

322 Prospect Street
Public Advisory Consultation

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19. 43 PUBLIC ADVISORY CONSULTATION

COVER SHEET

In accordance with the requirements of the City of Cambridge Zoning Ordinance, the undersigned hereby requests the Public Advisory Consultation for the premises indicated below.

Parcel Address(s): 322 Prospect St, Cambridge, MA 02139

Base Zoning District(s): RES C-1

Overlay Zoning District(s): Prospect Street Overlay District

Owner Name: RIVERA, LIGIA & JOAQUIM M. DAROSA TRS. THE 322 PROSPECT ST. DAROSA REALTY TRUST

Owner Address: 572 FREEPORT STREET, UNIT A DORCHESTER, MA

Applicant Name: 322 Prospect, LLC

Applicant Address: 572 FREEPORT STREET, UNIT A DORCHESTER, MA

Contact Information: Jacob Simmons 857-264-1803
Name jacobmeyerssimmons@gmail.com Telephone #
Email Address

Brief description of the project:

Construction of new 4 story 9 unit residential building.

Denote other City of Cambridge Board/Commission Review Needed:

 Board of Zoning Appeal Conservation Commission Historical Commission

Signature of Applicant

12/24/25

Date

19.40 CITYWIDE ADVISORY DEVELOPMENT CONSULTATION

19.50 BUILDING AND SITE PLAN REQUIREMENTS

This dimensional form is intended to demonstrate zoning compliance for projects that are subject to Section 19.40 and Section 19.50 of the Cambridge Zoning Ordinance.

Project Address:**Zoning District:**

	Existing	Allowed or Required (max/min)	Proposed
Lot Area (sq ft)	3354sf	NA	3354sf
Total Gross Floor Area (sq ft)	2016sf		9020sf
Residential Uses	2016sf		9020sf
Non-Residential Uses			
Total Floor Area Ratio (FAR)	.6	NA	2.69
Residential Uses	.6	NA	2.99
Non-Residential Uses			
Total Dwelling Units			9
Total Stories Above Grade	2.5	4	4
Max. Height – Residential (ft)	30	45'	45'
Max. Height – Non-Residential (ft)			
Front Yard Setback(s) (ft)*	9'-4"	3'	3'
Side Yard Setback(s) (ft)*	2'-11" Left/ 15'-9" Right	5'	5'-3" Left/ 5'-2 1/2" Right
Rear Yard Setback(s) (ft)*	0'-0"	5'	5'
Total Open Space (% of Lot Area)**	634sf	30%/ 1007sf	2081
Private Open Space	160sf	15%/ 504sf	995sf
Permeable Open Space	474sf	15%/ 504sf	1088sf
Publicly Beneficial Open Space	0	0	0
Off-Street Parking Spaces	2	1/ Dwelling Unit = 9	9
Long-term Bicycle Parking Spaces	0	1/ Dwelling Unit = 9	9
Short-term Bicycle Parking Spaces	0	0	0
Loading Bays	0	0	0

*Indicate all applicable setbacks. Make sure distances match the submitted site plans.

**Refer to Open Space definitions in Article 2.000 and Open Space provisions in Section 5.22 of the CZO. Make sure all open space information matches the submitted site plans.

Use space below and/or attached pages for additional notes:

At least fifty percent (50%) of the required Open Space in a Residence C-1 district shall meet all of the requirements of Private Open Space in Section 5.22.1. At least fifty percent (50%) of the required Open Space shall meet the definition of Permeable Open Space and shall not be subject to the dimensional limitations of Section 5.22.1 as applied to Private Open Space."

Project Overview:

The project is located at 322 Prospect St, on a 3,354 square foot lot. The project will be a new construction 9-unit, 4-story residential building with 9 bike parking spaces and two private roof decks.

Zoning:

The proposed construction project of 322 Prospect Street is a new construction multi-family residence.

The lot is 3,354 SF +/- and is located in the Res C-1 Zoning District and the Prospect Street Overlay District.

This memo details how the project complies with Section 20.200- Prospect Street Overlay District of the Cambridge Zoning Ordinance.

20.201 Establishment and Scope. *There is hereby established the Prospect Street Overlay District which shall be governed by the regulations and procedures specified in this Section 20.200. It is the intent of this section that these regulations will apply to a single area described generally as Prospect Street and certain abutting portions of the neighborhood around it.*

20.202 Purpose. *It is the purpose of this Section 20.200 to augment base zoning regulations in the District in order to create a more harmonious and consistent image for the area along Prospect Street and adjacent areas, to encourage good building design and site development which enhances the pedestrian amenities along the street, to ensure that future development and redevelopment is compatible with the character of the abutting neighborhoods, to encourage the retention of existing buildings of historic value and of uses which serve the abutting neighborhoods.*

20.203 Applicability. *The Prospect Street Overlay District shall be an overlay district on the zoning map established by Section 3.20.*

20.203.1 *The buildings and land uses within said district shall be controlled by the pertinent regulations of the base zoning district, except as they may be modified by the requirements of this Section 20.200 which shall apply in addition to regulations imposed by the base zoning districts.*

20.204 Dimensional Standards in the Prospect Street Overlay District.

20.204.1 Modifications to the Definition of Gross Floor Area. *Notwithstanding the definition of Gross Floor Area contained in Article 2.000 - Definitions, the following shall not be included as part of the gross floor area of any building in the Overlay District:*

1. *Enclosed bays and other small projections from the principal wall plane of a building normally included as gross floor area, provided they are forty-two (42) inches or less in depth and further provided that the following conditions are met:*
 - a. *The maximum width of the projection does not exceed six (6) feet in length;*
 - b. *No more than fifty (50) percent of the area of each principal wall plane is covered with such projections.*
2. *Temporary awnings over entrances, porches, or outdoor eating areas, permanent canopies over building entrances.*
 - *There are no bays proposed from the principal wall plane.*

20.204.2 Minimum Green Area Open Space in the Prospect Street Overlay District. *If such Open Space is not required under the applicable base zoning district for some or all permitted uses, a minimum of 15% Green Area Open Space shall be required. This Green Area Open Space may serve to help meet the requirement for Open Space in any applicable base zoning district provided all dimensional standards for Open Space are met. Notwithstanding the definition of Green Area Open Space in Article 2.000, Definitions, a paved expansion of three (3) feet wide or less of the adjacent public sidewalk devoted exclusively to pedestrian use, as permitted in Section 20.204.32, may serve to help meet this Green Area Open Space requirement.*

- *15% Minimum Green open space required= 504 SF and 1,088 sf is provided, thus compliant.*

20.204.3 Yard Requirements.

20.204.31 Minimum Yard Requirements in the Prospect Street Overlay District. *If no front yard is required under the applicable base zoning district, the minimum required front yard for that portion of a lot fronting Prospect Street or another street in a business district shall be three (3) feet.*

- *The proposed front yard setback is 3'-0", thus compliant.*

20.204.32 Restrictions in Required and/or Provided Yards. *The area between the principal wall plane of a building and a public street, whether required or provided, shall be devoted to any combination of the following: Green Area Open Space as defined in Article 2.000 of this Ordinance, an expansion of the adjacent public*

sidewalk, or a landscaped or paved area devoted exclusively to pedestrian use and extending along the entire length of the lot facing the street.

- *The area between the principal wall plane of the building and street is devoted to Green Area Open Space which includes green area and paved pervious paver area devoted to pedestrian use. Additionally there is a visitor bike parking space planned.*

Areas devoted to vehicular use, including canopies over fuel pumps at Automobile Service Stations, are prohibited from this area with the exception of access drives leading directly to parking facilities located elsewhere on the site. Such drives shall be limited per lot to a maximum of one two-way access drive (and associated curb cut) or two one-way access drives (and associated curb cuts) per lot shall be permitted. Any access drive shall not exceed thirty (30) feet in width in non-residential districts for a two-way drive or fifteen (15) feet in width for a one-way drive, and twenty (20) feet in width in residential districts for two-way drives and ten (10) feet in width for a one-way drive.

- *There is no vehicular use proposed on site.*

The required Green Area Open Space, landscaping or other paved area devoted to pedestrian uses shall be located at the mean grade of abutting public streets at the property line, unless an exception is granted under the provisions of Section 20.208 below. Nothing in this Section 20.200 shall prohibit customary landscape features, elements and grading that may vary the grade of the required setback above that of the adjacent street or park, provided the setback remains essentially at grade.

- *The green open space is at the same grade as the abutting public street sidewalk.*

20.204.33 Notwithstanding the provisions of Sections 20.204.31 and 20.204.32 above or any provision

of Article 6.000, any on grade open parking facility shall be set back from front lot line by at least seven (7) feet. Such setback shall be landscaped as required in Section 20.204.32 above.

- *There is no vehicular use proposed on site.*

20.205 Use Restrictions.

20.205.1 The ground (first) floor of that portion of a building facing a public street or public park shall consist of Gross Floor Area devoted to any one or combination of the following active uses: Residential (Section 4.31), Office (Section 4.34), retail business (Section 4.35), Institutional (Section 4.33), but specifically excluding as a permitted use or activity mechanical rooms, Gross Floor Area in structured parking, and canopies over fuel pumps at Automobile Service Stations.

Additionally, such active uses on the ground floor shall meet the following conditions:

- a. At least eighty (80) percent of the floor elevation of the ground (first) floor shall be no higher than the four (4) feet above the mean grade of the adjacent public sidewalk or public park, at the property line, except that Retail Business uses in new construction shall be located at mean grade; and*
- b. The use shall have a depth of at least twenty (20) feet.*
 - The Ground Floor is devoted to Residential Use, thus compliant.*

20.205.2 *Where service and repair of cars is permitted in the base district, repair work shall be conducted within a building and parking of vehicles awaiting repair shall be screened from the sidewalk and from neighboring residential development by a fence or vegetation.*

- The project does not contain areas for service and repair of cars.*

20.206 Design Standards.

20.206.1 Building Facades. *Building facades shall be designed to enhance the visual quality of the Overlay District, create an environment pleasant and inviting for the pedestrian and compatible with the residential neighborhoods in close proximity to the district. The following standards shall apply to any building constructed after December 1, 2006; a building constructed before December 1, 2006, which in whole or in part meets the requirements of this Section 20.206.1, shall not be altered so as to increase the degree of non-conformity with this Section.*

- a. Where office and/or retail uses are accommodated on the ground floor each separately leased space shall have an individual public entrance onto the abutting street where any portion of the space fronts towards the street; and*

- Office and Retail uses are not included in the project.*

- b. Facades facing a public right of way, a public park, or designated city landmark building, or building in a local historic district or neighborhood conservation district, on an abutting lot, shall consist of a minimum twenty-five (25) percent clear glass in total for the facade, with clear glass increased to fifty (50) percent on the ground floor where retail and office uses are established. The maximum amount of clear glass permitted shall be seventy-five (75) percent of the facade.*

Reflective and opaque glass shall be prohibited.

