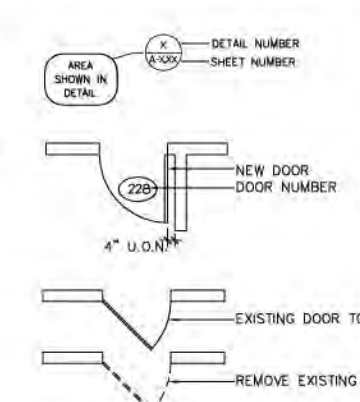
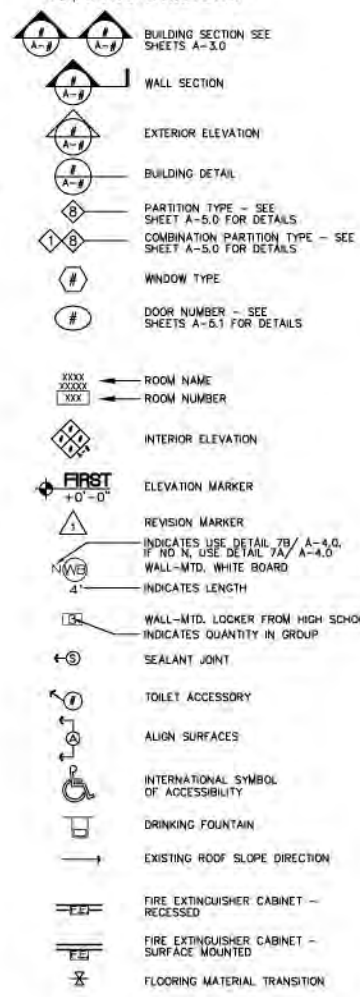


ABBREVIATIONS

A	A/C ACT ADJ. ADD'L AFF AHU AL ALUM ANC BOLT APPROX ARCH ASPH	AIR CONDITIONING ACOUSTICAL TILE ADJACENT ADDITIONAL ABOVE FINISH FLOOR AIR HANDLING UNIT ALTERNATE ALUMINUM ANCHOR BOLT APPROXIMATE ARCHITECT ASPHALT
B	BC BD BEJ BF BIT CONC BLDG BLK BLKG BM BOTT BSMT	BRICK COURSE BOARD BRICK EXPANSION JOINT BARRIER FREE BITUMINOUS CONCRETE BUILDING BLOCK BLOCKING BENCH MARK BOTTOM BASEMENT
C	CAB CH CP CJ CL CLG CLOS CLR CMU CNTR COL COMP CONC CONC CONSTR CONT CORR CPT CRS CT CN	CABINET CEILING HEIGHT CAST IN PLACE CONTROL JOINT CENTER LINE CLOSURE CEILING CLOSED CLEAR CONCRETE MASONRY UNIT COUNTER COLUMN COMPOSITION CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR CARPET COURSE(S) CONCRETE SEALER CERAMIC TILE CURTAIN WALL
D	DEMO D.F. DIAG DIM DL DN DS DX DWG DW	DEMOLITION DRINKING FOUNTAIN DIAGONAL DIMENSION DRAIN LEADER DOWN DOWNSPOUT DUPLEX DRAWING DISHWASHER
E	EA EG EF EJ ELC EL ELV EMER ENCL EP EQ EQUIP EXH EXIST EXP EXT EW EWC	EACH EGG CRATE EACH FACE EXPANSION JOINT ELECTRIC ELEVATION ELEVATOR EMERGENCY ENCLOSURE EPOXY PAINT EQUAL EQUIPMENT EXHAUST EXISTING EXPANSION EXTERIOR EACH WAY ELECTRIC WATER COOLER
F	FACP FCU FD FDN FE FEC FF FFE FIN FLASH FLR FLUR FOC FOR FOM FDS FP FTC FUR	FIRE ALARM CONTROL PANEL FAN COIL UNIT FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FINISH FLOOR ELEVATION FINISH FIBERGLASS FLASHING FLOOR FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FADE OF STUD FIREPROOFING FOOTING FURRING
G	GA GALV GBD GB GD GRG GUM GWB GYP	GALVE GALVANIZED GYPSUM BOARD GYPSUM BASE GARAGE DRAIN GLASS FIBER REINFORCED GLASS UNIT MASONRY GYPSUM WALL BOARD GYPSUM
H	HD HDWD HDMR HM HMR HPL HT HVAC	HEAVY DUTY HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HIGH PRESSURE LAMINATE HEIGHT HEATING VENTILATING AIR CONDITIONING
I	ID INFO INSUL INT	INSIDE DIAMETER INFORMATION INSULATION INTERIOR
J	JT	JOINT
L	LAM LAY LCC LF LH LP LWT	LENGTH LAMINATE LAVATORY LEAD COATED COPPER LIGHT FIXTURE LINEN CLOSET LOW POINT LIGHT WEIGHT
M	MAR MAS MAX MB MCH MIN MISC MFR MLD M.O. MR MTL/MET	MARBLE MASONRY MAXIMUM MARKER BOARD MECHANICAL MINIMUM MISCELLANEOUS MANUFACTURER MOLDED MASONRY OPENING MOISTURE RESISTANT METAL
N	NA NIC NOM NTS NO	NOT APPLICABLE NOT IN CONTRACT NOMINAL NOT TO SCALE NUMBER

GRAPHIC SYMBOLS



General Notes

DIMENSIONS INDICATED WITH A "M" REPRESENT ASSUMED DIMENSIONS REQUIRED FOR SPECIFIC CLEARANCES OR PARTITION LOCATIONS. DIMENSIONS SO INDICATED ARE TO BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS AND RELATED TO THE ARCHITECT FOR COORDINATION.

DIMENSIONS AND DETAILS OF THE EXISTING CONSTRUCTION HAVE BEEN ESTABLISHED TO THE BEST POSSIBLE EXTENT FROM FIELD MEASUREMENTS, AND INVESTIGATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS AND CONDITIONS AS SHOWN ON THE DRAWINGS, BOTH EXISTING AND PROPOSED, BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCY, VARIANCE OR DEFECT SHALL BE REPORTED TO THE ARCHITECT. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN THE AFFECTED AREAS WITHOUT INSTRUCTIONS FROM THE ARCHITECT EXCEPT FOR PROVISIONAL SAFETY MEASURES, IF ANY.

OTHER NOTES, ABBREVIATIONS, SYMBOLS, MATERIAL AND EQUIPMENT DESIGNATIONS APPEAR ON OTHER DRAWINGS. THIS PAGE IS NOT INTENDED TO BE ALL INCLUSIVE.

5 Western Avenue

CAMBRIDGE HOUSING AUTHORITY OFFICES
CITY OF CAMBRIDGE - MULTI SERVICE CENTER + COMMUNITY LEARNING CENTER
5 WESTERN AVENUE
CAMBRIDGE, MA

SCHEMATIC DESIGN

MARCH 4, 2011



List of Drawings

- COVER SHEET**
- CIVIL AND LANDSCAPE**
- TP-1 COMPLETED TOPOGRAPHIC PLAN
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 - C-400 LANDSCAPE PLAN, 4TH FLOOR TERRACE
 - C-500 UTILITY PLAN
 - C-600 SITE DETAILS
 - C-601 SITE DETAILS
 - C-602 NOTES, REFERENCES, LEGEND AND DETAILS
- ARCHITECTURAL**
- PLANS**
- D-100 BASEMENT DEMOLITION PLAN
 - D-101 FIRST FLOOR & MEZZANINE DEMOLITION PLANS
 - D-102 SECOND FLOOR DEMOLITION PLAN
 - D-103 THIRD FLOOR DEMOLITION PLAN
 - D-104 FOURTH FLOOR DEMOLITION PLAN
 - D-105 ATTIC DEMOLITION PLAN
 - D-106 ROOF DEMOLITION PLAN
 - D-200 DEMOLITION EXTERIOR ELEVATION
 - D-201 DEMOLITION EXTERIOR ELEVATION
 - D-202 DEMOLITION EXTERIOR ELEVATION
 - D-203 DEMOLITION EXTERIOR ELEVATION
- EXTERIOR ELEVATIONS**
- A-100 BASEMENT PLAN
 - A-101 FIRST FLOOR AND MEZZANINE PLANS
 - A-102 SECOND FLOOR PLANS
 - A-103 THIRD FLOOR PLANS
 - A-104 FOURTH FLOOR PLANS
 - A-105 ATTIC FLOOR PLAN
 - A-106 ROOF PLAN
 - A-108 FIRST FLOOR AND MEZZANINE REFLECTED CEILING PLANS
 - A-109 SECOND FLOOR REFLECTED CEILING PLANS
 - A-110 THIRD FLOOR REFLECTED CEILING PLANS
 - A-111 FOURTH FLOOR REFLECTED CEILING PLANS
 - A-112 ATTIC REFLECTED CEILING PLANS
- EXTERIOR ELEVATIONS**
- A-200 EXTERIOR ELEVATIONS
 - A-201 EXTERIOR ELEVATIONS
 - A-202 EXTERIOR ELEVATIONS
 - A-203 EXTERIOR ELEVATIONS
- SECTIONS**
- A-301 BUILDING SECTIONS
 - A-302 BUILDING SECTIONS
 - A-303 WALL SECTION
- STRUCTURAL**
- S-01 TYPICAL DETAILS
 - S-10 FOUNDATION PLAN
 - S-11 FIRST FLOOR FRAMING PLAN
 - S-12 MEZZANINE FLOOR FRAMING PLAN
 - S-13 SECOND FLOOR FRAMING PLAN
 - S-14 THIRD FLOOR FRAMING PLAN
 - S-15 FOURTH FLOOR FRAMING PLAN
 - S-16 ATTIC FRAMING PLAN
 - S-17 ROOF FRAMING PLAN

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Green Design Consultant
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Concord, MA 01742
T (978) 369 8978

Locus Map



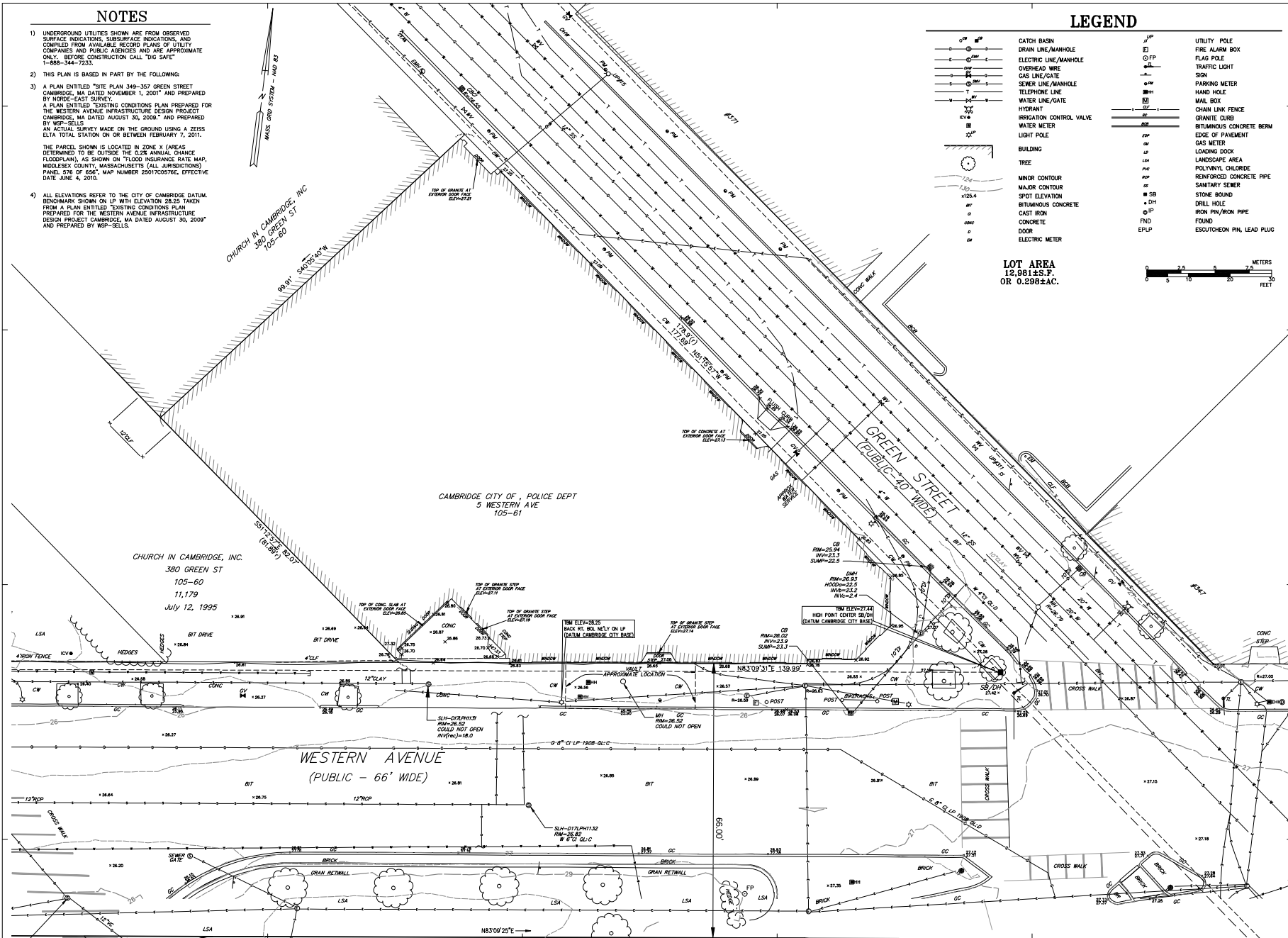
NOTES

- UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233.
- THIS PLAN IS BASED IN PART BY THE FOLLOWING:
 - A PLAN ENTITLED "SITE PLAN 349-357 GREEN STREET CAMBRIDGE, MA DATED NOVEMBER 1, 2001" AND PREPARED BY NORDEAST SURVEY.
 - A PLAN ENTITLED "EXISTING CONDITIONS PLAN PREPARED FOR THE WESTERN AVENUE INFRASTRUCTURE DESIGN PROJECT CAMBRIDGE, MA DATED AUGUST 30, 2009," AND PREPARED BY MSP-SELLS.
 - AN ACTUAL SURVEY MADE ON THE GROUND USING A ZEISS ELTA TOTAL STATION ON OR BETWEEN FEBRUARY 7, 2011.
- THE PARCEL SHOWN IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON "FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 678 OF 656", MAP NUMBER 25017C0576E, EFFECTIVE DATE JUNE 4, 2010.
- ALL ELEVATIONS REFER TO THE CITY OF CAMBRIDGE DATUM. BENCHMARK SHOWN ON LP WITH ELEVATION 28.25 TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN PREPARED FOR THE WESTERN AVENUE INFRASTRUCTURE DESIGN PROJECT CAMBRIDGE, MA DATED AUGUST 30, 2009" AND PREPARED BY MSP-SELLS.

LEGEND

	CATCH BASIN		UTILITY POLE
	DRAIN LINE/MANHOLE		FIRE ALARM BOX
	ELECTRIC LINE/MANHOLE		FLAG POLE
	OVERHEAD WIRE		TRAFFIC LIGHT
	GAS LINE/GATE		SIGN
	SEWER LINE/MANHOLE		PARKING METER
	TELEPHONE LINE		HAND HOLE
	WATER LINE/GATE		MAIL BOX
	HYDRANT		CHAIN LINK FENCE
	IRRIGATION CONTROL VALVE		GRANITE CURB
	WATER METER		BITUMINOUS CONCRETE BERM
	LIGHT POLE		EDGE OF PAVEMENT
	BUILDING		GAS METER
	TREE		LOADING DOCK
	MINOR CONTOUR		LANDSCAPE AREA
	MAJOR CONTOUR		POLYVINYL CHLORIDE
	SPOT ELEVATION		REINFORCED CONCRETE PIPE
	BITUMINOUS CONCRETE		SANITARY SEWER
	CAST IRON		STONE BOUND
	CONCRETE		DRILL HOLE
	DOOR		IRON PIN/IRON PIPE
	ELECTRIC METER		FOUND
			ESCUTCHEON PIN LEAD PLUG

LOT AREA
12,981 ± S.F.
OR 0.298 ± AC.



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DRAWING TITLE
COMPILED
TOPOGRAPHIC
PLAN

Prepared By:
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SCALE
1"=10'

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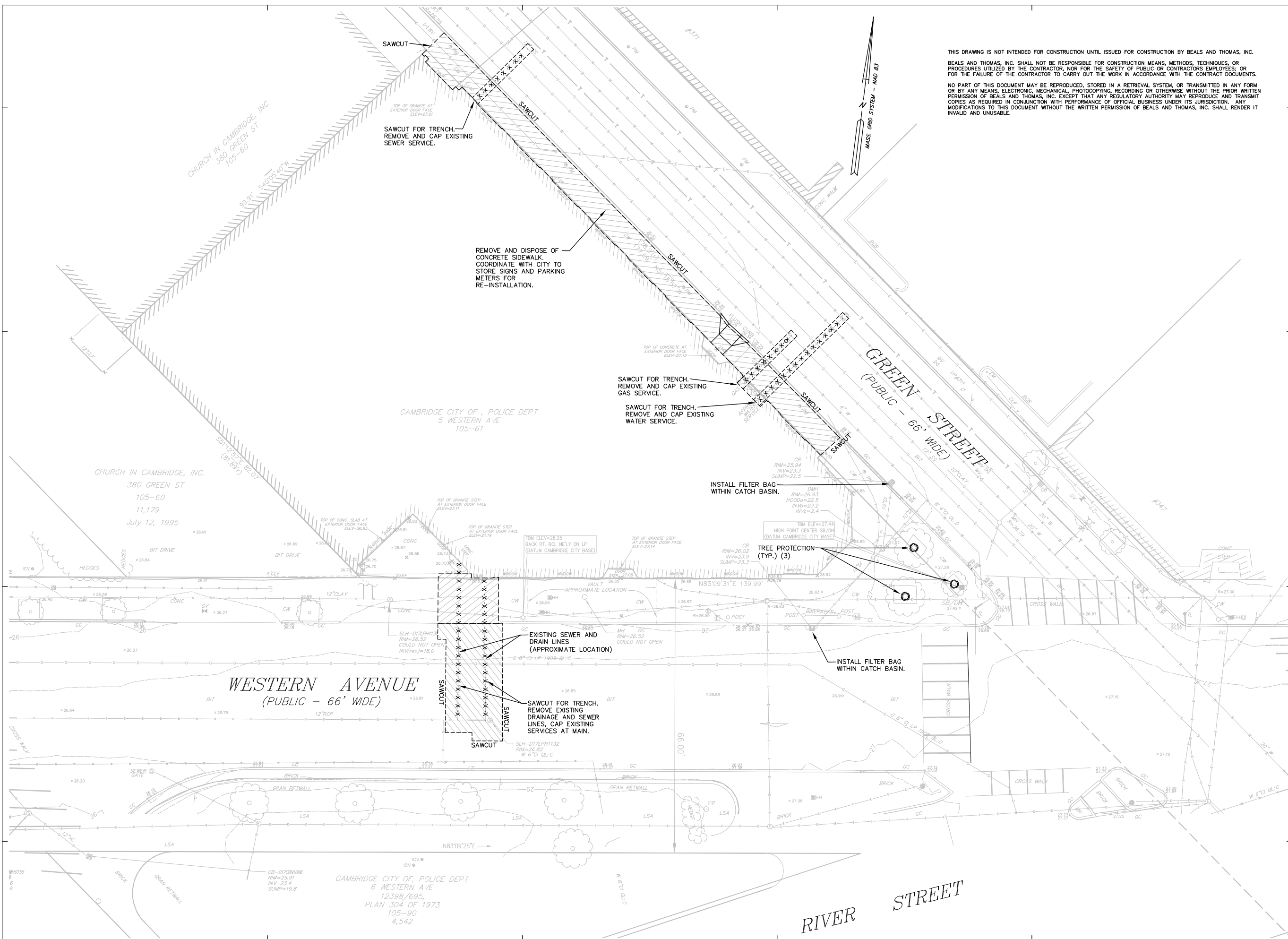
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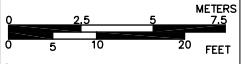
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Prepared By:
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PROJECT NORTH



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LAYOUT AND
MATERIALS
PLAN

Prepared By:
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SOUTHBOROUGH, MA



