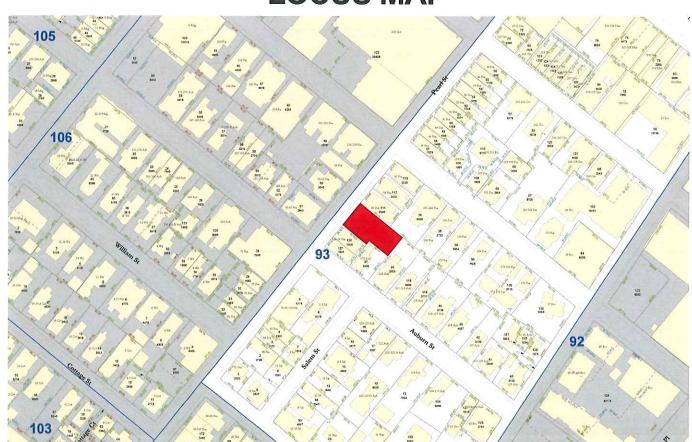
Architectural Drawing List			
Sheet Number	Sheet Name	Sheet Issue Date	
A-000	Cover Sheet	4/26/17	
A-001	General Notes & Abreviations	12/17/07	
A-021	Architectural Site Plan & FAR Calculations	4/26/17	
A-100	Floor Plans	4/26/17	
A-300	Elevations	4/26/17	
AD-101	Demolition Plans	09/30/16	
AEX-101	Existing Plans	10/24/16	
AEX-102	Existing Elevations & Section	10/24/16	
AV-2	Perspectives	4/26/17	







# **PROJECT:** 64 Pearl St. (Front)

PROJECT ADDRESS: 64 PEARL ST. CAMBRIDGE, MASSACHUSETTS

ARCHITECT KHALSA DESIGN INC. ADDRESS: 17 IVALOO STREET, SUITE 400 SOMERVILLE, MA 02143

CLIENT 64 PEARL ST. LLC ADDRESS:

<u>CIVIL</u> DESIGN CONSULTANTS, INC. ADDRESS: 265 MEDFORD ST. SOMERVILLE, MA 02143 TELEPHONE: (617) 776-3350

> **SD SET** 7-20-2017

**STRUCTURAL** 

ADDRESS:

