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July 1, 2022

Swaathi Joseph
Project Planner
Community Development Department
344 Broadway
Cambridge, MA 02139

**RE: Planning Board Case No. 344
24 Brattle Street
Cambridge, MA**

Dear Ms. Joseph:

As part of the ongoing design review condition contained in the above captioned Special Permit, attached please find elevations, plans, and narratives in support of proposed façade and storefront modifications.

I would request that this matter be placed on the General Business Agenda of the next available Planning Board hearing.

Please advise if any additional information is necessary in order to accommodate this request.

Thank you for your assistance.

Very truly yours


James J. Rafferty

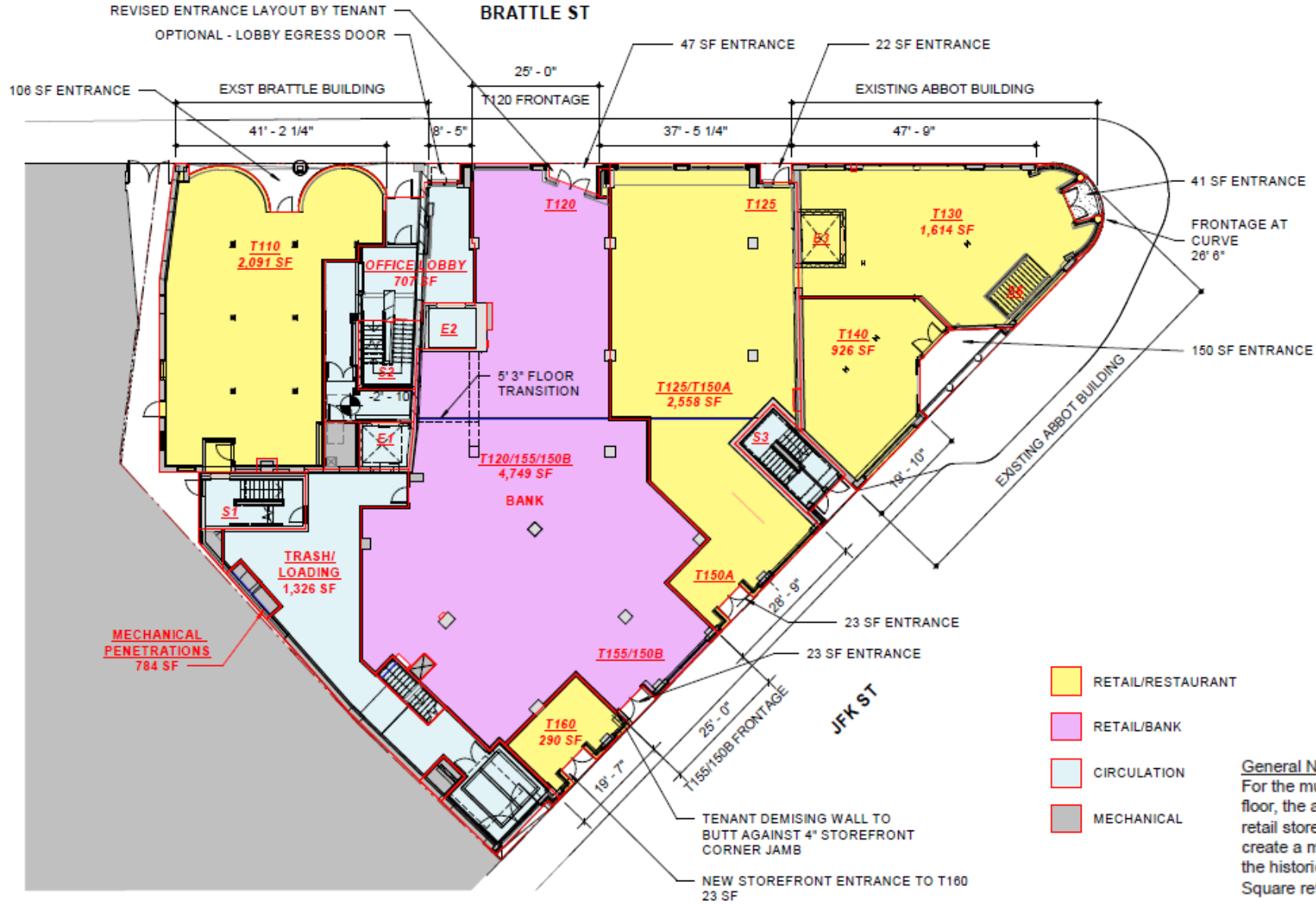
cc: Sam Stiebel, Vice President

**not a partnership*

The Abbot Buildings Special Permit Design Review 2022



Ground Floor (Proposed)



- RETAIL/RESTAURANT
- RETAIL/BANK
- CIRCULATION
- MECHANICAL

General Note
For the multiple retail uses on the ground floor, the actual size and location of each retail store will be determined in response to create a mix of retail storefronts that reflects the historical combination of Harvard Square retailers.