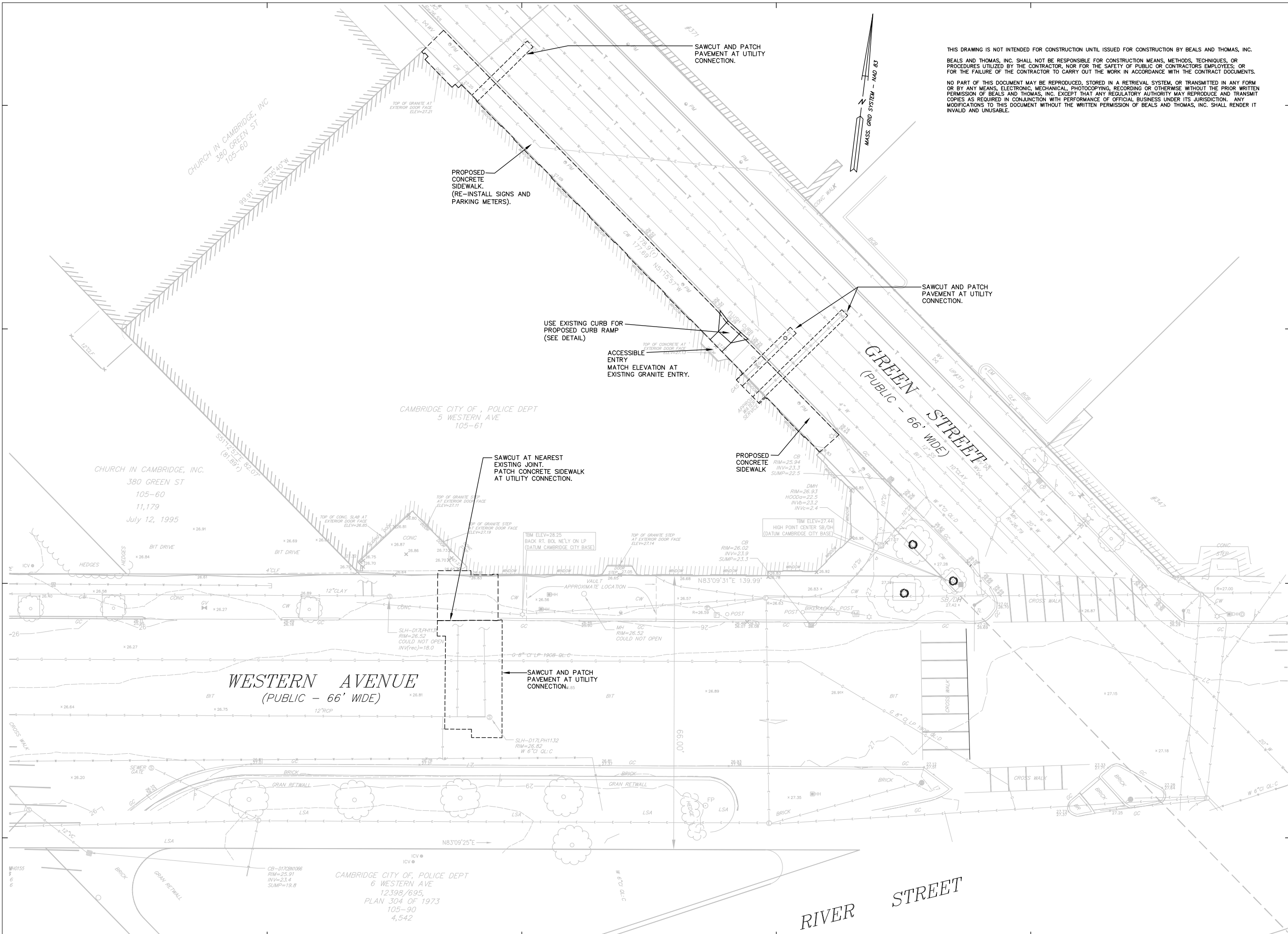
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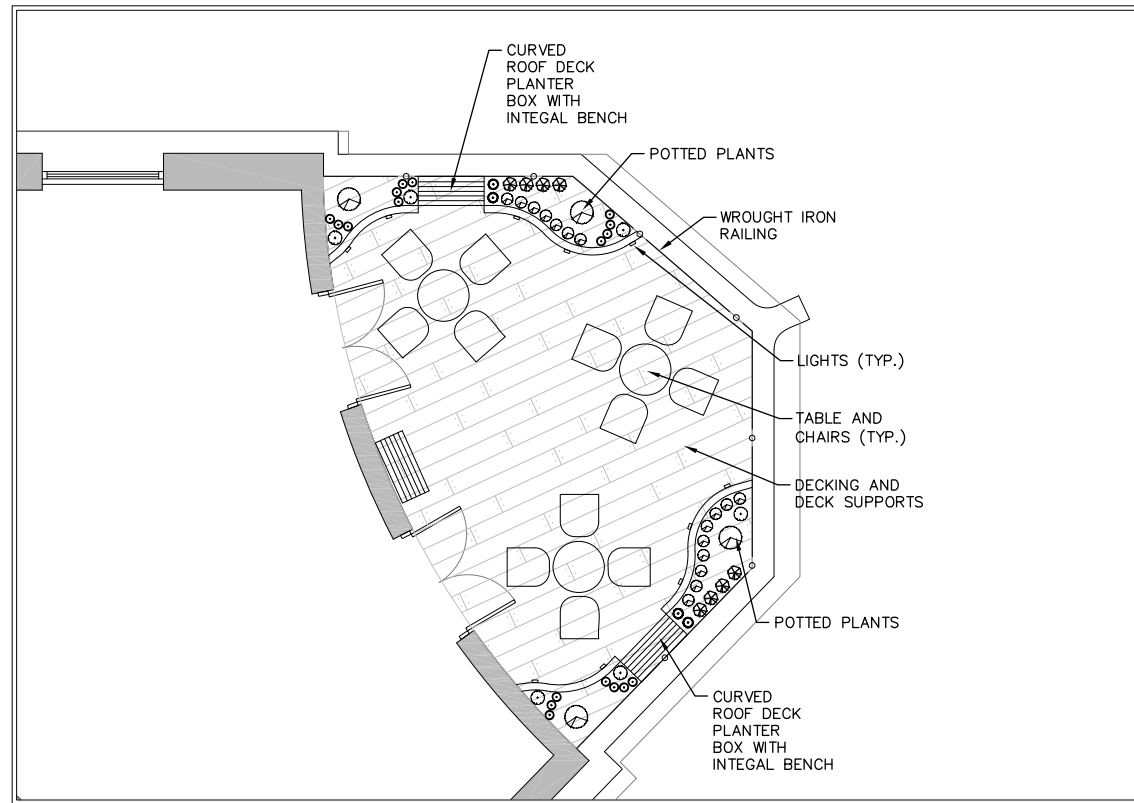
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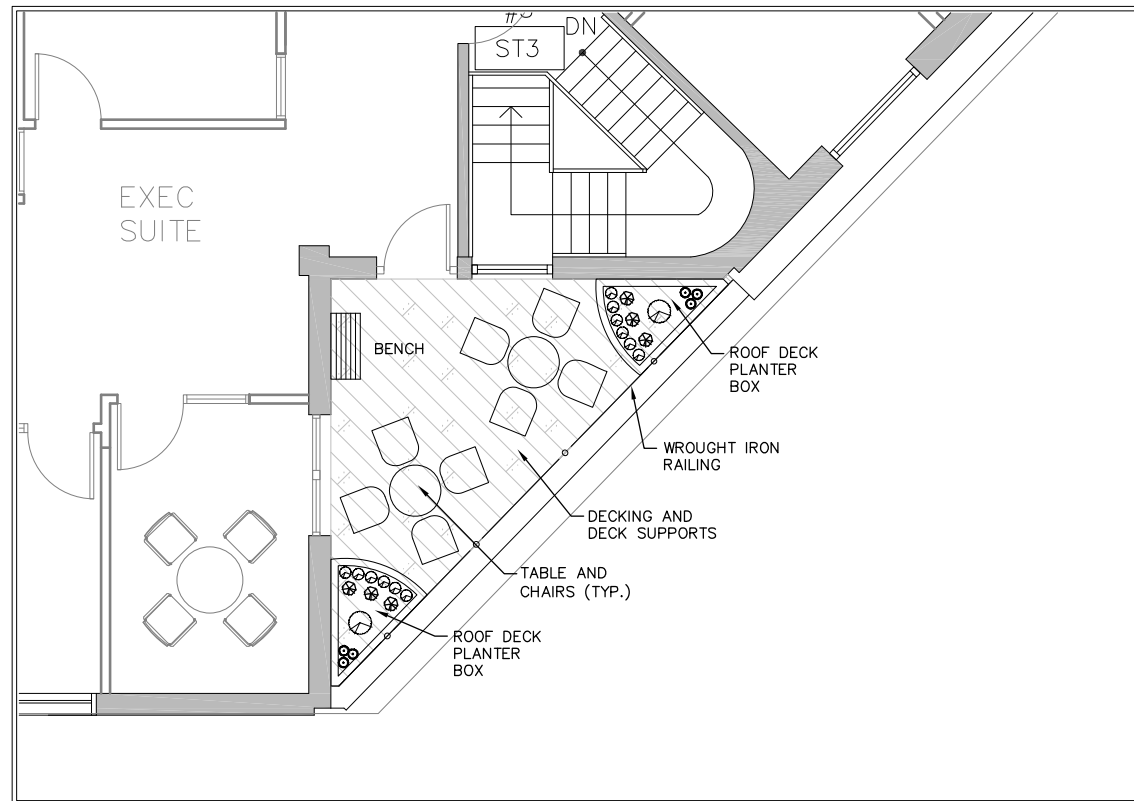
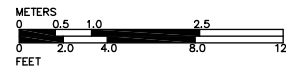
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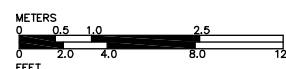
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4TH. FLOOR TERRACE A



4TH. FLOOR TERRACE B



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TERRACE MATERIAL SELECTION

Key	Quantity	Item	Manufacturer	Description
	5	Tables	Landscape Forms, Kalamazoo, MI	Catena, Powdercoated silver, 30 inch diameter, free standing model
	20	Chairs	Landscape Forms, Kalamazoo, MI	Catena, Powdercoated silver
	See Plan	Decking	Montreal Deck, www.montrealdeck.com	Softline, Merbeau.
	See Plan	Deck Supports	Montreal Deck, www.montrealdeck.com	Buzon, polypropylene terrace pedestal, DPH series
	4	Planter Boxes	City Decks New York, www.citydecksny.com	Custom built planter boxes and Integral bench.
	10	Planter Box Lights	Vibe Lighting, www.vibelighting.com	316 Marine Grade Stainless Steel Round LED Deck Light, Warm White
	See Plan	Railing		Wrought Iron Railing, to be specified by Architect
	Allowance	Plantings		Potted Plants- Allowance \$1900 Corner- Corylus Avelana 'Contorta' Potted Plants to be Determined

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LANDSCAPE
PLAN
4TH. FLOOR
TERRACE

Prepared By:
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SOUTHBOROUGH, MA

PROJECT
NORTH



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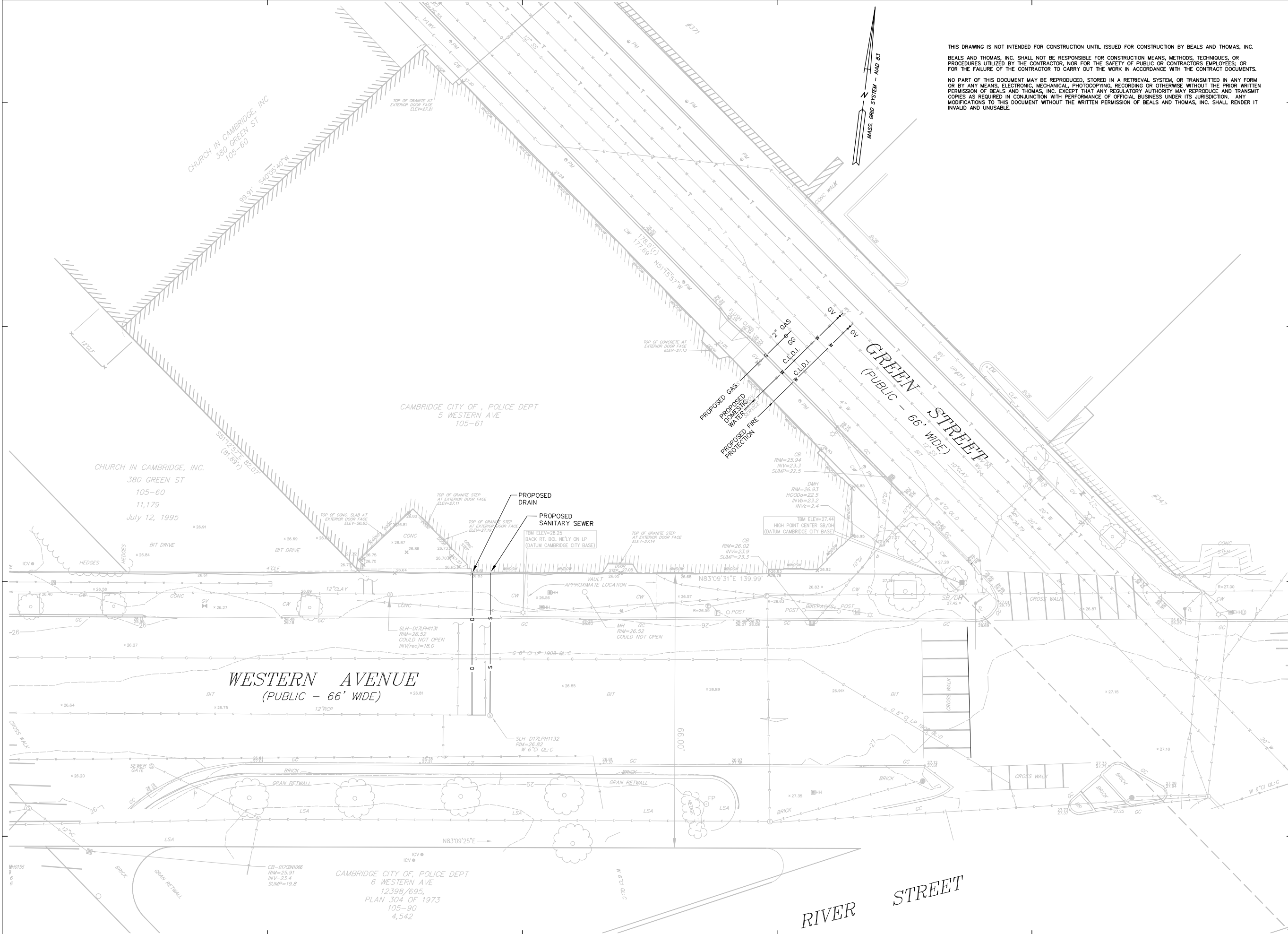
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**UTILITY
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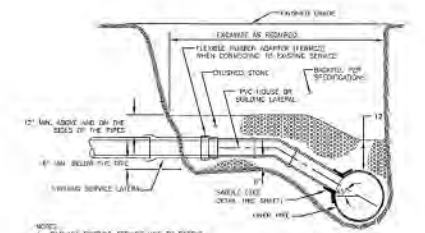
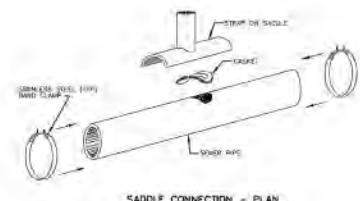
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C-500



SEWER OR DRAIN SERVICE CONNECTION SADDLE CONNECTION

CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS
 SCALE: N.T.S. DATE OF ISSUE: 03/06 SPEC. SECTION REF#: 02632 2622.3



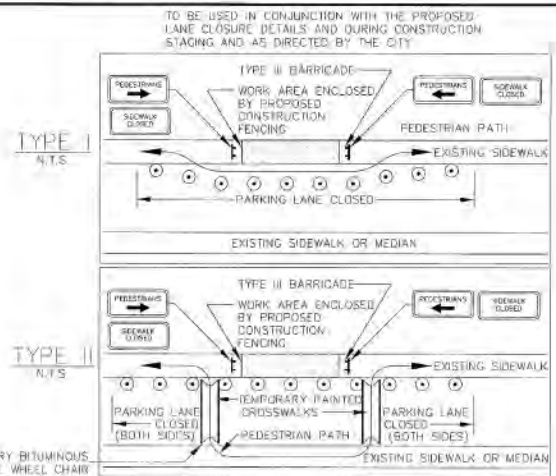
EXISTING PIPE MATERIAL		NEW PIPE MATERIAL				
	BRICK	RCP	DI	VC	PLASTIC	
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RCP	1	1	1	1	1	
DI	1	1	2	2	2	
VC	1	1	2	2	2	
PLASTIC	1	1	2	2	2	

PIPE CONNECTION TABLE*

TYPE 1 = CONCRETE COLLAR
 TYPE 2 = TRANSITION COUPLING (DRESSLY OR EQUAL)
 * SERVICE LATERALS 200mm [8"] OR LESS SHALL BE FERRIS-TYPE

PIPE TO PIPE CONNECTIONS

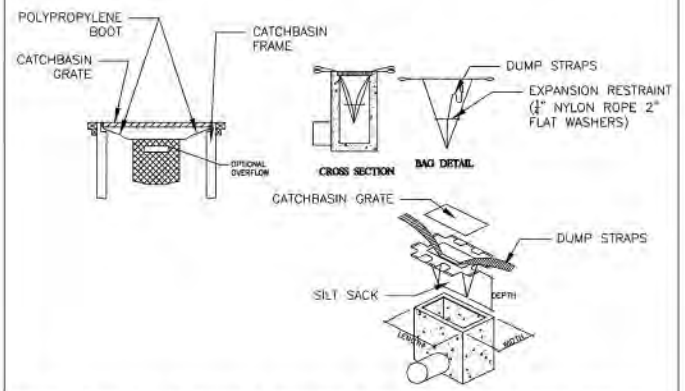
CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS
 SCALE: N.T.S. DATE OF ISSUE: 4/04 SPEC. SECTION REF#: 02632 2622.4



- TEMPORARY BITUMINOUS CONCRETE WHEEL CHAIR PLANKS WIDTH AND LENGTH PER ADA REQUIREMENTS BUT SHALL NOT INTRUDE INTO TRAVEL WAY
- PEDESTRIAN BYPASS NOTES:
1. ADDITIONAL ADVANCE WARNING MAY BE REQUIRED BY THE CITY.
 2. CONTROLS FOR PEDESTRIAN TRAFFIC ONLY, ARE SHOWN. VEHICULAR TRAFFIC SHALL BE MAINTAINED AS DETAILED ELSEWHERE.
 3. STREET LIGHTING SHALL BE CONSIDERED WHEN LOCATING CONTROL DEVICES.
 4. EXISTING WHEELCHAIR RAMPS SHALL BE CONSIDERED WHEN LOCATING TEMPORARY PAINTED CROSSWALKS.
 5. DIRECTION OF PEDESTRIAN TRAVEL.
 6. IF THE WORK ZONE DOES NOT PERMIT PEDESTRIANS TO TRAVEL ADJACENT TO IT AS SHOWN IN PEDESTRIAN BYPASS TYPE I, TEMPORARY CROSSWALKS WITH APPROPRIATE SIGNS SHALL BE INSTALLED TO CROSS PEDESTRIANS TO THE OPPOSITE SIDE OF THE STREET AS SHOWN IN PEDESTRIAN BYPASS TYPE II AND AS DIRECTED BY THE ENGINEER.

PEDESTRIAN BYPASS DETAIL

CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS
 SCALE: N.T.S. DATE OF ISSUE: 02/05 SPEC. SECTION REF#: D1570 1570.8

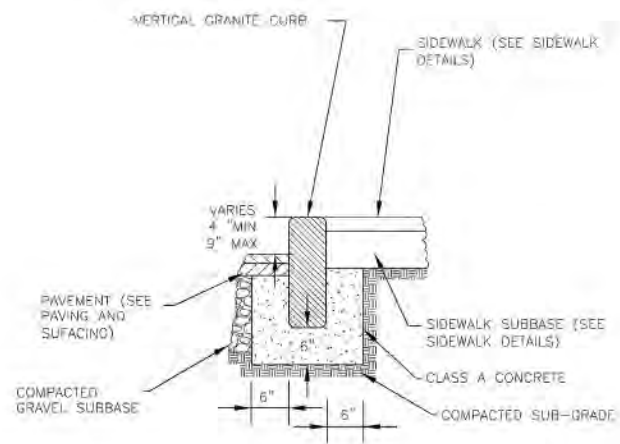


THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS SHEET, OVERLAND AND CONCENTRATED FLOWS (NOT GREATER THAN 1 CFS). THE METHOD CAN DRAIN FLAT AREA TO STEEP SLOPES. INLET CAPACITY WILL DECREASE WITH THIS METHOD AND CONTRACTOR SHALL EXPECT FLOODING TO OCCUR DURING HIGH FLOW EVENTS. INSPECTION SCHEDULE SHALL COMPLY WITH THE 2008 EPA CONSTRUCTION GENERAL PERMIT MAINTENANCE SHALL OCCUR WHEN NECESSARY. SILT SACKS SHALL BE CLEANED ONCE THE BAG IS FILLED HALF WAY WITH DEBRIS. CONTRACTOR SHALL REMOVE SILT SACK AND PLACE NEW UNIT. DO NOT EMPTY SILT SACK CONTENTS INTO THE CATCHBASIN.

CATCH BASIN W/ SILT SACK INLET PROTECTION
 NOT TO SCALE

INLET PROTECTION
 CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS

SCALE: N.T.S. DATE: 07/09 DRAWN BY: McLANE



VERTICAL GRANITE CURB DETAIL

CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS
 SCALE: N.T.S. DATE OF ISSUE: 02/05 SPEC. SECTION REF#: 02524 2524.1



- EROSION AND SEDIMENT CONTROL NOTES
1. PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF ALL LAND DISTURBANCE ON THE SITE WITH SAFE, SOLID OR Durable CONSTRUCTION FENCE. WHAT WORKERS CAN SEE THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL REMAIN IN PLACE UNTIL A CERTIFICATE OF COMPLETION HAS BEEN ISSUED.
 2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE RETAINED AND RETURNED WITHIN THE PROJECT AREA. INCLUDING WHEELS AND SURFACE WATER SHALL BE PROTECTED FROM SEDIMENT.
 3. MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
 4. THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE UNNECESSARY AREAS OF DISTURBANCE. WASH CLEANING AND DEBRIS OF THE DRIVE SIDE SHALL BE AVOIDED.
 5. MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
 6. DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
 7. INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OF THE 2008 EPA'S CONSTRUCTION GENERAL PERMIT.
 8. PRETECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (STORAGE AND STOCKPILES OF SOIL, SAND, GRAVEL OR OTHER AREAS USED RELIANT BY THE PERMITTED PROJECT AND CONSIDERED A PART OF THE PROJECT).
 9. COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
 10. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 5/8 TO 1/2 THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM ALL FILTERS PRIOR TO REACHING THE STORAGE CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN 5/8 TO 1/2 THE HEIGHT.
 11. SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DEBRIS CARRYING HAS BEEN REDUCED BY 50 PERCENT.
 12. BMPs TO BE USED FOR VEGETATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNIQUES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THIS MUST BE PREVENTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
 13. SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 3:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROL.
 14. FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERMITTED SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTROL SOIL.
 15. A TRAPPING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED OFF-ROADWAYS AND OFF THE SITE.
 16. ON THE CUT SIDE OF ROAD, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS, OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS HYDROSEEDING OR LIME MATING.
 17. PERMANENT SEEDING SHALL BE UNDERTAKEN BY THE SPRING FROM WHICH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM SUCCESS TO BE UNDERTAKEN BY SPRING. THE PERMANENT SEEDING SHALL BE UNDERTAKEN IN EARLY OCTOBER. ALL BARE SOILS SHALL BE COVERED OR STABILIZED WITHIN 14 DAYS OF EXPOSURE. APPROPRIATE TEMPORARY STABILIZATION SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. APPROPRIATE TEMPORARY STABILIZATION SHALL BE UNDERTAKEN DURING THE WINTER IF PLANS PROVIDED FOR ALTERNATE MEASURES AND MATERIALS.
 18. ALL SLOPES STEEPER THAN 3:1 (3% TO 33.3%), AS WELL AS FORMED DRAINS, SEDIMENT BASINS OR SWALS, AND CONCRETE FOUNDATION SHALL BE IMMEDIATELY STABILIZED WITH SOIL SEEDS AND PROPOSED STRAW MATS OR OTHER APPROVED STABILIZATION MEASURES AREAS OUTSIDE OF THE PERMITTED SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED.
 19. TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
 20. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION INCLUDING SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
 21. PROPERLY MANAGE ON-SITE CONSTRUCTION AND WASTE MATERIALS.
 22. PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENT.
 23. DUST SHALL BE CONTROLLED AT THE SITE.
 24. ALL TEMPORARILY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS WITHIN 14 DAYS IF LEFT UNOCCUPIED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
 25. IF WORK IS HALTED OVER WINTER HAVING THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH CONSERVATIVE PRACTICES.



