



# THE RESIDENCES AT ALEWIFE

223, 225 & 231 CONCORD TURNPIKE  
CAMBRIDGE, MA

SPECIAL PERMIT SET  
DECEMBER 20, 2010

PREPARED FOR:



CRITERION DEVELOPMENT PARTNERS  
1102 TAYLOR POND LAND  
BEDFORD, MA 01730  
(781) 890-5600

PREPARED BY:

CIVIL ENGINEER/SURVEYOR:



15 Elkins Street  
Boston, Massachusetts  
02127

617 896 4300

ARCHITECT:



CUBE 3 STUDIO  
360 MERRIMACK STREET  
BUILDING 5, FLOOR 3  
LAWRENCE, MA 01843  
(978) 989-9900

LANDSCAPE ARCHITECT:

Shadley Associates

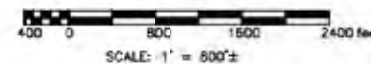
Interior Architecture / Site Planning Consultants

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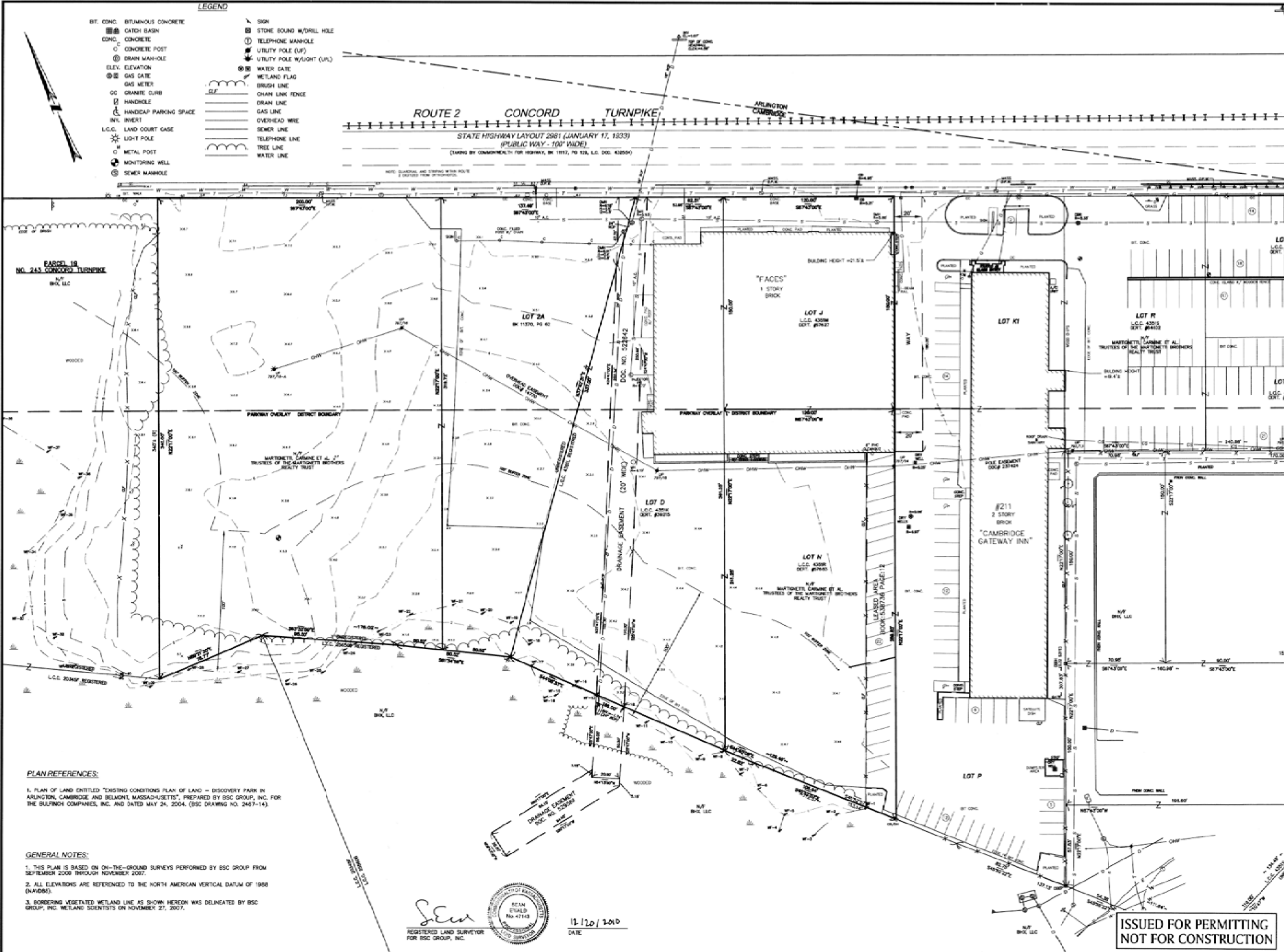
LOCUS MAP



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- LEGEND**
- BIT. CONC. BITUMINOUS CONCRETE
  - CONC. CATCH BASIN
  - CONC. CONCRETE
  - CONC. POST
  - CONCRETE MANHOLE
  - ELEV. ELEVATION
  - GAS DATE
  - GAS METER
  - GRANITE CURB
  - HANDHOLE
  - HANDICAP PARKING SPACE
  - INV. INVERT
  - L.C.C. LAND COURT CASE
  - LIGHT POLE
  - METAL POST
  - MONITORING WELL
  - SEWER MANHOLE
  - SIGN
  - STONE BOUND W/DRILL HOLE
  - TELEPHONE MANHOLE
  - UTILITY POLE (UP)
  - UTILITY POLE W/LIGHT (UPL)
  - WATER GATE
  - WETLAND FLAG
  - BRUSH LINE
  - CHAIN LINK FENCE
  - DRAIN LINE
  - GAS LINE
  - OVERHEAD WIRE
  - SEWER LINE
  - TELEPHONE LINE
  - TREE LINE
  - WATER LINE

**ROUTE 2 CONCORD TURNPIKE**  
 STATE HIGHWAY LAYOUT 2981 (JANUARY 17, 1933)  
 (PUBLIC WAY - 100' WIDE)  
 (LAW BY COMMONWEALTH FOR HIGHWAY, BK 1191, PG 123, L.C. DOC. 43254)

DATE \_\_\_\_\_

**THE RESIDENCES AT ALEWIFE AT**  
 223, 225 & 231 CONCORD TURNPIKE  
 IN  
 CAMBRIDGE MASSACHUSETTS (MIDDLESEX COUNTY)

**EXISTING CONDITIONS PLAN**  
 DECEMBER 20, 2010

REVISIONS:		
NO.	DATE	DESC.

PREPARED FOR:  
 CRITERION DEVELOPMENT PARTNERS  
 1102 TAYLOR POND LANE  
 BEDFORD, MA 01730  
 (781) 890-5600

**BSC GROUP**  
 15 Elkins Street  
 Boston, Massachusetts  
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 617 896 4300

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 0 15 30 60 feet

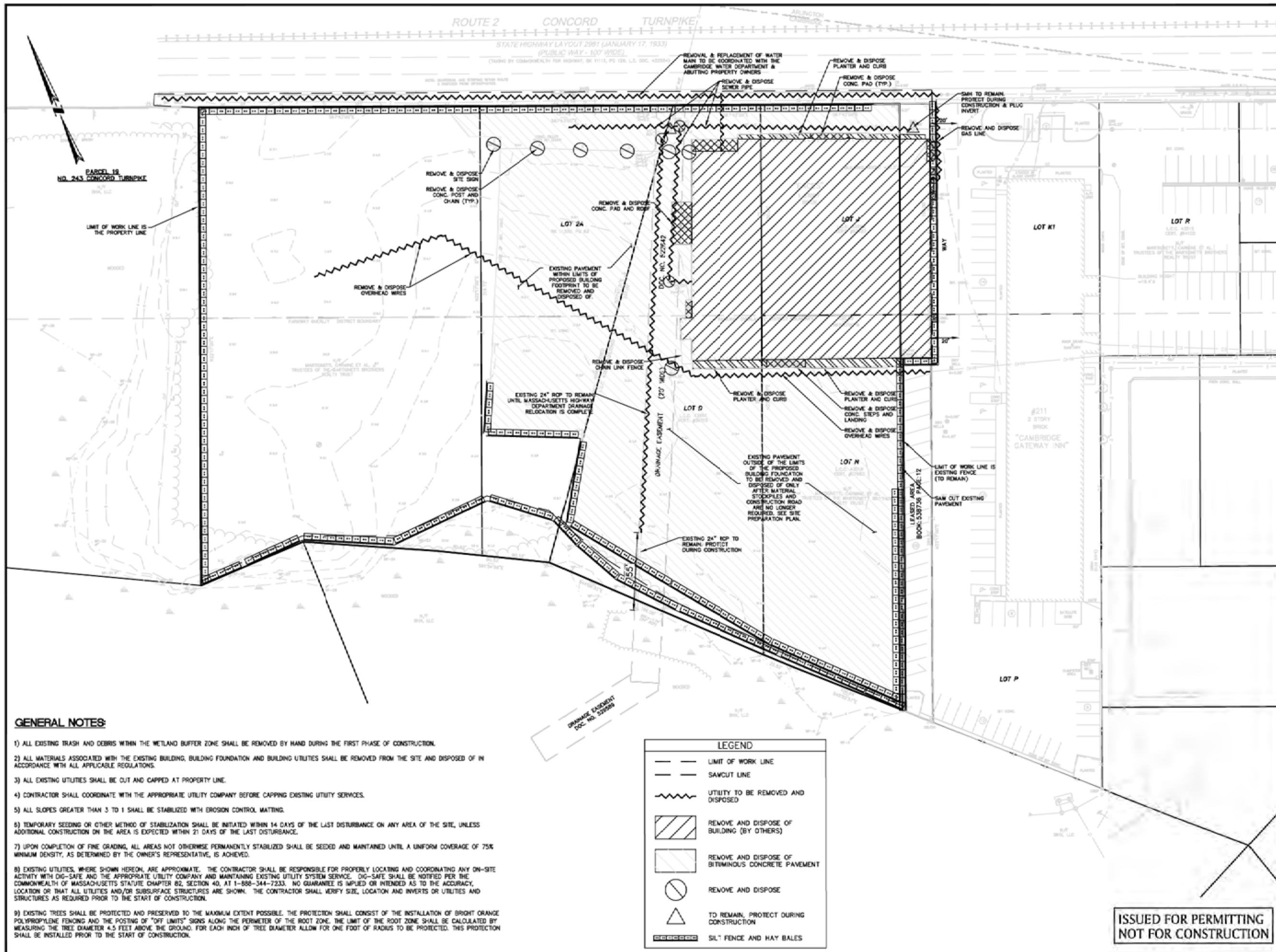
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 DWG. NO. \_\_\_\_\_ SHEET C-2  
 JOB. NO: 23065.02

**PLAN REFERENCES:**  
 1. PLAN OF LAND ENTITLED "EXISTING CONDITIONS PLAN OF LAND - DISCOVERY PARK IN ARLINGTON, CAMBRIDGE AND BELMONT, MASSACHUSETTS", PREPARED BY BSC GROUP, INC. FOR THE BULFINCH COMPANIES, INC. AND DATED MAY 24, 2004. (BSC DRAWING NO. 2467-14).

