



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

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NOV 14 2017

CAMBRIDGE HISTORICAL COMMISSION

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.

2. Address of property: , Cambridge, Massachusetts

3. Describe the proposed alteration(s), construction or demolition in the space provided below:
(An additional page can be attached, if necessary).

See attached project description and plans.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record:	<input type="text" value="President and Fellows of Harvard College, c/o Mark Verkennis, Harvard Planning Office"/>		
Mailing Address:	<input type="text" value="1350 Massachusetts Avenue, Suite 573"/>		
Telephone/Fax:	<input type="text" value="(617) 496-1879/(617) 405-0559"/>	E-mail:	<input type="text" value="mark_verkennis@harvard.edu"/>
Signature of Property Owner of Record:	<input type="text" value="Mark Verkennis"/>		
(Required field; application will not be considered complete without property owner's signature)			
Name of proponent, if not record owner:	<input type="text"/>		
Mailing Address:	<input type="text"/>		
Telephone/Fax:	<input type="text"/>	E-mail:	<input type="text"/>

<i>(for office use only):</i>			
Date Application Received:	<input type="text" value="11/14/17"/>	Case Number:	<input type="text" value="38666"/>
		Hearing Date:	<input type="text" value="12/7/17"/>
Type of Certificate Issued:	<input type="text"/>	Date Issued:	<input type="text"/>

NOV 14 2017

Massachusetts Hall – Renovation and Exterior Restoration

CAMBRIDGE HISTORICAL COMMISSION

Building Overview

Massachusetts Hall was constructed in 1720 and is Harvard University's oldest surviving building. Over the span of almost three centuries, the building has seen multiple renovations and changes in use. Originally constructed as a dormitory, the building was converted to use as a lecture hall in 1870; it was renovated and converted back to dormitory use in 1924; and in 1939 again underwent a major renovation resulting in its current configuration and use as offices for the University's President and other administrative leadership, while retaining student dormitory rooms on the building's topmost floor.

The current project being planned by Harvard Real Estate will include a comprehensive restoration of the building's Georgian exterior, replacement of central HVAC systems and significant code and life safety upgrades. The scope of exterior restoration work is being carefully coordinated with the staff of the Cambridge Historical Commission.

Proposed Exterior Scope of Work

The planned renovation and restoration project at Massachusetts Hall will include the following areas of exterior work:

Masonry

- Restoration of the building exterior will include selective repointing on all elevations and re-building of damaged portions of outer brick as required. The project's design and construction team Baker/Wohl Architects (Steve Baker), Gale Associates, Inc. (Chris Musorofiti), Shawmut Design and Construction (Carl Jay) are in consultation with the CHC's Executive Director to establish the extent of exterior repointing and repair work and to select appropriate brick and mortar to be used in masonry restoration.
- Exposed portions of the rubble stone foundation wall are proposed to be 100 percent repointed.
- Rebuilding of the four paired chimneys above the roofline at the east and west ends of the building. Due to the deteriorated mortar conditions and displaced sections of masonry, it is proposed to remove these four chimneys down to below the rake edge for rebuilding. Sound brick masonry units are anticipated to be salvaged where practical, and based on the size and configuration with respect to available replacement units, will be reincorporated into the renovated chimneys.
- Partial rebuilding and repair of the two central chimneys. The two interior chimneys have sections of masonry which are deteriorated and displaced, and are anticipated to be partially rebuilt at the upper elevations. Additional review of the conditions will be performed as the contractor mobilizes on site, and replacement brick samples are provided to confirm an aesthetic match with the existing components.
- All chimneys will be capped with new copper sheet metal weathercaps matching existing cap profiles to reduce future deterioration.

- All exposed masonry will be cleaned using the gentlest effective cleaning method to remove atmospheric staining. A cleaning mockup will be prepared to demonstrate proposed techniques.

Roofing

- Repairs to the existing standing seam roof system will include, but are not be limited to, field soldering of new patches to the existing copper panels, replacement of individual panels, and replacement of the existing roof hatch.
- Slate removal and replacement will be required to install the new pipe rail system, as well as to replace damaged or missing single units.
- Repairs to the existing wood monitor rail around the perimeter of the roof are anticipated to maintain the existing building profile, and will be painted to match the existing color scheme.
- A new copper-clad rooftop vent for the elevator hoistway is proposed for code compliance. This vent will rise 3 feet above the roof surface.

Gutters and Downspouts

- Massachusetts Hall currently has wood gutters and lead or lead-coated copper downspouts which are connected by painted lead goosenecks. The existing capacity of the gutters and goosenecks is insufficient to handle normal roof run-off, and the building routinely experiences over wash during periods of heavy precipitation. Addressing this issue is important to the long term maintenance and stewardship of the building façade. The project proposes to replace the existing wood gutters with painted copper gutters matching the exterior dimensions and profile of the existing gutters. The decreased thickness of the copper will increase the gutter capacity without altering the visual profile of the existing gutters.
- To further facilitate roof drainage, the existing gooseneck connectors from the gutters to the conductor boxes are proposed to be increased in diameter from approximately one-and-one-half inches to three inches in diameter.
- The existing lead conductor boxes and rectangular downspouts will be temporarily removed and stored for masonry restoration activities. After completion of masonry work they will be reinstalled in their current locations.

Roof Snow Guards

- To prevent dangerous slides of snow and ice which cascade from the building's slate roof on to the pedestrian pathways surrounding the building, additional snow guards are needed at the eaves of the slate shingle roofs, as well as at the approximate mid-span of the standing seam roof system. At present, frequent post storm snow removal trips are required to address this issue which result in roof damage.
- Brass, two tier pipe rail units as well as replacement snow tabs are planned for each of the slate shingle areas to breakup snow accumulations and slides on the steep sloped shingle roofs. Pipe rail guards are also planned to be clipped to the existing standing seam copper roof to reduce snow accumulation along the monitor rail around the perimeter of the roof.

NOV 14 2017

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Clock Face (West Façade)

- The clock face on the west façade is a fiberglass replica that was installed in the 1990s. The project will remove the clock face for off-site restoration by Bill Evans, who has completed many decorative exterior restorations at Harvard, including the re-gilding of domes. The entire clock face and surround will be removed from the building to allow masonry repairs to proceed. The clock face will be restored in Bill Evans's indoor workshop as follows:
 - The clock face (fiberglass), hands (aluminum) and all relief elements (fiberglass) will be hand sanded and thoroughly cleaned with Sherwin Williams Primer X exterior bonding primer.
 - Apply over blue fiberglass face SW's Pre-Catalyzed Water Borne Epoxy Paint.
 - Prime all elements to be gilded with Rolco Yellow Burnishing Sealer, followed by gilding with 23 Carat Best Patent Double Gold Leaf and burnish all areas after materials have set.
- Pediment, Plinth, Pilasters and Capitals (all wood) will be cleaned, sanded and if needed repair or replace any defective moldings, including pilaster capitals. Any wood to be replaced will be matched with Spanish Cedar, capitals repaired with GFRG Forton MG. All elements to be painted with SW's Resilience Exterior Latex.

Areaways

- The planned renovation project includes the installation of a new building-wide central HVAC system. The new system will require a new areaway for adequate air intake and utilizing existing areaways for exhaust. The proposed new areaway will be located at building foundation at the south elevation of the building and will be generally aligned with existing window wells.

The new areaway will be comprised of a new 7'-8" x 5'-0" opening in the existing stone foundation, in which a new aluminum louver with insulated blank-off panel will be installed, 10" thick concrete retaining walls with concrete slab at the well and a new painted steel grate at the top of the retaining walls. The new wall opening will be supported by four 8-inch painted steel lintels. A quick set parge coat will be applied to saw cut stone surfaces to provide a uniform/smooth line against the existing foundation wall. A liquid applied waterproofing will then be applied over the parge coat surfaces. The liquid applied system will extend a minimum of two feet beyond the new concrete areaway wall. A hydrophilic (swelling) waterstop will be set in the center of the perimeter where the new concrete areaway wall is to be placed.
- Two of the existing areaways will be utilized for new exhaust louvers, one at the southeast corner and one at the northwest corner. The existing wood infill panels at these locations will be removed to restore the openings to their original dimension and new aluminum louvers will be installed. The masonry openings will not be disturbed.
- All other areaways will have existing abandoned mechanical appurtenances removed, and the masonry opening filled with insulated metal panels, painted a color to be determined

in consultation with Commission staff. The two weather hoods over the existing areaways at the south elevation will be removed.

Other Work

- A new fire department connection and electric sprinkler bell will be added at the southeast corner of the east elevation. The exact locations of these devices will be determined in consultation with Commission staff. This work is required for code compliance.
- A new exterior fire alarm beacon will be added adjacent to the main entrance at the east elevation. The exact location of the beacon will be determined in consultation with Commission staff. This work is required for code compliance.
- A bollard-mounted push-button controller will be provided outside the main entrance door to control the power door operator. The button will not be mounted on the building exterior.
- Exterior building-mounted lights will be removed and stored during masonry restoration activities and then reinstalled in their current locations.

Massachusetts Hall – Existing Conditions (*Representative Photos*)

Elevations



East (Yard) Facade



East and North Facades



North Facade



West Facade with clock



South Facade

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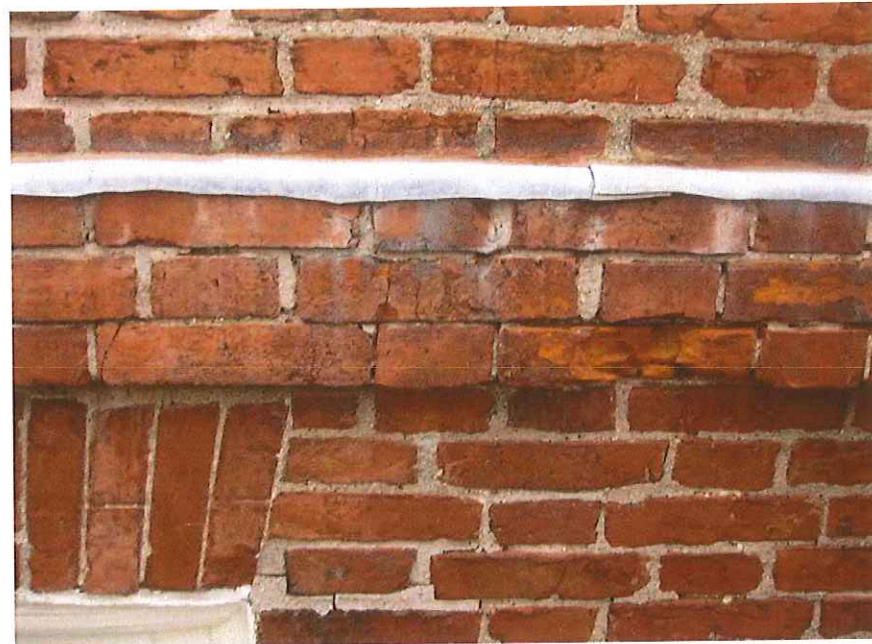
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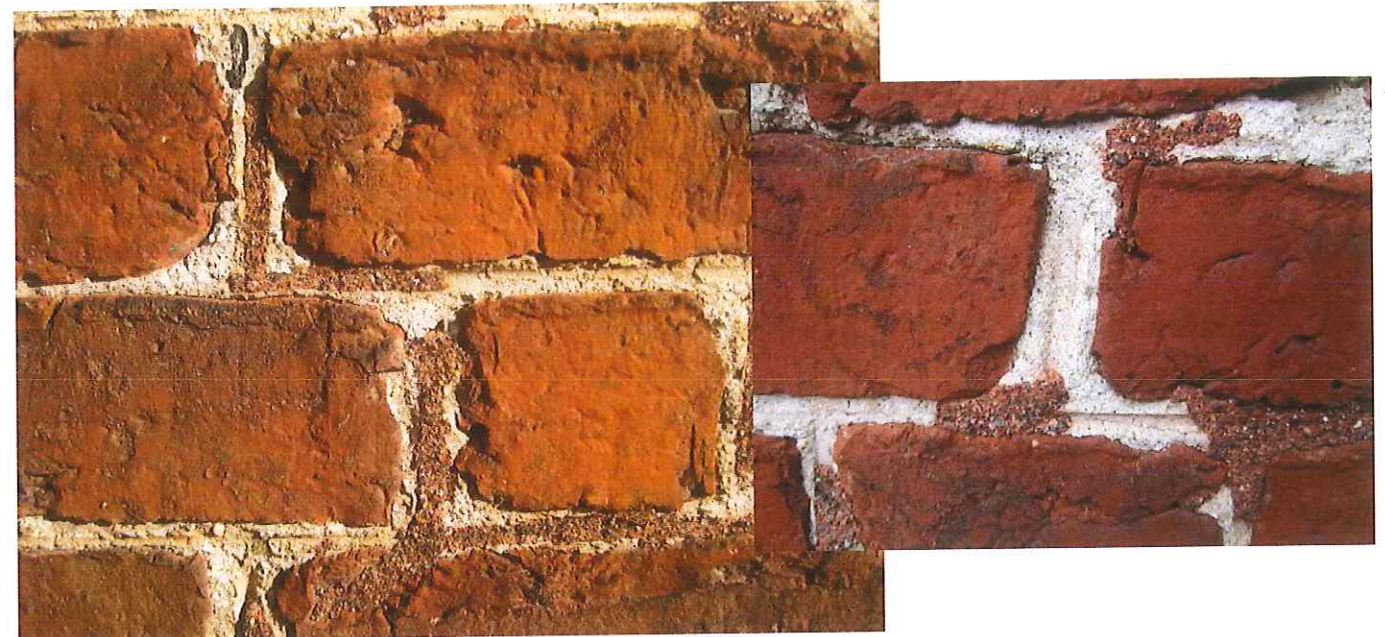
Masonry Conditions



