

Architectural Drawing List		
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AV-2	Perspectives	4/26/17



PROJECT NAME  
**64 PEARL ST.  
(Front)**

PROJECT ADDRESS  
64 Pearl St.  
Cambridge, MA

CLIENT  
**64 Pearl St. LLC**

ARCHITECT  
**DESIGN**  
  
**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

**RECEIVED**  
JUL 24 2017

CAMBRIDGE HISTORICAL COMMISSION

**LOCUS MAP**



② Locus Map  
1" = 80'-0"

**PROJECT:  
64 Pearl St. (Front)**

PROJECT ADDRESS:  
64 PEARL ST.  
CAMBRIDGE, MASSACHUSETTS

ARCHITECT  
KHALSA DESIGN INC.  
ADDRESS:  
17 IVALOO STREET, SUITE 400  
SOMERVILLE, MA 02143

CLIENT  
64 PEARL ST. LLC  
ADDRESS:

CIVIL  
DESIGN CONSULTANTS, INC.  
ADDRESS:  
265 MEDFORD ST.  
SOMERVILLE, MA 02143  
TELEPHONE:  
(617) 776-3350

STRUCTURAL  
ADDRESS:

**SD SET  
7-20-2017**

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REGISTRATION

Project number	16104
Date	7-20-2017
Drawn by	NB
Checked by	JSK
Scale	1" = 80'-0"

REVISIONS

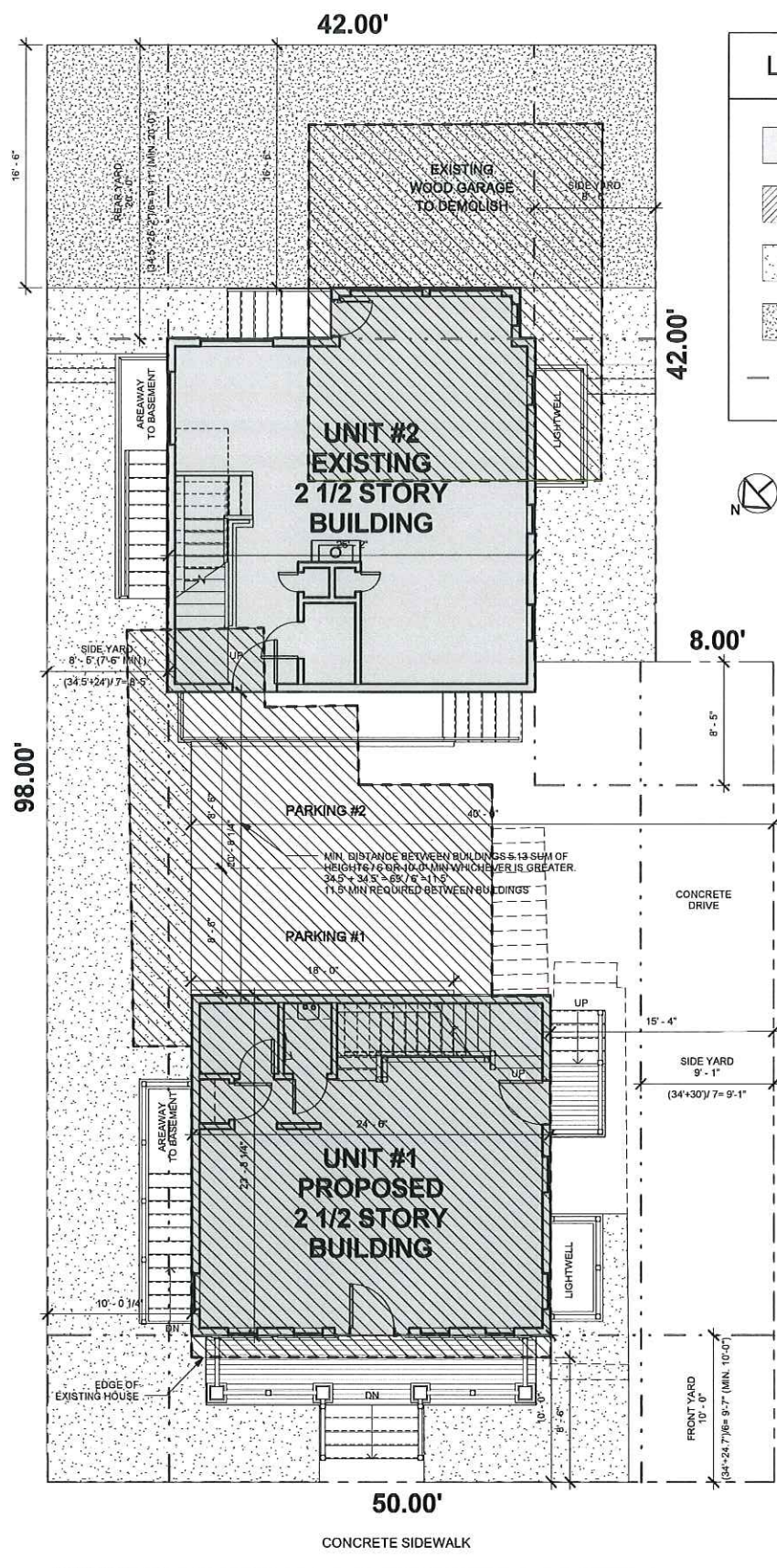
No.	Description	Date

Cover Sheet  
**A-000**  
64 PEARL ST. (Front)









**LEGEND**

- PROPOSED BUILDING AREA
- EXISTING BUILDING TO DEMOLISH
- OPEN SPACE UNDER 15'X15'
- OPEN SPACE OVER 15'X15'
- REQUIRED YARD SETBACK

