



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.
2. Address of property: 159 Charles Street, Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction or demolition in the space provided below:
(An additional page can be attached, if necessary).

The proposed alterations of 159 Charles will restore the exterior and interior to a modern style and improve the overall aesthetics for the neighborhood. The applicant plans to take up residence at 159 Charles street with his wife and three children upon completion. The alterations will include a gut-rehab of the interior and exterior including new siding, new roof, and new windows. The roof slope will change to accommodate new dormers on both sides of the roof. The Dormers will enable the third floor attic to be converted into bedrooms for the applicants children. The living room will be modified to encompass the existing covered porch. A roof deck will be positioned on top of the covered porch. The dining room bay window will be converted to full-bay height. The interior alterations will replace the kitchens, bathrooms, bedrooms, electrical, plumbing, and HVAC.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief.
The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record: Bryan McLaughlin -
 Mailing Address: 153 Charles Street Apartment 2
 Telephone/Fax: 617-299-0295 E-mail: mclaugb@gmail.com
 ⇒ Signature of Property Owner of Record: [Signature] 5/5/2021
 (Required field; the application will not be considered complete without the property owner's signature)

Name of proponent, if not record owner: _____
 Mailing Address: _____
 Telephone/Fax: _____ E-mail: _____

(for office use only):
 Date Application Received: _____ Case Number: 4570 Hearing Date: 6/3/21
 Type of Certificate Issued: _____ Date Issued: _____

DIMENSIONAL FORM

LOCATION:	159 CHARLES STREET	ZONE:	C-1
APPLIC:	BRYAN MCLAUGHLIN	REQUESTED OCCUPANCY:	SINGLE FAMILY
PHONE:		PRESENT USE/OCCUPANCY:	SINGLE FAMILY

	EXISTING	PROPOSED	ORDINANCE
LOT AREA:			
26-86	3,000	3,000	
26-134	1,376	1,376	
	4,376	4,376	5,000
LOT WIDTH:	64.46'	64.46'	50'
GROSS FLOOR AREA			
#155 TWO FAMILY	1,632	1,632	
#159 SINGLE FAMILY	1,416	1,680	
#153 SINGLE FAMILY	2,048	2,048	
	5,096	5,360	3,282
FLOOR AREA RATIO	1.16	1.22	0.75
TOTAL DWELLING UNITS	4	4	4
TOTAL LOT AREA PER D.U.	1094	1094	1 DU / 1500 SF
BUILDING HEIGHT	30.5'	33.3'	35'
BUILDING LENGTH	25.3'	25.3'	n/a
BUILDING WIDTH	28.3'	28.3'	n/a
SETBA FRONT	74.75'	74.75'	10'
REAR	0.00	0.00	20'
LEFT SIDE	0.00	0.00	7.5'
RIGHT SIDE	1.75'	1.75'	7.5'
DISTANCE BETWEEN STRUCTURES	22.75'	22.75'	10'
PRIVATE OPEN SPACE			
PRIVATE OPEN SPACE AREA	0.0	582.0	656.4
% PRIVATE OPEN SPACE	0.0%	13.3%	15.0%
PERMEABLE OPEN SPACE	587.0	789.0	656.4
% PERMEABLE OPEN SPACE	13.4%	18.0%	15.0%
% TOTAL OPEN SPACE	13.4%	31.3%	30.0%
NO. OF PARKING SPACES:	1	1	4

159 CHARLES STREET

No.	Description	Date

client
Client Name

Job
COVER

Project
159 CHARLES STREET

job number
19020

scale

date issued
05-11-21

ISSUED FOR PERMIT

Sheet no.
A000



VIEW WEST - #153, #155 AND #165



VIEW WEST - #145, #153, #155 AND #165



VIEW WEST DOWN CHARLES STREET



AXON VIEW NORTH

No.	Description	Date

Client
Client Name

Job number
19020

Scale

Date issued
05-11-21

ISSUED FOR PERMIT

Sheet no.
A002

SITE PHOTOS
159 CHARLES STREET



VIEW EAST DOWN CHARLES STREET



VIEW OF EXISTING SINGLE FAMILY FROM CHARLES STREET



VIEW EAST DOWN CHARLES STREET

No.	Description	Date

client
Client Name

SITE PHOTOS
159 CHARLES STREET

job number
 19020

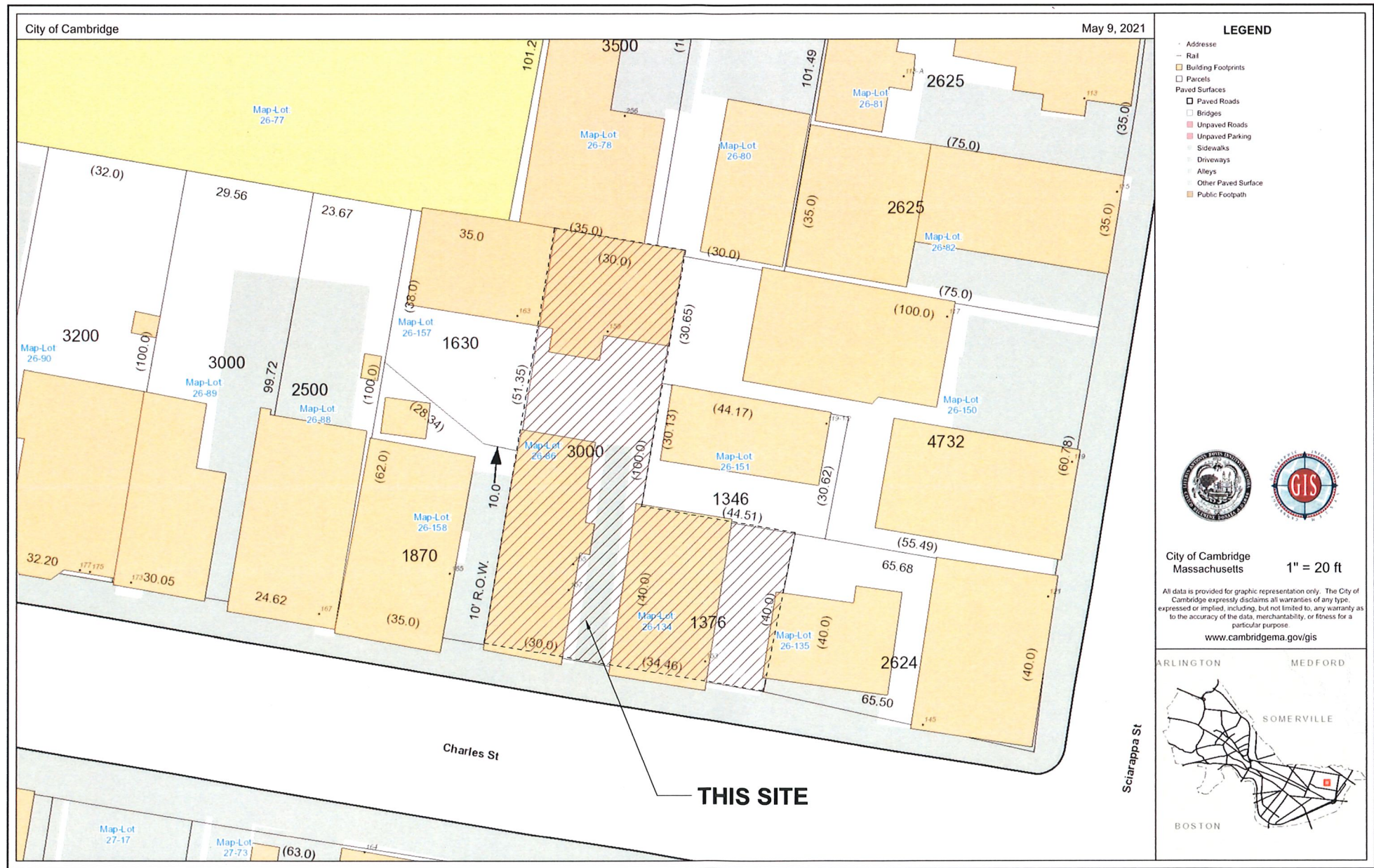
scale

date issued
 05-11-21

ISSUED FOR PERMIT

Sheet no.

A003



5/11/2021 2:56:29 PM

No.	Description	Date

client

Client Name

ASSESSORS PLOT PLAN

159 CHARLES STREET

Job number 19020

Scale 1/16" = 1'-0"

Date issued 05-11-21

ISSUED FOR PERMIT

Sneet no.

A004

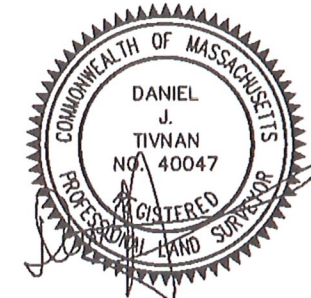
RENEY, MORAN, & TIVNAN
 REGISTERED LAND SURVEYORS
 75 HAMMOND STREET - FLOOR 2
 WORCESTER, MA 01610-1723
 PHONE: 508-752-8885
 FAX: 508-752-8895
 RMT@HSTGROUP.NET
 A Division of H. S. & T. Group, Inc.