**Cover Sheet** 

REVISIONS

**A-000** 64 PEARL ST. (Front)

2 Locus Map 1" = 80'-0"

64 PEARL ST. (Front)

64 Pearl St. Cambridge, MA

64 Pearl St. LLC

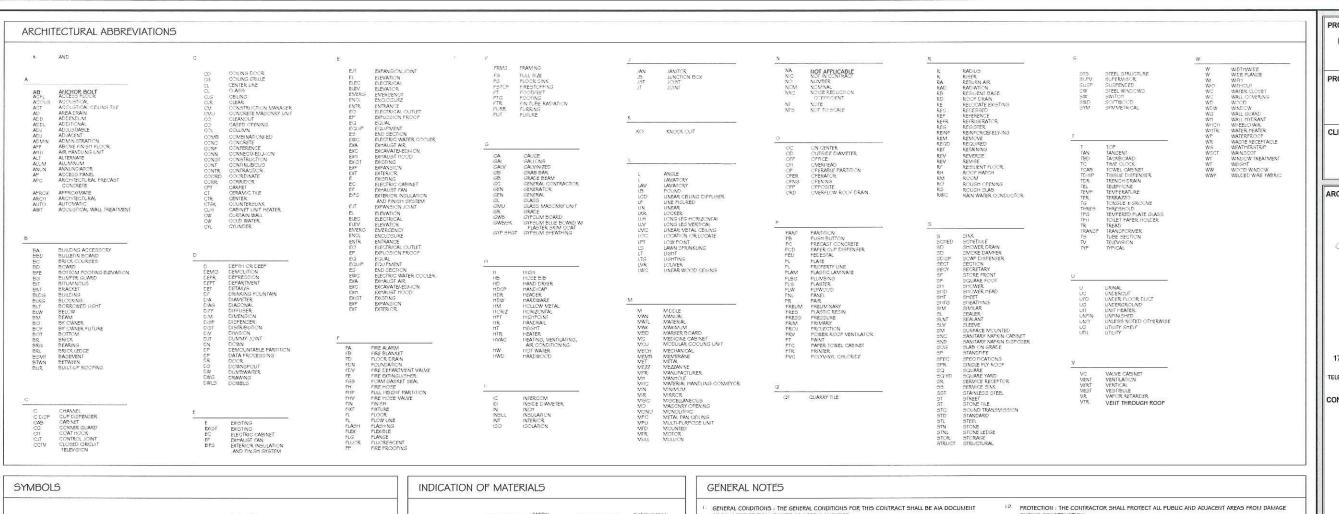
**KHALSA** 

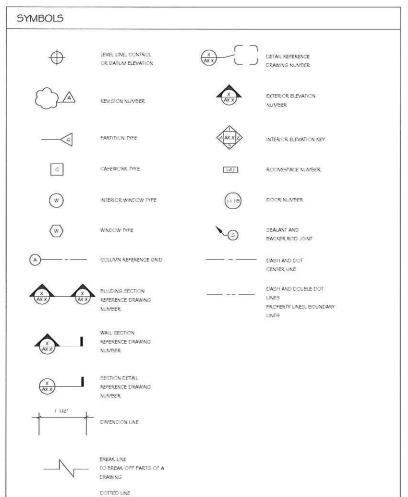
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

JUL 2 4 2017

CAMBRIDGE HISTORICAL COMMISSION

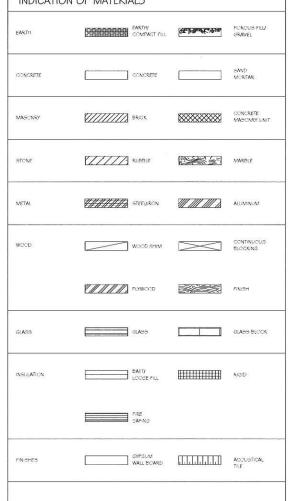
PROJECT ADDRESS





HIDDEN OR GONSTRUCTION

ABOVE, BEYOND



- GENERAL CONDITIONS: THE GENERAL CONDITIONS FOR THIS CONTRACT SHALL BE AIA DOCUMENT A201 (1987 EDITION) EXCEPT AS HEREIN AMENDED.
- SCOPE: WORK TO INCLUDE DEMONTION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS SCORE Y WORK OF INCLUDE DEMONITOR NO CONTROLLED AND INCLUDE AS INCLUDED AS INCLUDED AND INCLUDE DEMONITOR OF THE RESPONSIBILITY OF AN ID LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
- CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL FROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST. ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND
- QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL HISTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MAINUFACTURERS SPECIFICATIONS.
- COORDINATION OF THE WORK : THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS HISTRUCTIONS SHALL BE POLLOWED BY
- MECHANICAL TRADES : THE MECHANICAL AND ELECTRICAL TRADES SHALL INISTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
- EXAMINATION OF THE SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS. TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OFFORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A FERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
- TRASH REMOVAL: PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS (DUMPSTER LOCATION) TO BE COORDINATED WITH THE DWIVER). AT THE BUILD OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SHE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER. MAY (AT HIS OPTION) PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL SECTIONS DETAILS MATERIALS METHODS ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE PULL RESPONSIBILITY OF THE CONTRACTOR AND NO. ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL REJEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTEIING OR FRAMING TECHNIQUES (DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILINGS TO BE SIGN FIRE CODE OR 1/2m GYPSUM BOARD, SIGN MOISTURE RESISTANT TYPE X OR SIGN CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MAINDFACTURED BY U.S. GYPSUM OR FOUNT. FINISH (CEMENT ACCESSORIES AND TAPE OR SIGNI COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, VWC, OR PANELING.
- 18. STORAGE: THE CONTRACTOR SHALL FROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E.:
  TRAILER—STORAGE OF CONSTRUCTION MATERIALS BY THE EXISTING BUILDING WILL NOT BE PERMITTE