LOT AREA: 4,564 SF

**OPEN SPACE**

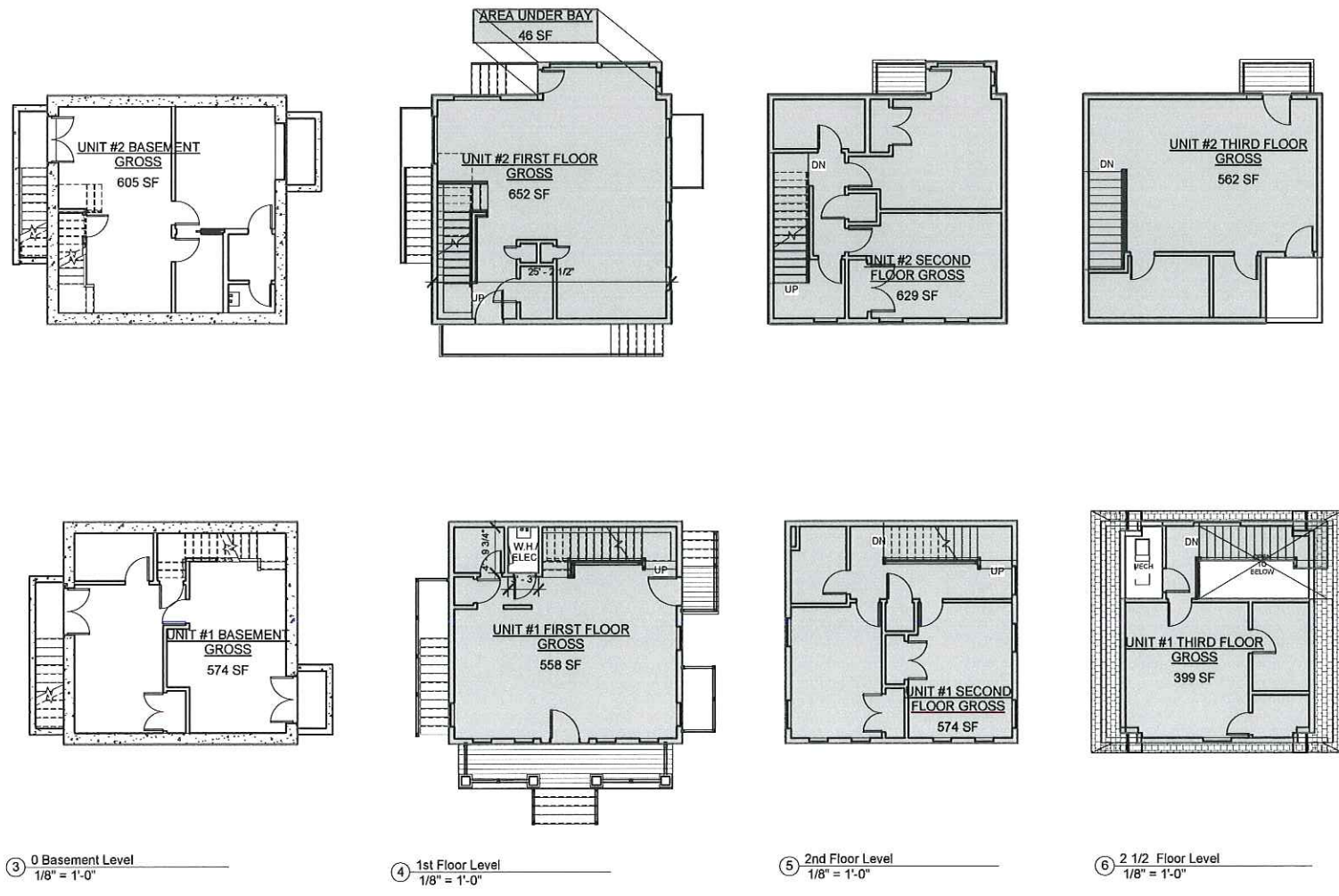
PRIVATE OPEN SPACE W/ MIN. 15'X15'	693 SF
OPEN SPACE W/O MIN. 15'X15'	1,019 SF
<b>TOTAL OPEN SPACE</b>	<b>1,712 SF</b>

**ZONING CHART**

ZONE : C-1	REQUIRED	EXISTING	PROPOSED	REMARKS
LOT AREA, MIN S.F.	5,000 S.F.	4,564 S.F.	4,564 SF	COMPLIES
LOT AREA, MIN S.F. / DU	1,500 S.F. / DU= 2 DU	1 DU	XXX S.F. / DU = 2 DU PROPOSED	COMPLIES
MAX. FAR	0.75 (3,423 S.F. MAX)	0.384 (1,920 S.F.)	1,531SF(FRONT)+1,889SF(REAR)=3,420 SF	COMPLIES
MIN. LOT WIDTH	50'-0"		50'-0"	COMPLIES
MIN. FRONT YARD	H+L (a) / 4+2; MIN. 10'-0" (a) MEASURED FROM CENTERLINE OF STREET (34.5'+24.5')/7= 8'-6" (MIN. 10'-0")	8'-6"	10'-0" +/- 30'-0" FROM CENTER OF PEARL ST.	COMPLIES
MIN SIDE YARDS	H+L / 5+2 (n) 7'-6" MINIMUM (34.5'+24.5')/7= 8'-6" (FRONT) (34.5'+24.5')/7= 8'-5" (REAR)	5'-6"	FRONT UNIT (10'-0") LEFT (15'-4") RIGHT REAR UNIT (8'-5") LEFT (8'-5") RIGHT	COMPLIES / EXISTING COMPLIES COMPLIES
MIN REAR YARD	H+L (c) / 4+2; MIN. 20'-0" (34.5'+20)/6= 9'-1" (MIN. 20'-0")	39'-8"	20'-0"	COMPLIES
MAX HEIGHT	35'-0"		34'-6"	COMPLIES
MIN RATIO OF PRIVATE OP. SP. TO LOT AREA	30% (1,369 S.F.) 50 % AREA REQ. TO BE PRIVATE OPEN SPACE (BELOW)= 685 SF		37% (1,712 SF) 693 SF OF REQUIRED OPEN SPACE MEETS REQUIREMENTS FOR PRIVATE OPEN SPACE	COMPLIES COMPLIES
PARKING	1 SPACE/DU= 2 SPACES		2 SPACES	COMPLIES

**SECTION 5.22: PRIVATE OPEN SPACE:**  
An area designated as private open space must have both a width and a length of at least fifteen (15) feet, except for balconies, and may not have a slope greater than ten (10) percent. With the exception of balcony areas, private open space shall be accessible to all occupants of a building, not less than one half of the required private open space shall be provided at ground level or within ten (10) feet of the level of the lowest floor used for residential purposes. Areas at other levels, such as balconies, decks, and roofs, of garages and buildings, which are accessible to all occupants of buildings, which are not used as walkways or corridors, and which have both a width and a length of at least six (6) feet and a minimum area of seventy-two (72) square feet, may be calculated as private open space, not to exceed twenty-five (25) percent of the total private open space.

(a) Measured from the centerline of the street, but in no case may a building be nearer the street than ten (10) feet.  
(b) Measured from the centerline of the street, but in no case may a building be nearer the street line than five (5) feet.  
(n) In a Residence C-1 District, no building plane (excluding projections as permitted by Section 5.24.2) may be nearer than seven feet, six inches (7'-6") to a side lot line.