Bank Layout

The bank proposes two main points of entry into the space:

- Brattle Street
- JFK Street

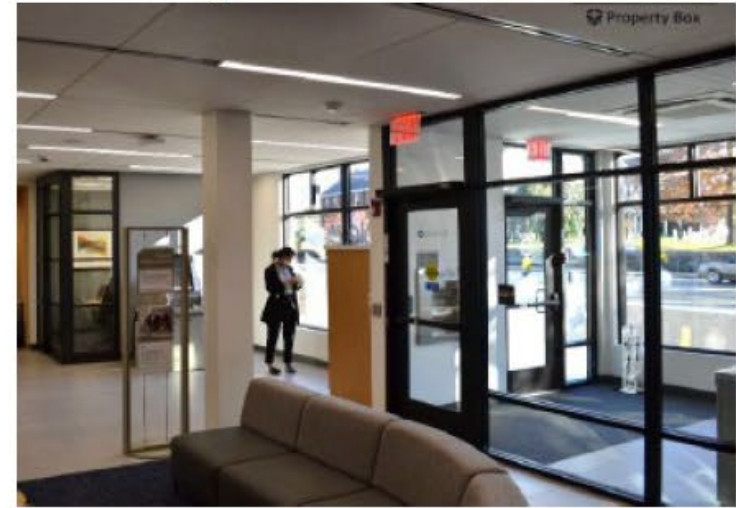
Each entrance also acts as an ATM vestibule that only houses one ATM machine in each vestibule.

Brattle Street shows a through-the-wall ATM & an after-hours depository & JFK shows a front-loading ATM (depicted below)



Note: All storefronts/vestibules will be clear glass on both streets and both entrances will be main entrances (example below)

Interior-facing view of a vestibule



Exterior-facing view of a vestibule



Additional Vestibule Information (Plans, Materials, Elevations, Demo Plans, Pier Interface)

SEE ATTACHED PLANS

Brattle Frontage

Previously Approved



Proposed

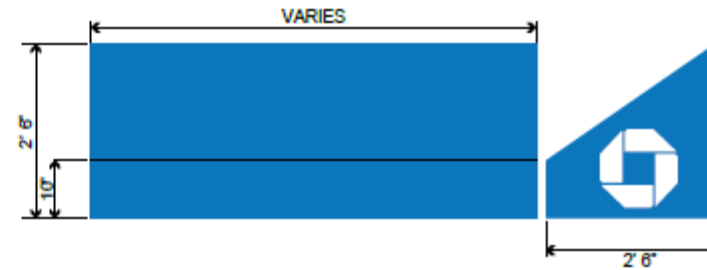
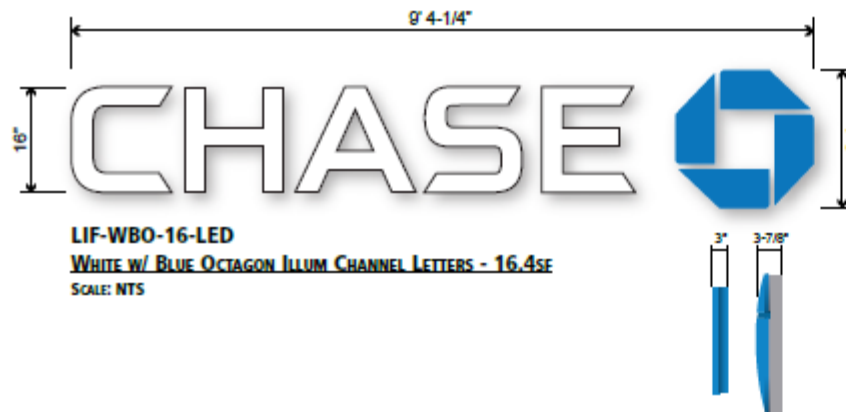


Brattle Signage



Brattle Street Elevation

NOTE: Historical Review Required for all Signage.



AWN-WU-SHED
NON-ILLUMINATED FABRIC SHED AWNING
SCALE: NTS

NOTE: Need dimensions before final approval. Awnings must fit within masonry opening and cannot be mounted on masonry.

