

HARVEY STREET RESIDENCES

119-135 HARVEY STREET
CAMBRIDGE, MA 02140

** SPECIAL PERMIT SET 03-07-2011 **

** REVISED SUBMISSION 06-22-2011 **

LIST OF DRAWINGS		
NUMBER	TITLE	DATE ISSUED
A-0	COVER SHEET	03-07-2011
L-01	PRELIMINARY LANDSCAPE PLAN	03-07-2011
L-02	PRELIMINARY GRADING PLAN	03-07-2011
L-03	COMMON AND PRIVATE REAR YARD PERSPECTIVES	03-07-2011
VTP-1	SITE PLAN EXISTING CONDITIONS	03-07-2011
VTP-2	SITE PLAN PROPOSED CONDITIONS	3-07-2011
VTP-3	TYPICAL DETAILS	3-07-2011
AZ-1	ZONING LAYOUT	03-07-2011
AZ-2	HEIGHT & DENSITY STUDY	03-07-2011
AP-SP-0	PERSPECTIVE VIEWS	03-07-2011
AP-SP-1	ADDITIONAL PERSPECTIVE VIEWS	03-07-2011
A-SW	PROJECT SOLAR STUDIES	03-07-2011
AL-1	FIGURE GROUND, SITE SECTION & STREET ELEVATION	03-07-2011
AP-1	SITE PHOTOGRAPHS	03-07-2011
U-S-1	TYPICAL BUILDING SECTIONS	03-07-2011
U - 1 - 6	UNITS 1 TO 6 PLANS AND ELEVATIONS	03-07-2011
U - 7-13-A	UNITS 7 TO 13 PLANS	03-07-2011
U - 7-13-B	UNITS 7 TO 13 ELEVATIONS	03-07-2011
U - 14-19-A	UNITS 14 TO 19 PLANS	03-07-2011
U - 14-19-B	UNITS 14 TO 19 ELEVATION	03-07-2011
U - 20-22	UNITS 20 TO 22 PLANS AND ELEVATIONS	03-07-2011
U - 23-25	UNITS 23 TO 25 PLANS AND ELEVATIONS	03-07-2011
U - 26-29	UNITS 26 TO 29 FLOOR PLANS	03-07-2011
U - 26-29	UNITS 26 TO 29 ELEVATIONS	03-07-2011

OWNER:

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(617) 576-9900

ARCHITECT:

KHALSA DESIGN INC
17 IVALOO STREET, STE 400
SOMERVILLE, MA 02143
(617) 591-8682

AND

DAVID BARSKY, ARCHITECT
477 CONCORD AVENUE
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LANDSCAPE ARCHITECT:

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CIVIL ENGINEER:

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PROPOSED ARCHITECTURAL RENDERING

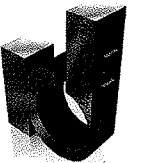
NTS

PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
**HARVEY STREET
CAMBRIDGE, MA**

CLIENT
YOUNG INVESTMENT LLC

ARCHITECT
KHALSA DESIGN INC.



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REGISTRATION



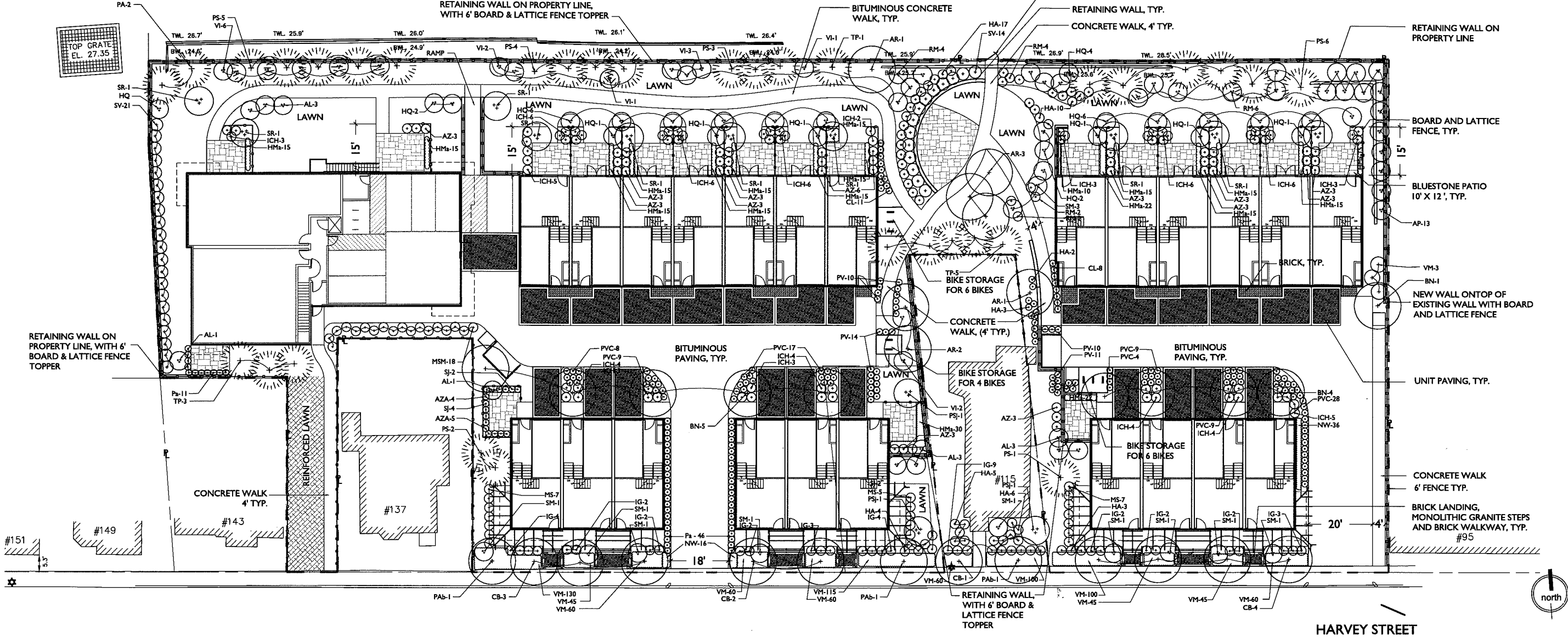
Project number
Date 03-07-2011
Drawn by SEA
Checked by JSK
Scale NTS

REVISIONS

No.	Description	Date
1	PB/ Neighbors Comments	04-26-11
2	PB/ Neighbors Comments	06-22-2011

COVER SHEET

A-0



PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All shrub beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.

PLANT LIST

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES	GRASSES			
TREES									
AR	7	Acer rubrum 'Red Sunset'	Red Maple	2.5"-3" cal.	B&B	CL 19	Chasmanthium latifolium	Wild Oats (3')	2 gal. Pots
AL	10	Amelanchier laevis	Shadblow	7-8' ht.	B&B	HMa 264	Hakonechloa macra 'Aureola'	Hakone Grass	1 gal. Pots 12" apart
BN	10	Betula nigra 'Heritage'	Heritage River Birch	2.5"-3" cal	B&B single stem	MS 19	Miscanthus sinensis 'Gracillimus'	Maidengrass (5')	2 gal. Pots, 3' spread
CB	10	Carpinus betulus 'Columnaris'	European Hornbeam	2"-2.5" cal.	B&B	MSM 15	Miscanthus sinensis 'Morning Light'	Maidengrass (7')	2 gal. Pots, 3' spread
PA	2	Picea abies	Norway Spruce	7-8' ht.	B&B	PV 45	Panicum virgatum 'shenandoh'	Red Switch Grass	2 gal. Pots
PS	21	Pinus strobus	White Pine	7-8' ht.	B&B	PVC 84	Panicum virgatum 'Cloud Nine'	Blue Switch Grass	2 gal. Pots
PAb	3	Platanus x acerifolia 'Bloodgood'	London Plane Tree	2.5"-3" cal	B&B	Pa 57	Pennisetum alopecuroides 'Hameln'	Dwarf Fountaingrass (4')	2 gal. Pots
PSj	3	Prunus serrulata	Japanese Flowering Cherry	2"-2.5" cal.		PERENNIALS			
SR	9	Syringa reticulata 'Ivory Silk'	Tree Lilac	2"-2.5" cal.	B&B	EP -	Echinacea purpurea	'Kim's Knee High' Low Purple Coneflower	2 gal. Pots
TP	9	Thuja plicata	Western Redcedar	7-8' ht.	B&B	GM -	Geranium macrorrhizum 'Bevan's Variety'	Bevan's Variety Geranium	2 gal. Pots
SHRUBS									
AP	13	Aesculus parviflora	Bottlebrush Buckeye	5 gal.		HH -	Hemerocallis 'Happy Return'	Happy Return Daylily	2 gal. Pots
AZ	42	Azalea Karen	Lavender Evergreen Azalea	3 gal.		HF -	Hosta 'Francee'	Francee Hosta	2 gal. Pots
AZA	9	Azalea Abigail Adams	Pink Evergreen Azalea	3 gal.		NW 52	Nepeta 'Blue Wonder'	Blue Wonder Catmint	2 gal. Pots, max. 24" ht.
HA	52	Hydrangea arborescens	Hydrangea	5 gal.		VM 780	Vinca minor	Vinca	4" pots min. 4x vines per pot
HQ	26	Hydrangea quercifolia	Oakleaf Hydrangea	5 gal.	5 STEMS 36" MIN	NOTES: See specification for lawn seed mix.			
ICH	73	Ilex crenata 'Hetzli'	Hetz Holly	7 gal.					
IG	35	Ilex glabra 'Compacata'	Inkberry	18"-24" ht.					
RM	18	Rhododendron 'Roseum Superbum'	Roseum Rhody	2.5"-3" ht.	B&B				
SJ	8	Spiraea japonica 'Little Princess'	Pink Dwarf Spiraea	2 gal.					
SM	12	Syringa meyeri 'Miss Kim'	Miss Kim Lilac	36" ht.					
SV	12	Syringa vulgaris - 'Wedgewood Blue Blue'	Common Lilac	4-5' ht.	B&B				
SV	12	Syringa vulgaris - Albert Holden	Violet Common Lilac	4-5' ht.	B&B				
SV	10	Syringa vulgaris - Hugo Koster	Lavender Common Lilac	4-5' ht.	B&B				
VI	18	Viburnum 'Mariesii'	Doublefile Viburnum	3-4' ht.					

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REGISTRATION



Project number
Date 06-17-2011
Drawn by NA
Checked by BH
Scale 1/16"=1'-0"

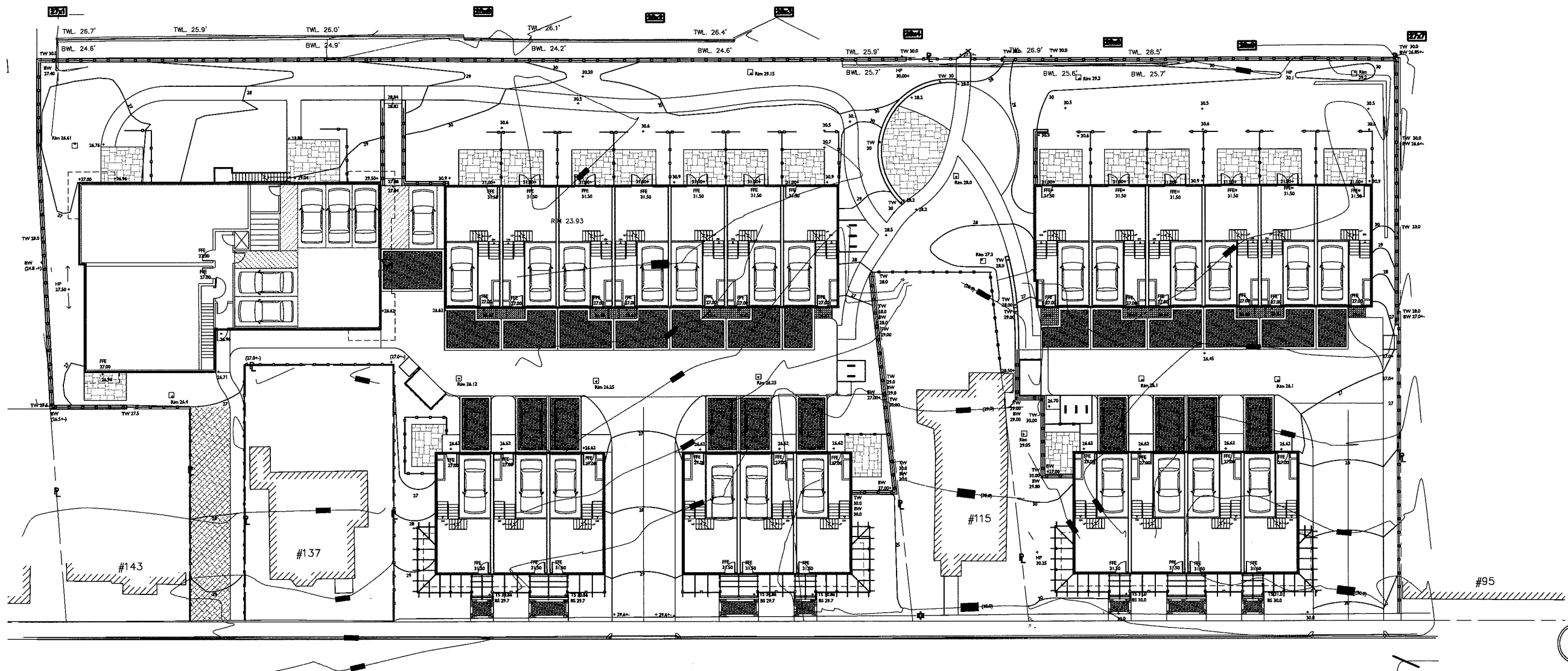
REVISIONS

No.	Description	Date

L-01

LANDSCAPE
PLAN

HARVEY ST RESIDENCES



GRADING NOTES

1. Proposed Contour interval is 1'-0"
2. Proposed grades indicate intent. Contractor shall verify elevations and make adjustments as required to meet field conditions and to provide positive drainage on all surfaces
3. Grade evenly between all spot grades as noted and between all contours as shown. All surfaces must have positive pitch to drain.
4. Contractor shall provide dust control for all excavation and construction operations by watering. No other method will be approved
5. Contractor is responsible for all repair of all damage due to his operations inside and outside of the limit of work line. Extend limit of work line as necessary to make all necessary utility connections.

RESIDENCES

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REGISTRATION



Project number
Date 06-17-2011
Drawn by
Checked by
Scale 1/16"=1'

REVISIONS

No.	Description	Date

L-02

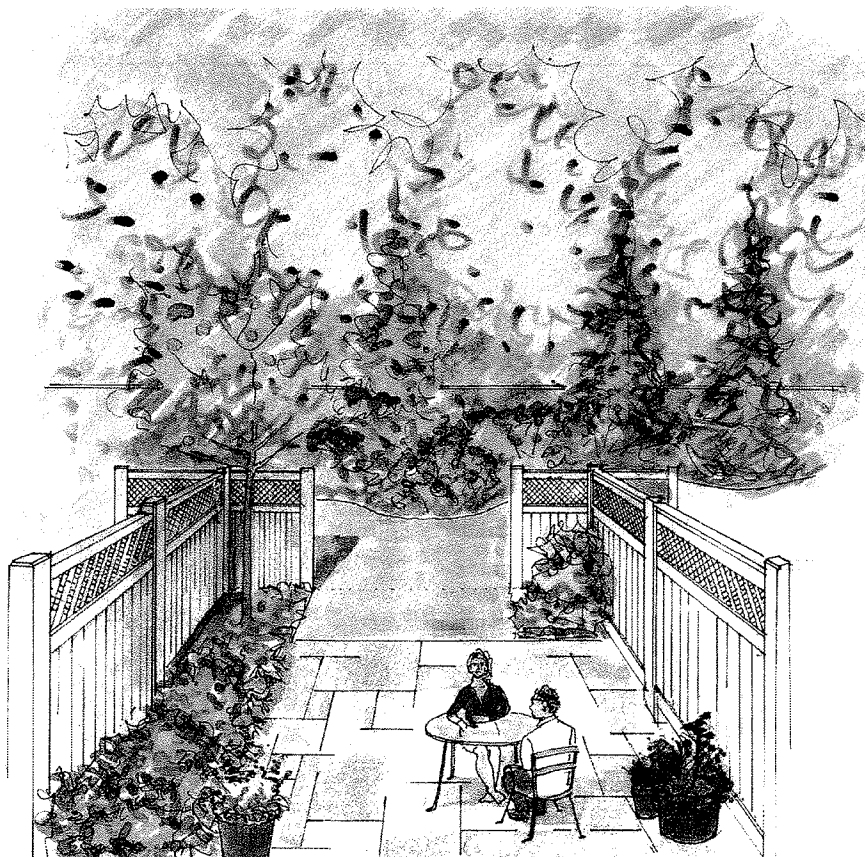
**GRADING
PLAN**

HARVEY ST RESIDENCES

16' 8' 4' 0'
SCALE: 1/16" = 1'-0"



PERSPECTIVE VIEW OF COMMON REAR YARD



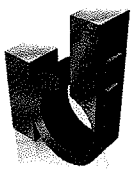
PERSPECTIVE VIEW OF PRIVATE BACK YARDS

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REGISTRATION

Project number 09064
Date 03-07-2009
Drawn by J
Checked by J
Scale 1/8" = 1'-0"