PEARL STREET  
PUBLIC - 40' WIDE

F.A.R. CALCULATION	FRONT	REAR	
BAYS @ GRADE	0 SF	46 SF	
FIRST FLOOR	558 SF	652 SF	
SECOND FLOOR	574 SF	629 SF	
ATTIC FLOOR	399 SF	562 SF	
<b>TOTAL</b>	<b>1,531 SF</b>	<b>1,889 SF</b>	<b>UNITS TOTAL</b>
3,420 SF / 4,564 SF = 0.75			
<b>MAX ALLOWABLE FAR 3,423 SF, PROPOSED 3420 SF - COMPLIES</b>			

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**64 PEARL ST. (Front)**

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**CLIENT**  
**64 Pearl St. LLC**

**ARCHITECT**

DESIGN  
KHALSA

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**REGISTRATION**

Project number 16104  
Date 7-20-2017  
Drawn by NB  
Checked by JSK  
Scale As indicated

**REVISIONS**

No.	Description	Date

**Architectural Site Plan & FAR Calculations**

**A-021**

64 PEARL ST. (Front)

VTXG-Server/Dabi/16116104\_MF64-Pearl/03 Drawing/01\_ARCH\_CD/64 Pearl St. - Front/16116104\_MF64-Pearl\_FRONT - SD\_FINAL.vtc 7/20/2017 2:43:46 PM

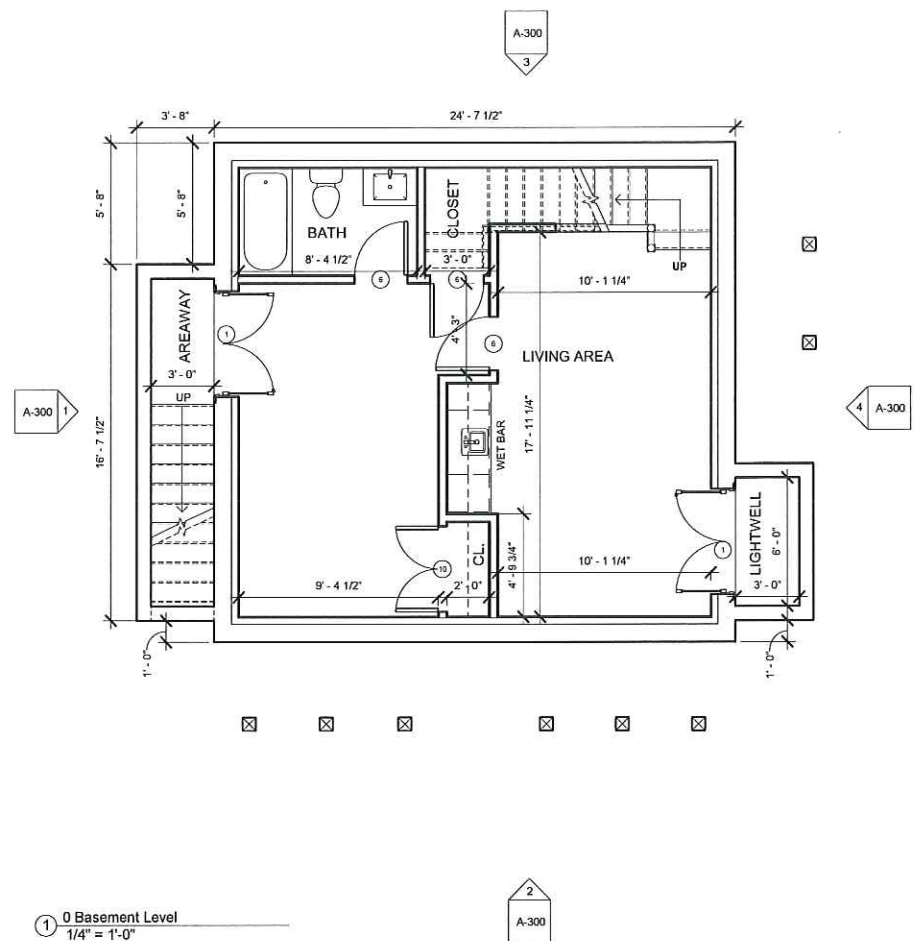


**LEGEND**

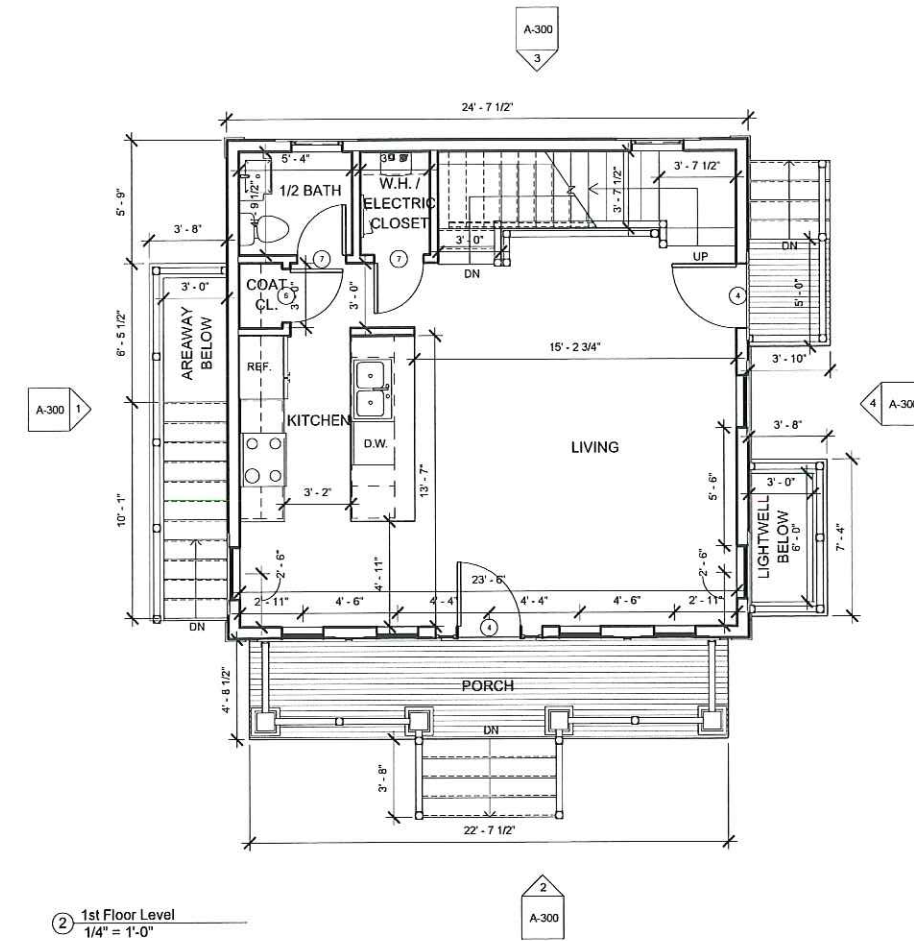
- NEW WALL
- EXISTING TO REMAIN
- WALL TYPE
- ⊕ CARBON MONOXIDE DETECTOR
- ⊙ SMOKE DETECTOR