**GENERAL NOTES:**  
 1. THIS PLAN IS BASED ON ON-THE-GROUND SURVEYS PERFORMED BY BSC GROUP FROM SEPTEMBER 2000 THROUGH NOVEMBER 2007.  
 2. ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).  
 3. BORDERING VEGETATED WETLAND LINE AS SHOWN HEREON WAS DELINEATED BY BSC GROUP, INC. WETLAND SCIENTISTS ON NOVEMBER 27, 2007.

*Sen*  
 REGISTERED LAND SURVEYOR  
 FOR BSC GROUP, INC.  
 SCAN  
 EVIDAL  
 No. 47143  
 11/20/2010  
 DATE

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 NOT FOR CONSTRUCTION**



**GENERAL NOTES:**

- 1) ALL EXISTING TRASH AND DEBRIS WITHIN THE WETLAND BUFFER ZONE SHALL BE REMOVED BY HAND DURING THE FIRST PHASE OF CONSTRUCTION.
- 2) ALL MATERIALS ASSOCIATED WITH THE EXISTING BUILDING, BUILDING FOUNDATION AND BUILDING UTILITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- 3) ALL EXISTING UTILITIES SHALL BE CUT AND CAPPED AT PROPERTY LINE.
- 4) CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY BEFORE CAPPING EXISTING UTILITY SERVICES.
- 5) ALL SLOPES GREATER THAN 3 TO 1 SHALL BE STABILIZED WITH EROSION CONTROL MATTING.
- 6) TEMPORARY SEEDING OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE, UNLESS ADDITIONAL CONSTRUCTION ON THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
- 7) UPON COMPLETION OF FINE GRADING, ALL AREAS NOT OTHERWISE PERMANENTLY STABILIZED SHALL BE SEEDED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 75% MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, IS ACHIEVED.
- 8) EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- 9) EXISTING TREES SHALL BE PROTECTED AND PRESERVED TO THE MAXIMUM EXTENT POSSIBLE. THE PROTECTION SHALL CONSIST OF THE INSTALLATION OF BRIGHT ORANGE POLYPROPYLENE FENCING AND THE POSTING OF "OFF LIMITS" SIGNS ALONG THE PERIMETER OF THE ROOT ZONE. THE LIMIT OF THE ROOT ZONE SHALL BE CALCULATED BY MEASURING THE TREE DIAMETER 4.5 FEET ABOVE THE GROUND. FOR EACH INCH OF TREE DIAMETER ALLOW FOR ONE FOOT OF RADIUS TO BE PROTECTED. THIS PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.

LEGEND	
	LIMIT OF WORK LINE
	SAWCUT LINE
	UTILITY TO BE REMOVED AND DISPOSED
	REMOVE AND DISPOSE OF BUILDING (BY OTHERS)
	REMOVE AND DISPOSE OF BITUMINOUS CONCRETE PAVEMENT
	REMOVE AND DISPOSE
	TO REMAIN, PROTECT DURING CONSTRUCTION
	SILT FENCE AND HAY BALES

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PROFESSIONAL ENGINEER DATE

**THE RESIDENCES  
AT ALEWIFE  
AT**  
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IN  
CAMBRIDGE  
MASSACHUSETTS  
(MIDDLESEX COUNTY)

**DEMOLITION PLAN**

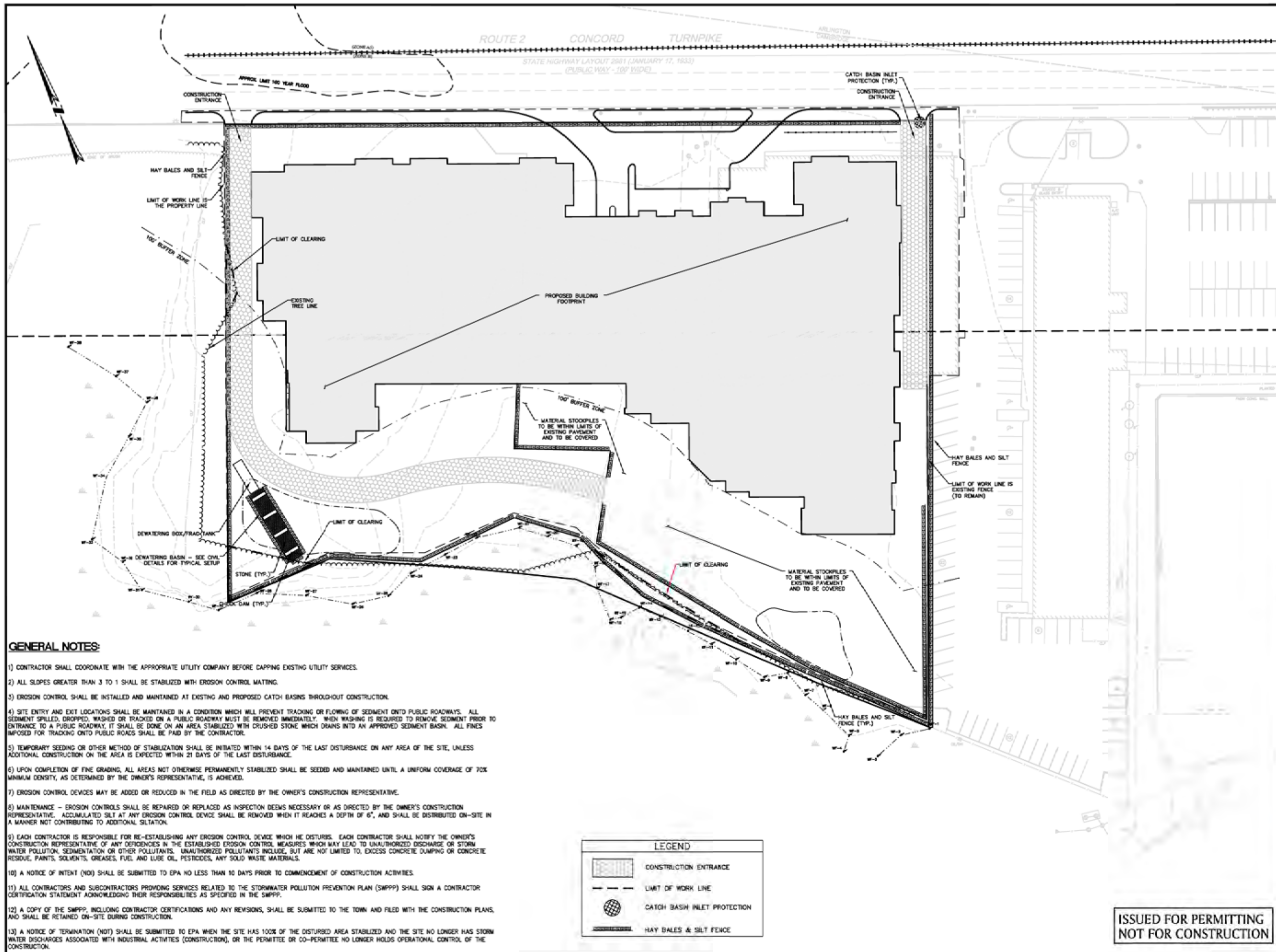
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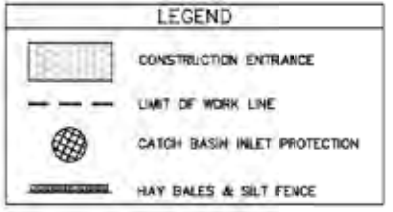


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JOB. NO: 23065.02



**GENERAL NOTES:**

- 1) CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY BEFORE CAPPING EXISTING UTILITY SERVICES.
- 2) ALL SLOPES GREATER THAN 3 TO 1 SHALL BE STABILIZED WITH EROSION CONTROL MATTING.
- 3) EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED AT EXISTING AND PROPOSED CATCH BASINS THROUGHOUT CONSTRUCTION.
- 4) SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- 5) TEMPORARY SEEDING OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE, UNLESS ADDITIONAL CONSTRUCTION ON THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
- 6) UPON COMPLETION OF FINE GRADING, ALL AREAS NOT OTHERWISE PERMANENTLY STABILIZED SHALL BE SEEDED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 70% MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, IS ACHIEVED.
- 7) EROSION CONTROL DEVICES MAY BE ADDED OR REDUCED IN THE FIELD AS DIRECTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE.
- 8) MAINTENANCE - EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY OR AS DIRECTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE. ACCUMULATED SILT AT ANY EROSION CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6", AND SHALL BE DISTRIBUTED ON-SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
- 9) EACH CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH HE DISTURBS. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, ANY SOLID WASTE MATERIALS.
- 10) A NOTICE OF INTENT (NOI) SHALL BE SUBMITTED TO EPA NO LESS THAN 10 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- 11) ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
- 12) A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE TOWN AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
- 13) A NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO EPA WHEN THE SITE HAS 100% OF THE DISTURBED AREA STABILIZED AND THE SITE NO LONGER HAS STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES (CONSTRUCTION), OR THE PERMITEE OR CO-PERMITEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION.



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PROFESSIONAL ENGINEER DATE

**THE RESIDENCES  
AT ALEWIFE  
AT**  
223, 225 & 231 CONCORD TURNPIKE  
IN  
CAMBRIDGE  
MASSACHUSETTS  
(MIDDLESEX COUNTY)