- *The façade facing the public right of way contains 25% clear glass total of the facade area.*

Reflective and opaque glass are not specified, thus compliant.

c. Where the façade of the ground floor is required to have a minimum of 50% clear glass, that glass shall be distributed on the façade such that at least seventy-five percent of the requirement is located below the midpoint between the finished floor and the underside of the joists above.

d. For the purposes of this Section 20.206.1, the area of the façade of any given floor shall be measured vertically from the finished interior floor to the underside of the structural joist of the floor above.

20.206.2 Landscape. *Front yards of buildings shall be landscaped to enhance the pedestrian experience along Prospect Street. To the extent practicable, shade trees should be incorporated along the sidewalk. The following standard shall apply:*

For any new development or redevelopment on a lot, an existing or new tree shall be required, on the lot within ten (10) feet of the public sidewalk or in the public sidewalk, for each twenty-five (25) feet of lot frontage along Prospect Street.

- *The front yard is landscaped with a planting area. A shade tree is not practical within the front yard of this site.*

20.207 Divergence from Standards. *Divergence from the standards specified in Sections 20.204 - 20.206 may be allowed by issuance of a special permit from the Planning Board. The Board shall grant such a permit upon its determination that the development proposed will better serve the objectives of this Section 20.200 than if the standards were followed and that the criteria specified in Section 10.43 will be satisfied.*

The Board shall be guided in its determination by Prospect Street Design Guidelines and other such guidelines as may be established for the Prospect Street Overlay District. This Section 20.207 is intended for variations from the standards, which may be appropriate in specific locations and circumstances and where careful design detail is a controlling factor.

20.208 Area of Special Planning Concern. *The Prospect Street Overlay District shall be considered an area of special planning concern and subject to the applicable requirements of Article 19.000.*

For parcels that fall within both the Prospect Street Overlay District and the Central Square Overlay District, this Public Advisory Consultation shall be conducted by the Central Square Advisory Committee.

Before issuance of any special permit for development proposed within the Prospect Street Overlay District that is subject to the Public Advisory Consultation Procedure or any special permit required in this Section 20.200, and Section 19.20 - Project Review, the Planning Board shall determine that the proposal is consistent with the Prospect Street Design Guidelines.

- *The proposed project is below the threshold of 75,000 sf, therefore a special permit is not required.*

20.209 Prospect Street Design Guidelines. *New buildings and redevelopment of old buildings should contribute to improving the character of Prospect Street. While it is recognized that not every project will meet every guideline, it is expected that new development in the Prospect Street Overlay District should be broadly consistent with the following principles:*

1. *Street-level facades should include active uses such as residential units and entrances, shops, restaurant, cafes, exhibition space or display windows, or commercial lobbies and front doors.*
 - *The street level contains residential units, thus compliant.*
2. *Blank walls should be avoided along the street. Transparent materials and interior lighting should be used to maximize visibility of street level uses.*
 - *The street facing wall contains transparent materials.*
3. *Principal building entrances should be located facing Prospect Street, where appropriate.*
 - *The principal entrance is located facing Prospect Street.*
4. *Buildings should create a consistent street edge, with setbacks used generally for stoops, porches, and front gardens in residential development or for café seating, benches, or small open spaces in commercial development.*
 - *A front landscape area is provided.*
5. *Awnings and canopies are encouraged to provide shelter and to enliven the ground floor facade.*
 - *A canopy is provided above the front entry door.*
6. *Where appropriate, buildings should be designed with individual units and front doors facing the street, including units on the lower levels of multi-family buildings.*

- *An individual unit is facing the street, however the front door is within the building lobby as the first floor needs to be raised above the flood plain and the entry needs to be accessible.*

7. *Buildings should reflect a rhythm and variation appropriate to the urban context. Facades should be articulated as several smaller masses using different materials or colors, vertical breaks, bays, porches, stoops, and other architectural elements.*

- *The façade is articulated with different massing, parapet heights, cornices and different cladding materials.*

8. *Variations in height and architectural elements such as parapets, cornices and other details are encouraged to create interesting and varied rooflines and to clearly express the tops of buildings.*

- *The parapet varies in height to provide interest to the roof line.*

9. *Where possible, windows should be located facing the street to increase safety.*

- *Windows are located on the street facing facades as well as the other facades, where required.*

10. *Loading activities should be located on side streets or service alleys, where possible.*

- *There are no loading areas proposed within the site.*

11. *Buildings should be designed to use natural resources and energy resources efficiently in construction, maintenance, and long-term operation of the building.*

- *The building is designed to the current energy code and is fully electric.*

12. *Rooftop mechanical equipment should be sited and shielded to limit visual and noise impacts.*

- *The rooftop mechanical equipment is screened.*

13. *Storage of trash should be sited and shielded to contain noise and visual clutter.*

- *The trash area is towards the rear of the site and screened.*

14. *Lighting fixtures in surface parking lots should be designed to minimizing light spillover onto adjacent properties.*

- *The project does not include any parking lots.*

Green Building Report

The project is not subject to the Green Building Requirements of Article 22 of the Cambridge Zoning Ordinance; therefore, a Green Building Report is not required.

Green Factor

This project is located in one of Cambridge's most densely populated enclaves near Inman Square. The proposed planting design will create an oasis within a desert of garden-less houses and pavement.

New plantings combined with a green roof will significantly mitigate the heat impacts on the site. High-SRI pavers are proposed for the walks.

The plant list includes native understory trees with a mix of resilient low maintenance shrubs that will provide all-season visual interest with environmental site cooling attributes.

The cool score increases almost four-fold, from a value of .28 in the existing conditions to 1.00 with the proposed design.

Green Factor Certification Form

This is for projects that are subject to the Green Factor Standard in Section 22.90 of the Cambridge Zoning Ordinance, which requires site and landscape design features that reduce urban heat.

Review Section 22.90 of the Cambridge Zoning Ordinance and the Cambridge Cool Score Information and Guidelines before completing this form. When submitting a completed form, attach the supporting materials listed in the Green Factor Checklist.

Project Address/Location: 322 Prospect Street, Cambridge, MA

Planning Board (PB) and/or Board of Zoning Appeal (BZA) case number (if applicable): _____

Developer Name and Contact Information

Name:	<u>322 Prospect, LLC.</u>
Mailing Address:	<u>572 Freeport St Unit A, Boston, MA 02122</u>
Email Address:	<u>jacobmeyersimmons@gmail.com</u>
Telephone #:	<u>857-207-1664</u>

Applicability: Section 22.92 & Section 5.22.5

Is this project subject to Green Building Requirements (Section 22.20)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Does this project involve the construction of a new building?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Does this project enlarge an existing building's footprint by at least 50%?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Does this project involve the creation of new surface parking area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Answer the questions below if the answer is "Yes" to any of the above

Requirements

Cool Roof Requirement

Does this project involve the construction of a new building roof or replacement of more than 50% of an existing roof?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Has this project received a Certificate of Appropriateness from the Cambridge Historical Commission or a Neighborhood Conservation District Commission, or a determination of adverse effect by the Executive Director of the Cambridge Historical Commission? [if "Yes," attach the document to your submission]	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

Last Updated: March 2024

How much of the new or replaced roof area (in sq. ft.) has a slope (rise:run) of less than 2:12? [Cool Roof Requirement is not applicable to roof area with a 2:12 or steeper slope]	1,041 sf
What is the initial Solar Reflectance Index (SRI) of the proposed roof surface material for the area described above, excluding any solar energy systems or green roof area? [Minimum is 82]	94

Cool Score – Base information on the attached Cool Score Sheet and Site/Roof Plan

What is the Cool Score of the proposed site design? [Minimum is 1.0 except per below]	1.00
What is the Cool Score of the existing site? [Only answer if the project does not involve a new building or enlargement of a building footprint. The proposed Cool Score must not be less than the Cool Score of the existing site]	.28

Modifications to Requirements

Has the project received, or will the project seek, a special permit from the Planning Board to modify the Green Factor Standard for this proposal?	<input type="checkbox"/> Received SP (date: _____) <input type="checkbox"/> Seeking SP <input checked="" type="checkbox"/> No modification
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1/8/26

Signature of Applicant

Date

Last Updated: March 2024

Green Factor Checklist

Project Phase	Required Submissions
<input type="checkbox"/> Special Permit/Design Review (if applicable)	<input checked="" type="checkbox"/> Green Factor Certification Form <input checked="" type="checkbox"/> Cool Score Sheet <input checked="" type="checkbox"/> Site and Roof Plans
<input type="checkbox"/> Building Permit	<input checked="" type="checkbox"/> Green Factor Certification Form (updated from prior version) <input checked="" type="checkbox"/> Cool Score Sheet (updated from prior version) <input checked="" type="checkbox"/> Site and Roof Plans (updated from prior version) <input checked="" type="checkbox"/> Catalog of plant species including height and canopy spread of trees and height and soil depth of high and low planting areas <input checked="" type="checkbox"/> Specifications of roof surface material including initial Solar Reflectivity Index (SRI) <input checked="" type="checkbox"/> Specifications of paving material including SRI (if applicable) <input checked="" type="checkbox"/> Specifications of green roof installation with operations and maintenance plan (if applicable)
<input type="checkbox"/> Certificate of Occupancy	<i>All materials updated based on as-built conditions:</i> <input type="checkbox"/> Green Factor Certification Form (updated from prior version) <input type="checkbox"/> Cool Score Sheet (based on as-built conditions) <input type="checkbox"/> Site and Roof Plans (based on as-built conditions) <input type="checkbox"/> Catalog of plant species including height and canopy spread of trees and height and soil depth of high and low planting areas <input type="checkbox"/> Specifications of roof surface material including initial Solar Reflectivity Index (SRI) <input type="checkbox"/> Specifications of paving material including SRI (if applicable) <input type="checkbox"/> Specifications of green roof installation with operations and maintenance plan (if applicable)

Last Updated: March 2024

**City of
Cambridge**
Cool Score Sheet
Date

Project Address 322 PROSPECT STREET	Special Permit Number	Total Lot Area (SF) 3354
Applicant Name 322 Prospect, LLC	Phone Number 857-207-1664	Open Space Requirement (%) 30%
Applicant Contact / Address 572 FREEPORT STREET, UNIT A DORCHESTER, MA	Email Address jacobmeyerssimmons@gmail.com	
Project Description EXISTING CONDITIONS		Result Fail

Enter minimum required open space ratio. If the ratio is less than 20%, enter 20 here.