Cracked brick and "hard" cement based mortar

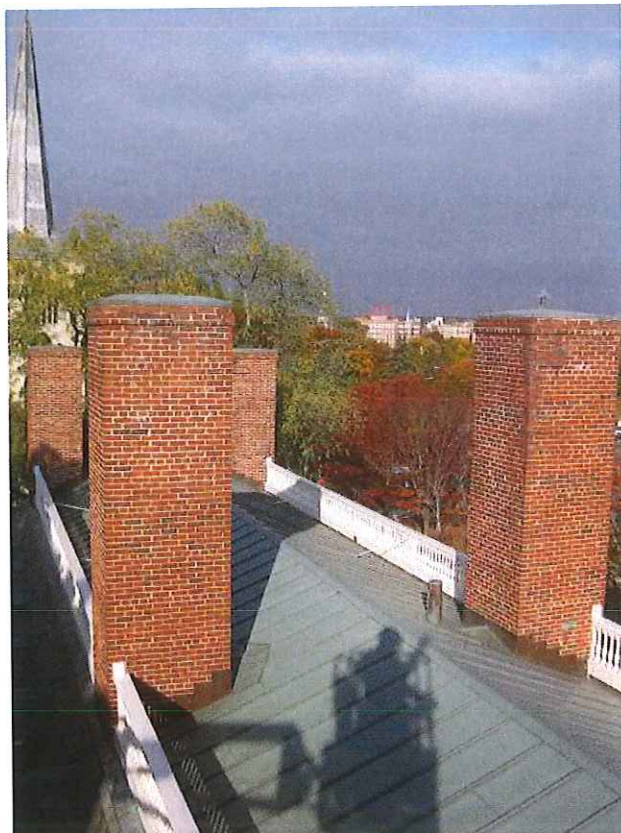


Cracked and spalling brick



Multiple phases of mortar repair, color, materials, and profiles

Chimneys and Roof



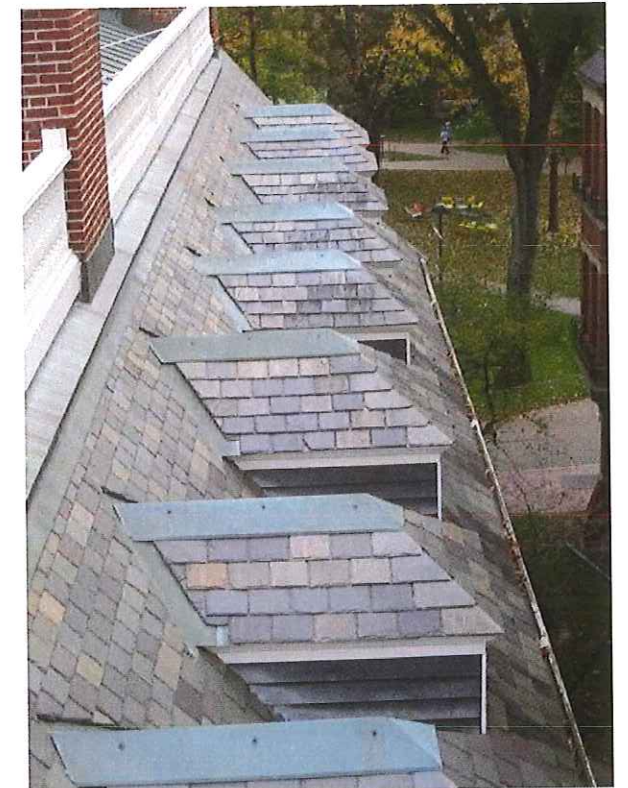
View of chimneys looking west



Deteriorated mortar joints at chimneys



Standing seam copper roof and chimneys



Roof at south elevation, showing slate shingles and copper ridge caps

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Roof

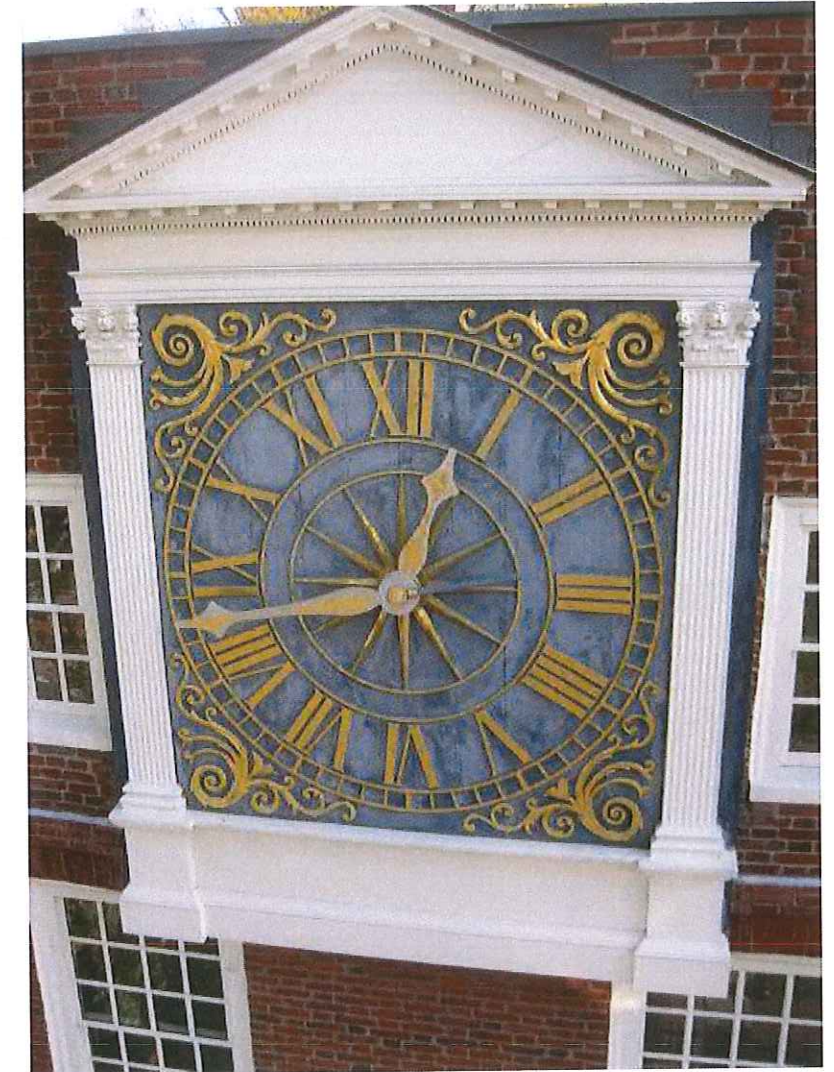


Slate shingles



Slate roof detail showing existing snow guards at south elevation

Clock Face



Clock face detail

Gutters



Existing painted wood gutter and gooseneck



Interior of wood gutter

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HARVARD UNIVERSITY

HARVARD REAL ESTATE
 Smith Campus Center
 75 Mt Auburn Street,
 Cambridge, MA 02138

OWNER'S PROJECT MANAGER:
 **NORTHSTAR** PROJECT & REAL ESTATE SERVICES
 1050 Massachusetts Avenue
 Cambridge, MA 02138

ARCHITECT:
Baker | Wohl
 ARCHITECTS
 133 St. John Street, Boston, MA 02108
 www.bakerwohl.com

CONSTRUCTION MANAGER:
 **SHAWMUT**
 DESIGN AND CONSTRUCTION
 560 Harrison Avenue,
 Boston, MA 02118

ENGINEERS:
LeMessurier
 1100 SOUTH END ROAD
 BOSTON, MA 02135
 617-415-2200
 WWW.LEMESSURIER.COM

ENGINEERS:
 **ESI** Engineered Solutions, Inc.
 6 Union Street
 Needham, MA 02462
 TEL: 617-442-8888 FAX: 617-442-1010
 www.esi.com

ENGINEERS:
JENSEN HUGHES
 100 WASHINGTON ST. 8TH FL
 BOSTON, MA 02109
 PH: 617-452-1100
 www.jensenhughes.com

ENGINEERS:
 **P3i, Incorporated**
 77 Main Street,
 Hopkinton, MA 01748

ENVELOPE CONSULTANTS:
 **GALE** GALE Associates, Inc.
 100 Blue Hills Boulevard, WATZON
 WATZON, MA 02159
 TEL: 617-552-1100
 www.gale.com

REVISION HISTORY:

DATE	ISSUANCE

USE DISCLAIMER:
 CAMBRIDGE HISTORIC COMMISSION PERMIT SET

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PROJECT NAME:
 RENOVATIONS TO MASSACHUSETTS HALL

RELAYING TITLE:
 MASSACHUSETTS HALL SITE PLAN

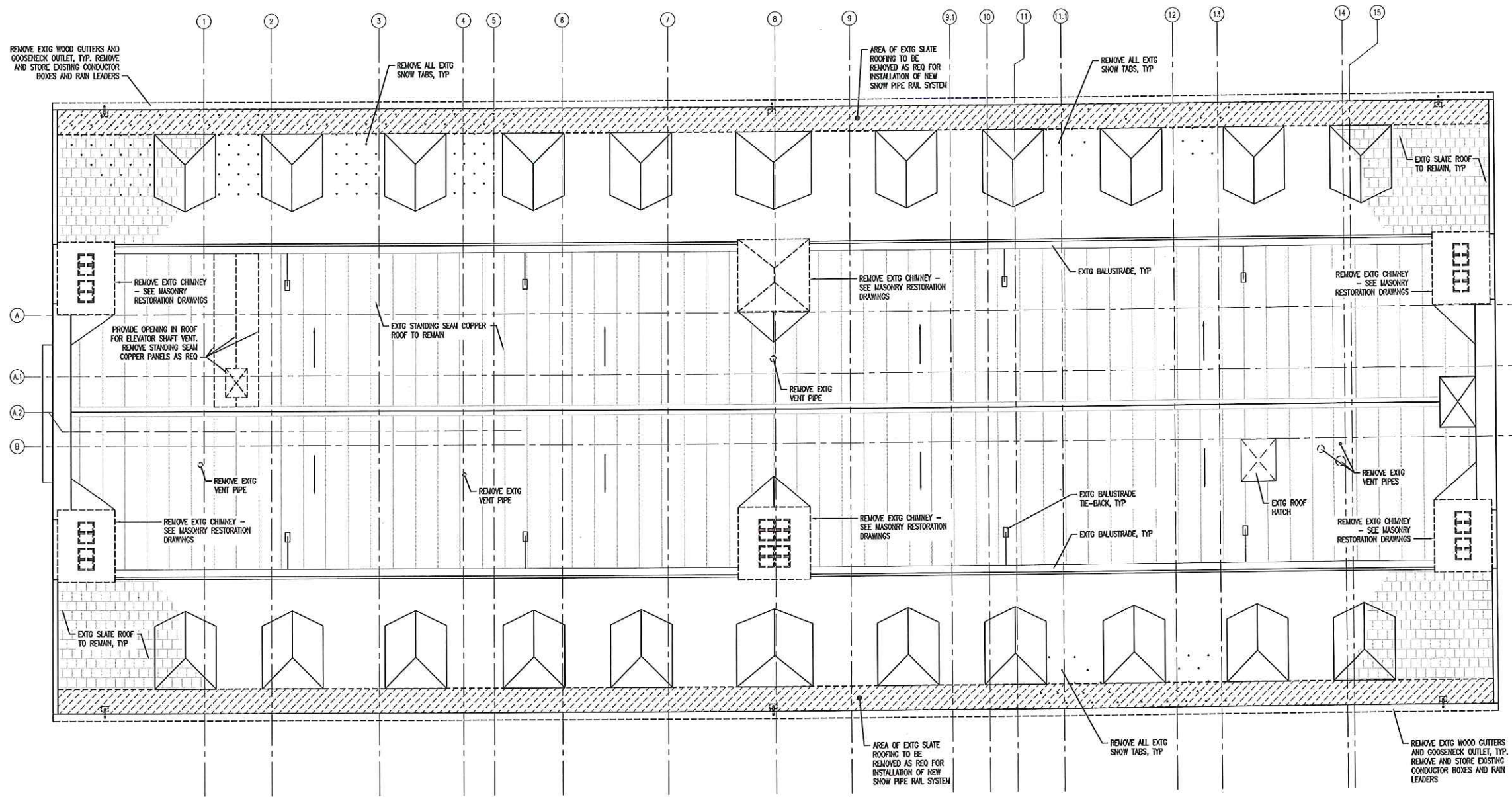
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 RELAYING NUMBER: DATE: NEXT NUMBER:
 A-003 14 NOV 2017