**SITE PREPARATION &  
EROSION CONTROL PLAN**  
DECEMBER 20, 2010

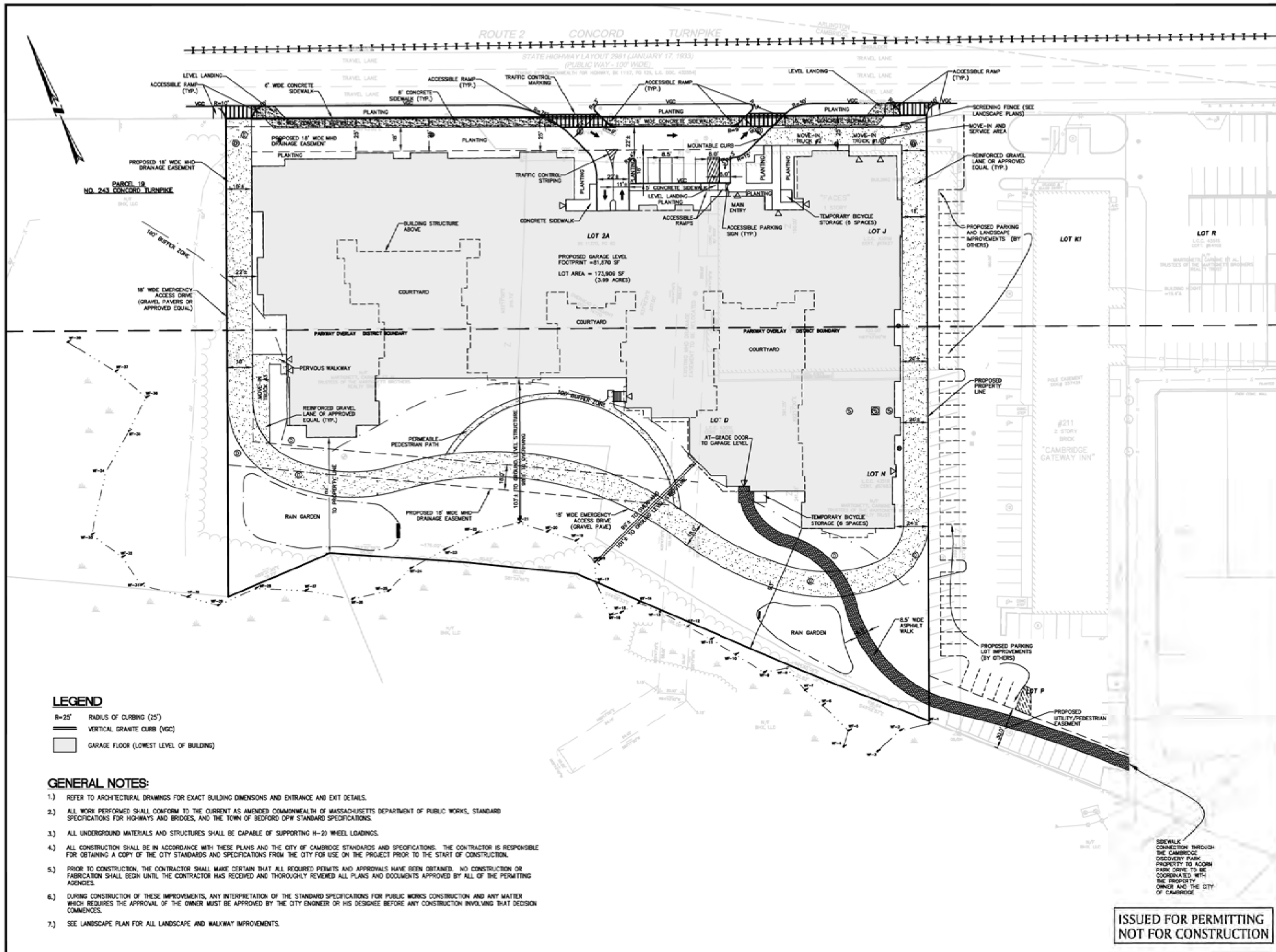
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PREPARED FOR:  
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**LEGEND**

- R=25' RADIUS OF CURBING (25')
- VERTICAL GRANITE CURB (VGC)
- GARAGE FLOOR (LOWEST LEVEL OF BUILDING)

**GENERAL NOTES:**

- 1.) REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRANCE AND EXIT DETAILS.
- 2.) ALL WORK PERFORMED SHALL CONFORM TO THE CURRENT AS AMENDED COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND THE TOWN OF BEDFORD DPW STANDARD SPECIFICATIONS.
- 3.) ALL UNDERGROUND MATERIALS AND STRUCTURES SHALL BE CAPABLE OF SUPPORTING H-20 WHEEL LOADINGS.
- 4.) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF CAMBRIDGE STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE CITY STANDARDS AND SPECIFICATIONS FROM THE CITY FOR USE ON THE PROJECT PRIOR TO THE START OF CONSTRUCTION.
- 5.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- 6.) DURING CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER MUST BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES.
- 7.) SEE LANDSCAPE PLAN FOR ALL LANDSCAPE AND WALKWAY IMPROVEMENTS.

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IN  
CAMBRIDGE  
MASSACHUSETTS  
(MIDDLESEX COUNTY)**

**LAYOUT & MATERIALS  
PLAN  
DECEMBER 20, 2010**

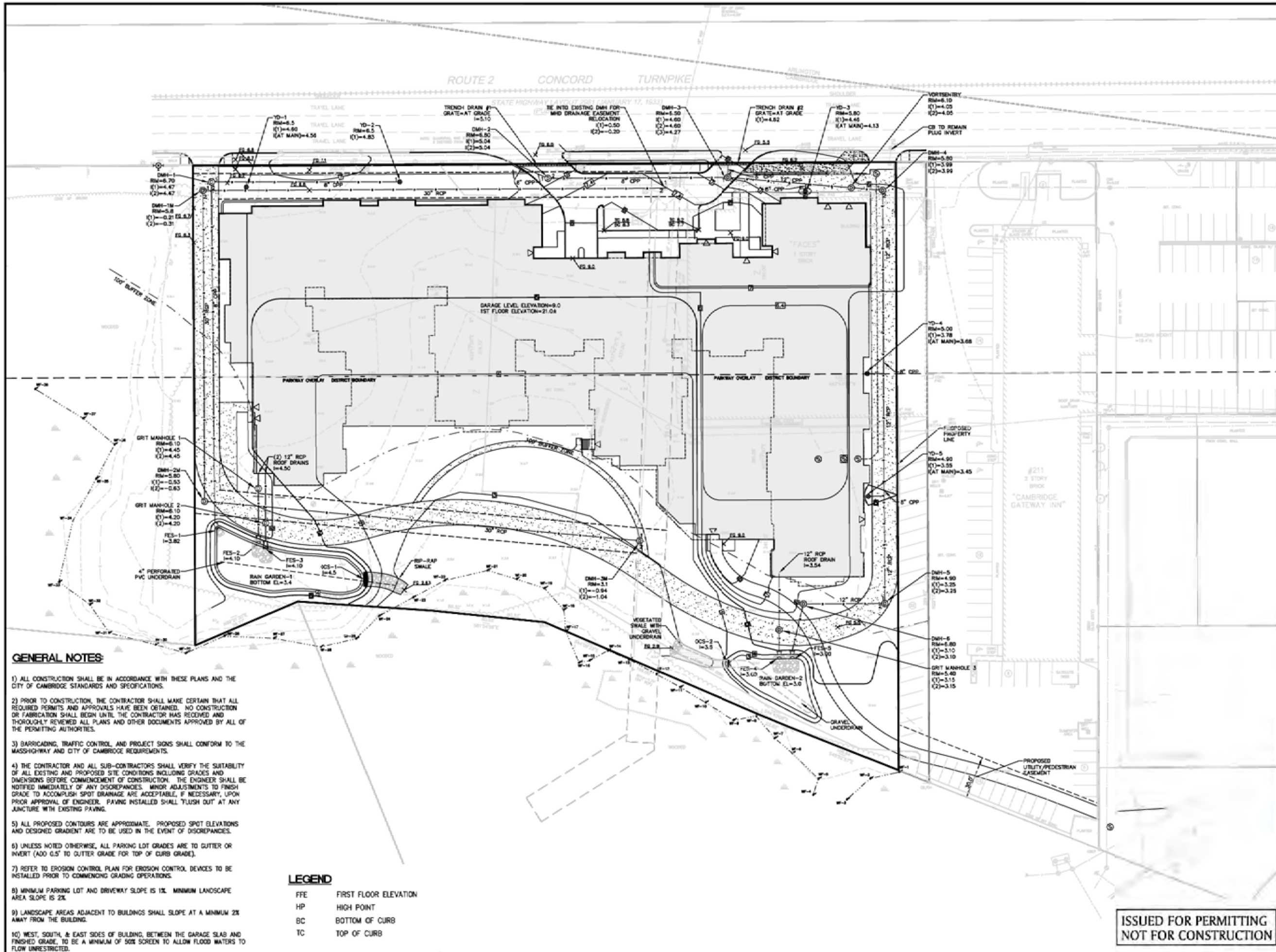
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**GENERAL NOTES**

- 1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF CAMBRIDGE STANDARDS AND SPECIFICATIONS.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 3) BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO THE MASSHIGHWAY AND CITY OF CAMBRIDGE REQUIREMENTS.
- 4) THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL FLUSH OUT AT ANY JUNCTURE WITH EXISTING PAVING.
- 5) ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNED GRADIENT ARE TO BE USED IN THE EVENT OF DISCREPANCIES.
- 6) UNLESS NOTED OTHERWISE, ALL PARKING LOT GRADES ARE TO DUTTER OR INVERT (ADD 0.5' TO DUTTER GRADE FOR TOP OF CURB GRADE).
- 7) REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- 8) MINIMUM PARKING LOT AND DRIVEWAY SLOPE IS 1%. MINIMUM LANDSCAPE AREA SLOPE IS 2%.
- 9) LANDSCAPE AREAS ADJACENT TO BUILDINGS SHALL SLOPE AT A MINIMUM 2% AWAY FROM THE BUILDING.
- 10) WEST, SOUTH, & EAST SIDES OF BUILDING, BETWEEN THE GARAGE SLAB AND FINISHED GRADE, TO BE A MINIMUM OF 50% SCREEN TO ALLOW FLOOD WATERS TO FLOW UNRESTRICTED.

**LEGEND**

- FFE FIRST FLOOR ELEVATION
- HP HIGH POINT
- BC BOTTOM OF CURB
- TC TOP OF CURB

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CAMBRIDGE  
MASSACHUSETTS  
(MIDDLESEX COUNTY)  
**GRADING & DRAINAGE  
PLAN**  
DECEMBER 20, 2010