		Outside 20' of PROW	Value Factor	Within 20' of PROW	Value Factor	Contributing Area
Trees Enter the number of trees in each category. Count each tree only once on this form.	Preserved Existing Trees					
	A1 Understory tree currently <10' canopy spread	0	0.80	+	0	1.60
	A2 Understory tree currently >10' canopy spread	0	1.00	+	0	2.00
	A3 Canopy tree currently <15' canopy spread	0	0.80	+	0	1.60
	A4 Canopy tree currently between 15' and 25' canopy spread	0	1.00	+	0	2.00
	A5 Canopy tree currently >25' canopy spread	0	1.20	+	0	2.40
	New or Transplanted Trees					
	A6 Understory tree	0	0.60	+	0	1.20
	A7 Canopy tree	0	0.70	+	0	1.40
Planting Areas Enter area in square feet of each component in the box provided	B1 Lawn Area	0	0.30	+	0	0.60
	B2 Low Planting Area	44	0.40	+	290	0.80
	B3 High Planting Area	0	0.50	+	32	1.00
Green Roofs & Facades For definitions, see reference document.	C1 Green Façade	0	0.10	+	0	0.20
	C2 Living Wall	0	0.30	+	0	0.60
	C3 Green Roof Area	0	0.30	+	0	0.60
	C4 Short Intensive Green Roof Area	0	0.30	+	0	0.60
	C5 Intensive Green Roof Area	0	0.30	+	0	0.60
Paving & Structures	D1 High-SRI Roof	Required	N/A			
	D2 High-SRI Paving	0	0.1			
	D3 Shaded Area	0	0.2	+	0	0.40
Project Summary	Portion of lot area utilizing green strategies 8% Portion of score from green strategies 100% Portion of score from trees 0% Portion of score contributing to public realm cooling 94%				Total Contributing Area 282 Total Area Goal 1,006 COOL FACTOR SCORE 0.28	

When entering strategies that are within 20' of the public right of way (column L), do not also enter them in column H.

High-SRI roofs are a prerequisite of the Cool Factor and therefore are not assigned a point value.

If your project scores 1 or above, you have successfully met the requirements of the Cool Factor.

**City of
Cambridge**
Cool Score Sheet

Project Address 322 PROSPECT	Special Permit Number	Total Lot Area (SF) 3,354
Applicant Name 322 Prospect, LLC	Phone Number 857-207-1664	Open Space Requirement (%) 30%
Applicant Contact / Address 572 FREEPORT STREET, UNIT A DORCHESTER, MA	Email Address jacobmeyerssimmons@gmail.com	Zoning District
Project Description PROPOSED		Result Pass

Enter minimum required open space ratio. If the ratio is less than 20%, enter 20 here.

		Outside 20' of Street	Value Factor	Within 20' of Street	Value Factor	Contributing Area
Trees	Preserved Existing Trees					
Enter the number of trees in each category. Count each tree only once on this form.	A1 Understory tree currently <10' canopy spread	0	0.80	+	0	1.60
	A2 Understory tree currently >10' canopy spread	0	1.00	+	0	2.00
	A3 Canopy tree currently <15' canopy spread	0	0.80	+	0	1.60
	A4 Canopy tree currently between 15' and 25' canopy spread	0	1.00	+	0	2.00
	A5 Canopy tree currently >25' canopy spread	0	1.20	+	0	2.40
	New or Transplanted Trees					
	A6 Understory tree	6	0.60	+	0	1.20
	A7 Canopy tree	0	0.70	+	0	1.40
Planting Areas	B1 Lawn Area	0	0.30	+	0	0.60
Enter area in square feet of each component in the box provided	B2 Low Planting Area	67	0.40	+	0	0.80
	B3 High Planting Area	220	0.50	+	30	1.00
Green Roofs & Facades	C1 Green Façade	0	0.10	+	0	0.20
For definitions, see reference document.	C2 Living Wall	0	0.30	+	0	0.60
	C3 Green Roof Area	215	0.30	+	353	0.60
	C4 Short Intensive Green Roof Area	0	0.50	+	0	1.00
	C5 Intensive Green Roof Area	0	0.60	+	0	1.20
Paving & Structures	D1 Low Slope Roof	0	N/A			
	D2 High-SRI Paving	268	0.1			27
	D3 Shaded Area	0	0.2	+	0	0.40
Project Summary	Portion of lot area utilizing green strategies 29%					
	Portion of score from green strategies 97%					
	Portion of score from trees 53%					
	Portion of score contributing to public realm cooling 24%					
					Total Contributing Area	1,010
					Total Area Goal	1,006
					COOL FACTOR SCORE	1.00

When entering strategies that are within 20' of the street (including sidewalks), do not also enter them in column H.

High-SRI Paving areas within 20' of a Street do not count towards the Cool Score

If your project scores 1 or above, you have successfully met the requirements of the Cool Factor.

Flood Resilience:

The project is not subject to the Green Building Requirements set forth in Section 22.20. While the work does involve the construction of a new building, it does not enlarge the footprint of an existing building by 50 percent or more. The project does include development in stories below grade, and accordingly seeks an exemption pursuant to Section 5.25.2.

Meeting of Flood Development Standards

The proposed construction project of 322 Prospect Street is a new construction multi-family residence. The elevation of the first floor is 24'-3 1/2", elevation of the basement level is 13'-9 1/2". There is a small entry lobby at elevation 23'-0" which contains a ramp and steps to bring you up to the first-floor level.

As shown on the 2025 Cambridge Flood Viewer - Flood Elevation table, the 1% LTFE standard is at an elevation of 23.5', and the 10% LTFE standard is at an elevation of 23.1'.

In compliance with Zoning section 22.84.1 (a) All occupiable spaces within the building, as defined in the State Building Code, shall be protected to the 10%-LTFE standard, except that small entryways, vestibules, or lobbies with a finished floor below the 10%-LTFE standard are allowed to not be protected if they contain stairs, ramps, or lifts that allow occupants to travel to portions of the building that are protected, and if they meet the standards for "Recovery" set forth in Section 22.84.2 below.

- All occupiable space is above the 1% and 10% LTFE except for the Basement. All openings to the Basement are protected by concrete window wells to above the LTFE.
- The Entry Lobby is not an occupiable space and is located below the 10% LTFE, however it is designed such that the owner can employ contingent measures should there be a flood to prevent water from entering and can easily repair should there be any damage.

(b) Habitable spaces for residential use, as defined in the State Building Code, shall be protected to the 1%-LTFE standard.

(c) The following critical building equipment within the building or on the site shall be protected to the 1%-LTFE standard: mechanical heating and cooling systems including fuel storage tanks, supply meters, shut-off switches and building management system controls; electrical power supply, transformers, panels, switchgear, and safety equipment including electrical shut-off equipment, backup generators and their fuel sources; water heaters and water supply related equipment; telecommunications equipment; elevator and lift equipment.

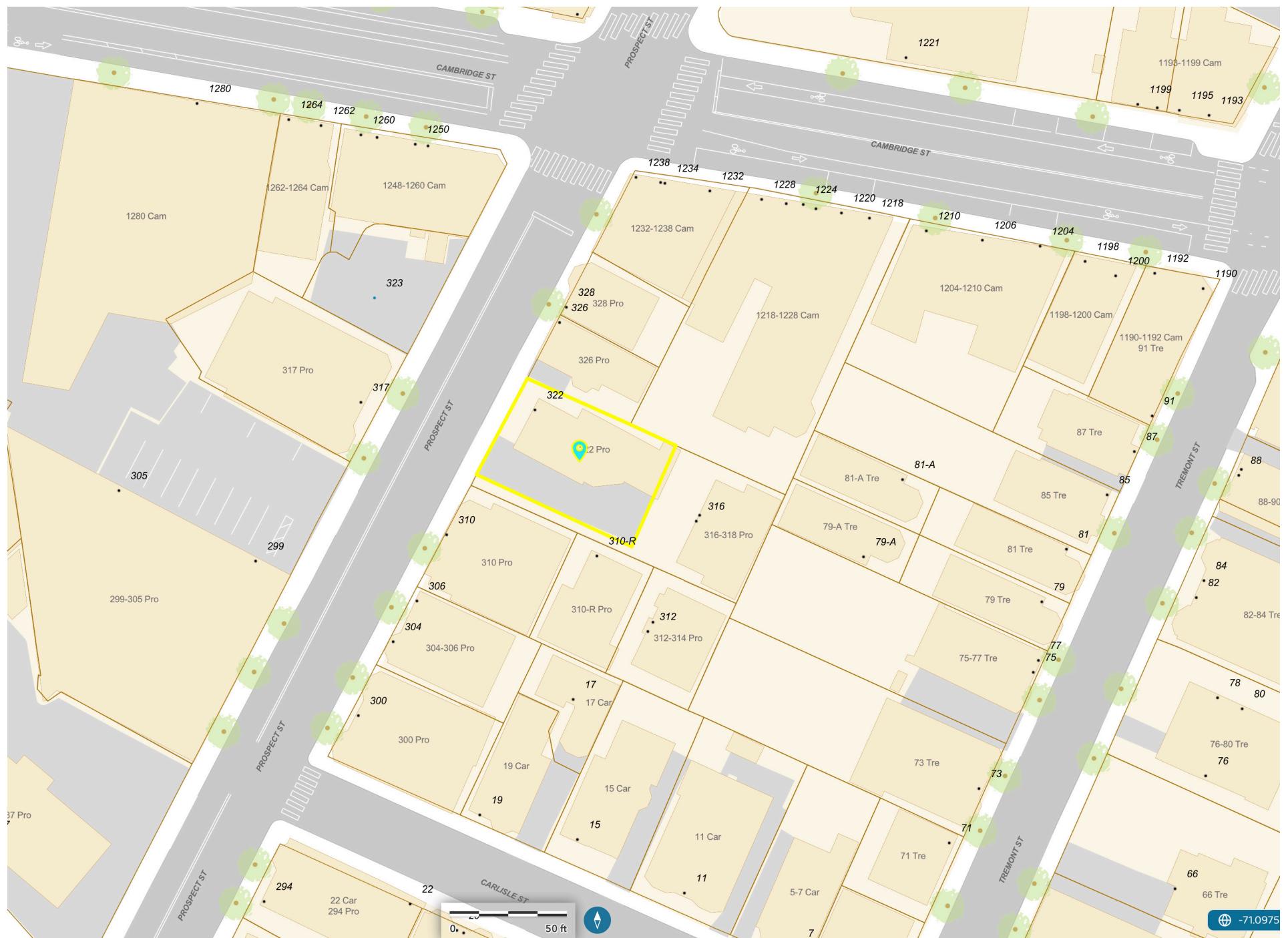
- All critical equipment is above the LTFE standard or is located in the basement which is protected from flood up to the level of the LTFE standard.