1 MASSACHUSETTS HALL SITE PLAN
 SCALE: 1" = 20'-0"



Nov 14, 2017 - 10:29am - 1713 - A-003 Site Plan.dwg

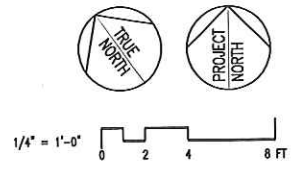
Nov 14, 2017 - 10:33am - 1713 - A-107 Roof Demolition Plan.dwg



1 ROOF DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SHEET NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
2. REMOVE AREAS OF DECAY/DAMAGE TO BARE STRUCTURE. THIS INCLUDES ANY EQUIPMENT, TRIM, CASEWORK, FINISHES, ETC. DO NOT REMOVE EXISTING CONCRETE SURROUND AT STEEL STRUCTURE.
3. COORDINATE DEMOLITION OF ANY EXISTING TO REMAIN PARTITIONS FOR INSTALLATION OF NEW EQUIPMENT WITH ALL MANUFACTURER'S CUT SHEETS, MEP & FP PLANS, AND STRUCTURAL DRAWINGS. PATCH AREAS TO MATCH EXISTING.
4. COORDINATE LOCATIONS OF MECHANICAL DUCT RISERS WITH CONCRETE SLAB RIB LAYOUT. AVOID RISERS IF POSSIBLE.
5. REMOVE AND STORE OFF SITE ALL FIXTURES AND CASEWORK TO BE REINSTALLED.
6. COORDINATE ALL DEMOLITION WITH NEW WORK.
7. PROTECT ADJACENT EXISTING TO REMAIN SURFACES FROM ALL DEMOLITION AND CONSTRUCTION FROM ACTIVITIES.



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Smith Campus Center
75 Mt Auburn Street,
Cambridge, MA 02138

OWNER'S PROJECT MANAGER:
 NORTHSTAR PROJECT & REAL ESTATE SERVICES
1650 Massachusetts Avenue
Cambridge, MA 02138

ARCHITECT:
Baker Wohl ARCHITECTS
133 Lincoln Street, Boston MA 02111
www.bakerwohl.com

CONSTRUCTION MANAGER:
 SHAWMUT DESIGN AND CONSTRUCTION
560 Harrison Avenue,
Boston, MA 02118

ENGINEERS:
LeMessurier
5185 SOUTH BIRD ROAD
SCITUADE, MA 01913
617-815-2219
WWW.LEMESSURIER.COM

ENGINEERS:
ESI Engineered Solutions, Inc.
6 Union Street
Andover, MA 01810
Tel: 978-681-4200 Fax: 978-681-1038
www.esi-usa.com

ENGINEERS:
JENSEN HUGHES
101 WASHINGTON STREET
ROSLINDEN, MA 01968
www.jensenhughes.com

ENGINEERS:
P3I, Incorporated
77 Main Street
Roslindon, MA 01978

ENVIRONMENTAL CONSULTANT:
GALE Gale Associates, Inc.
110 Bay Parkway (Opposite), MA 02138
Tel: 617-552-1100
www.galeinc.com

REVISION HISTORY:

DATE	ISSUANCE

USE INCLUDES:
CAMBRIDGE HISTORIC COMMISSION PERMIT SET

STAMP:
NOV 14 2017

CAMBRIDGE HISTORICAL COMMISSION

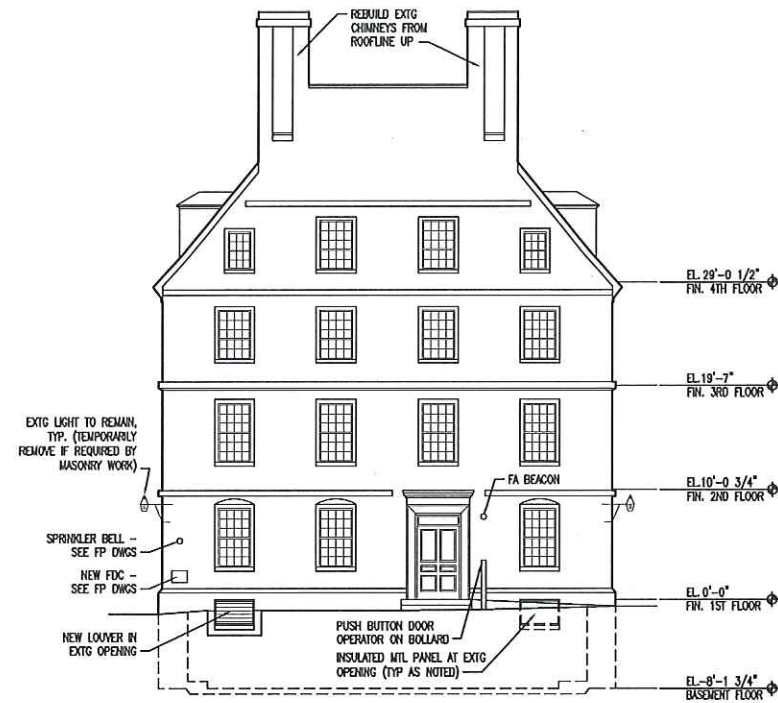
PROJECT NAME:
RENOVATIONS TO MASSACHUSETTS HALL

RELAYING TITLE:
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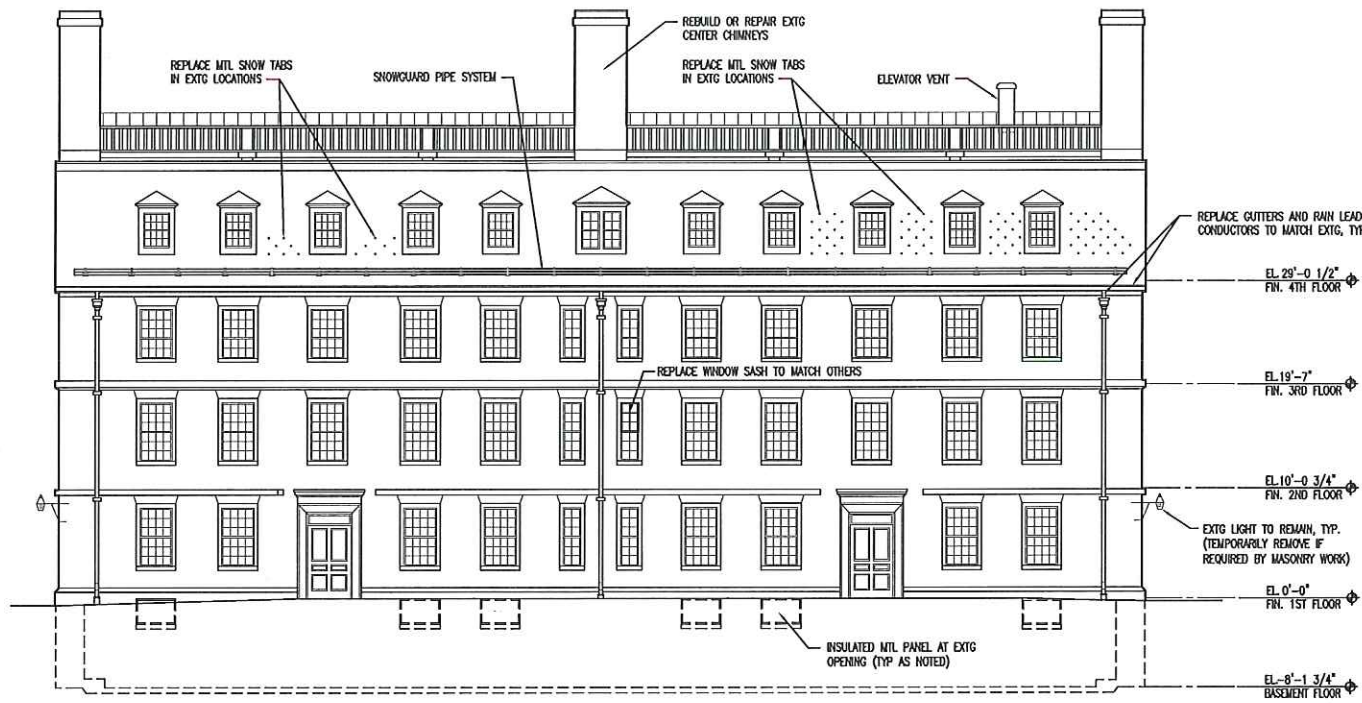
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RELAYING NUMBER: DATE: 14 NOV 2017

SHEET NOTES

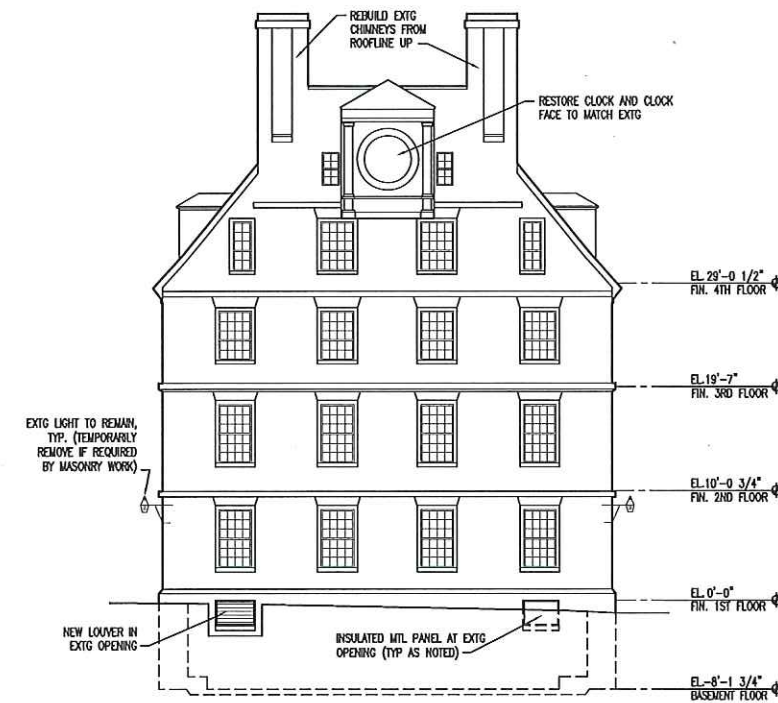
- SEE MASONRY REPAIR ELEVATIONS FOR EXTENT OF REQUIRED MASONRY RESTORATION WORK.