REVISIONS

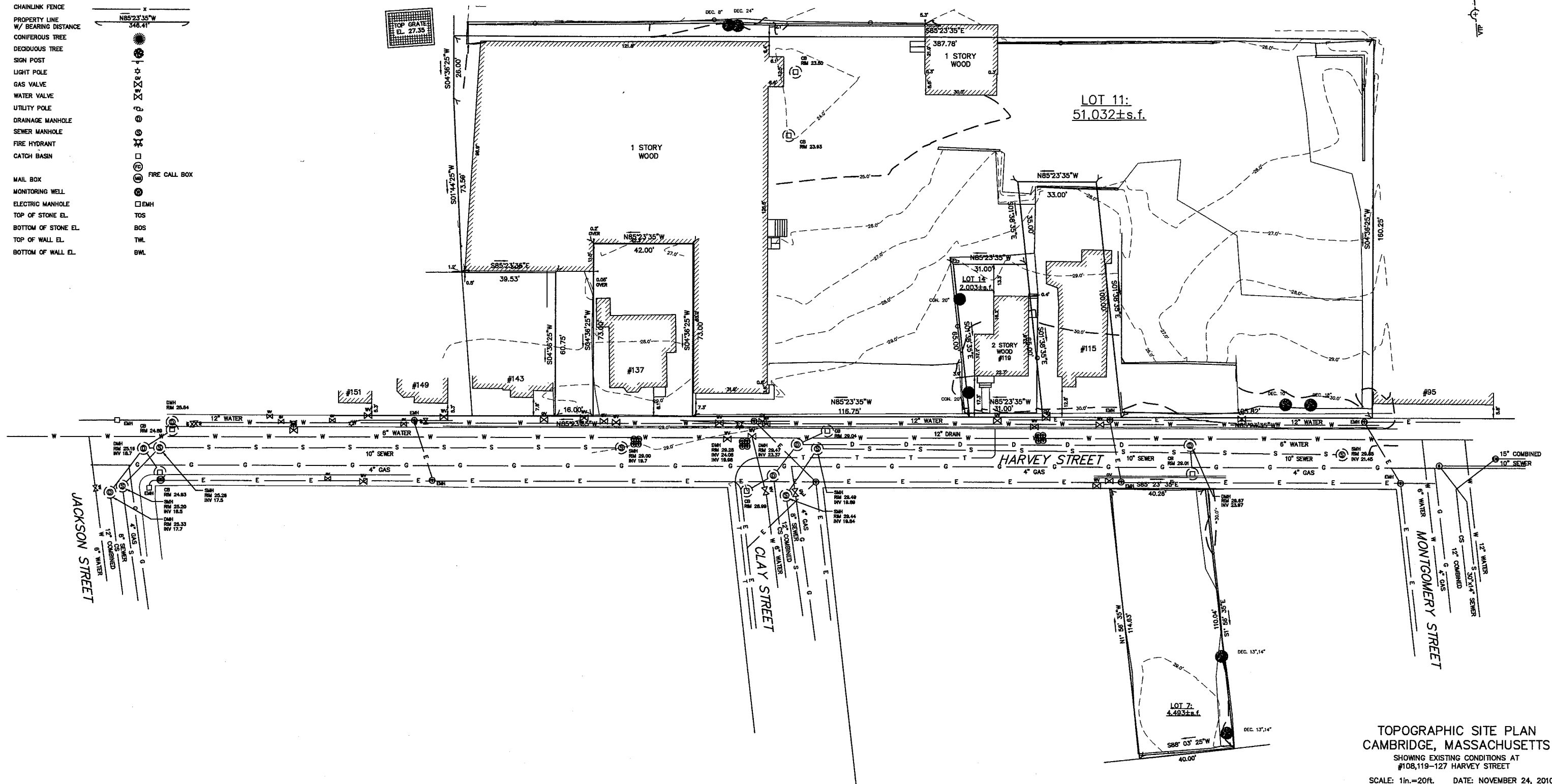
No.	Description	Date
2	PI/ Neighbors Comments	06-22

PERSPECTIVE VIEWS OF REAR COMMON YARD & PRIVATE PATIOS

L-03

LEGEND

STORM SEWER	— D —
COMBINATION SEWER	— CS —
SANITARY SEWER	— S —
WATER MAIN	— W —
OVERHEAD ELECTRIC	— OE —
UNDER GROUND ELECTRIC	— UE —
GAS MAIN	— G —
CONTOUR	— 21 —
BUILDING	— / / / / —
PICKET FENCE	— d —
CHAINLINK FENCE	— x —
PROPERTY LINE W/ BEARING DISTANCE	— N85°23'35"W 348.41' —
CONIFEROUS TREE	— [Symbol] —
DECIDUOUS TREE	— [Symbol] —
SIGN POST	— [Symbol] —
LIGHT POLE	— [Symbol] —
GAS VALVE	— [Symbol] —
WATER VALVE	— [Symbol] —
UTILITY POLE	— [Symbol] —
DRAINAGE MANHOLE	— [Symbol] —
SEWER MANHOLE	— [Symbol] —
FIRE HYDRANT	— [Symbol] —
CATCH BASIN	— [Symbol] —
MAIL BOX	— [Symbol] —
MONITORING WELL	— [Symbol] —
ELECTRIC MANHOLE	— [Symbol] —
TOP OF STONE EL.	— TOS —
BOTTOM OF STONE EL.	— BOS —
TOP OF WALL EL.	— TWL —
BOTTOM OF WALL EL.	— BWL —



TOPOGRAPHIC SITE PLAN
CAMBRIDGE, MASSACHUSETTS
 SHOWING EXISTING CONDITIONS AT
 #108,119-127 HARVEY STREET

SCALE: 1in.=20ft. DATE: NOVEMBER 24, 2010
 PROJECT: 10200

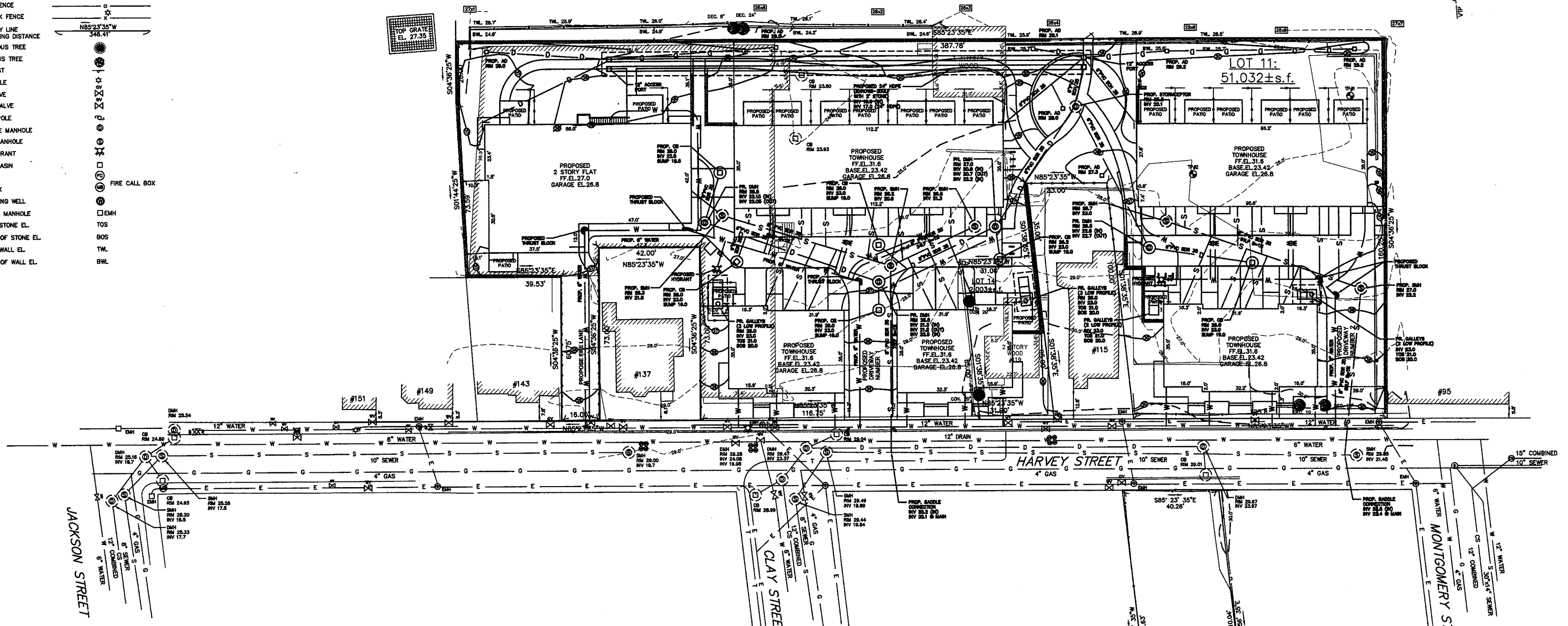


VTP
ASSOCIATES
 INC.

LAND SURVEYORS - CIVIL ENGINEERS.
 #132 ADAMS STREET 2ND FLOOR SUITE 3

LEGEND

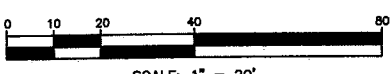
- STORM SEWER ——— D ———
- COMBINATION SEWER ——— CS ———
- SANITARY SEWER ——— S ———
- WATER MAIN ——— W ———
- OVERHEAD ELECTRIC ——— OE ———
- UNDER GROUND ELECTRIC ——— UE ———
- GAS MAIN ——— G ———
- CONTOUR ——— 21 ———
- BUILDING ——— [Hatched] ———
- PICKET FENCE ——— [Dashed] ———
- CHAINLINK FENCE ——— [Cross-hatched] ———
- PROPERTY LINE W/ BEARING DISTANCE ——— N85°23'35"W 348.41' ———
- CONIFEROUS TREE ——— [Starburst] ———
- DECIDUOUS TREE ——— [Circle with cross] ———
- SIGN POST ——— [Square with cross] ———
- LIGHT POLE ——— [Circle with cross] ———
- GAS VALVE ——— [Circle with cross] ———
- WATER VALVE ——— [Circle with cross] ———
- UTILITY POLE ——— [Circle with cross] ———
- DRAINAGE MANHOLE ——— [Circle with cross] ———
- SEWER MANHOLE ——— [Circle with cross] ———
- FIRE HYDRANT ——— [Circle with cross] ———
- CATCH BASIN ——— [Circle with cross] ———
- MAIL BOX ——— [Circle with cross] ———
- MONITORING WELL ——— [Circle with cross] ———
- ELECTRIC MANHOLE ——— [Square] ———
- TOP OF STONE EL. ——— TOS ———
- BOTTOM OF STONE EL. ——— BOS ———
- TOP OF WALL EL. ——— TML ———
- BOTTOM OF WALL EL. ——— BML ———
- FIRE CALL BOX ——— [Circle with cross] ———



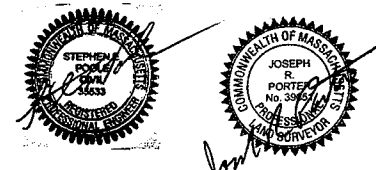
ZONING REQUIREMENTS FOR S8 HARVEY BY PROJECT

#D-2 OVERLAY DISTRICT WITH RB BASE ZONING	REQUIRED	ALLOWED	PROVIDED	COMPLIANCE
RD-37-R	0.85	34472.76		
BONUS	30%	10041.825		
TOTAL RESIDENTIAL		44814.575	44781	
TOTAL LOT SIZE	5,000	93,055.00+		
MIN. LOT AREA FOR EACH D.U. IN RB	1800	28.48	28	
NUMBER OF D.U. ALLOWED PER-B		38.30		
YU INCLUSIONARY AND BONUS				
MIN. LOT WIDTH IN FT	NONE			
BUILDING HEIGHT	40 FT	40 FT	32'-11"	
MINIMUM YARD IN FT				
FRONT	15 FEET	10 FEET AVERAGE		
SIDE	7.5 FEET FROM 30 FEET	7.5 FEET FROM 20 FEET		
REAR	25 FEET	VARIES SP		
MAXIMUM HEIGHT IN FEET	30 FEET CORNICE AT 40 FEET	30 FEET CORNICE AT 40 FEET		
MIN. RATIO OF USABLE DRIVE GRACE TO LOT AREA	40%	21,214.00	25,130.00	40%
PARKING				
CARS	1 PER D.U.	29	29	
BIKES	0.5 PER D.U. (MAX FOR TH)	2	4	
DISTANCE BETWEEN BUILDINGS	R1 + 1/2 R	R1 + 1/2 R = 12'-4"	VARIES BUT COMPLEX	

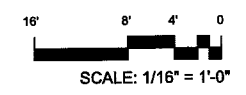
DIG SAFE
EXCAVATORS
BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-322-4844. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



TOPOGRAPHIC SITE PLAN
CAMBRIDGE, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT
#108,119-127 HARVEY STREET
SCALE: 1in.=20ft. DATE: JUNE 20, 2011
PROJECT: 10200



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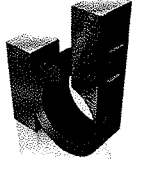


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
 135 HARVEY STREET
 CAMBRIDGE, MA

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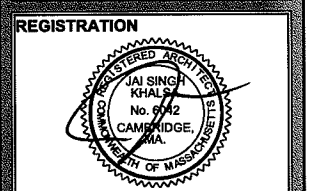


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Project number 09064
Date 03-07-2011
Drawn by MG
Checked by JSK
Scale 1/8"=1'-0"

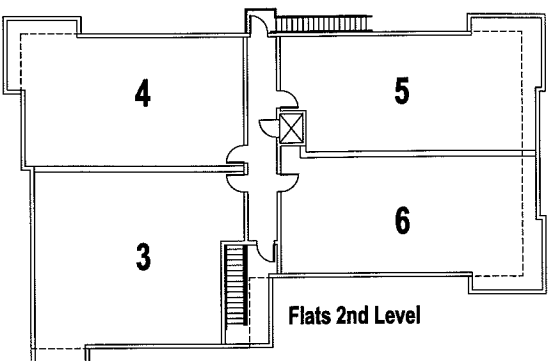
REVISIONS

No.	Description	Date
1	PB/Neighbors Comments	04-26-11
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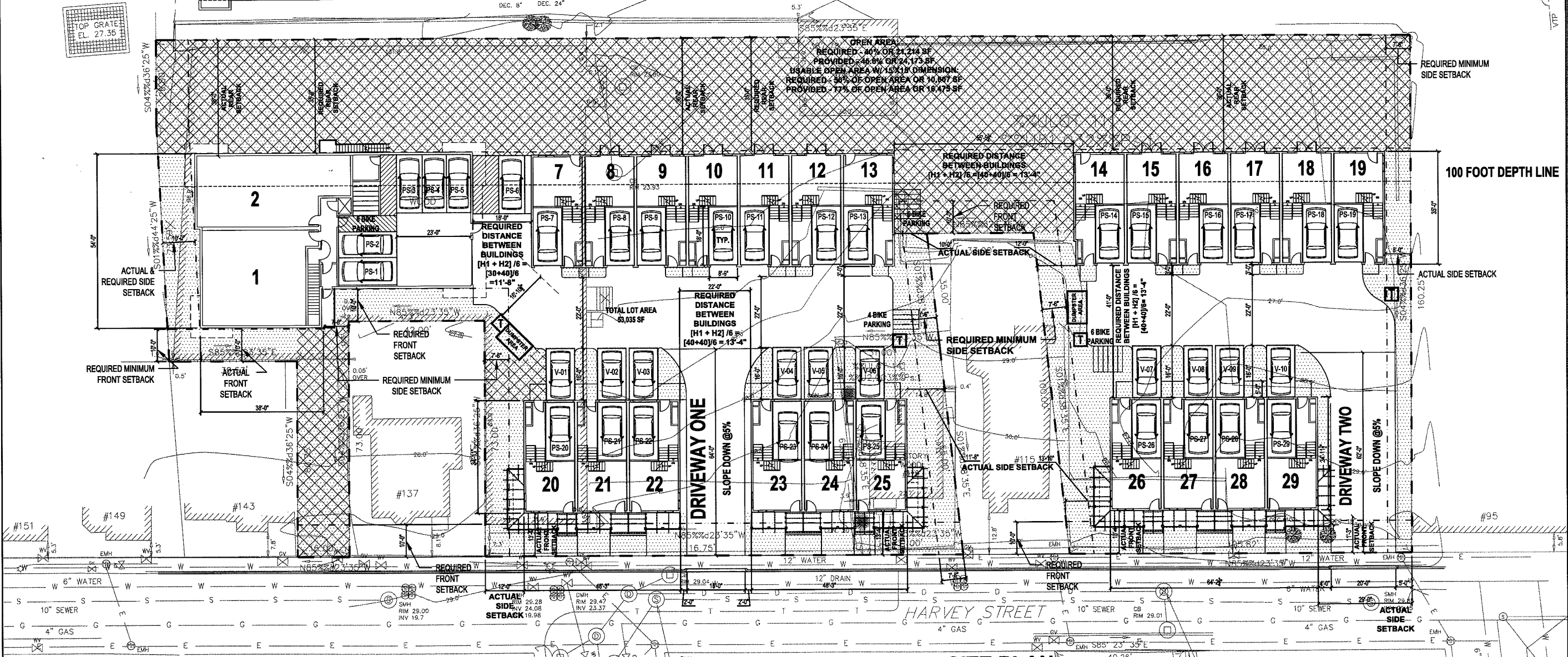
GROUND FLOOR PLAN & ZONING COMPLIANCE

AZ-1

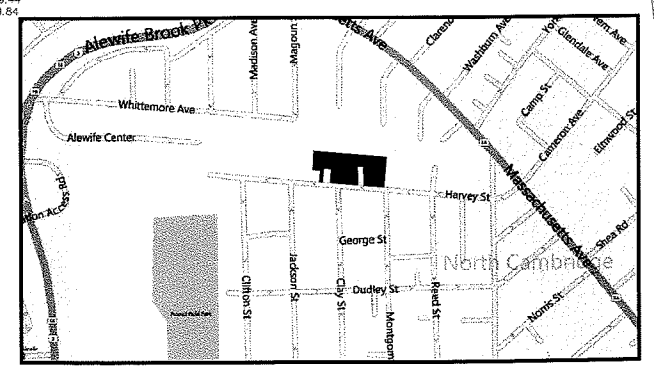
09064_BOLTON ST RESIDENCES



Flats 2nd Level



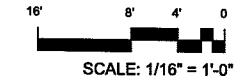
SITE PLAN



Locus Map

ZONING REQUIREMENTS FOR 135 HARVEY ST PROJECT

	REQUIRED	ALLOWED	PROVIDED	COMPLIANCE
SD-2 OVERLAY DISTRICT WITH RB BASE ZONING				
SD-2 FAR	0.85	34472.75		
BONUS	30%	10341.825		
TOTAL RESIDENTIAL		44814.575	44,771	
TOTAL LOT SIZE	5,000	53,035.00+		
MIN. LOT AREA FOR EACH D.U. in SF	1800			
NUMBER OF D.U. ALLOWED RES-B		29.46	29	
W/ INCLUSIONARY AND BONUS		38.30		
MIN. LOT WIDTH in FT	NONE			
BUILDING HEIGHT	40 FT	40 FT	39'-11"	
MINIMUM YARD in FT				
FRONT	15 FEET		10 FEET AVERAGED	
SIDE	7.5 FEET SUM 20 FEET		7.5 FEET SUM 20 FEET	
REAR	25 FEET (C)		VARIES SP	
MAXIMUM HEIGHT IN FEET	30 FEET CORNICE AT 40 FEET		30 FEET CORNICE AT 40 FEET	
MIN. RATIO OF USABLE OPEN SPACE TO LOT AREA	40%	21,214.00	24,173.00	45%
PARKING				
CARS	1 PER D.U.	29	39	
BIKES	0.5 PER D.U. (NA FOR TH)	2	22	
DISTANCE BETWEEN BUILDINGS	[H1 + H2] / 6	[H1 + H2] / 6 = 13'-4"	VARIES BUT COMPLIES	