EROSION AND SEDIMENT CONTROL NOTES
 CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS
 SCALE: N.T.S. DATE: 07/09 DRAWN BY: McLANE

CHA Offices

5 Western Avenue
 Cambridge, MA 02139
 Cambridge Housing Authority
 Owner
 CAMBRIDGE, MA

Finegold Alexander + Associates Inc
 Architects and Preservation Planners
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 RDK Engineers Mechanical/Plumbing Engineers
 ANDOVER, MA

ART Engineers Mechanical/Plumbing Engineers
 WORCESTER, MA

Beals + Thomas Civil Engineers Landscape Architects
 SOUTHBOROUGH, MA

DRAWING TITLE

SITE DETAILS

Prepared By:
 Beals + Thomas Civil Engineers Landscape Architects
 SOUTHBOROUGH, MA

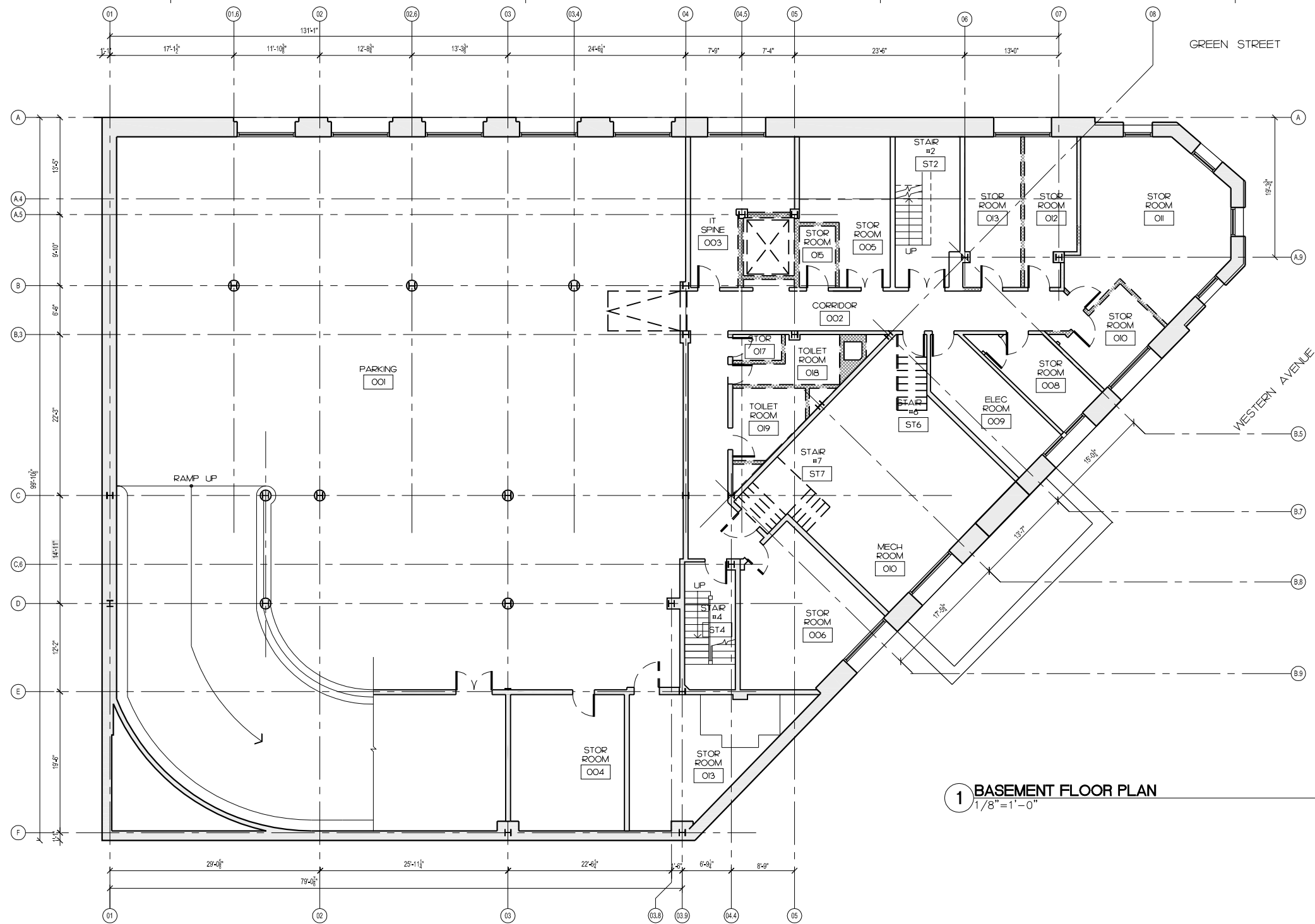


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REVISIONS

NO.	DATE	DESCRIPTION
1/4/11	SCHEMATIC DESIGN	
	SCALE	AS NOTED
	DATE	MARCH 4, 2011
	DRAWN BY	JRA
	CHECKED BY	
	PROJECT NUMBER	2185.00
	DRAWING NUMBER	

C-601



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"

DEMOLITION KEY

- AREA OF EXIST. FLOOR SLAB TO BE DEMOLISHED FOR INSTALLATION OF NEW STAIR, STRUCTURE, MECHANICAL OR PLUMBING
- REMOVE EXISTING FINISHES AT WALL DOWN TO EXISTING SUBSTRATE
- EXISTING MASONRY OR STUD WALL TO REMAIN
- EXIST. MASONRY PARTITION OR PORTION THEREOF TO BE REMOVED
- DEMOLISH EXIST. STUD WALL - REFER TO DEMOLITION NOTES FOR FURTHER INFORMATION
- DEMOLISH EXIST. WINDOWS, FRAMES TRIM CASING AND ASSOCIATED HARDWARE
- EXIST. DOOR, FRAME, TRIM, THRESHOLD AND ASSOCIATED HARDWARE TO BE REMOVED

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
3. ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO CLAIM ANY EXISTING MATERIAL SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER'S REQUIREMENTS.
4. PROVIDE ALL DEMOLITION WORK IN ORDER TO FACILITATE THE APPLICATION OF ALL NEW WORK. AT THE CONCLUSION OF ALL DEMOLITION LEAVE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
5. THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
6. PRIOR TO DEMOLITION ALL UTILITIES SHALL BE MADE SAFE. THEREAFTER, REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND ACCESSORIES.
7. REMOVE ALL EXISTING MECHANICAL EQUIPMENT AND ACCESSORIES.
8. REMOVE ALL EXISTING PLUMBING AND ACCESSORIES.
9. DEMOLITION REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT, PLUMBING, FIRE PROTECTION AND ELECTRICAL SERVICES THROUGHOUT THE BUILDING NOT SPECIFICALLY SHOWN ON THE DEMOLITION DRAWINGS IS REQUIRED AND SHOULD BE COORDINATED WITH THE LOCATIONS OF THESE SERVICES AS SHOWN ON THEIR RESPECTIVE DRAWINGS AND IN THE PROJECT MANUAL.
10. PROVIDE TEMPORARY STABILIZATION, SHORING AND BRACING DURING COMMENCEMENT OF DEMOLITION AND NEW WORK. MAINTAIN TEMPORARY SHORING AND BRACING AS REQUIRED DURING CONSTRUCTION AND PLACEMENT OF NEW ELEMENTS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
11. REMOVE ALL STUD FRAMED WALLS OR MASONRY WALLS AND ALL ATTACHED CONSTRUCTION FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AS INDICATED IN THE DEMOLITION PLANS.
12. REMOVE ALL EXISTING SUSPENDED/APPLIED CEILING FINISHES, SOFFITS AND ASSOCIATED HARDWARE UNLESS NOTED OTHERWISE.
13. REMOVE ALL EXISTING PLASTER, LATH, GWB ETC FINISHES AT ALL EXTERIOR WALLS DOWN TO MASONRY SUBSTRATE.
14. ALL LOOSE FURNISHINGS AND EQUIPMENT LEFT IN PLACE PRIOR TO THE START OF DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS SO OTHERWISE DIRECTED.



**PROGRESS
MAY 20, 2011**

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REVISIONS	

SCALE
1/8"=1'-0"

DATE
03/04/2011

DRAWN BY
SM

CHECKED BY
RB

PROJECT NUMBER
33410.00

DRAWING NUMBER



**PROGRESS
MAY 20, 2011**

REVISIONS	

SCALE
1/8"=1'-0"

DATE
03/04/2011

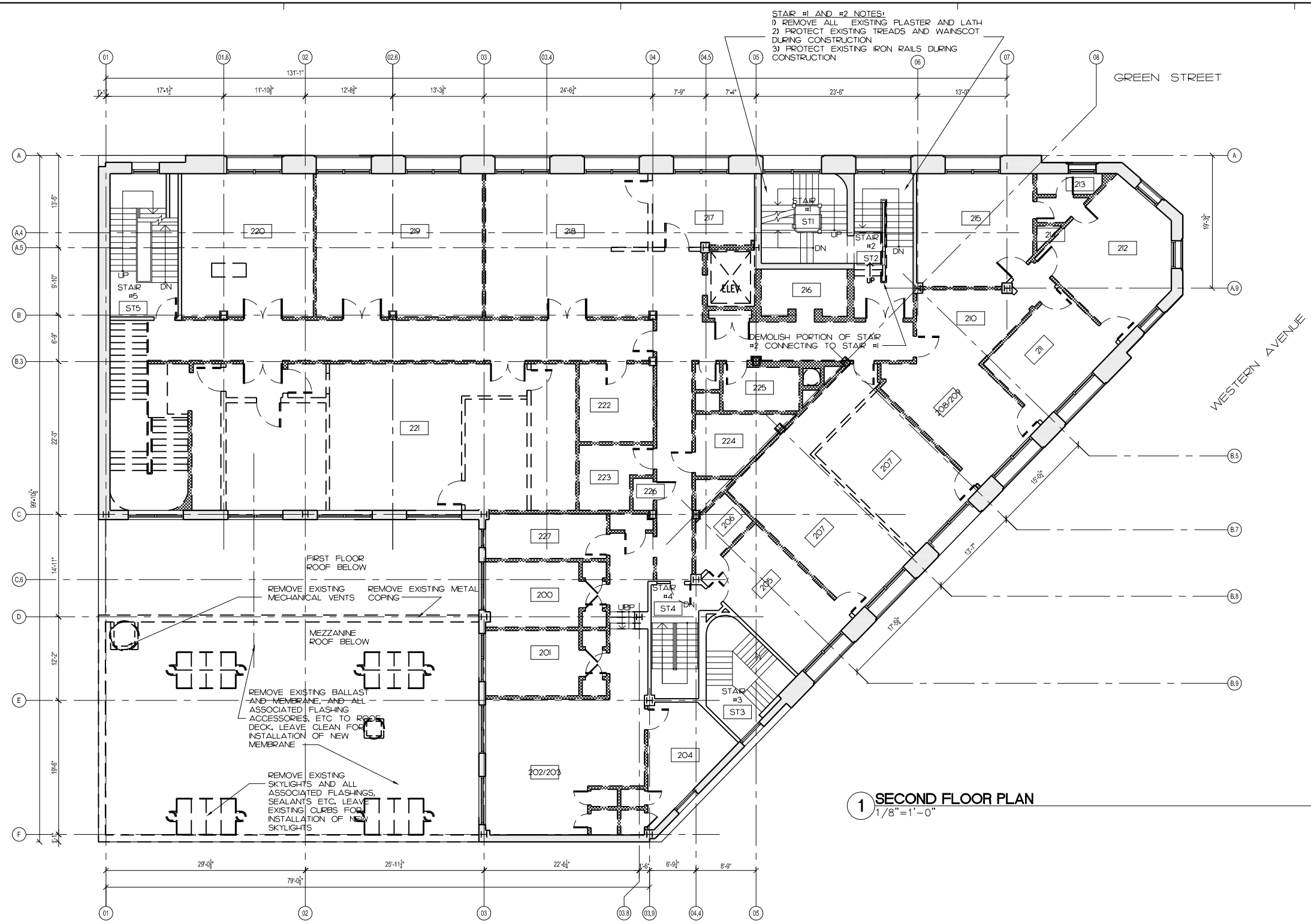
DRAWN BY
SM

CHECKED BY
RB

PROJECT NUMBER
33410.00

DRAWING NUMBER

D-102



STAR #1 AND #2 NOTES:
1) REMOVE ALL EXISTING PLASTER AND LATH
2) PROTECT EXISTING TREADS AND WAINSCOT
DURING CONSTRUCTION
3) PROTECT EXISTING IRON RAILS DURING
CONSTRUCTION

1 SECOND FLOOR PLAN
1/8"=1'-0"

DEMOLITION KEY

- AREA OF EXIST. FLOOR SLAB TO BE DEMOLISHED FOR INSTALLATION OF NEW STAIR, STRUCTURE, MECHANICAL OR PLUMBING
- REMOVE EXISTING FINISHES AT WALL DOWN TO EXISTING SUBSTRATE
- EXISTING MASONRY OR STUD WALL TO REMAIN
- EXIST. MASONRY PARTITION OR PORTION THEREOF TO BE REMOVED
- DEMOLISH EXIST. STUD WALL - REFER TO DEMOLITION NOTES FOR FURTHER INFORMATION
- DEMOLISH EXIST. WINDOWS, FRAMES TRIM CASING AND ASSOCIATED HARDWARE
- EXIST. DOOR, FRAME, TRIM, THRESHOLD AND ASSOCIATED HARDWARE TO BE REMOVED

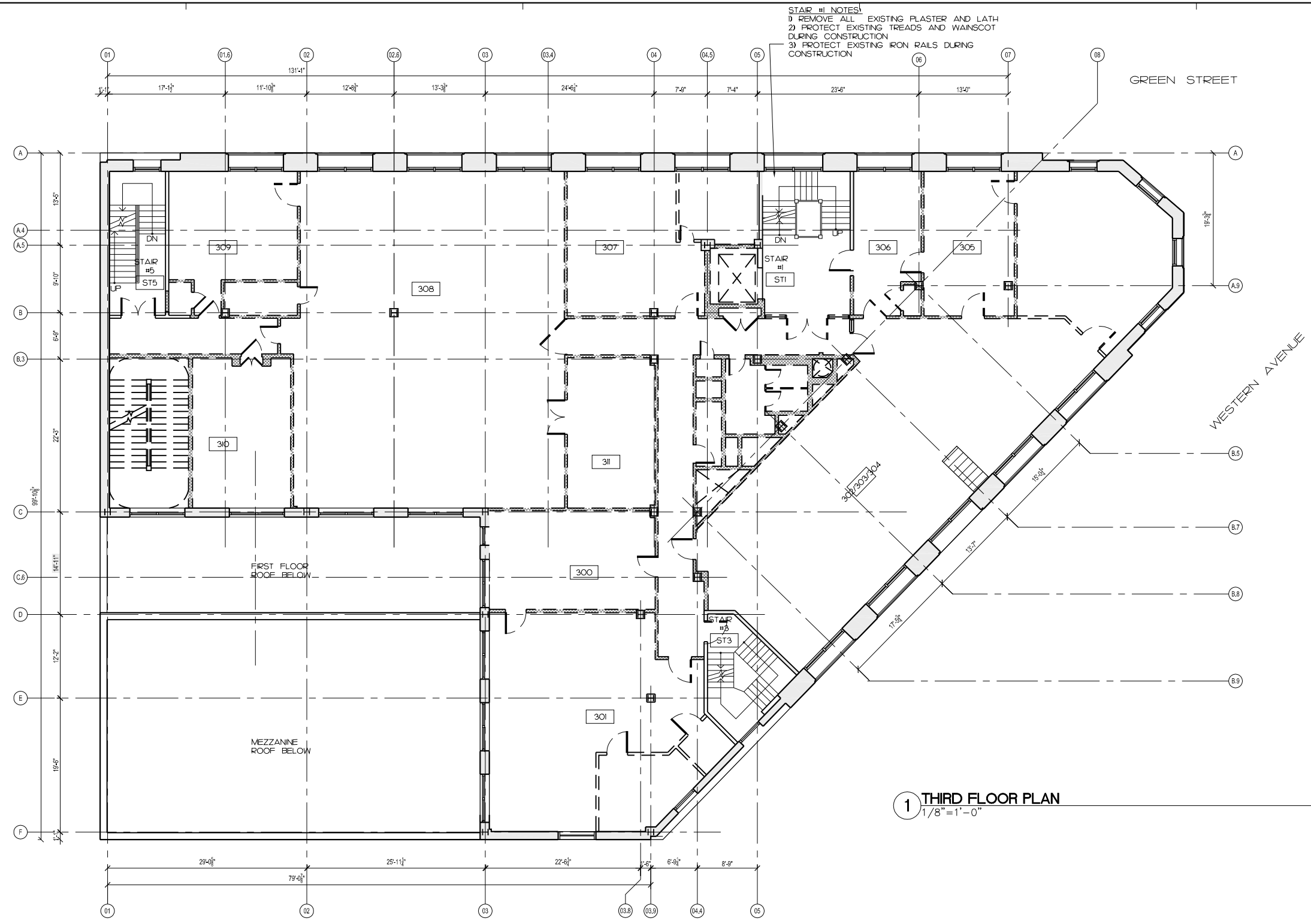
DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
3. ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO CLAIM ANY EXISTING MATERIAL, SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER'S REQUIREMENTS.
4. PROVIDE ALL DEMOLITION WORK IN ORDER TO FACILITATE THE APPLICATION OF ALL NEW WORK. AT THE CONCLUSION OF ALL DEMOLITION LEAVE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
5. THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
6. PRIOR TO DEMOLITION ALL UTILITIES SHALL BE MADE SAFE. THEREAFTER, REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND ACCESSORIES.
7. REMOVE ALL EXISTING MECHANICAL EQUIPMENT AND ACCESSORIES.
8. REMOVE ALL EXISTING PLUMBING AND ACCESSORIES.
9. DEMOLITION REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT, PLUMBING, FIRE PROTECTION AND ELECTRICAL SERVICES THROUGHOUT THE BUILDING NOT SPECIFICALLY SHOWN ON THE DEMOLITION DRAWINGS IS REQUIRED AND SHOULD BE COORDINATED WITH THE LOCATIONS OF THESE SERVICES AS SHOWN ON THEIR RESPECTIVE DRAWINGS AND IN THE PROJECT MANUAL.
10. PROVIDE TEMPORARY STABILIZATION, SHORING AND BRACING DURING COMMENCEMENT OF DEMOLITION AND NEW WORK. MAINTAIN TEMPORARY SHORING AND BRACING AS REQUIRED DURING CONSTRUCTION AND PLACEMENT OF NEW ELEMENTS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
11. REMOVE ALL STUD FRAMED WALLS OF MASONRY WALLS AND ALL ATTACHED CONSTRUCTION FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AS INDICATED IN THE DEMOLITION PLANS.
12. REMOVE ALL EXISTING SUSPENDED/APPLIED CEILING FINISHES, SOFFITS AND ASSOCIATED HARDWARE UNLESS NOTED OTHERWISE.
13. REMOVE ALL EXISTING PLASTER, LATH, GWB ETC FINISHES AT ALL EXTERIOR WALLS DOWN TO MASONRY SUBSTRATE.
14. ALL LOOSE FURNISHINGS AND EQUIPMENT LEFT IN PLACE PRIOR TO THE START OF DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS SO OTHERWISE SPECIFIED.