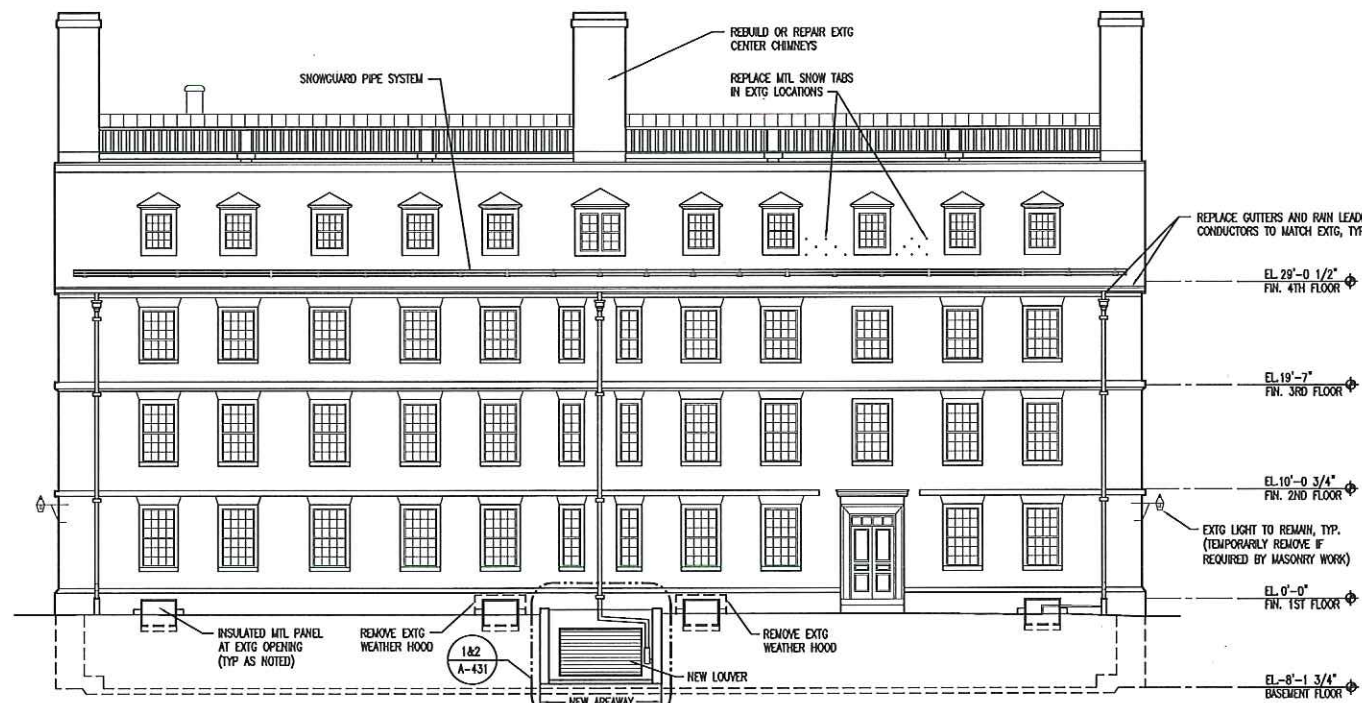
4 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



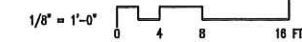
2 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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1000 Massachusetts Avenue
Cambridge, MA 02138

ARCHITECT:
Baker | Wohl
ARCHITECTS
124 Lincoln Street, Boston, MA 02111
617.352.2120
www.bakerwohl.com

CONSTRUCTION MANAGER:
SHAWMUT DESIGN AND CONSTRUCTION
560 Harrison Avenue
Boston, MA 02118

ENGINEER:
LeMessurier
5122 GOLD BRG FLD RD
ROSTON, MA 02473
617.684.6210
WWW.LEMESSURIER.COM

ENGINEER:
ESI Engineered Solutions, Inc.
4 Union Street
Roslindale, MA 02119
F.01518142000 P.01518142000
www.esi-engineers.com

ENGINEER:
JENSEN HUGHES
80 WASHINGTON ST/RT 1A
ROSLINDALE, MA 02119
617.688.1100
www.jensenhughes.com

ENGINEER:
P3I, Incorporated
77 Main Street
Roslindale, MA 02118

ENVIRONMENTAL CONSULTANT:
GALE Gale Associates, Inc.
100 Park Street, Roslindale, MA 02119
F.617.688.1100 P.617.688.1100
www.galeinc.com

ENGINEER:

REVISION HISTORY:

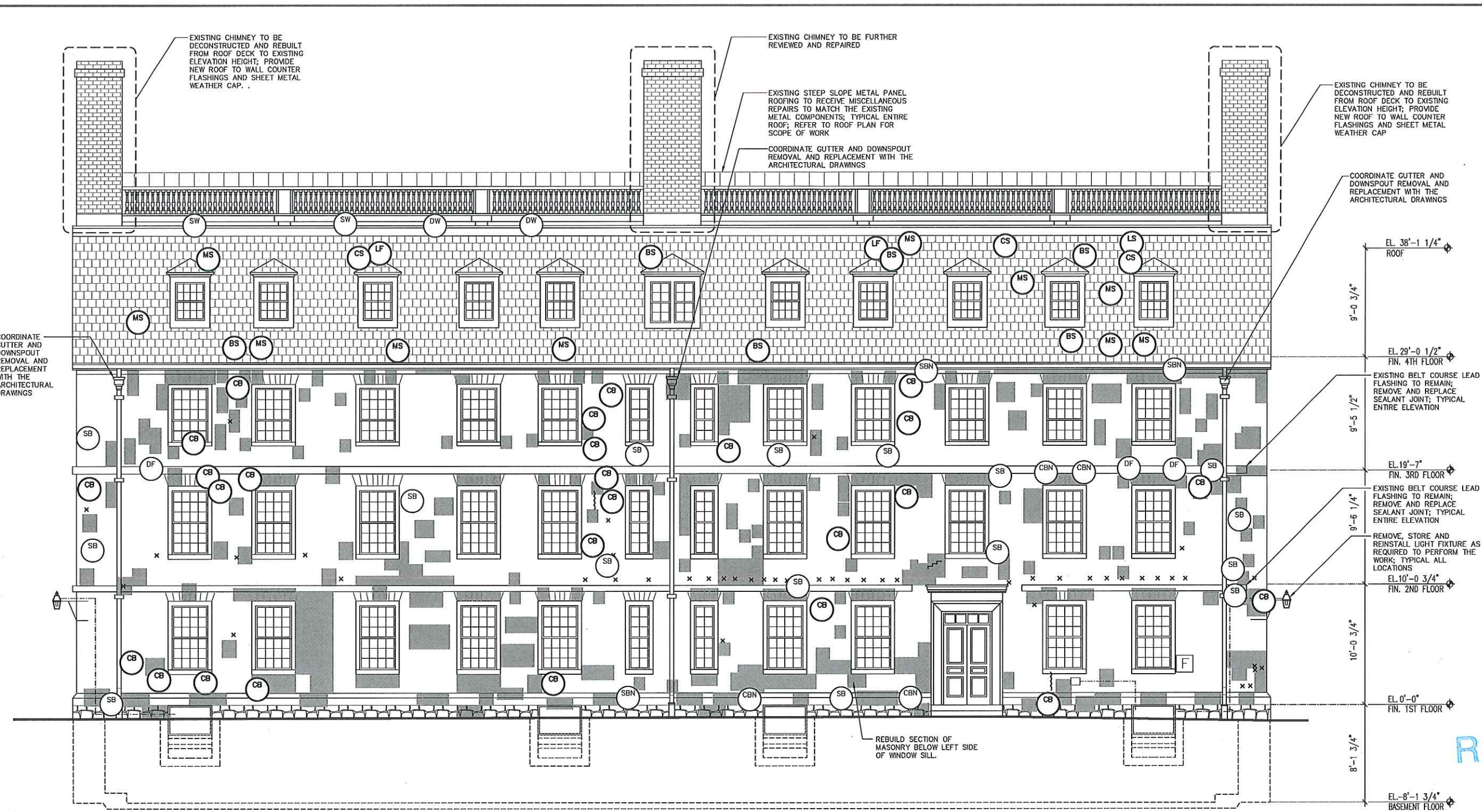
DATE	ISSUANCE

USE ENCLOSURES:
CAMBRIDGE HISTORIC COMMISSION PERMIT SET.
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PROJECT NAME:
RENOVATIONS TO MASSACHUSETTS HALL

DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

CAD FILE NAME	A-201.DWG
DRAWING SCALE	1/8" = 1'-0"
DRAWING NUMBER	A-201
DATE	14 NOV 2017
REVISION NUMBER	



DEFECT LEGEND	
	DETERIORATED MORTAR TO BE REPOINTED
	CRACKED BRICK TO BE REMOVED AND REPLACED
	CRACKED BULLNOSE BRICK TO BE REMOVED AND REPLACED
	SPALLED BRICK TO BE REMOVED AND REPLACED
	SPALLED BULLNOSE BRICK TO BE REMOVED AND REPLACED
	ANCHOR PENETRATION/ABANDONED ANCHOR; REMOVE AND REPLACE DAMAGED BRICK MASONRY UNIT
	STEP CRACK TO BE REPAIRED (TO SCALE)
	BROKEN SLATE TO BE REPLACED
	CRACKED SLATE TO BE REPLACED
	LOOSE SLATE TO BE REPLACED
	MISSING SLATE; INSTALL NEW UNIT TO MATCH THE EXISTING
	LOOSE/BACKED OUT FASTENER; CAP FLASHING TO BE RESECURED
	SPLIT WOOD TO BE REMOVED AND REPLACE
	DETERIORATED WOOD TO BE REMOVED AND REPLACED
	DAMAGED FLASHING TO BE REPAIRED.

- ### ELEVATION NOTES
- MASSACHUSETTS HALL IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND AS A NATIONAL HISTORIC LANDMARK. ALL EXTERIOR ENVELOPE RELATED WORK SHALL BE IN COMPLIANCE WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION OF HISTORIC STRUCTURES AND IS SUBJECT TO REVIEW AND APPROVAL BY THE CAMBRIDGE HISTORIC COMMISSION.
 - EVERY EFFORT SHALL BE USED TO MATCH THE EXISTING BUILDING FABRIC AS CLOSELY AS POSSIBLE WHEN PERFORMING THE REHABILITATION WORK. SAMPLE APPROVAL AND MOCK UPS WILL BE REQUIRED FOR ALL ASPECTS OF THE WORK INCLUDING, BUT NOT LIMITED TO MASONRY, MORTAR, SHEET METAL, AND FINISHES. MOCK UPS SHALL BE INSTALLED UNTIL ACCEPTABLE RESULTS ARE REACHED AND APPROVAL FROM THE ENGINEER, HARVARD AND CAMBRIDGE HISTORIC COMMISSION IS PROVIDED.
 - CUSTOM BRICK MASONRY AND MORTAR ANALYSIS FOR MATCHING WILL BE REQUIRED.
 - THE CONTRACTOR SHALL SALVAGE EXISTING BRICK MASONRY WHERE PRACTICAL FOR REUSE DURING THE RENOVATIONS. BRICK MASONRY SHALL BE REMOVED, STORED, CLEANED, AND INSPECTED PRIOR TO THE REINSTALLATION. REPLACEMENT MASONRY UNITS ARE SUBJECT TO REVIEW AND APPROVAL.
 - THE MASONRY IS DESIGNATED FOR 100% CLEANING TO REMOVE ATMOSPHERIC STAINING. IT IS THE INTENT TO USE THE GENTLEST CLEANING METHODS POSSIBLE. EXTENSIVE CLEANING MOCK UPS WILL BE REQUIRED TO DETERMINE APPROPRIATE CLEANING MEANS AND METHODS.
 - THE EXISTING CLOCK FACE AND ORIGINAL WOOD BACKING IS INTENDED TO BE REMOVED, STORED, AND REINSTALLED AS TO ALLOW THE EXTERIOR MASONRY WALL BEHIND THE CLOCK TO BE REPAIRED. REPAIRS OF THE MASONRY SHALL INCLUDE REPOINTING, REPLACEMENT OF DETERIORATED BRICK MASONRY UNITS AND POTENTIAL REBUILDING. THE FULL SCOPE OF THE WORK WILL BE ESTABLISHED ONCE THE CLOCK IS REMOVED.
 - THE EXISTING FIBERGLASS CLOCK FACE, RESIN HANDS, TERRA COTTA CAPITALS, WOOD PEDIMENT, BASE, COLUMNS AND TRIM SHALL BE REFURBISHED PRIOR TO REINSTALLATION. REPAIRS TO THE ORIGINAL CLOCK WOOD BACKING SHALL BE DETERMINED ONCE IT IS REMOVED FROM THE WALL. THE WROUGHT IRON ANCHORS USED TO SECURE THE WOOD BACKING TO THE MASONRY SHALL BE REFURBISHED AND REUSED IN THE REATTACHMENT OF THE CLOCK.
 - IT IS THE INTENT OF THE PROJECT TO ONLY REPOINT SELECT AREAS OF MORTAR JOINTS. MORTAR JOINTS DESIGNATED FOR REPOINTING ARE AS FOLLOWS: WHERE MORTAR EROSION IS GREATER THAN 3/8"; WHERE JOINTS ARE COMPROMISED ALLOWING POTENTIAL WATER INFILTRATION TO OCCUR VIA MORTAR JOINTS, AND WHERE ANCHORS ARE SET IN MORTAR AND REQUIRE REMOVAL. THESE AREAS ARE INDICATED ON THE ELEVATION DRAWINGS.

- ### EXISTING SOUTH ELEVATION
- SCALE: 1/4" = 1'-0"
- #### GENERAL NOTES
- THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
 - HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED A MEANS FOR QUANTIFYING.
 - THE BRICK MASONRY AND DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK, BUT SHOW THE GENERAL LOCATION OF AREAS TO BE ADDRESSED.
 - THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. CONFIRMATION OF ALL DEFECT LOCATIONS, AND MATERIAL TYPES WILL BE REQUIRED PRIOR TO THE SUBMISSION OF CONSTRUCTION DOCUMENTS.