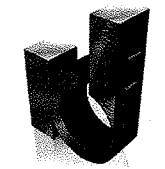


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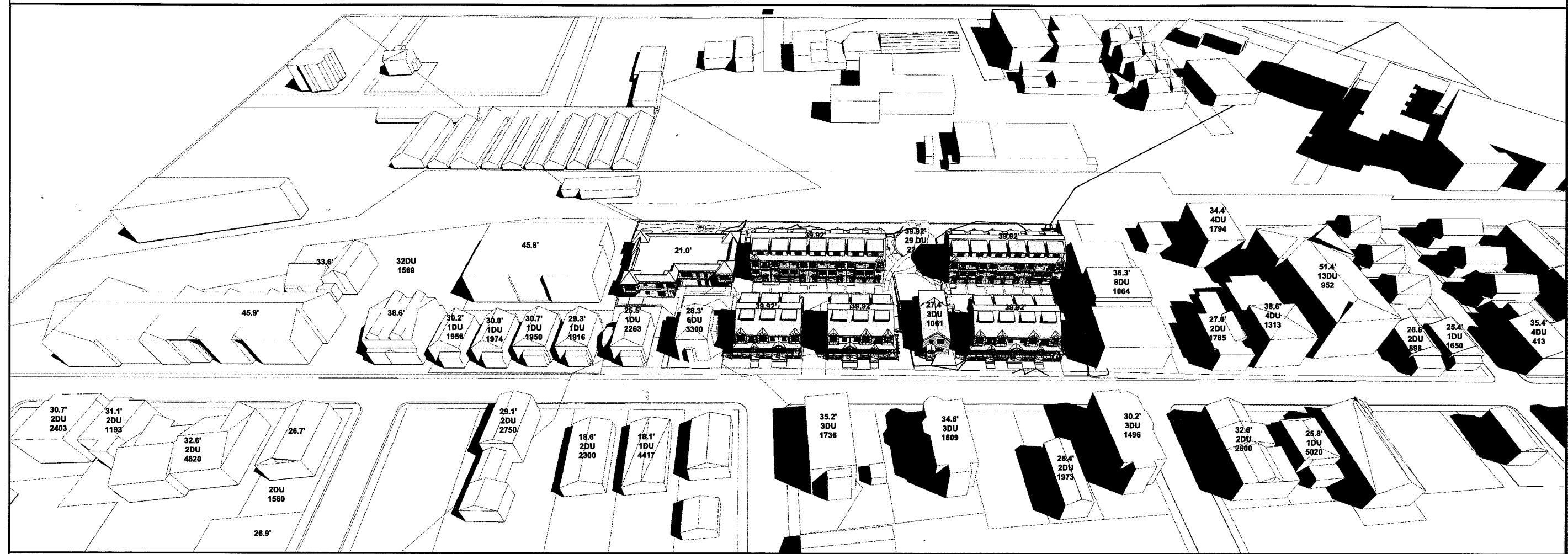


17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE 617-591-8882 FAX: 617-591-2088

CONSULTANTS:

LANDSCAPE ARCHITECT
 Blair Hines Design Associates
 318 Harvard Street, Suite 25
 Brookline, MA 02446
 T: 617-730-1180
 F: 617-608-5025
 W: www.blairhinesdesignassociates.com

CIVIL ENGINEER
 YVP ASSOCIATES
 132 Adams Street, 2nd Floor
 Newton, MA 02458
 T: 617-332-8271



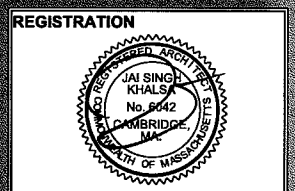
HARVEY STREET CONTEXT HEIGHTS & DENSITY STUDIES

LEGEND

18.6' = BUILDING HEIGHT
 2DU = # UNITS
 2300 = DENSITY

S/B/L	No.	Street	FAR	Interior* (sq. ft.)	Lot Size* (sq. ft.)	Units*	Lot Area per unit
190-37	17	Harvey	0.473	2600	5500	2	2750
190-42	37	Harvey	0.336	1314	3913	1	3913
190-43	39	Harvey	0.543	1314	2422	1	2422
190-45	41	Harvey	0.538	1304	2422	1	2422
191-116	43	Harvey	0.543	1314	2422	1	2422
191-117	45	Harvey	0.365	1314	3596	1	3596
190-7	51	Harvey	0.817	1348	1650	1	1650
190-8	55	Harvey	1.725	2847	1650	4	413
190-25	61	Harvey	0.642	1059	1650	1	1650
190-26	65	Harvey	0.935	1680	1796	2	898
190-21	69	Harvey	1.457	18030	12375	13	952
190-237	79	Harvey	1.096	5756	5253	4	1313
190-238	85	Harvey	0.589	2102	3570	2	1785
190-245	91	Harvey	0.685	4914	7176	4	1794
190-244	95	Harvey	1.729	14722	8514	8	1064
	115	Harvey	0.535	1702	3183	3	1061
	137	Harvey	0.062	1224	19800	6	3300
	143	Harvey	0.487	1101	2263	1	2263
	149	Harvey	0.533	1022	1916	1	1916
	155	Harvey	0.622	1212	1950	1	1950
	159	Harvey	0.517	1020	1974	1	1974
	163	Harvey	0.549	1074	1956	1	1956
	171-195	Harvey	0.786	39481	50215	32	1669
		Harvey St Averages	0.589	125887	213724		2245

191-38	24-26	Harvey	1.181	1915	1621	2	811
191-39	28	Harvey	1.402	2447	1745	2	873
191-40	34	Harvey	0.821	1535	1869	2	935
191-89	40	Harvey	0.668	1186	1776	2	888
191-88	44	Harvey	0.816	1480	1814	2	907
191-87	48	Harvey	0.569	992	1744	1	1744
	74	Harvey	0.733	3808	5192	4	1298
	80	Harvey	0.263	1423	5021	1	5021
191-109	88	Harvey	0.591	3072	5200	2	2600
	100-102	Harvey	0.690	3096	4487	3	1496
	104-106	Harvey	0.330	1304	3946	2	1973
	116	Harvey	0.745	3597	4826	3	1609
	126	Harvey	0.649	3379	5208	3	1736
	136	Harvey	0.341	1443	4234	1	4234
	144	Harvey	0.277	1222	4417	1	4417
	148	Harvey	0.250	1150	4600	2	2300
	156	Harvey	0.416	2289	5500	2	2750
	184-186	Harvey	0.413	3983	9639	2	4820
	188-190	Harvey	0.687	1639	2386	2	1193
	194-196	Harvey	0.390	1872	4806	2	2403
	210	Harvey	0.475	2651	5576	3	1859
		Harvey St Averages	0.531	2166	4077		2184
191-40	9	Cedar St	1.355	2028	1497	3	499
191-41	11	Cedar St	0.467	1143	2450	1	2450
190-30	130-148	Jackson	0.667	2080	3120	2	1560
		Cedar St (partial) Ave	0.743	1313	1767		1503
191-86	133	Reed St	0.216	1076	4970	2	2485



Project number 09064
 Date 03-07-2011
 Drawn by MG
 Checked by JSK
 Scale 1/8"=1'-0"

REVISIONS

No.	Description	Date
2	PB/ Neighbors Comments	06-22-11

HARVEY STREET CONTEXT HEIGHTS & DENSITY STUDIES

AZ-2



View From Eastern Harvey Street



View From Eastern Internal Courtyard



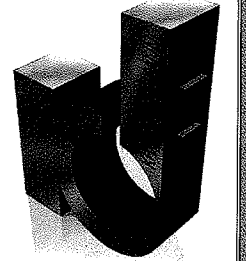
PROJECT NAME

**HARVEY STREET
RESIDENCES**

PROJECT ADDRESS
135 HARVEY STREET
CAMBRIDGE, MA 02140

CLIENT
**YOUNG INVESTMENT
LLC**

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

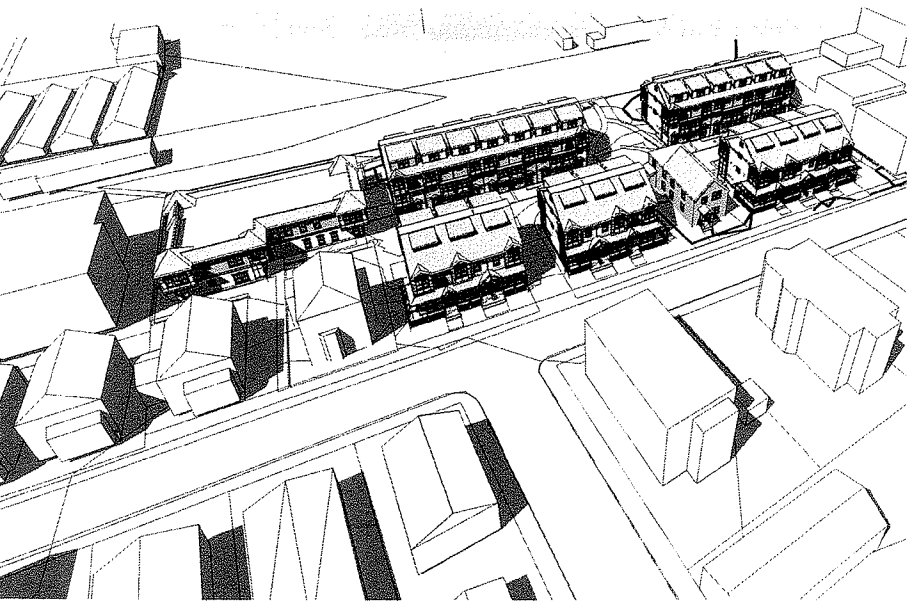


Project number 11003
Date 03-07-2011
Drawn by Author
Checked by Checker
Scale

REVISIONS

No.	Description	Date
2	PB/ Neighbor Comments	06-22-2011

Site Perspectives



① Aerial View



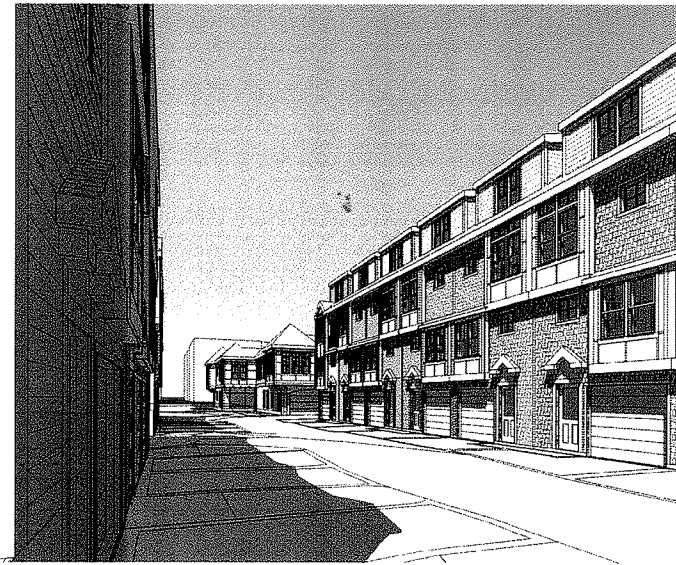
② View From Driveway One



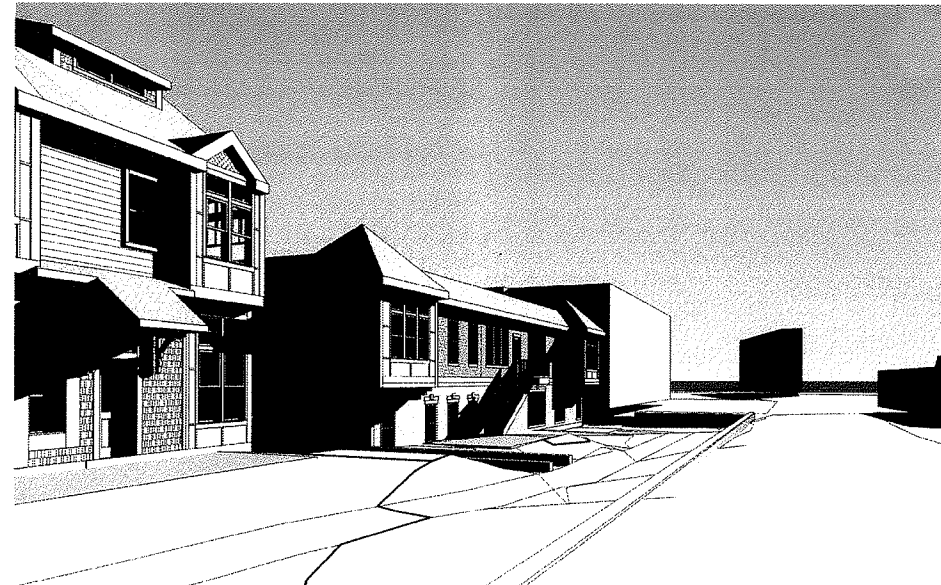
③ Harvey St View of Units 20 to 22



④ Harvey St View of Units 23 to 29



⑤ Internal View Looking toward the Flats



⑥ Bike Path View of Units 1 to 6



⑦ View of Units 13 to 19 from Bike Path



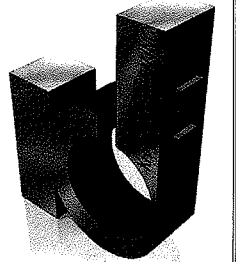
⑧ View of Units 1 to 13 from Bike Path

PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
135 HARVEY STREET
CAMBRIDGE, MA 02140

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YOUNG INVESTMENT LLC

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17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 11003
Date 03-07-2011
Drawn by MG
Checked by JSK
Scale

No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	06-22-2011

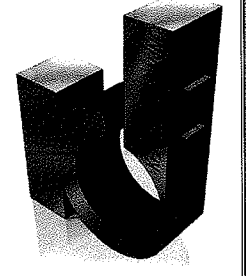
Additional Site Perspectives

HARVEY STREET RESIDENCES

PROJECT ADDRESS
135 HARVEY STREET
CAMBRIDGE, MA 02140

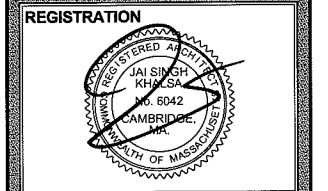
CLIENT
YOUNG INVESTMENT LLC

ARCHITECT
KHALSA DESIGN INC.



17IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



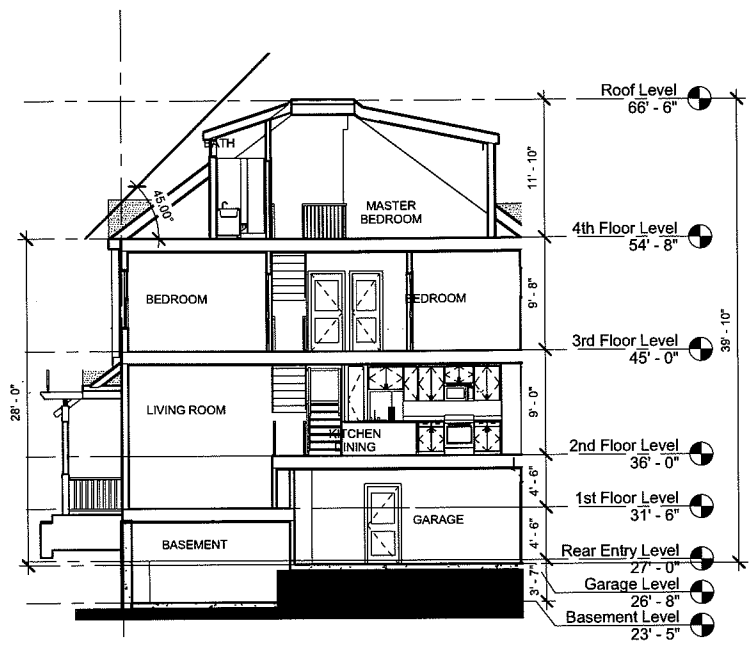
REGISTRATION
Project number 11003
Date 03-07-2011
Drawn by MG
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011

