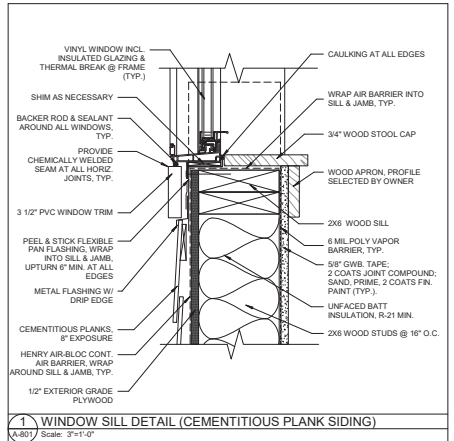
2 WINDOW JAMB DETAIL (CEMENTITIOUS PLANK SIDING)
A-801 Scale: 3"=1'-0"



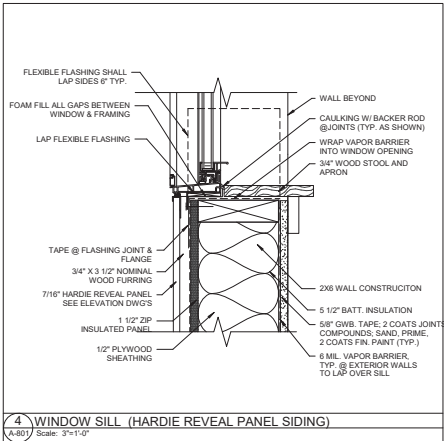
5 WINDOW JAMB (HARDIE REVEAL PANEL SIDING)
A-801 Scale: 3"=1'-0"



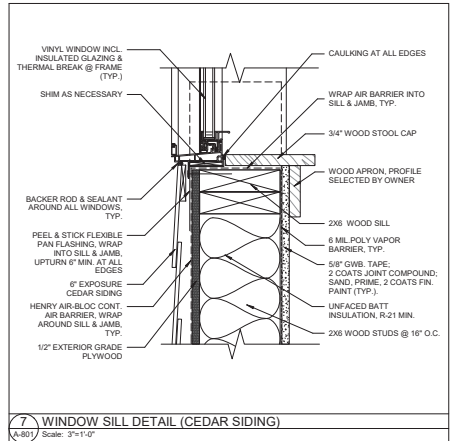
8 WINDOW JAMB DETAIL (CEDAR SIDING)
A-801 Scale: 3"=1'-0"



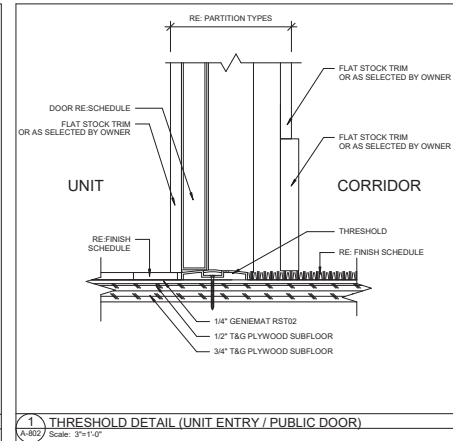
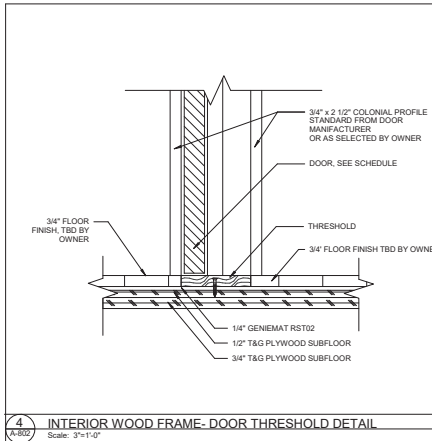
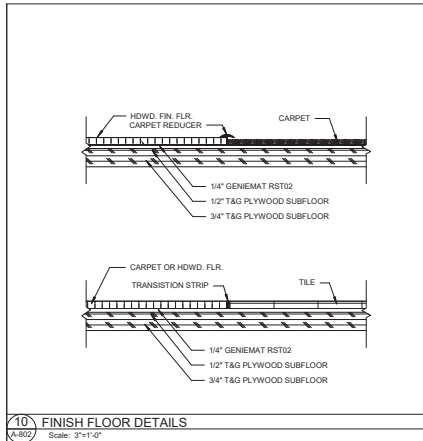
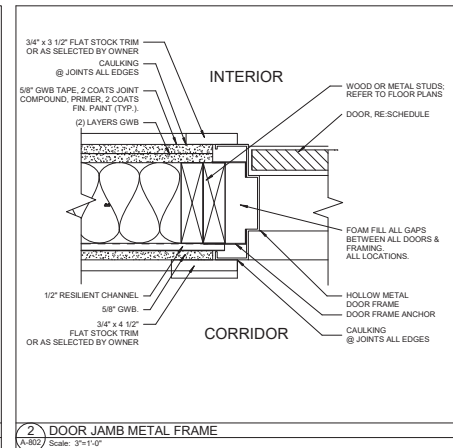
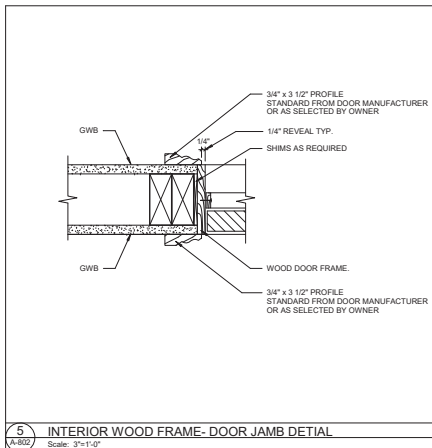
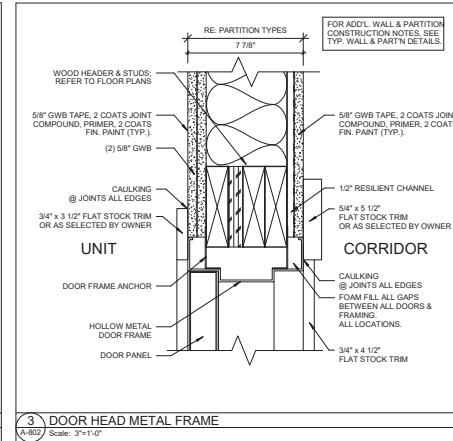
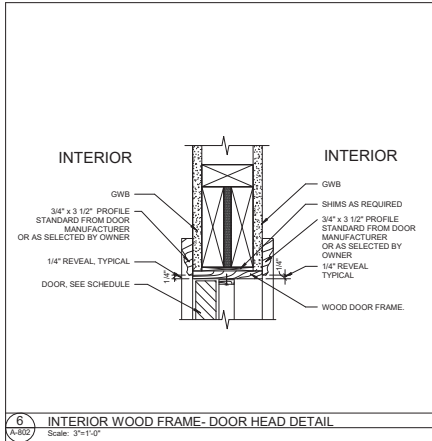
1 WINDOW SILL DETAIL (CEMENTITIOUS PLANK SIDING)
A-801 Scale: 3"=1'-0"