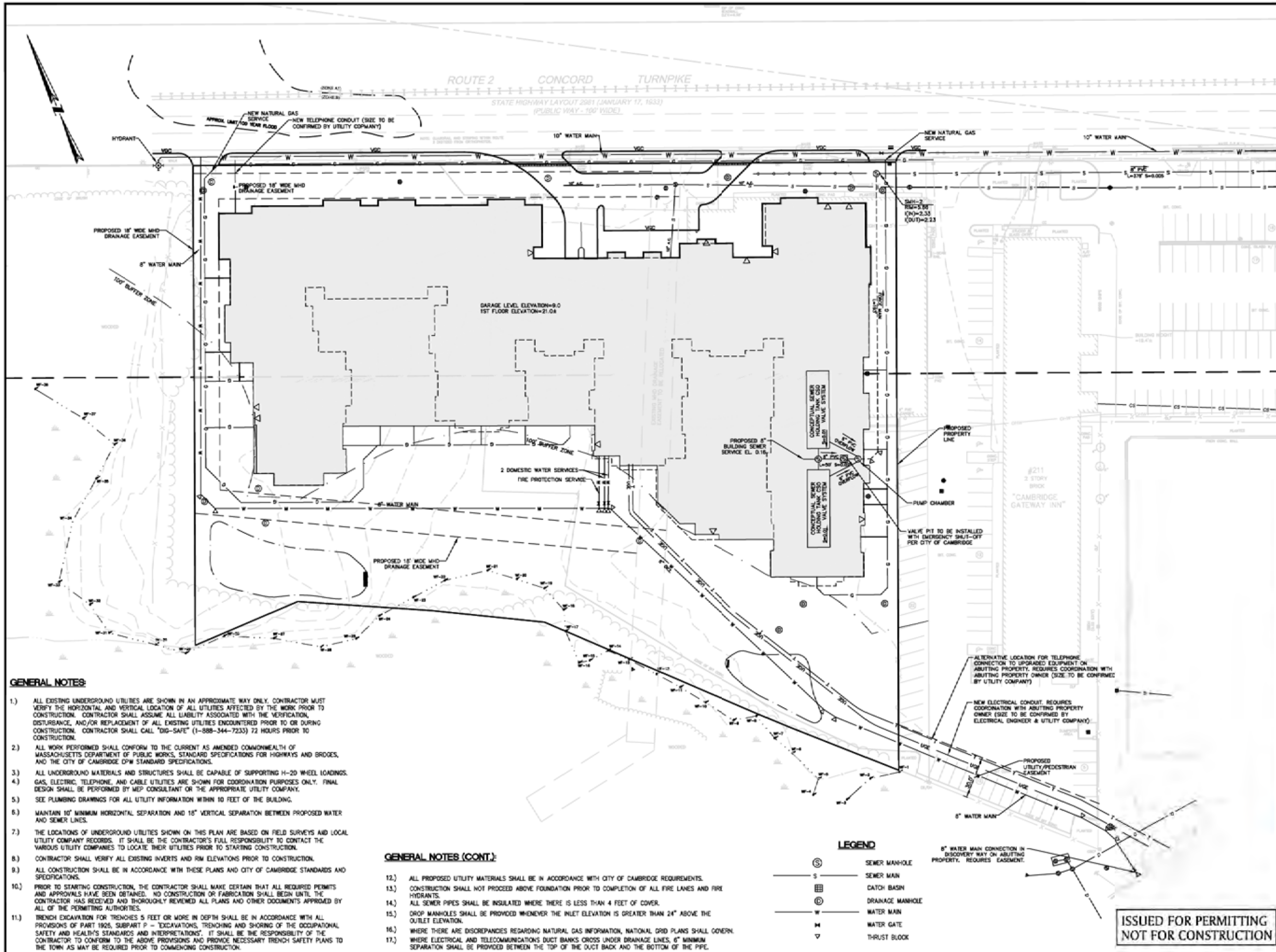
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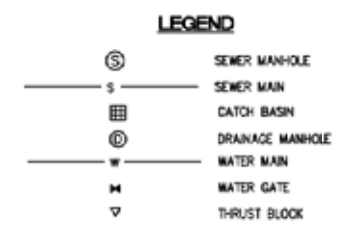
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- GENERAL NOTES:**
- 1.) ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. CONTRACTOR MUST VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES AFFECTED BY THE WORK PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ASSUME ALL LIABILITY ASSOCIATED WITH THE VERIFICATION, DISTURBANCE, AND/OR REPLACEMENT OF ALL EXISTING UTILITIES ENCOUNTERED PRIOR TO OR DURING CONSTRUCTION. CONTRACTOR SHALL CALL "DIG-SAFE" (1-888-344-7233) 72 HOURS PRIOR TO CONSTRUCTION.
  - 2.) ALL WORK PERFORMED SHALL CONFORM TO THE CURRENT AS AMENDED COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND THE CITY OF CAMBRIDGE DPW STANDARD SPECIFICATIONS.
  - 3.) ALL UNDERGROUND MATERIALS AND STRUCTURES SHALL BE CAPABLE OF SUPPORTING H-20 WHEEL LOADINGS.
  - 4.) GAS, ELECTRIC, TELEPHONE, AND CABLE UTILITIES ARE SHOWN FOR COORDINATION PURPOSES ONLY. FINAL DESIGN SHALL BE PERFORMED BY MEP CONSULTANT OR THE APPROPRIATE UTILITY COMPANY.
  - 5.) SEE PLUMBING DRAWINGS FOR ALL UTILITY INFORMATION WITHIN 10 FEET OF THE BUILDING.
  - 6.) MAINTAIN 10' MINIMUM HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION BETWEEN PROPOSED WATER AND SEWER LINES.
  - 7.) THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION.
  - 8.) CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
  - 9.) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY OF CAMBRIDGE STANDARDS AND SPECIFICATIONS.
  - 10.) PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
  - 11.) TRENCH EXCAVATION FOR TRENCHES 5 FEET OR MORE IN DEPTH SHALL BE IN ACCORDANCE WITH ALL PROVISIONS OF PART 1925, SUBPART P - "EXCAVATIONS, TRENCHING AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH'S STANDARDS AND INTERPRETATIONS". IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM TO THE ABOVE PROVISIONS AND PROVIDE NECESSARY TRENCH SAFETY PLANS TO THE TOWN AS MAY BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION.

- GENERAL NOTES (CONT.):**
- 12.) ALL PROPOSED UTILITY MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF CAMBRIDGE REQUIREMENTS.
  - 13.) CONSTRUCTION SHALL NOT PROCEED ABOVE FOUNDATION PRIOR TO COMPLETION OF ALL FIRE LANES AND FIRE HYDRANTS.
  - 14.) ALL SEWER PIPES SHALL BE INSULATED WHERE THERE IS LESS THAN 4 FEET OF COVER.
  - 15.) DROP MANHOLES SHALL BE PROVIDED WHENEVER THE INLET ELEVATION IS GREATER THAN 24" ABOVE THE OUTLET ELEVATION.
  - 16.) WHERE THERE ARE DISCREPANCIES REGARDING NATURAL GAS INFORMATION, NATIONAL GRID PLANS SHALL GOVERN.
  - 17.) WHERE ELECTRICAL AND TELECOMMUNICATIONS DUCT BANKS CROSS UNDER DRAINAGE LINES, 6" MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE TOP OF THE DUCT BANK AND THE BOTTOM OF THE PIPE.



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AT ALEWIFE  
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IN  
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(MIDDLESEX COUNTY)**

**UTILITY  
PLAN  
DECEMBER 20, 2010**

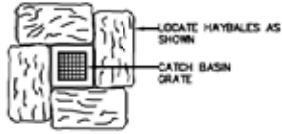
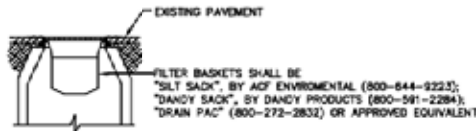
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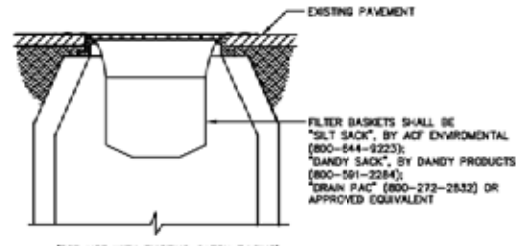
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SCALE:  
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DWG. NO.:  
JOB. NO.: 23065.02 SHEET C-7



**NOTE:**  
FILTER BASKETS TO BE PROVIDED TO ALL CATCH BASINS IN THE VICINITY OF NEW CONSTRUCTION. CATCH BASINS TO BE PROTECTED AS SHOWN, WITH WEEKLY MAINTENANCE AND REPLACEMENT IF NECESSARY.

**CATCH BASIN INLET PROTECTION**

SCALE: NONE

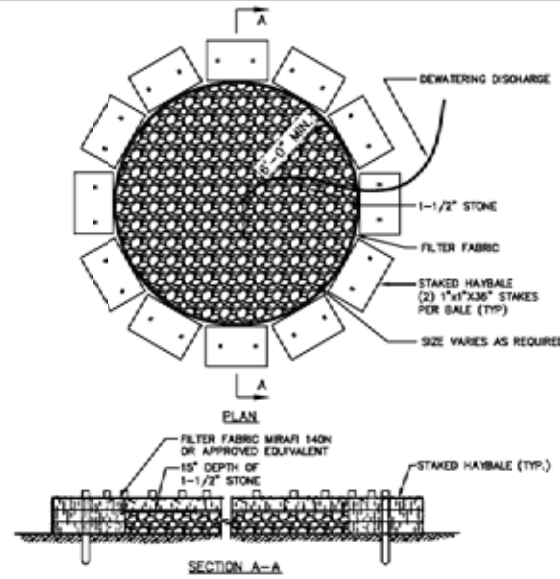


(FOR USE WITH EXISTING CATCH BASINS)

**NOTE:**  
FILTER BASKETS TO BE PLACED IN ALL CATCH BASINS IN THE VICINITY OF NEW CONSTRUCTION. CATCH BASINS ARE TO BE PROTECTED AS SHOWN, WITH MINIMUM WEEKLY MAINTENANCE, OR AS REQUIRED AND REPLACED IF NECESSARY.

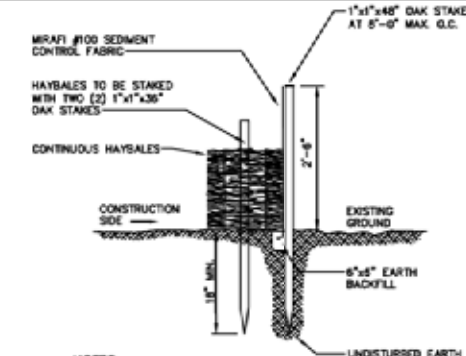
**SEDIMENT FILTER INLET PROTECTION**

SCALE: NONE



**DEWATERING SEDIMENT TRAP**

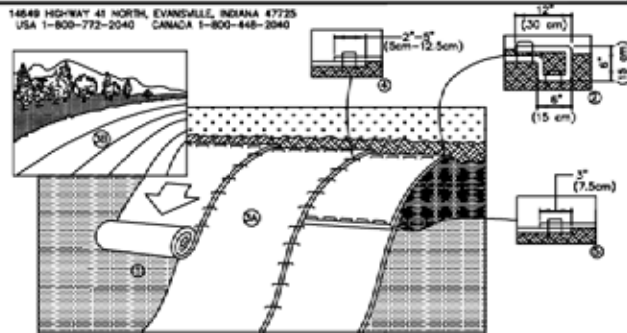
SCALE: NONE



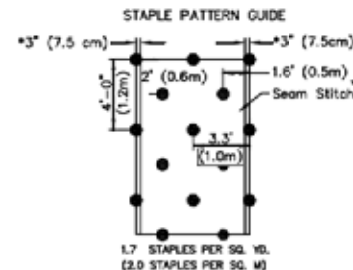
- NOTES:**
- BALES SHALL BE PLACED IN A ROW WITH THE ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  - BALES SHALL BE SECURELY ANCHORED IN PLACE BY TWO (2) 1"x1"x36" OAK STAKES DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BAILE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BAILE TO FORCE BAILES TOGETHER.
  - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - BALES SHALL BE REMOVED AND REPLACED WHEN THEY BECOME FILLED WITH SEDIMENT AND BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  - BALES SHALL BE REMOVED WHEN THE EMBANKMENTS STABILIZE.
  - BALES TO BE TWINE BOUND.

**SILT FENCE WITH HAYBALES**

SCALE: NONE



- CONSTRUCTION NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. HYDROSEED SIDE SLOPES BEFORE INSTALLATION OF BLANKETS.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 8" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
  - ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
  - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

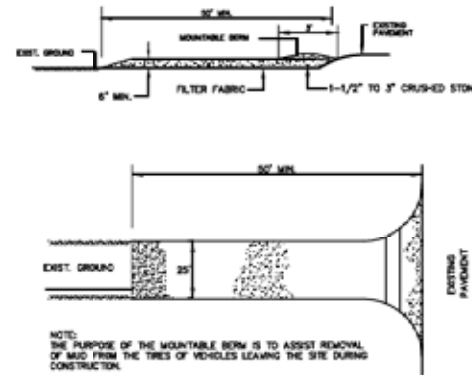


BLANKETS WITH THE OPTIONAL NORTH AMERICAN GREEN DOT SYSTEM PLACE STAPLES/STAKES THROUGH EACH OF THE GREEN COLORED DOTS.