322 Prospect St

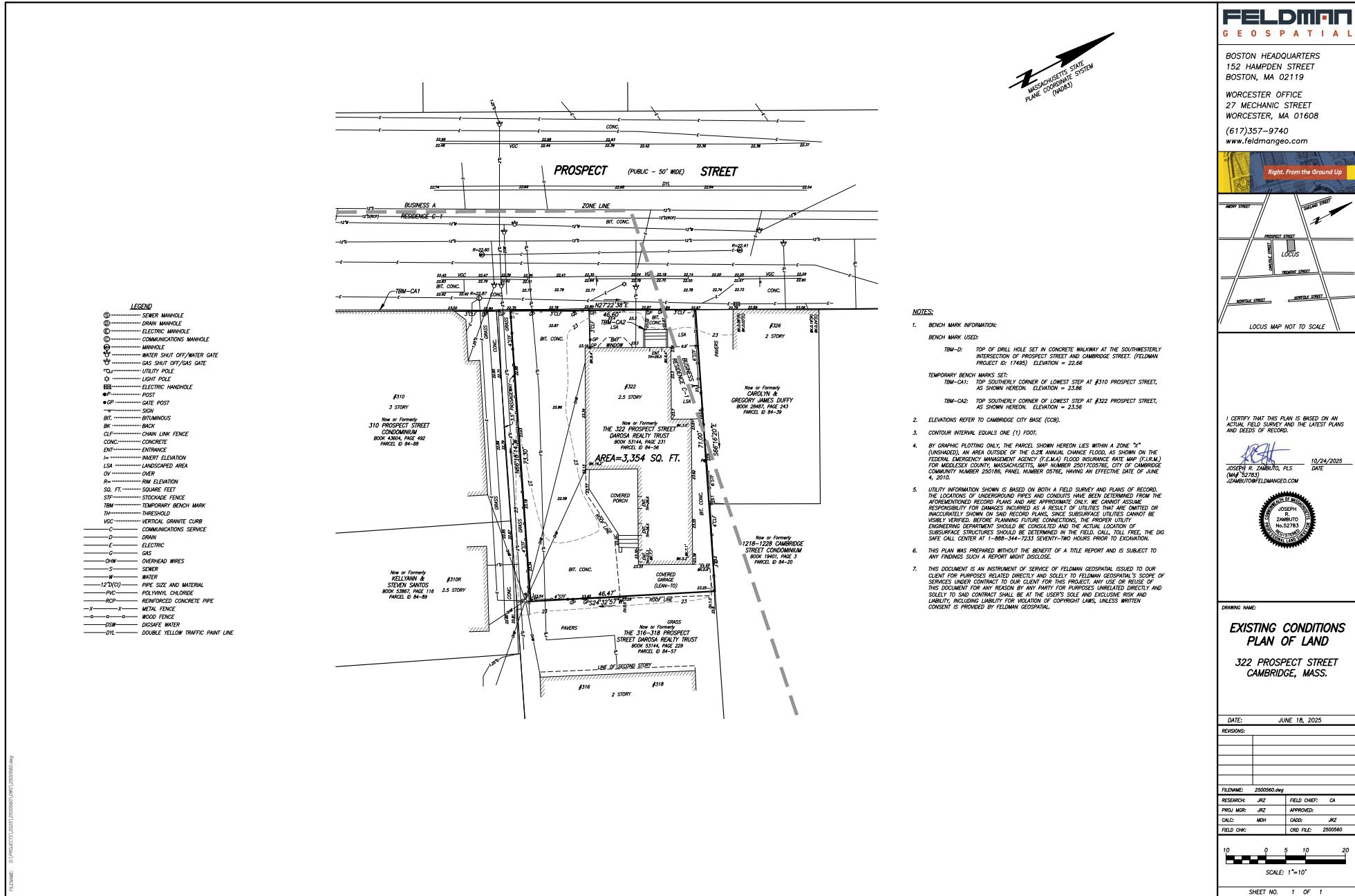
Table of Contents

- 3 – Site Locus Map/Context Plan
- 4 – Existing Conditions Site Plan
- 5 – Existing Condition Photographs
- 6 – Proposed Site Plan with parking and bicycle parking locations
- 7 – Proposed Open Space Plan (Section 5.22)
- 8, 9, 10 – Proposed Floor Plans
- 11, 12, 13 – Proposed Roof Plan with Green Roof compliance information
- 14 – Proposed Landscaping Plan
- 15, 16 – Proposed Cross-sections
- 17, 18, 19 – Proposed Elevations