MORTGAGE INSPECTION PLAN
 NAME BRYAN L. MCLAUGHLIN & REBECCA M. MCLAUGHLIN
 LOCATION 155-159 CHARLES STREET
CAMBRIDGE, MA
 SCALE 1" = 20' DATE 01-20-21

JOB # 01-611-21

REGISTRY MIDDLESEX SOUTH

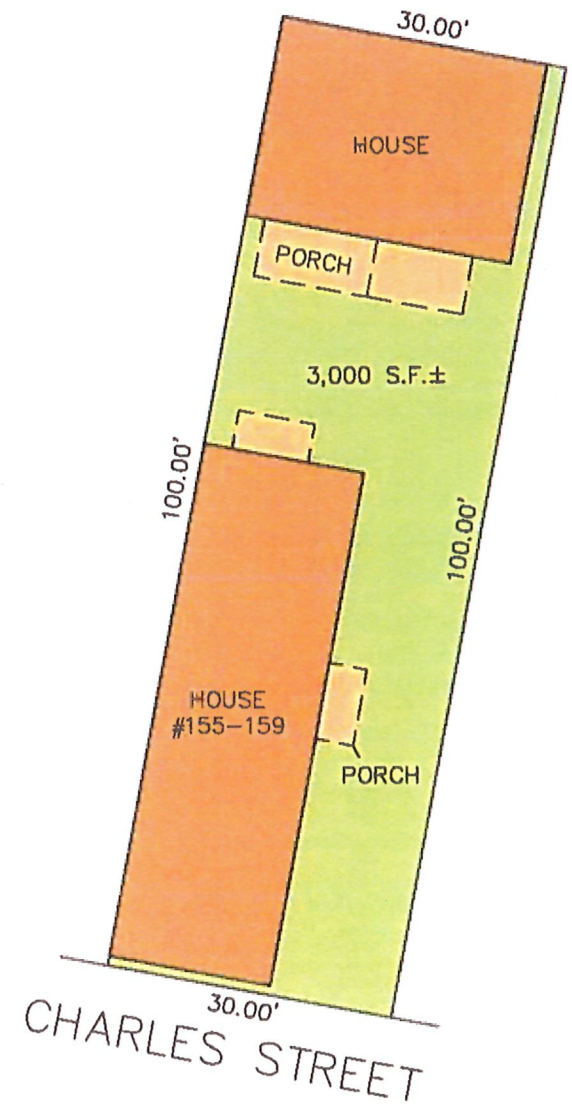
BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGEMENT ALL VISIBLE EASEMENTS ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING STRUCTURES TO PROPERTY LINES (UNLESS OTHERWISE NOTED IN DRAWING BELOW).
 NOTE: NOT DEFINED ARE ABOVEGROUND POOLS, DRIVEWAYS, OR SHEDS WITH NO FOUNDATIONS. THIS IS A MORTGAGE INSPECTION PLAN; NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREIN IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. G.L. TITLE VI, CHAP. 40A, SEC. 7, UNLESS OTHERWISE NOTED. THIS CERTIFICATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.



DEED BOOK/PAGE 6681/0460
 PLAN BOOK/PLAN DEED/ASSESSORS
 WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FEMA MAP:
577E DTD 06/04/2010

FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY FEMA AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.

NOTE
 INSTRUMENT SURVEY RECOMMENDED FOR MORE ACCURATE LOCATION OF STRUCTURES.



REQUESTING OFFICE: CROWLEY & CUMMINGS
 REQUESTED BY:

DRAWN BY: JG
 CHECKED BY:

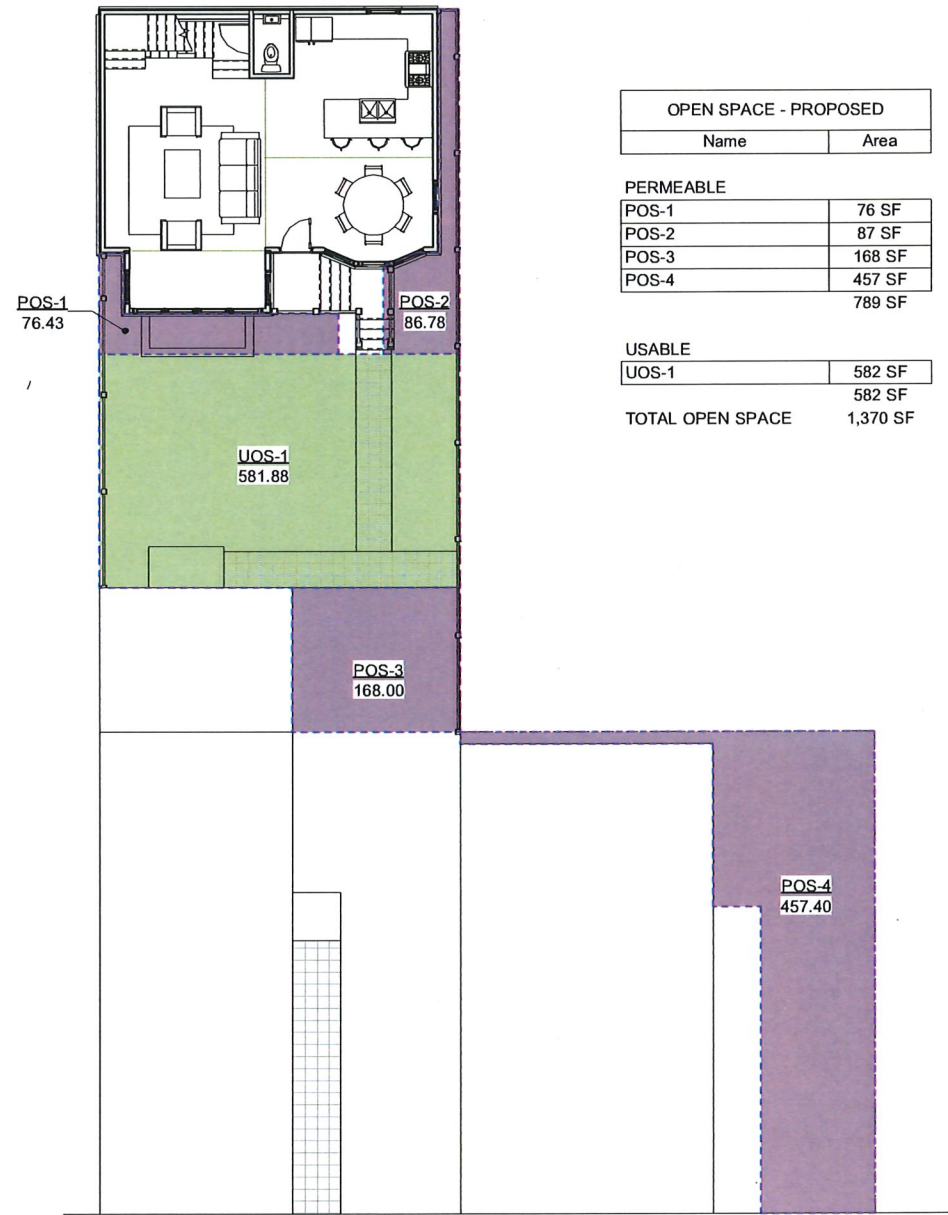
No.	Description	Date

Client Name

PLOT PLAN
 159 CHARLES STREET

job number 19020
 scale
 date issued 05-11-21
 ISSUED FOR PERMIT

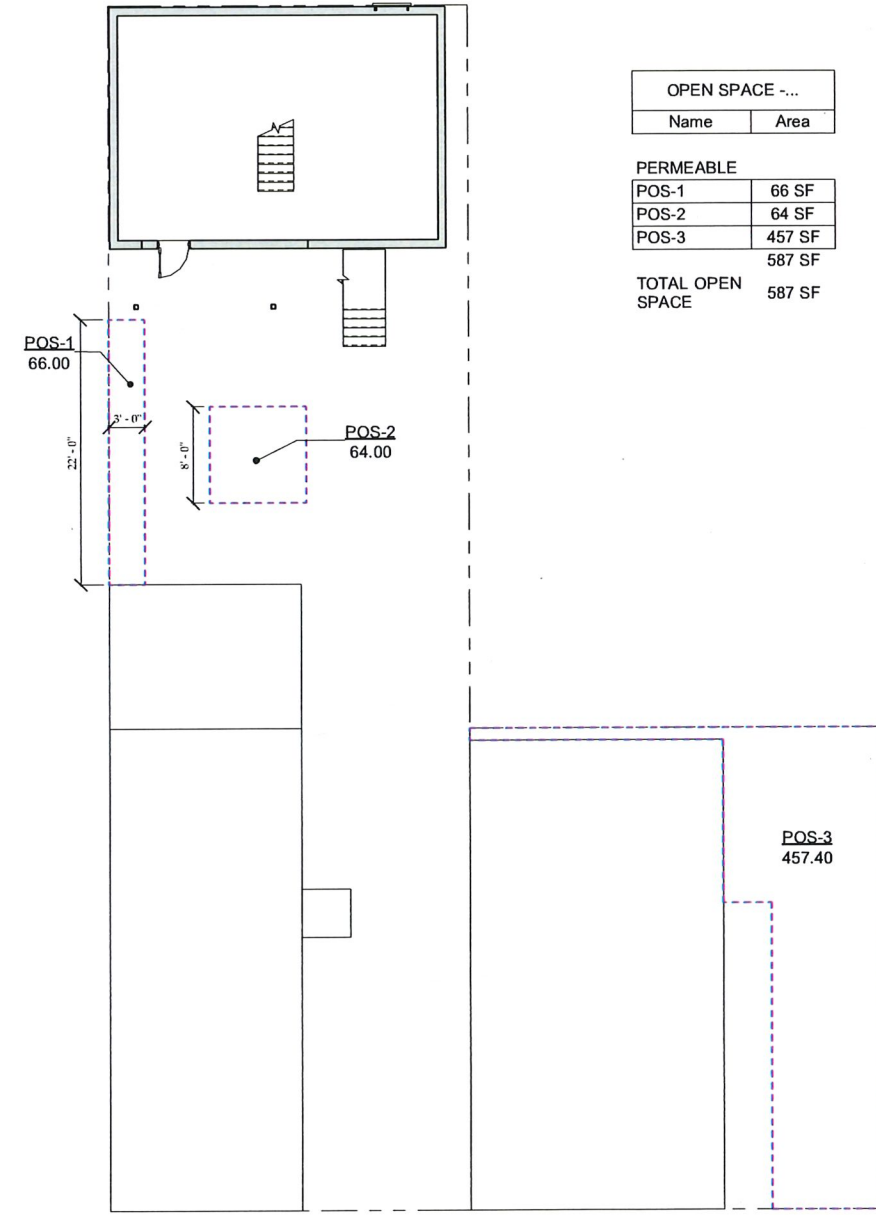
Sheet no. A010



OPEN SPACE - PROPOSED	
Name	Area

PERMEABLE	
POS-1	76 SF
POS-2	87 SF
POS-3	168 SF
POS-4	457 SF
	789 SF

USABLE	
UOS-1	582 SF
	582 SF
TOTAL OPEN SPACE	1,370 SF



OPEN SPACE -...	
Name	Area

PERMEABLE	
POS-1	66 SF
POS-2	64 SF
POS-3	457 SF
	587 SF
TOTAL OPEN SPACE	587 SF

② OPEN SPACE - PROPOSED
1/8" = 1'-0"

① EXISTING OPEN SPACE
1/8" = 1'-0"

No.	Description	Date

client
Client Name

OPEN SPACE CALCULATIONS
159 CHARLES STREET

job number 19020
scale 1/8" = 1'-0"
date issued 05-11-21

ISSUED FOR PERMIT

Sheet no.
A011

No.	Description	Date

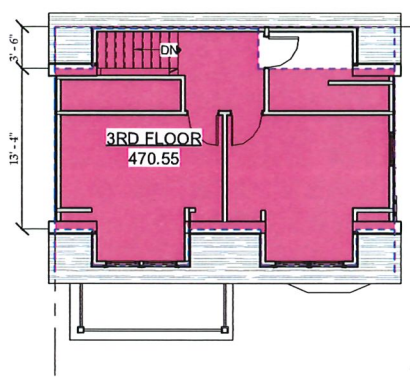
client
Client Name

PROPOSED AREA CALCULATIONS
159 CHARLES STREET

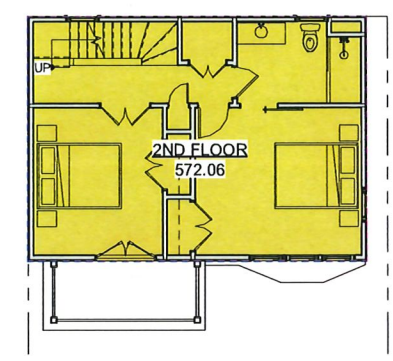
Job number 19020
Scale 1/8" = 1'-0"
Date issued 05-11-21

ISSUED FOR PERMIT

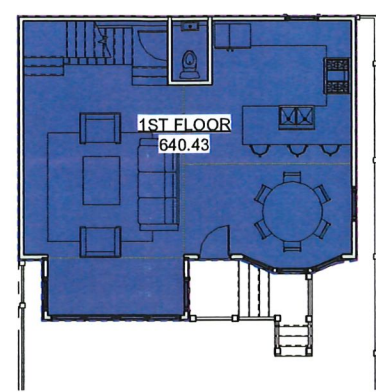
Sheet no. A012



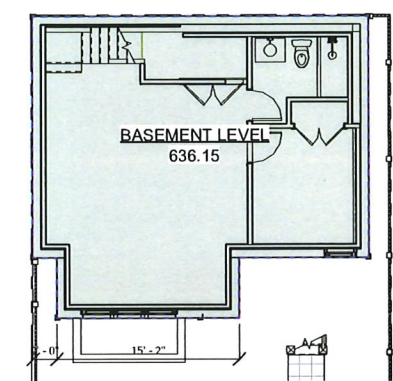
④ 3RD FLOOR
1/8" = 1'-0"



③ 2ND FLOOR - PROPOSED
1/8" = 1'-0"



② 1ST FLOOR - PROPOSED
1/8" = 1'-0"

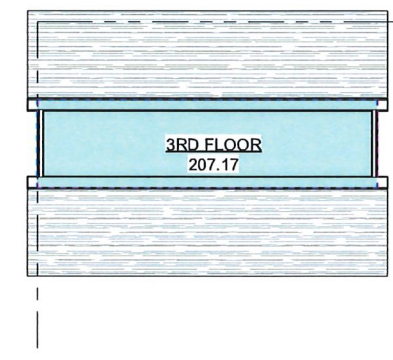


① BASEMENT - PROPOSED
1/8" = 1'-0"

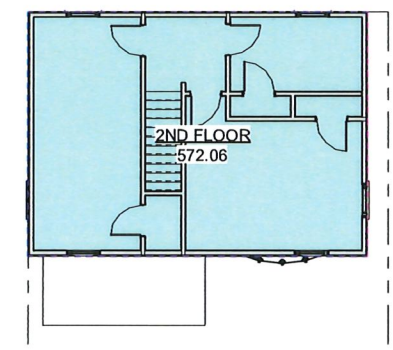
GFA PROPOSED	
Name	Area

EXISTING 1ST FLOOR	
1ST FLOOR	640 SF
EXISTING 2ND FLOOR	
2ND FLOOR	572 SF
3RD FLOOR	
3RD FLOOR	471 SF
TOTAL GFA	1,683 SF

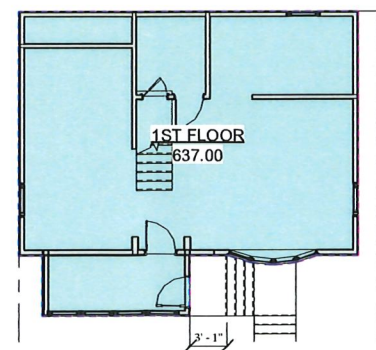
LOT AREA 4,376 S.F.
F.A.R. .75
ALLOWABLE FLOOR AREA 3,282 S.F.



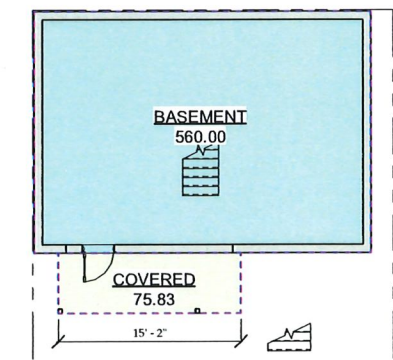
⑧ 3RD FLOOR - EXISTING
1/8" = 1'-0"



⑦ 2ND FLOOR - EXISTING
1/8" = 1'-0"