**GENERAL FLOOR PLAN NOTES**

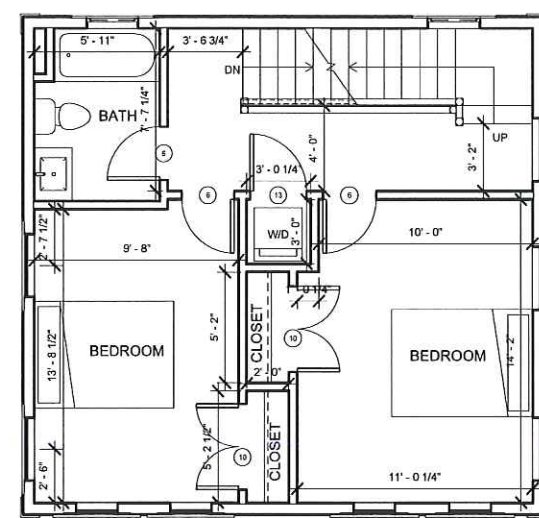
1. ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.
2. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
3. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
4. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "2"
5. SEE A-800 FOR PARTITION TYPES.
6. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
7. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
9. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING, TYP. U.N.O.
10. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES
11. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.
12. EXISTING WINDOWS TO BE REPLACED IN EXISTING OPENINGS UNLESS OTHERWISE NOTED.
13. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
14. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
15. CONTRACTOR TO SUBMIT DOOR & WINDOW SCHEDULE TO BE REVIEWED & APPROVED BY ARCHITECT PRIOR TO ORDERING AND CONSTRUCTION.
16. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "1"



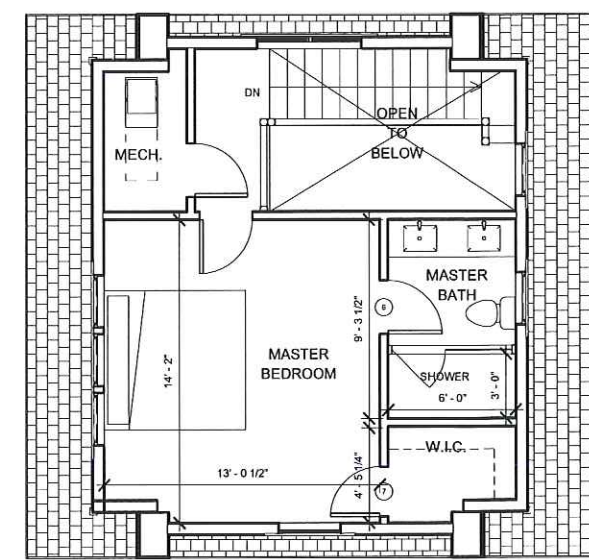
① 0 Basement Level  
1/4" = 1'-0"



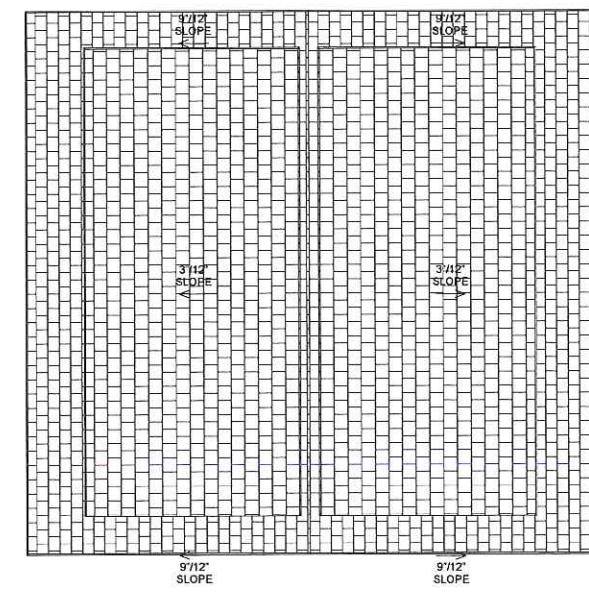
② 1st Floor Level  
1/4" = 1'-0"



③ 2nd Floor Level  
1/4" = 1'-0"



④ 2 1/2 Floor Level  
1/4" = 1'-0"



⑤ 3 Roof Top - Unit #1 (Front Building)  
1/4" = 1'-0"

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**REGISTRATION**

Project number 16104  
Date 7-20-2017  
Drawn by NB  
Checked by JSK  
Scale 1/4" = 1'-0"