- FROTECTION: THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
- TEMPORARY SERVICES: THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MANIS, ELECTRIC UNIES AND PIPES, HE IS A SAD ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM UNIES BY HAND DUG TEST FITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL HECESSARY FERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.
- ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, 4 SPRINKLER: EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
- 23. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- DAMAGE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.
- THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING: LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER. PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
- CARPET AND/OR TILE : CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
- HAIDICAFFED REQUIREMENTS: THE GENERAL CONTRACTOR WILL ACQUANT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT). TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
- SPRINKLER HEAD LOCATION : REFER TO N.F.P.A. STAILDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- 29. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, FIFES, INSERTS, BOXES, HANGERS, ETC.
- $^{\rm 3O.}$  ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS, WALL AND FLOORS SHALL BE CLASS I in
- 31. SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
- BEFORE COMMERCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
- 33. ALL WOODS BLOCKING TO BE FRESSURE TREATED, FIRE RETARDANT.

PROJECT NAME

### 64 PEARL ST. (Front)

PROJECT ADDRESS

64 Pearl St. Cambridge, MA

CLIENT

64 Pearl St. LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 ELEPHONE: 617-591-8682 FAX: 617-591-208

CONSULTANTS:

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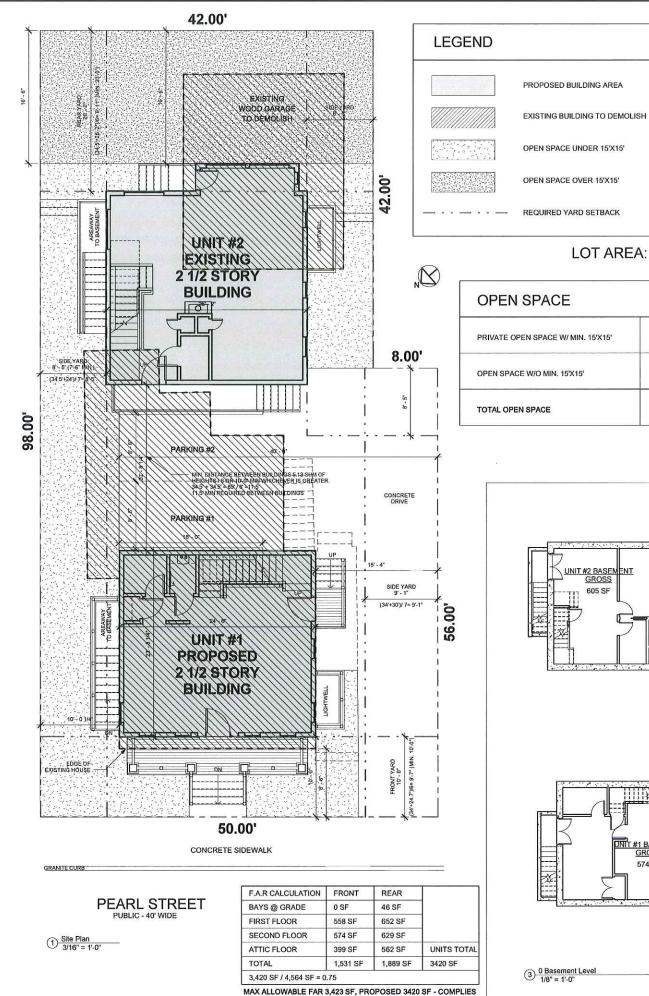
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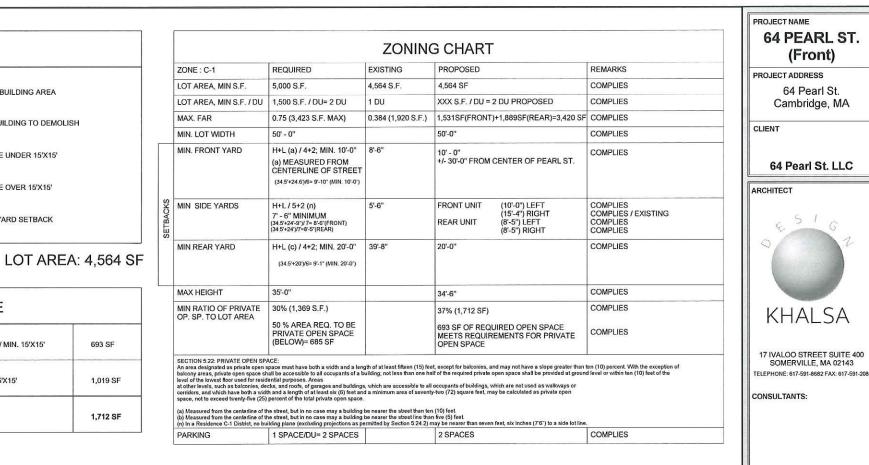
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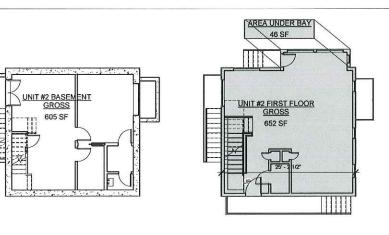
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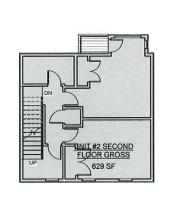
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64 PEARL ST. (Front)