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NORTHSTAR
 NORTHSTAR PROJECT & REAL ESTATE SERVICES
 1050 Massachusetts Avenue
 CAMBRIDGE, MA 02138

ARCHITECT:
Baker | Wohl
 ARCHITECTS
 131 Elm Street, Boston, MA 02111
 www.baker-wohl.com

CONTRACTOR:

SHAWMUT
 DESIGN AND CONSTRUCTION
 690 Harrison Avenue,
 BOSTON, MA 02118

ENGINEER:

ESJ
 Engineered Solutions, Inc.
 8 Union Street, 01103
 BOSTON, MA 02118

ENGINEER:

JENSEN-HUGHES
 77 Main Street
 WINTHROP, MA 01890

ENGINEER:

P3I, Incorporated
 77 Main Street
 WINTHROP, MA 01890

ENVELOPE CONSULTANT:

GALE
 145 Liberty Parkway, Boston, MA 02118
 www.gale.com

ENGINEER:

ENGINEER:

REVISION HISTORY:

DATE: ISSUANCE:

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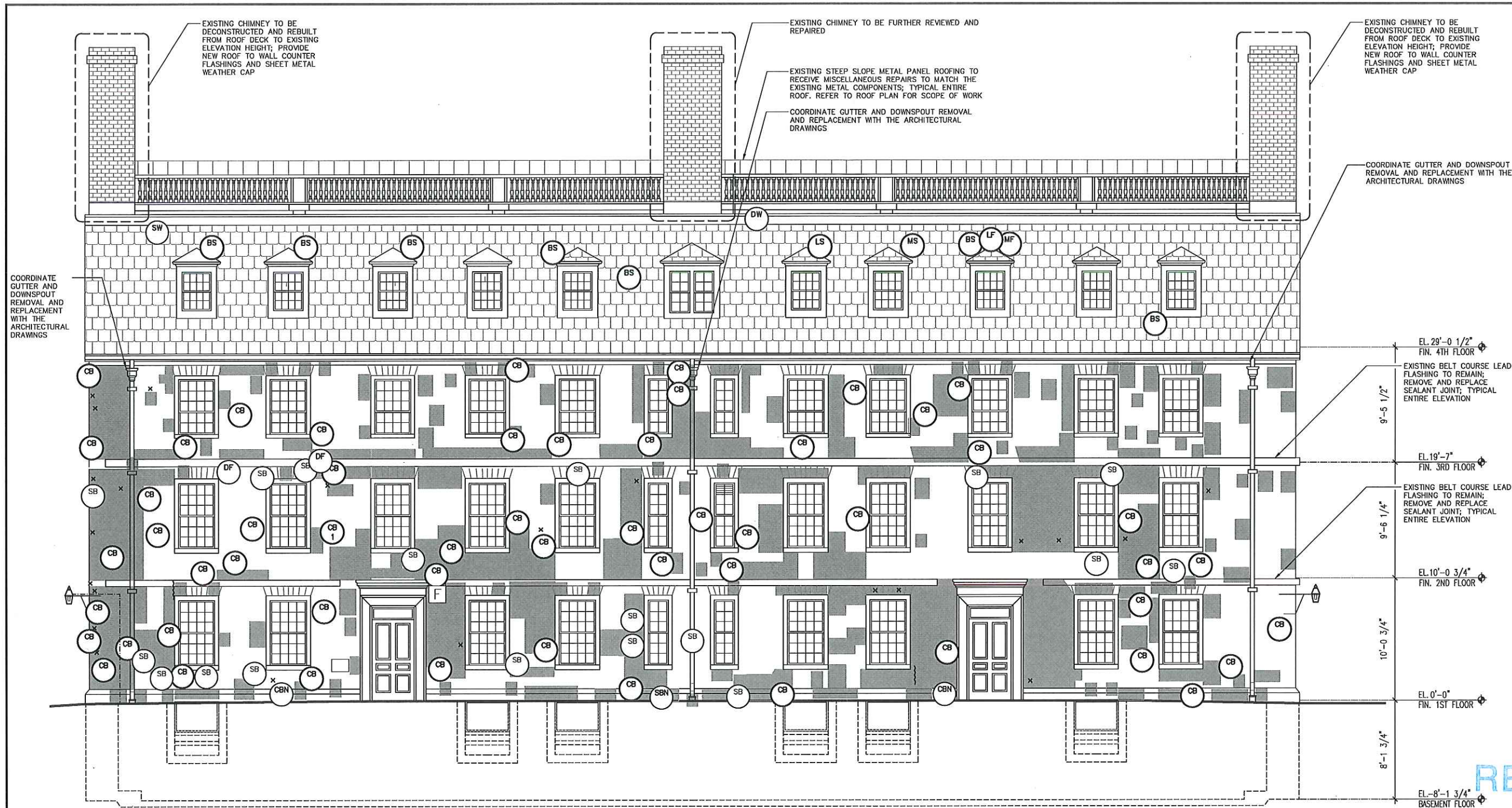
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CAMBRIDGE HISTORIC COMMISSION

PROJECT NAME:
RENOVATIONS TO MASSACHUSETTS HALL

EXISTING SOUTH EXTERIOR ELEVATION

DATE: 10 NOV 2017

CD FILE NAME: 825981 A202.DWG
 DRAWING SCALE: 1/4" = 1'-0"
 DRAWING NUMBER: DATE: REVISION NUMBER:
 A-202 10 NOV 2017



DEFECT LEGEND

	DETERIORATED MORTAR TO BE REPOINTED		BROKEN SLATE TO BE REPLACED
	CRACKED BRICK TO BE REMOVED AND REPLACED		LOOSE SLATE TO BE REPLACED
	CRACKED BULLNOSE BRICK TO BE REMOVED AND REPLACED		MISSING FASTENER; SLATE TO BE RESECURED
	SPALLED BRICK TO BE REMOVED AND REPLACED		MISSING SLATE; INSTALL NEW UNIT TO MATCH THE EXISTING
	SPALLED BULLNOSE BRICK TO BE REMOVED AND REPLACED		LOOSE/BACKED OUT FASTENER; CAP FLASHING TO BE RESECURED
	ANCHOR PENETRATION/ABANDONED ANCHOR; REMOVE AND REPLACE DAMAGED BRICK MASONRY UNIT		SPLIT WOOD TO BE REMOVED AND REPLACE
	STEP CRACK TO BE REPAIRED (TO SCALE)		DETERIORATED WOOD TO BE REMOVED AND REPLACED
			DAMAGED FLASHING TO BE REPAIRED.

ELEVATION NOTES

- MASSACHUSETTS HALL IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND AS A NATIONAL HISTORIC LANDMARK. ALL EXTERIOR ENVELOPE RELATED WORK SHALL BE IN COMPLIANCE WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION OF HISTORIC STRUCTURES AND IS SUBJECT TO REVIEW AND APPROVAL BY THE CAMBRIDGE HISTORIC COMMISSION.
- EVERY EFFORT SHALL BE USED TO MATCH THE EXISTING BUILDING FABRIC AS CLOSELY AS POSSIBLE WHEN PERFORMING THE REHABILITATION WORK. SAMPLE APPROVAL AND MOCK UPS WILL BE REQUIRED FOR ALL ASPECTS OF THE WORK INCLUDING, BUT NOT LIMITED TO MASONRY, MORTAR, SHEET METAL, AND FINISHES. MOCK UPS SHALL BE INSTALLED UNTIL ACCEPTABLE RESULTS ARE REACHED AND APPROVAL FROM THE ENGINEER, HARVARD AND CAMBRIDGE HISTORIC COMMISSION IS PROVIDED.
- CUSTOM BRICK MASONRY AND MORTAR ANALYSIS FOR MATCHING WILL BE REQUIRED.
- THE CONTRACTOR SHALL SALVAGE EXISTING BRICK MASONRY WHERE PRACTICAL FOR REUSE DURING THE RENOVATIONS. BRICK MASONRY SHALL BE REMOVED, STORED, CLEANED, AND INSPECTED PRIOR TO THE REINSTALLATION. REPLACEMENT MASONRY UNITS ARE SUBJECT TO REVIEW AND APPROVAL.
- THE MASONRY IS DESIGNATED FOR 100% CLEANING TO REMOVE ATMOSPHERIC STAINING. IT IS THE INTENT TO USE THE GENTLEST CLEANING METHODS POSSIBLE. EXTENSIVE CLEANING MOCK UPS WILL BE REQUIRED TO DETERMINE APPROPRIATE CLEANING MEANS AND METHODS.
- THE EXISTING CLOCK FACE AND ORIGINAL WOOD BACKING IS INTENDED TO BE REMOVED, STORED, AND REINSTALLED AS TO ALLOW THE EXTERIOR MASONRY WALL BEHIND THE CLOCK TO BE REPAIRED. REPAIRS OF THE MASONRY SHALL INCLUDE REPOINTING, REPLACEMENT OF DETERIORATED BRICK MASONRY UNITS AND POTENTIAL REBUILDING. THE FULL SCOPE OF THE WORK WILL BE ESTABLISHED ONCE THE CLOCK IS REMOVED.
- THE EXISTING FIBERGLASS CLOCK FACE, RESIN HANDS, TERRA COTTA CAPITALS, WOOD PEDIMENT, BASE, COLUMNS AND TRIM SHALL BE REFURBISHED PRIOR TO REINSTALLATION. REPAIRS TO THE ORIGINAL CLOCK WOOD BACKING SHALL BE DETERMINED ONCE IT IS REMOVED FROM THE WALL. THE WROUGHT IRON ANCHORS USED TO SECURE THE WOOD BACKING TO THE MASONRY SHALL BE REFURBISHED AND REUSED IN THE REATTACHMENT OF THE CLOCK.
- IT IS THE INTENT OF THE PROJECT TO ONLY REPOINT SELECT AREAS OF MORTAR JOINTS. MORTAR JOINTS DESIGNATED FOR REPOINTING ARE AS FOLLOWS; WHERE MORTAR EROSION IS GREATER THAN 3/8", WHERE JOINTS ARE COMPROMISED ALLOWING POTENTIAL WATER INFILTRATION TO OCCUR VIA MORTAR JOINTS, AND WHERE ANCHORS ARE SET IN MORTAR AND REQUIRE REMOVAL. THESE AREAS ARE INDICATED ON THE ELEVATION DRAWINGS.

EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
- HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED A MEANS FOR QUANTIFYING.
- THE BRICK MASONRY AND DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK, BUT SHOW THE GENERAL LOCATION OF AREAS TO BE ADDRESSED.
- THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. CONFIRMATION OF ALL DEFECT LOCATIONS, AND MATERIAL TYPES WILL BE REQUIRED PRIOR TO THE SUBMISSION OF CONSTRUCTION DOCUMENTS.

HARVARD UNIVERSITY



HARVARD REAL ESTATE
Smith Campus Center
75 Mt Auburn Street,
Cambridge, MA 02138

OWNER'S PROJECT MANAGER:

NORTHSTAR PROJECTS & REAL ESTATE SERVICES
150 Massachusetts Avenue
CAMBRIDGE, MA 02138

ARCHITECT:
Baker | Wohl
ARCHITECTS
133 Heath Street, Boston, MA 02111
www.bakerwohl.com

CONTRACTOR:
SHAWMUT DESIGN AND CONSTRUCTION
500 Harrison Avenue,
BOSTON, MA 02118

ENGINEER:
ESI Engineered Solutions, Inc.
4 Union Street, 02108
1-800-451-7222
www.esi-engineers.com

ENGINEER:
JENSEN HUGHES

ENGINEER:
P31, Incorporated
77 Main Street,
ROXBURY, MA 02119

ENVIRONMENTAL CONSULTANT:
GALE Group Associates, Inc.
1111 Broadway, 02108
617-552-1100
www.galeinc.com

REVISION HISTORY:

DATE	ISSUANCE

FOR RECORD:
CAMBRIDGE HISTORIC
COMMISSION
PERMIT SET

STAMP:

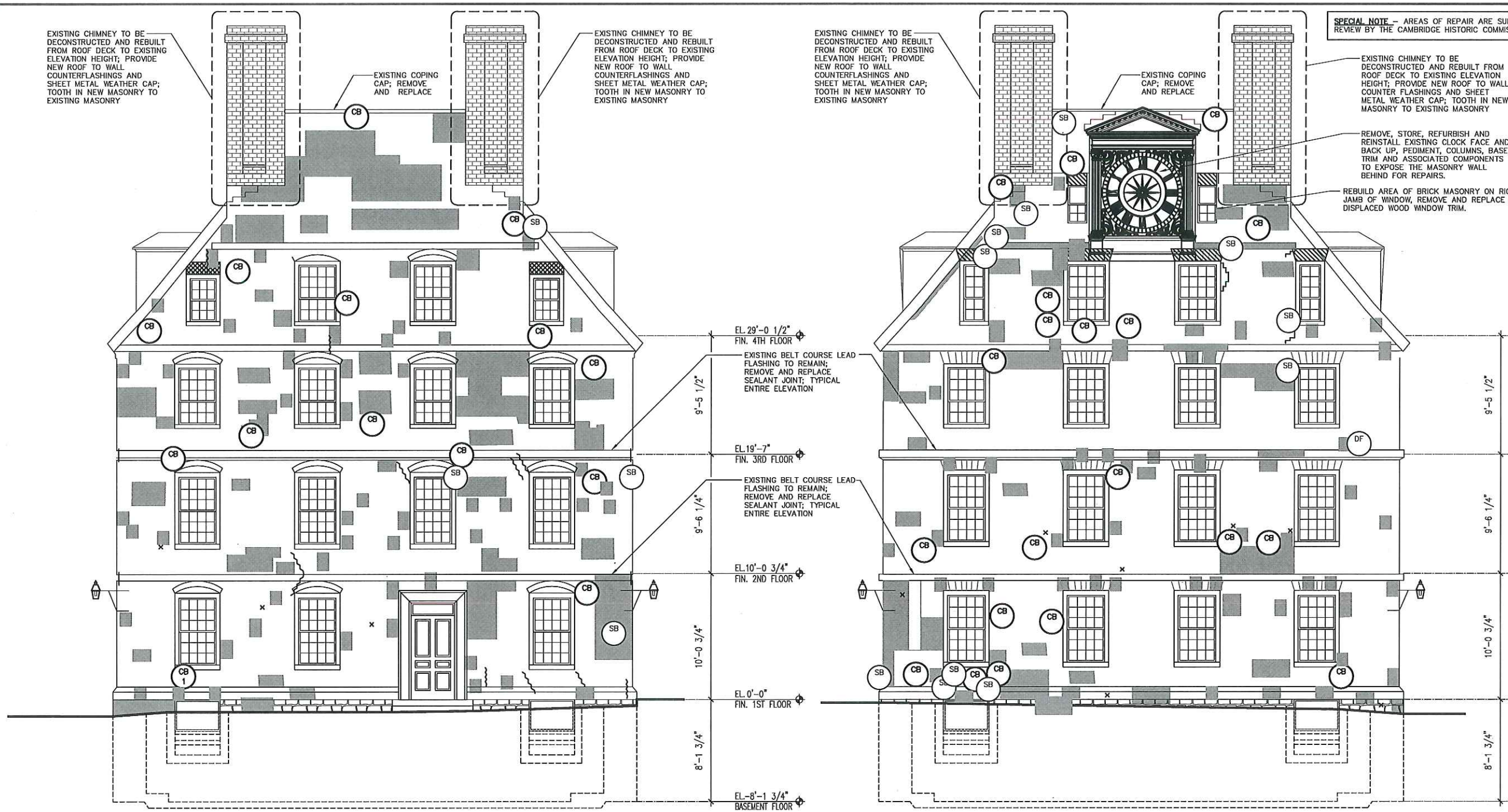
NOV 14 2017

CAMBRIDGE HISTORICAL COMMISSION

PROJECT NAME:
**RENOVATIONS TO
MASSACHUSETTS
HALL**

SHEET TITLE:
**EXISTING NORTH
EXTERIOR ELEVATION**

CDP FILE NAME: 825981 A203.DWG
DRAWING SCALE: 1/4" = 1'-0"
DRAWING NUMBER: A-203
DATE: 10 NOV 2017
SHEET NUMBER:



SPECIAL NOTE - AREAS OF REPAIR ARE SUBJECT TO REVIEW BY THE CAMBRIDGE HISTORIC COMMISSION

EXISTING CHIMNEY TO BE DECONSTRUCTED AND REBUILT FROM ROOF DECK TO EXISTING ELEVATION HEIGHT; PROVIDE NEW ROOF TO WALL COUNTERFLASHINGS AND SHEET METAL WEATHER CAP; TOOTH IN NEW MASONRY TO EXISTING MASONRY

EXISTING COPING CAP; REMOVE AND REPLACE

EXISTING CHIMNEY TO BE DECONSTRUCTED AND REBUILT FROM ROOF DECK TO EXISTING ELEVATION HEIGHT; PROVIDE NEW ROOF TO WALL COUNTERFLASHINGS AND SHEET METAL WEATHER CAP; TOOTH IN NEW MASONRY TO EXISTING MASONRY

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EXISTING COPING CAP; REMOVE AND REPLACE

EXISTING CHIMNEY TO BE DECONSTRUCTED AND REBUILT FROM ROOF DECK TO EXISTING ELEVATION HEIGHT; PROVIDE NEW ROOF TO WALL COUNTER FLASHINGS AND SHEET METAL WEATHER CAP; TOOTH IN NEW MASONRY TO EXISTING MASONRY

REMOVE, STORE, REFURBISH AND REINSTALL EXISTING CLOCK FACE AND BACK UP, PEDIMENT, COLUMNS, BASE, TRIM AND ASSOCIATED COMPONENTS TO EXPOSE THE MASONRY WALL BEHIND FOR REPAIRS.

REBUILD AREA OF BRICK MASONRY ON RIGHT JAMB OF WINDOW, REMOVE AND REPLACE DISPLACED WOOD WINDOW TRIM.

1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

2 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

DEFECT LEGEND	
	DETERIORATED MORTAR TO BE REPOINTED
	REMOVE AND REPLACE BRICK MASONRY TO INSTALL NEW LINTELS AND FLASHING
	CRACKED BRICK TO BE REMOVED AND REPLACED
	SPALLED BRICK TO BE REMOVED AND REPLACED
	ANCHOR PENETRATION/ABANDONED ANCHOR; REMOVE AND REPLACE DAMAGED BRICK MASONRY UNIT
	STEP CRACK TO BE REPAIRED (TO SCALE)
	REMOVE AND REPLACE BRICK MASONRY TO INSTALL NEW FLASHING

- ELEVATION NOTES**
- MASSACHUSETTS HALL IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND AS A NATIONAL HISTORIC LANDMARK. ALL EXTERIOR ENVELOPE RELATED WORK SHALL BE IN COMPLIANCE WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION OF HISTORIC STRUCTURES AND IS SUBJECT TO REVIEW AND APPROVAL BY THE CAMBRIDGE HISTORIC COMMISSION.
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 - CUSTOM BRICK MASONRY AND MORTAR ANALYSIS FOR MATCHING WILL BE REQUIRED.
 - THE CONTRACTOR SHALL SALVAGE EXISTING BRICK MASONRY WHERE PRACTICAL FOR REUSE DURING THE RENOVATIONS. BRICK MASONRY SHALL BE REMOVED, STORED, CLEANED, AND INSPECTED PRIOR TO THE REINSTALLATION. REPLACEMENT MASONRY UNITS ARE SUBJECT TO REVIEW AND APPROVAL.
 - THE MASONRY IS DESIGNATED FOR 100% CLEANING TO REMOVE ATMOSPHERIC STAINING. IT IS THE INTENT TO USE THE GENTLEST CLEANING METHODS POSSIBLE. EXTENSIVE CLEANING MOCK UPS WILL BE REQUIRED TO DETERMINE APPROPRIATE CLEANING MEANS AND METHODS.
 - THE EXISTING CLOCK FACE IS INTENDED TO BE REMOVED, STORED, AND REINSTALLED AS TO ALLOW THE EXTERIOR MASONRY WALL BEHIND THE CLOCK TO BE REPAIRED. THE ORIGINAL WOOD BACKING IS INTENDED TO BE REMOVED AND REPLACED. REPAIRS OF THE MASONRY SHALL INCLUDE REPOINTING, REPLACEMENT OF DETERIORATED BRICK MASONRY UNITS AND POTENTIAL REBUILDING. THE FULL SCOPE OF THE WORK WILL BE ESTABLISHED ONCE THE CLOCK IS REMOVED.
 - THE EXISTING FIBERGLASS CLOCK FACE, RESIN HANDS, TERRA COTTA CAPITALS, BASE, COLUMNS AND TRIM SHALL BE REFURBISHED PRIOR TO REINSTALLATION. THE WROUGHT IRON ANCHORS USED TO SECURE THE WOOD BACKING TO THE MASONRY SHALL BE REFURBISHED AND REUSED IN THE REATTACHMENT OF THE CLOCK.
 - IT IS THE INTENT OF THE PROJECT TO ONLY REPOINT SELECT AREAS OF MORTAR JOINTS. MORTAR JOINTS DESIGNATED FOR REPOINTING ARE AS FOLLOWS; WHERE MORTAR EROSION IS GREATER THAN 3/8"; WHERE JOINTS ARE COMPROMISED ALLOWING POTENTIAL WATER INFILTRATION TO OCCUR VIA MORTAR JOINTS, AND WHERE ANCHORS ARE SET IN MORTAR AND REQUIRE REMOVAL. THESE AREAS ARE INDICATED ON THE ELEVATION DRAWINGS.

- GENERAL NOTES**
- THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
 - HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS MEANS FOR QUANTIFYING.
 - THE BRICK MASONRY AND DEFECTS NOTED INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK, BUT SHOW THE GENERAL LOCATION OF AREAS TO BE ADDRESSED.
 - THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. CONFIRMATION OF ALL DEFECT LOCATIONS, AND MATERIAL TYPES WILL BE REQUIRED PRIOR TO THE SUBMISSION OF CONSTRUCTION DOCUMENTS.

HARVARD UNIVERSITY

HARVARD REAL ESTATE
Smith Campus Center
75 Mt Auburn Street,
Cambridge, MA 02138

OWNER'S PROJECT MANAGERS:
 NORTHSTAR PROJECT & REAL ESTATE SERVICES
1050 Massachusetts Avenue
CAMBRIDGE, MA 02138

ARCHITECT:
Baker | Wohl
ARCHITECTS
133 South Street, Boston MA 02111
www.bakerwohl.com

CONTRACTOR:
 SHAWMUT DESIGN AND CONSTRUCTION
500 Harrison Avenue,
BOSTON, MA 02118

ENGINEERS:
 Engineered Solutions, Inc.
6 Union Street, Boston, MA 02108
www.esi-engineers.com

ENGINEERS:
 JENSEN HUGHES
100 State Street, Boston, MA 02109

ENGINEERS:
 P3i, Incorporated
77 Main Street,
ROXBURY, MA 02119

ENVELOPE CONSULTANT:
 GALE
111 Liberty Avenue, Boston, MA 02118
www.gale.com

ENGINEERS:

ENGINEERS:

REVISION HISTORY:

DATE	REVISION

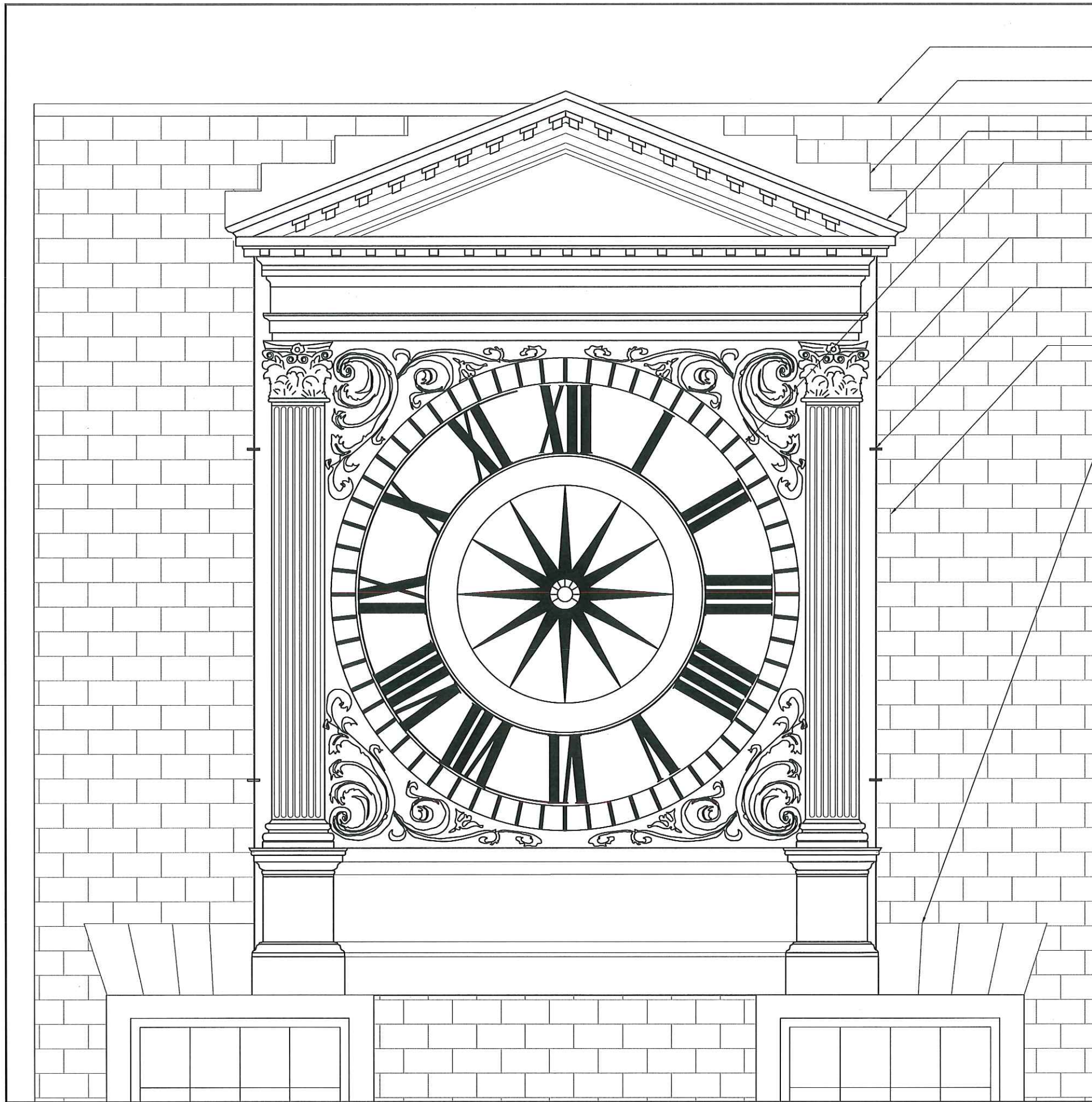
PERMITS:
CAMBRIDGE HISTORIC COMMISSION
REVIEWED
PERMIT SET

DATE:
NOV 14 2017

PROJECT NAME:
RENOVATIONS TO MASSACHUSETTS HALL

DRAWING TITLE:
EXISTING EAST & WEST EXTERIOR ELEVATION

CDR FILE NAME:	825981 A204 and A205.DWG
DRAWING SCALE:	1/4" = 1'-0"
DRAWING NUMBER:	A-204
DATE:	10 NOV 2017



- EXISTING COPPER PARAPET CAP; REMOVE AND REPLACE
- REMOVE AND REPLACE COPPER REGLET STEP FLASHINGS, PROVIDE BLIND NAILERS AT ALL VERTICAL TRANSITIONS
- PROVIDE NEW COPPER PEDIMENT CAP UPON REINSTALLATION OF THE CLOCK
- REMOVE, STORE, AND REINSTALL CLOCK FACE AND ALL ASSOCIATED COMPONENTS; (BASE, COLUMNS, TRIM, TERRA COTTA CAPITALS). ALL MATERIALS ARE DESIGNATED FOR REFURBISHMENT PRIOR TO REINSTALLATION
- REMOVE AND REPLACE ORIGINAL WOOD CLOCK BACKING
- REMOVE, STORE AND REINSTALL WROUGHT IRON ANCHORS. REFURBISH ANCHORS PRIOR TO REINSTALLATION (TWO ANCHORS PER SIDE OF THE CLOCK)
- REPAIR MASONRY CONCEALED BY THE CLOCK PRIOR TO REINSTALLATION OF THE CLOCK COMPONENTS; REPAIR SCOPE SHALL INCLUDE REPOINTING, REPLACEMENT OF DETERIORATED BRICK MASONRY AND REBUILDING. FINAL SCOPE TO BE DETERMINED UPON EXPOSURE OF THE WALL AFTER THE CLOCK IS REMOVED
- PERFORM ALL LINTEL AND FLASHING WORK AT THE THIRD FLOOR WINDOWS BELOW PRIOR TO REINSTALLATION OF CLOCK. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.

SPECIAL NOTE - AREAS OF REPAIR ARE SUBJECT TO REVIEW BY THE CAMBRIDGE HISTORIC COMMISSION

- GENERAL NOTES**
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 2. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
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 4. THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. CONFIRMATION OF ALL DEFECT LOCATIONS, AND MATERIAL TYPES WILL BE REQUIRED PRIOR TO THE SUBMISSION OF CONSTRUCTION DOCUMENTS.

HARVARD UNIVERSITY



HARVARD REAL ESTATE
Smith Campus Center
75 Mt Auburn Street,
Cambridge, MA 02138

OWNER'S PROJECT MANAGER:
NORTHSTAR PROJECT & REAL ESTATE SERVICES
1000 Massachusetts Avenue
CAMBRIDGE, MA 02138

ARCHITECT:
Baker | Wohl
ARCHITECTS
131 Lincoln Street, Boston MA 02111
www.bakerwohl.com

CONTRACTOR:
SHAWMUT DESIGN AND CONSTRUCTION
500 Harrison Avenue
BOSTON, MA 02118

ENGINEER:
ESI Engineered Solutions, Inc.
4 Union Street, Boston, MA 02108
TEL: 617.452.7100 FAX: 617.452.1004
www.esi-engineers.com

ENGINEER:
JENSEN HUGHES
1500 Massachusetts Avenue, Cambridge, MA 02138
TEL: 617.452.7100 FAX: 617.452.1004
www.jensenhughes.com

ENGINEER:
P31, Incorporated
77 Main Street
HARVARD, MA 01948

ENVIRONMENTAL CONSULTANT:
GALE Gale Associates, Inc.
1000 Massachusetts Avenue, Cambridge, MA 02138
TEL: 617.452.7100 FAX: 617.452.1004
www.gale.com

ENGINEER:

ENGINEER:

REVISION HISTORY:

DATE	ISSUANCE

RECEIVED
CAMBRIDGE HISTORIC COMMISSION
PERMIT SET

DATE: NOV 14 2017

CAMBRIDGE HISTORICAL COMMISSION

PROJECT NAME:
RENOVATIONS TO MASSACHUSETTS HALL

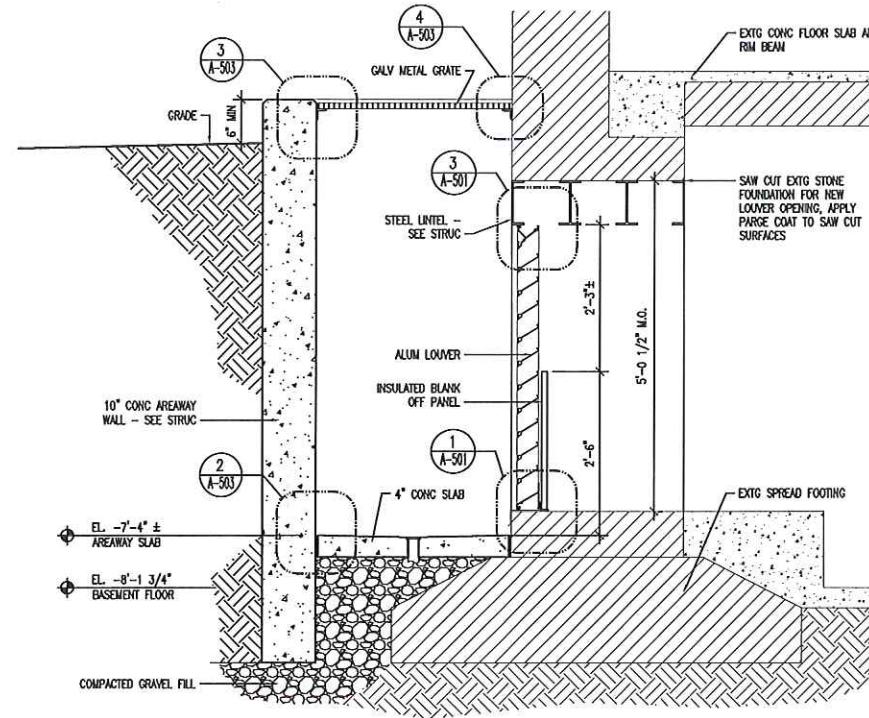
DRAWING TITLE:
CLOCK AT THE WEST ELEVATION

CAD FILE NAME:	825981 A204 and A205.DWG
DRAWING SCALE:	1-1/2" = 1'-0"
DRAWING NUMBER:	A-205
DATE:	10 NOV 2017
SHEET NUMBER:	

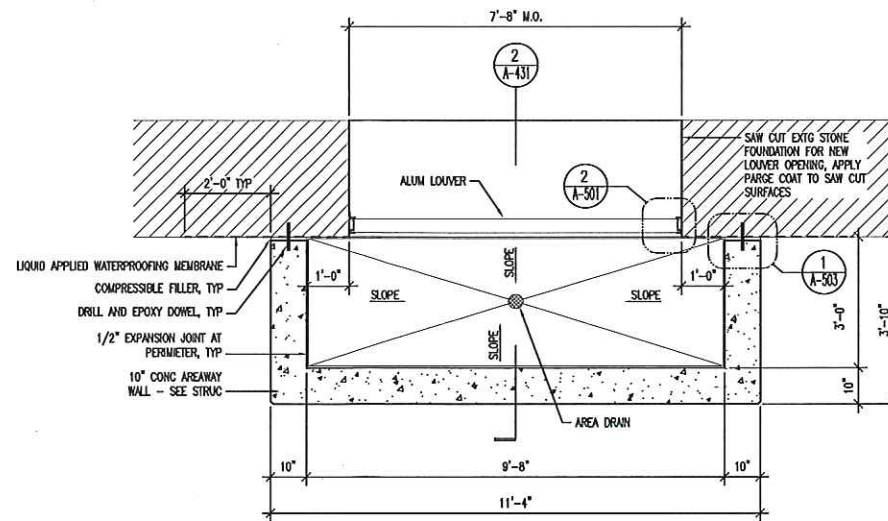
Nov 14, 2017 - 10:44am - 1713 - A-431 Areaway Detail Plans and Sections.dwg

SHEET NOTES

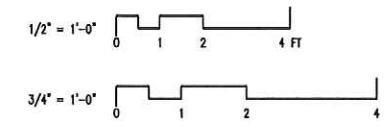
1. FIELD VERIFY ALL EXISTING CONDITIONS.
2. COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK.
3. PROTECT ALL ADJACENT CONSTRUCTION THAT IS TO REMAIN. PATCH AND REPAIR ANY EXISTING CONSTRUCTION DAMAGED BY CONSTRUCTION ACTIVITIES AND TO ACCOMMODATE NEW WORK. REPAIRS TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES.
4. CAST-IN-PLACE CONCRETE TO HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 5000 PSI.
5. CONCRETE FINISH:
 COLOR - CONCRETE TO BE COLORED AS SELECTED BY OWNER.
 SURFACE FINISH - FORMED CONCRETE TO HAVE A SMOOTH AND EVEN TEXTURE FREE OF SEAMS, THE HOLES, AND DEFECTS.



2 AREAWAY SECTION
 SCALE: 3/4" = 1'-0" AT NEW OPENING



1 AREAWAY DETAIL PLAN
 SCALE: 1/2" = 1'-0" AT NEW OPENING



HARVARD UNIVERSITY

HARVARD REAL ESTATE
 Smith Campus Center
 75 Mt Auburn Street,
 Cambridge, MA 02138

OWNER'S PROJECT MANAGER:

NORTHSTAR NORTHSTAR PROJECT & REAL ESTATE SERVICES
 1000 Massachusetts Avenue
 Cambridge, MA 02138

ARCHITECTS:

Baker | Wohl ARCHITECTS
 134 Lincoln Street, Boston, MA 02111 617.350.2100
 www.bakerwohl.com

CONSTRUCTION MANAGER:

SHAWMUT DESIGN AND CONSTRUCTION
 500 Harrison Avenue,
 Boston, MA 02118

ENGINEERS:

LeMessurier
 3300 WASHINGTON FIELD ROAD
 BOSTON, MA 02133
 617-452-2275
 WWW.LEMESSURIER.COM

ENGINEERS:

ESI Engineered Solutions, Inc.
 6 Union Street
 HULL, MA 01906
 781-937-2222 781-937-1222
 www.esi.com

ENGINEERS:

JENSEN HUGHES
 801 ROXBURY AVENUE
 FARMINGTON, MA 01104
 www.jensenhughes.com

ENGINEERS:

P3I, Incorporated
 77 Main Street,
 Houghton, MA 01745

ENVIRONMENTAL CONSULTANTS:

GALE Gale Associates, Inc.
 100 Bay Parkway (Opposite), MA 02128
 781-452-7300
 www.gale.com

ENGINEERS:

DATE	ISSUANCE

REVISION HISTORY:

DATE	ISSUANCE

USE ENCLASURES:
 CAMBRIDGE HISTORIC COMMISSION PERMIT SET

RECEIVED

NOV 14 2017

CAMBRIDGE HISTORICAL COMMISSION

PROJECT NAME:

RENOVATIONS TO MASSACHUSETTS HALL

DRAWING TITLE:

AREAWAY DETAIL PLAN AND SECTION

CAD FILE NAME:	A-431.DWG	
DRAWING SCALE:	AS NOTED	
DRAWING NUMBER:	DATE	ISSUE NUMBER
A-431	14 NOV 2017	



OWNER'S PROJECT MANAGER:
NORTHSTAR PROJECT & REAL ESTATE SERVICES
1050 Massachusetts Avenue
Cambridge, MA 02138

ARCHITECTS:
Baker | Wohl
ARCHITECTS
132 Lincoln Street, Boston MA 02111 617.552.2100
www.bakerwohl.com

CONSTRUCTION MANAGER:
SHAWMUT DESIGN AND CONSTRUCTION
550 Harrison Avenue
Boston, MA 02118
www.shawmut.com

ENGINEERS:
LeMessurier
1303 SOLIDERS FIELD ROAD
ROSTON, MA 02125
617-683-6270
WWW.LEMESSURIER.COM

ENGINEERS:
ESI Engineered Solutions, Inc.
6 Union Street
Forsyth, MA 01700
70001011000 # 617.883.1000
www.esiinc.com

ENGINEERS:
JENSEN HUGHES
101 WASHINGTON ST. SUITE 600
CAMBRIDGE, MA 02139
617.452.1000

ENGINEERS:
P3I, Incorporated
77 Main Street
Hopkinton, MA 01748

ENVIRONMENTAL CONSULTANTS:
GALE Environmental Services, Inc.
100 Bay Parkway, Cambridge, MA 02142
617.452.1000
www.gale.com

ENGINEERS:
GALE Environmental Services, Inc.
100 Bay Parkway, Cambridge, MA 02142
617.452.1000
www.gale.com

REVISION HISTORY:

DATE	ISSUANCE

USE DISCREETION:
CAMBRIDGE HISTORIC COMMISSION PERMIT SET

DATE: NOV 14 2017
CAMBRIDGE HISTORICAL COMMISSION

PROJECT NAME:
RENOVATIONS TO MASSACHUSETTS HALL

DRAWING TITLE:
TYPICAL GUTTER DETAILS

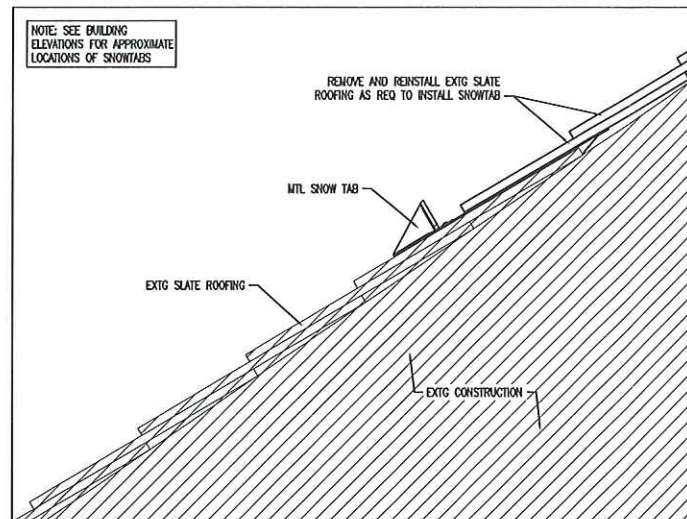
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DRAWING SCALE: 6" = 1'-0"
DRAWING NUMBER: DATE: 14 NOV 2017
A-502

SHEET NOTES

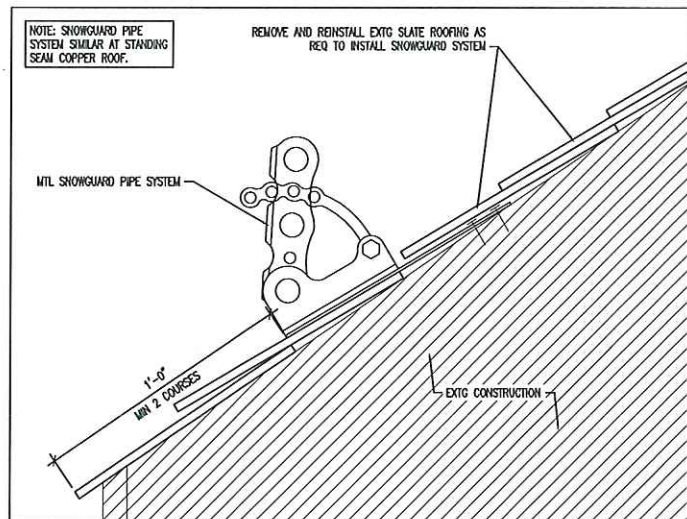
1. ALL EXISTING TO REMAIN CONSTRUCTION SHALL BE CUT AND PATCHED AS REQUIRED TO ACCOMMODATE NEW WORK AND FINISHED SCHEDULE; SEE A-601.
2. ALL NEW WOOD TO BE FRT.
3. ALL DISSIMILAR MATERIAL TO RECEIVE FINISH SEALANT.



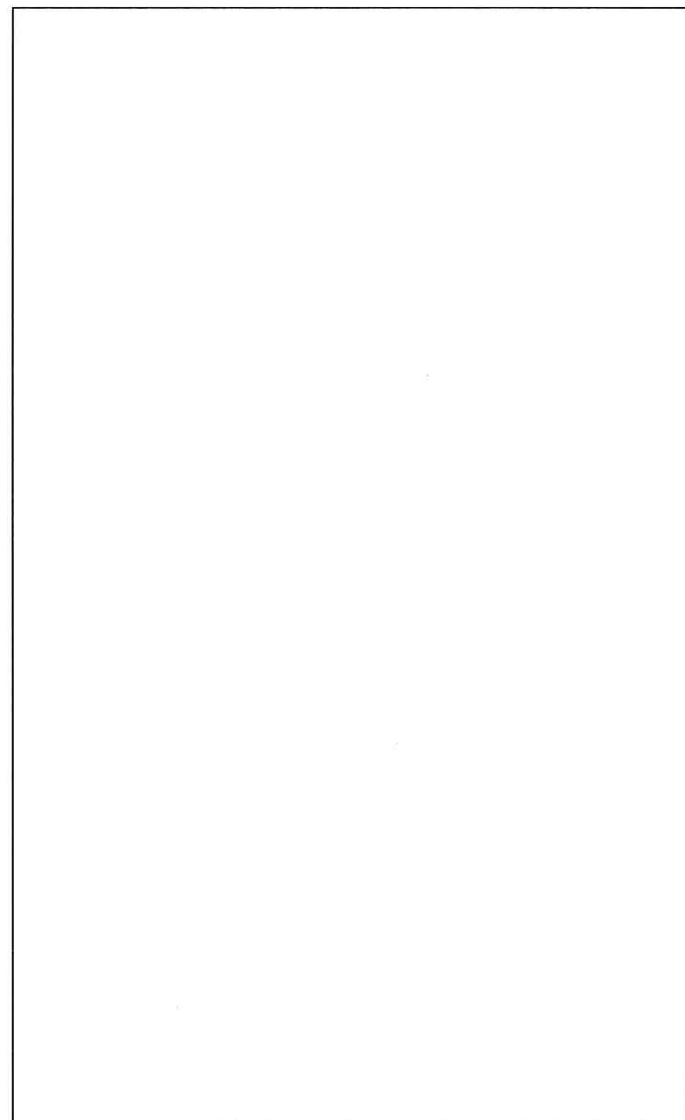
6 NOT USED
SCALE: 6" = 1'-0"



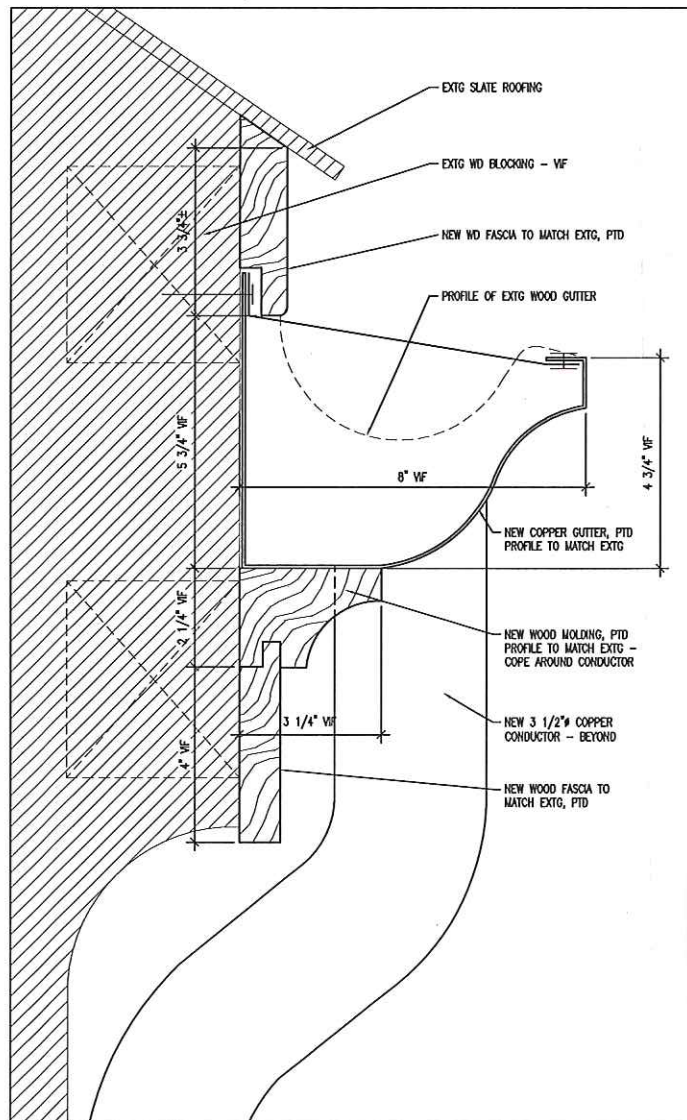
4 SNOWTAB DETAIL
SCALE: 3" = 1'-0"



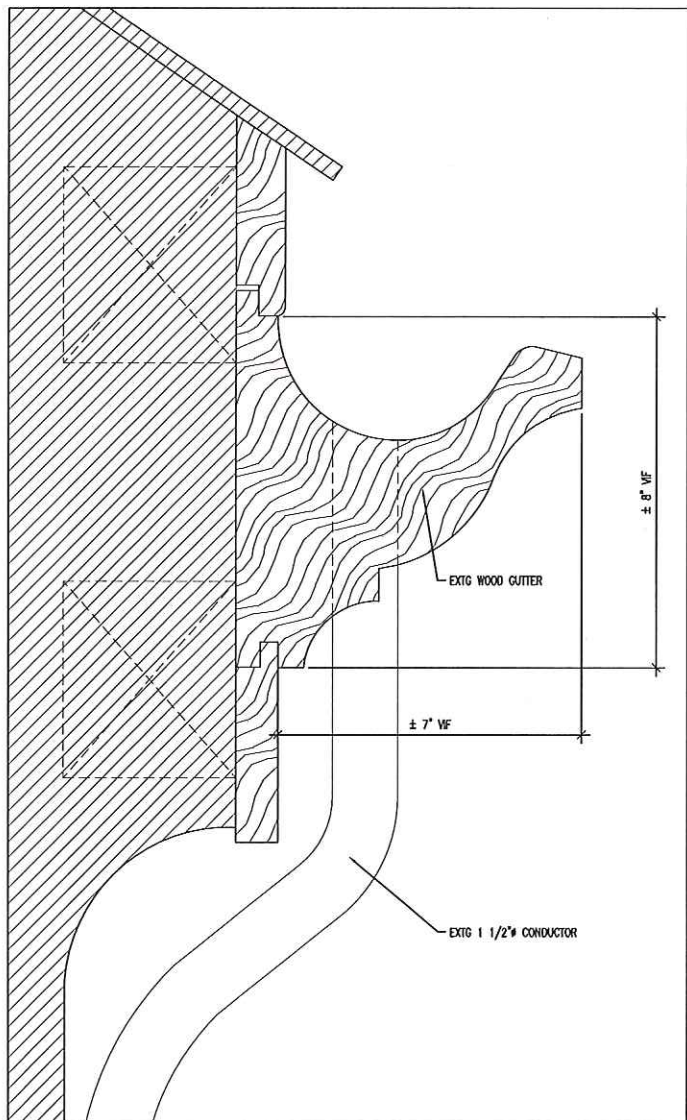
2 SNOWGUARD DETAIL
SCALE: 3" = 1'-0"



5 NOT USED
SCALE: 6" = 1'-0"



3 PROPOSED TYPICAL GUTTER DETAIL
SCALE: 6" = 1'-0"



1 EXISTING TYPICAL GUTTER DETAIL
SCALE: 6" = 1'-0"