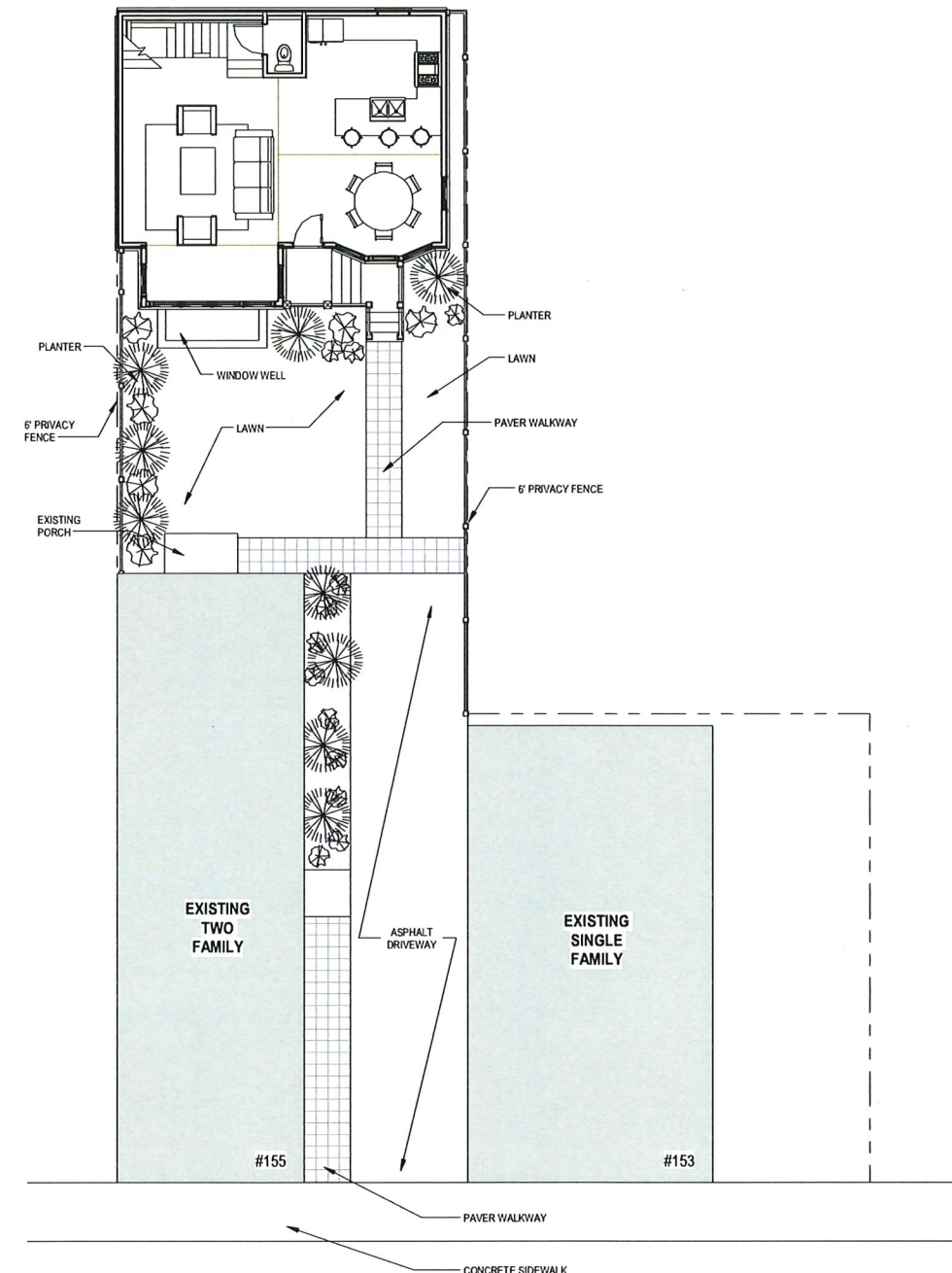
⑥ 1ST FLOOR - EXISTING
1/8" = 1'-0"



⑤ BASEMENT - EXISTING
1/8" = 1'-0"

GFA EXISTING	
Name	Area

EXISTING 1ST FLOOR	
1ST FLOOR	637 SF
EXISTING 2ND FLOOR	
2ND FLOOR	572 SF
3RD FLOOR	
3RD FLOOR	207 SF
TOTAL GFA	1,416 SF



CHARLES STREET

CHARLES STREET

② PROPOSED SITE PLAN
1/8" = 1'-0"

No.	Description	Date

Client
Client Name

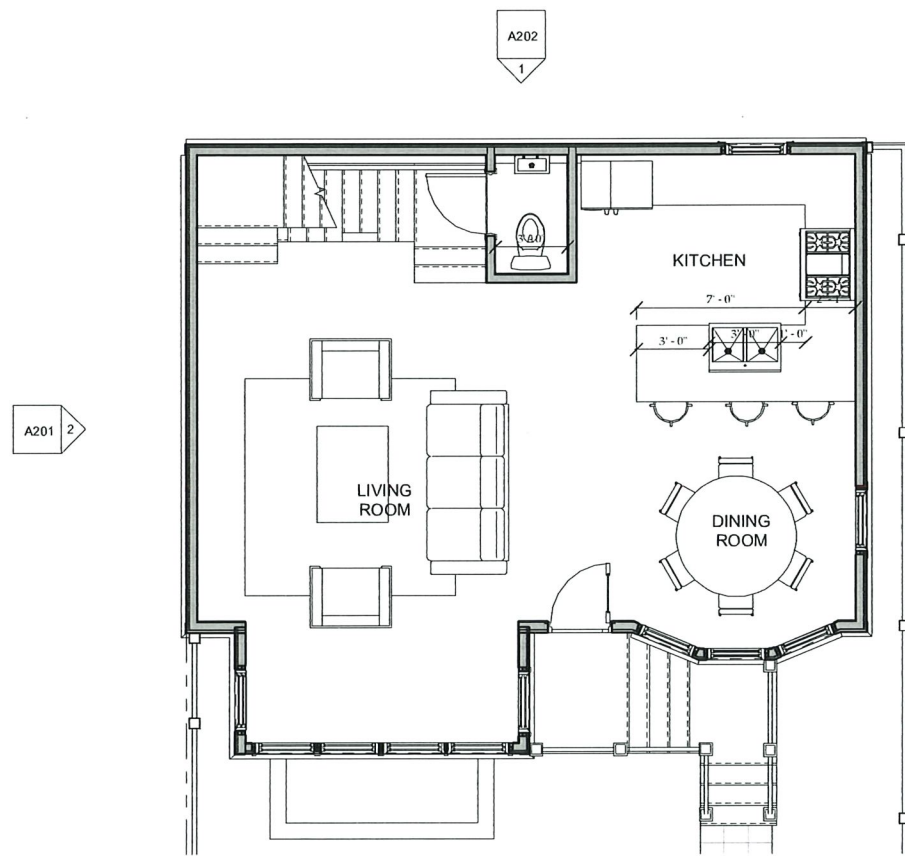
PROPOSED SITE PLAN

159 CHARLES STREET

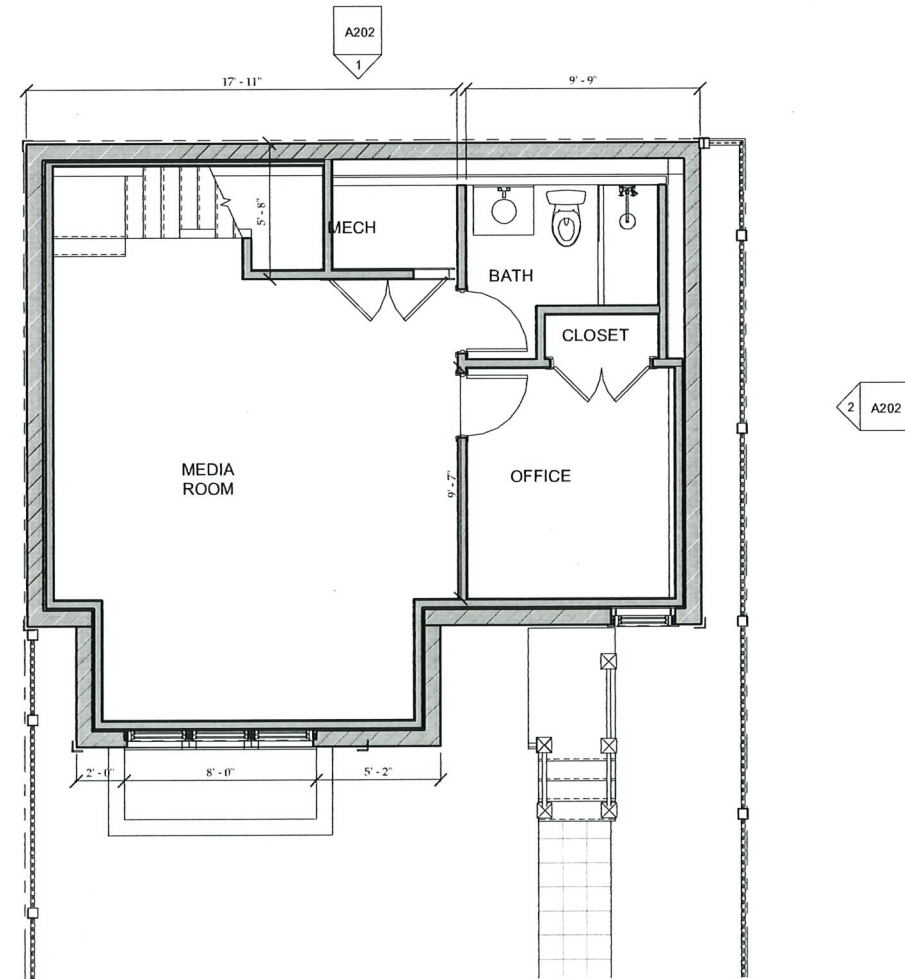
Job number: 19020
Scale: 1/8" = 1'-0"
Date issued: 05-11-21