Site Locus Map/Context Plan



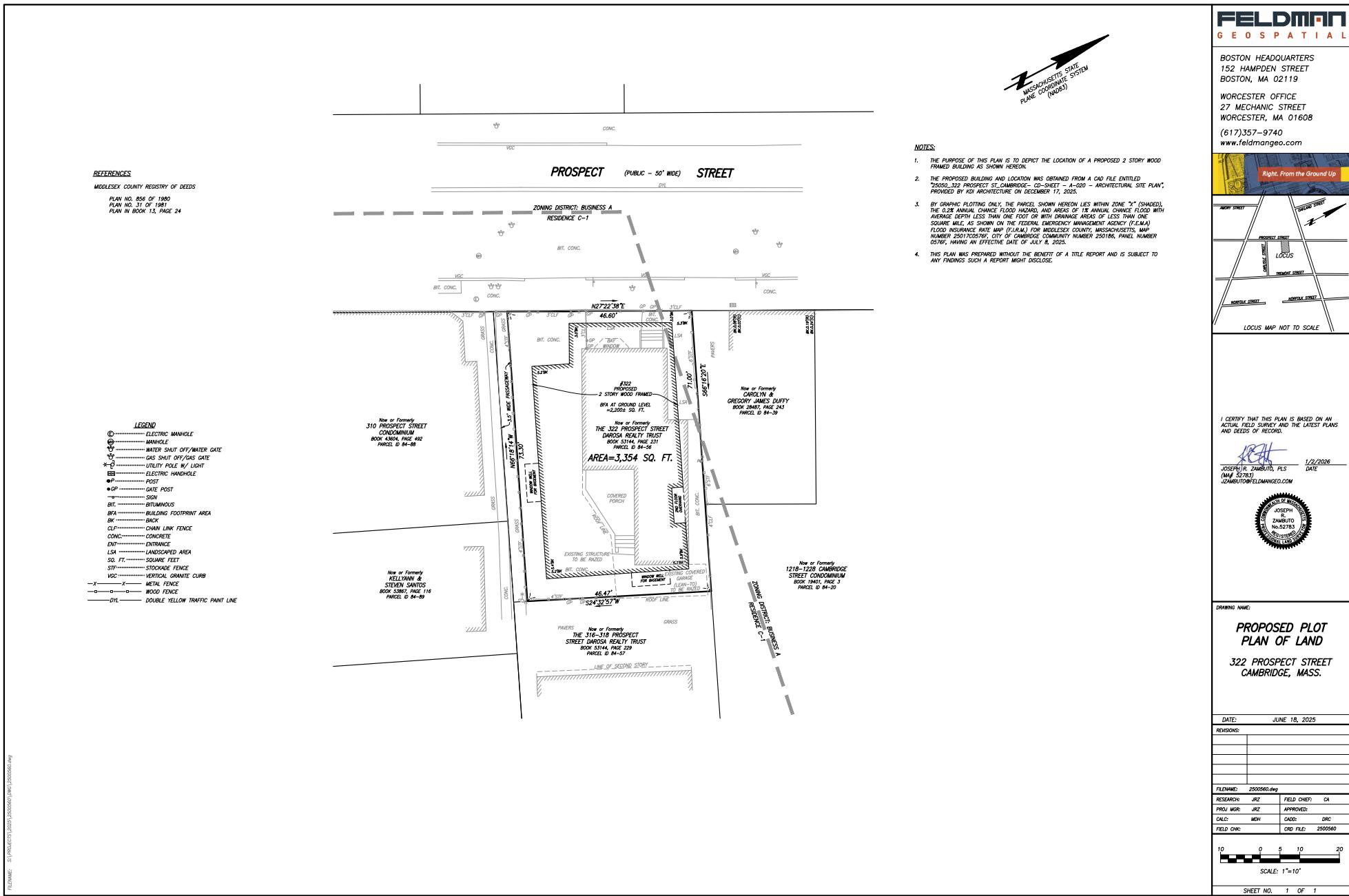
Existing Conditions Site Plan



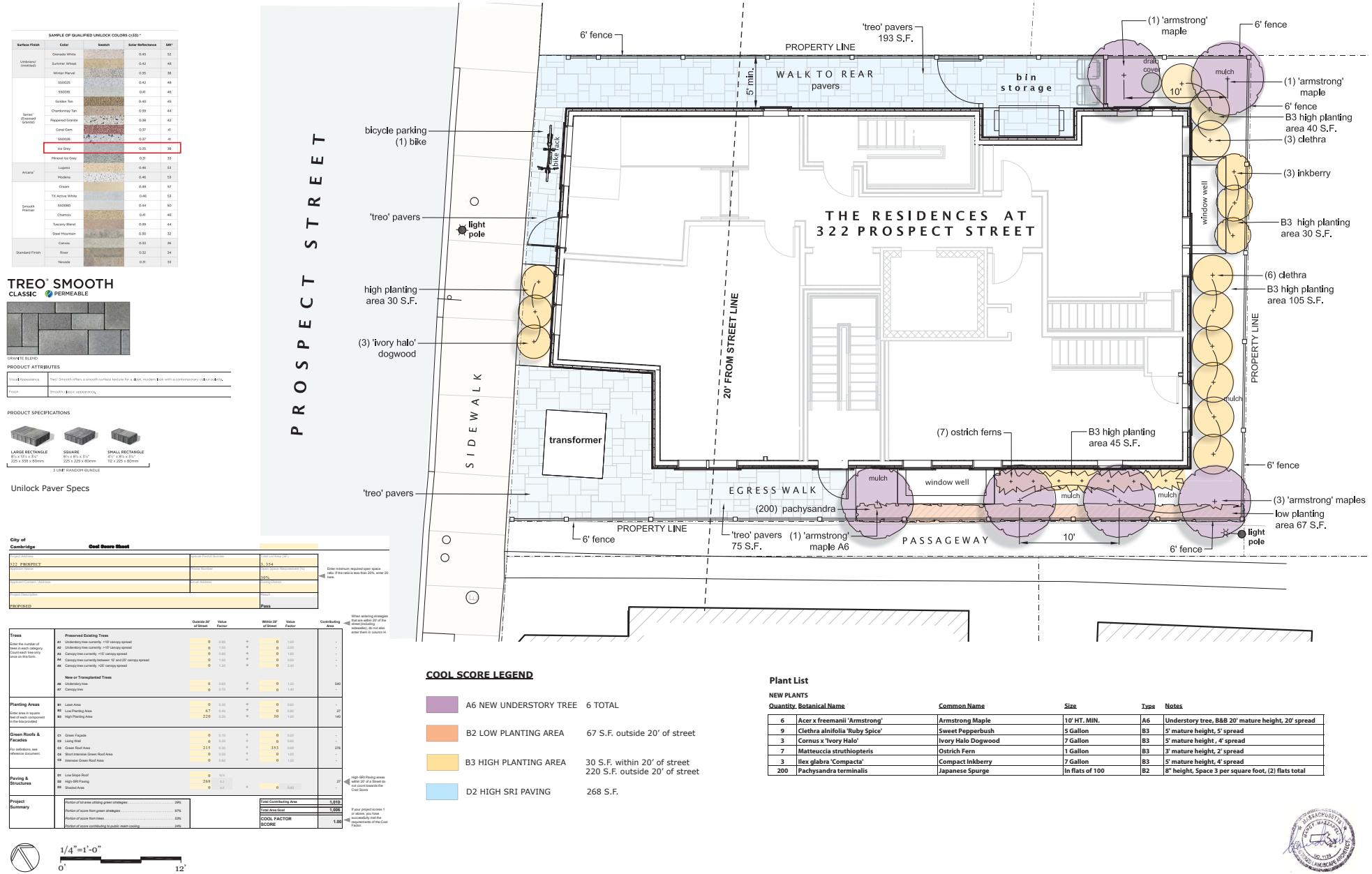
Existing Condition Photographs



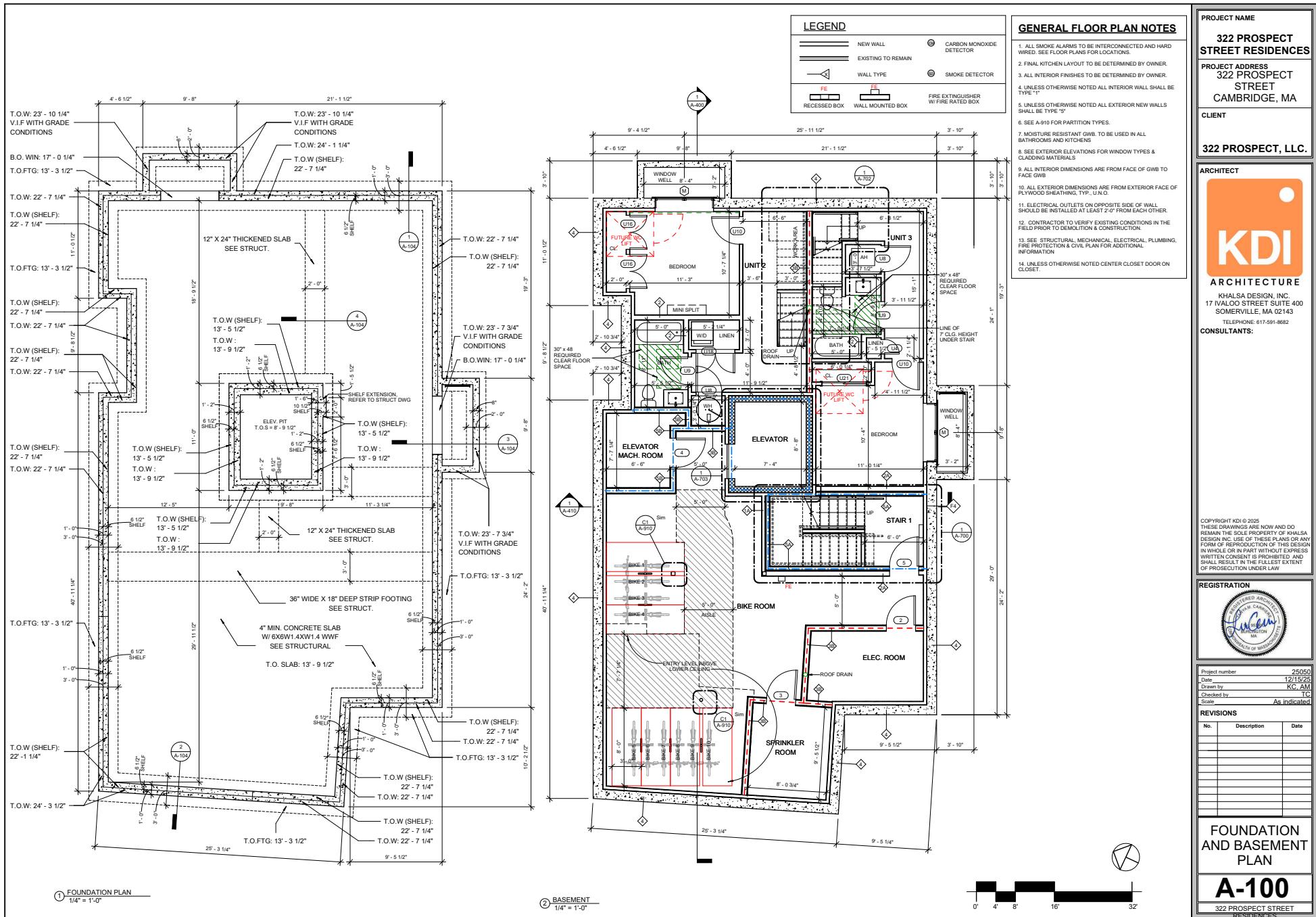
Proposed Site Plan



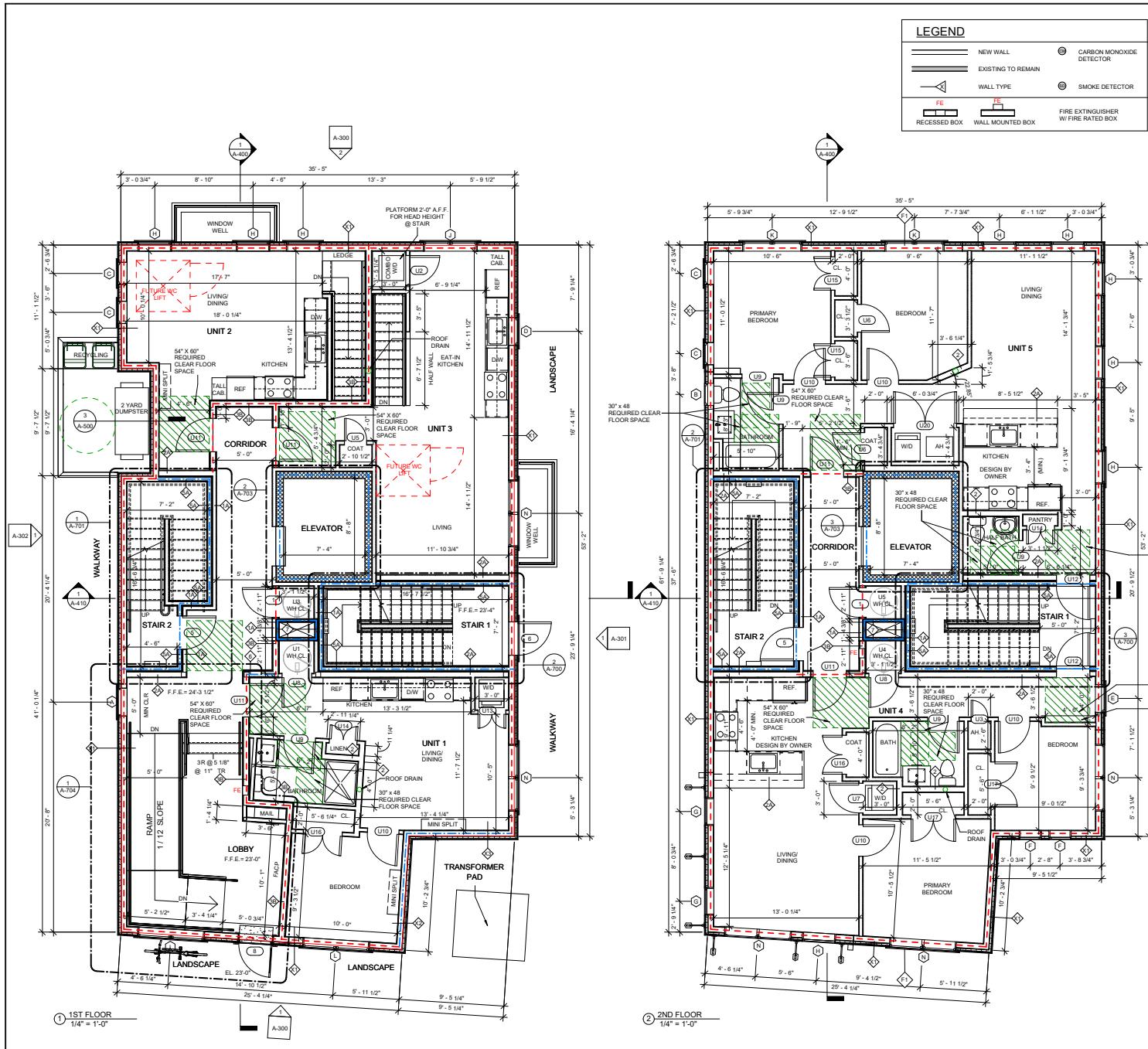
Proposed Open Space Plan (Section 5.22)



Proposed Floor Plans



Proposed Floor Plans



GENERAL FLOOR PLAN NOTES

1. ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLLOOR PLANS FOR LOCATIONS.
2. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
3. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
4. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1".
5. UNLESS OTHERWISE NOTED ALL EXTERIOR NEW WALLS SHALL BE TYPE "5".
6. SEE A-910 FOR PARTITION TYPES.
7. MOISTURE RESISTANT GBW. TO BE USED IN ALL BATHROOMS AND KITCHENS
8. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
9. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GBW TO FACE GBW.
10. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF GBW. SHEATHING, TYP. LUMO.
11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2' FROm EACH OTHER.
12. CONTRACTOR TO DEMOLISH EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
13. SEE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION & CIVIL PLANS FOR ADDITIONAL INFORMATION.
14. UNLESS OTHERWISE NOTED CENTER CLOSET DOOR ON C

PROJECT NAME

PROJECT ADDRESS
322 PROSPECT
STREET
CAMBRIDGE, MA

CLIENT

322 PROSPECT, LLC.



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Date	12/15/2002
Drawn by	KC, AM
Checked by	TO
Scale	As indicated