Typical building Sections

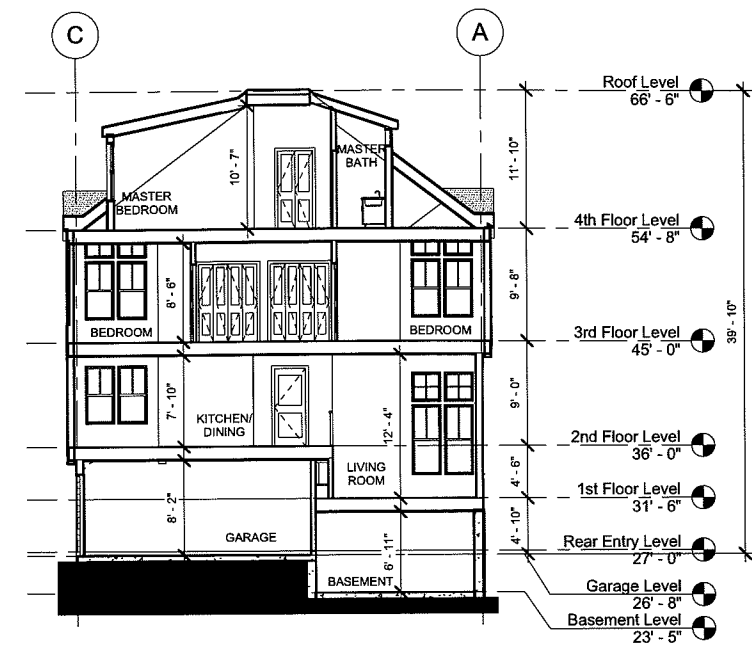
U-S-1



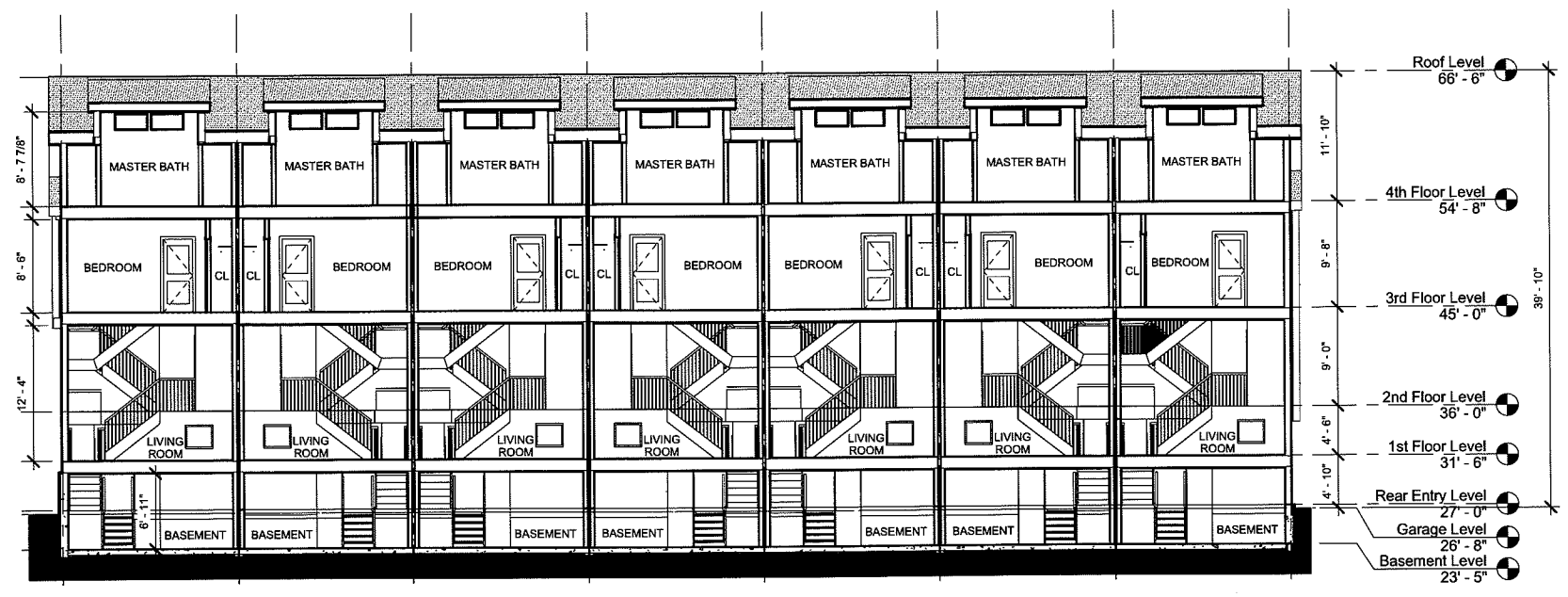
① Units 20 to 23 Cross Section
1/8" = 1'-0"



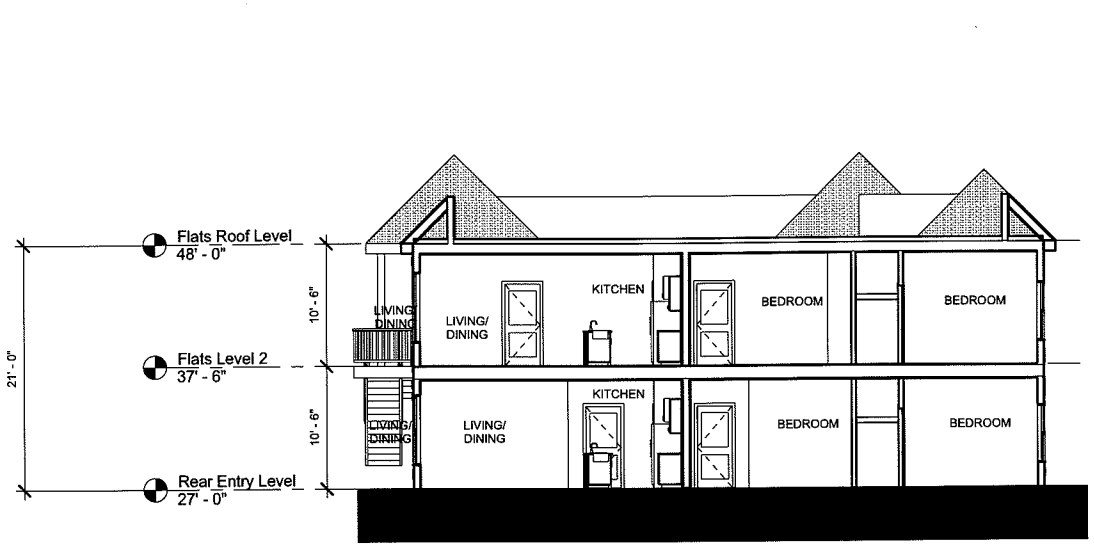
② Units 23 to 25 Cross Section
1/8" = 1'-0"



③ Units 7 to 13 Cross Section
1/8" = 1'-0"



④ Units 7 to 13 Long Section
1/8" = 1'-0"



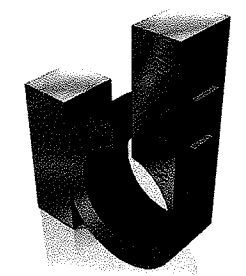
⑤ Units 1 to 6 Cross Section
1/8" = 1'-0"

PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
 135 HARVEY STREET
 CAMBRIDGE, MA 02140

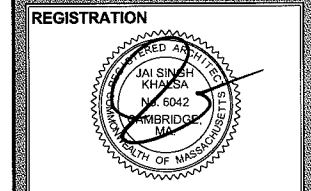
CLIENT
 YOUNG INVESTMENT
 LLC

ARCHITECT
 KHALSA DESIGN INC.



17IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

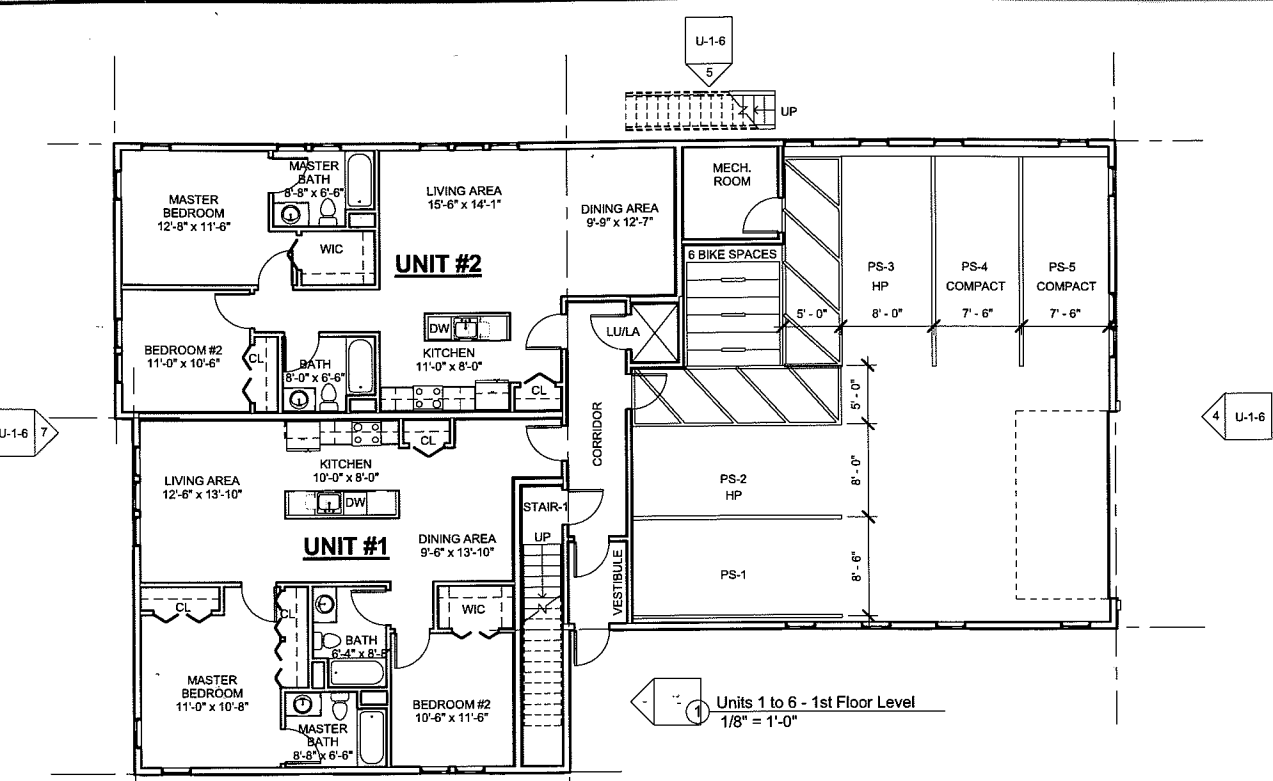


Project number	11003
Date	03-07-2011
Drawn by	MJK
Checked by	JSK
Scale	1/8" = 1'-0"

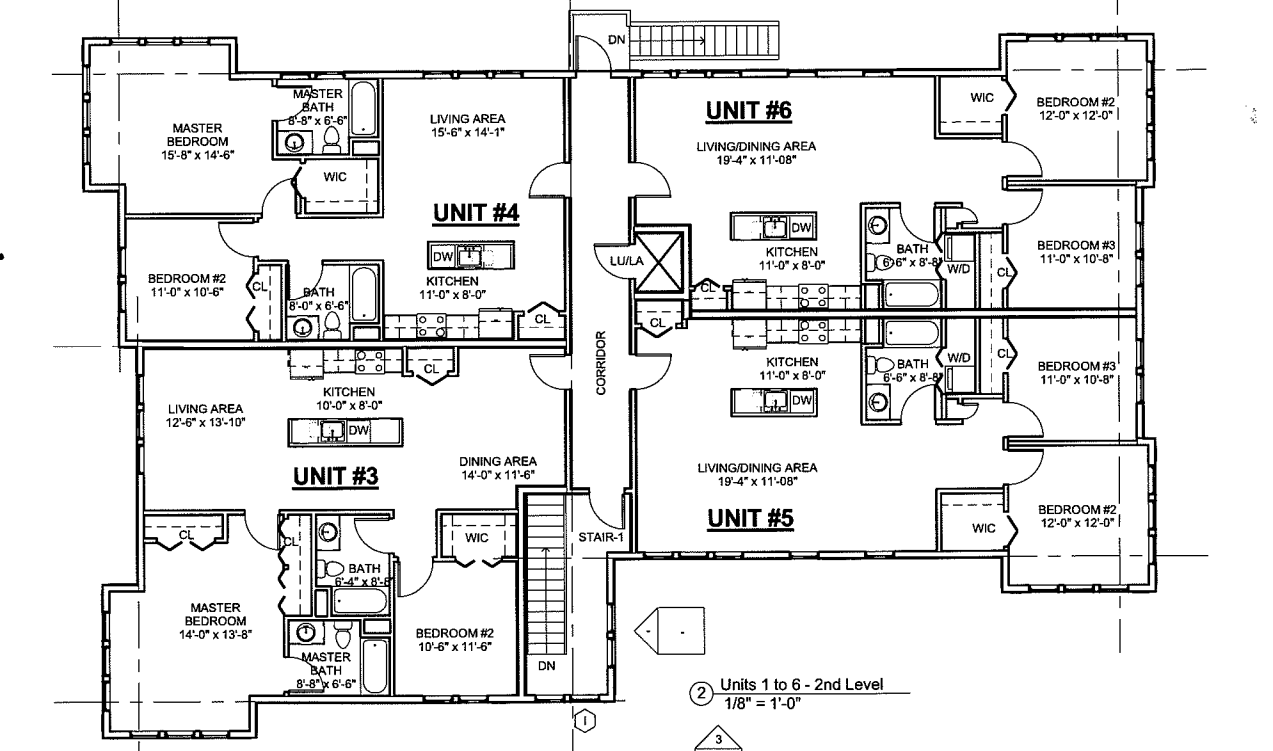
No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	08-22-2011

**Units 1 to 6
 Floor Plans &
 Elevations**

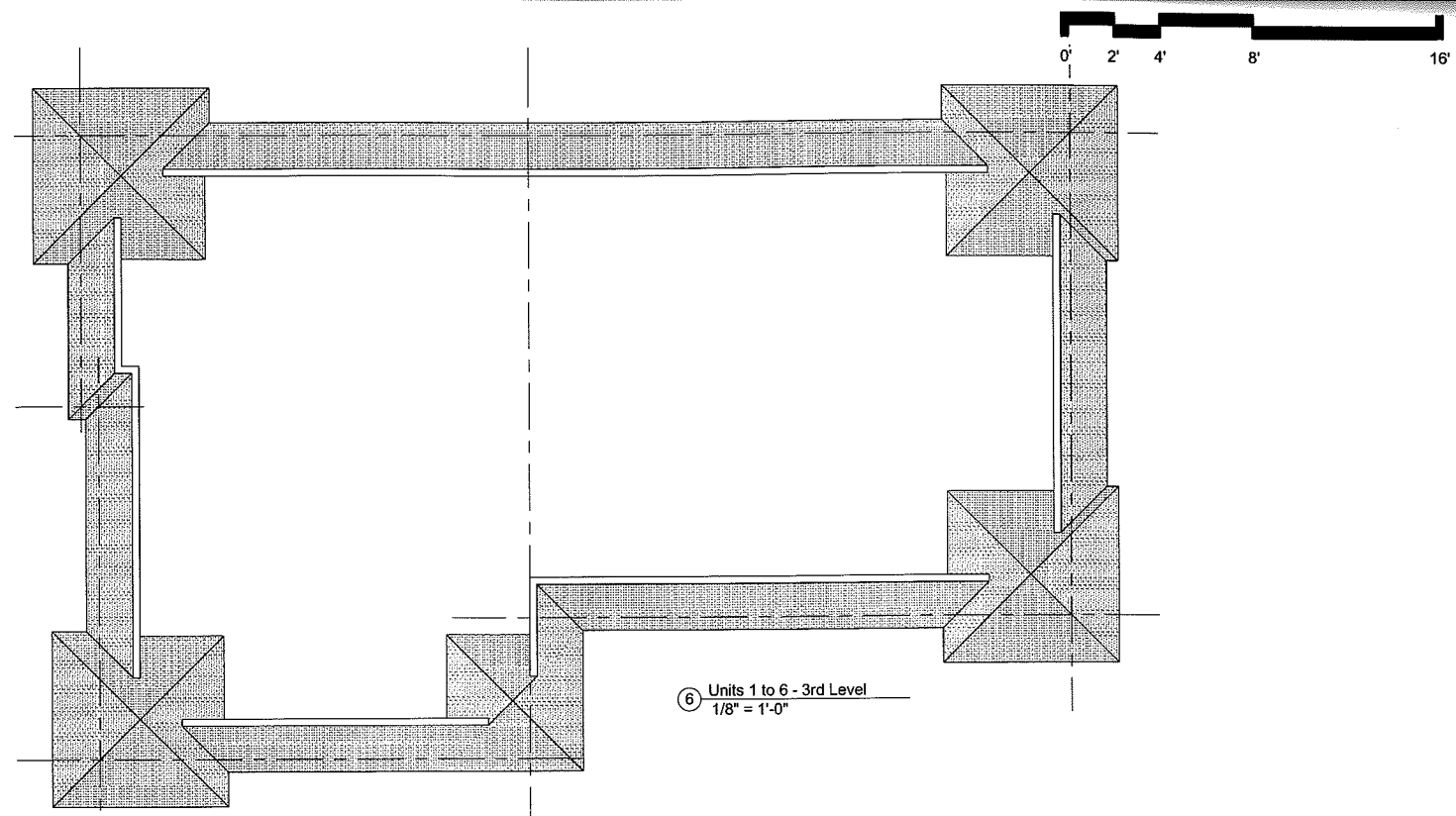
U-1-6



① Units 1 to 6 - 1st Floor Level
 1/8" = 1'-0"



② Units 1 to 6 - 2nd Level
 1/8" = 1'-0"



⑥ Units 1 to 6 - 3rd Level
 1/8" = 1'-0"

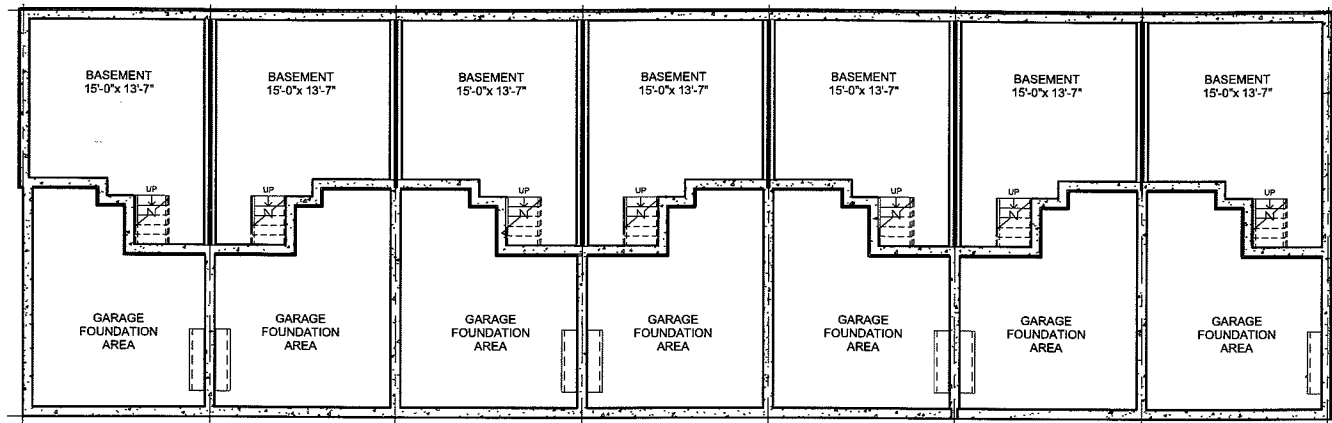


③ Units 1 to 6 South Elevation
 1/8" = 1'-0"