ISSUED FOR PERMIT

Sheet no.
A100



3 PROPOSED 1ST FLOOR
1/4" = 1'-0"



1 PROPOSED BASEMENT LEVEL
1/4" = 1'-0"

No.	Description	Date

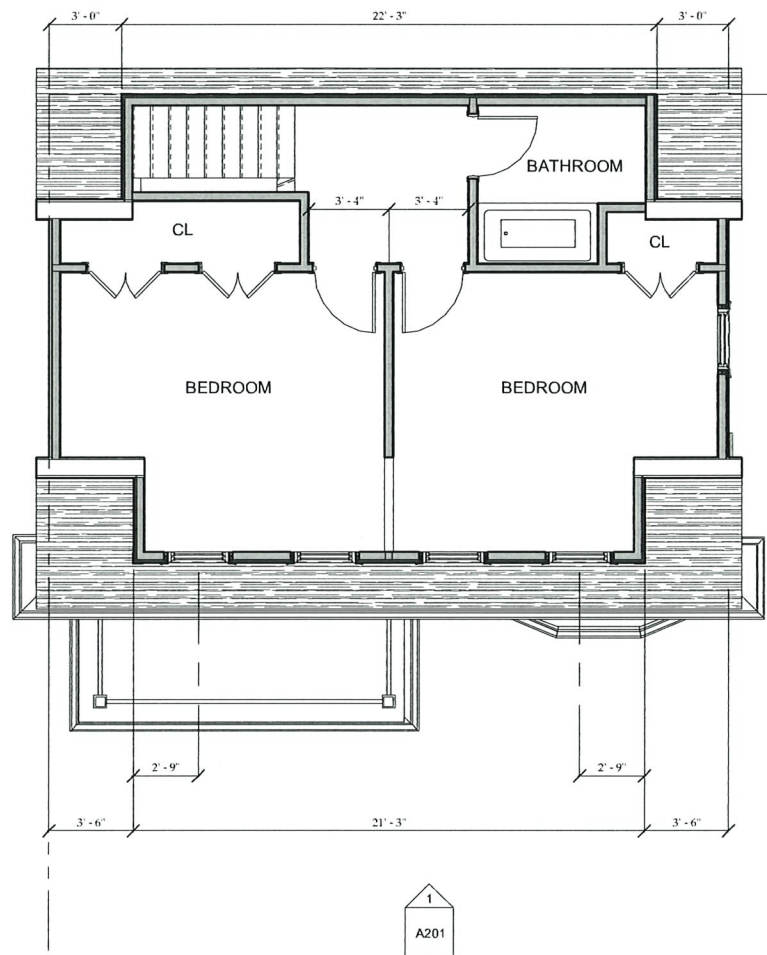
client
Client Name

FLOOR PLANS
159 CHARLES STREET

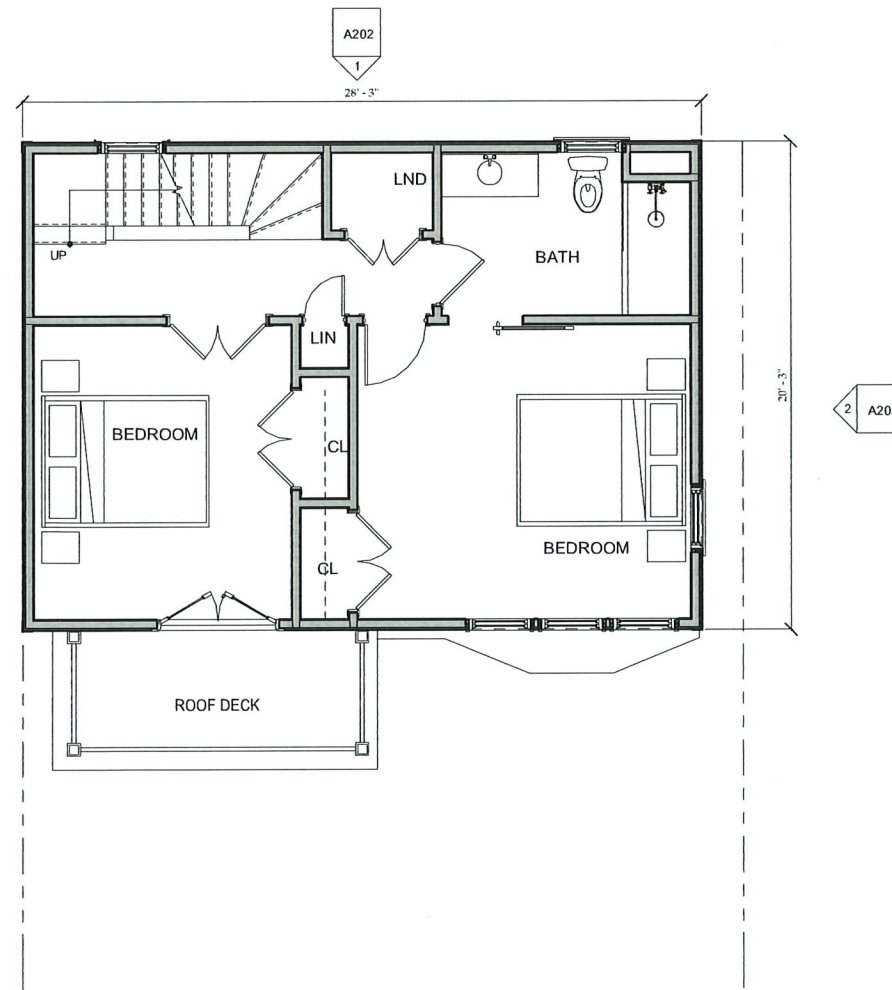
Job number 19020
Scale 1/4" = 1'-0"
Date issued 05-11-21

ISSUED FOR PERMIT

Sheet no.
A101



② PROPOSED 3RD FLOOR - ALTERNATE
1/4" = 1'-0"



① PROPOSED 2ND FLOOR
1/4" = 1'-0"