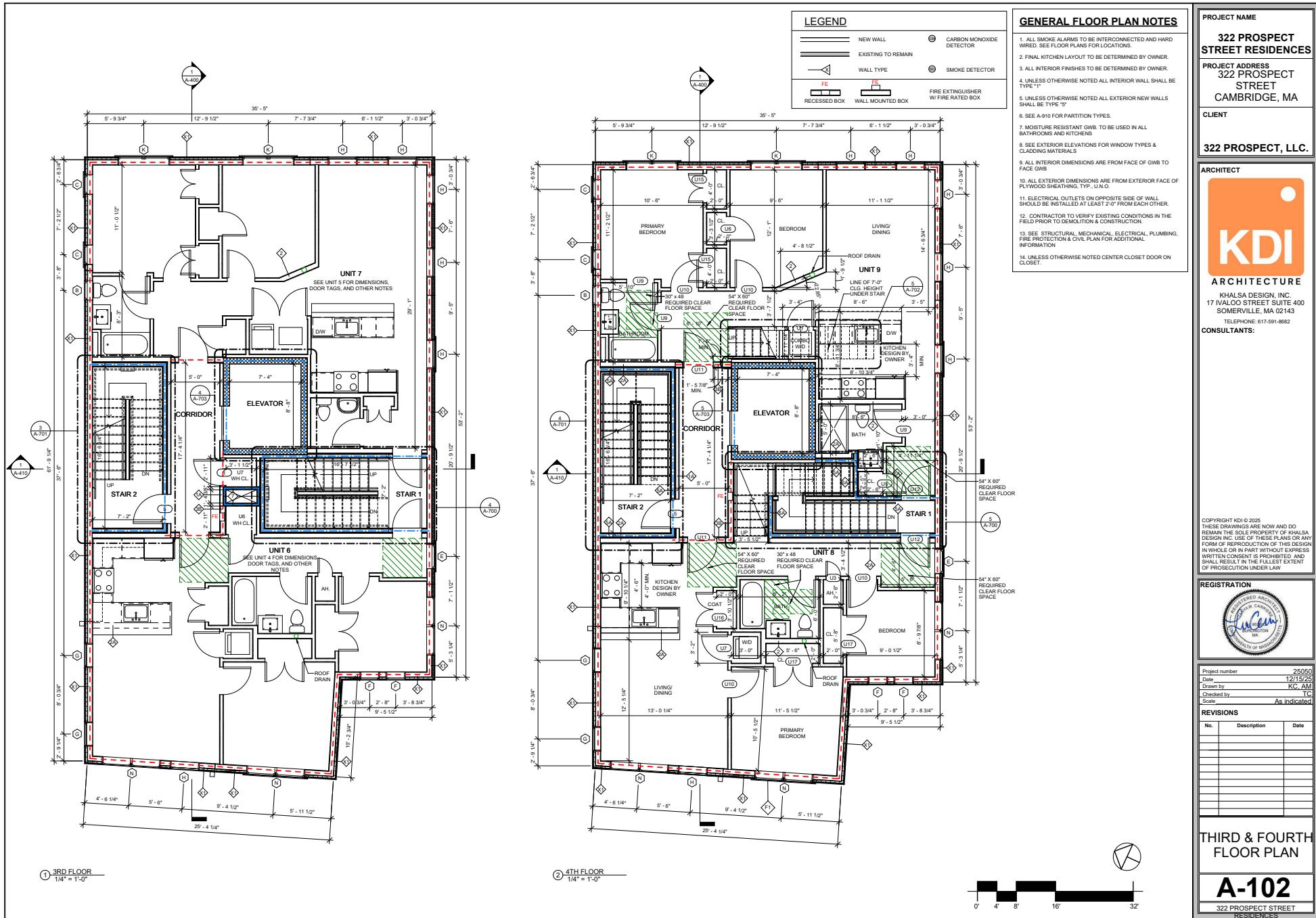
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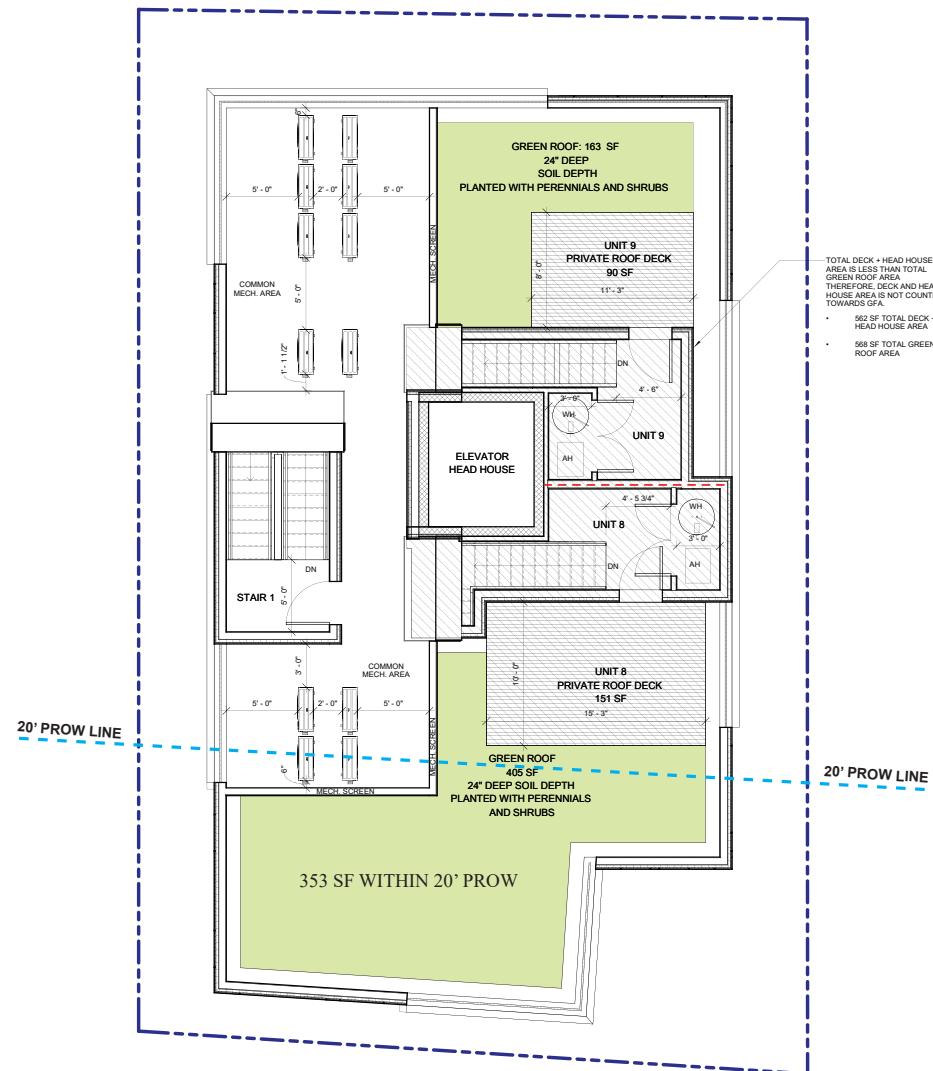
FIRST & SECOND FLOOR PLAN

A-101
322 PROSPECT STREET
RESIDENCES

Proposed Floor Plans



Proposed Roof Plan with Green Roof



Proposed Roof Plan with Green Roof



GRO METAL EDGING SPECIFICATIONS



GRO METAL EDGING

GRO Metal Edging is a strong yet lightweight, bendable restraint that provides a great finished look for both modular systems and/or intensive and extensive layered green roof systems. Our "U-shaped" design retains green roof planting materials and can be an edging detail for paver and tiles on rooftop walkways. GRO Metal Edging accommodates design curves and angles and is easy to install, making it a great alternative to structural curbing.

MATERIAL	Aluminum Extruded 6063 Alloy
DIMENSIONS	Varying heights 4.5", 6.5" & 8.25" height x 8' lengths
FINISH	Mill Finish Anodized Black Duratec available by special order
TEMP. DISPLACEMENT	Extruded aluminum is not impaired by exposure to low temperatures
UV RESISTANCE	Aluminum reflects ultraviolet radiation and is not damaged by harmful UV rays
COMBUSTIBILITY	Extruded aluminum will not burn, making it safer than many materials such as wood, plastic, and metal in dangerous situations. Extruded aluminum also does not emit any toxic, hazardous fumes when exposed to high temperatures.



GRO DRAIN MAT - 0.5" SPECIFICATIONS

GRO DRAIN MAT - 0.5" SPECIFICATIONS



GRO DRAIN MAT - 0.5"

GRO Drain Mat 0.5" is a $\frac{1}{2}$ " thick drainage core with an extruded polymer matrix of tangled monofilaments, thermally bonded to a non-woven geotextile and molded into waffle patterns, for excellent compressive strength. The fleece is a lightweight non-woven, for excellent filtering performance, with high tensile and tear strength.

DRAIN MAT SPECIFICATIONS

MATERIAL	Core: Extruded Polymer Fleece: Non-Woven Geotextile
ROLL DIMENSIONS	4' x 100' x 0.45" high, 400 ft ² /roll & 48" diameter
ROLL WEIGHT	56 lbs/roll
COMPRESSIVE STRENGTH	>30,000 psi (ASTM D1401 modified & ASTM D4716) (load rate may be decreased)

FLOW RATES: ASTM D4716

COMPRESSION APPLIED (psf)	1/0 GRADIENT	0/4 GRADIENT	0/2 GRADIENT
50			2.12 gpm/ft
100		2.05 gpm/ft	
250		1.95 gpm/ft	
500	16.30 gpm/ft	2.20 gpm/ft	1.17 gpm/ft
1,000	13.72 gpm/ft	1.89 gpm/ft	.97 gpm/ft
2,000	6.81 gpm/ft	.67 gpm/ft	.35 gpm/ft
30,000			.10 gpm/ft*

* 30,000 psi was applied for 1 hr, then able to relax for 24 hrs, before 1,000 psi was applied to determine the flow rate. (ASTM D4716)

FABRIC SPECIFICATIONS

WEIGHT	NON-WOVEN	ASTM
.5 oz/ft ²		D5261
250 lbs		D6241
AOS (MAX. AVERAGE)	70 US Sate	D4751
PERMEABILITY	0.21 cm/sec	D4491

www.greenrisetech.com

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GRO ROOT BARRIER 20 SPECIFICATIONS

GRO ROOT BARRIER 20

GRO Root Barrier is a smooth polyethylene geomembrane film that acts as a waterproof seal, protecting the soil from moisture loss, and redirects soil roots as needed. For use when a root barrier is required.