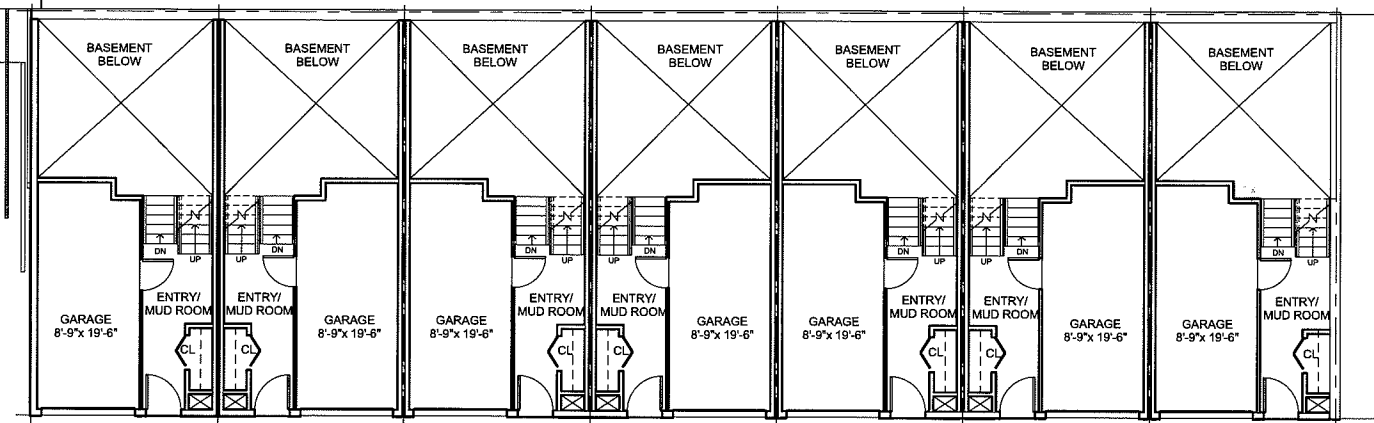


④ Units 1 to 6 East Elevation
 1/8" = 1'-0"

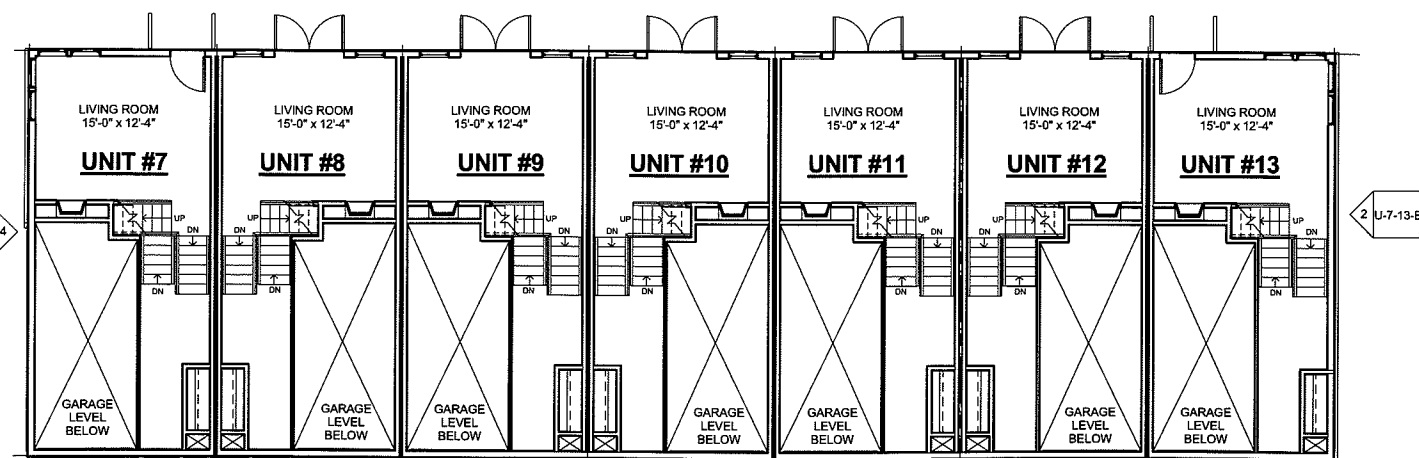




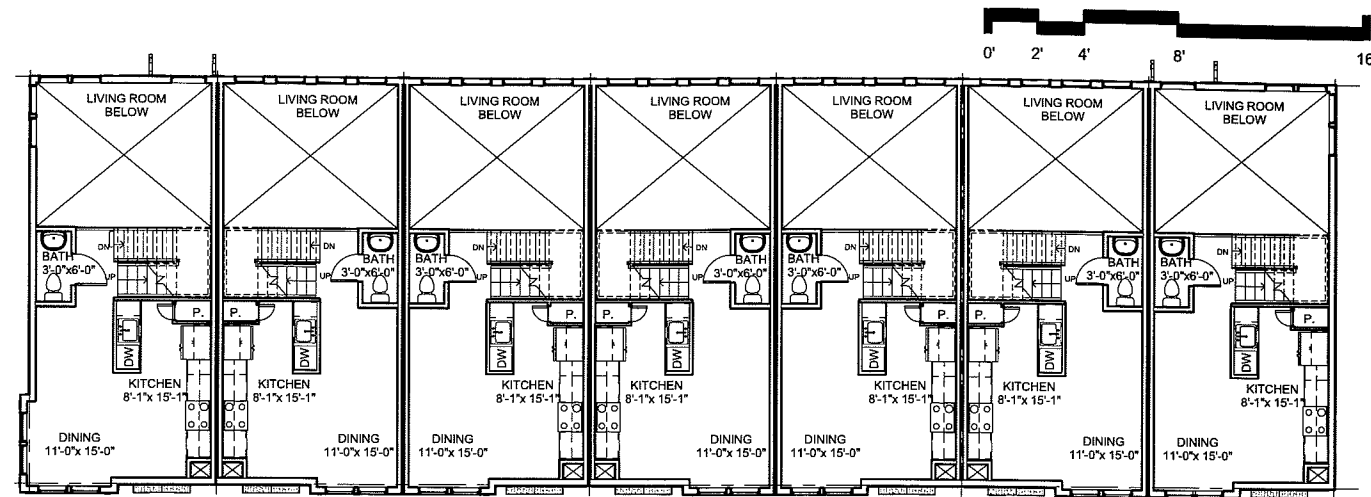
1 Units 7 to 13 - Basement Level
1/8" = 1'-0"



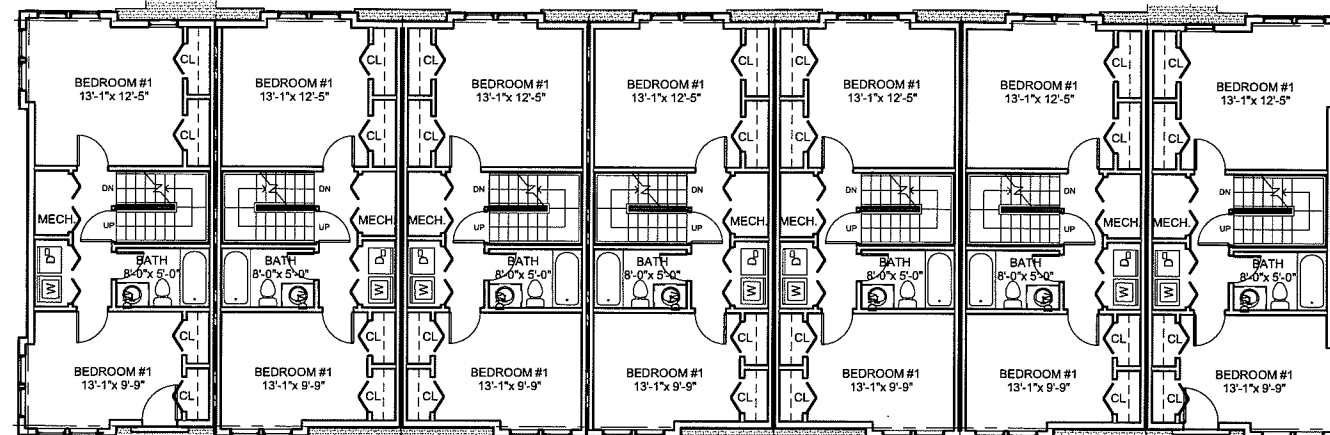
2 Units 7 to 13 - Garage Level
1/8" = 1'-0"



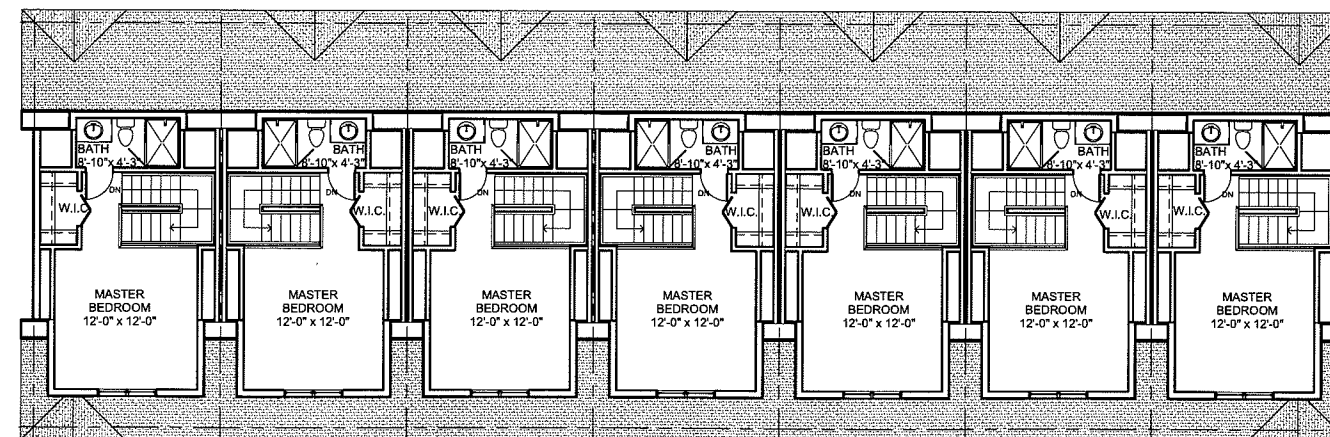
3 U-7-13-B



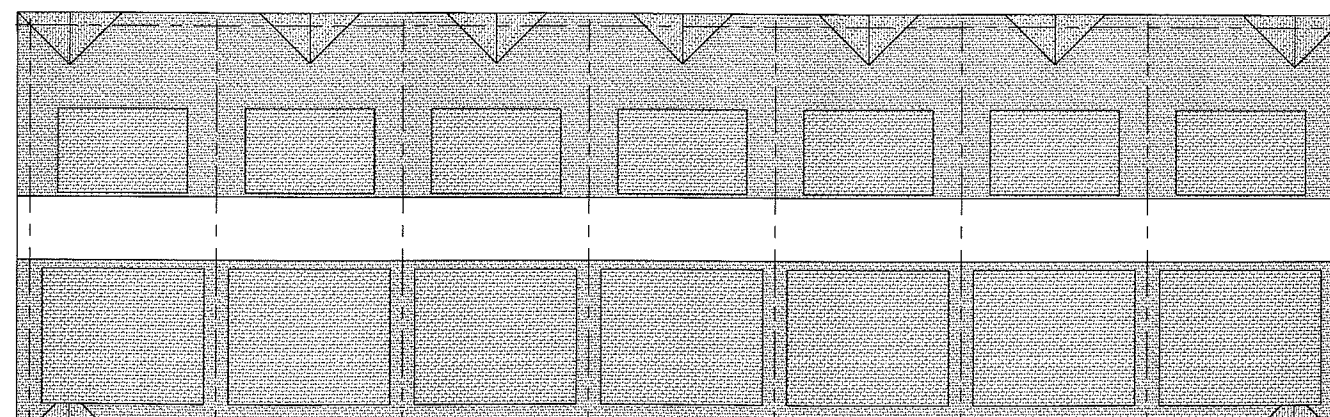
4 Units 7 to 13 - 2nd Floor Level
1/8" = 1'-0"



5 Units 7 to 13 - 3rd Floor Level
1/8" = 1'-0"



6 Units 7 to 13 - 4th Floor Level
1/8" = 1'-0"

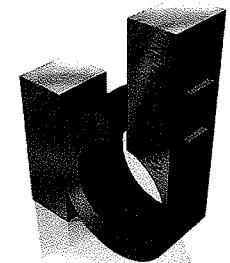


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
135 HARVEY STREET
CAMBRIDGE, MA 02140

CLIENT
YOUNG INVESTMENT LLC

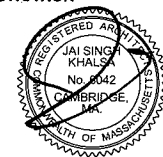
ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



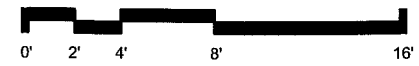
Project number 11003
Date 03-07-2011
Drawn by MG
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	06-22-2011

**Units 7 to 13
Floor Plans**

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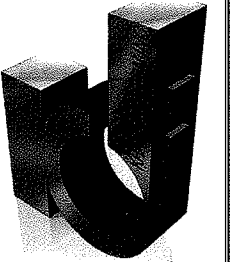


PROJECT NAME
**HARVEY STREET
 RESIDENCES**

PROJECT ADDRESS
 135 HARVEY STREET
 CAMBRIDGE, MA 02140

CLIENT
**YOUNG INVESTMENT
 LLC**

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

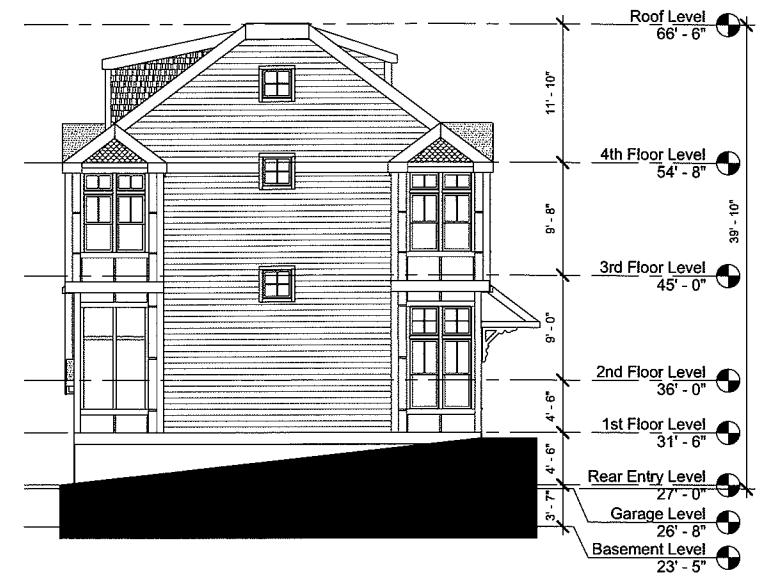


Project number 11003
 Date 03-07-2011
 Drawn by MG
 Checked by JSK
 Scale 1/8" = 1'-0"

REVISIONS		
No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	06-22-2011



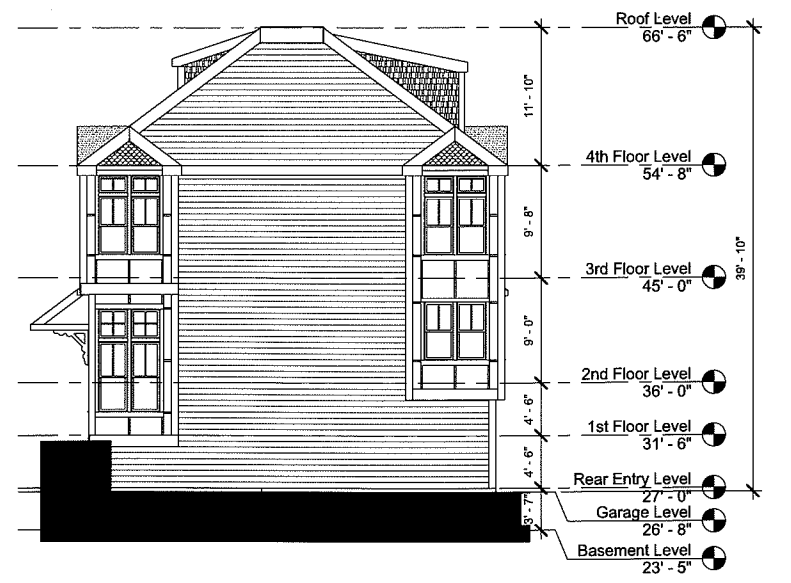
① Units 7 to 13 North Elevation
 1/8" = 1'-0"



② Units 7 to 13 East Elevation
 1/8" = 1'-0"

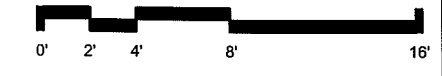


③ Units 7 to 13 South Elevation
 1/8" = 1'-0"



④ Units 7 to 13 West Elevation
 1/8" = 1'-0"

Units 7 to 13
 Elevations

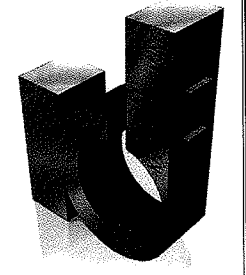


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
 135 HARVEY STREET
 CAMBRIDGE, MA 02140

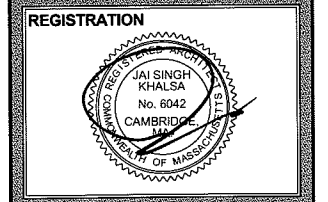
CLIENT
YOUNG INVESTMENT LLC

ARCHITECT
KHALSA DESIGN INC.



17IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

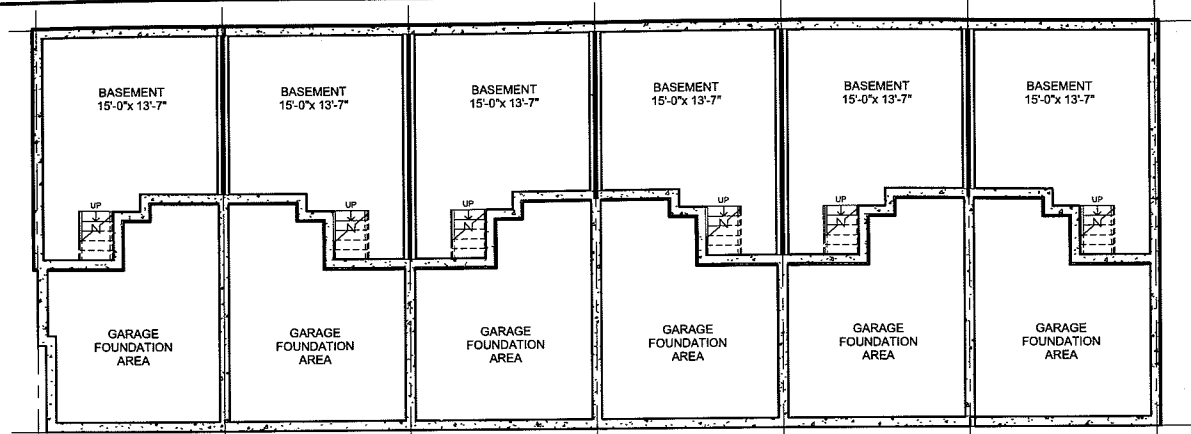
CONSULTANTS:



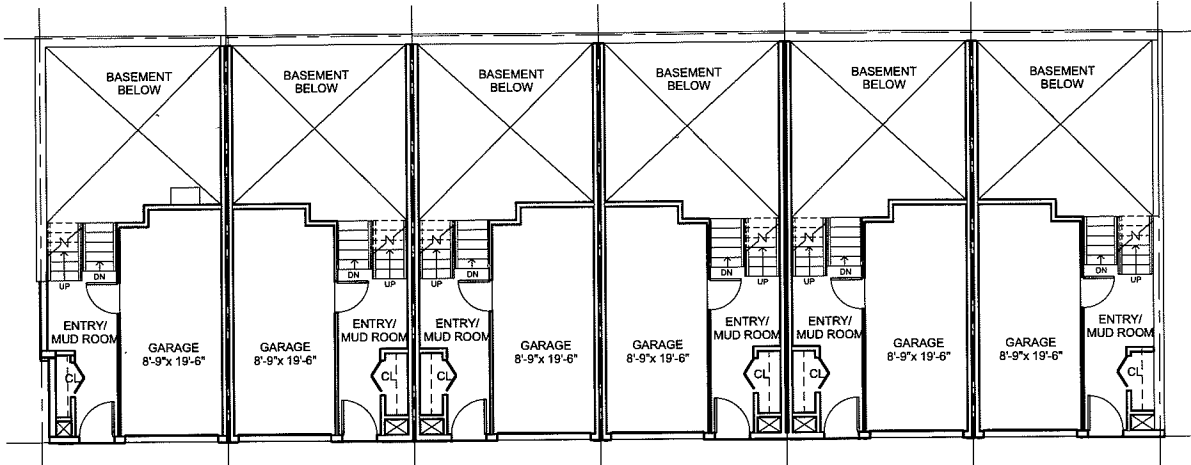
Project number 11003
 Date 03-07-2011
 Drawn by MG
 Checked by JSK
 Scale 1/8" = 1'-0"

No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	06-22-2011

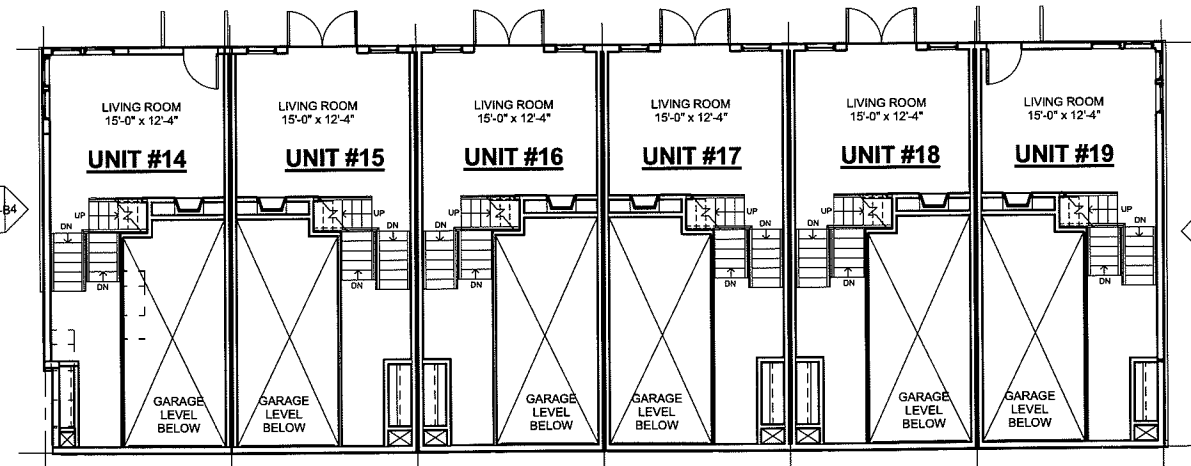
Units 14 to 19
 Floor plans



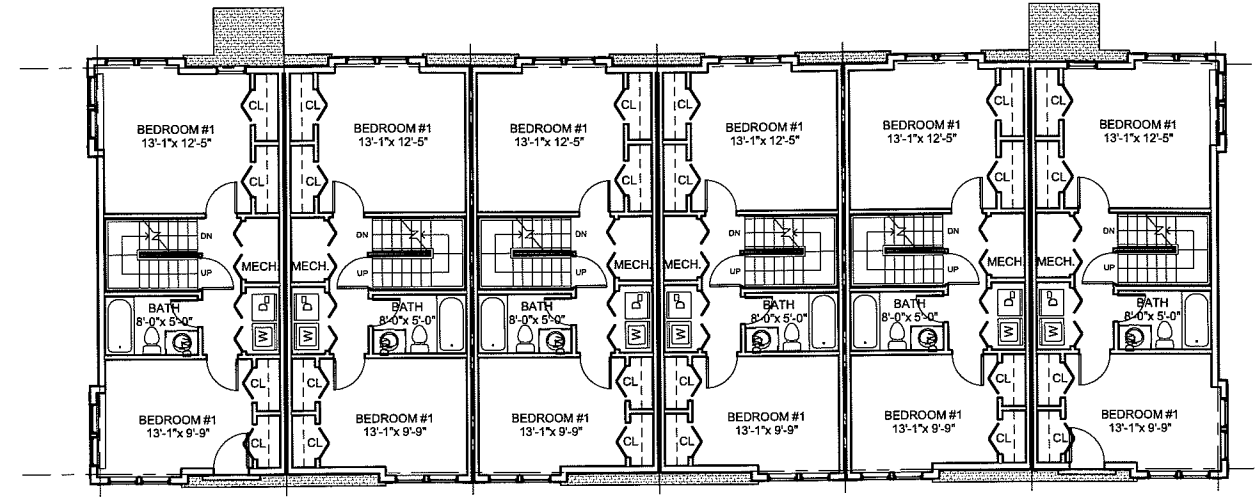
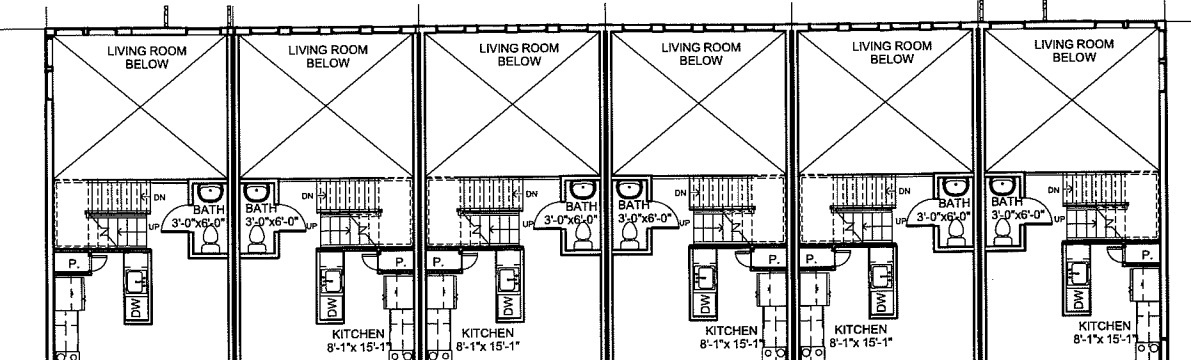
① Units 14 to 19 - Basement Level
 1/8" = 1'-0"



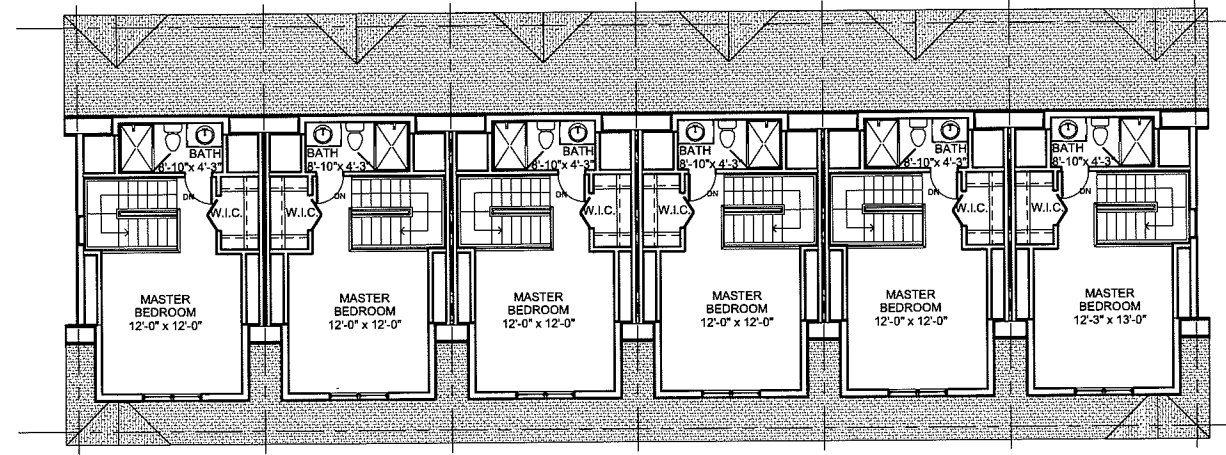
② Units 14 to 19 - Garage Level
 1/8" = 1'-0"



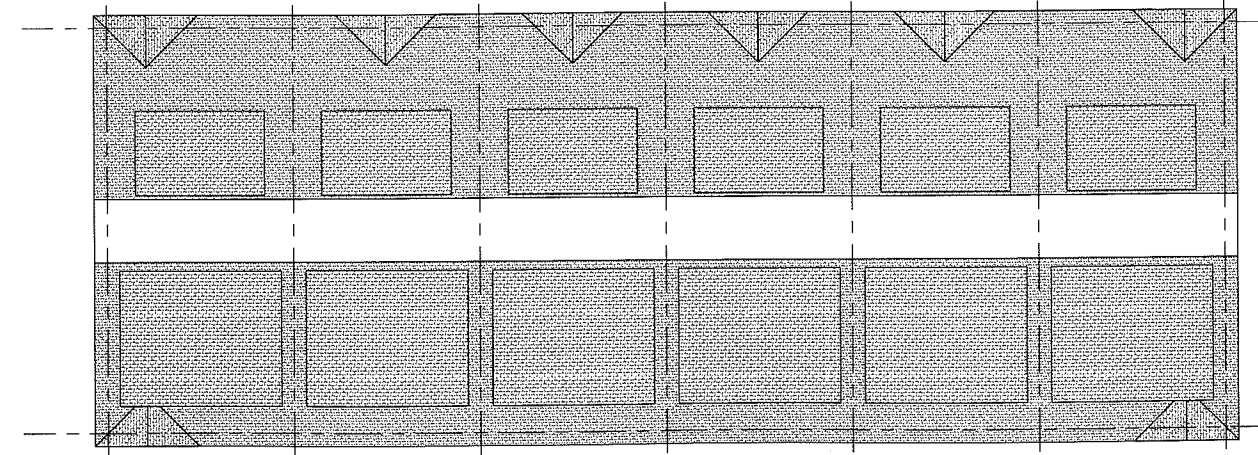
③ Units 14 to 19 - 1st Floor Level
 1/8" = 1'-0"



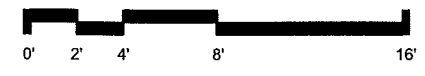
⑤ Units 14 to 19 - 3rd Floor Level
 1/8" = 1'-0"



⑥ Units 14 to 19 - 4th Floor Level
 1/8" = 1'-0"



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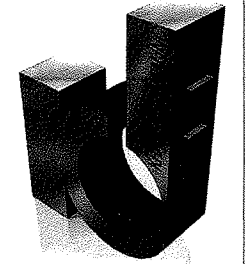


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
 135 HARVEY STREET
 CAMBRIDGE, MA 02140

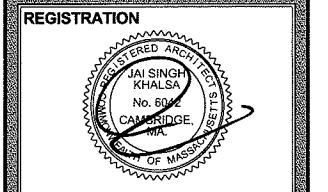
CLIENT
YOUNG INVESTMENT LLC

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



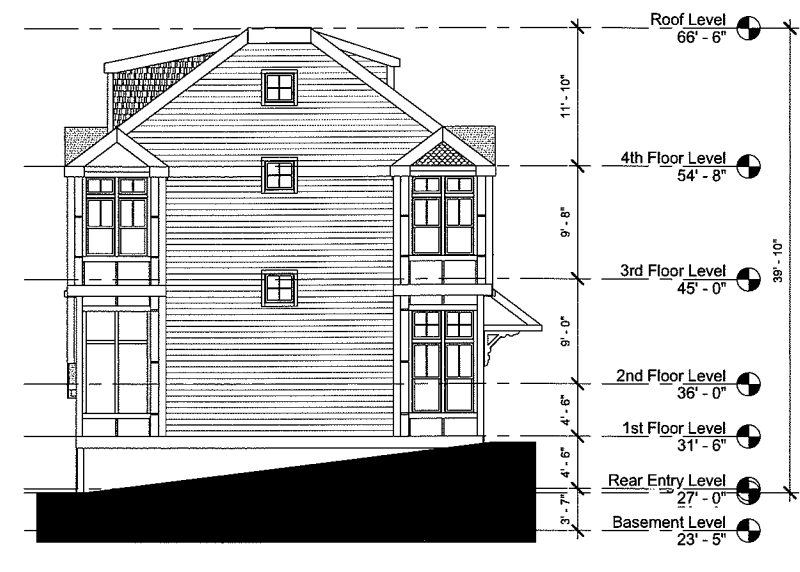
Project number 11003
 Date 03-07-2011
 Drawn by MG
 Checked by JSK
 Scale 1/8" = 1'-0"

REVISIONS		
No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	06-22-2011

Units 14 to 19 Elevations



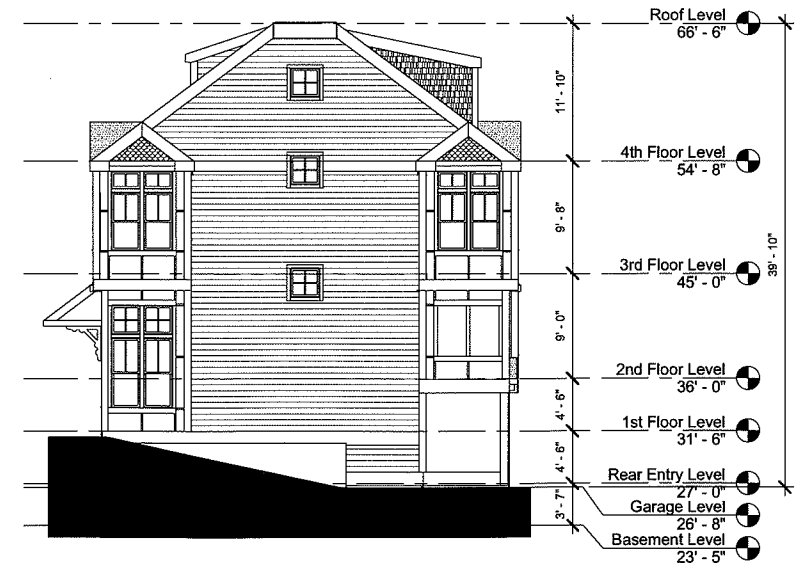
① Units 14 to 19 North Elevation
 1/8" = 1'-0"



② Units 14 to 19 East Elevation
 1/8" = 1'-0"

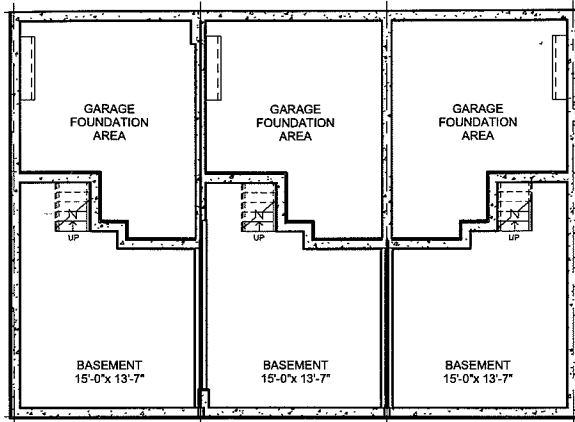


③ Units 14 to 19 South Elevation
 1/8" = 1'-0"

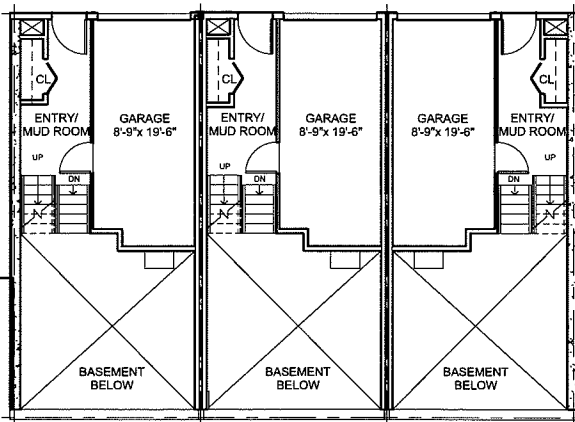


④ Units 14 to 19 West Elevation
 1/8" = 1'-0"

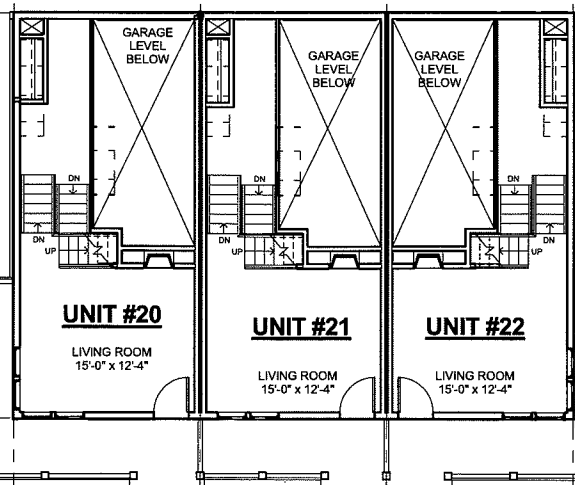
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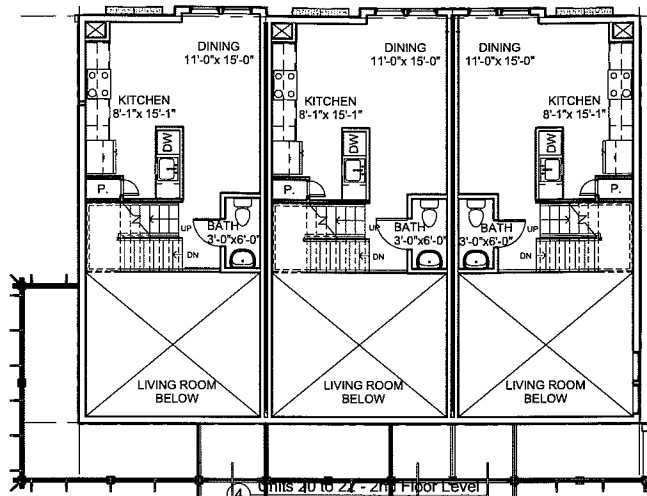
① Units 20 to 22 - Basement Level
1/8" = 1'-0"



