



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.
2. Address of property: 795 Massachusetts Ave., Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction or demolition in the space provided below:
(An additional page can be attached, if necessary).

Please refer to Attachment #1.

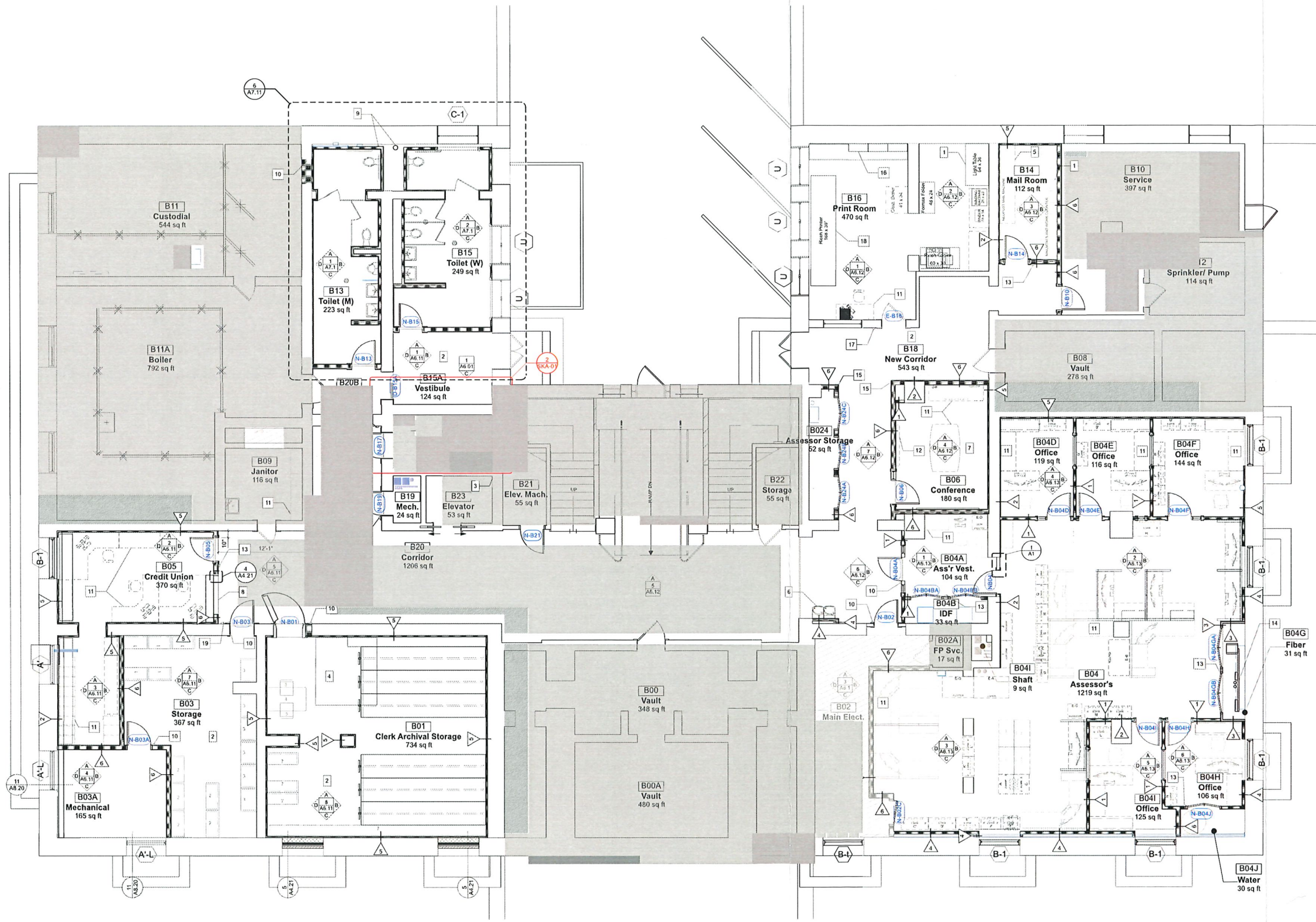
I certify that the information contained herein is true and accurate to the best of my knowledge and belief.
The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record: <u>City of Cambridge</u>
Mailing Address: <u>795 Massachusetts Avenue</u>
Telephone/Fax: <u>6173494300</u> E-mail: <u>citymanager@cambridgema.gov</u>
⇒ Signature of Property Owner of Record: <u><i>[Handwritten Signature]</i></u> (Required field; the application will not be considered complete without the property owner's signature)
Name of proponent, if not record owner: <u>Johnson Roberts Assoc. Jeff Davis (Principal)</u>
Mailing Address: <u>15 Properzi Way</u>
Telephone/Fax: <u>617-666-8585</u> E-mail: <u>jdavis@johnson-roberts.com</u>

<i>(for office use only):</i>			
Date Application Received: _____	Case Number: <u>4572</u>	Hearing Date: <u>6/3/21</u>	
Type of Certificate Issued: _____	Date Issued: _____		

- Exterior Scope
 - South (Massachusetts Ave) Sheet A3.11
 - Basement
 - Note: these windows are all in window wells behind an evergreen hedge. They are not visible from the street.
 - 1 window: remove air conditioner and add louvers to upper two sashes (Photo D/A3.11)
 - 2 windows: brick in window openings (Photo E/A3.11)
 - 1 window: remove window air conditioner and repair upper sash
 - 2 windows: replace window w/ aluminum clad wood windows. Exterior profile to match existing (Photo F/A3.11)
 - 1st Floor
 - Repair stone entry stairs (See sheets A3.20, A3.21)
 - 2nd Floor
 - 2 windows: remove window ACs, refurbish semicircular historic transom.
 - Interior storms (not visible from street)
 - Attic
 - 3 four-light dormer windows: remove windows, replace w/ louvers (Photo C/A3.11)
 - Link to the birdscreen on the louver
https://content.greenheck.com/public/DAMProd/Original/10005/birdscreen_details.pdf
 - Note: Greenheck confirms that the birdscreen can be painted black, and can be mounted outboard of the louver.
 - East (Inman St) Sheet A3.12
 - Basement
 - Note: Approximately the top 18" of these windows are visible from the street. They are recessed (about 12") in the stone wall. The lower part of the windows is concealed below grates in window wells.
 - 3 windows: replace window w/ aluminum clad wood windows. Exterior profile to match existing (Photo C/A3.12)
 - West (Bigelow St) Sheet A3.12
 - Basement
 - Note: Approximately the top 18" of these windows are visible from the street. They are recessed (about 12") in the stone wall. The lower part of the windows is concealed below grates in window wells.
 - 1 window: add louvers to upper two sashes (Photo F/A3.12)
 - 1 window: replace window w/ aluminum clad wood window. Exterior profile to match existing (Photo D/A3.12)

- 2nd Floor
 - 1 window: remove window ACs, refurbish 2 rectangular historic sashes (Photo A/A3.12)
 - 2 windows: remove window ACs, remove and refurbish full type H historic windows (Photo B/A3.12)
 - 2 windows: remove window ACs, refurbish semicircular historic transom
- North (Dottie Way)
 - Basement
 - 1 window: replace window w/ aluminum clad wood window (Photo D/A3.13)
 - 2nd Floor
 - 2 windows: remove window ACs, refurbish historic transom
- Northeast
 - Basement
 - 1 door: remove window air conditioner and repair transom (Photo B/A3.13)
 - 1 window: remove window AC and close double hung window (Photo B/A3.13)
 - 2nd floor
 - 2 windows: remove window AC, refurbish historic transom
- Northwest
 - Basement
 - 2 windows: remove window AC and close double hung window (Photo C/A3.13)



- General Notes
1. Coordinate All New Work with Mechanical, Electrical, Plumbing, and Fire Protection Drawings, typ.
 2. Field Verify Existing Conditions Prior to Construction. Notify Architect in Writing of Conflicts Between Existing Conditions and Proposed Design.
 3. Patch and Finish Floors and Walls Affected by Demolition to Match Existing.
 4. Basement Ceiling has many Pipes, Conduits, Ducts, Cables at Ceiling and along Walls. New Walls are Intended to Fit tightly against Exterior and Existing Walls and Hard Ceilings. Walls Will Need to be Formed around these Existing Conditions.
 5. Provide Threshold/Transition Slips as Required between New and Existing Floor Finishes and Dissimilar Floor Finishes.
 6. Properly Prepare all Existing Surfaces for Re-finishing in Accordance with the Requirements of this Section. All Previously Finished Exposed to View Surfaces and Elements to be Re-finished Unless Noted Otherwise. (099100)

- Notes
1. (062000) New Counter and Casework
 2. (955000) New VCT Floor Finish
 3. (092100) New GWB Sheathing in Elevator Shaft - Part of Elevator Scope Package
 4. (033000) Infill Conc. Floor
 5. Relocated Equipment
 6. (220000) New High-Low Fountain and Bottle Filler
 7. (095800) New Carpet Floor Finish
 8. New Transaction Window with Coiling Security Door
 9. Live Conduits and Pipes to Remain. Coordinate w/ New Construction Drawings and w/ M. E. P. Dept.
 10. Infill Masonry Wall
 11. (0701) New Furniture by Owner
 12. (0701) New Monitor Screen (260000) (270000) Provide Power and AV, Coord. w/ E Dept.
 13. Card Reader
 14. (055000) Provide Sheet Metal Drip Tray in Ceiling of Closet to Deflect Moisture Away from Electronic Equipment
 15. Corner Guard
 16. (062000) New Mdwk and Countertop
 17. ETR Card Reader
 18. Relocated Equipment, typ.
 19. (260000) IC Door Operator



15 PROPERZI WAY
SOMERVILLE, MA
02143-3228

Revisions:

4/1/21 Addendum 2
4/13/21 Historic Application

CAMBRIDGE CITY HALL
CAMBRIDGE, MA

Bid Documents

Sheet Title:
Basement Plan

Date: 9-Mar-21 Drawn By: SH
Scale: As Noted Project No.: 20008

A2.00

Basement Floor Plan Proposed
Scale: 3/16" = 1'-0"