MATERIAL	Black Polyethylene Geomembrane
THICKNESS	20 mil *Other thicknesses available upon request
DIMENSIONS & WEIGHT	53' x 126' / 600 ft ² /roll, 85 lbs/roll 53' x 175' / 773 ft ² /roll, 96 lbs/roll
TENSILE STRENGTH @ BREAK	96 psi (ASTM D6693)
ELONGATION @ BREAK	900% (ASTM D6693)
TEAR RESISTANCE	12 lbs (ASTM D1004)
PUNCTURE RESISTANCE	60 lbs (ASTM D4833)
CARBON BLACK CONTENT	2.4% (ASTM D4126)
OXIDATIVE INDUCTION TIME	100 mins (ASTM D3895)

Green Roof Maintenance

1.1 Maintenance immediately following installation (by roofing contractor)

Sedum roofs require care and attention in the weeks following their installation. After a period of 6 to 8 weeks during the growing season, the edges of the sedum blankets will knit together, and the roots of the sedum plants will extend into the growing media. All living roofs must be carefully monitored through their first summer flowering cycle.

1.2 Maintenance post-establishment (by client/building owner)

Inspect the roof at least twice yearly, in spring and autumn, and inspect all roofs after any severe storm. Make frequent inspections on buildings that house manufacturing facilities that evacuate exhaust debris onto the roof.

The following steps should be undertaken during each roof inspection:

- Clean roof drains of debris.
- Remove leaves, twigs, cans, balls, etc. which could plug roof drains.
- Bag and remove all debris from the roof as debris on the surface will be quickly swept into drains by heavy rains and drainage problems may occur.
- Notify the roofing contractor immediately if a roof leak occurs.

1.3 Safe Access

Appropriate measures should be taken at both design and construction stages to ensure safe access and passage over the planted roof areas for maintenance personnel.

1.4 Gutters and Outlets

The checking of gutters and outlets should be carried out routinely during any maintenance check to ensure they are not impeded.

1.5 Watering and Irrigation

If an extended period of dry weather should occur (14 or more dry days), periodic checks should be made on the roof to examine the reservoir and drainage board to determine if all the water contained has been used by the plant layer. Apply water using a sprinkler attachment or porous or perforated pipe until the substrate is thoroughly saturated and the reservoir cups are filled.

NOTE: 4" SOIL DEPTH MINIMUM

Product Data Sheet Protection Mat SSM 45



Technical Data	Protection Mat SSM 45 High quality recycled fiber mat made of poly(ether/polypropylene).
Color:	brown mottled
Thickness:	ca. 0.2 in. (ca. 5 mm)
Weight:	ca. 0.1 lbs/sq. ft. (ca. 470 g/m ²)
Water retention capacity:	ca. 0.12 gal/sq. ft. (ca. 5 l/m ²)
Storage data:	3
Production efficiency according to EN ISO 13428:	Residual thickness ≥ 40 %
Tensile strength lengthwise:	> 31.4 lbs/in. (> 5.5 kN/m)
Extension lengthwise:	> 75 %
Dimensions:	ca. 6.6 ft x 32.8 ft. (ca. 2.00 m x 10.00 m)

Features

- resistant to mechanical stress
- with proven protective effect according to European Standard EN ISO 13428
- water and nutrient retention
- non-rotting
- biologically neutral
- bitumen and polystyrene compatible
- made of recycled fibers
- quick and easy installation

Installation Instructions

Install the Protection Mat SSM 45 above a waterproofing or root barrier with an overlap of 4 in. The protection mat will be laid out and the growing media will be applied over the protection mat, allowing for a 1" overlap on all sides and at roof penetrations. Cut the protection mat in situ at roof penetrations. Consider an allowance for overlap and wastage of ca. 10-15%. Protection Mat SSM 45 is a flexible product and can be easily bent to follow the contours of the roof. It should be applied according to manufacturer's instructions, not exposed to UV-light, completely covered. Call manufacturer for further options.

Health and Safety

This product does not require a material safety data sheet (MSDS) according to the OSHA Hazard Communication Standard (29 CFR 1910.1200). When used as recommended or under ordinary



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Life on Roots

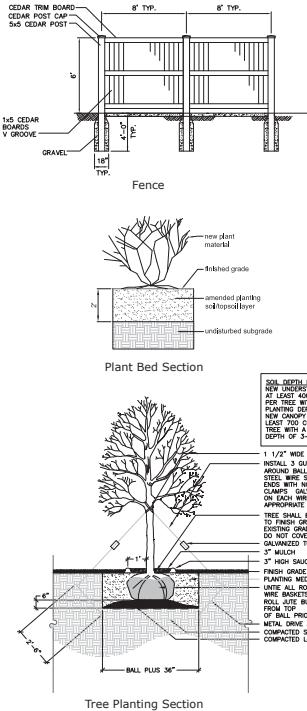


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Meetings, LLC P.O. Box 60 Lignum, VA 22726 T: (540) 399-5010 F: (540) 399-9085 E: sales@greenrisetech.com W: www.sempergreen.com

Proposed Landscaping Plan



5 Year Replacement Tree Care and Maintenance Plan - Cambridge

Watering

Use a gator bag or other similar irrigation bag, install a drip irrigation system, or use a hose to thoroughly soak the roots. Water new trees once a week with at least 20 gallons in the spring, summer, and fall. Watering should begin in the spring after the final thaw and up until the first frost in the fall. During periods of heavy rain, you may not need to water your tree. Increase watering frequency to every other day during periods of drought.

Staking

Your new tree may need to be staked if the planting location is windy, where mower or weed whacker damage is likely, or if the tree is planted in a high-traffic area. Use 2-3 stakes and tie the tree loosely with nylon or canvas ties. Remove stakes after 2 years.

Mulching

New trees should be planted with a 3" layer of mulch to provide protection and reduce water and nutrient competition with turf grass and other plants. Keep all mulch away from the trunk and root flare of the new tree. The mulch should extend to the outermost edge of the tree's canopy (drip line). It is recommended to use organic mulch that will decompose and provide your new tree with nutrients and improved soil structure. Organic mulches include wood chips, leaves, and compost mix. Organic mulches will need to be re-applied as they decompose.

Fertilizing

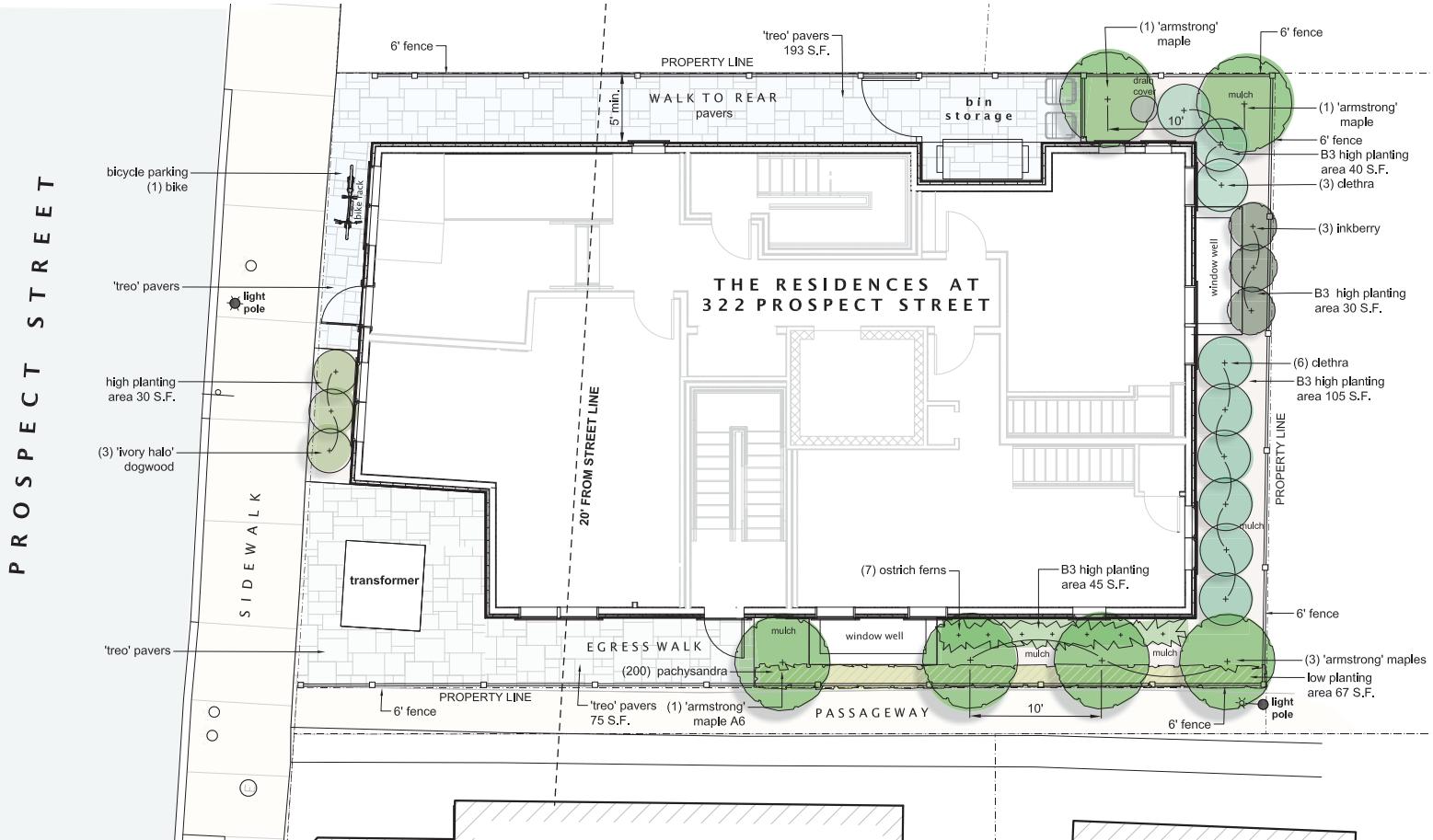
Fertilizer to be applied if a soil test indicates a deficiency.

Pruning

Prune dead and broken branches at planting. After the new tree is established, the new tree(s) may require structural pruning. Consult with a Certified Arborist before tree pruning.

Health Monitoring of the New Tree(s)

Monitor the new tree(s) for signs of stress and disease. If a tree is showing signs of stress or disease, please contact a Certified Arborist and request an assessment.