- NOTES:**
- \*\*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 8" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
  - CRITICAL POINTS:**
    - OVERLAPS AND SEAMS
    - PROJECTED WATER LINE
    - CHANNEL BOTTOM/SIDE SLOPE VERTICES
  - \*HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
  - \*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS IN EXCESS OF 8" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.
  - \*LOCATION OF SEAM STITCH WILL VARY DEPENDING ON NORTH-AMERICAN GREEN PRODUCT TYPE. -APPROX. 5" SEAM OVERLAP FOR BONNET DROSION CONTROL BLANKETS

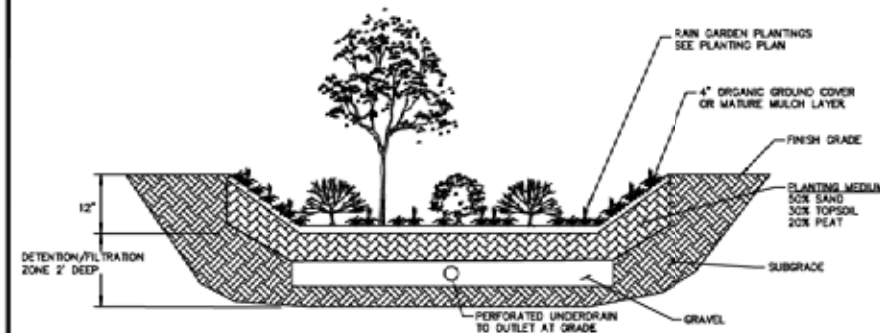
**SLOPE STABILIZATION INSTALLATION**

SCALE: NONE



**STABILIZED CONSTRUCTION ENTRANCE**

SCALE: NONE



**RAIN GARDEN**

SCALE: NONE



PROFESSIONAL ENGINEER DATE

**THE RESIDENCES AT ALEWIFE AT**  
223, 225 & 231 CONCORD TURNPIKE  
IN  
CAMBRIDGE MASSACHUSETTS (MIDDLESEX COUNTY)

**DETAIL SHEET I**

DECEMBER 20, 2010

REVISIONS:		
NO.	DATE	DESC.

PREPARED FOR:  
CRITERION DEVELOPMENT PARTNERS  
1102 TAYLOR POND LANE  
BEDFORD, MA 01730  
(781) 890-2600

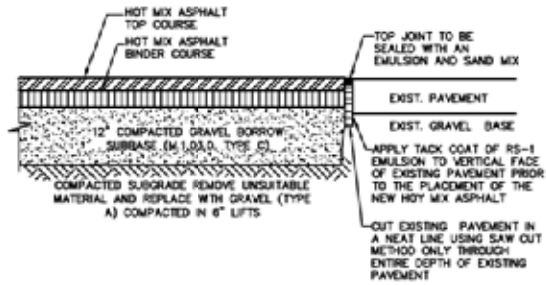
**BSC GROUP**  
15 Elkins Street  
Boston, Massachusetts  
02127  
617 896 4300

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SCALE:

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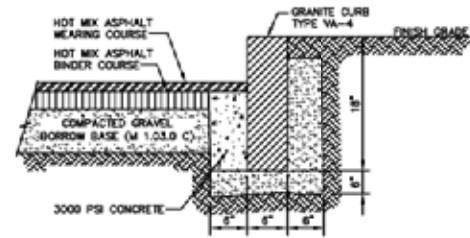
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DWG. NO:  
JOB. NO: 23065.02 SHEET C-8





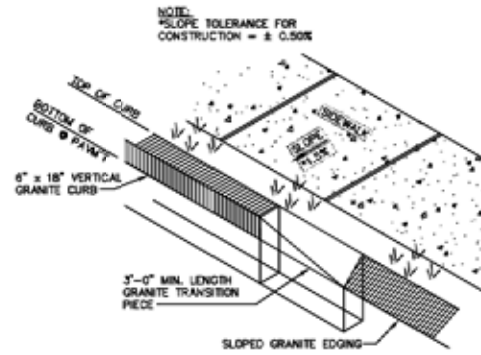
**HOT MIX ASPHALT PAVEMENT JOINTS**

SCALE: NONE



**VERTICAL GRANITE CURB**

SCALE: NONE

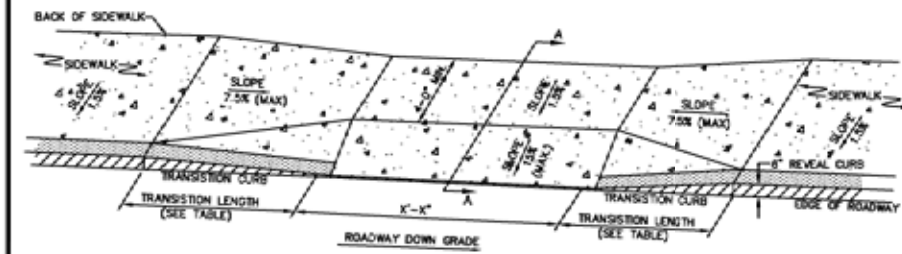


**GRANITE CURB TRANSITION**

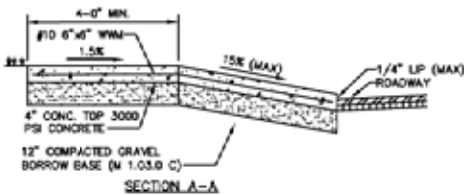
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PROFESSIONAL ENGINEER DATE



PLAN



SECTION A-A

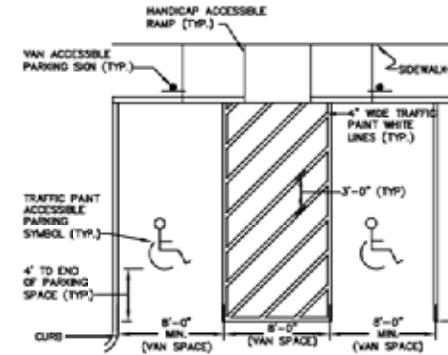
**SIDEWALK THROUGH DRIVEWAY - TYPE 2**

SCALE: NONE

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-0"
>0 - 1	7'-0"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

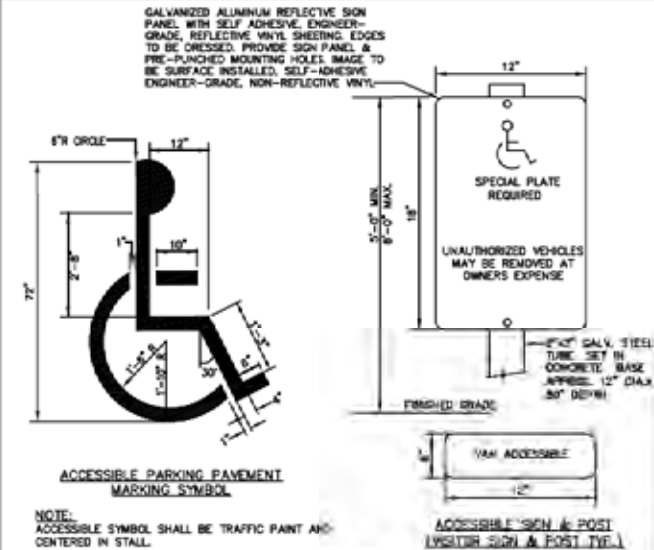
**NOTES:**

1. BASED ON A DESIGN SLOPE OF 7.5% & A REVEAL OF 6".
2. SLOPE TOLERANCE FOR CONSTRUCTION = ± 0.50%
3. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
4. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
5. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.



**PAINTED PAVEMENT MARKINGS ACCESSIBLE VAN PARKING SPACES**

SCALE: NONE



**PAINTED PAVEMENT MARKINGS ACCESSIBLE PARKING SYMBOL & ACCESSIBLE PARKING SIGN**

SCALE: NONE

**THE RESIDENCES AT ALEWIFE**  
AT  
223, 225 & 231 CONCORD TURNPIKE  
IN  
CAMBRIDGE MASSACHUSETTS (MIDDLESEX COUNTY)

DETAIL SHEET II

DECEMBER 20, 2010

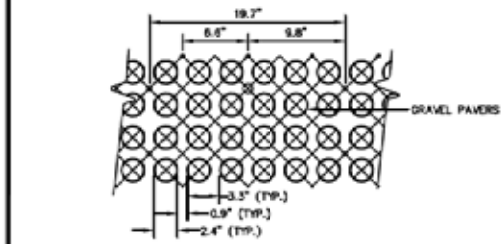
REVISIONS:		
NO.	DATE	DESC.

PREPARED FOR:  
CRITERION DEVELOPMENT PARTNERS  
1102 TAYLOR POND LANE  
BEDFORD, MA 01730  
(781) 890-2600

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PLAN



SECTION A-A

**SPECIFICATIONS:**  
UNIT SIZE - 20" X 20" X 1"  
AVAILABLE IN 9 STANDARD ROLL SIZES  
UNIT WEIGHT - 18 OZ. OR 4.5 POUNDS  
STRENGTH - 6,720 PSI  
COLOR - BLACK (STANDARD)  
RESIN - HDPE (WITH SOME POST-CONSUMER RECYCLED CONTENT)

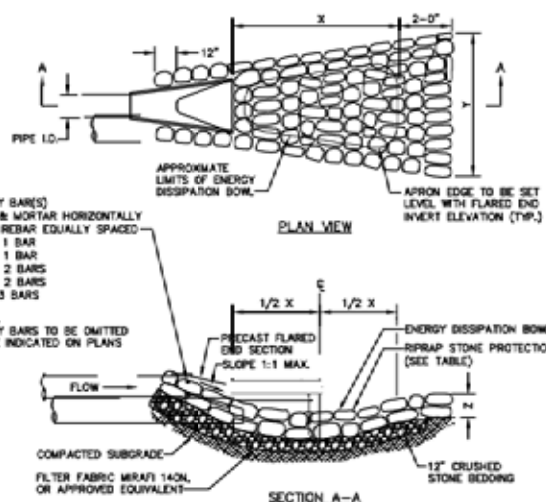
\*\*\* GRAVEL PAVER PRODUCT OR APPROVED EQUAL FOR FIRE LANE.