NEW WORK SCOPE LEGEND

- NON-TONED AREAS ARE PART OF PROJECT WORK AREA
- NOT IN SCOPE
- ENABLING SCOPE (PREVIOUS PACKAGE)
- EXISTING TO REMAIN
- NEW WALL

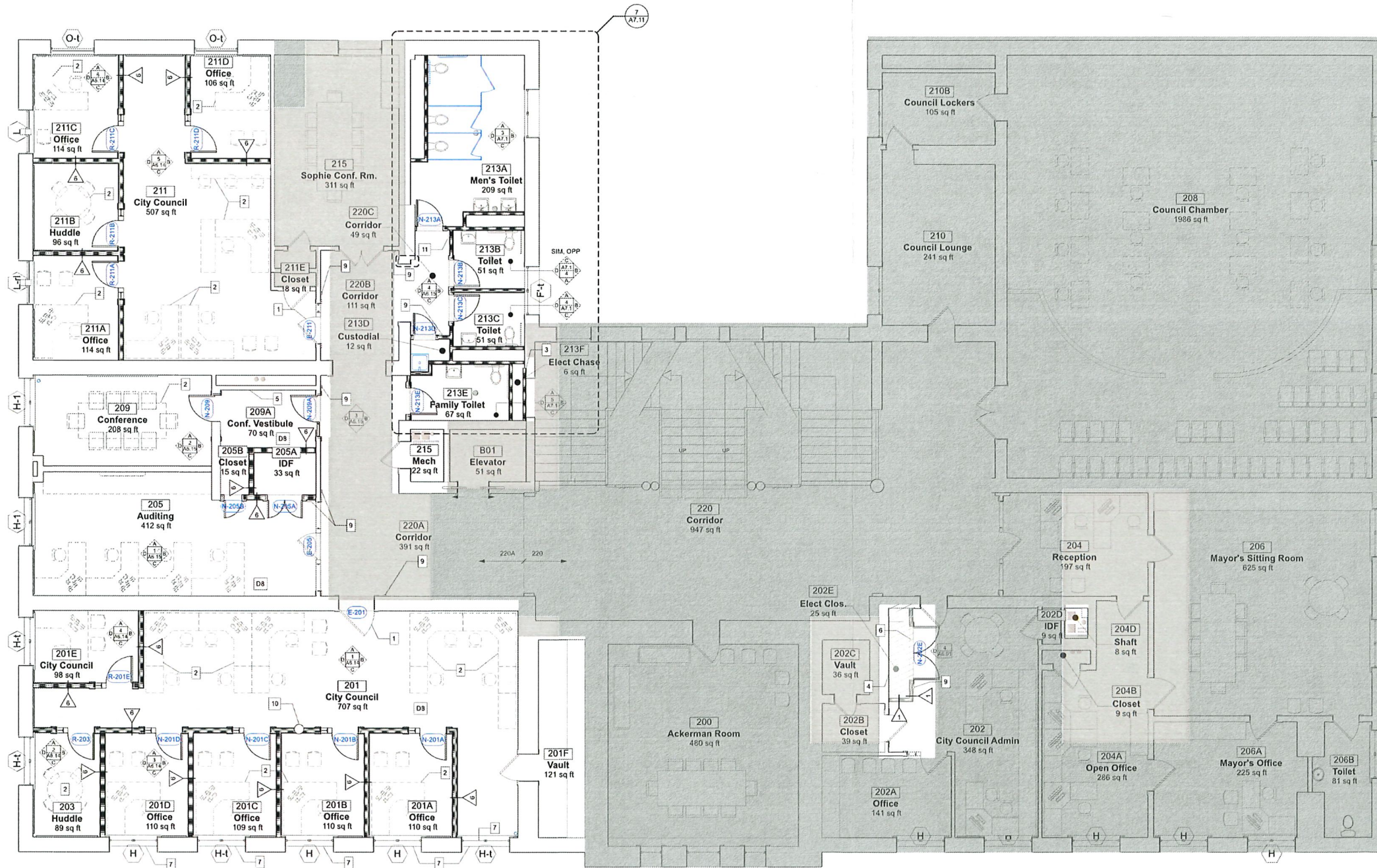


General Notes

1. (099100) - Properly Prepare All Existing Surfaces for Re-finishing in accordance with the requirements of this section. All previously exposed to view finished surfaces and elements to be re-finished unless otherwise noted.
2. Coordinate all new Work with Structural, Mechanical, Electrical, Plumbing, and Fire Protection Depts. etc.
3. Field verify existing conditions prior to construction. Notify Architect in writing of conflicts between existing conditions and proposed design.
4. Patch and finish floors and walls affected by demolition to match existing. (092100) (096500) (098800) (099100)
5. Provide thresholds/ transition strips as required between new and existing floor finishes and dissimilar floor finishes. (096500) (093103) (096800)

Notes

1. Confirm Updated Door Hardware Requirements w/ Existing Door. Salvage and Modify Historic Door if Possible
2. (0901) New Furniture by Owner
3. (092100) (099100) GWB Infill Existing Wall Opening at Stairs. Match Similar Condition on 3rd Floor
4. (061100) Provide New FR Plywood at Rear Wall of New Elect. Closet
5. (092300) (099100) Patch and Paint to Match Existing
6. (087100) New Threshold as Required
7. (062500) Refinish Wood Window Sill
8. (096800) New Carpet Floor Finish
9. Card Reader
10. Confirm Relationship of New Wall to Existing Column
11. (260000) HC Door Operator
12. N/A
13. N/A
14. N/A
15. N/A
16. N/A
17. N/A
18. N/A
19. N/A
20. Align Outer Face of Enclosure with Existing Chase
21. (062000) Provide Wood Base and Wood Picture Rail to Match Existing
22. (095000) New VCT Floor Finish
23. N/A
24. N/A
25. N/A
26. N/A
27. N/A
28. N/A
29. N/A
30. N/A
31. N/A
32. N/A
33. N/A
34. N/A
35. N/A
36. New Card Reader



1 Second Floor Plan - Proposed
A2.02 Scale: 3/16" = 1'-0"

- NEW WORK SCOPE LEGEND**
- NON-TONED AREAS ARE PART OF PROJECT WORK AREA
 - NOT IN SCOPE
 - ENABLING SCOPE (PREVIOUS PACKAGE)
 - EXISTING TO REMAIN
 - NEW WALL

Revisions:
4/1/21 Addendum 2
4/13/21 Historic Application

CAMBRIDGE CITY HALL
CAMBRIDGE, MA

Bid Documents

Sheet Title:
2nd Floor Plan

Date: 9-Mar-21 Drawn By: SH
Scale: As Noted Project No.: 20008



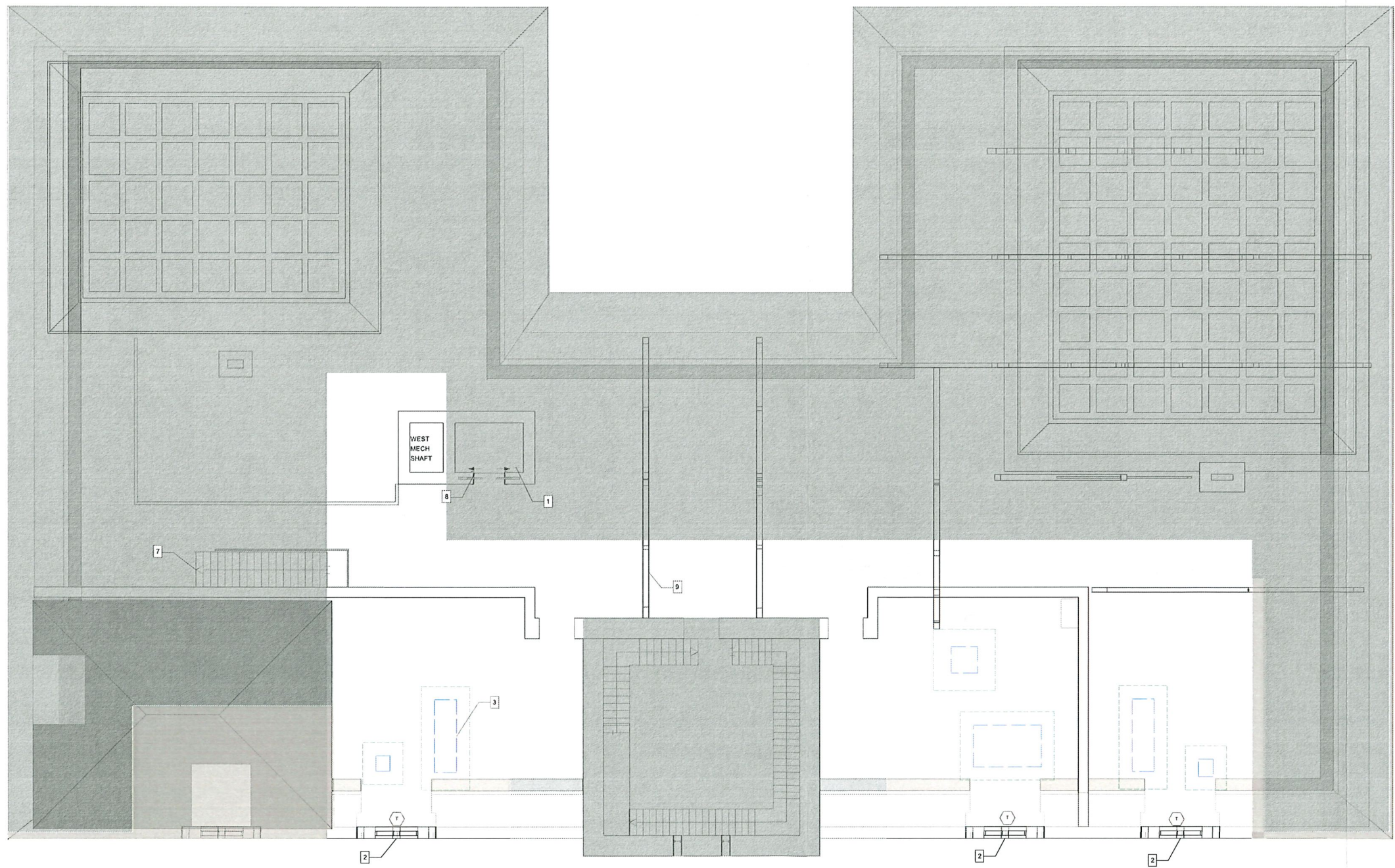
15 PROPERZI WAY
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0 2 1 4 3 - 3 2 2 8