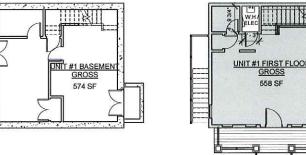






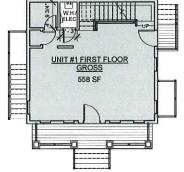


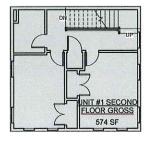


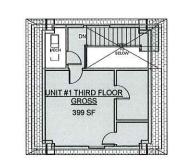


1/8" = 1'-0"

3 0 Basement Level







6 2 1/2 Floor Level

Architectural Site Plan & FAR Calculations

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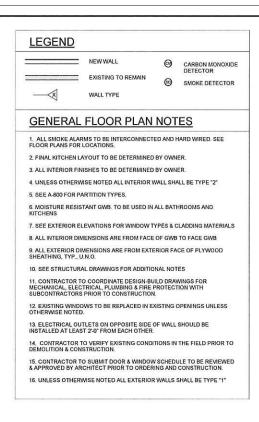
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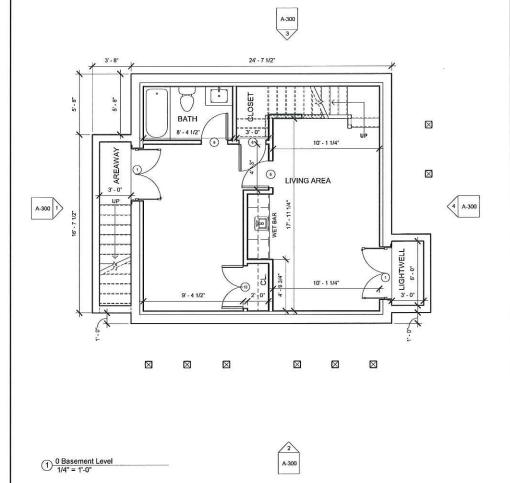
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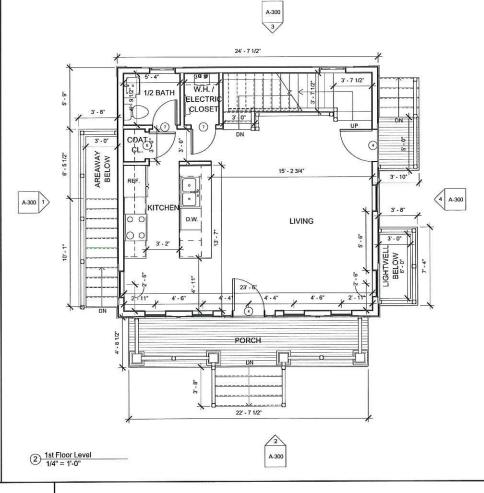
64 Pearl St.