**PROGRESS
MAY 20, 2011**

NO.	DESCRIPTION



1 THIRD FLOOR PLAN
1/8"=1'-0"

DEMOLITION KEY

- AREA OF EXIST. FLOOR SLAB TO BE DEMOLISHED FOR INSTALLATION OF NEW STAIR, STRUCTURE, MECHANICAL OR PLUMBING
- DEMOLISH EXIST. STUD WALL - REFER TO DEMOLITION NOTES FOR FURTHER INFORMATION
- REMOVE EXISTING FINISHES AT WALL DOWN TO EXISTING SUBSTRATE
- DEMOLISH EXIST. WINDOWS, FRAMES TRIM CASING AND ASSOCIATED HARDWARE
- EXISTING MASONRY OR STUD WALL TO REMAIN
- EXIST. DOOR, FRAME, TRIM, THRESHOLD AND ASSOCIATED HARDWARE TO BE REMOVED
- EXIST. MASONRY PARTITION OR PORTION THEREOF TO BE REMOVED

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
3. ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO CLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER'S REQUIREMENTS.
4. PROVIDE ALL DEMOLITION WORK IN ORDER TO FACILITATE THE APPLICATION OF ALL NEW WORK. AT THE CONCLUSION OF ALL DEMOLITION LEAVE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
5. THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
6. PRIOR TO DEMOLITION ALL UTILITIES SHALL BE MADE SAFE. THEREAFTER, REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND ACCESSORIES.
7. REMOVE ALL EXISTING MECHANICAL EQUIPMENT AND ACCESSORIES.
8. REMOVE ALL EXISTING PLUMBING AND ACCESSORIES.
9. DEMOLITION REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT, PLUMBING, FIRE PROTECTION AND ELECTRICAL SERVICES THROUGHOUT THE BUILDING NOT SPECIFICALLY SHOWN ON THE DEMOLITION DRAWINGS IS REQUIRED AND SHOULD BE COORDINATED WITH THE LOCATIONS OF THESE SERVICES AS SHOWN ON THEIR RESPECTIVE DRAWINGS AND IN THE PROJECT MANUAL.
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11. REMOVE ALL STUD FRAMED WALLS OR MASONRY WALLS AND ALL ATTACHED CONSTRUCTION FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AS INDICATED IN THE DEMOLITION PLANS.
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STAIR #1 NOTES
1) REMOVE ALL EXISTING PLASTER AND LATH
2) PROTECT EXISTING TREADS AND WAINSCOT DURING CONSTRUCTION
3) PROTECT EXISTING IRON RAILS DURING CONSTRUCTION



**PROGRESS
MAY 20, 2011**

REVISIONS	

SCALE
1/8"=1'-0"

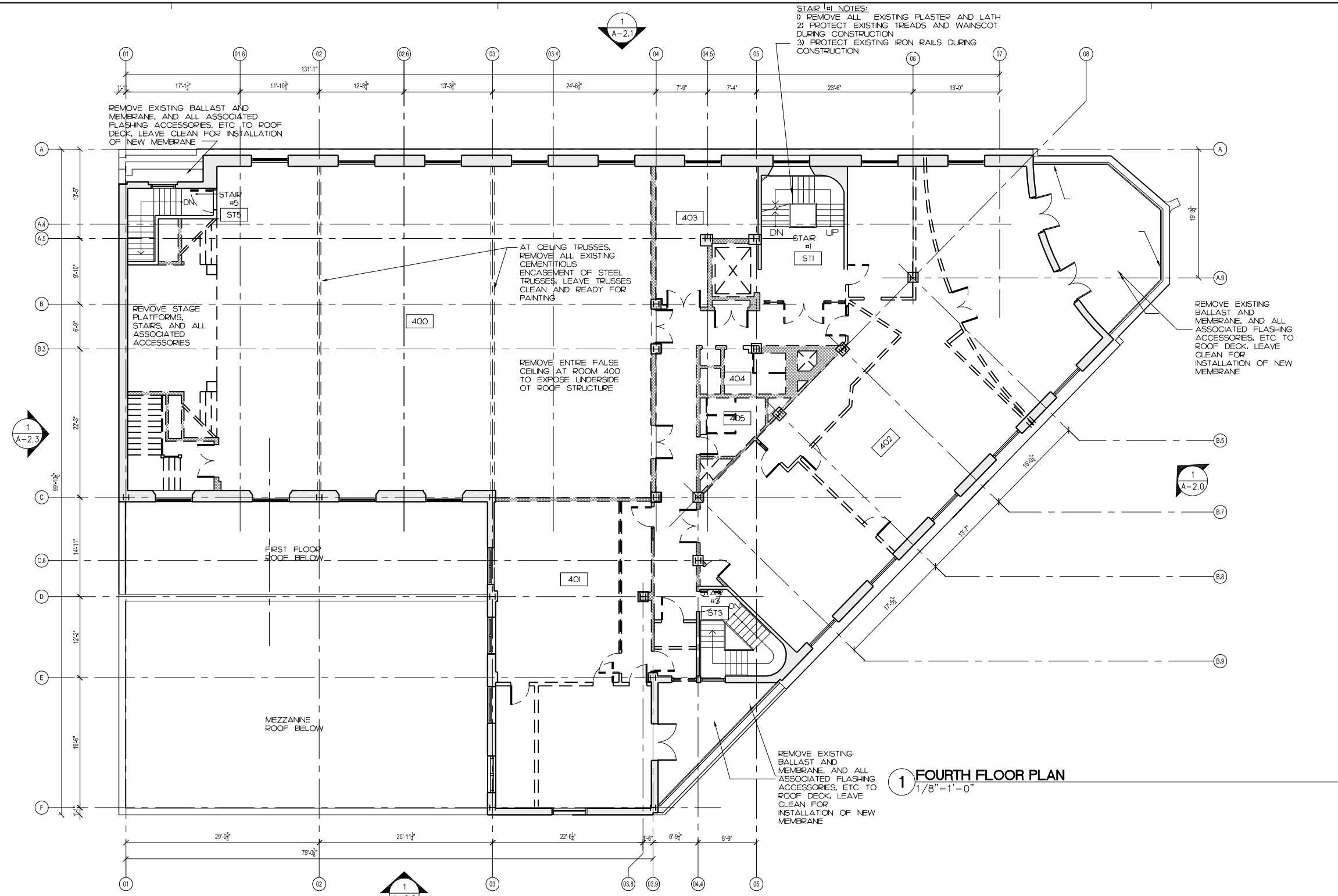
DATE
03/04/2011

DRAWN BY
SM

CHECKED BY
RB

PROJECT NUMBER
3341000

DRAWING NUMBER



1 FOURTH FLOOR PLAN
1/8"=1'-0"

DEMOLITION KEY

- AREA OF EXIST. FLOOR SLAB TO BE DEMOLISHED FOR INSTALLATION OF NEW STAIR, STRUCTURE, MECHANICAL OR PLUMBING
- DEMOLISH EXIST. STUD WALL - REFER TO DEMOLITION NOTES FOR FURTHER INFORMATION
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- EXISTING MASONRY OR STUD WALL TO REMAIN
- EXIST. DOOR, FRAME, TRIM, THRESHOLD AND ASSOCIATED HARDWARE TO BE REMOVED
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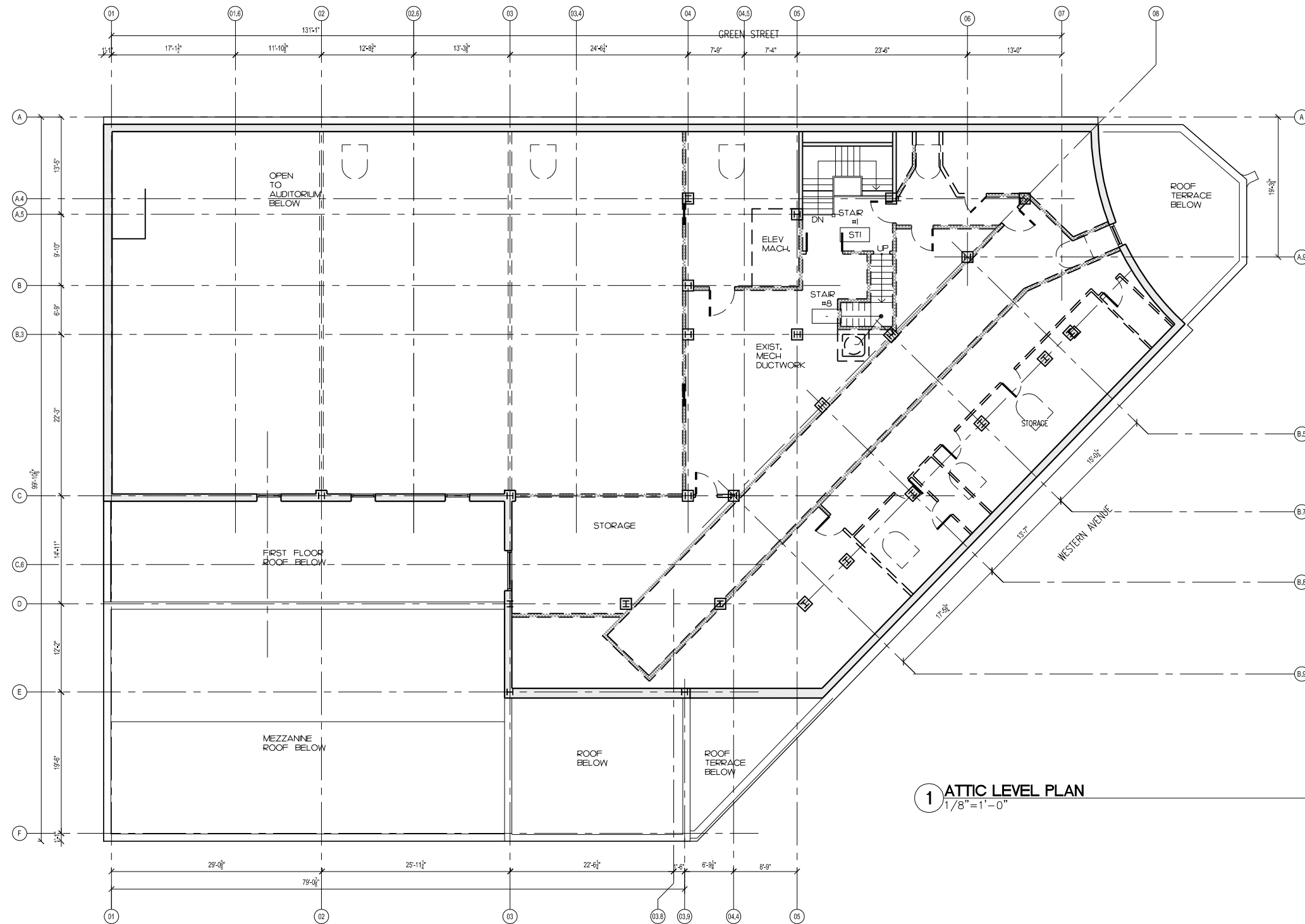
DEMOLITION GENERAL NOTES

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8. REMOVE ALL EXISTING PLUMBING AND ACCESSORIES.
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11. REMOVE ALL STUD FRAMED WALLS OR MASONRY WALLS AND ALL ATTACHED CONSTRUCTION FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AS INDICATED IN THE DEMOLITION PLANS.
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PROGRESS
MAY 20, 2011

NO.	DESCRIPTION



DEMOLITION KEY

- AREA OF EXIST. FLOOR SLAB TO BE DEMOLISHED FOR INSTALLATION OF NEW STAIR, STRUCTURE, MECHANICAL OR PLUMBING
- DEMOLISH EXIST. STUD WALL - REFER TO DEMOLITION NOTES FOR FURTHER INFORMATION
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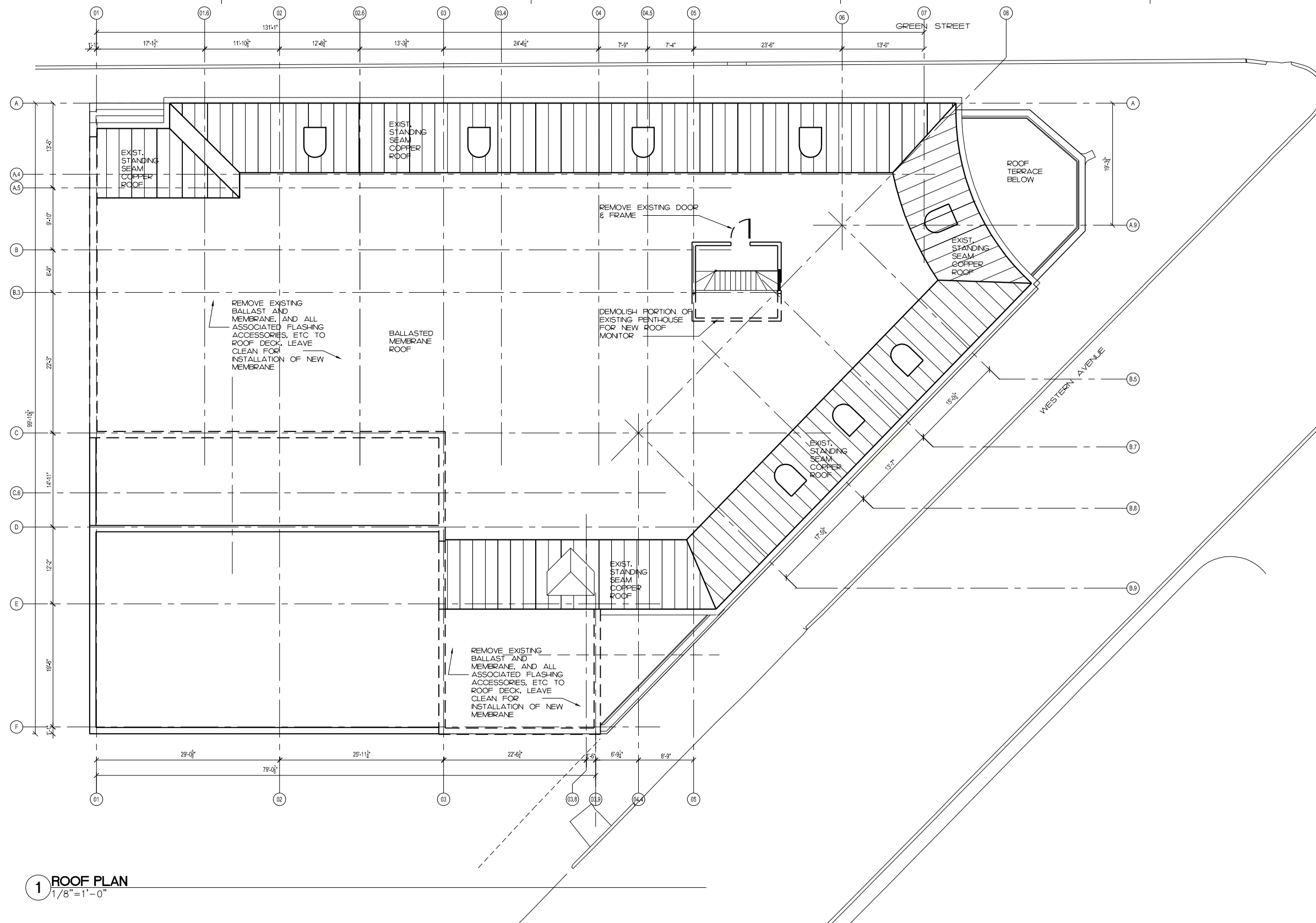
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7. REMOVE ALL EXISTING MECHANICAL EQUIPMENT AND ACCESSORIES.
8. REMOVE ALL EXISTING PLUMBING AND ACCESSORIES.
9. DEMOLITION REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT, PLUMBING, FIRE PROTECTION AND ELECTRICAL SERVICES THROUGHOUT THE BUILDING NOT SPECIFICALLY SHOWN ON THE DEMOLITION DRAWINGS IS REQUIRED AND SHOULD BE COORDINATED WITH THE LOCATIONS OF THESE SERVICES AS SHOWN ON THEIR RESPECTIVE DRAWINGS AND IN THE PROJECT MANUAL.
10. PROVIDE TEMPORARY STABILIZATION, SHORING AND BRACING DURING COMMENCEMENT OF DEMOLITION AND NEW WORK. MAINTAIN TEMPORARY SHORING AND BRACING AS REQUIRED DURING CONSTRUCTION AND PLACEMENT OF NEW ELEMENTS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
11. REMOVE ALL STUD FRAMED WALLS OR MASONRY WALLS AND ALL ATTACHED CONSTRUCTION FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AS INDICATED IN THE DEMOLITION PLANS.
12. REMOVE ALL EXISTING SUSPENDED/APPLIED CEILING FINISHES, SOFFITS AND ASSOCIATED HARDWARE UNLESS NOTED OTHERWISE.
13. REMOVE ALL EXISTING PLASTER, LATH, GWB ETC FINISHES AT ALL EXTERIOR WALLS DOWN TO MASONRY SUBSTRATE.
14. ALL LOOSE FURNISHINGS AND EQUIPMENT LEFT IN PLACE PRIOR TO THE START OF DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS SO OTHERWISE DIRECTED.



PROGRESS
MAY 20, 2011

NO.	DESCRIPTION



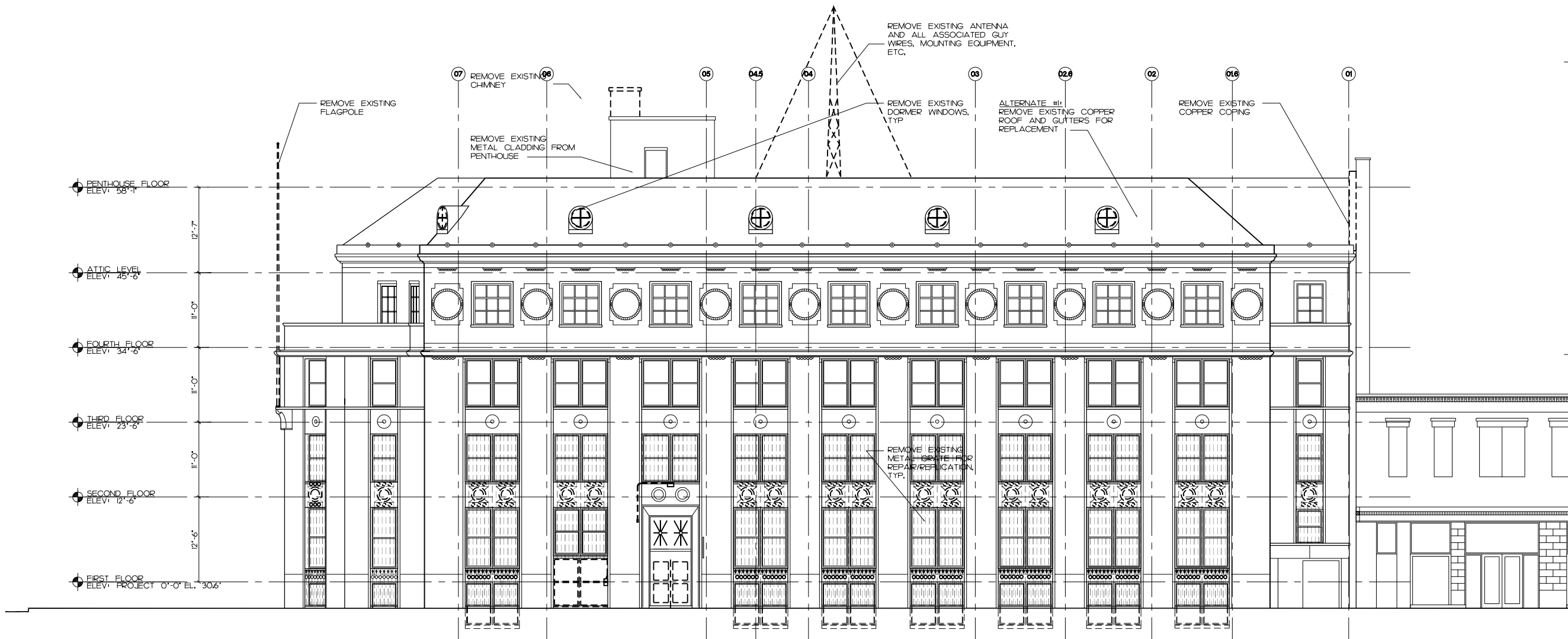
1 ROOF PLAN
1/8"=1'-0"



**PROGRESS
MAY 20, 2011**

REVISIONS	

D-201



DEMOLITION ELEVATION GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONSTRUCTION REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED. HATCH PATTERNS ARE SHOWN FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR DETERMINING QUANTITIES.
2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE PROTECTED FROM DAMAGE.
3. ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO CLAIM AN EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER'S REQUIREMENTS.
4. PROVIDE ALL DEMOLITION WORK IN ORDER TO FACILITATE THE APPLICATION OF NEW WORK. AT THE CONCLUSION OF ALL DEMOLITION LEAVE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
5. REMOVE EXISTING WINDOWS, FRAMES, TRIM CASING AND ASSOCIATED HARDWARE WHERE INDICATED.
6. REMOVE EXISTING DOORS, FRAMES, TRIM, THRESHOLD AND ASSOCIATED HARDWARE WHERE INDICATED.
7. REMOVE EXISTING COPPER GUTTER, DOWNSPOUTS AND ASSOCIATED HARDWARE WHERE INDICATED.
8. REMOVE EXISTING DECORATIVE GRATE FOR RESTORATION/RECONSTRUCTION.