**REVISIONS**

No.	Description	Date

**Floor Plans**

**A-100**  
64 PEARL ST. (Front)




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 (Front)**

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 Cambridge, MA

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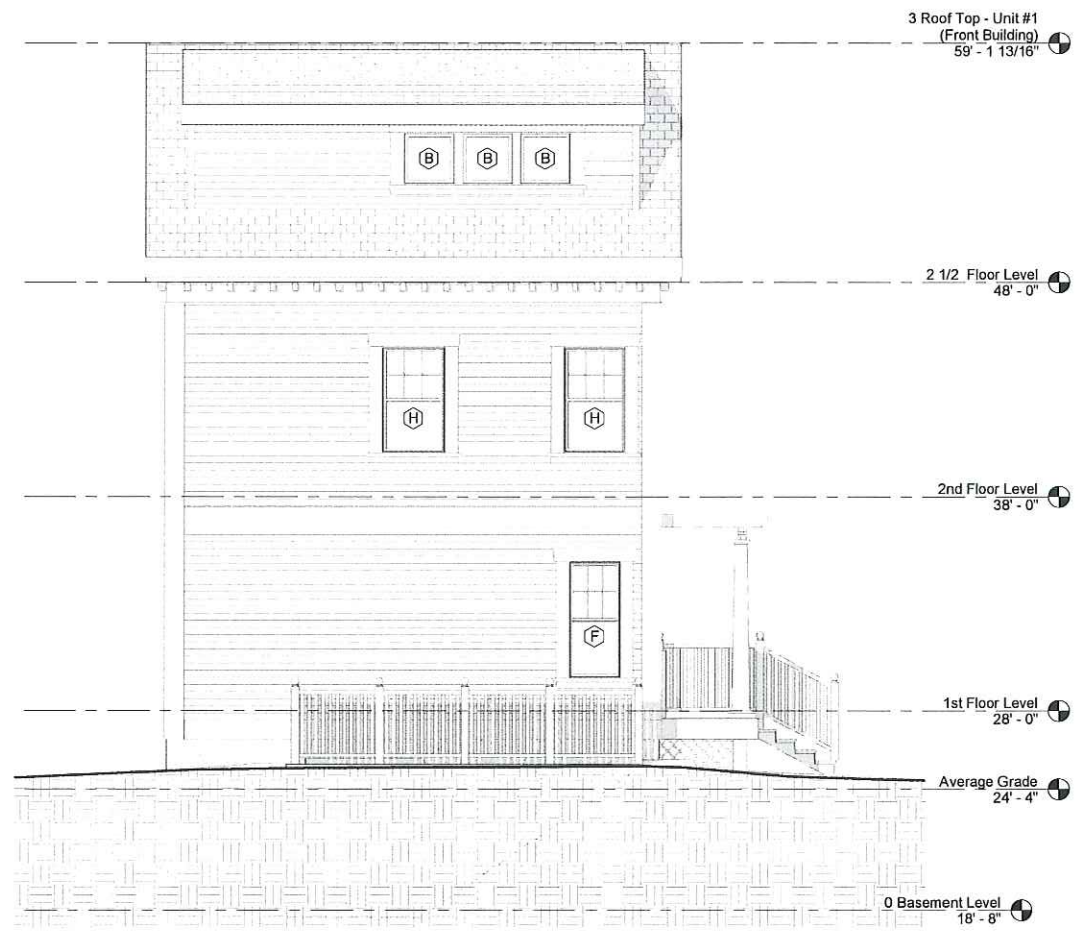
Project number 16104  
 Date 7-20-2017  
 Drawn by NB  
 Checked by JSK  
 Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

Elevations  
**A-300**  
 64 PEARL ST. (Front)

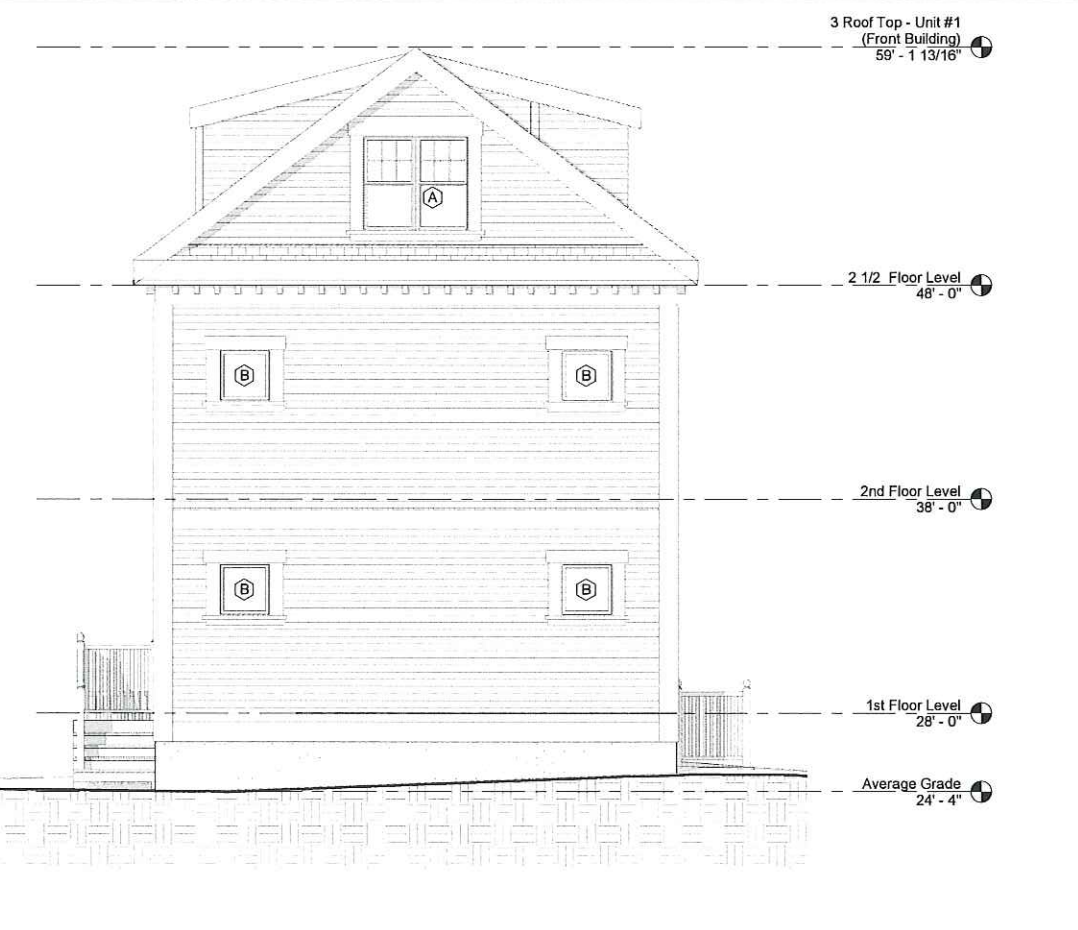
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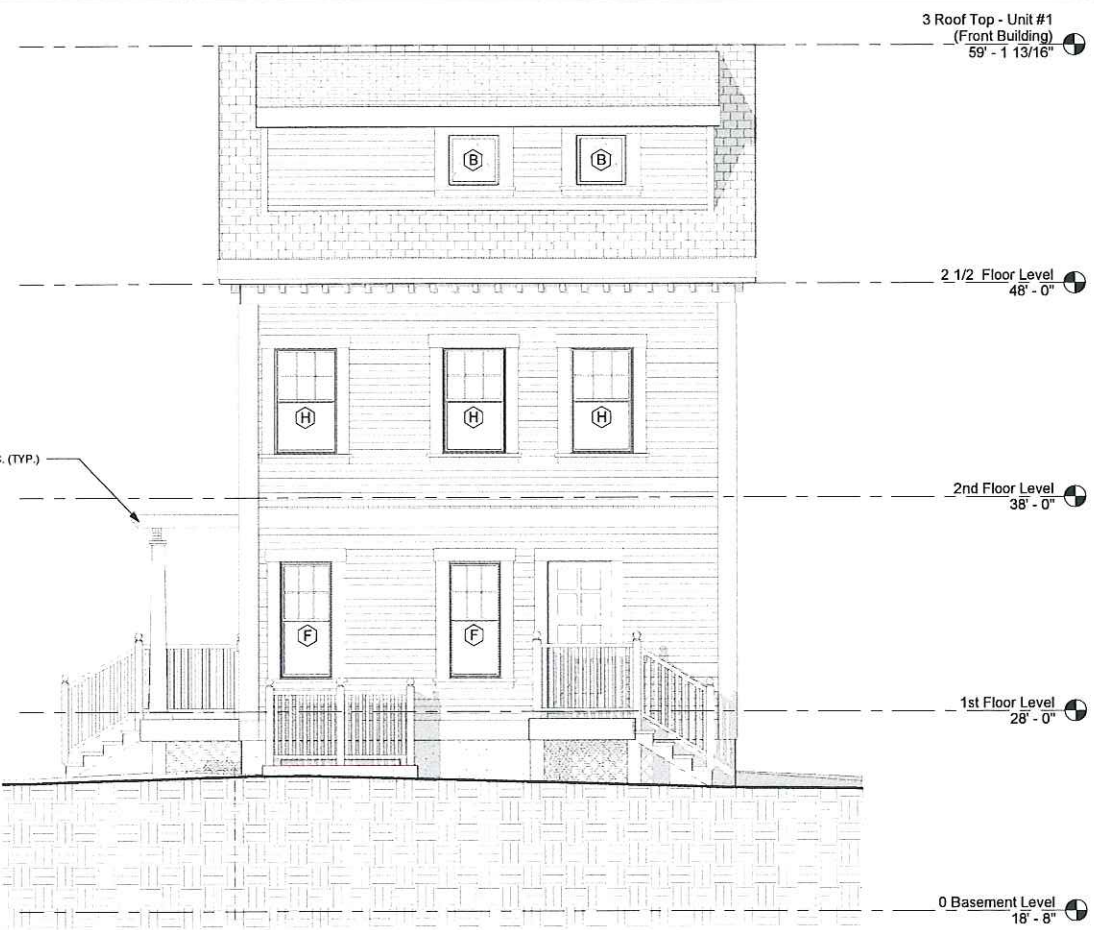
① East Elevation  
 1/4" = 1'-0"