A2.02

- General Notes
1. Coordinate All New Work with Mechanical, Electrical, Plumbing, and Fire Protection Drawings, Typ.
 2. Field Verify Existing Conditions Prior to Construction. Notify Architect in Writing of Conflicts between Existing Conditions and Proposed Design.
 3. These drawings are based on approximate field measurements and may not accurately depict the existing conditions. Verify on site.
 4. Patch and finish floors and walls affected by demolition to match existing. (092100) (095500) (096800) (099100)

- Notes
1. (092100) New GWB Sheathing in Elevator Shaft - Part of Elevator Scope Package
 2. (230000)(062510) New Louver
 3. (230000) New Mechanical Equipment, Coordinate w/ M Dwg
 4. (092300) (099100) Patch and Paint to Match Existing
 5. New Card Reader
 6. Existing Corridor VCT to Remain at Floor of New Electrical Chase/ Closets if Possible
 7. Access to Attic from Stairs
 8. Access to Attic from Elevator
 9. Existing Roof Truss, Typ.



3 Attic Floor Plan - Proposed
A2.04 Scale: 3/16" = 1'-0"



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Revisions:
4/13/21 Historic Application

CAMBRIDGE CITY HALL
CAMBRIDGE, MA

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Sheet Title:
Attic Plan

Date: 9-Mar-21 Drawn By: SH
Scale: As Noted Project No.: 2008

A2.04



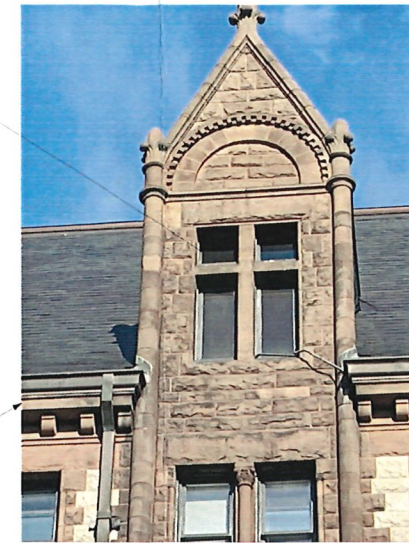
A South Facade - West Side Photo
Scale:



B South Facade - East Side Photo
Scale:

Replace Windows w/ Louvers

Replace windows behind hedge



C Dormer Photo
Scale:

Existing top left window in its screen w/ air intake beyond. The proposed work replaces all windows w/ louvers. Bird screens, painted black, are outboard of louvers.

(230000) (062510)
New Louver in Existing Window

(230000) (062510)
New Louver in Existing Window

(062510)
Replace Glazing in Upper Sash. Refer to Window Schedule

(086519)
New Interior Storm Window
Typical for 5 windows this elevation. See window schedule.

(230000) (062510)
New Louvers in Existing Window

(420000)
Masonry Infill at Existing Window Openings

1 Proposed Exterior Elevation - South
Scale: 1/8" = 1'-0"

(062510)
Replace Glazing in Upper Sash. Refer to Window Schedule

(085213)
New single hung window Insulated glass w/ Integral frosting. No interior storm.



D South Facade - Basement Window w/ Louver
Scale:

Remove AC

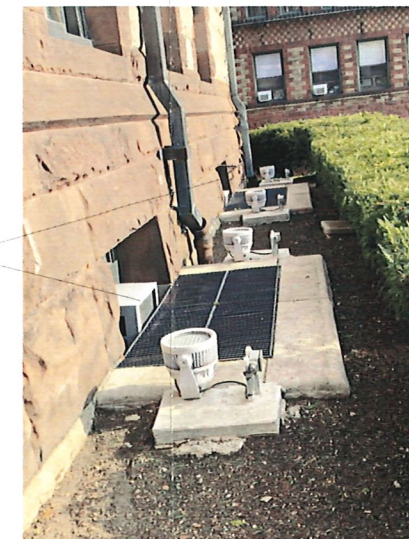
Masonry Infill

Add Louver to each upper Sash



E South Facade - Basement Window at Infill
Scale:

Remove Window AC. Replace Window w/ Aluminum Clad Wood Window.



F South Facade - Basement Window at East Side
Scale:

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ASSOCIATES INC.**
ARCHITECTS

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4/1/21 Addendum 2
4/13/21 Historic Application

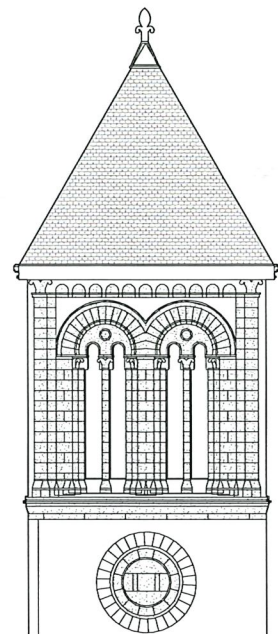
**CAMBRIDGE CITY
HALL**
CAMBRIDGE, MA

Bid Documents

Sheet
Title:
**Exterior Front
(South)
Elevation**

Date: 9-Mar-21 Drawn By: SH
Scale: Project No.: 20008

A3.11



Remove Window AC.
Replace Glazing in Historic
Wood Sash.



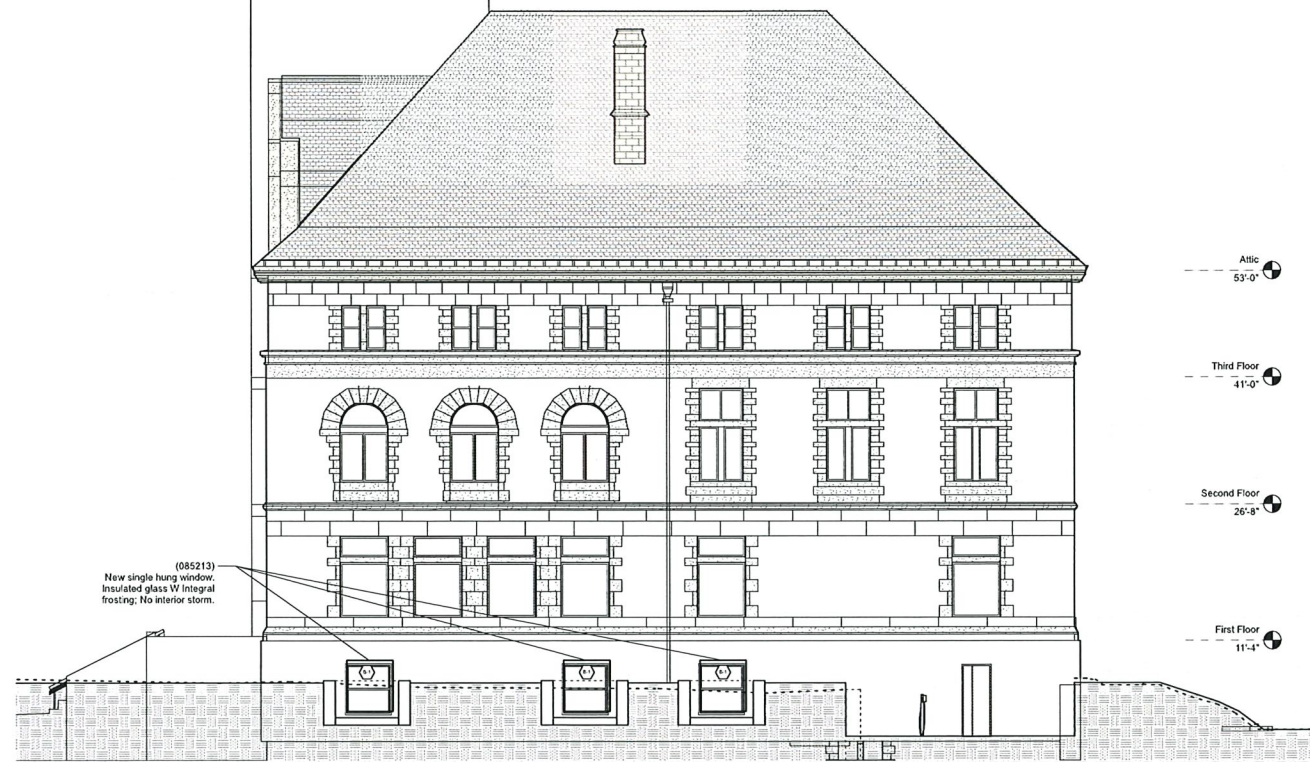
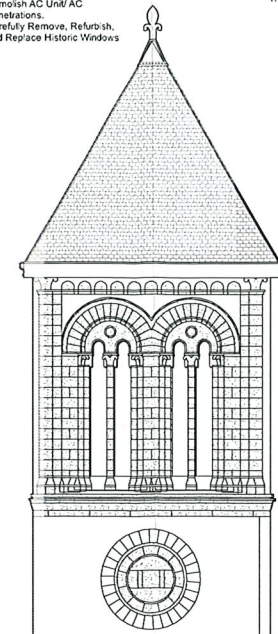
A West Facade - Window L Photo
Scale:



B West Facade - Window H Photo
Scale:

Demolish AC Unit/ AC
Penetrations.
Carefully Remove, Refurbish,
and Replace Historic Windows