Plant List

NEW PLANTS

Quantity	Botanical Name	Common Name	Size	Type	Notes
6	<i>Acer x freemanii 'Armstrong'</i>	Armstrong Maple	10' HT. MIN.	A6	Understory tree, B&B 20' mature height, 20' spread
9	<i>Clethra alnifolia 'Ruby Spice'</i>	Sweet Pepperbush	5 Gallon	B3	5' mature height, 5' spread
3	<i>Corus x 'Ivory Halo'</i>	Ivory Hal Dogwood	7 Gallon	B3	5' mature height, 4' spread
7	<i>Mateuccia struthiopteris</i>	Ostrich Fern	1 Gallon	B3	3' mature height, 2' spread
3	<i>Ilex glabra 'Compacta'</i>	Compact Inkberry	7 Gallon	B3	5' mature height, 4' spread
200	<i>Pachysandra terminalis</i>	Japanese Spurge	In flats of 100	B2	8" height, Space 3 per square foot, (2) flats total

TOP SOIL SPECIFICATIONS:

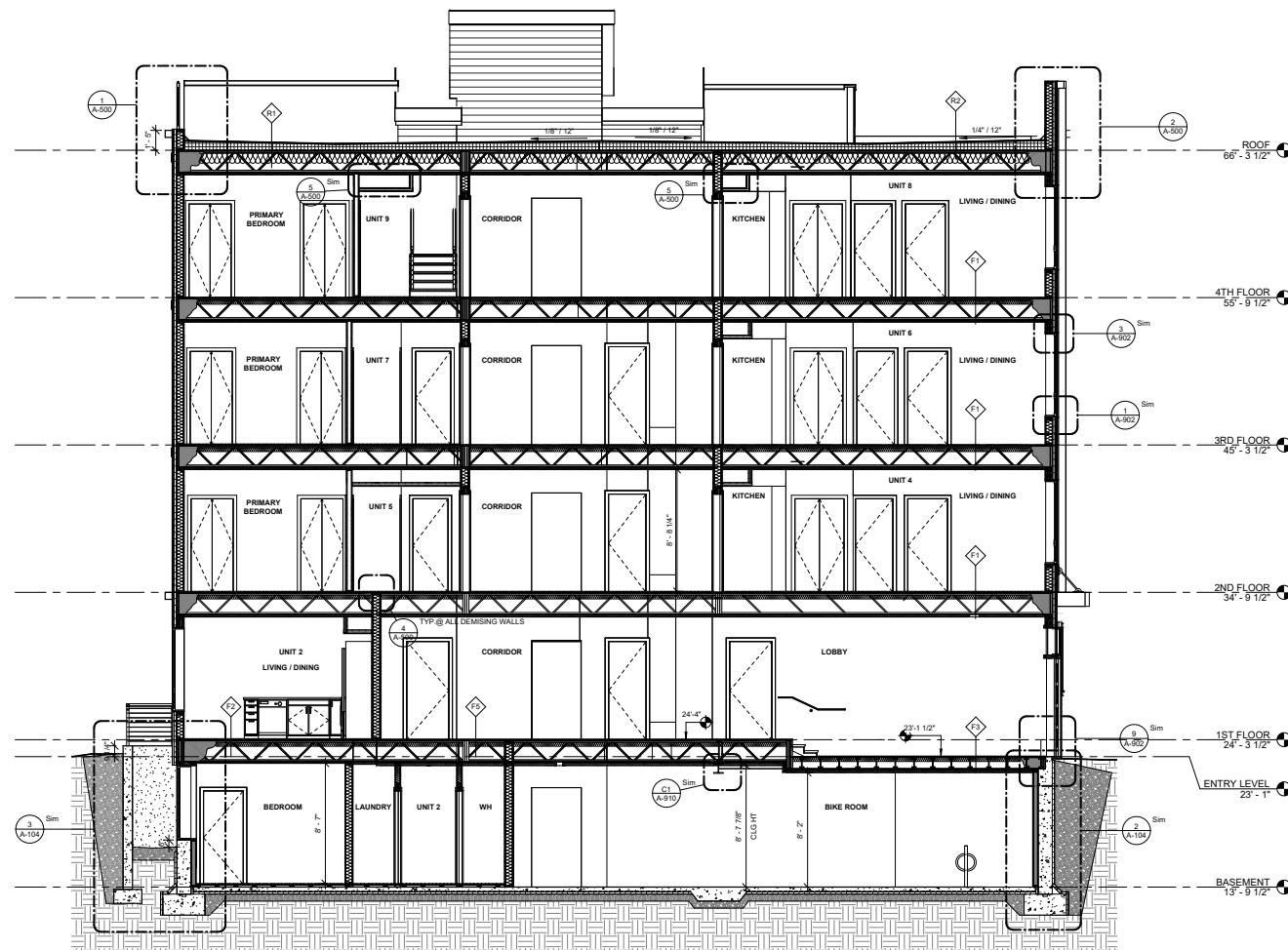
1. Loam shall be a natural, fertile, friable soil, typical of productive soils in the vicinity, obtained from naturally well drained areas, neither excessively acid nor alkaline, and containing no substances harmful to grass growth. Loam shall not be delivered to the site in frozen or muddy condition and shall be reasonably free of stumps, roots, heavy or stiff clay, stones larger than 1 inch in diameter, lumps, coarse sand, noxious weeds, sticks, brush or other litter.

2. The loam shall contain not less than 84 percent nor more than 20 percent organic matter as determined by the loss of weight by ignition of oven dried samples. Test samples shall be oven dried to a constant weight at a temperature of 230 degrees F.

3. The loam shall have a maximum permeability of 3.7 x 10-4 centimeters per second as determined by ASTM D 5084:2434.



Proposed Cross-sections



① LONGITUDINAL SECTION
1/4" = 1'-0"

PROJECT NAME

PROJECT ADDRESS
322 PROSPECT
STREET
CAMBRIDGE, MA

CLIE

322 PROSPECT, LLC.

ARCHITECT



ARCHITECTURE

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TELEPHONE: 6

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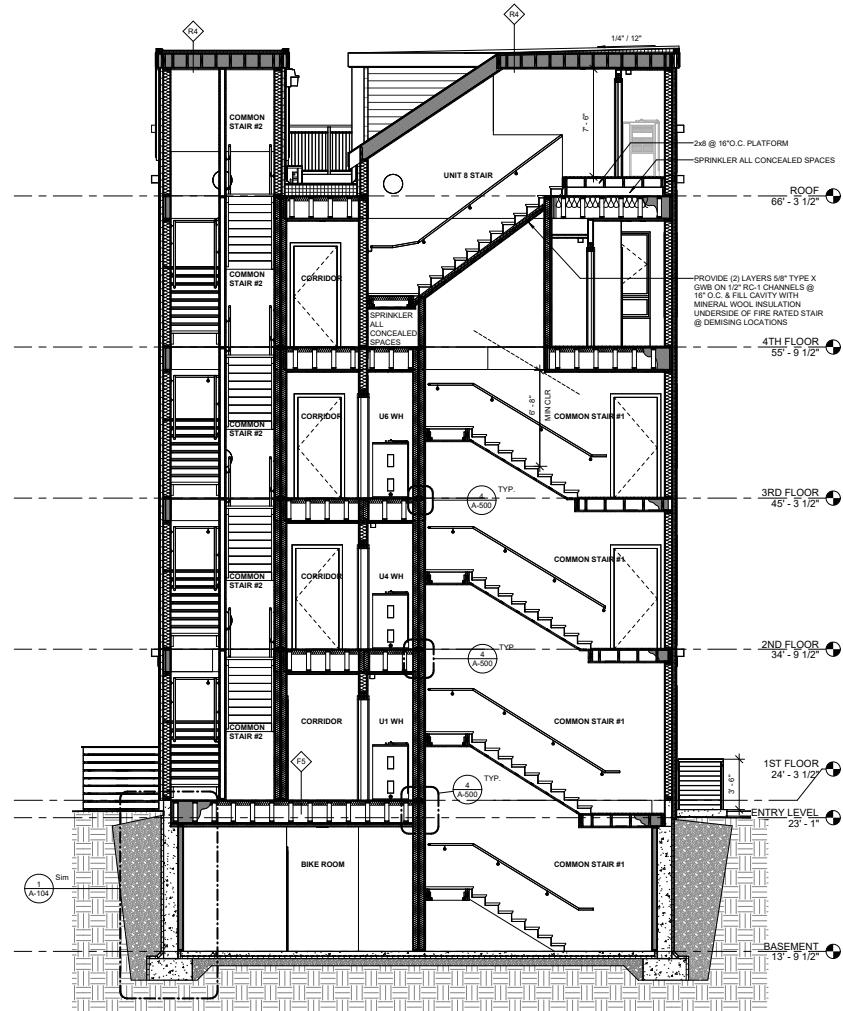
Project number	25050
Date	12/15/25
Drawn by	KC, AM
Checked by	TC
Scale	1/4" = 1'-0"

REVISIONS

LONGITUDINAL SECTION

A-400
322 PROSPECT STREET
RESIDENCES

Proposed Cross-sections



1 CROSS SECTION

PROJECT NAME
322 PROSPECT STREET RESIDENCES
PROJECT ADDRESS
322 PROSPECT STREET CAMBRIDGE, MA
CLIENT

322 PROSPECT, LLC.

The logo for KDI Architecture is a square divided into four quadrants. The top-left quadrant is orange with the letters 'KDI' in white. The top-right quadrant is white with a solid orange circle. The bottom-left quadrant is white with the word 'ARCHITECTURE' in orange. The bottom-right quadrant is orange with the word 'KHALSA DESIGN, INC.' in white.

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Project number	25050
Date	12/15/25
Drawn by	KC, AM
Checked by	TC
Scale	1/4" = 1'-0"

CROSS SECTION

A-410

Proposed Elevations



Proposed Elevations



Proposed Elevations

1 LEFT ELEVATION
1/4" = 1'-0"

MATERIAL LEGEND		
TAG	MATERIAL DESCRIPTION	COLOR
(S1)	6" EXPOSURE FIBERCEMENT SIDING	HARDIE DRIED EUCALYPTUS
(S2)	6" EXPOSURE FIBERCEMENT SIDING	LAST EMBERS
(S3)	FIBERCEMENT PANEL	HARDIE LAST EMBERS
(T1)	5 1/4" X 3 1/2" DOOR & WINDOW FIBERCEMENT TRIM	DRIED EUCALYPTUS
(T2)	5 1/4" X 6" FIBERCEMENT TRIM	TBD
(T3)	5 1/4" X 6" FIBERCEMENT TRIM	TBD

PROJECT NAME
322 PROSPECT STREET RESIDENCES

PROJECT ADDRESS
322 PROSPECT STREET
CAMBRIDGE, MA

CLIENT
322 PROSPECT, LLC.

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Drawn by KC, AM
Checked by TC
Scale As indicated

REVISIONS

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