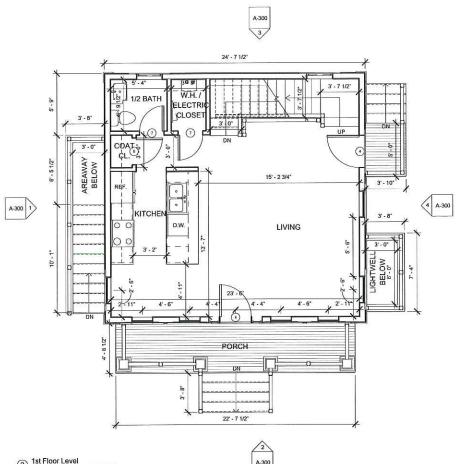
64 PEARL ST. (Front)

16104 7-20-2017











64 Pearl St. LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

CONSULTANTS:

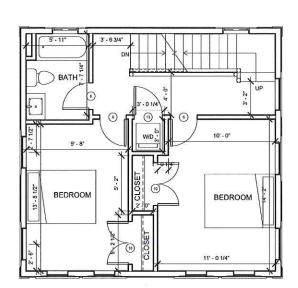
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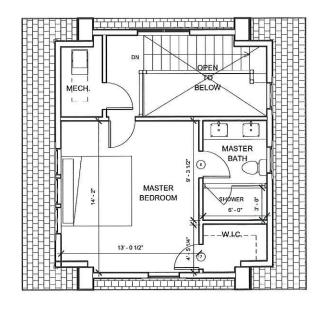
REGISTRATION

Project no	ımber	16104
Date		7-20-2017
Drawn by		NE
Checked	by	JSK
Scale		1/4" = 1'-0'
REVISI	ONS	
No. I	Description	Date

Floor Plans

**A-100** 





4 2 1/2 Floor Level 1/4" = 1'-0"

5 3 Roof Top - Unit #1 (Front Building) 1/4" = 1'-0"

9"/12" SLOPE

3 2nd Floor Level 1/4" = 1'-0"

64 PEARL ST. (Front)



Date

SF	BASEMENT	1ST FLOOR	2ND FLOOR	TOTAL
GROSS	1,117	1,274	1,307	3,698
DEMOLISED	195	515	195	905
PROPOSED	604	604	604	1,812

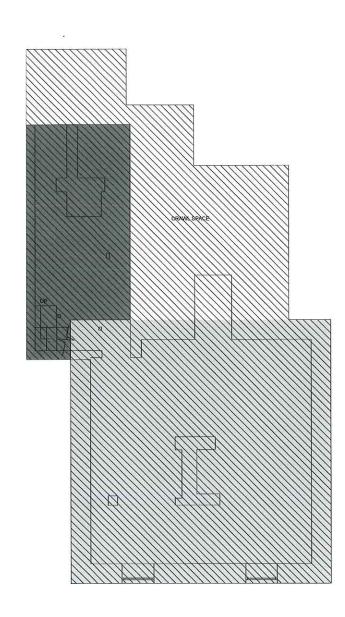
TOTAL ALLOWED FOR DEMOLISHION 25% OF GROSS = 3,698SF X 0.25 = 924SF > 905SF - COMPLIES

- GENERAL DEMOLITION NOTES:

  1) PROTECT ALL EXISTING STRUCTURAL COLUMNS NOT INDICATED FOR REMOVAL.
- 2) REMOVE & DISPOSE OF ALL EXISTING MECH. PIPING, WHERE REQUIRED AND CAP AND SEAL
- ALL PIPING AT FLOOR LEVEL.
- 3) REMOVE ALL EXIST WINDOWS AND FRAMES AND REPLACE WITH NEW WINDOW AND FRAMES, SEE ELEV.
  4) REMOVE EXIST. FLOOR; REFER TO SECTIONS AND STRUCTURAL DRAWINGS FOR NEW FLOOR
- HEIGHTS AND CONSTRUCTION MATERIALS.
- 5) REMOVE EXIST. WD. PANELING & STORE; PATCH AND REPAIR
- WALL UNDER PANELING OR REPLACE WHERE NECESSARY
- 6) STRIP ALL REMAINING BEARING COLUMNS TO STEEL; ADD REINFORCEMENT AND 3" CONCRETE, REFER TO STRUCT. DWG.