**TYPICAL GRAVEL PAVERS**

SCALE: NONE

FILE: P:\Py\2306502\C\01\2306502-DET  
DWG. NO:  
JOB. NO: 23065.02 SHEET C-9





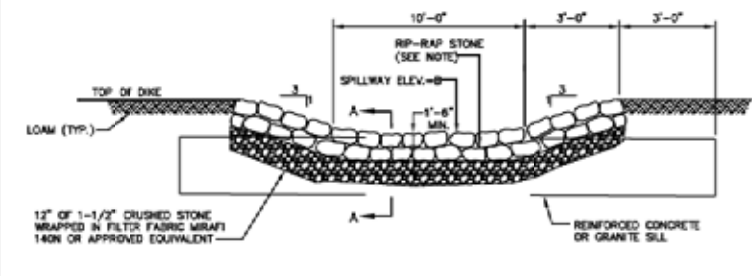
**FLARED END SECTION W/ STONE PROTECTION (DISSIPATION BOWL)**  
SCALE: NONE

**FES DIMENSIONAL CHART**

OUTLET NO.	X	Y	Z	STONE DIA. (D50)
FES-1	3'	2'-0"	2'-8"	1 INCH
FES-2	4'	3'-0"	3'-8"	3 INCHES
FES-3	4'	3'-0"	3'-8"	3 INCHES
FES-4	4'	3'-0"	3'-8"	3 INCHES
FES-5	4'	3'-0"	3'-8"	2 INCHES

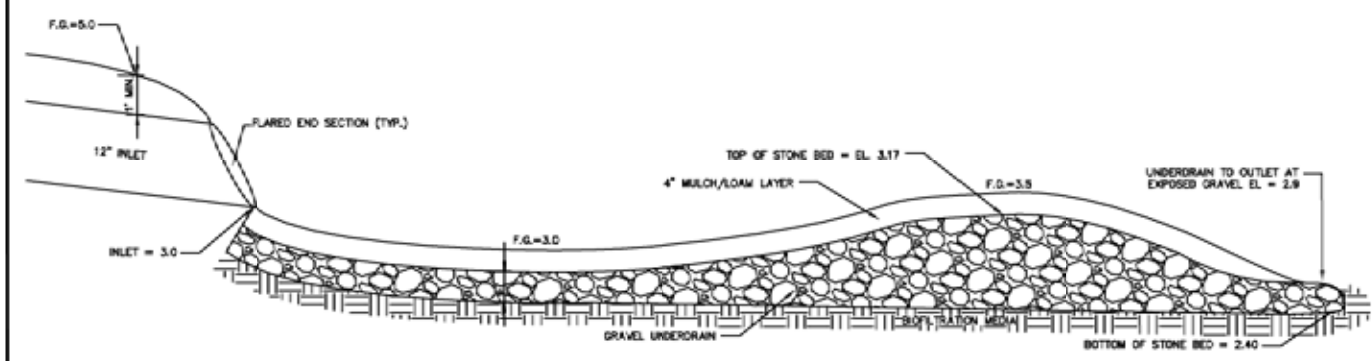
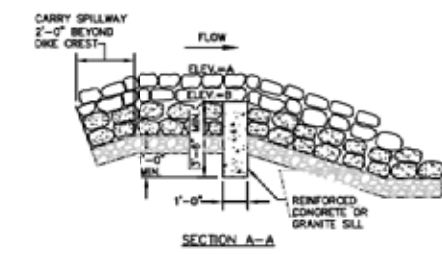
**RIP-RAP ROCK SIZING GRADUATION**

FES	% OF WEIGHT < THAN GIVEN SIZE	SIZE OF STONE, INCHES
FES-1	100	1 TO 1
	85	1 TO 1
	50	1 TO 1
	15	1 TO 1
FES-2	100	5 TO 6
	85	4 TO 6
	50	3 TO 5
	15	4 TO 5
FES-3	100	5 TO 8
	85	4 TO 8
	50	3 TO 5
	15	4 TO 5
FES-4	100	5 TO 6
	85	4 TO 6
	50	3 TO 5
	15	4 TO 5
FES-5	100	3 TO 4
	85	2 TO 3
	50	2 TO 3
	15	2 TO 3



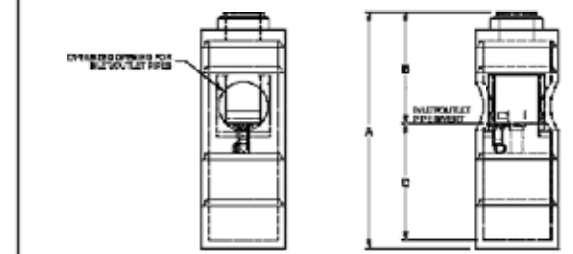
**NOTE:**  
75% OF RIP-RAP STONE SHALL BE 70 TO 100 LBS. AND SHALL BE HAND CHINKED TO LEAVE A SMOOTH SURFACE ALONG THE TOP OF THE DIKE AND A ROUGH SURFACE ALONG DOWNSTREAM SURFACE AND TOE OF THE DIKE.

**EMERGENCY SPILLWAY**  
SCALE: NONE



**RAIN GARDEN #2 - UNDERDRAIN DETAIL**  
SCALE: NONE

**NOTE:**  
1. STORMWATER TREATMENT SYSTEM UNITS SHALL BE MANUFACTURED BY AN APPROVED MANUFACTURER AT THE DISCRETION OF THE DESIGNER. PARTICULATE SIZE OF UNDERDRAIN AT THE DISCRETION OF THE DESIGNER. PARTICULATE SIZE OF UNDERDRAIN AT THE DISCRETION OF THE DESIGNER. PARTICULATE SIZE OF UNDERDRAIN AT THE DISCRETION OF THE DESIGNER.

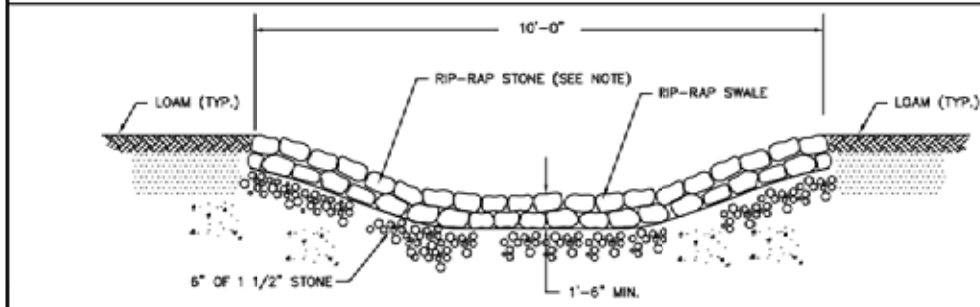


Unitary Model	Model Number (S)	Total Treatment Flow Rate		Typical Total Diameter Rin to Outside Surface		Typical Diameter Rin to Inlet		Typical Depth Below Inlet (inches)	Approximate Minimum Diameter Rin to Inlet (inches)	Maximum Flow Diameter (S)
		A	B	A	B	A	B			
HS48	4	0.40	0.40	10.10	5.10	4.00	1.21	6.000	1.70	3.00
HS60	4	1.00	1.00	12.00	6.00	5.00	1.63	6.75	2.00	4.00
HS72	5	1.20	1.20	12.50	6.50	5.50	1.66	7.21	2.02	4.02
HS84	5	1.60	1.60	13.00	7.00	6.00	1.70	7.70	2.05	4.05
HS96	5	2.00	2.00	13.50	7.50	6.50	1.73	8.19	2.08	4.08

**WATER QUALITY UNIT - VORTSENTRY HS48**  
SCALE: NONE

**TYPICAL DETAIL WITH SIZING TABLE STORMWATER TREATMENT SYSTEM VORTSENTRY HS**

**NOTE:** FINAL SIZING AND DESIGN OF VORTSENTRY HS UNIT TO BE PERFORMED BY THE MANUFACTURER PRIOR TO CONSTRUCTION AND SUBMITTED AS SHOP DRAWING TO THE OWNER AND CIVIL ENGINEER FOR REVIEW.



**NOTES:**  
1. 75% OF RIP-RAP STONE SHALL BE 70 TO 100 LBS. (TO MEET M2.02.3 REQUIREMENTS) AND SHALL BE HAND CHINKED TO LEAVE A SMOOTH SURFACE ALONG THE TOP OF THE DIKE AND A ROUGH SURFACE ALONG DOWNSTREAM SURFACE AND TOE OF THE DIKE.  
2. SEE GRADING & DRAINAGE PLANS FOR TOP OF BERM AND SPILLWAY ELEVATIONS.

**RIP-RAP SWALE**  
SCALE: NONE



PROFESSIONAL ENGINEER DATE

**THE RESIDENCES AT ALEWIFE AT**  
223, 225 & 231 CONCORD TURNPIKE  
IN  
CAMBRIDGE MASSACHUSETTS (MIDDLESEX COUNTY)  
DETAIL SHEET IV

DECEMBER 20, 2010

NO.	DATE	DESC.

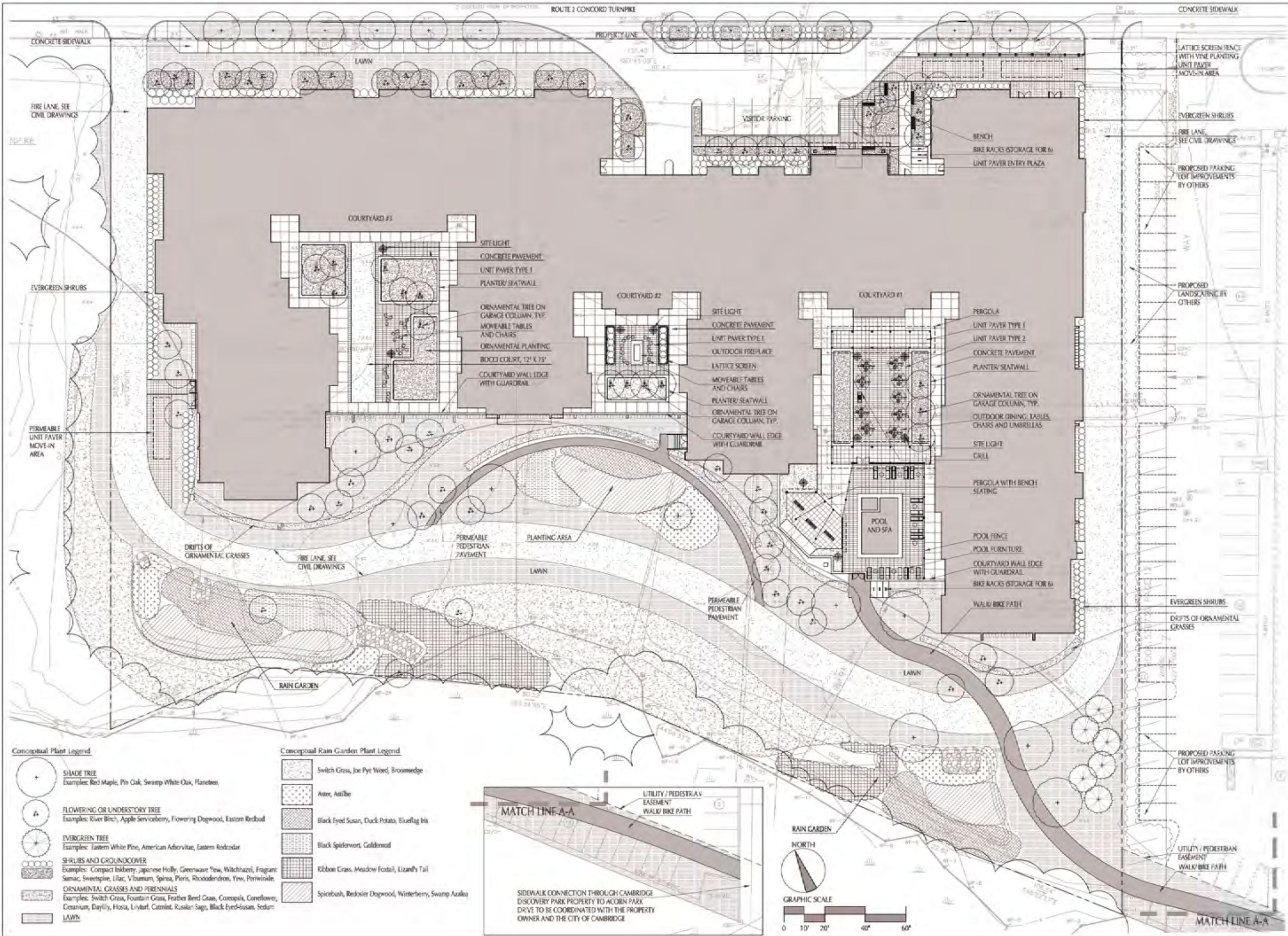
PREPARED FOR:  
CRITERION DEVELOPMENT PARTNERS  
1102 TAYLOR POND LANE  
BEDFORD, MA 01730  
(781) 890-5600