**PROGRESS
MAY 20, 2011**

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REVISIONS

NO.	DESCRIPTION

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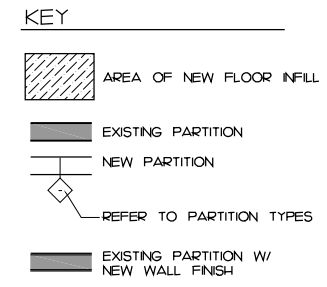
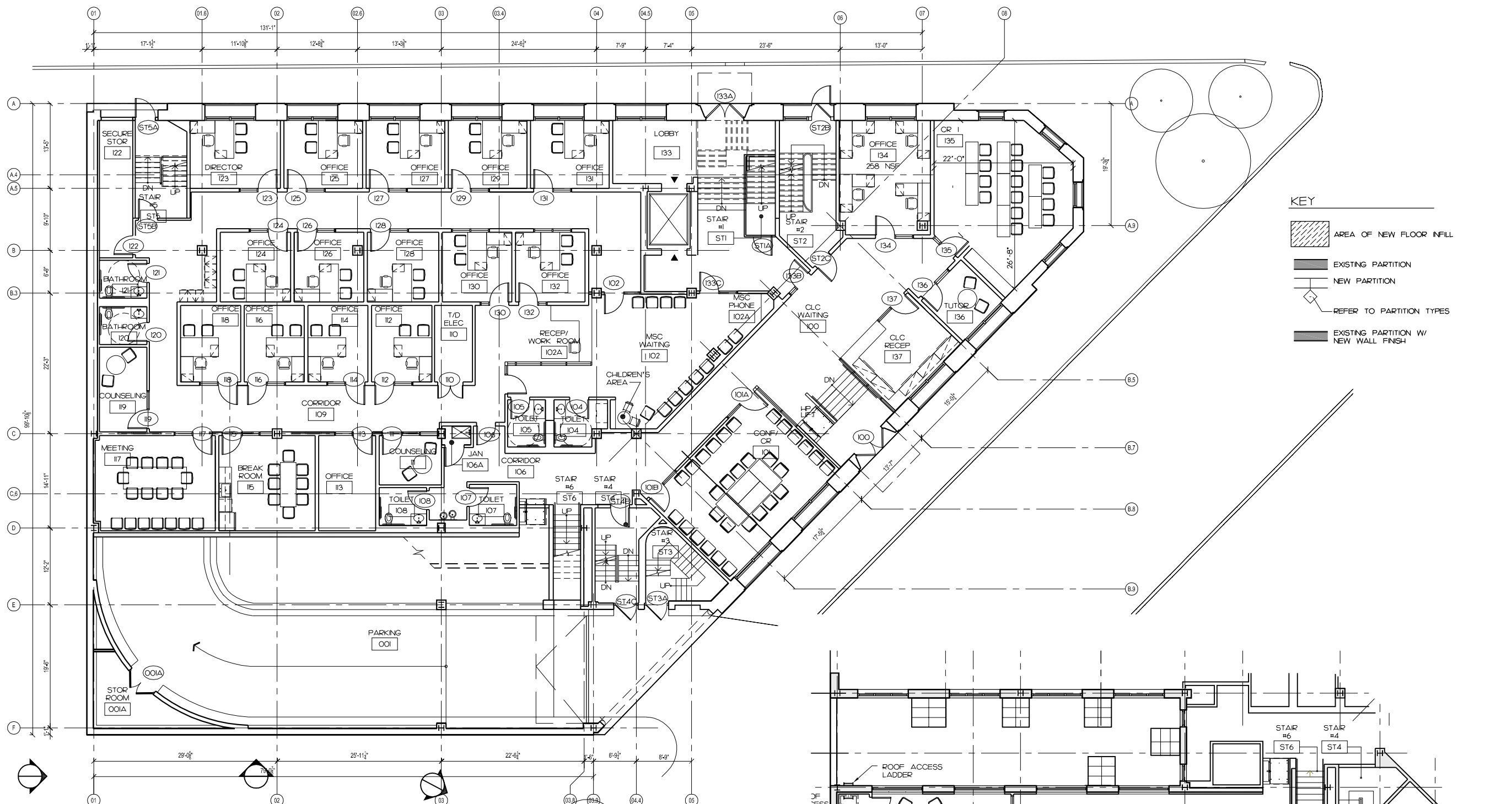
DATE
03/04/2011

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RB

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RB

PROJECT NUMBER
33410.00

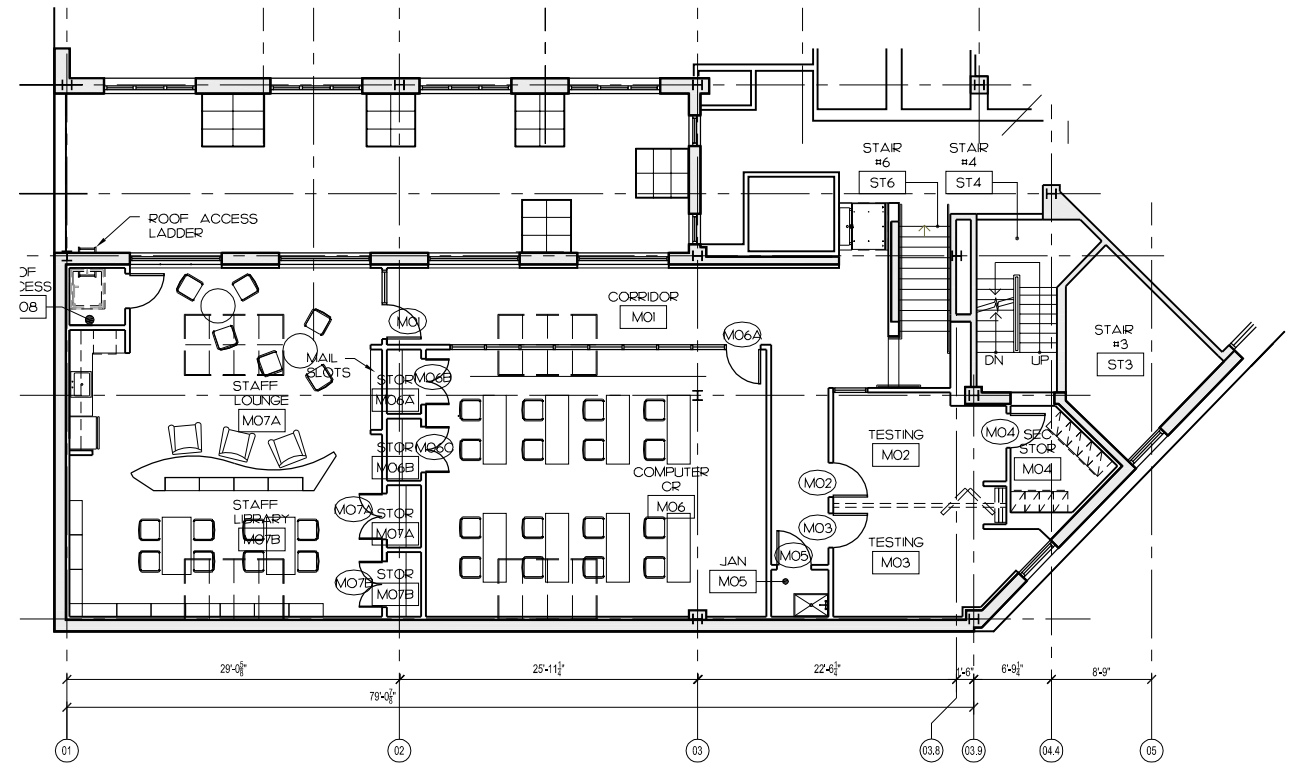
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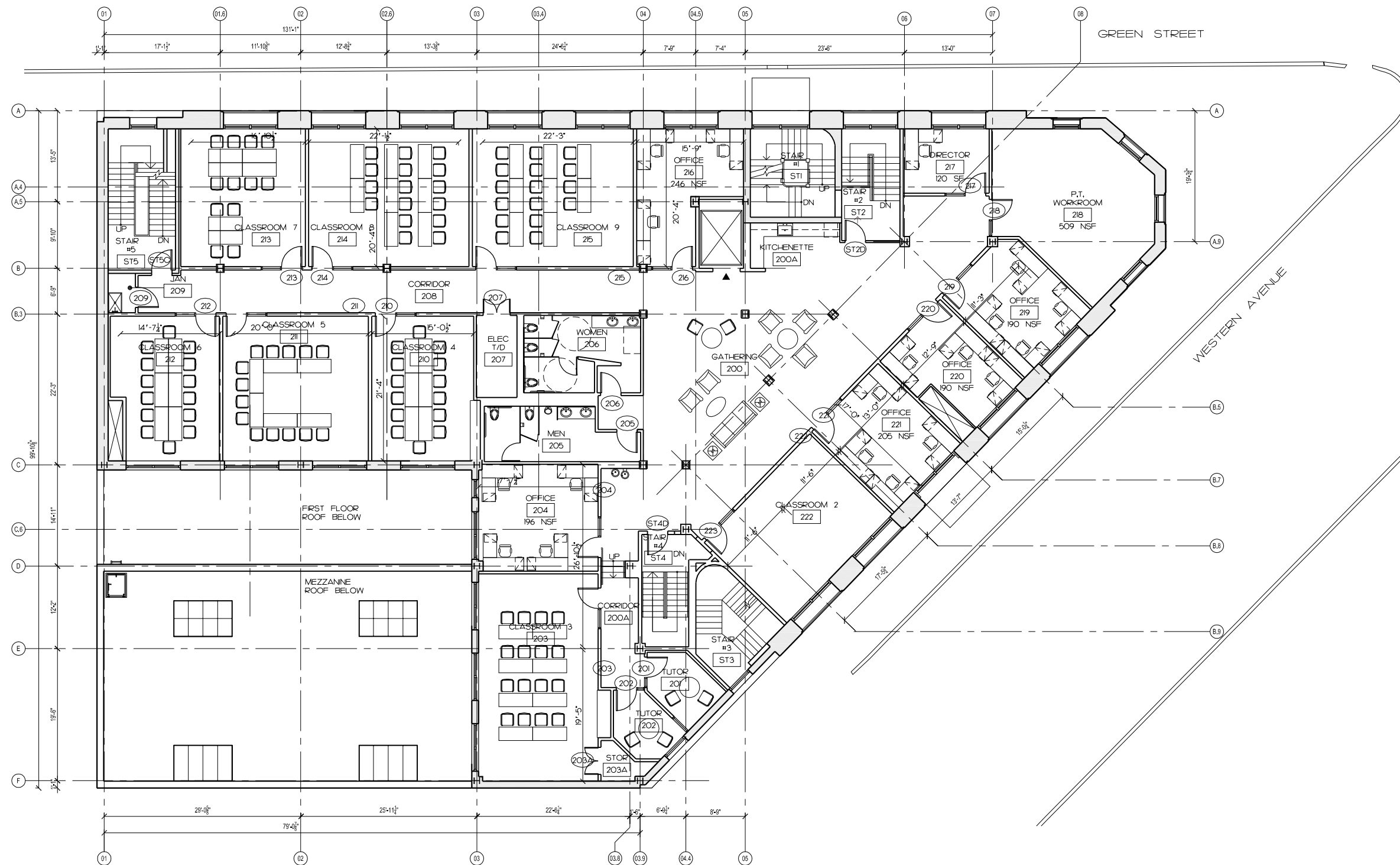
1 FIRST FLOOR PLAN
1/8"=1'-0"

NEW PLAN GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONSTRUCTION. REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
- ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW G.W.B. FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.
- EXISTING (SHADED) WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES (G.W.B. PAINT, WAINSCOTTING, ETC.) AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.
- PROVIDE MISCELLANEOUS LOOSE LINTELS AT ALL NEW OR ENLARGED MASONRY OPENINGS. REFER TO LINTEL SCHEDULE IN STRUCTURAL DRAWINGS.
- COORDINATE AREAWAY DRAINS (AD), FLOOR DRAINS (FD) AND ROOF DRAINS (RD) WITH PLUMBING DRAWINGS.
- ALL OFFICE DEMISING WALLS ARE 6" METAL STUDS WITH 5/8" G.W.B. BOTH SIDES. FILL CAVITY WITH SAFE, TOP AND BOTTOM OF PARTITIONS TO BE SEALED TO SLABS/BEAMS WITH ACOUSTIC SEALANT.
- PROVIDE BLOCKING FOR GRAB BARS AT ALL ACCESSIBLE TOILET LOCATIONS.
- MUDSET ALL FLOOR TILE WHERE INDICATED TO BE INSTALLED. SHOWERS TO RECEIVE COPPER PANS AND MUDSET.
- REFER TO STRUCTURAL DRAWINGS FOR ALL NEW STEEL COLUMNS, BEAMS, ETC.
- ALL DIMENSIONS INDICATED WITH A +/- REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.
- ALL COUNTERS AT KITCHENETTES ARE PAPER COMPOSITE COUNTERS. ALL COUNTERS AT TOILET ROOMS ARE SOLID SURFACE WITH INTEGRAL BOWLS. BACKSPASH AT KITCHENETTES TO BE SOLID SURFACE.
- ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4' OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.
- ALL EXTERIOR WALLS TO RECEIVE NEW INTERIOR FINISH. SEE WALL SECTION DRAWINGS FOR CONSTRUCTION.



2 MEZZANINE PLAN
1/8"=1'-0"



1 SECOND FLOOR PLAN
1/8" = 1'-0"

- KEY**
- AREA OF NEW FLOOR INFILL
 - EXISTING PARTITION
 - NEW PARTITION
 - REFER TO PARTITION TYPES
 - EXISTING PARTITION W/ NEW WALL FINSH

NEW PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONSTRUCTION. REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
2. ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB, FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.
3. EXISTING (SHADED) WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES, (GWB, PAINT, WAINSCOTTING, ETC.), AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.
4. PROVIDE MISCELLANEOUS LOOSE LINTELS AT ALL NEW OR ENLARGED MASONRY OPENINGS. REFER TO LINTEL SCHEDULE IN STRUCTURAL DRAWINGS.
5. COORDINATE AREAWAY DRAINS (AD), FLOOR DRAINS (FD) AND ROOF DRAINS (RD) WITH PLUMBING DRAWINGS.
6. ALL OFFICE DEMISING WALLS ARE 6" METAL STUDS WITH 5/8" GWB BOTH SIDES, FILL CAVITY WITH SAFB, TOP AND BOTTOM OF PARTITIONS TO BE SEALED TO SLABS/BEAMS WITH ACOUSTIC SEALANT.
7. PROVIDE BLOCKING FOR GRAB BARS AT ALL ACCESSIBLE TOILET LOCATIONS.
8. MUDSET ALL FLOOR TILE WHERE INDICATED TO BE INSTALLED. SHOWERS TO RECEIVE COPPER PANS AND MUDSET.
9. REFER TO STRUCTURAL DRAWINGS FOR ALL NEW STEEL COLUMNS, BEAMS, ETC.
10. ALL DIMENSIONS INDICATED WITH A +/- REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.
11. ALL COUNTERS AT KITCHENETTES ARE PAPER COMPOSITE COUNTERS. ALL COUNTERS AT TOILET ROOMS ARE SOLID SURFACE WITH INTEGRAL BOWLS. BACKSPASH AT KITCHENETTES TO BE SOLID SURFACE.
12. ALL GLASS WITHIN 18" AFF. AND/OR WITHIN 4' OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.
13. ALL EXTERIOR WALLS TO RECEIVE NEW INTERIOR FINISH. SEE WALL SECTION DRAWINGS FOR CONSTRUCTION.

**CHA
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Mechanical/Plumbing
Engineers
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ART Engineers
Electrical
Engineers
WORCESTER, MA

Beals + Thomas
Civil Engineers
Landscape Architects
SOUTHBOROUGH, MA

DRAWING TITLE
**SECOND FLOOR
PLAN**



**PROGRESS
MAY 20, 2011**

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REVISIONS	

SCALE
1/8" = 1'-0"

DATE
03/04/2011

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RB

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RB

PROJECT NUMBER
33410.00

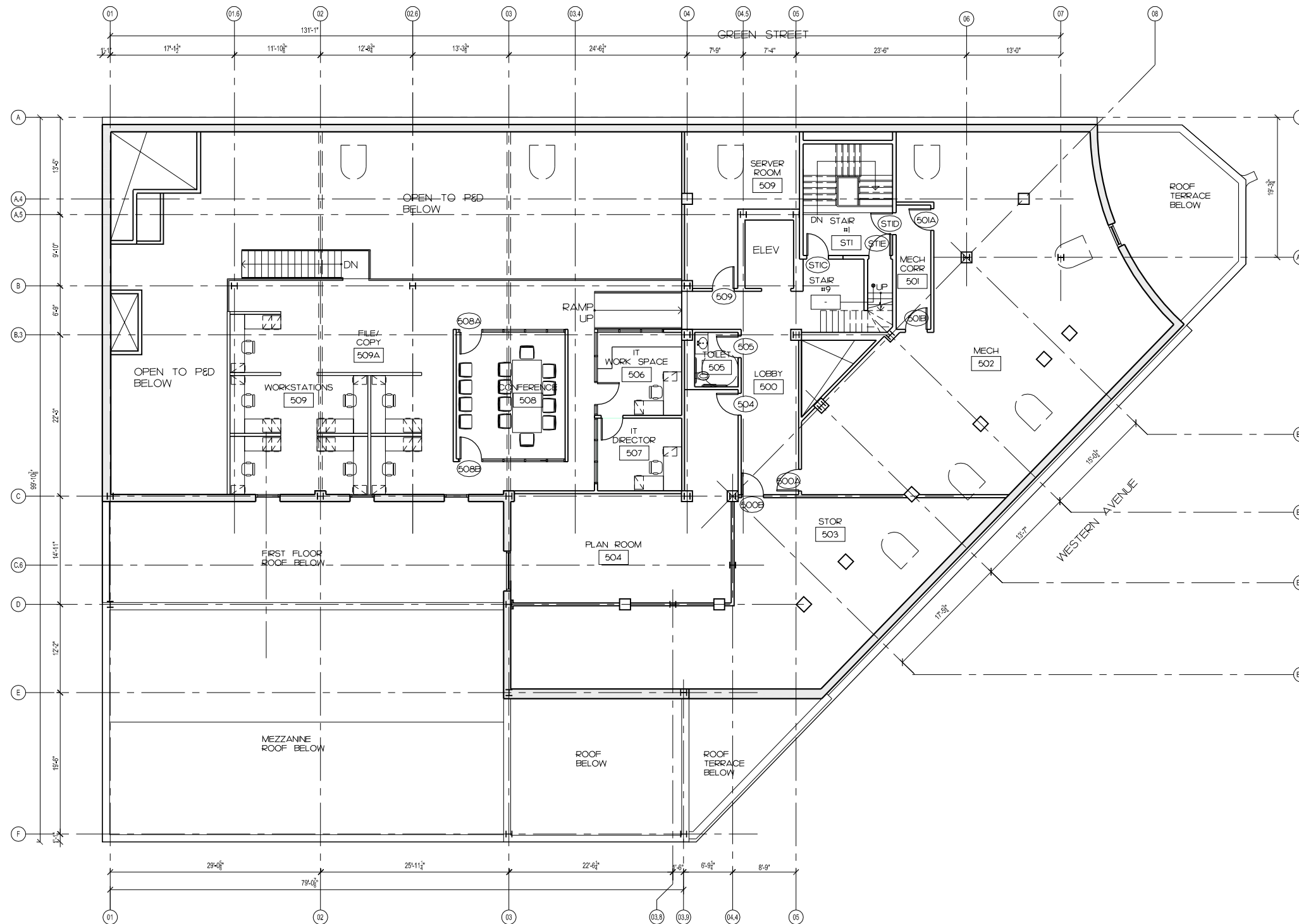
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


**PROGRESS
MAY 20, 2011**

NO.	DESCRIPTION



1 ATTIC LEVEL PLAN
1/8"=1'-0"

KEY

-  AREA OF NEW FLOOR INFILL
-  EXISTING PARTITION
-  NEW PARTITION
-  REFER TO PARTITION TYPES
-  EXISTING PARTITION W/
NEW WALL FINISH

NEW PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONSTRUCTION REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
2. ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB, FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.
3. EXISTING (SHADED) WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES, (GWB, PAINT, WAINSCOTTING, ETC.) AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.
4. PROVIDE MISCELLANEOUS LOOSE LINTELS AT ALL NEW OR ENLARGED MASONRY OPENINGS. REFER TO LINTEL SCHEDULE IN STRUCTURAL DRAWINGS.
5. COORDINATE AREAWAY DRAINS (AD), FLOOR DRAINS (FD) AND ROOF DRAINS (RD) WITH PLUMBING DRAWINGS.
6. ALL OFFICE DEMISING WALLS ARE 6" METAL STUDS WITH 5/8" GWB BOTH SIDES. FILL CAVITY WITH SAFB. TOP AND BOTTOM OF PARTITIONS TO BE SEALED TO SLABS/BEAMS WITH ACOUSTIC SEALANT.
7. PROVIDE BLOCKING FOR GRAB BARS AT ALL ACCESSIBLE TOILET LOCATIONS.
8. MUDSET ALL FLOOR TILE WHERE INDICATED TO BE INSTALLED. SHOWERS TO RECEIVE COPPER PANS AND MUDSET.
9. REFER TO STRUCTURAL DRAWINGS FOR ALL NEW STEEL COLUMNS, BEAMS, ETC.
10. ALL DIMENSIONS INDICATED WITH A +/- REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.
11. ALL COUNTERS AT KITCHENETTES ARE PAPER COMPOSITE COUNTERS. ALL COUNTERS AT TOILET ROOMS ARE SOLID SURFACE WITH INTEGRAL BOWL(S) BACKSPASH AT KITCHENETTES TO BE SOLID SURFACE.
12. ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4' OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.
13. ALL EXTERIOR WALLS TO RECEIVE NEW INTERIOR FINISH. SEE WALL SECTION DRAWINGS FOR CONSTRUCTION.



**PROGRESS
MAY 20, 2011**

REVISIONS	

SCALE
1/8"=1'-0"

DATE
03/04/2011

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SM

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RB

PROJECT NUMBER
33410.00

DRAWING NUMBER

A-111



1 FOURTH FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"

REFLECTED CEILING PLAN KEY

	AREA OF NEW GWB		RECESSED DOWNLIGHT
	AREA OF ACT		COMPACT DOWNLIGHT
	2X2 RECESSED LIGHT		DECORATIVE PENDANT LIGHT
	LINEAR PENDANT LIGHT		DECORATIVE PENDANT LIGHT
	WALL MOUNTED LIGHT		WALL MOUNTED LIGHT
	STRIP LIGHT		COMPACT WALL WASHER
	DECORATIVE PENDANT LIGHT		EXIT SIGN

- REFLECTED CEILING PLAN GENERAL NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONSTRUCTION. REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
 2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE PROTECTED FROM DAMAGE.
 3. SEE MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR ALL LIGHT FIXTURE TYPES, EXIT SIGNS, SPRINKLER HEAD LOCATIONS AND AIR REGISTERS.
 4. COORDINATE SOFFITS AT CABINETRY WITH INTERIOR ELEVATIONS.
 5. ALL SPRINKLER HEADS TO ALIGN WITH LIGHTING, DOOR OPENINGS, WINDOWS AND SHOULD BE CENTERED ON CEILING TILES. CONTRACTOR SHALL BE RESPONSIBLE FOR SPRINKLER COORDINATION.
 6. SEE SPECIFICATIONS FOR LIGHT FIXTURE TYPE TECHNICAL SPECIFICATIONS.
 7. COORDINATE RECESSED LIGHT FIXTURE LOCATIONS WITH DUCTWORK, SPRINKLERS AND STRUCTURE. SUBMIT REVISIONS FOR APPROVAL.
 8. REFER TO AV PLANS FOR LOCATION OF CEILING SPEAKERS.
 9. ALL EXPOSED DUCT WORK, PIPES, CONDUIT, ETC. TO BE PAINTED.
 10. UNDERSIDE OF CONCRETE DECK, & ALL EXISTING EXPOSED CONCRETE ENCASED STEEL BEAMS TO BE PAINTED.