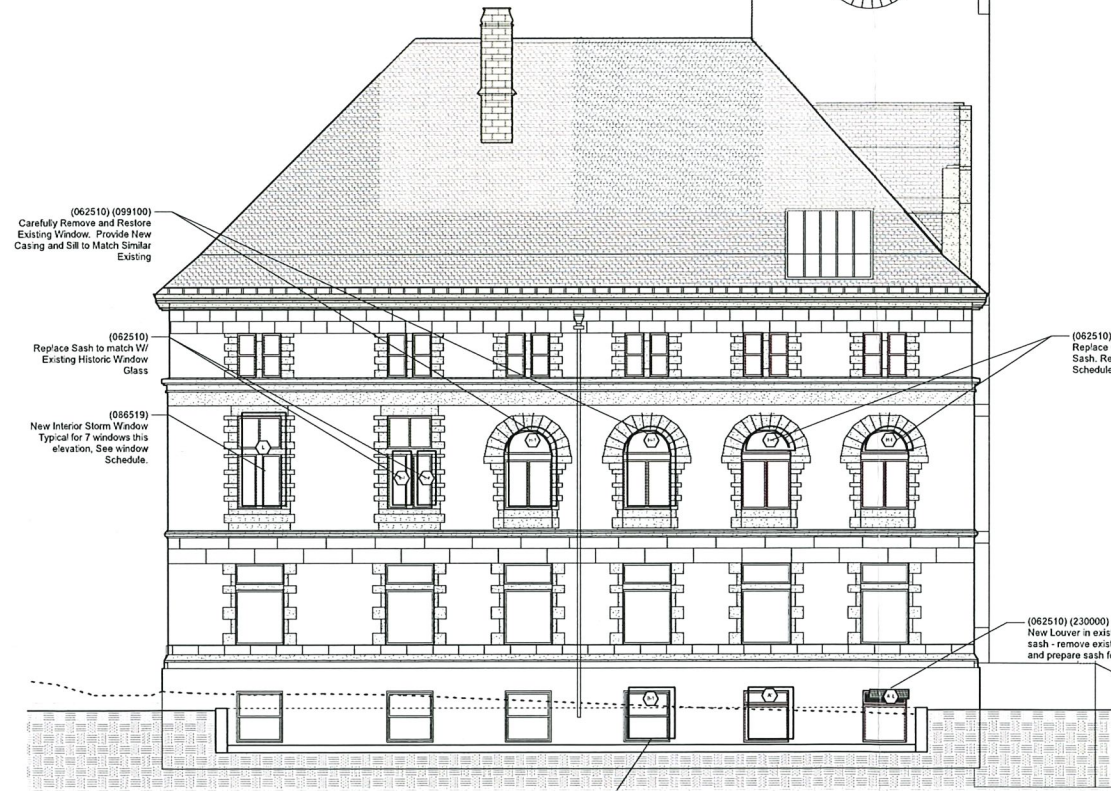
General Notes
1. Clean Exterior Windows Well Prior to
Installing New Windows. Typ.



(085213)
New single hung window.
Insulated glass w/ integral
frosting. No interior storm.

1 Proposed Exterior Elevation - East
Scale: 1/8" = 1'-0"

Attic
53'-0"
Third Floor
41'-0"
Second Floor
26'-8"
First Floor
11'-4"



(062510) (099100)
Carefully Remove and Restore
Existing Window. Provide New
Casing and Sill to Match Similar
Existing

(062510)
Replace Sash to match w/
Existing Historic Window
Glass

(086519)
New Interior Storm Window
Typical for 7 windows this
elevation. See window
Schedule.

(062510)
Replace Glazing in Upper
Sash. Refer to Window
Schedule

(062510) (230000)
New Louver in existing wood
sash - remove existing glass
and prepare sash for louver

2 Proposed Exterior Elevation - West
Scale: 1/8" = 1'-0"

Replace Window w/
Aluminum Clad Wood
Window



C East Facade - Window B Photo
Scale:

Replace Window w/
Aluminum Clad Wood
Window



D West Facade - Window B Photo
Scale:

Equipment to Remain

(085213)
New single hung window.
Insulated glass w/ integral
frosting. No exterior storm.



E West Facade - Window A' Photo
Scale:

Add Louver to each upper Sash

Replace Louver



F West Facade - Window A'L Photo
Scale:



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4/1/21 Addendum 2
4/13/21 Historic Application

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CAMBRIDGE, MA

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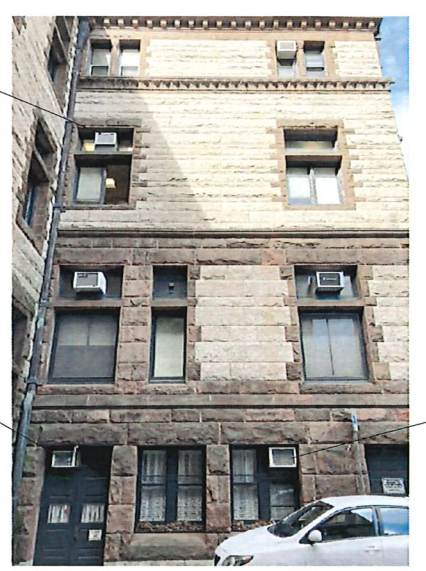
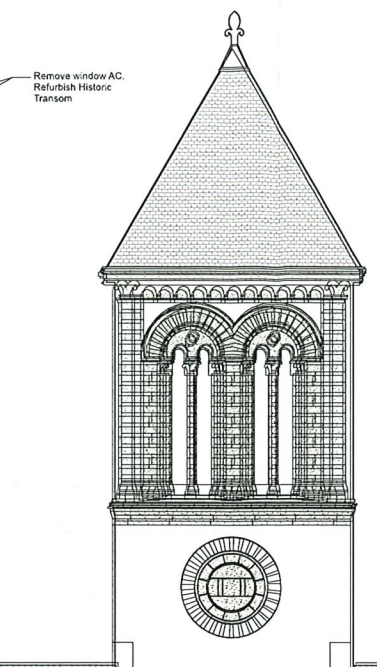
Sheet
Title: Exterior Side
(East and West)
Elevations

Date: 9 Mar 21 Drawn By: SH
Scale: Project No.: 20008

A3.12

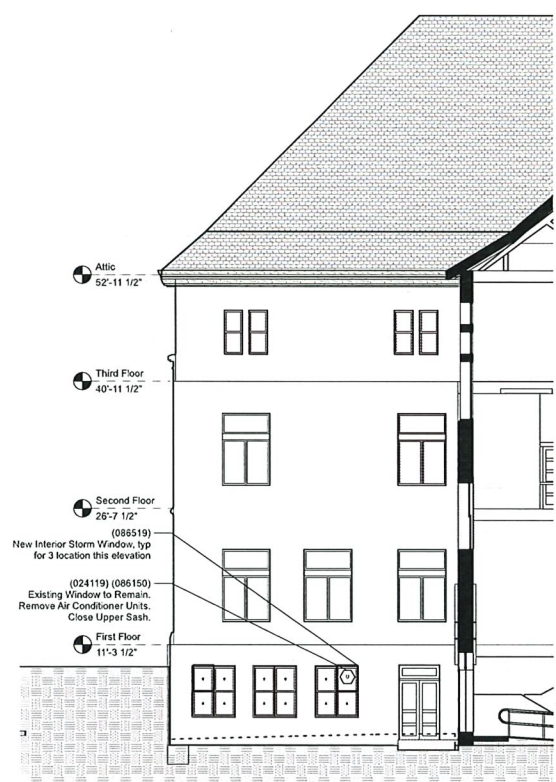


A North Facade - Photo
Scale:



B Northeast Facade - Photo
Scale:

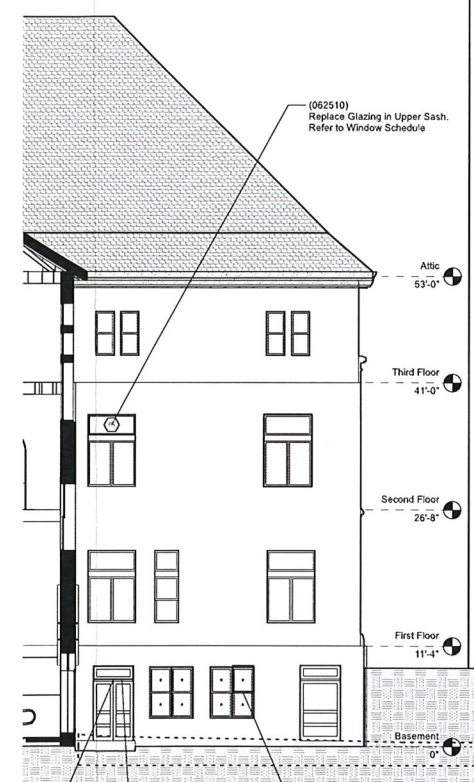
General Notes
1. Clean Exterior Window Wells Prior to Installing New Windows, Typ.