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SCALE:

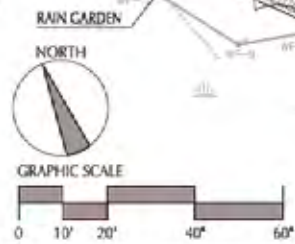
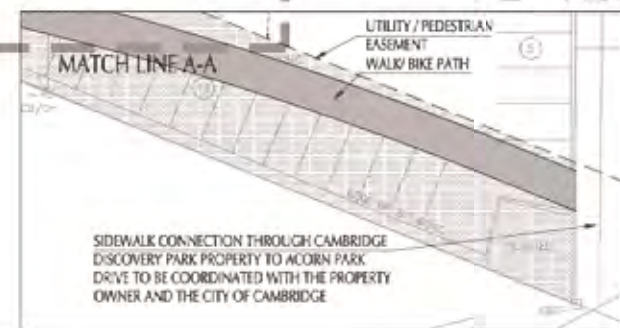
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FILE: P:\2306502\CAD\2306502-DET  
DWG. NO:  
JOB. NO: 23065.02 SHEET C-11



- Conceptual Plant Legend**
- SHADE TREE  
Examples: Red Maple, Pin Oak, Swamp White Oak, Planetree
  - FLOWERING OR UNDERSTORY TREE  
Examples: River Birch, Apple Serviceberry, Flowering Dogwood, Eastern Redbud
  - EVERGREEN TREE  
Examples: Eastern White Pine, American Arborvitae, Eastern Redcedar
  - SHRUBS AND GROUNDCOVER  
Examples: Compact Inkberry, Japanese Holly, Greenwave Yew, Witchhazel, Fragrant Sycamore, Sweetgum, Lilac, Viburnum, Spirea, Pieris, Rhododendron, Yew, Periwinkle
  - ORNAMENTAL GRASSES AND PERENNIALS  
Examples: Switch Grass, Fountain Grass, Feather Reed Grass, Coreopsis, Coneflower, Ceanothus, Daylily, Hosta, Liatris, Catmint, Russian Sage, Black Eye-Susan, Sedum
  - LAWN

- Conceptual Rain Garden Plant Legend**
- Switch Grass, Joe Pye Weed, Broomsedge
  - Aster, Astilbe
  - Black Eyed Susan, Duck Potato, Blueflag Iris
  - Black Spiderwort, Goldenrod
  - Ribbon Grass, Meadow Foxtail, Lizard's Tail
  - Spicebush, Redstart Dogwood, Winterberry, Swamp Azalea



SIDEWALK CONNECTION THROUGH CAMBRIDGE DISCOVERY PARK PROPERTY TO ACORN PARK DRIVE TO BE COORDINATED WITH THE PROPERTY OWNER AND THE CITY OF CAMBRIDGE

**Criterion Development Partners**  
1102 Taylor Pond Lane  
Bedford, MA 01730

**Shadley Associates**  
Landscape Architecture & Site Planning  
1790 Massachusetts Ave. • F 617.853.8888  
Landscape, MA 02459 • F 617.852.2987  
www.shadleyassociates.com



**The Residences at Alewife**  
Cambridge, Massachusetts

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SA PROJECT NUMBER:  
10100.000

SCALE: 1" = 20'-0"

DRAWN BY: IR / US

REVIEWED BY: JPS

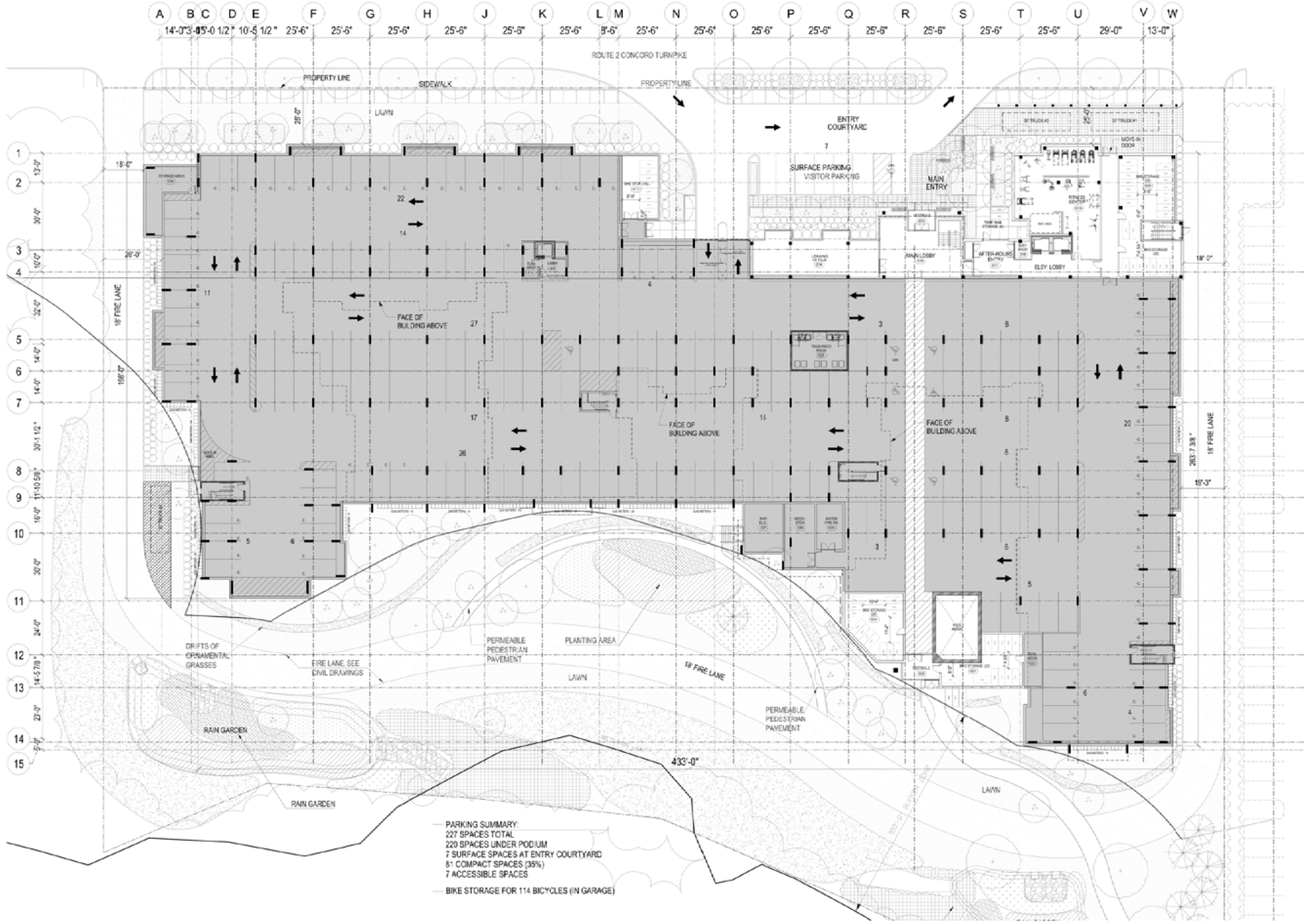
DATE:  
DECEMBER 20, 2010

SHEET TITLE:  
LANDSCAPE PLAN

SHEET NUMBER:  
**L-1**

SPECIAL PERMIT  
NOT FOR CONSTRUCTION

rev.	description	date
10067.00		



— PARKING SUMMARY:  
 227 SPACES TOTAL  
 220 SPACES UNDER PODIUM  
 7 SURFACE SPACES AT ENTRY COURTYARD  
 61 COMPACT SPACES (35%)  
 7 ACCESSIBLE SPACES

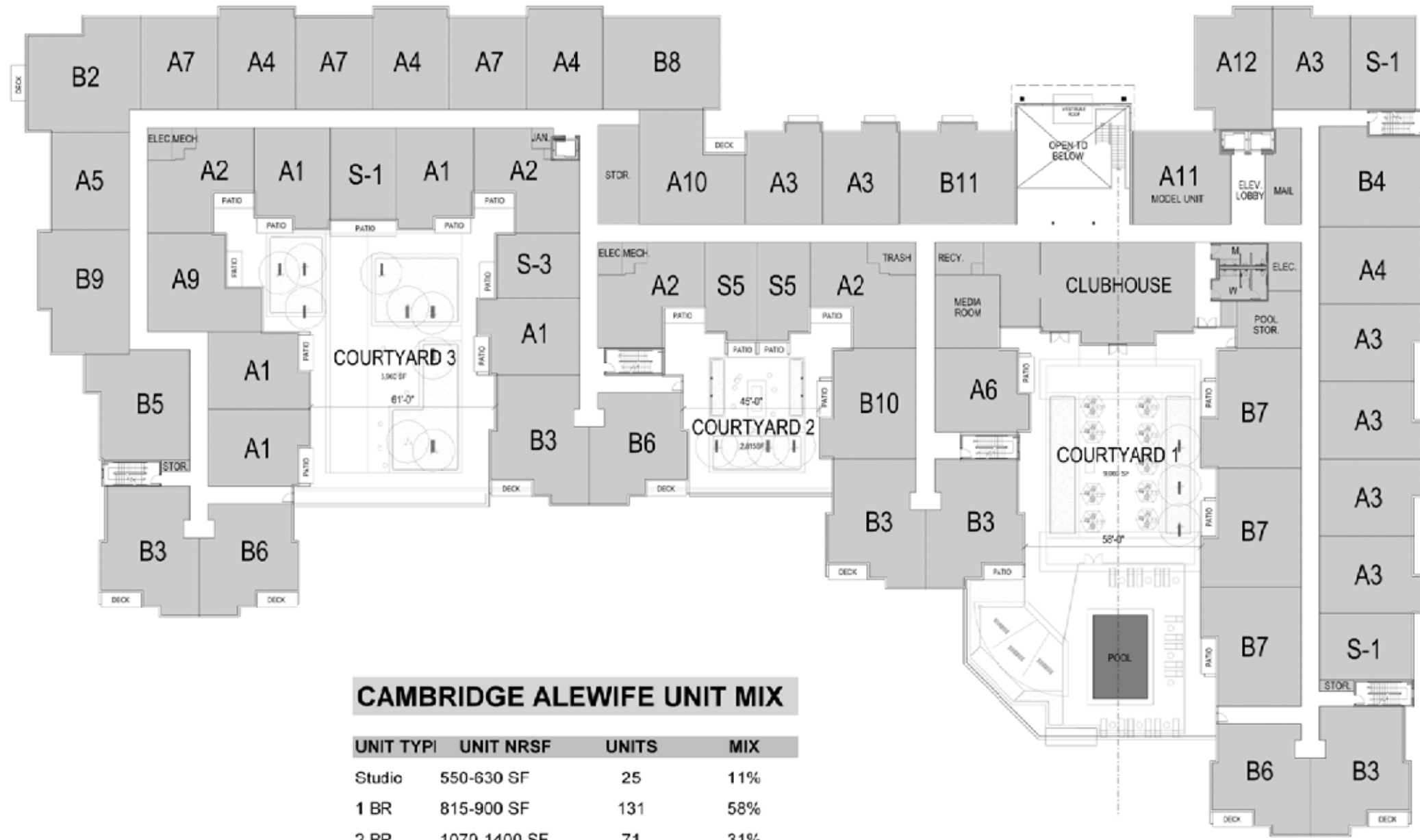
— BIKE STORAGE FOR 114 BICYCLES (IN GARAGE)