DRAWING TITLE

**ATTIC LEVEL
REFLECTED
CEILING PLAN**



**PROGRESS
MAY 20, 2011**

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REVISIONS

NO.	DESCRIPTION

SCALE
1/8"=1'-0"

DATE
03/04/2011

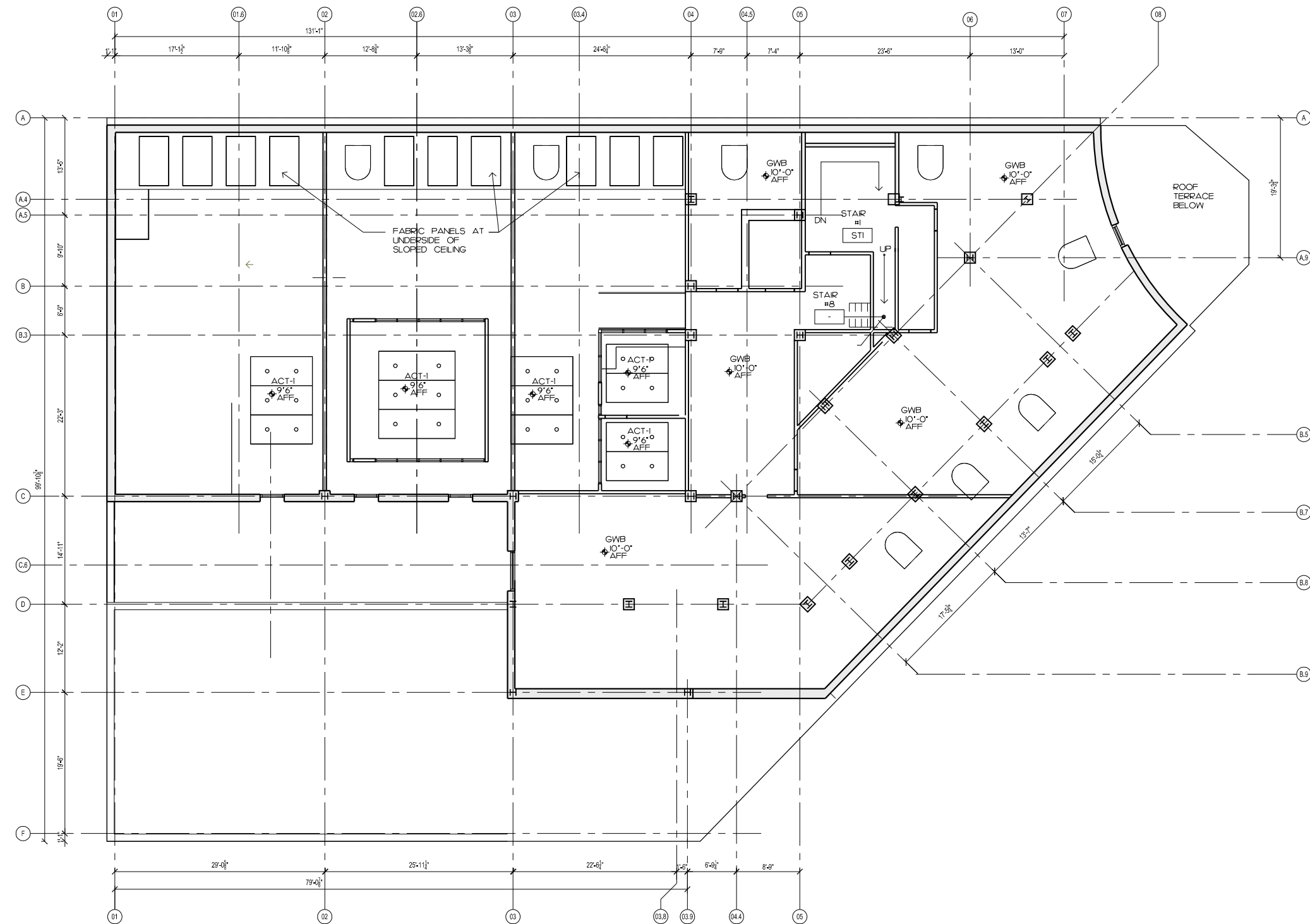
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SM

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RB

PROJECT NUMBER
33410.00

DRAWING NUMBER

A-112



1 ATTIC LEVEL REFLECTED CEILING PLAN
1/8"=1'-0"

REFLECTED CEILING PLAN KEY

- AREA OF NEW GWB
- AREA OF ACT
- 2X2 RECESSED LIGHT
- LINEAR PENDANT LIGHT
- WALL MOUNTED LIGHT
- STRIP LIGHT
- DECORATIVE PENDANT LIGHT
- RECESSED DOWNLIGHT
- COMPACT DOWNLIGHT
- DECORATIVE PENDANT LIGHT
- DECORATIVE PENDANT LIGHT
- WALL MOUNTED LIGHT
- COMPACT WALL WASHER
- EXIT SIGN

REFLECTED CEILING PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONSTRUCTION. REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE PROTECTED FROM DAMAGE.
3. SEE MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR ALL LIGHT FIXTURE TYPES, EXIT SIGNS, SPRINKLER HEAD LOCATIONS AND AIR REGISTERS.
4. COORDINATE SOFFITS AT CABINETRY WITH INTERIOR ELEVATIONS.
5. ALL SPRINKLER HEADS TO ALIGN WITH LIGHTING, DOOR OPENINGS, WINDOWS AND SHOULD BE CENTERED ON CEILING TILES. CONTRACTOR SHALL BE RESPONSIBLE FOR SPRINKLER COORDINATION.
6. SEE SPECIFICATIONS FOR LIGHT FIXTURE TYPE TECHNICAL SPECIFICATIONS.
7. COORDINATE RECESSED LIGHT FIXTURE LOCATIONS WITH DUCTWORK, SPRINKLERS AND STRUCTURE. SUBMIT REVISIONS FOR APPROVAL.
8. REFER TO AV PLANS FOR LOCATION OF CEILING SPEAKERS.
9. ALL EXPOSED DUCT WORK, PIPES, CONDUIT, ETC. TO BE PAINTED.
10. UNDERSIDE OF CONCRETE DECK, & ALL EXISTING EXPOSED CONCRETE ENCASED STEEL BEAMS TO BE PAINTED.



NO.	DESCRIPTION	DATE

SCALE
1/8"=1'-0"

DATE
03/04/2011

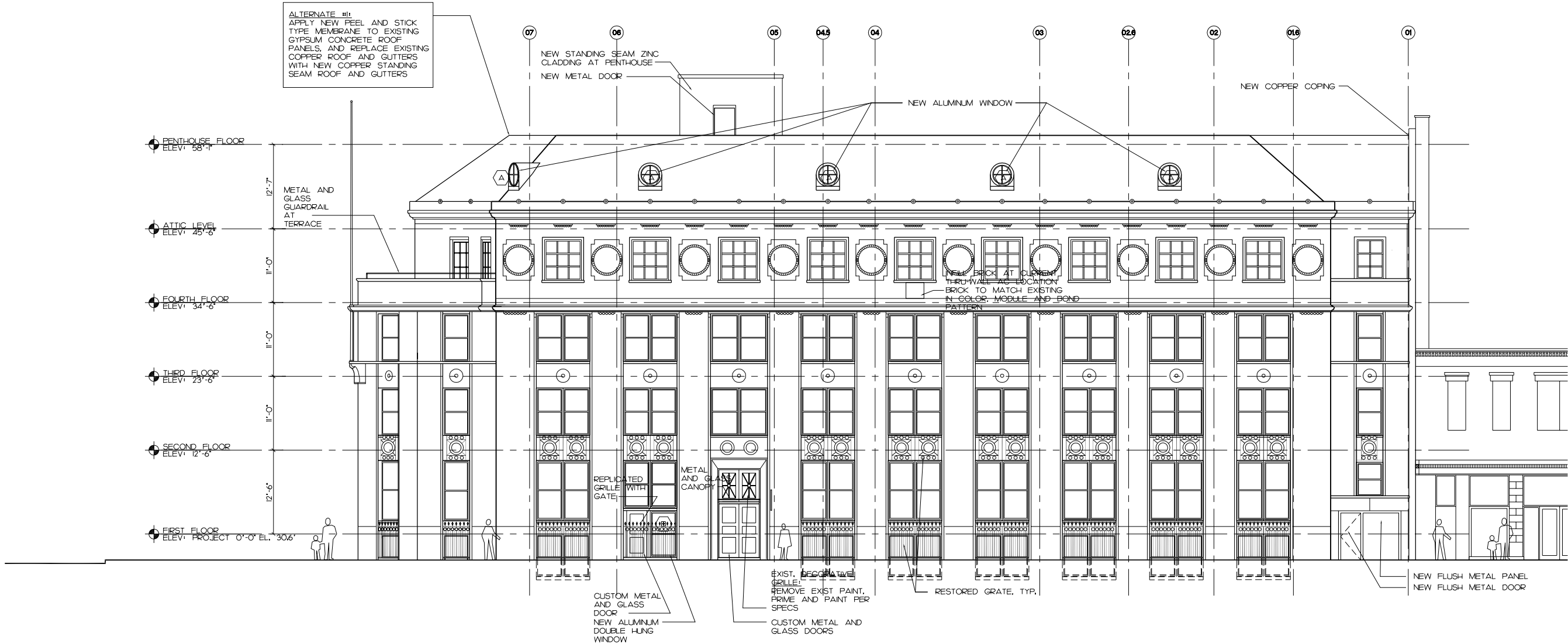
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PROJECT NUMBER
33410.00

DRAWING NUMBER

ALTERNATE #11:
APPLY NEW PEEL AND STICK
TYPE MEMBRANE TO EXISTING
GYPSUM CONCRETE ROOF
PANELS, AND REPLACE EXISTING
COPPER ROOF AND GUTTERS
WITH NEW COPPER STANDING
SEAM ROOF AND GUTTERS



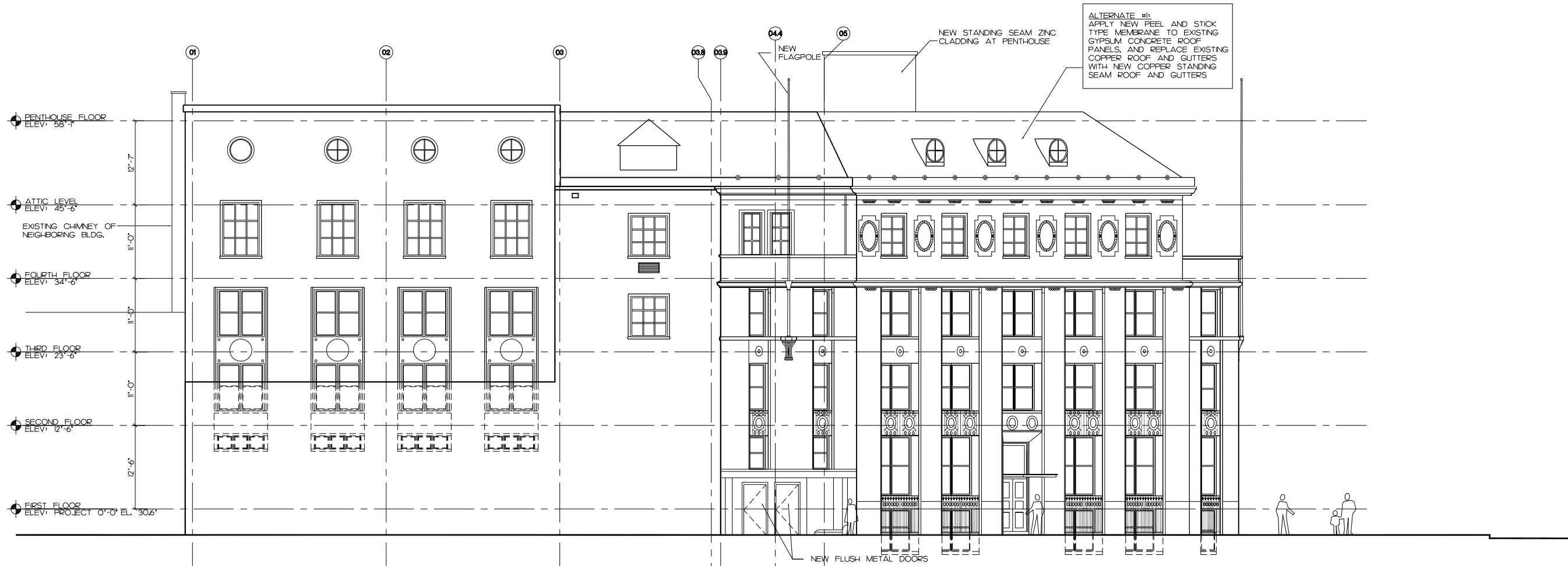
RENOVATION ELEVATION GENERAL NOTES

- 1. ALL BRICK TO BE CLEANED AND REPOINTED. SEE SPECIFICATION SECTIONS _____. A SECTION OF BRICK SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
- 2. ALL STONE LINTELS, TRIMS, COPINGS, ORNAMENTS TO BE CLEANED PER SPECIFICATION SECTION _____. A SECTION OF STONE SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
- 3. ALL GRANITE PANELS, TRIMS, COPINGS, ETC TO BE CLEANED PER SPECIFICATION SECTION _____. A SECTION OF GRANITE SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
- 4. ALL AREAS OF EXISTING COPPER ROOF TO BE CLEANED.



**PROGRESS
MAY 20, 2011**

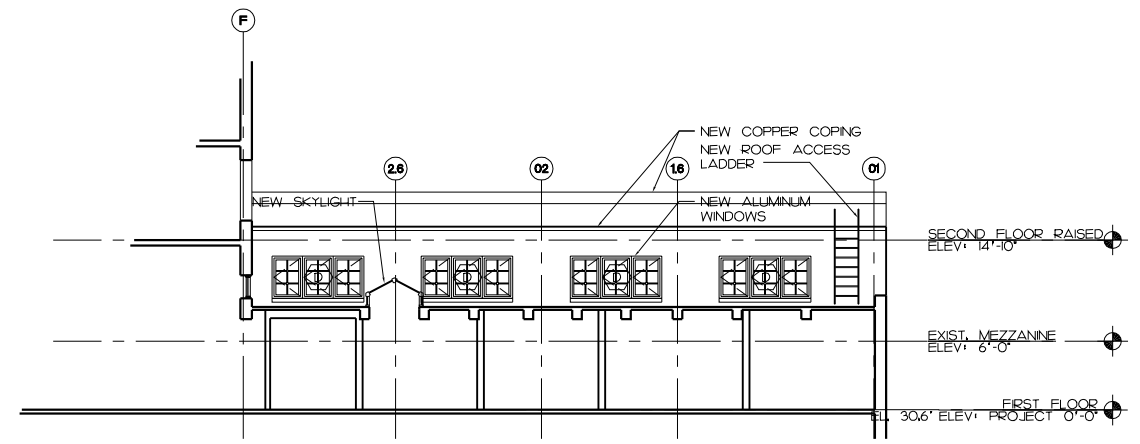
NO.	DESCRIPTION



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

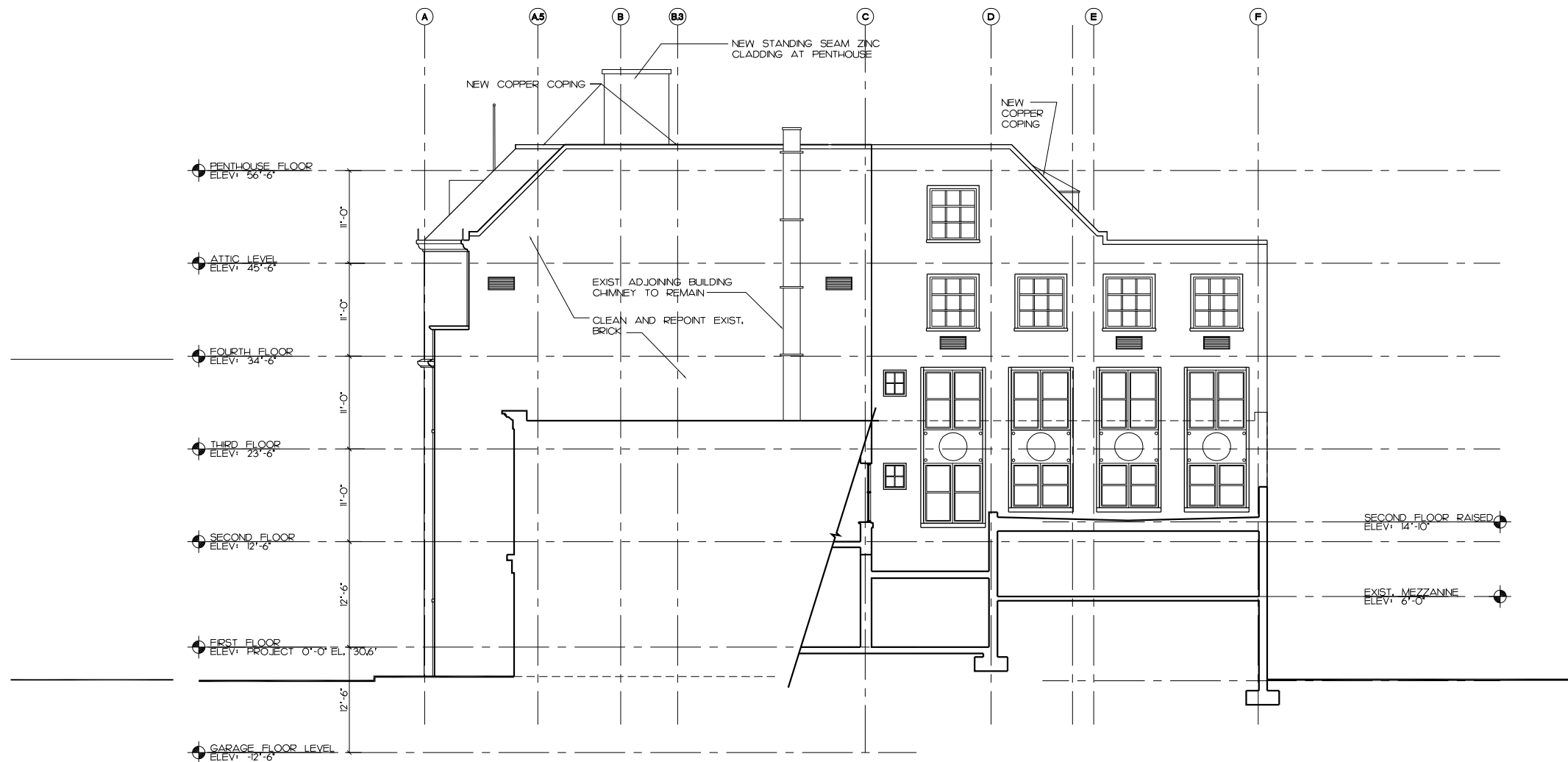
RENOVATION ELEVATION GENERAL NOTES

1. ALL BRICK TO BE CLEANED AND REPOINTED. SEE SPECIFICATION SECTIONS _____. A SECTION OF BRICK SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
2. ALL STONE LINTELS, TRIMS, COPINGS, ORNAMENTS TO BE CLEANED PER SPECIFICATION SECTION _____. A SECTION OF STONE SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
3. ALL GRANITE PANELS, TRIMS, COPINGS, ETC TO BE CLEANED PER SPECIFICATION SECTION _____. A SECTION OF GRANITE SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
4. ALL AREAS OF EXISTING COPPER ROOF TO BE CLEANED.