3 Section
A3.13 Scale: 1/8" = 1'-0"



1 Proposed Exterior Elevation - North
A3.13 Scale: 1/8" = 1'-0"



2 Section
A3.13 Scale: 1/8" = 1'-0"



C Northwest Facade - Photo
Scale:



D Window C - Photo
Scale:

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4/1/21 Addendum 2
4/13/21 Historic Application

CAMBRIDGE CITY HALL
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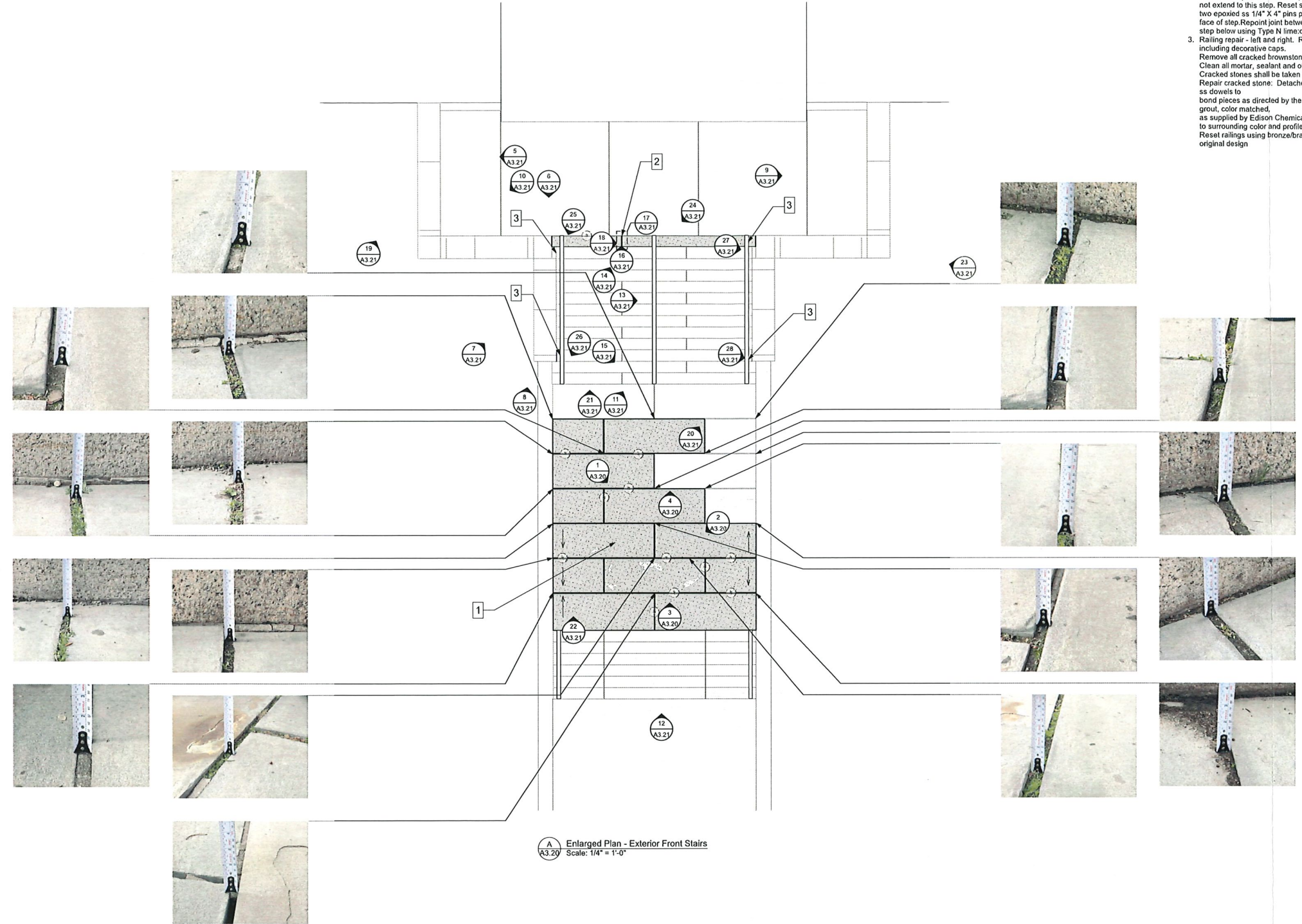
Bid Documents

Sheet Title:
Exterior Rear (North) Elevations

Date: 9-Mar-21 Drawn By: SH
Scale: Project No.: 20008

A3.13

- Notes**
1. Pavers determined to be tripping hazardous (indicated on plan): Carefully, lift protecting all edges from damage level and compact existing setting material. Provide addition back fill (3/4" crushed stone) if required to level bed and provide necessary setting height reset paver.
 2. Remove hand rail and upper tread units. Review condition of underlying structure with architect. Repair as directed. (Concern is that project that replaced stair foundation did not extend to this step. Reset step on repaired structure allow 3/8" joint to platform and two epoxied ss 1/4" X 4" pins per step unit into platform stone. Set pins 3" from top face of step. Repoint joint between platform and step and joints between step units and step below using Type N lime-cement: sand by volume mortar.
 3. Railing repair - left and right. Remove railing, salvage all bronze/brass elements, including decorative caps. Remove all cracked brownstone units, including and sound units above as necessary. Clean all mortar, sealant and other filler materials from bonding surfaces and cracks. Cracked stones shall be taken apart and all repair material removed. Repair cracked stone: Detached pieces shall be epoxy repaired and provided with 1/4" ss dowels to bond pieces as directed by the architect. Non-thru cracks shall be injected with repair grout, color matched, as supplied by Edison Chemicals. Reset repaired stones using Type N mortar matched to surrounding color and profile. Reset railings using bronze/brass fasteners. Replace all decorative finials, caps, etc to original design



A Enlarged Plan - Exterior Front Stairs
Scale: 1/4" = 1'-0"

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Sheet
Title:
**Exterior
Stair Photos
& Notes**

Date: 8-Mar-21 Drawn By: SH
Scale: Project No.: 20008

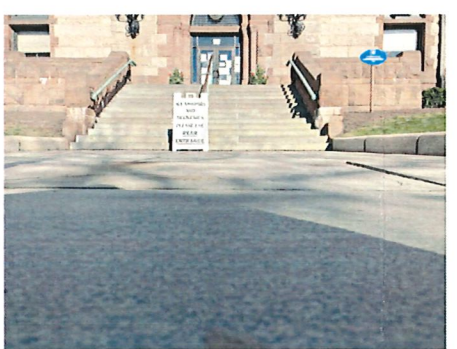
A3.20



1 Landing Pavement Photo
A3.20



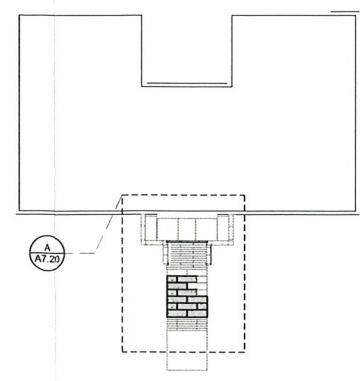
2 Landing Pavement Photo
A3.20



3 Landing Pavement Photo
A3.20



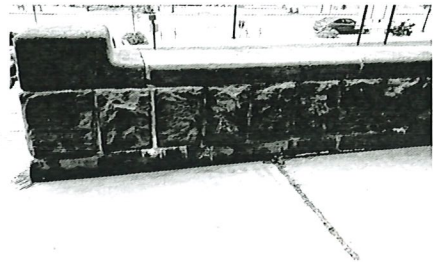
4 Landing Pavement Photo
A3.20



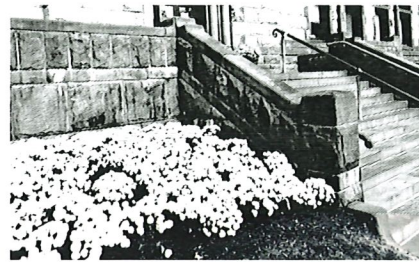
First Floor Key Plan



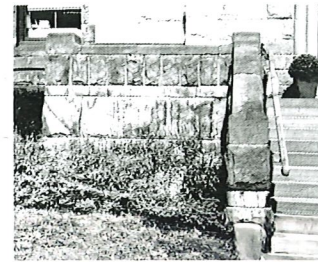
5 Upper Cheek Inner Wall - West (No Work)
A3.21



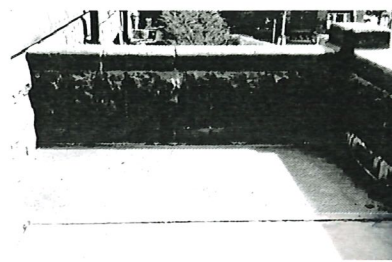
6 Upper Cheek Inner Wall - West (No Work)
A3.21



7 Upper Cheek Outer Wall - West (No Work)
A3.21



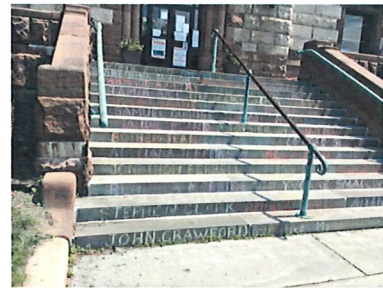
8 Upper Cheek Outer Wall - West (No Work)
A3.21



9 Upper Cheek Inner Wall - East (No Work)
A3.21



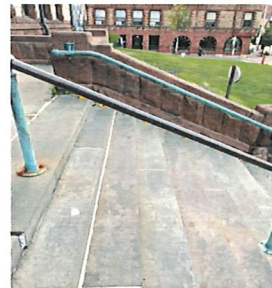
10 Upper Cheek Inner Wall - West (No Work)
A3.21



11 Upper Stair Treads
A3.21



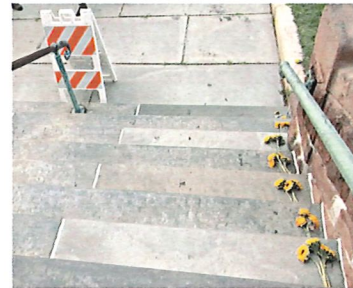
12 Lower Stair & Landing
A3.21



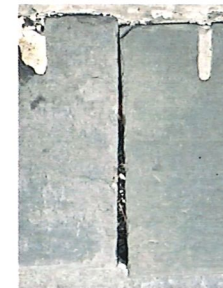
13 Upper Stair - East
A3.21



14 Upper Stair Treads
A3.21



15 Upper Stair Treads & Landing
A3.21



16 Upper Stair Tread - West
A3.21



17 Upper Stair Tread - West
A3.21



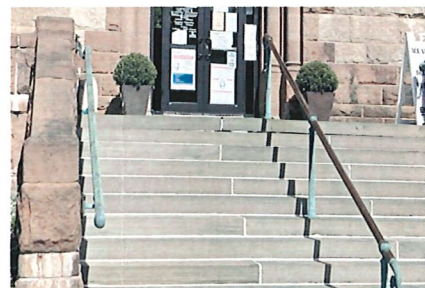
18 Upper Cheek Outer Wall - West (No Work)
A3.21