② North Elevation  
 1/4" = 1'-0"



③ South Elevation  
 1/4" = 1'-0"



④ West Elevation  
 1/4" = 1'-0"






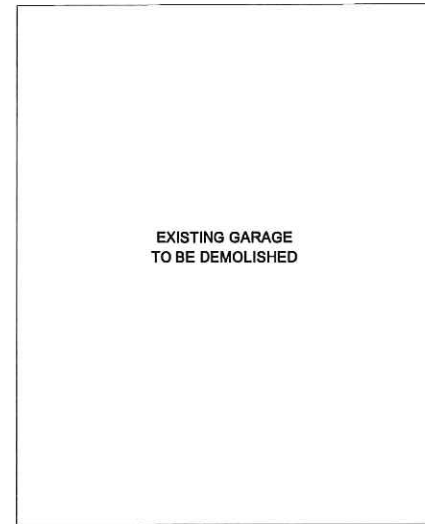
SF	BASEMENT	1ST FLOOR	2ND FLOOR	TOTAL
<b>GROSS</b>	1,117	1,274	1,307	3,698
<b>DEMOLISED</b>	195	515	195	905
<b>PROPOSED</b>	604	604	604	1,812

TOTAL ALLOWED FOR DEMOLISHION 25% OF GROSS = 3,698SF X 0.25 = 924SF > 905SF - COMPLIES

**GENERAL DEMOLITION NOTES:**

- 1) PROTECT ALL EXISTING STRUCTURAL COLUMNS NOT INDICATED FOR REMOVAL.
- 2) REMOVE & DISPOSE OF ALL EXISTING MECH. PIPING, WHERE REQUIRED AND CAP AND SEAL ALL PIPING AT FLOOR LEVEL.
- 3) REMOVE ALL EXIST WINDOWS AND FRAMES AND REPLACE WITH NEW WINDOW AND FRAMES, SEE ELEV.
- 4) REMOVE EXIST. FLOOR; REFER TO SECTIONS AND STRUCTURAL DRAWINGS FOR NEW FLOOR HEIGHTS AND CONSTRUCTION MATERIALS.
- 5) REMOVE EXIST. WD. PANELING & STORE; PATCH AND REPAIR WALL UNDER PANELING OR REPLACE WHERE NECESSARY
- 6) STRIP ALL REMAINING BEARING COLUMNS TO STEEL; ADD REINFORCEMENT AND 3" CONCRETE, REFER TO STRUCT. DWG.

-  EXISTING BUILDING GROSS
-  AREA TO DEMOLISH
-  PROPOSED FLOOR AREA




**DEMOLITION AS APPROVED:  
PERMIT #: DEMO-054987-2017  
3/27/2017**

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**64 PEARL ST.  
(Front)**

PROJECT ADDRESS  
64 Pearl St.  
Cambridge, MA

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ARCHITECT



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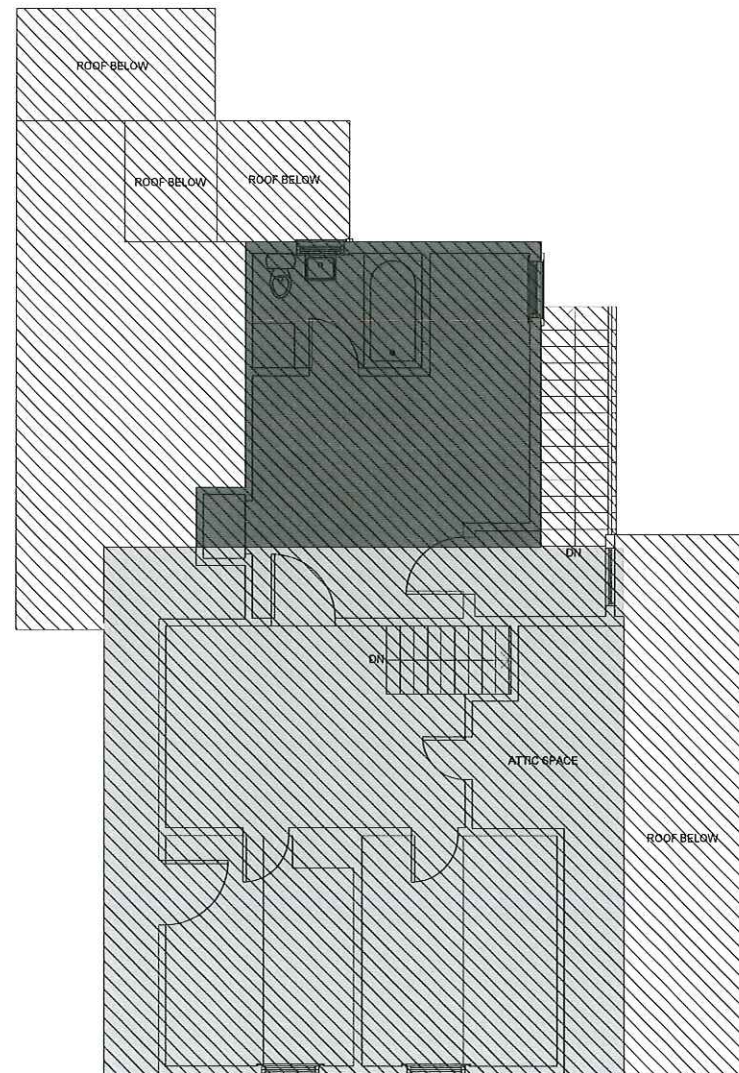
Project number 16104  
Date 7-20-2017  
Drawn by NB  
Checked by JSK  
Scale 1/4" = 1'-0"