1 MEZZANINE ELEVATION
SCALE: 1/8"=1'-0"

**PROGRESS
MAY 20, 2011**



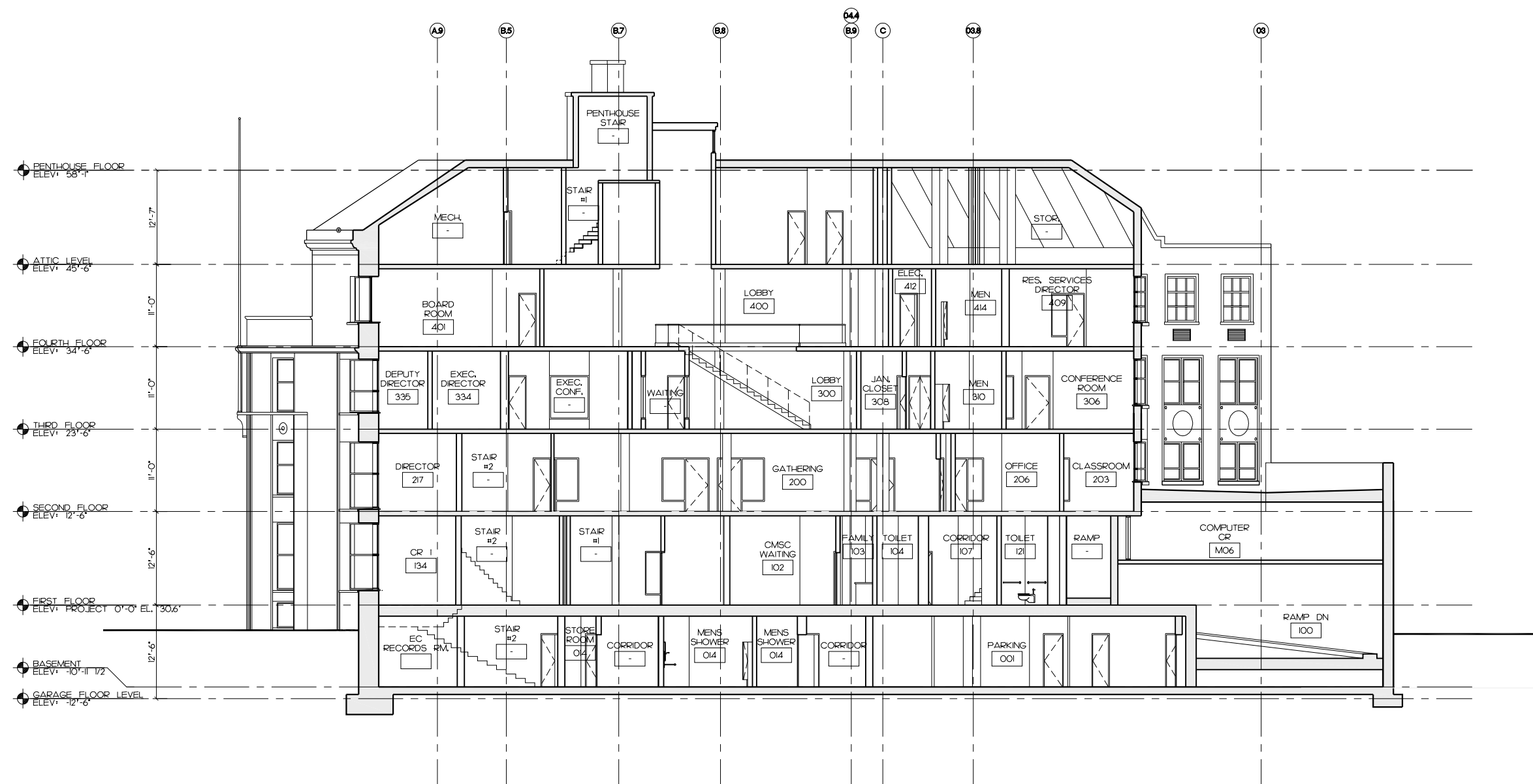
RENOVATION ELEVATION GENERAL NOTES

- ALL BRICK TO BE CLEANED AND REPOINTED. SEE SPECIFICATION SECTION _____. A SECTION OF BRICK SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
- ALL STONE LINTELS, TRIMS, COPINGS, ORNAMENTS TO BE CLEANED PER SPECIFICATION SECTION _____. A SECTION OF STONE SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
- ALL GRANITE PANELS, TRIMS, COPINGS, ETC TO BE CLEANED PER SPECIFICATION SECTION _____. A SECTION OF GRANITE SHALL BE CLEANED PER THE SPECIFICATIONS FOR APPROVAL OF FINAL APPEARANCE. OWNER AND ARCHITECT TO APPROVE SAMPLE AREA PRIOR TO CLEANING OF ALL BRICK. SEE ELEVATION DRAWINGS FOR SAMPLE AREA LOCATION.
- ALL AREAS OF EXISTING COPPER ROOF TO BE CLEANED.



PROGRESS
MAY 20, 2011

A-301



1 BUILDING SECTION
SCALE: 1/8"=1'-0"

DRAWING TITLE

**BUILDING
SECTION**

PROJECT
NORTH



**PROGRESS
MAY 20, 2011**

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REVISIONS

SCALE

1/8"=1'-0"

DATE

02/22/2011

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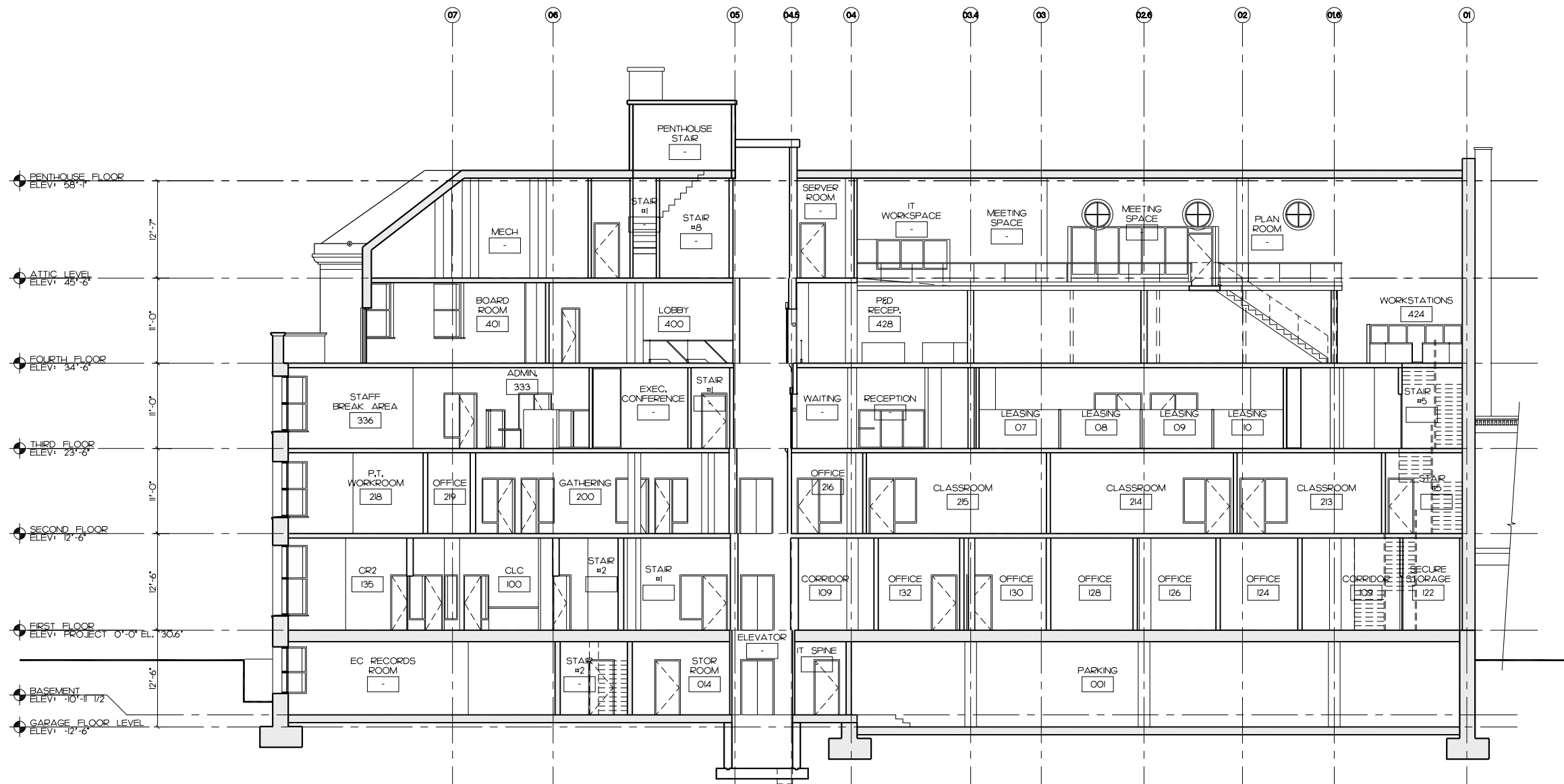
RB

PROJECT NUMBER

3341Q.00

DRAWING NUMBER

A-302





PROGRESS
MAY 20, 2011

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REVISIONS	

SCALE
1/4"=1'-0"

DATE
03/04/2011

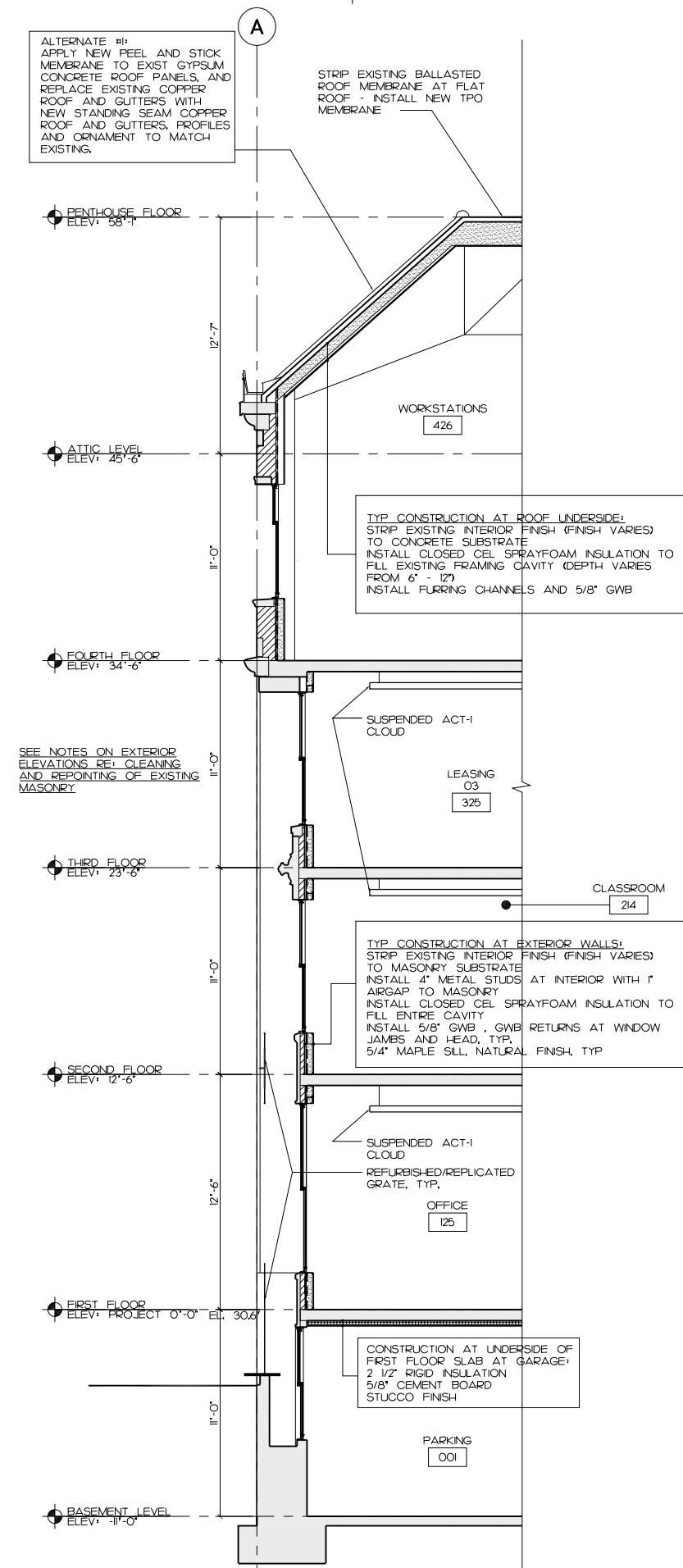
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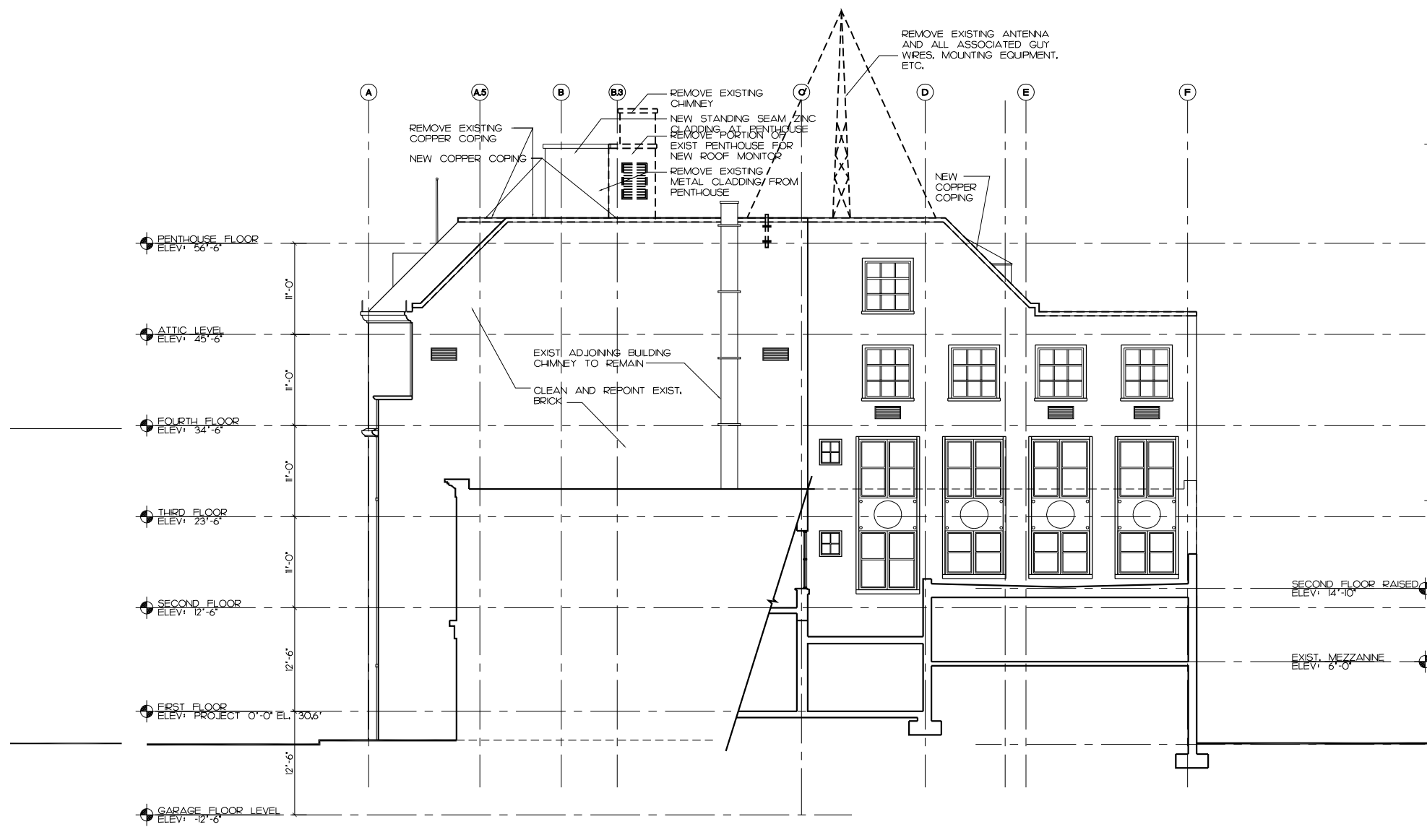
PROJECT NUMBER
33410.00

DRAWING NUMBER

A-303



1 TYPICAL WALL SECTION
SCALE: 1/4"=1'-0"



1 WEST ELEVATION
SCALE: 1/8"=1'-0"

DEMOLITION ELEVATION GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONSTRUCTION REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED. HATCH PATTERNS ARE SHOWN FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR DETERMINING QUANTITIES.
2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE PROTECTED FROM DAMAGE.
3. ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO CLAIM AN EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER'S REQUIREMENTS.
4. PROVIDE ALL DEMOLITION WORK IN ORDER TO FACILITATE THE APPLICATION OF NEW WORK. AT THE CONCLUSION OF ALL DEMOLITION LEAVE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
5. REMOVE EXISTING WINDOWS, FRAMES, TRIM CASING AND ASSOCIATED HARDWARE WHERE INDICATED.
6. REMOVE EXISTING DOORS, FRAMES, TRIM, THRESHOLD AND ASSOCIATED HARDWARE WHERE INDICATED.
7. REMOVE EXISTING COPPER GUTTER, DOWNSPOUTS AND ASSOCIATED HARDWARE WHERE INDICATED.
8. REMOVE EXISTING DECORATIVE GRATE FOR RESTORATION/RECONSTRUCTION.



PROGRESS
MAY 20, 2011

REVISIONS

NO.	DESCRIPTION

SCALE

1/8"=1'-0"

DATE

03/04/2011

DRAWN BY

RB

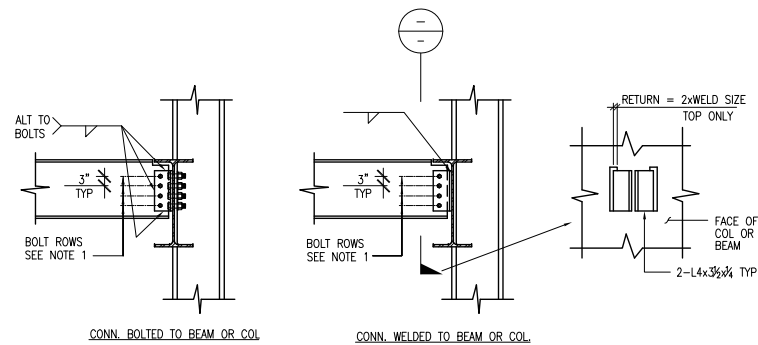
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33410.00

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DOUBLE ANGLE CONNECTIONS TO BEAM OR COLUMN

NOTE: CONN SIMILAR WHEN CONNECTING TO GIRDER OR COLUMN (SHOWN DASHED)

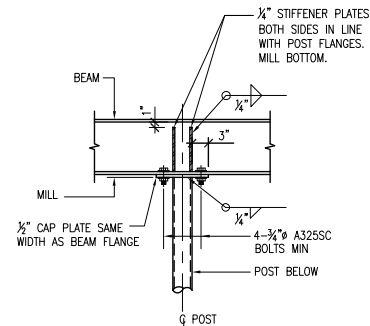
NOTES:

1. SIMPLE SHEAR CONNECTIONS SHALL BE DESIGNED FOR THE REACTION SHOWN ON THE DRAWINGS OR THE GREATEST OF THE FOLLOWING:
 - a. REACTION FROM AISC MANUAL OF STEEL TABLES FOR BEAMS FOR APPLICABLE BEAM MATERIAL AS PER GENERAL NOTES.
 - b. MINIMUM NUMBER OF BOLTS, SEE TABLE.
2. BOLTS SHALL BE $\frac{3}{4}$ " DIAMETER A325 MINIMUM U.O.N.
3. PROVIDE WEB REINFORCING AS REQUIRED DUE TO WEB CUTS, COPES ETC..
4. DESIGN OF DOUBLE ANGLE CONNECTIONS SHALL BE BASED ON THE LATEST AISC PROCEDURES SHOWN IN THE AISC MANUAL OF STEEL CONSTRUCTION.
5. FACTOR FOR CONVERSION OF LOADS FROM SERVICE TO ULTIMATE SHALL BE EQUAL TO 1.6.
6. ALTERNATE CONNECTION SYSTEM (SINGLE ANGLE, SEATED, ETC) MAY BE USED ONLY UPON SPECIFIED APPROVAL OF THE ENGINEER OF RECORD. DETAILER SHALL SUBMIT WRITTEN REQUESTS FOR USE OF ALTERNATE CONNECTIONS TO THE ARCHITECT AND ENGINEER OF RECORD.

TYPICAL SIMPLE SHEAR CONNECTION DETAIL ①

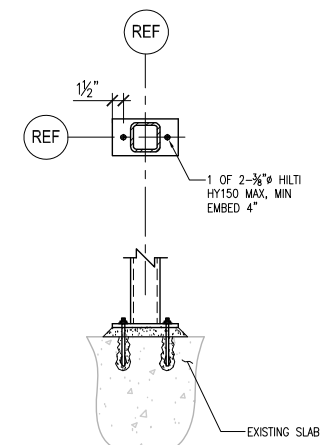
MINIMUM NUMBER OF BOLTS	
BEAM SIZE	"N"
W33	8
W30	8
W27	7
W24	6
W21	5
W18	4
W16	4
W14	3
W12	3
W10	2
WB	2

"N" = MINIMUM NUMBER OF BOLT ROWS



NOTE: WELDS MAY BE SUBSTITUTED FOR BOLTS AS REQUIRED TO MEET ARCHITECTURAL CONSTRAINTS.