EXISTING BUILDING GROSS AREA TO DEMOLISH PROPOSED FLOOR AREA





**EXISTING BASEMENT PLAN** 

**DEMOLITION AS APPROVED:** PERMIT #: DEMO-054987-2017 3/27/2017

PROJECT NAME 64 PEARL ST.

(Front)

PROJECT ADDRESS

64 Pearl St. Cambridge, MA

CLIENT

64 Pearl St. LLC

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2

CONSULTANTS:

REGISTRATION

16104 7-20-2017 REVISIONS Date

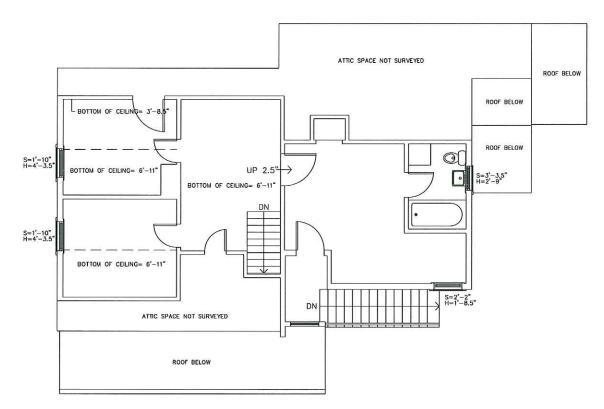
**Demolition Plans** 

**AD-101** 

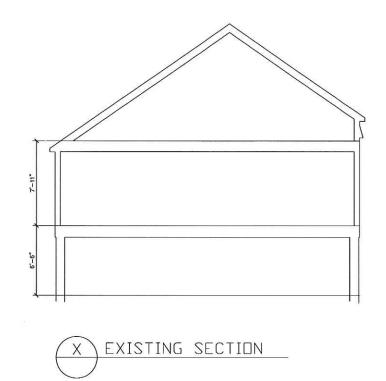
**EXISTING SECOND FLOOR PLAN** 

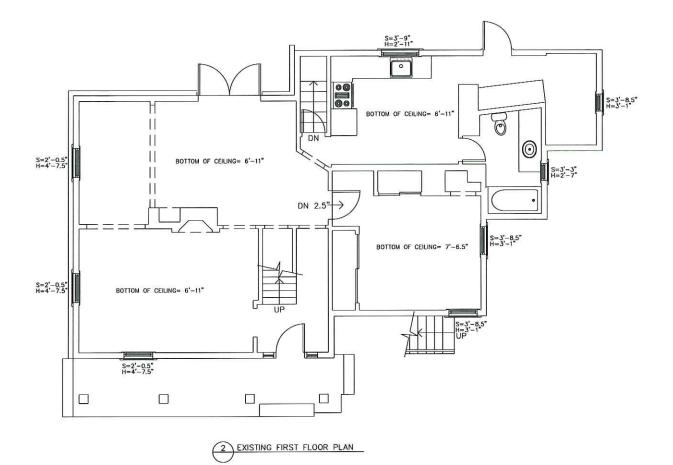
EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

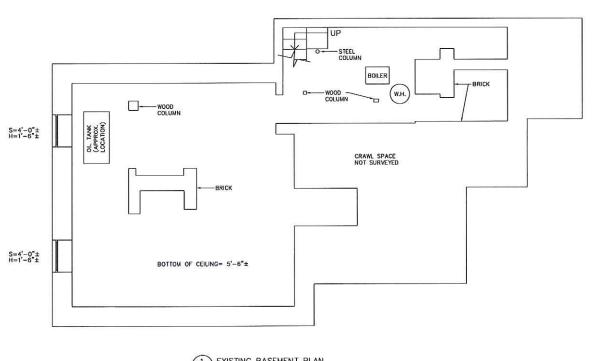
64 PEARL ST. (Front)