REVISIONS

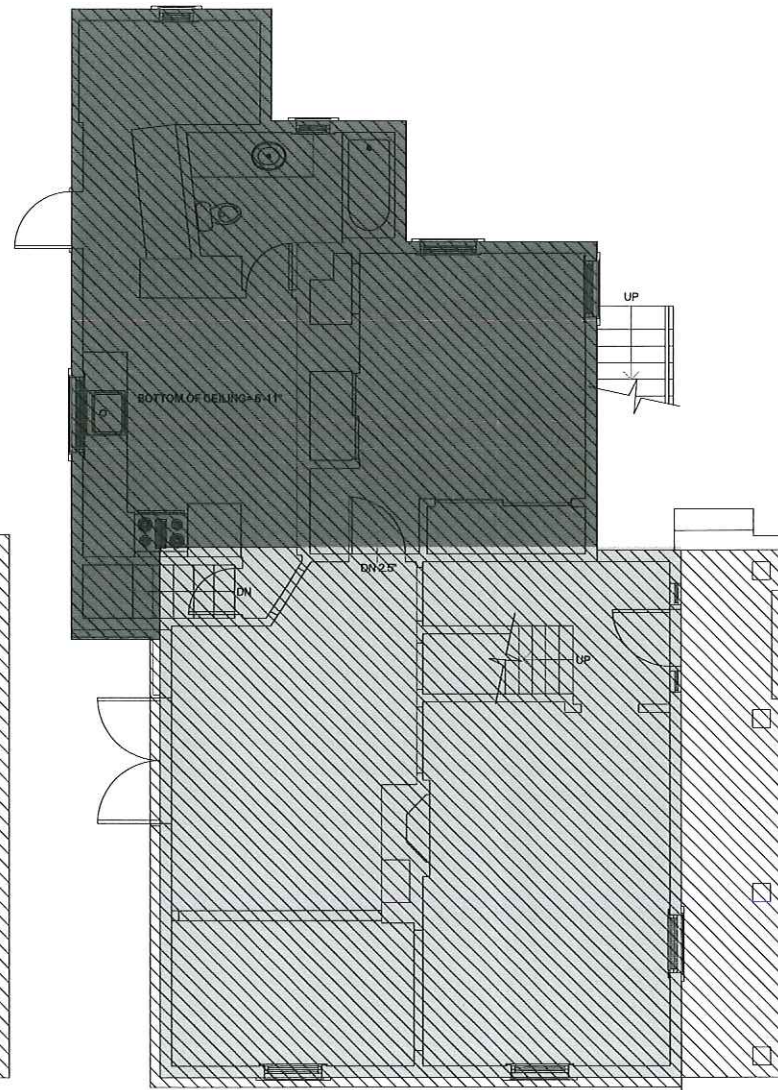
No.	Description	Date

Demolition Plans

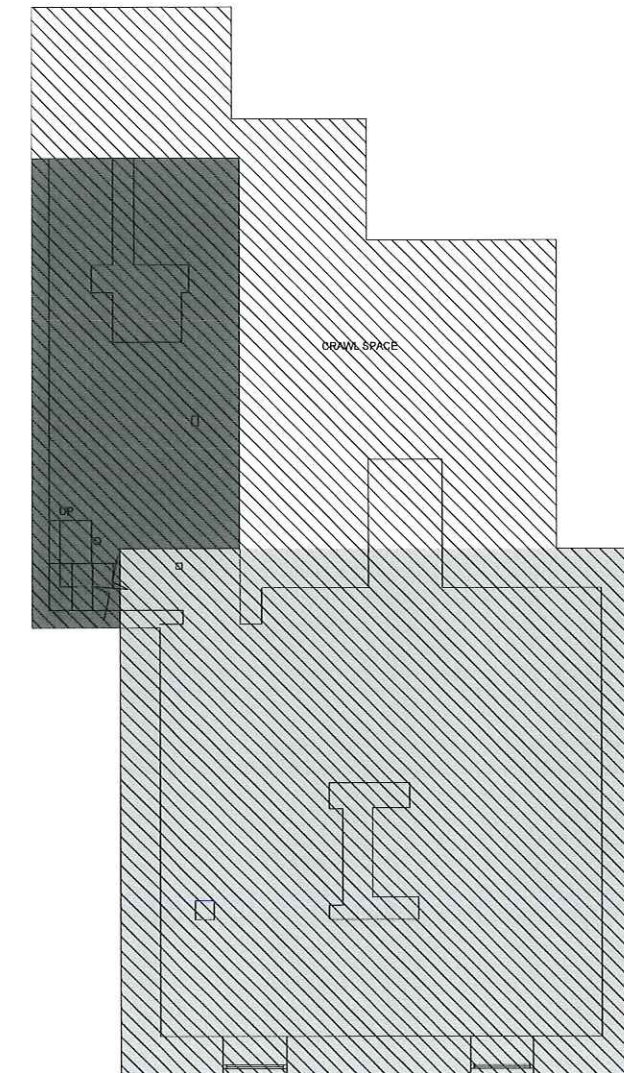
**AD-101**  
64 PEARL ST. (Front)



**EXISTING SECOND FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**EXISTING FIRST FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**EXISTING BASEMENT PLAN**  
Scale: 1/4" = 1'-0"