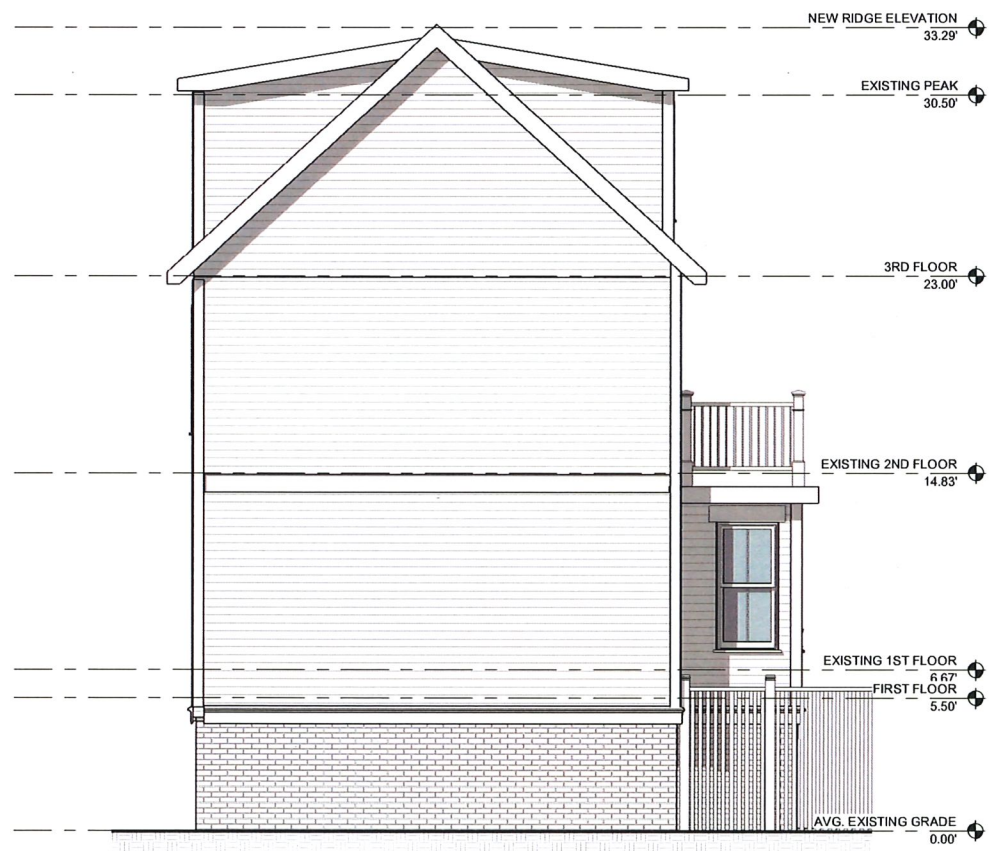
No.	Description	Date

client
Client Name

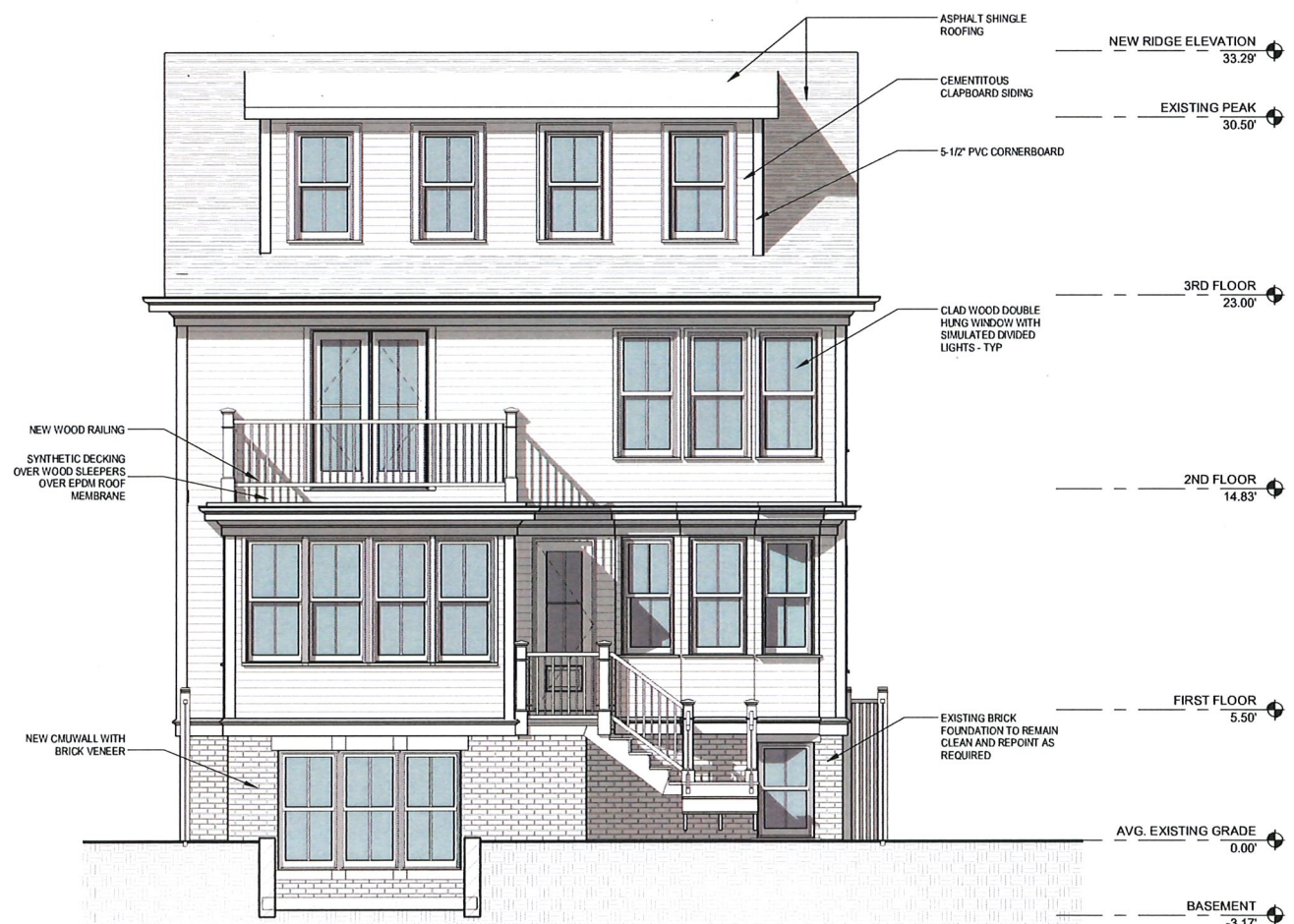
FLOOR PLANS
159 CHARLES STREET

job number 19020
scale 1/4" = 1'-0"
date issued 05-11-21
ISSUED FOR PERMIT

Sheet no.
A102



② LEFT SIDE ELEVATION - PROPOSED
1/4" = 1'-0"



① FRONT ELEVATION - ALTERNATE
1/4" = 1'-0"

No.	Description	Date

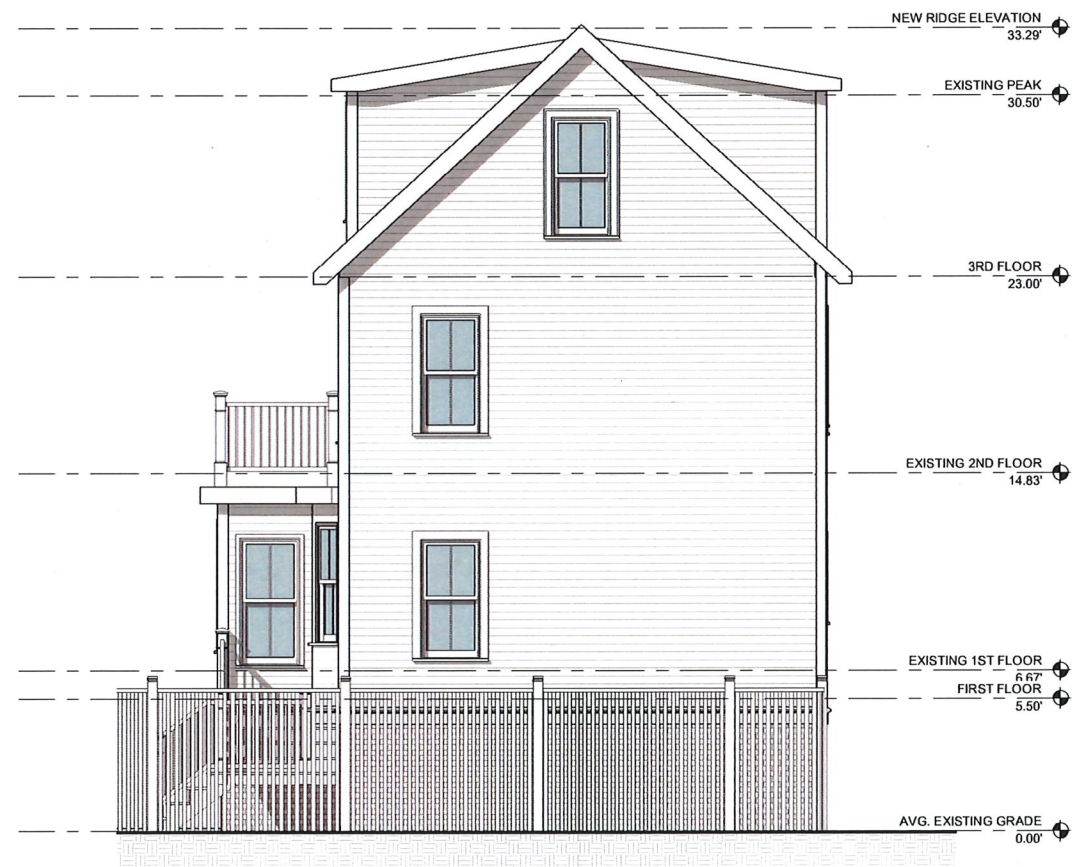
client
Client Name

PROPOSED ELEVATIONS
159 CHARLES STREET

Job number
19020
Scale
1/4" = 1'-0"
Date issued
05-11-21

ISSUED FOR PERMIT

Sheet no.
A201



② RIGHT SIDE ELEVATION - PROPOSED
1/4" = 1'-0"



① REAR ELEVATION - PROPOSED
1/4" = 1'-0"