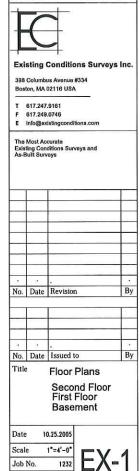




1 EXISTING BASEMENT PLAN

64 Pearl Street Cambridge, MA.

Existing Floor Plans



EX-1

Drawn By

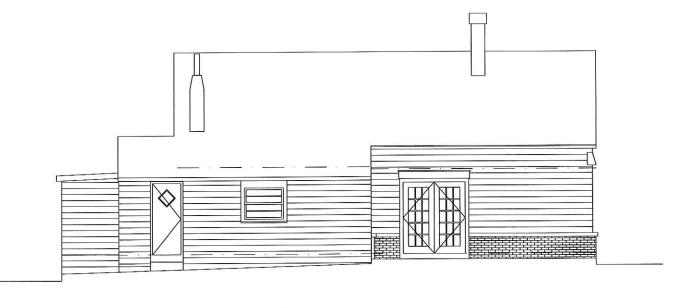




2 EXISTING SIDE ELEVATION



1 EXISTING FRONT ELEVATION



4 EXISTING SIDE ELEVATION

64 Pearl Street Cambridge, MA.

Existing Exterior Elevations



398 Columbus Avenue #334 Boston, MA 02116 USA

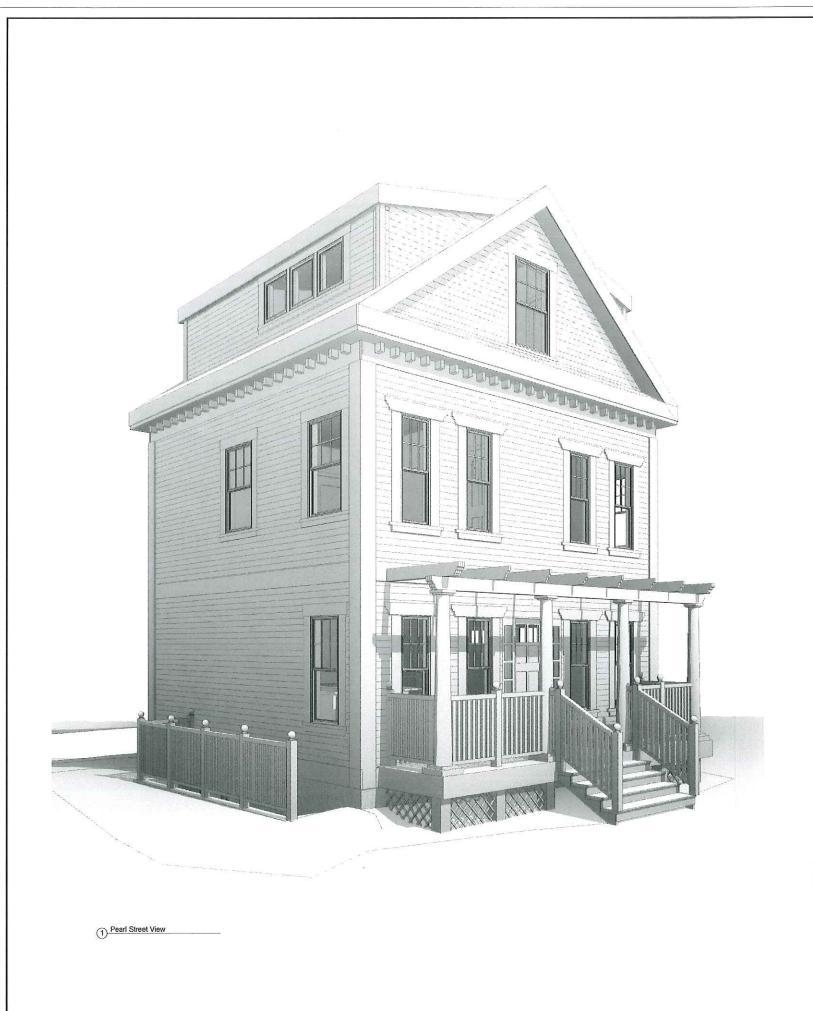
- T 617.247.9161 F 617.249.0746 E info@existingco