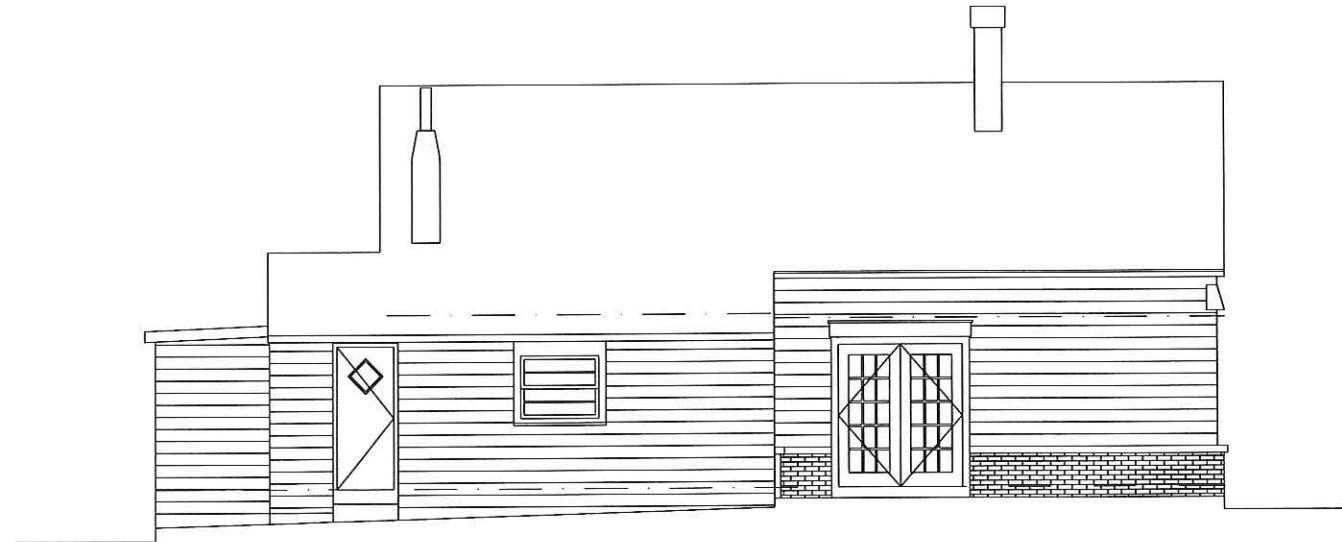
1 EXISTING FRONT ELEVATION



2 EXISTING SIDE ELEVATION



3 EXISTING REAR ELEVATION



4 EXISTING SIDE ELEVATION

64 Pearl Street  
Cambridge, MA.

Existing  
Exterior Elevations



Existing Conditions Surveys Inc.

398 Columbus Avenue #334  
Boston, MA 02116 USA

T 617.247.9161  
F 617.249.0748  
E info@existingconditions.com

The Most Accurate  
Existing Conditions Surveys and  
As-Built Surveys

No.	Date	Revision	By

No.	Date	Issued to	By

Title exterior elevations

Date 10.25.2005  
Scale 1"=4'-0"  
Job No. 1232  
Drawn By K.J.Y

EX-2

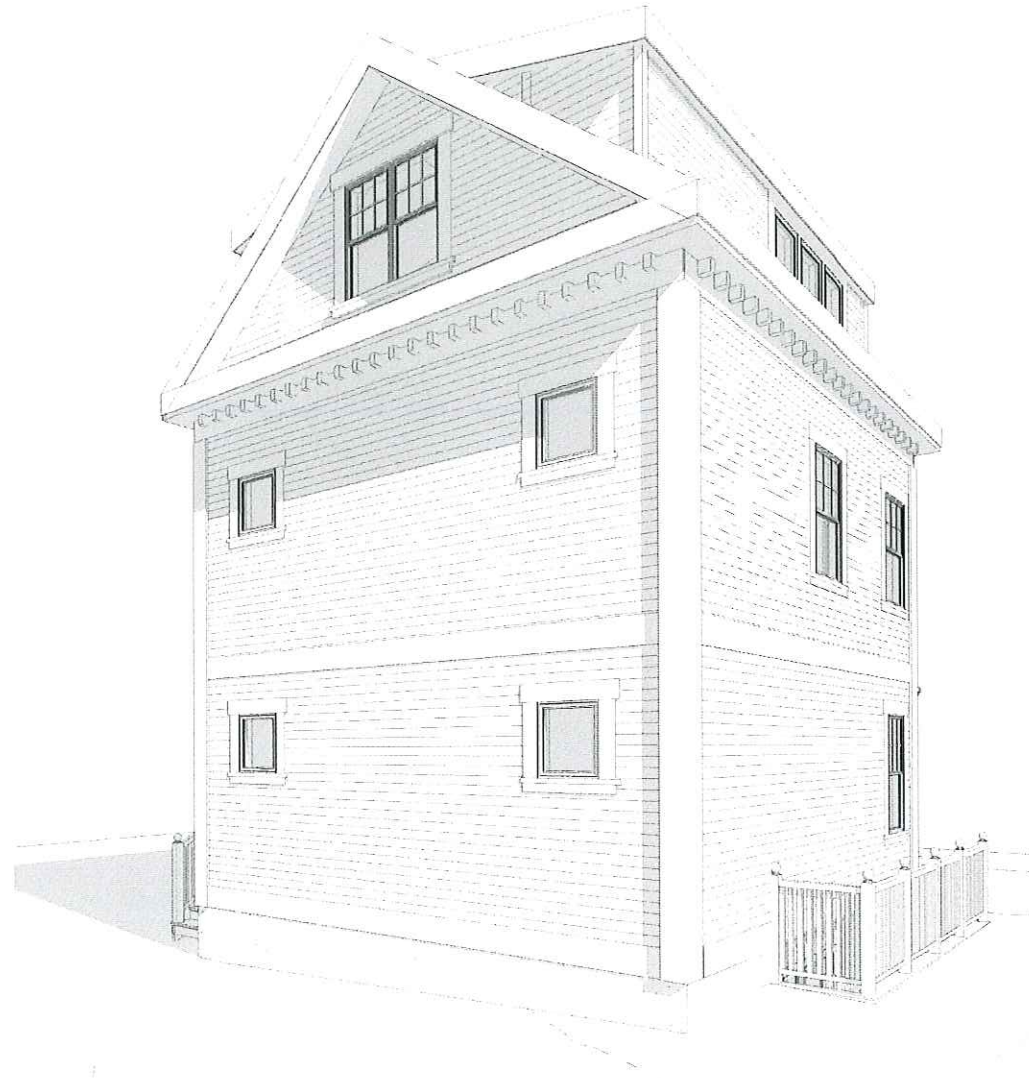




① Pearl Street View



② Building Driveway Side View



③ Building Rear Yard View

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 (Front)**

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 Cambridge, MA

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ARCHITECT

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REGISTRATION

Project number 16104  
 Date 7-20-2017  
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 Checked by JSK  
 Scale

REVISIONS

No.	Description	Date

Perspectives

**AV-2**  
 64 PEARL ST. (Front)