19 Upper Cheek Wall - West (No Work)
A3.21



20 Upper Cheek Wall - West, Outer
A3.21



21 Upper Stair - West
A3.21



22 Lower Landing
A3.21



23 Upper Cheek Outer Wall - East (No Work)
A3.21



24 Upper Stair Tread
A3.21



25 Upper Stair Railing - East
A3.21



26 Upper Stair Railing Right
A3.21



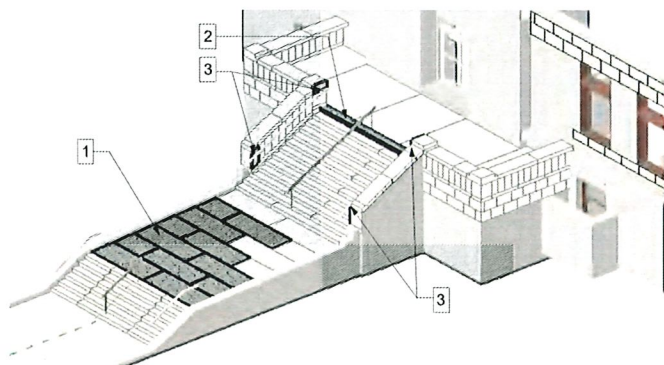
27 Upper Stair Railing - East
A3.21



28 Lower Stair Railing - East
A3.21

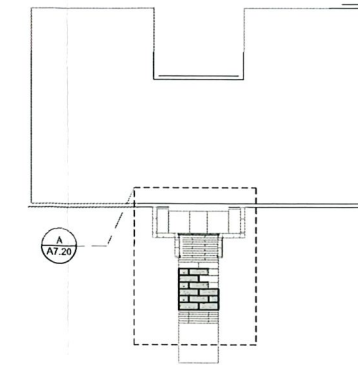


29 Upper Stair Railing - Middle
A3.21



B FRONT PLAZA - SCOPE OF WORK
A3.21 Scale: 1/8" = 1'-0"

- Notes**
1. Pavers determined to be tripping hazardous (indicated on plan): Carefully, lift protecting all edges from damage level and compact existing setting material. Provide additional back fill (3/4" crushed stone) if required to level bed and provide necessary setting height reset paver.
 2. Remove hand rail and upper tread units. Review condition of underlying structure with architect. Repair as directed (Concern is that project that replaced stair foundation did not extend to this step. Reset step on repaired structure allow 3/8" joint to platform and two epoxied as 1/4" X 4" pins per step unit into platform stone. Set pins 3" from top face of step. Repoint joint between platform and step and joints between step units and step below using Type N lime cement sand by volume mortar.
 3. Railing repair - left and right. Remove railing, salvage all bronze/brass elements, including decorative caps.



First Floor Key Plan

**JOHNSON
ROBERTS
ASSOCIATES INC.**
ARCHITECTS

15 PROPERZI WAY
SOMERVILLE, MA
0 2 1 4 3 - 3 2 2 8

Revisions:

**CAMBRIDGE CITY
HALL**
CAMBRIDGE, MA

Bid Documents

Sheet
Title:
**Exterior
Stair Photos
& Notes**

Date: 8-Mar-21 Drawn By: SH
Scale: Project No.: 20008

A3.21



15 PROPERZI WAY
SOMERVILLE, MA
0 2 1 4 3 - 3 2 2 8

Revisions:

4/13/21	Historic Application

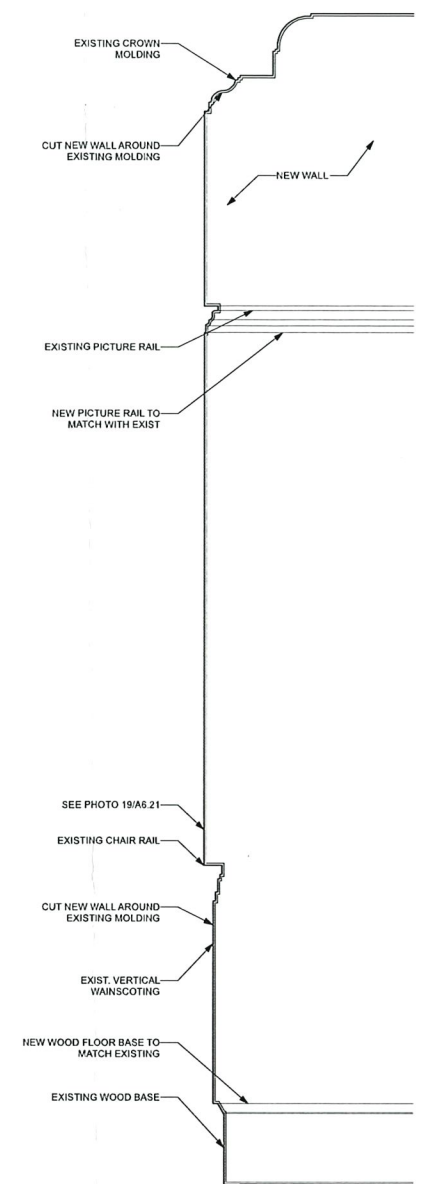
CAMBRIDGE CITY HALL
CAMBRIDGE, MA

Bid Documents

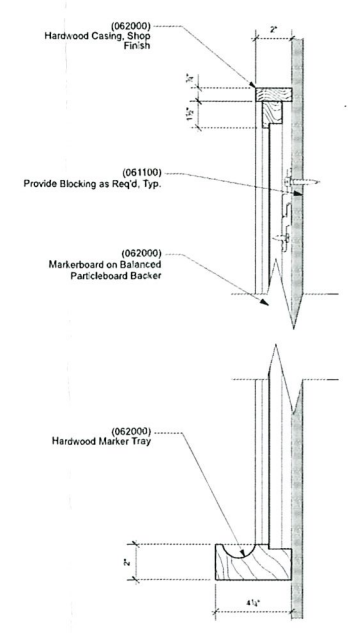
Section Details
Walls

Date: 9-Mar-21 Drawn By: SH
Scale: Project No.: 20008

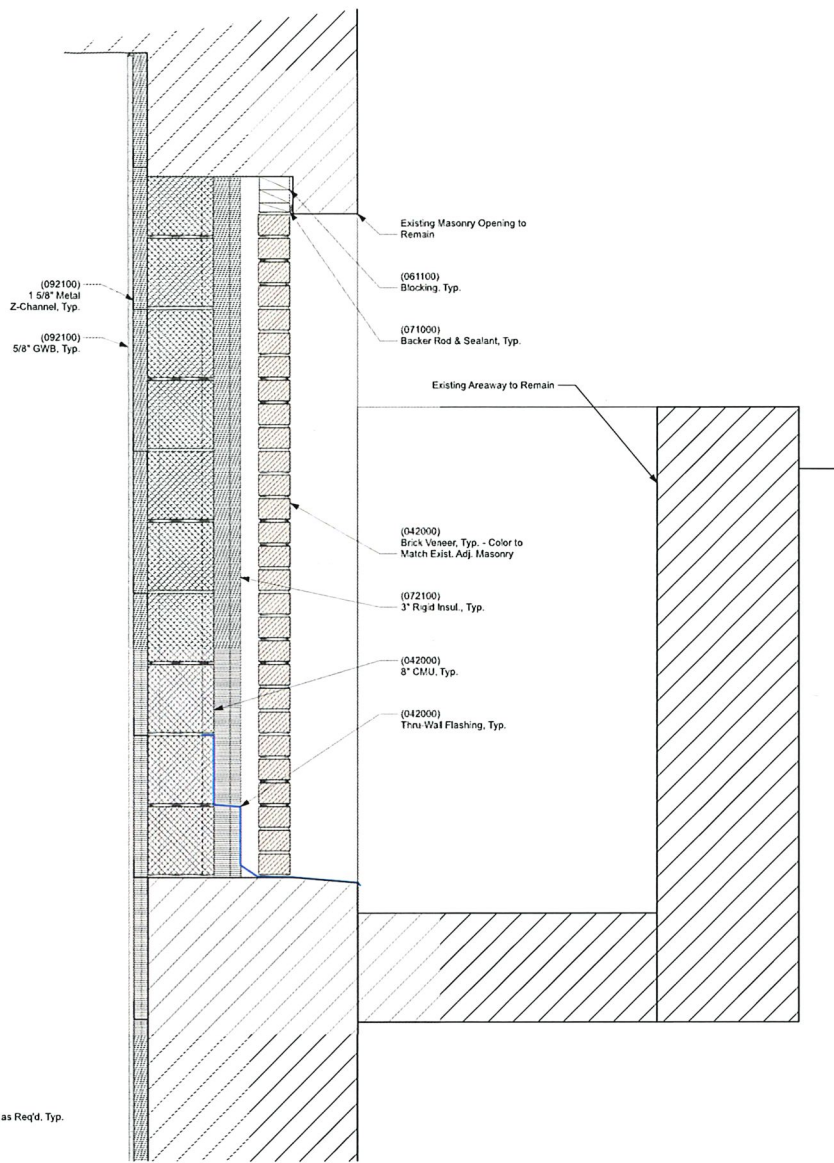
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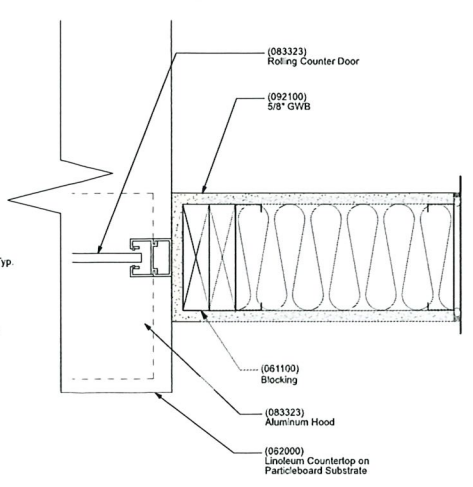
4 Typical Sect. Through Existing Wall Trim at New Wall
Scale: 1 1/2" = 1'-0"