Garage/Ground Level Floor Plan  
 SCALE: 1/20" = 1'-0"



project information  
 client information  
 consultant information  
 revision information  
 registration  
 drawing scale



**CAMBRIDGE ALEWIFE UNIT MIX**

UNIT TYPE	UNIT NRSF	UNITS	MIX
Studio	550-630 SF	25	11%
1 BR	815-900 SF	131	58%
2 BR	1070-1400 SF	71	31%
<b>TOTALS</b>		<b>227</b>	

RESIDENTIAL GROSS SF/FLOOR	+/- 64000
TOTAL RESIDENTIAL GROSS SF	254,000
PARKING LEVEL GROSS SF	82,000
<b>TOTAL PROJECT GROSS SF</b>	<b>336,000</b>



Level One Floor Plan  
SCALE: 1/20" = 1'-0"



The Residences at Alewife

Cambridge, Massachusetts

Criterion Development Partners

1102 Taylor Pond Lane  
Bedford, MA 01730

**SPECIAL PERMIT**  
NOT FOR CONSTRUCTION

REV.	DESCRIPTION	DATE

Level One Plan

**A-101**



The Residences  
at Alewife

Cambridge, Massachusetts

Criterion  
Development  
Partners

1102 Taylor Pond Lane  
Bedford, MA 01730

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drawing by:	DPC
drawing checked by:	BOC
drawing scale:	1/20" = 1'-0"
drawing date:	20 December 2010
drawing version:	
project number:	10067.00
rev. description:	date

Typical Level  
Plan

**A-102**



Typical Level Floor Plan  
 SCALE: 1/20" = 1'-0"





The Residences  
at Alewife

Cambridge, Massachusetts

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1102 Taylor Pond Lane  
Bedford, MA 01730

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Project:	
Drawn by:	BPC
Checked by:	BOC
Scale:	1/20" = 1'-0"
Date:	20 December 2010
Project Number:	10067.00
Rev.:	description date

Fourth Level  
Plan

**A-104**



Level Four Floor Plan  
 SCALE: 1/20" = 1'-0"







North Elevation (Facing Route 2)

SCALE: 1/16" = 1'-0"



West Elevation

SCALE: 1/16" = 1'-0"



Project Information  
**The Residences  
 at Alewife**

Cambridge, Massachusetts

Client Information  
**Criterion  
 Development  
 Partners**

1102 Taylor Pond Lane  
 Bedford, MA 01730

Consultant Information  
**SPECIAL  
 PERMIT  
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Notes

Drawing by: BPC  
 Drawing checked by: BOC  
 Drawing scale: 1/16" = 1'-0"  
 Drawing date: 20 December 2010  
 Drawing version:  
 Project number: 10067.00

rev.	description	date



Drawing Title  
**Building  
 Elevations**

Sheet Number  
**A-201**



South Elevation (Facing Wetlands)

SCALE: 1/12" = 1'-0"



East Elevation (Facing Motel)

SCALE: 1/12" = 1'-0"



The Residences  
at Alewife

Cambridge, Massachusetts

Criterion  
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Partners

1102 Taylor Pond Lane  
Bedford, MA 01730

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drawing by:	BPC	
drawing checked by:	BOC	
drawing scale:	1/12" = 1'-0"	
drawing date:	20 December 2010	
drawing version:		
project number:	10067.00	
rev.:	description date	

Building  
Elevations

**A-202**

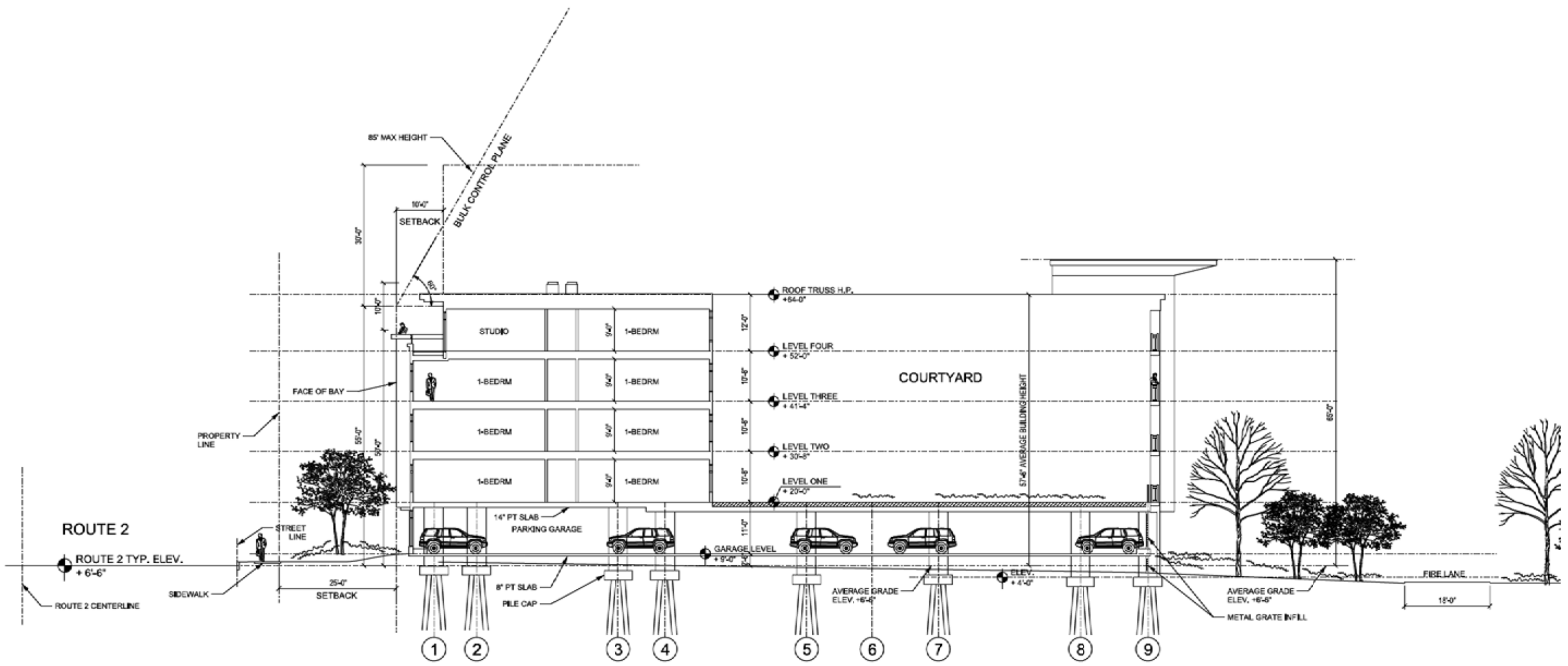
The Residences at Alewife

Cambridge, Massachusetts

Criterion Development Partners

1102 Taylor Pond Lane  
 Bedford, MA 01730

**SPECIAL PERMIT**  
 NOT FOR CONSTRUCTION



Typical Building Section  
 SCALE: 3/32"=1'-0"



author:	
checked by:	DPC
designed by:	BOC
drawing scale:	3/32"=1'-0"
drawing date:	20 December 2010
project number:	10067.00
rev. description:	date

Building Sections

**A-301**

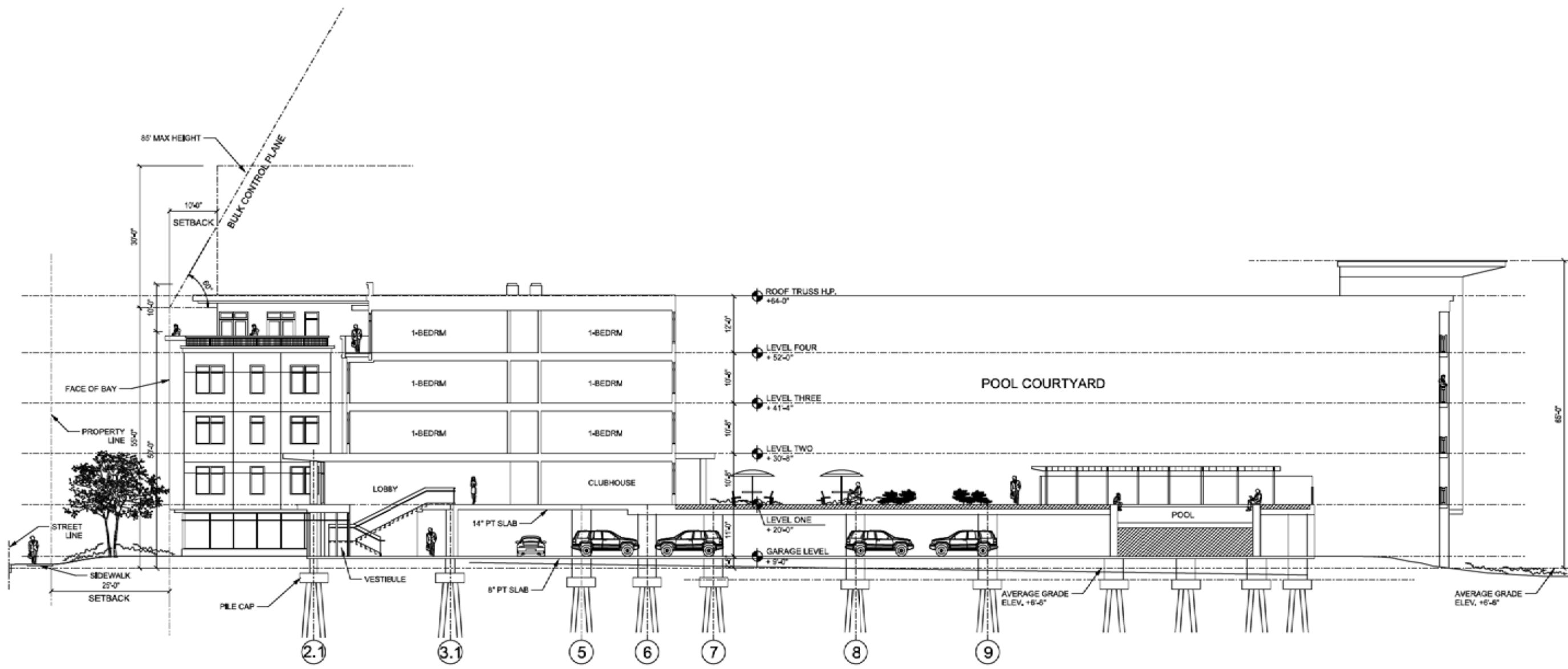
The Residences at Alewife

Cambridge, Massachusetts

Criterion Development Partners

1102 Taylor Pond Lane  
 Bedford, MA 01730

**SPECIAL PERMIT**  
 NOT FOR CONSTRUCTION



Typical Building Section

SCALE: 3/32"=1'-0"



author	
designer	DPC
architect	BOC
scale	3/32"=1'-0"
date	20 December 2010
project number	10067.00
rev.	description
1	gate

Building Sections

**A-302**