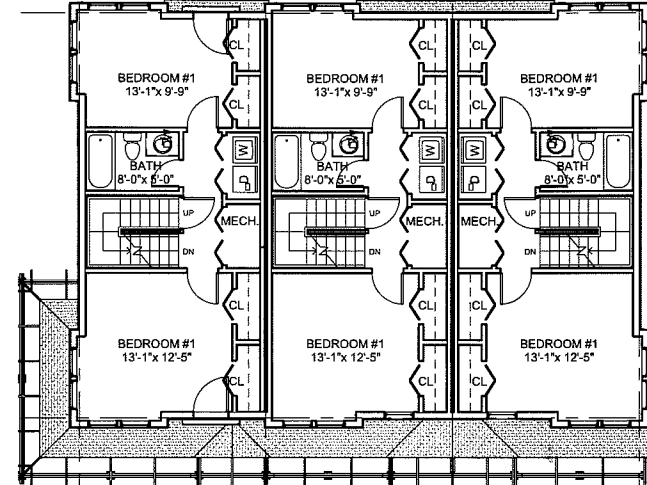
② Units 20 to 22 - Garage Level
1/8" = 1'-0"



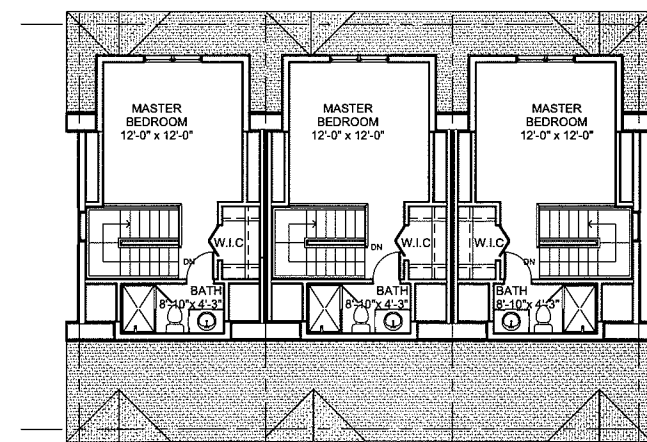
③ Units 20 to 22 - 1st Floor Level
1/8" = 1'-0"



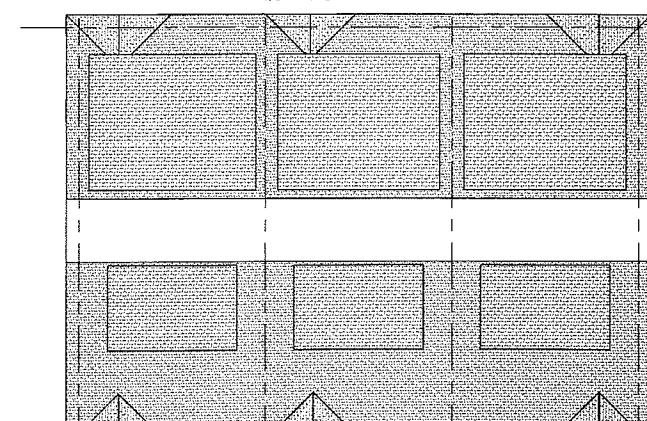
④ Units 20 to 22 - 2nd Floor Level
1/8" = 1'-0"



⑤ Units 20 to 22 - 3rd Floor Level
1/8" = 1'-0"



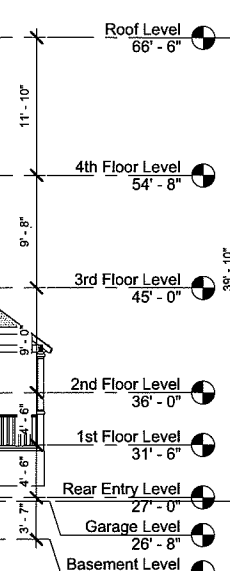
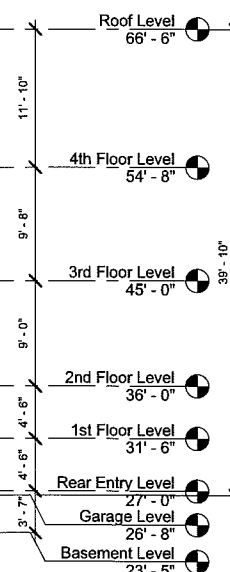
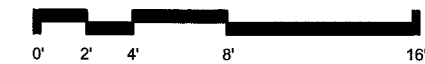
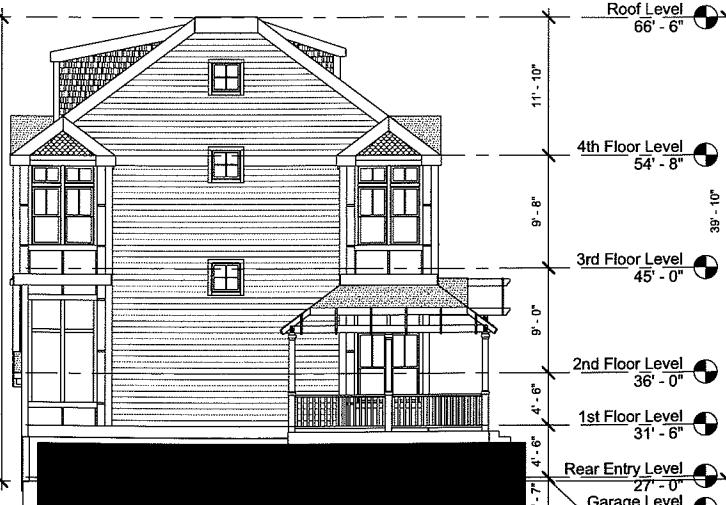
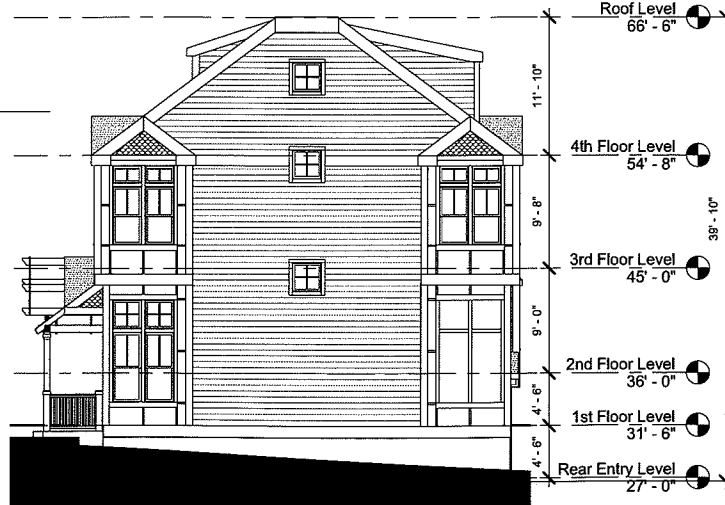
⑥ Units 20 to 22 - 4th Floor Level
1/8" = 1'-0"



⑧ Units 20 to 22 South Elevation
1/8" = 1'-0"



⑨ Units 20 to 22 North Elevation
1/8" = 1'-0"

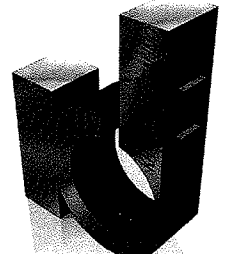


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
135 HARVEY STREET
CAMBRIDGE, MA 02140

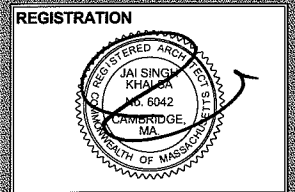
CLIENT
YOUNG INVESTMENT LLC

ARCHITECT
KHALSA DESIGN INC.



17 VALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

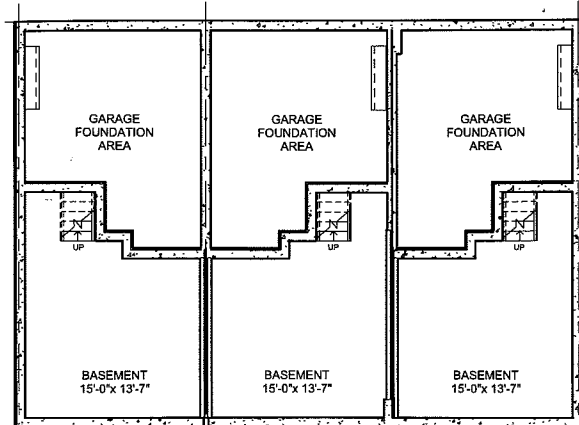
CONSULTANTS:



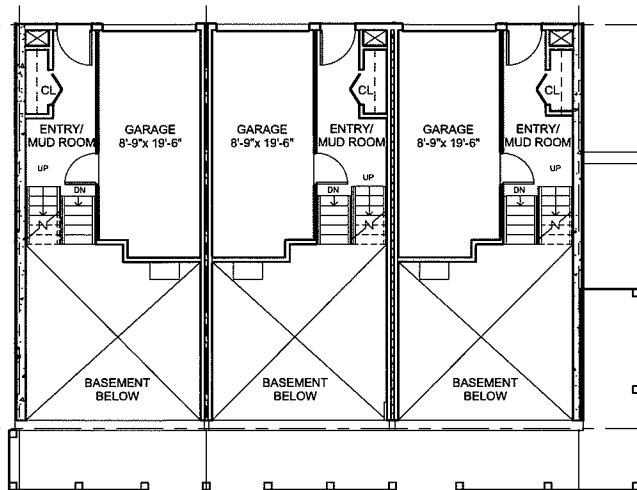
Project number	11003
Date	03-07-2011
Drawn by	MG
Checked by	JSK
Scale	1/8" = 1'-0"

No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	06-22-2011

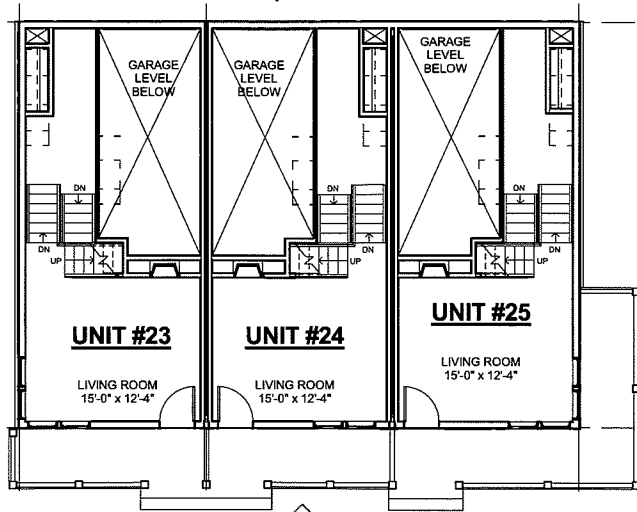
**Units 20 to 22
Floor Plans &
Elevations**



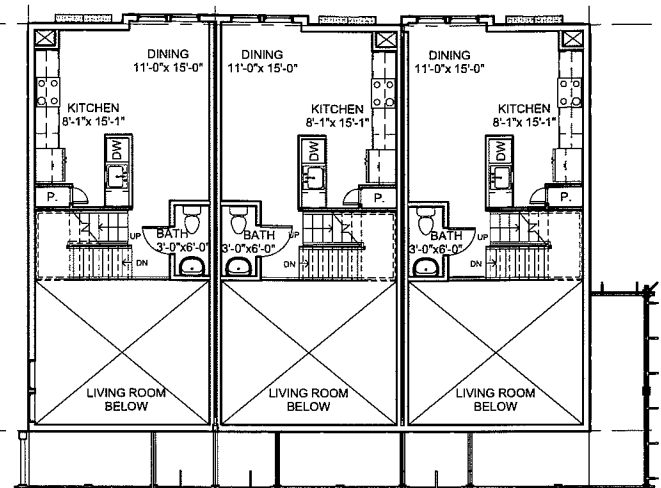
① Units 23 to 25 - Basement Level
1/8" = 1'-0"



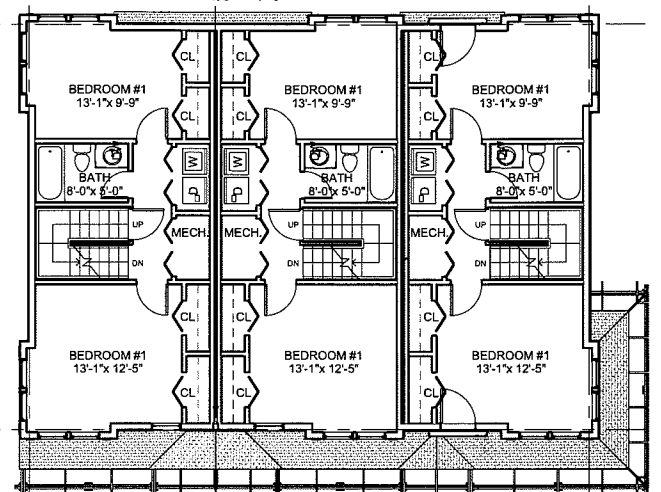
② Units 23 to 25 - Garage Level
1/8" = 1'-0"



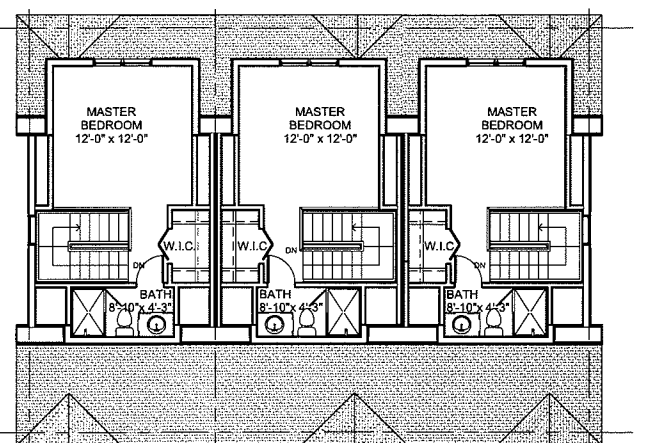
③ Units 23 to 25 - 1st Floor Level
1/8" = 1'-0"



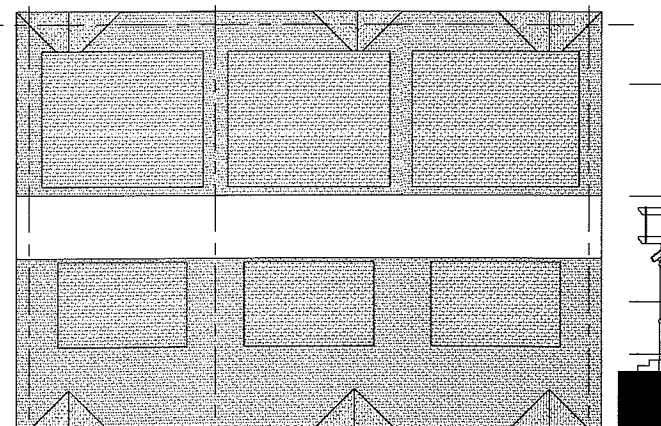
④ Units 23 to 25 - 2nd Floor Level
1/8" = 1'-0"



⑤ Units 23 to 25 - 3rd Floor Level
1/8" = 1'-0"



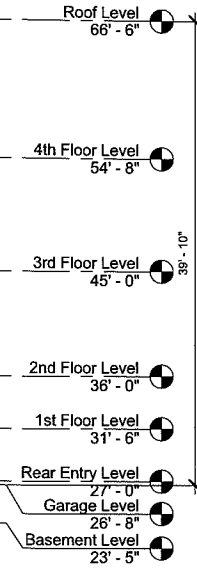
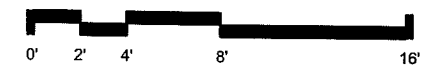
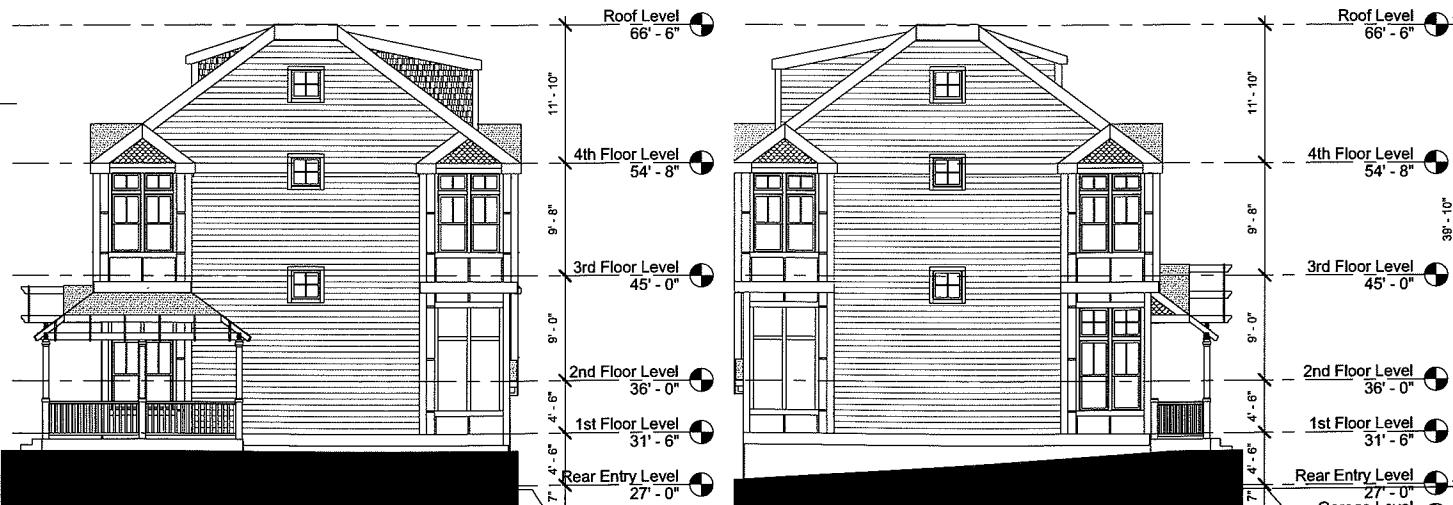
⑥ Units 23 to 25 - 4th Floor Level
1/8" = 1'-0"