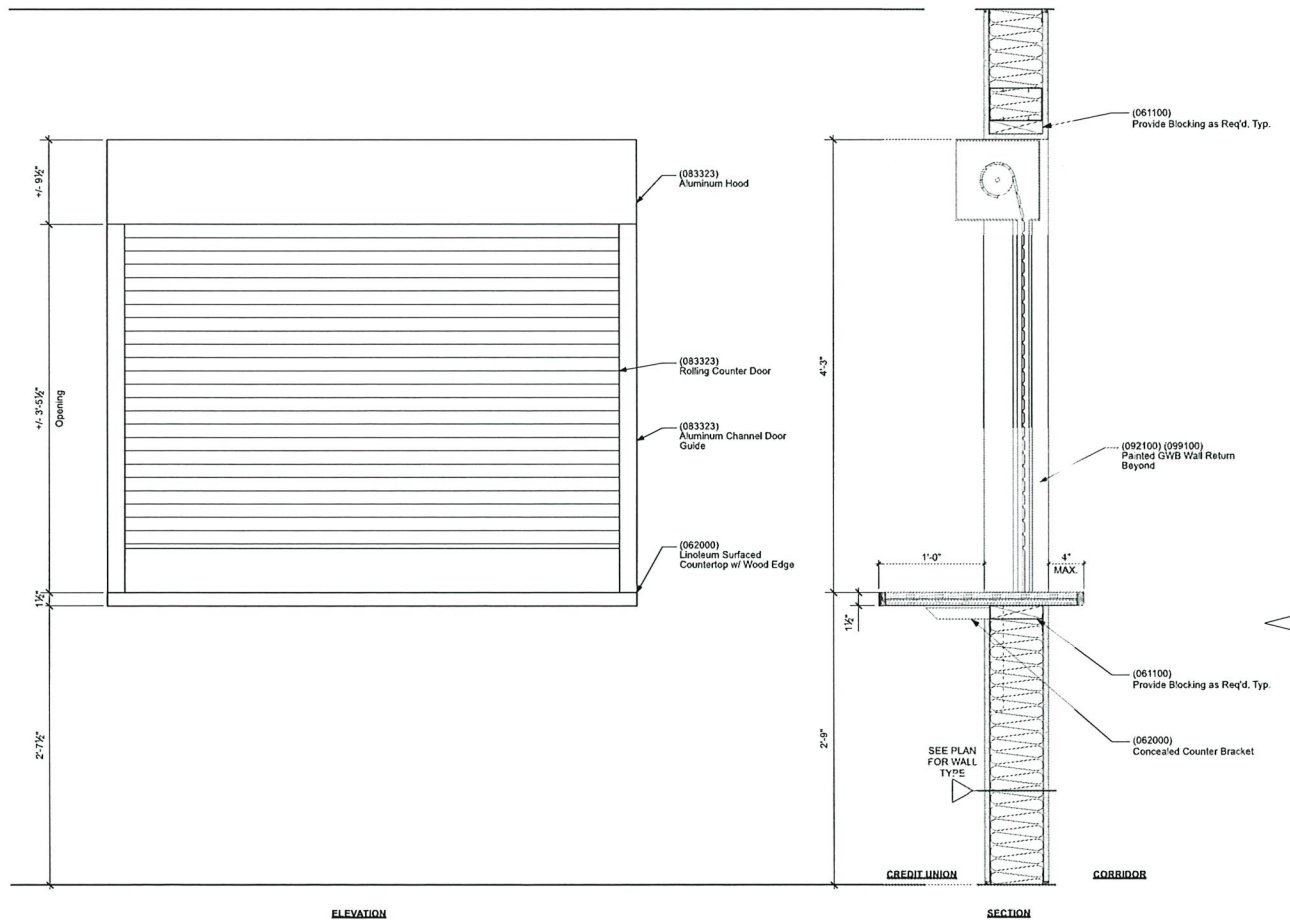
6 Wood Frame - Marker Board Section Detail
Scale: 3" = 1'-0"