No.	Description	Date

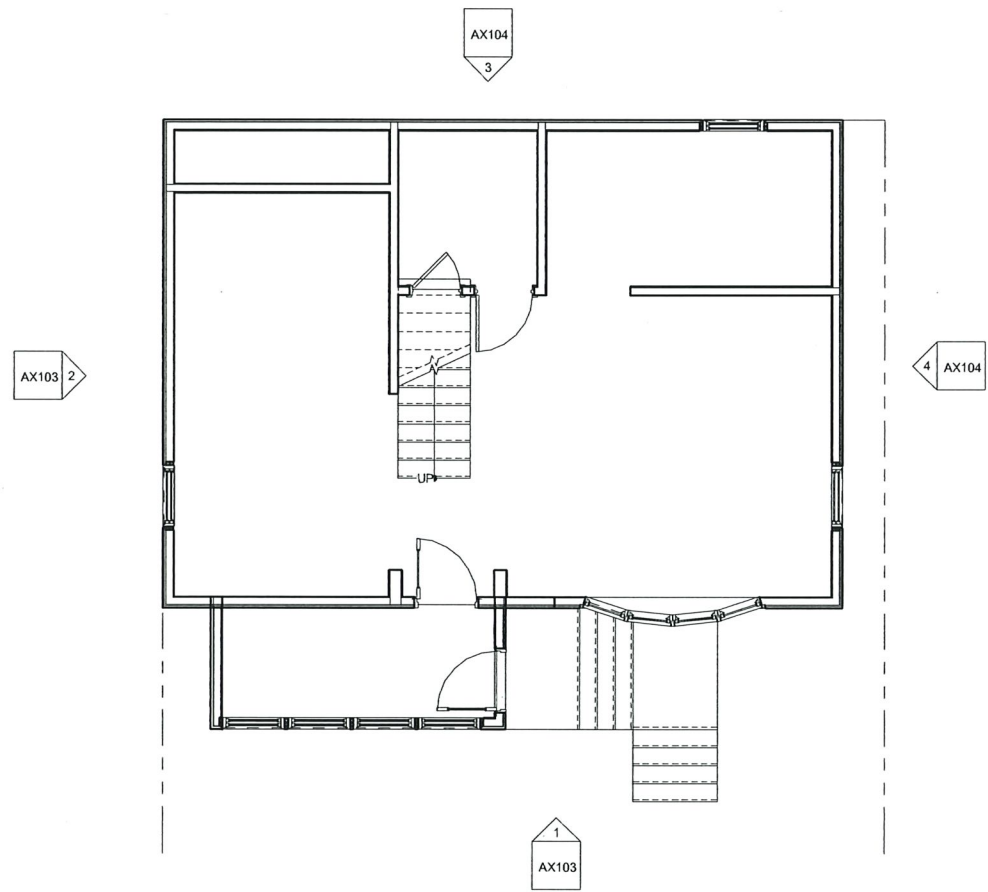
client
Client Name

PROPOSED ELEVATIONS

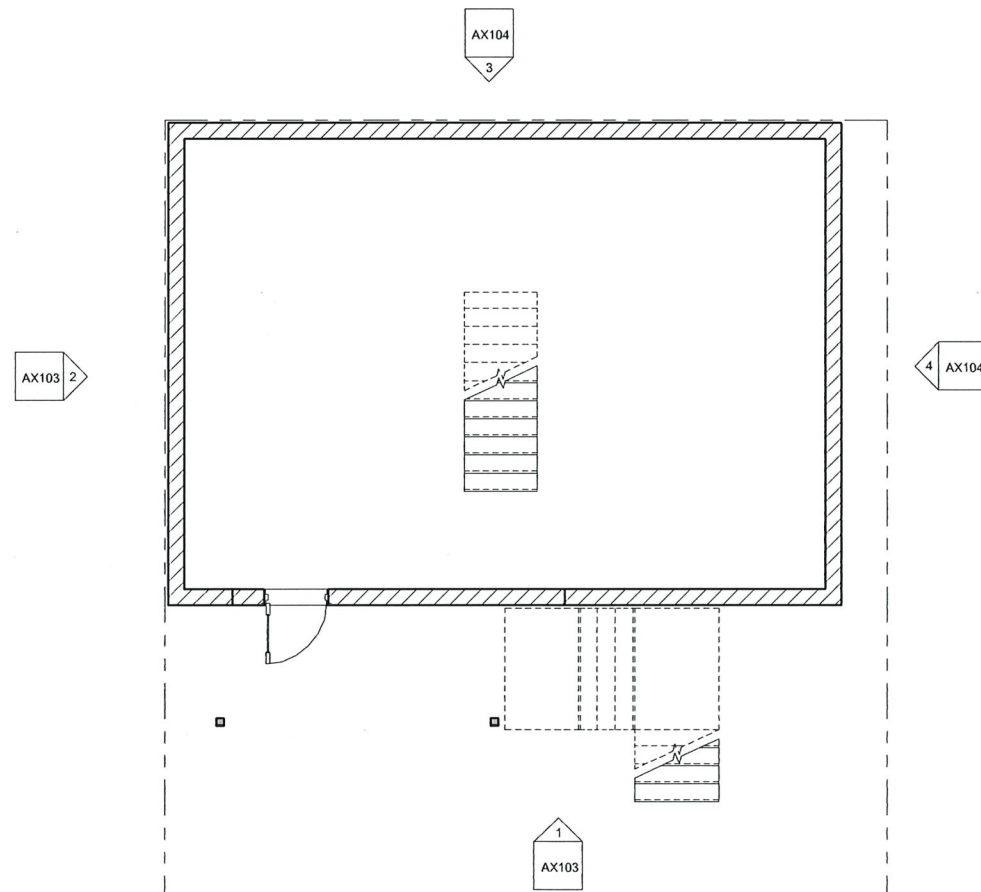
159 CHARLES STREET

job number 19020
scale 1/4" = 1'-0"
date issued 05-11-21
ISSUED FOR PERMIT

Sheet no. A202



② EXISTING 1ST FLOOR
1/4" = 1'-0"



① EXISTING BASEMENT
1/4" = 1'-0"

No.	Description	Date

client
Client Name

EXISTING FLOOR PLANS

159 CHARLES STREET

job number 19020

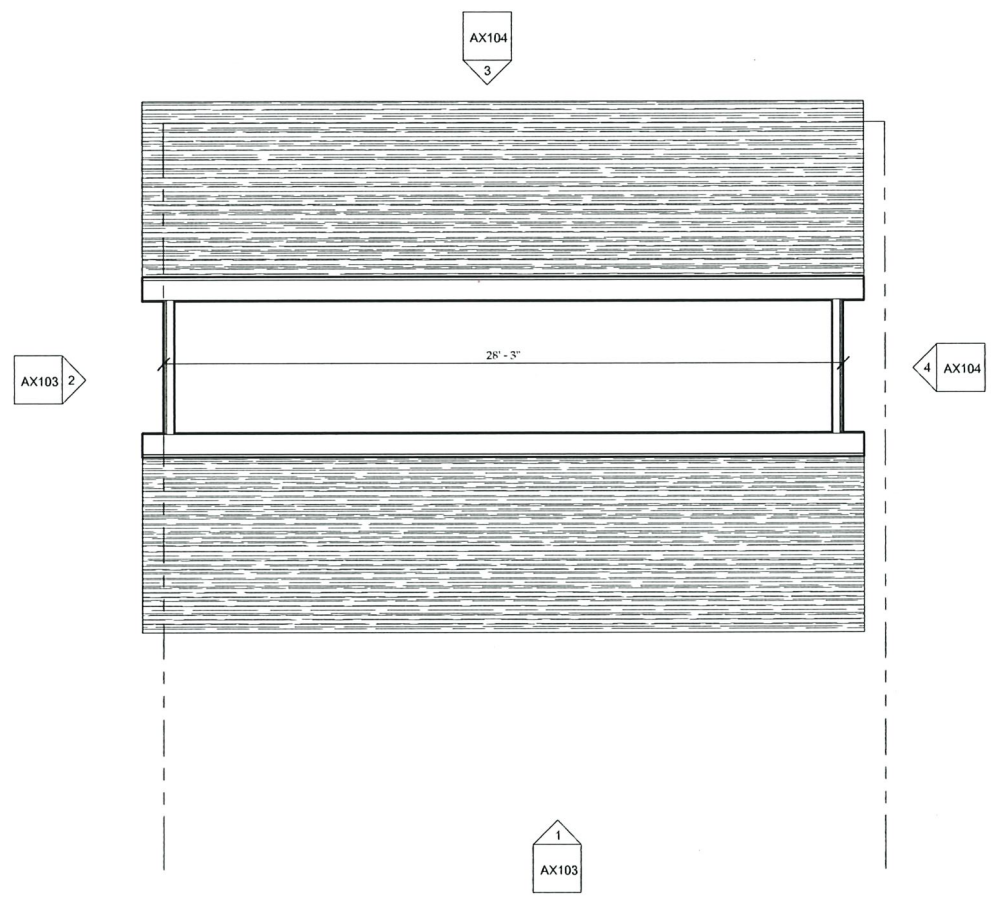
scale 1/4" = 1'-0"