⑧ Units 23 to 25 South Elevation
1/8" = 1'-0"



⑨ Units 23 to 25 North Elevation
1/8" = 1'-0"

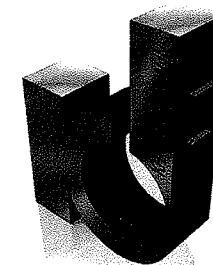


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
135 HARVEY STREET
CAMBRIDGE, MA 02140

CLIENT
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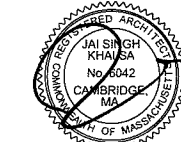
ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

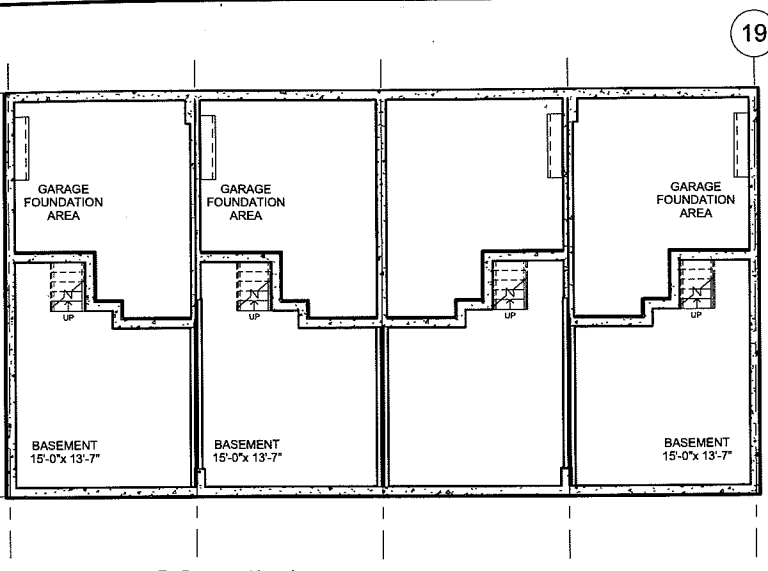
REGISTRATION



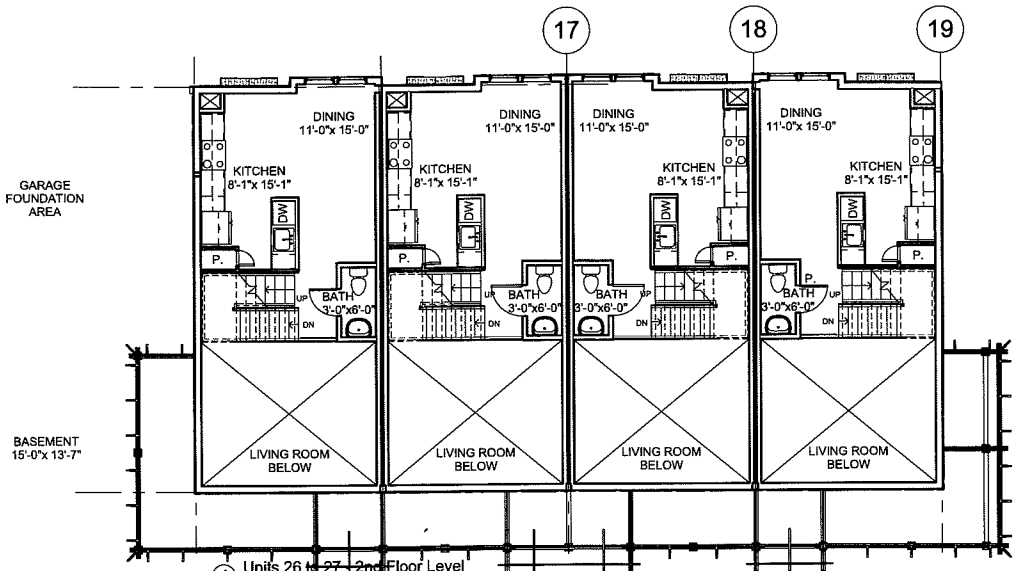
Project number 11003
Date 03-07-2011
Drawn by MG
Checked by JSK
Scale 1/8" = 1'-0"

No.	Description	Date
1	PREC/Neighbor Comments	04-28-2010
2	PB/ Neighbor Comments	06-22-2011

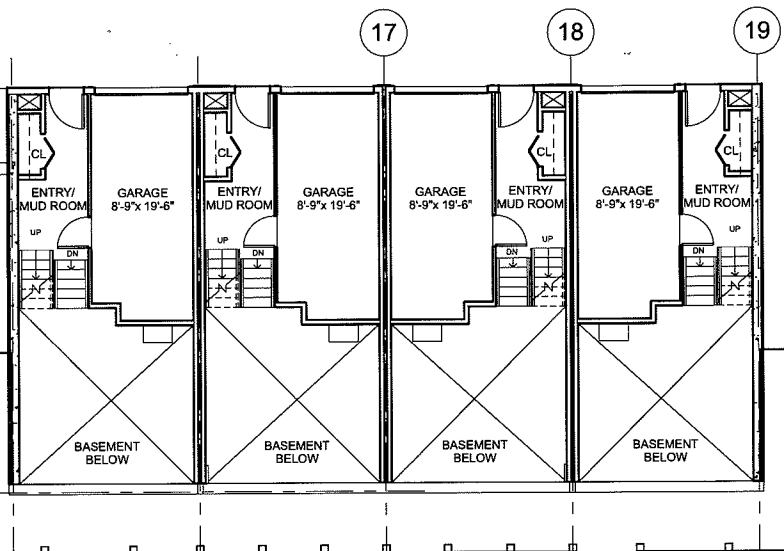
Units 23 to 25
Floor Plans &
Elevations



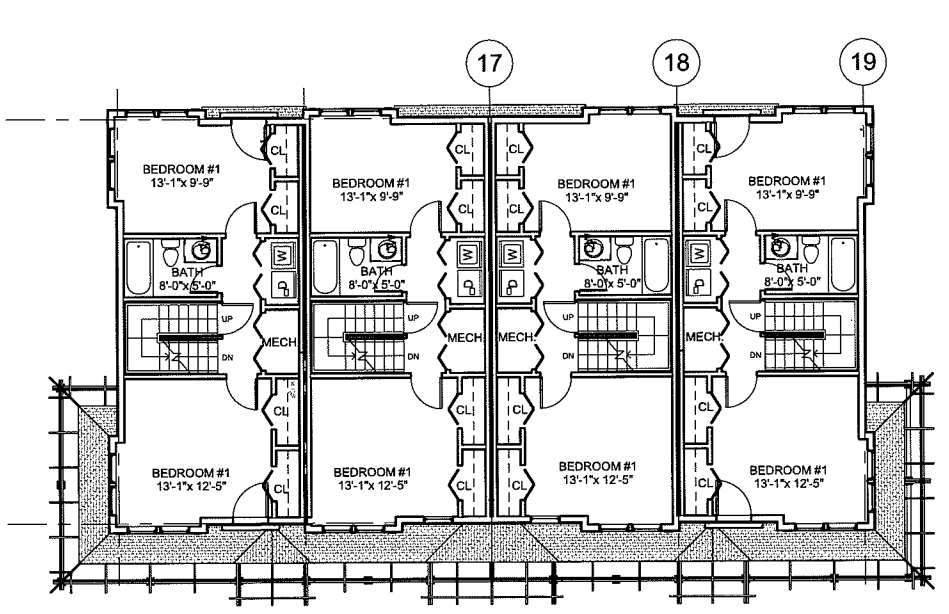
① Units 26 to 27 - Basement Level
1/8" = 1'-0"



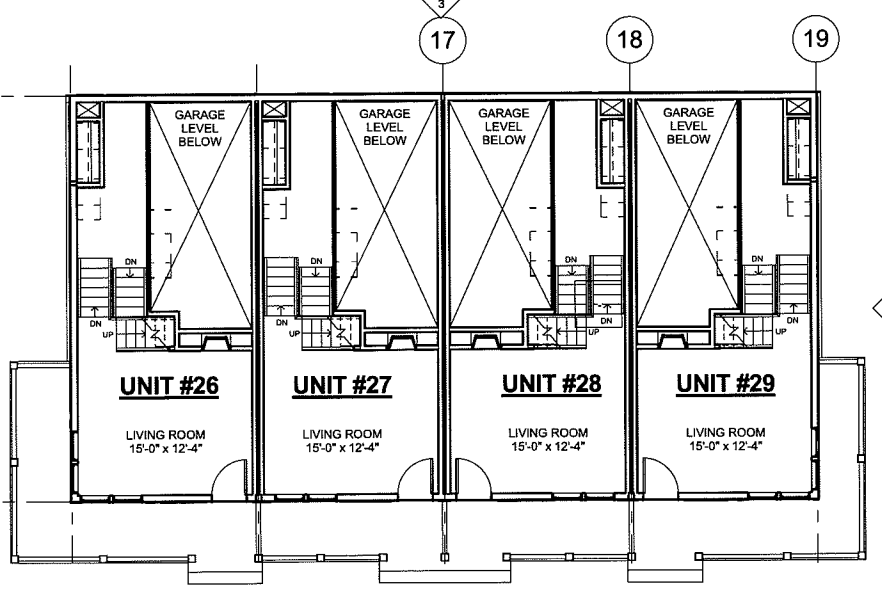
④ Units 26 to 27 - 2nd Floor Level
1/8" = 1'-0"



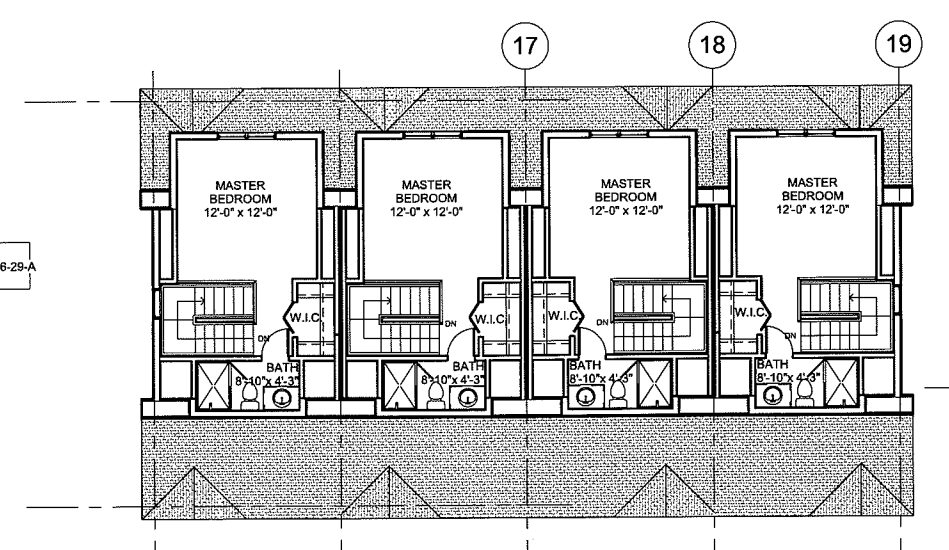
② Units 26 to 27 - Garage Level
1/8" = 1'-0"



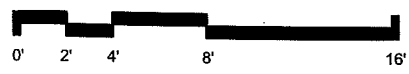
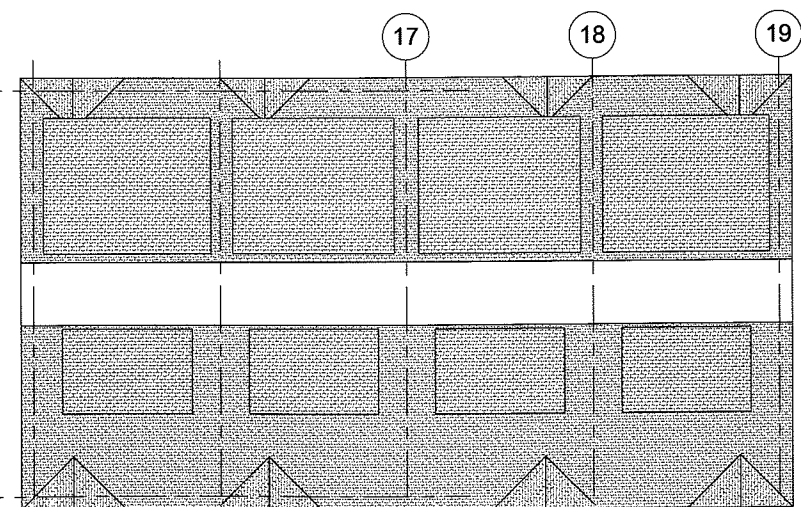
⑤ Units 26 to 27 - 3rd Floor Level
1/8" = 1'-0"



③ Units 26 to 27 - 1st Floor Level
1/8" = 1'-0"



⑥ Units 26 to 27 - 4th Floor Level
1/8" = 1'-0"

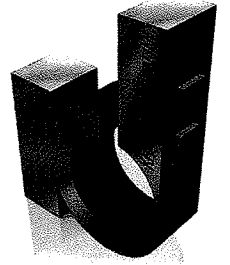


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
135 HARVEY STREET
CAMBRIDGE, MA 02140

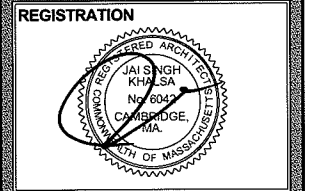
CLIENT
YOUNG INVESTMENT LLC

ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

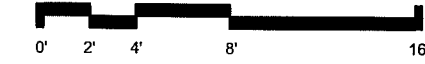


Project number 11003
Date 03-07-2011
Drawn by MG
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	PBI/ Neighbor Comments	04-26-2011
2	PBI/ Neighbor Comments	06-22-2011

Units 26 to 29
Floor Plans

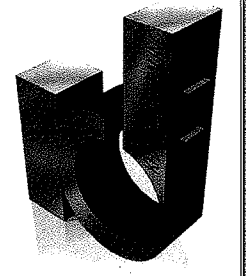


PROJECT NAME
HARVEY STREET RESIDENCES

PROJECT ADDRESS
 135 HARVEY STREET
 CAMBRIDGE, MA 02140

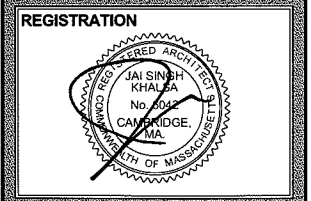
CLIENT
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KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number 11003
 Date 03-07-2011
 Drawn by MG
 Checked by JSK
 Scale 1/8" = 1'-0"

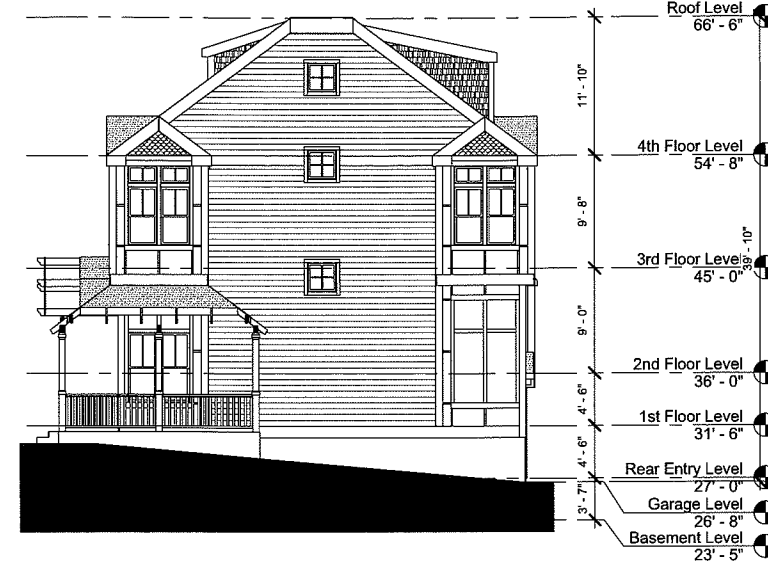
REVISIONS

No.	Description	Date
1	PB/ Neighbor Comments	04-26-2011
2	PB/ Neighbor Comments	06-22-2011

Units 26 to 29 Elevations



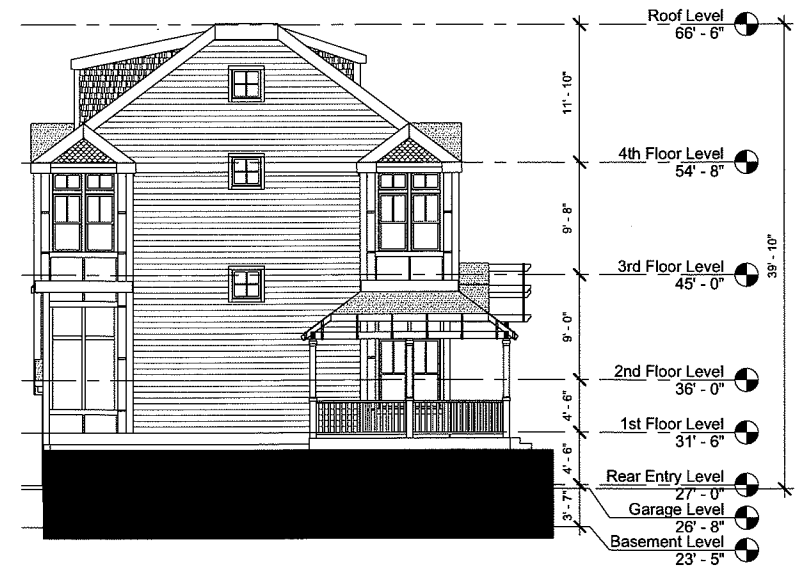
① Units 26 to 29 South Elevation
 1/8" = 1'-0"



② Units 26 to 29 East Elevation
 1/8" = 1'-0"



③ Units 26 to 29 North Elevation
 1/8" = 1'-0"



④ Units 26 to 29 West Elevation
 1/8" = 1'-0"