The Most Accurate Existing Conditions Surveys and As-Built Surveys

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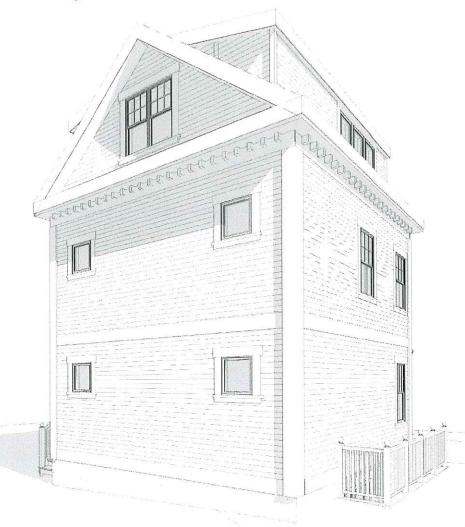
Title exterior elevations

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Job No.	1232	EX-
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2 Building Driveway Side View



PROJECT NAME

## 64 PEARL ST. (Front)

PROJECT ADDRESS 64 Pearl St. Cambridge, MA

64 Pearl St. LLC

ARCHITECT

CLIENT



KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

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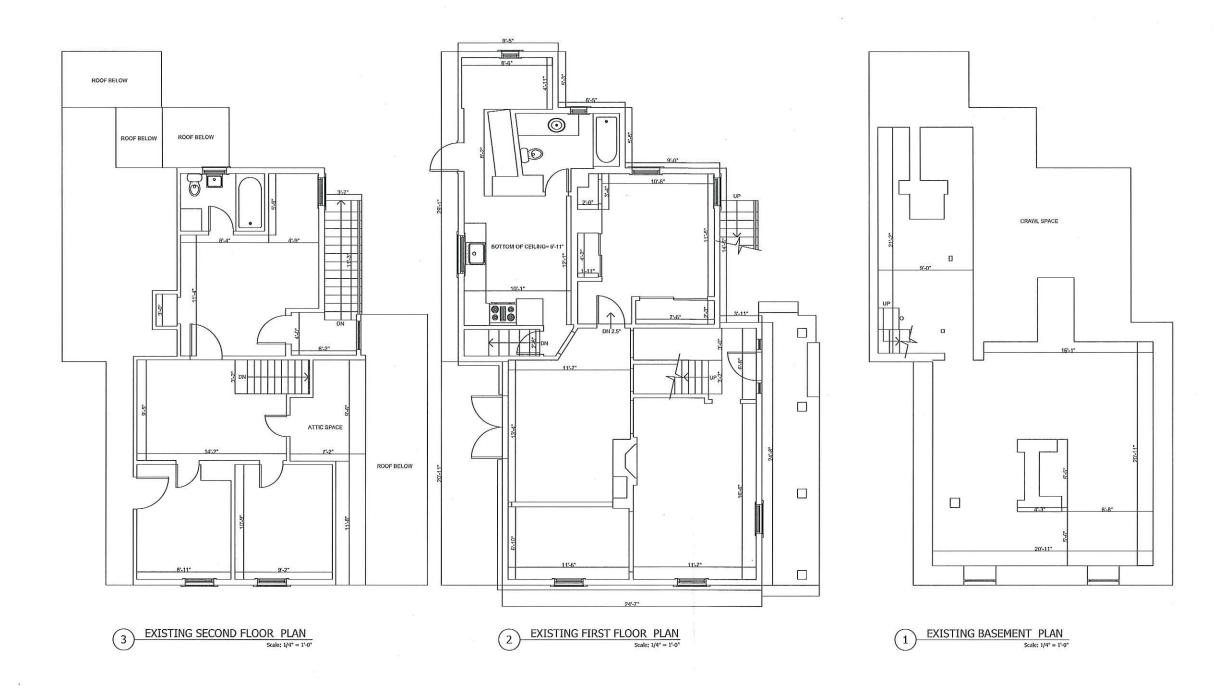
REVISIONS

No.	Description	Date
		-
		-

Perspectives

AV-2 64 PEARL ST. (Front)

Building Rear Yard View



PROJECT NAME

### **Pearl Street** Residences

PROJECT ADDRESS

64 Pearl St. Cambridge, MA

CLIENT

64 Pearl St. LLC





17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX: 617-591-208

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Project number	16104
Date	07-28-2017
Drawn by	CMF
Checked by	KD
Scale	½" = 1' - 0'

#### REVISIONS

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Existing Condition Plans

**EX-100**