TYPICAL DETAIL AT BEAM SUPPORTED ON POST ②

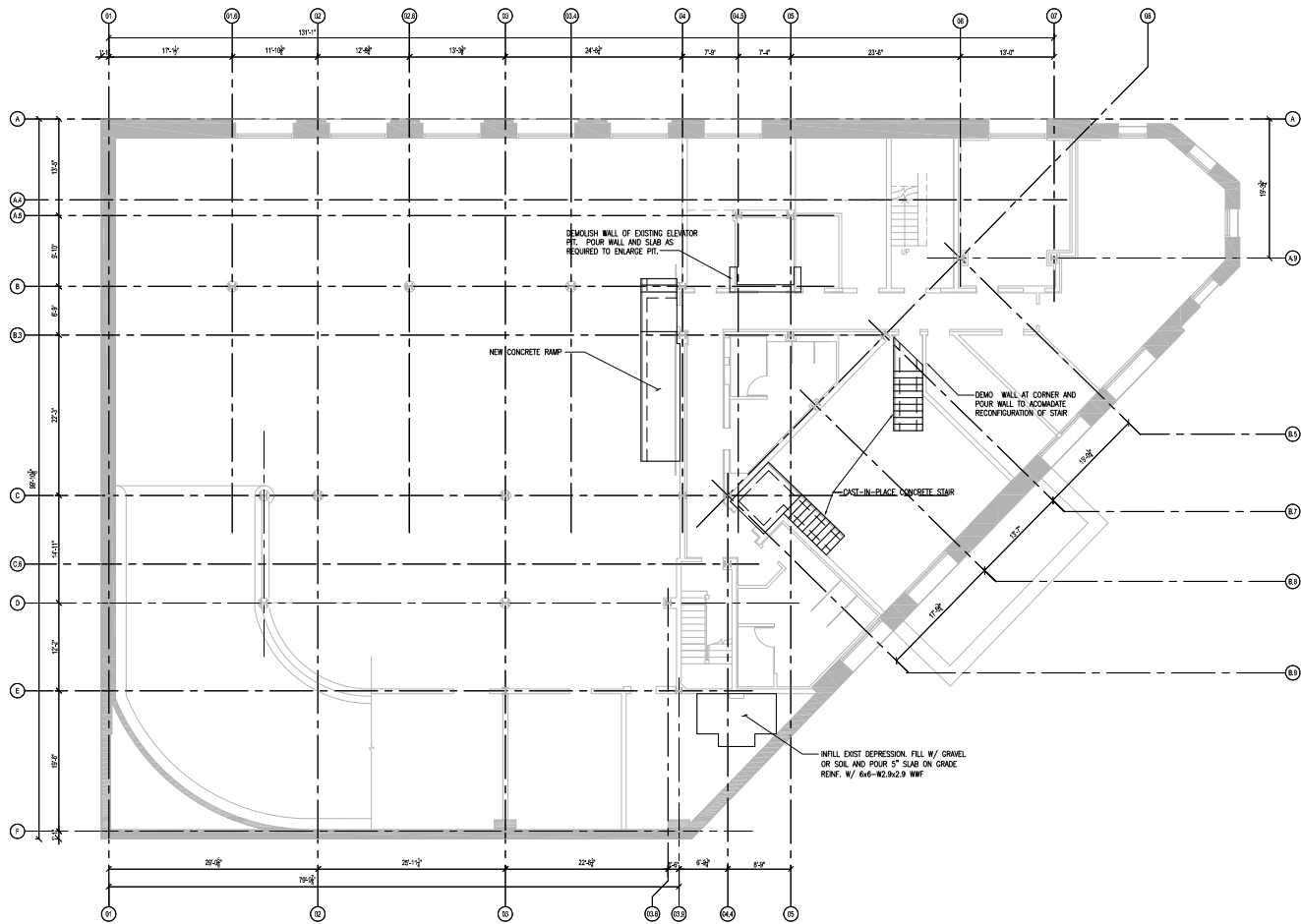


BASEPLATE ③



REVISIONS	

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DRAWING TITLE
**FOUNDATION
PLAN**

PROJECT
NORTH



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DATE
02/23/11

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JM

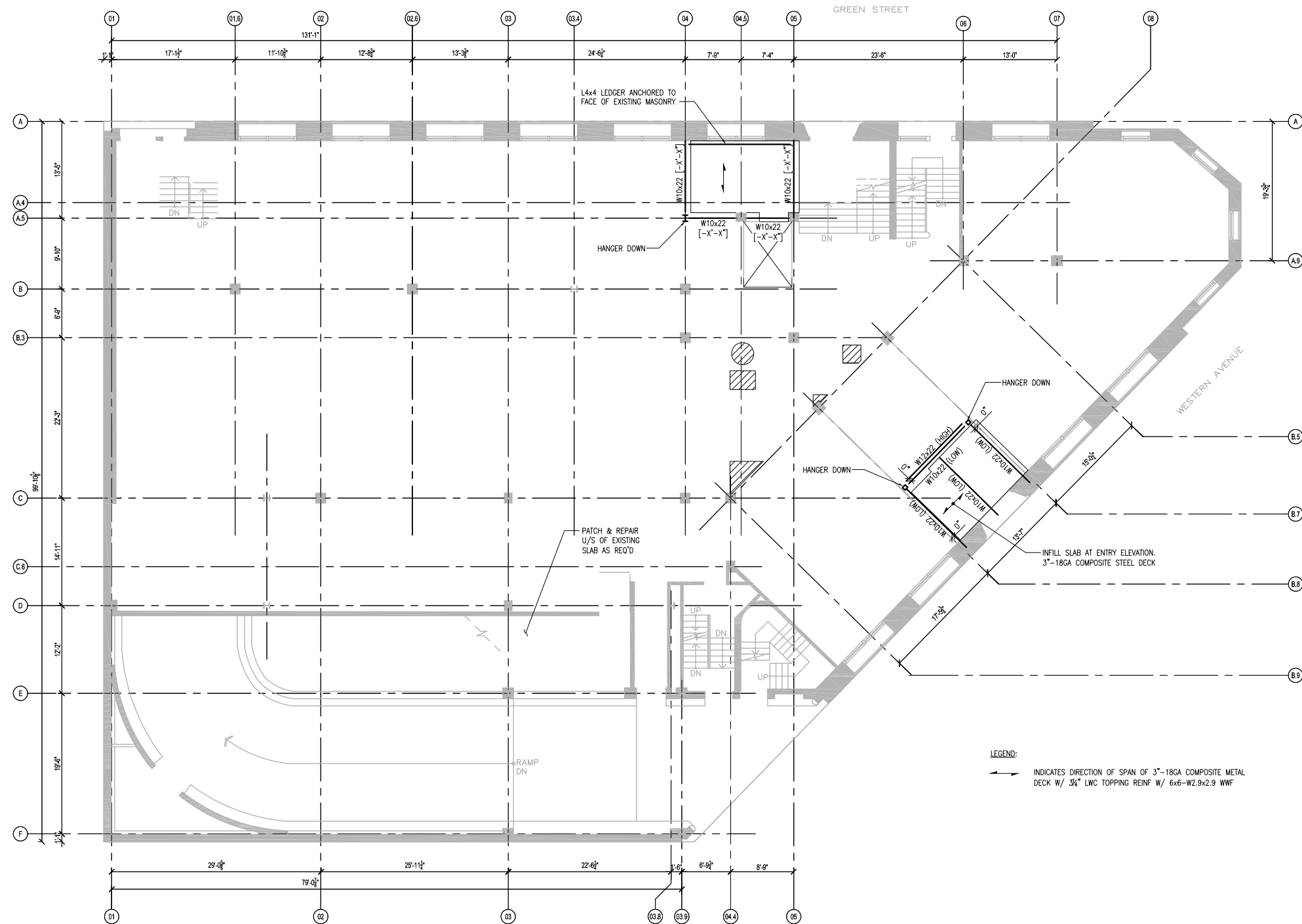
PROJECT NUMBER
9049

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S-10

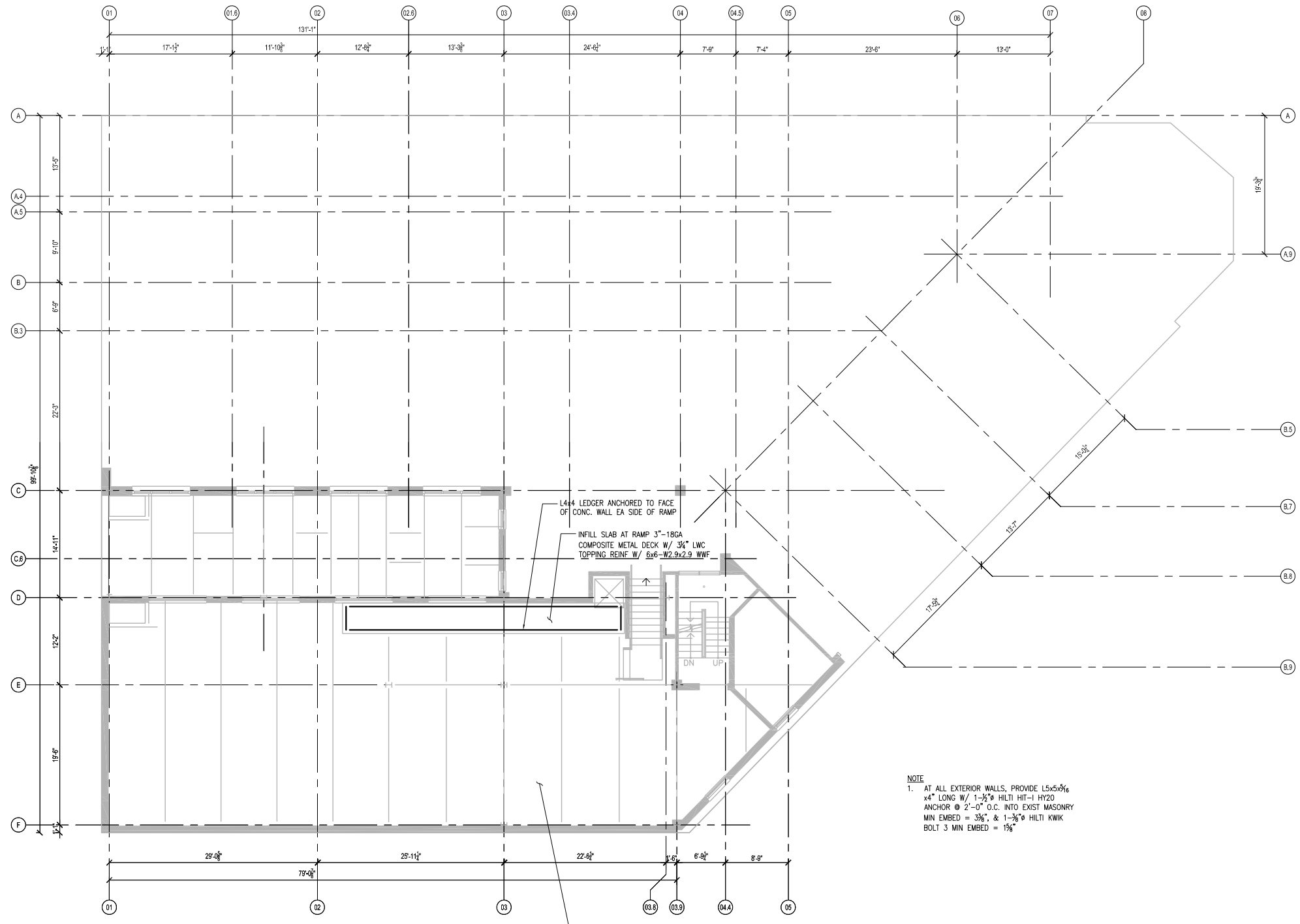


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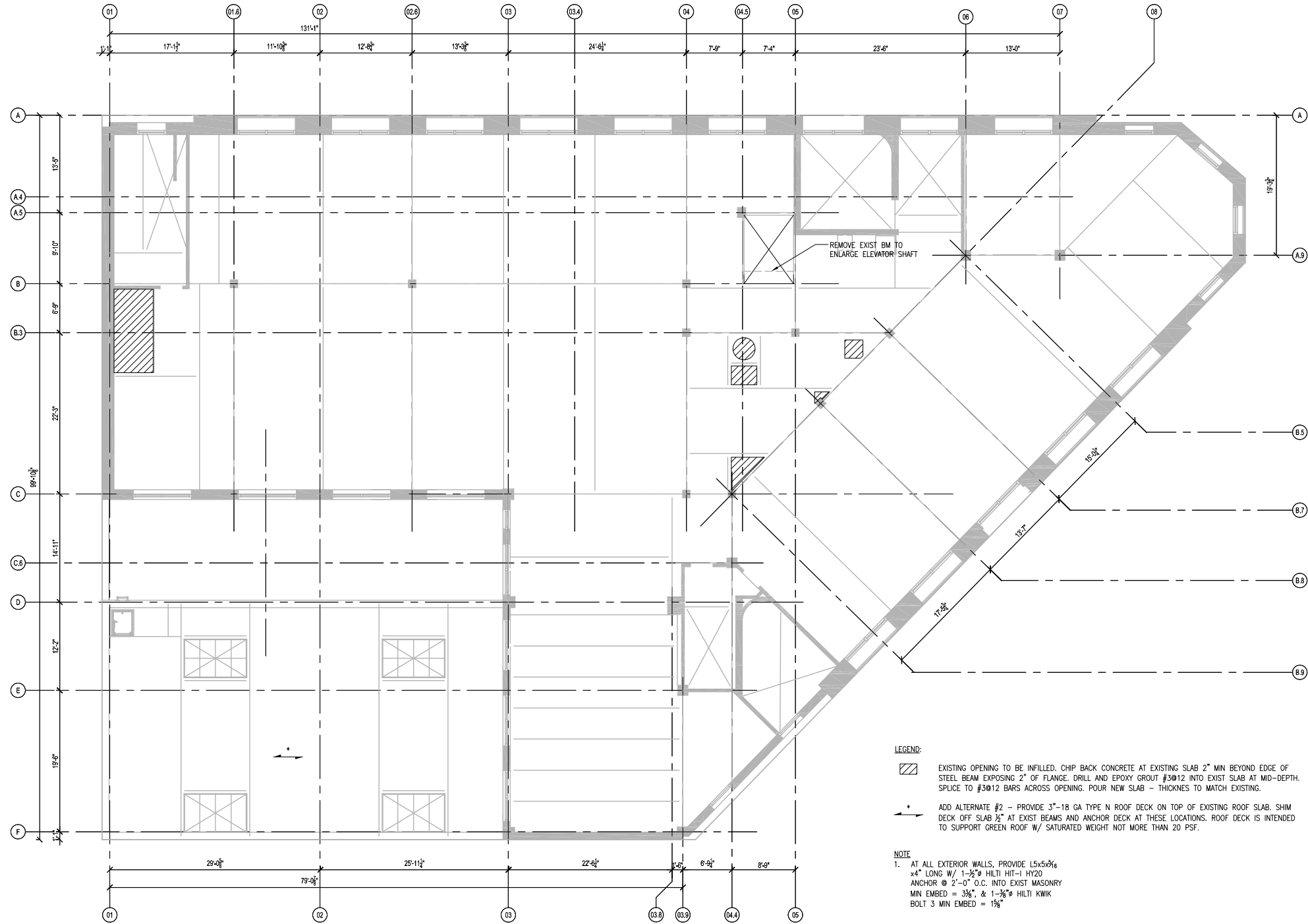


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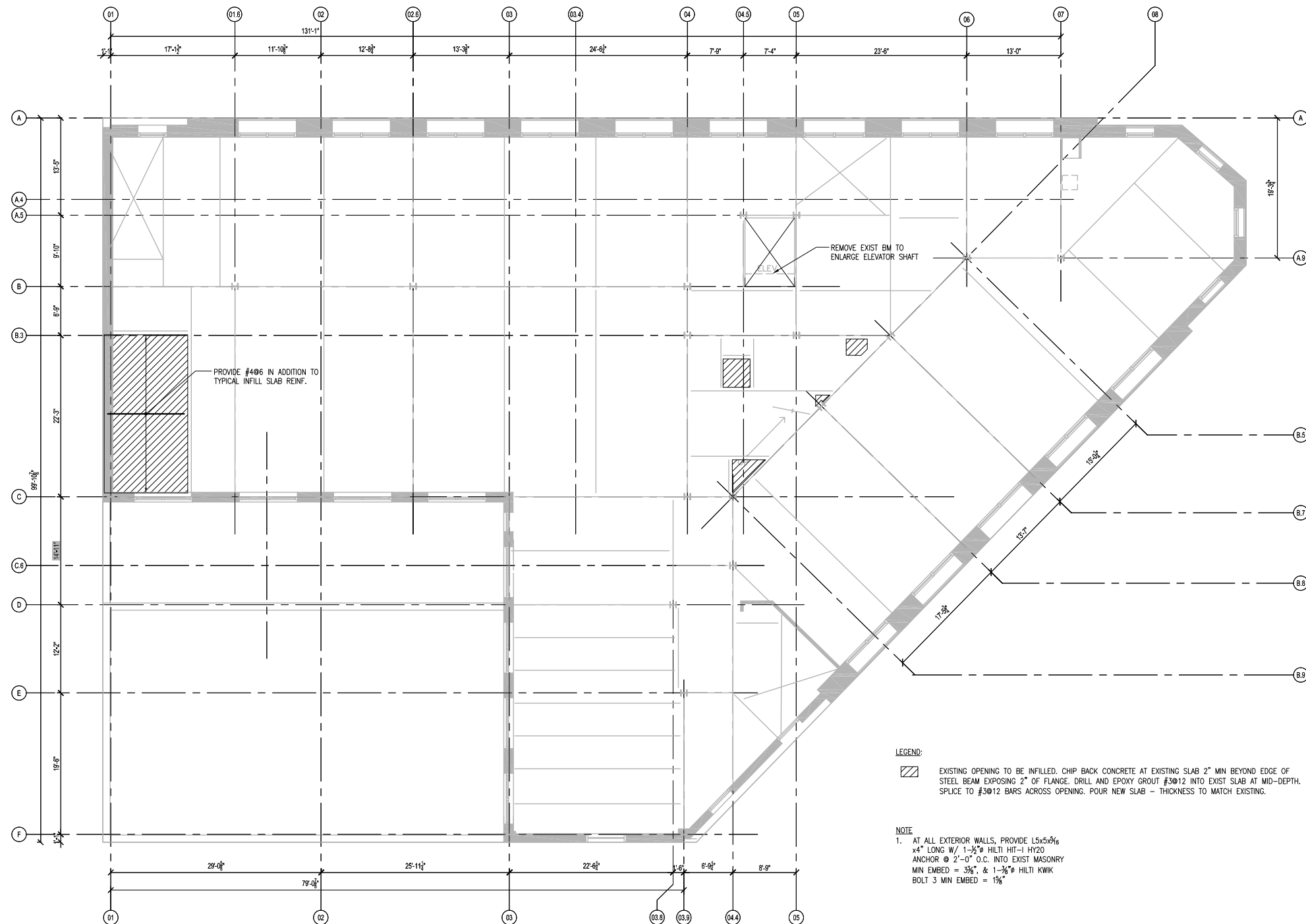


NO.	DESCRIPTION





NO.	DESCRIPTION





REVISIONS	

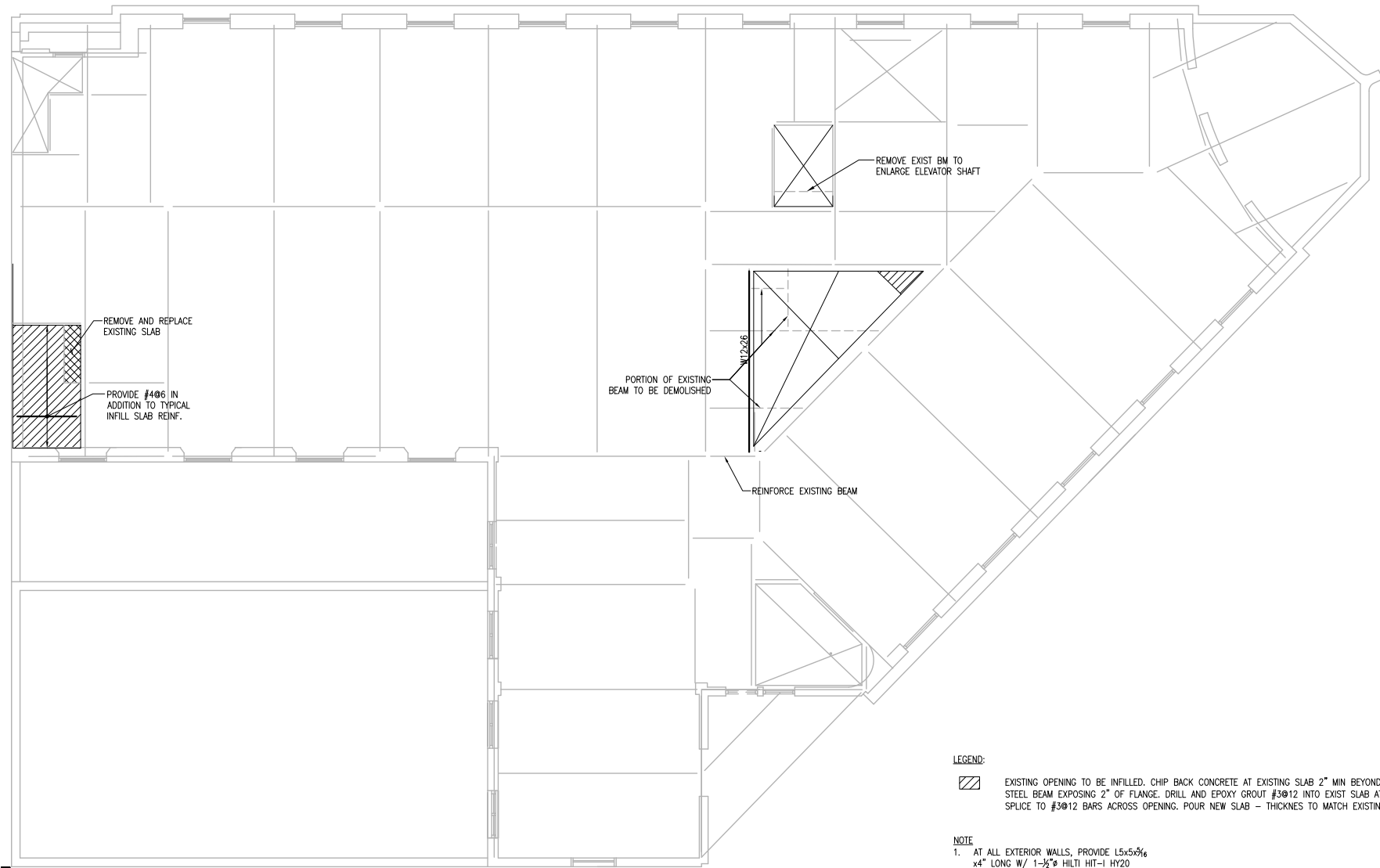
SCALE
1/8" = 1'-0"

DATE
02/23/11

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PROJECT NUMBER
9049

DRAWING NUMBER



LEGEND:
 EXISTING OPENING TO BE INFILLED. CHIP BACK CONCRETE AT EXISTING SLAB 2" MIN BEYOND EDGE OF STEEL BEAM EXPOSING 2" OF FLANGE. DRILL AND EPOXY GROUT #3@12 INTO EXIST SLAB AT MID-DEPTH. SPLICE TO #3@12 BARS ACROSS OPENING. POUR NEW SLAB - THICKNESS TO MATCH EXISTING.

NOTE
 1. AT ALL EXTERIOR WALLS, PROVIDE 15x5x3/8 4" LONG W/ 1-1/2" HILTI HIT-HI20 ANCHOR @ 2'-0" O.C. INTO EXIST MASONRY MIN EMBED = 3/8", & 1-3/8" HILTI KWIK BOLT 3 MIN EMBED = 1 1/2"



NO.	DESCRIPTION