5 Masonry Opening Infill Detail
Scale: 1 1/2" = 1'-0"



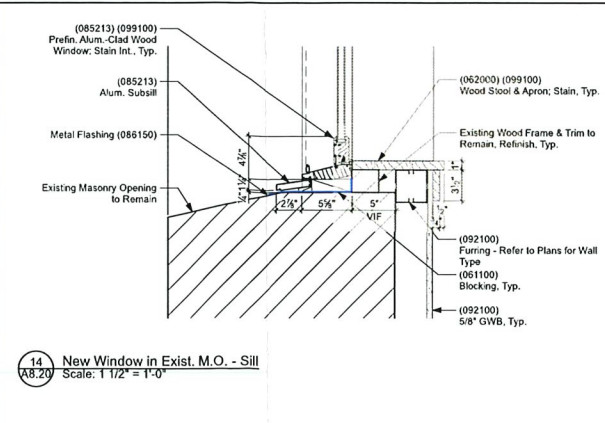
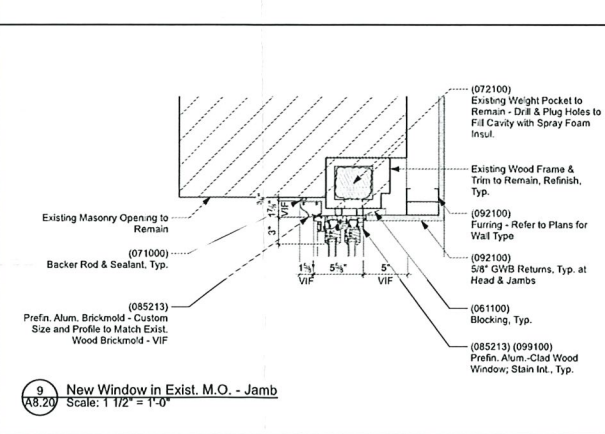
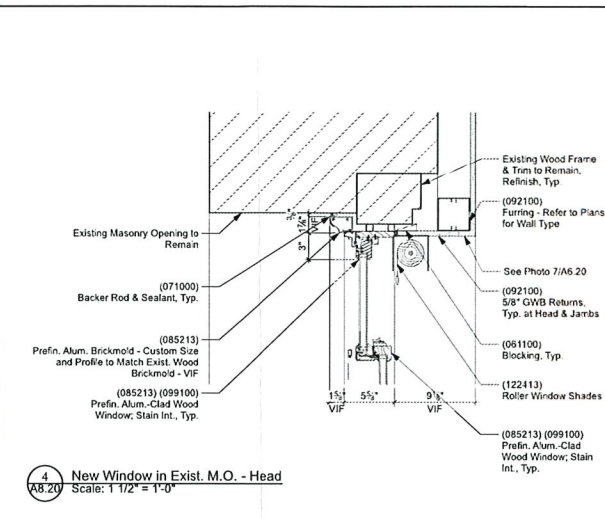
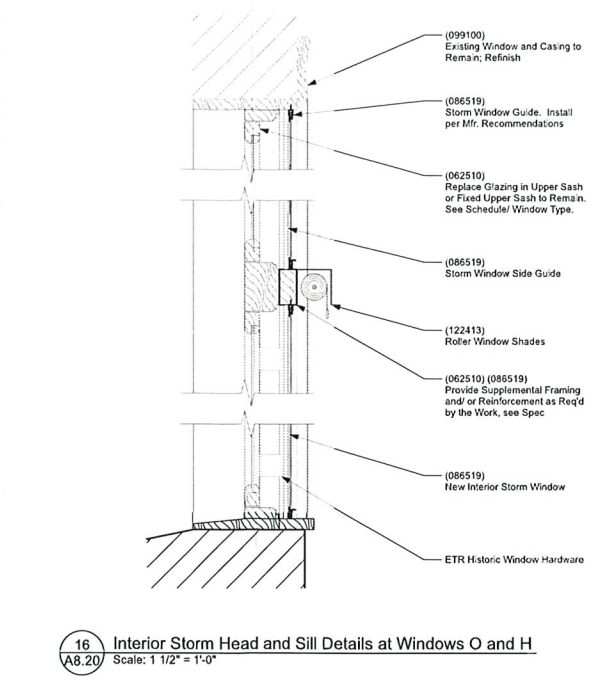
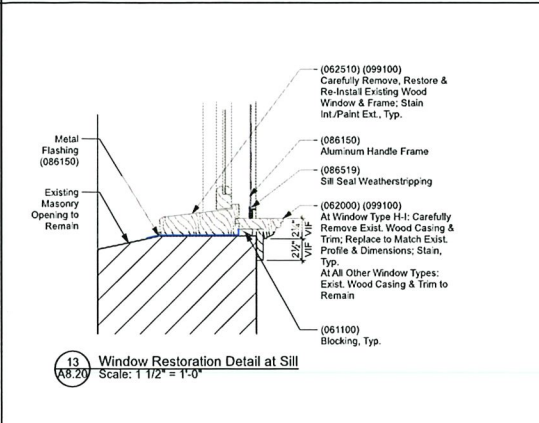
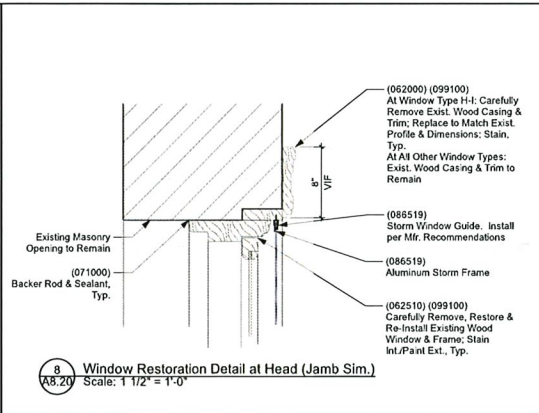
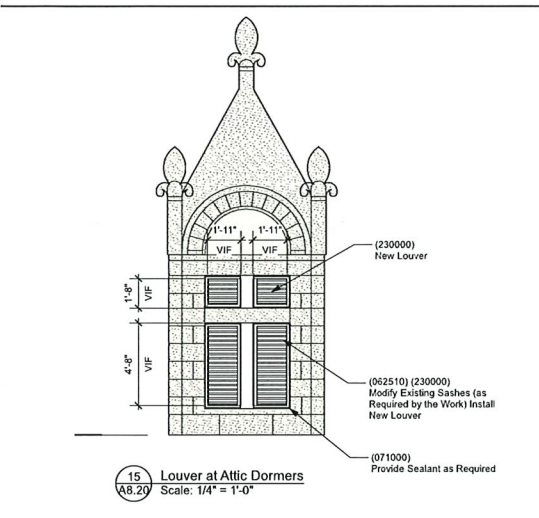
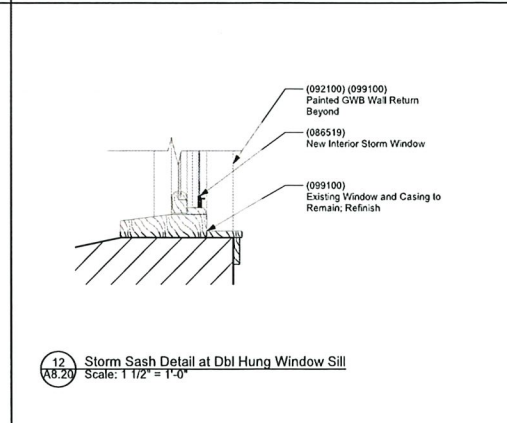
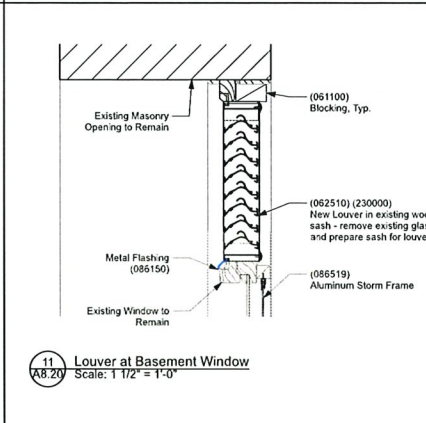
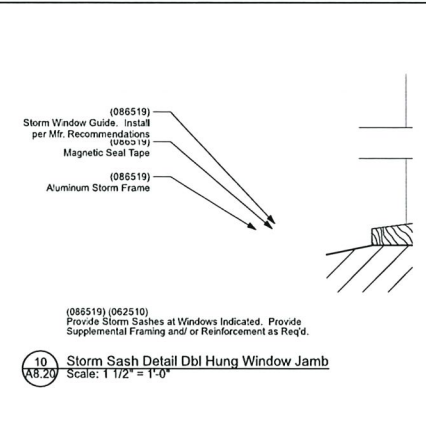
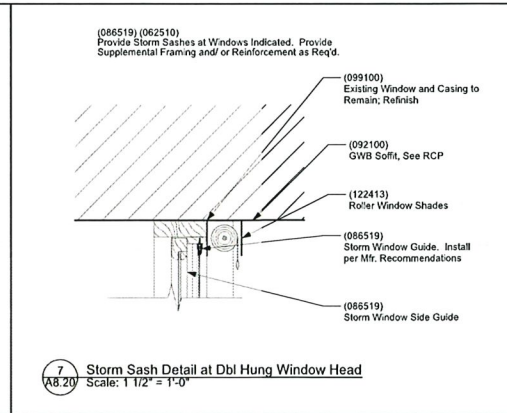
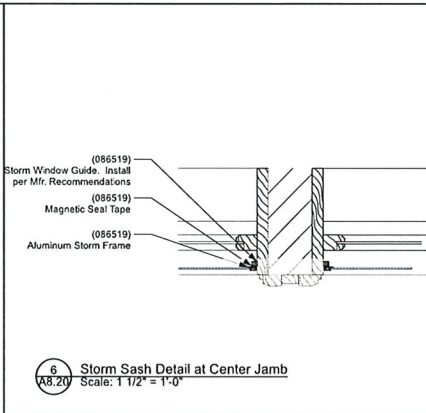
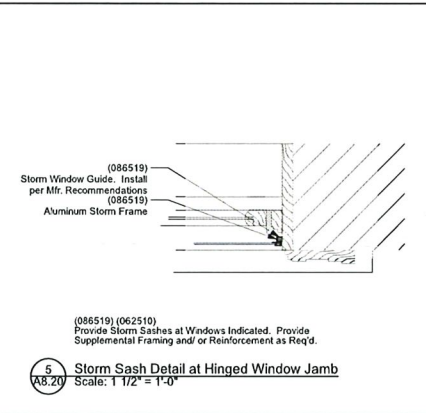
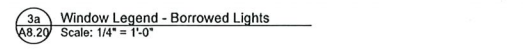
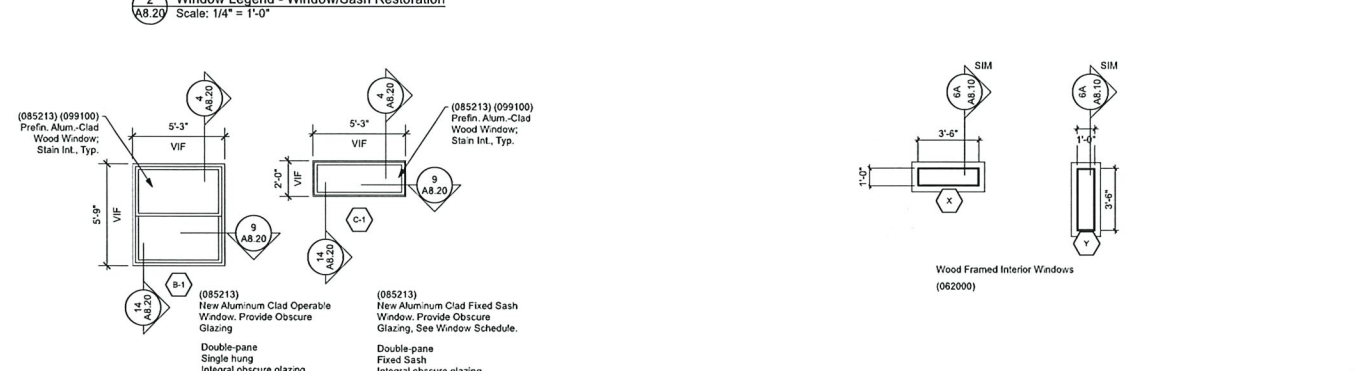
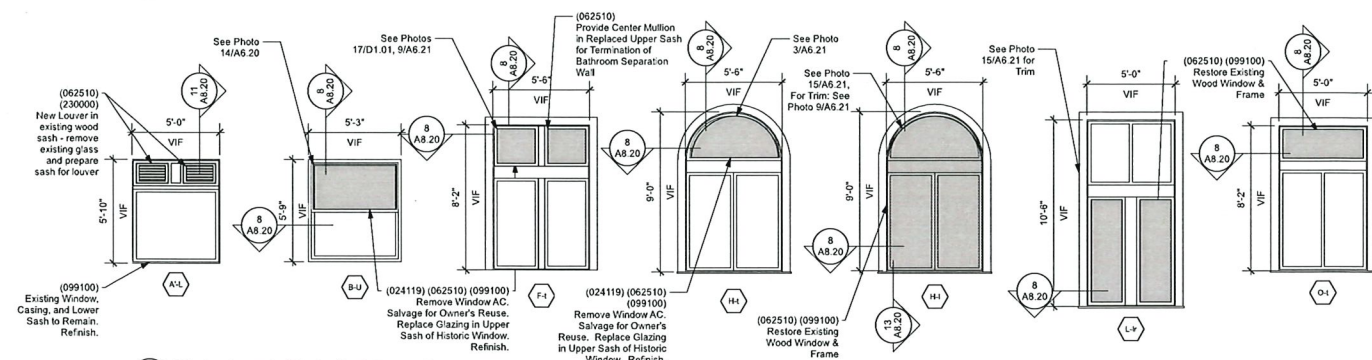
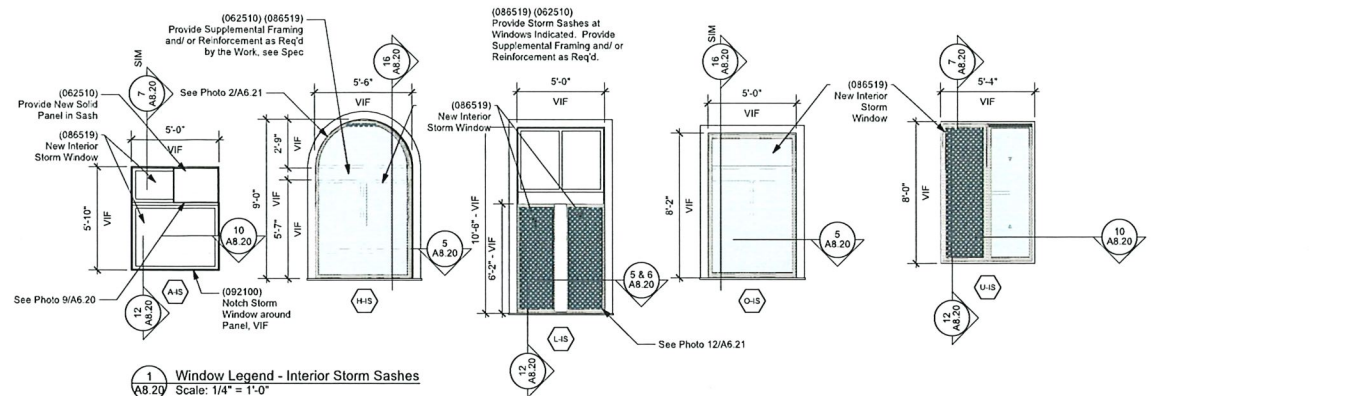
4 Rolling Steel Door Jamb Detail
Scale: 3" = 1'-0"



3 Counter Steel Door at Credit Union
Scale: 1 1/2" = 1'-0"

ELEVATION

SECTION



JOHNSON ROBERTS ASSOCIATES INC. ARCHITECTS

15 PROPERZI WAY
SOMERVILLE, MA
02143-3228

Revisions:

4/1/21 Addendum 2
4/13/21 Historic Application

CAMBRIDGE CITY HALL
CAMBRIDGE, MA

Bid Documents

Sheet Title:
Window Types And Details
Date: 9-Mar-21 Drawn By: SH
Scale: Project No.: 20008

A8.20