date issued 05-11-21

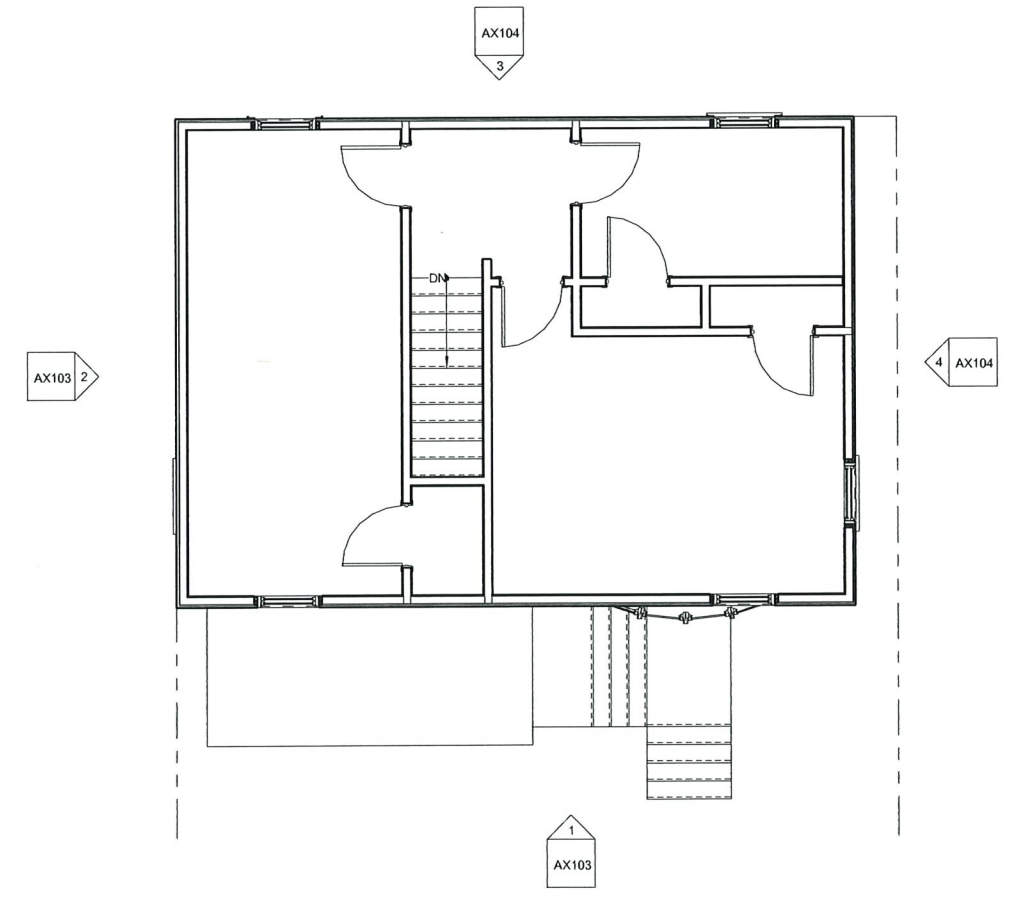
ISSUED FOR PERMIT

Sheet no.

AX101



② EXISTING 3RD FLOOR
1/4" = 1'-0"



① EXISTING 2ND FLOOR
1/4" = 1'-0"

No.	Description	Date

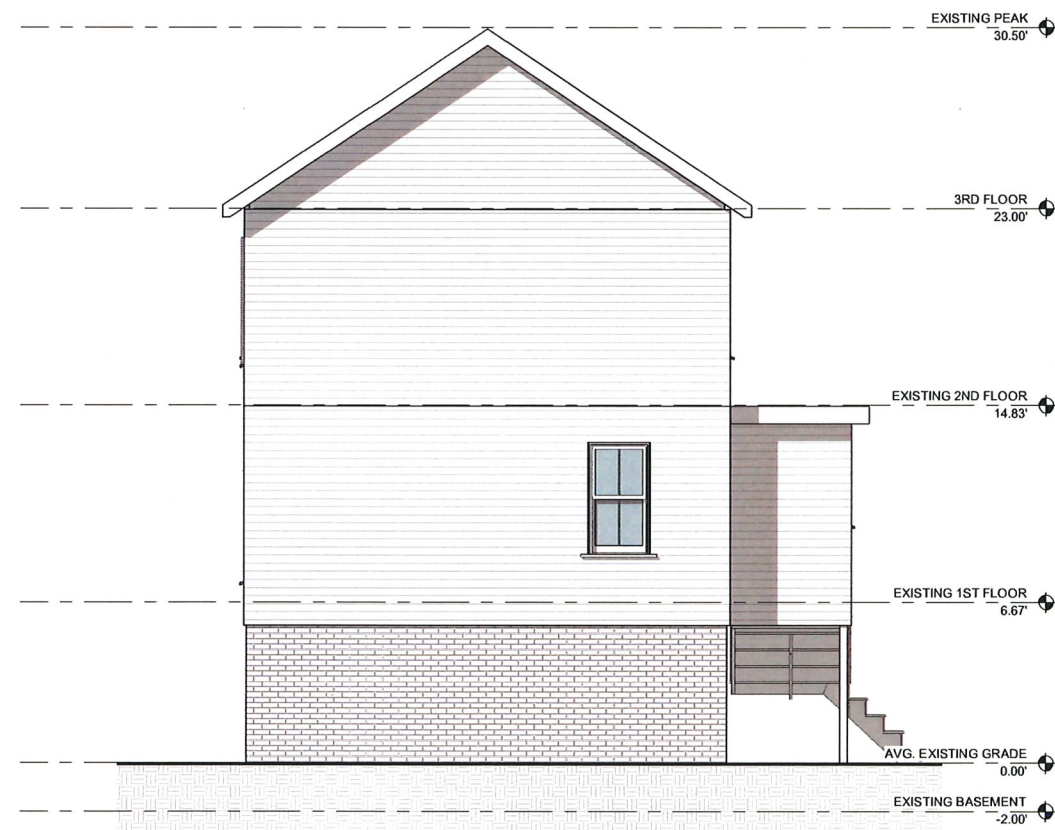
client
Client Name

EXISTING FLOOR PLANS
159 CHARLES STREET

job number 19020
scale 1/4" = 1'-0"
date issued 05-11-21

ISSUED FOR PERMIT

Sheet no.
AX102



② LEFT SIDE ELEVATION - EXISTING
1/4" = 1'-0"



① FRONT ELEVATION - EXISTING
1/4" = 1'-0"

No.	Description	Date

client
Client Name

job number
19020

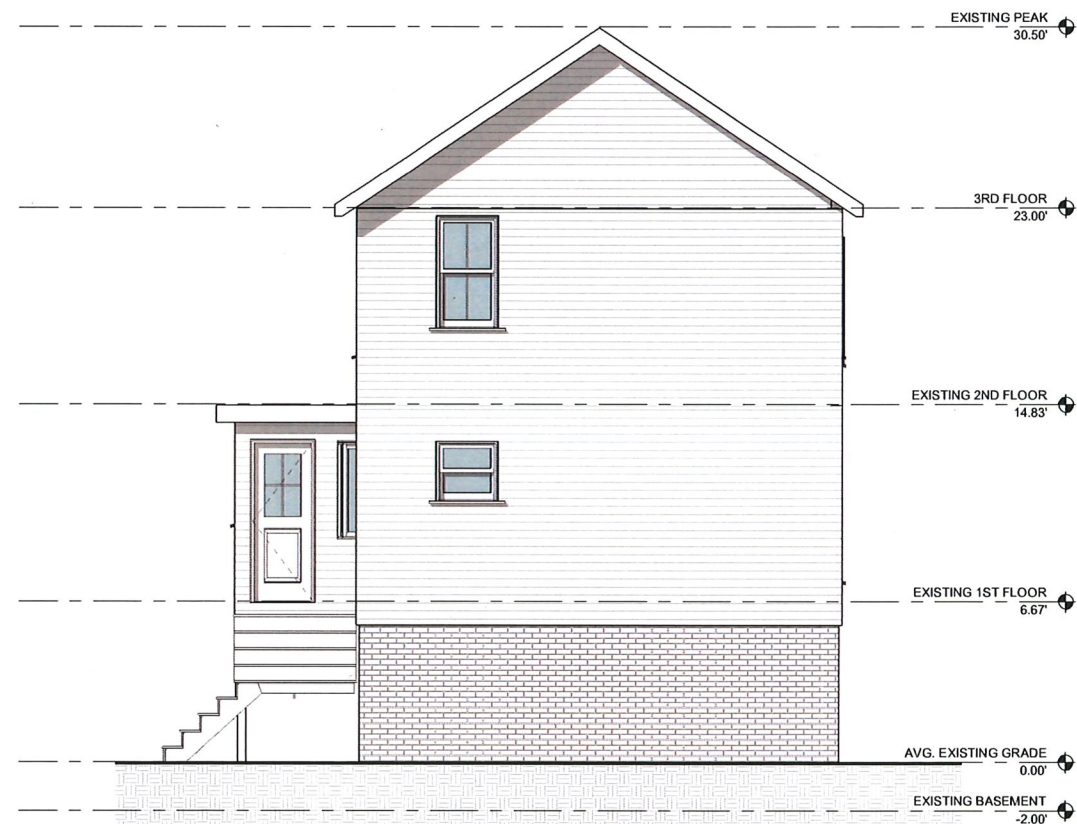
scale
1/4" = 1'-0"

date issued
05-11-21

ISSUED FOR PERMIT

sneet no.
AX103

EXISTING ELEVATIONS
159 CHARLES STREET



④ RIGHT SIDE ELEVATION - EXISTING
1/4" = 1'-0"



③ REAR ELEVATION - EXISTING
1/4" = 1'-0"

No.	Description	Date

client
Client Name

EXISTING ELEVATIONS
159 CHARLES STREET

job number 19020
scale 1/4" = 1'-0"
date issued 05-11-21

ISSUED FOR PERMIT

sheet no.
AX104