4 WINDOW SILL (HARDIE REVEAL PANEL SIDING)
A-801 Scale: 3"=1'-0"



7 WINDOW SILL DETAIL (CEDAR SIDING)
A-801 Scale: 3"=1'-0"



PROJECT NAME
1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT
1 CEDAR ST., LLC.

ARCHITECT
KHALSA
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8882

CONSULTANTS:

REGISTRATION

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Door & Finish Floor Details

A-802
1 Cedar St Residences

11/16/2022 1:41:07 PM



MORNING (9 AM - 10 AM)

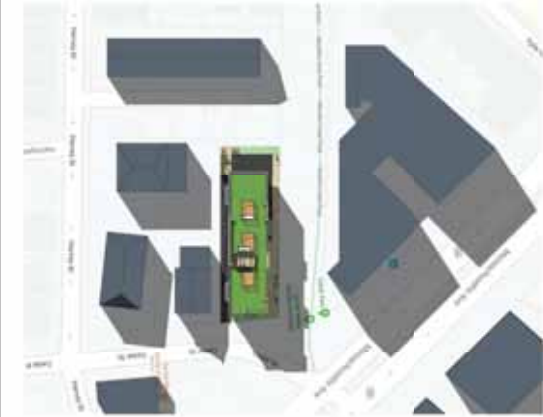
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE



PROJECT NAME

1 Cedar St Residences

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**PROPOSED
SHADOW STUDY**

AV-00

1 Cedar St Residences



FRONT VIEW (CEDAR STREET)



SIDE VIEW (ALONG LINEAR PARK)



REAR VIEW



SIDE VIEW (ALONG DRIVEWAY)

PROJECT NAME

1 Cedar St Residences

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Cambridge, MA 02140

CLIENT

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ARCHITECT



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Checked by JSK
Scale

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No.	Description	Date
1	Design Review	08/08/2021

RENDERED
VIEWS

AV-1

1 Cedar St Residences



PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS
1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



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Scale	

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No.	Description	Date
1	Design Review	08/08/2021

**PROPOSED
RENDERINGS**

AV-2

1 Cedar St Residences



VIEW FROM LINEAR PARK

PROJECT NAME

1 Cedar St Residences

PROJECT ADDRESS

1 Cedar Street
Cambridge, MA 02140

CLIENT

1 CEDAR ST., LLC.

ARCHITECT



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Scale

REVISIONS

No.	Description	Date
1	Design Review	08/08/2021

**PROPOSED
RENDERING
FROM PARK**

AV-3

1 Cedar St Residences