JFK Frontage

Previously Approved



Proposed

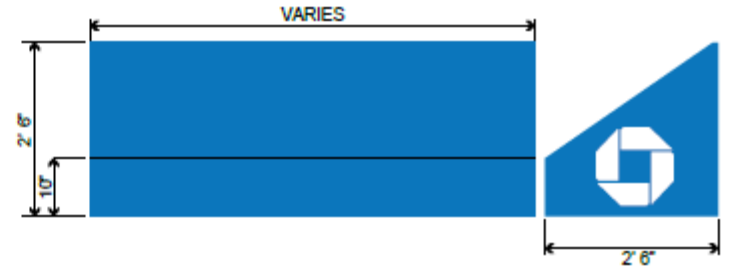
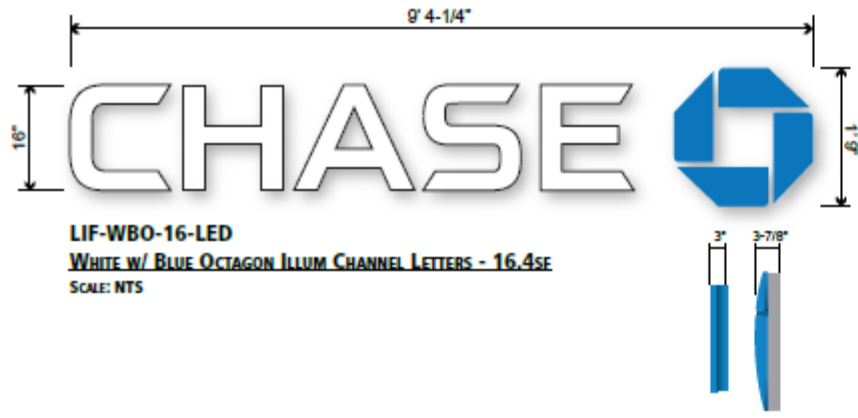


JFK Signage



John F Kennedy Street Elevation

NOTE: Historical Review Required for all Signage.

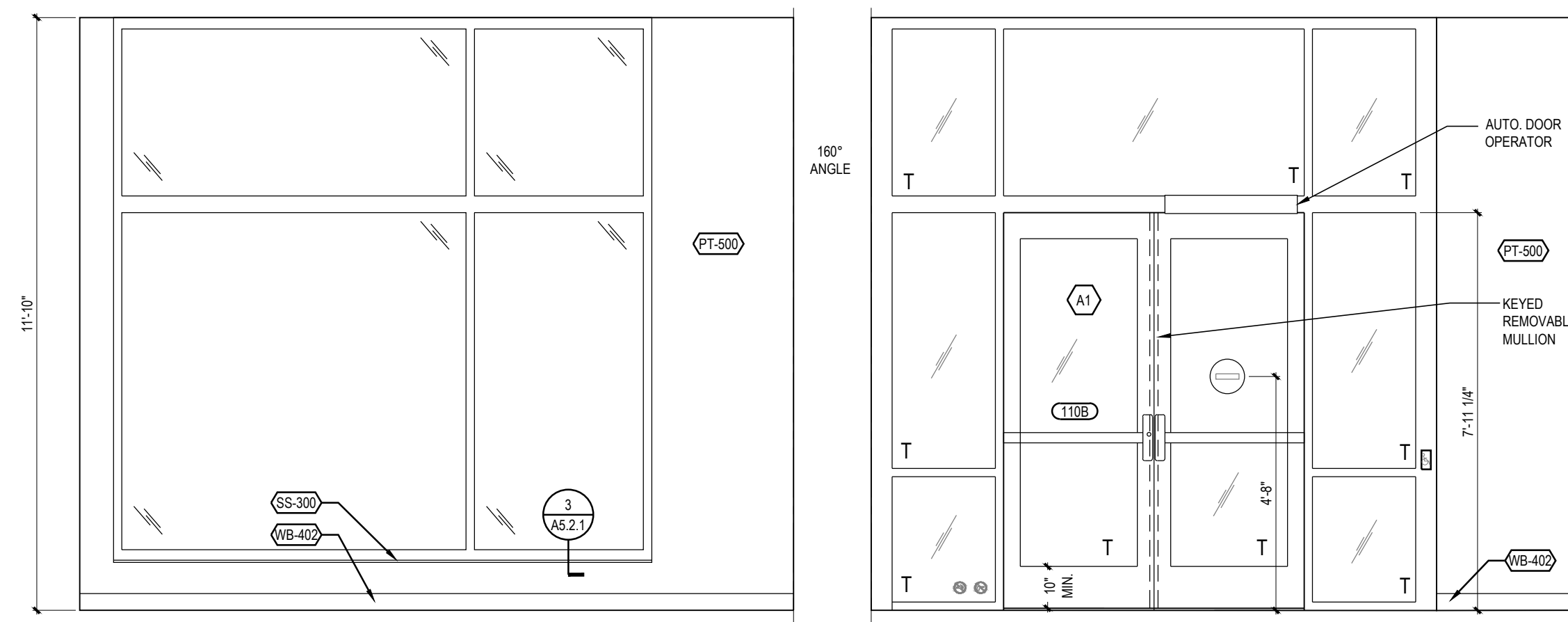


AWN-WU-SHED
NON-ILLUMINATED FABRIC SHED AWNING
SCALE: NTS

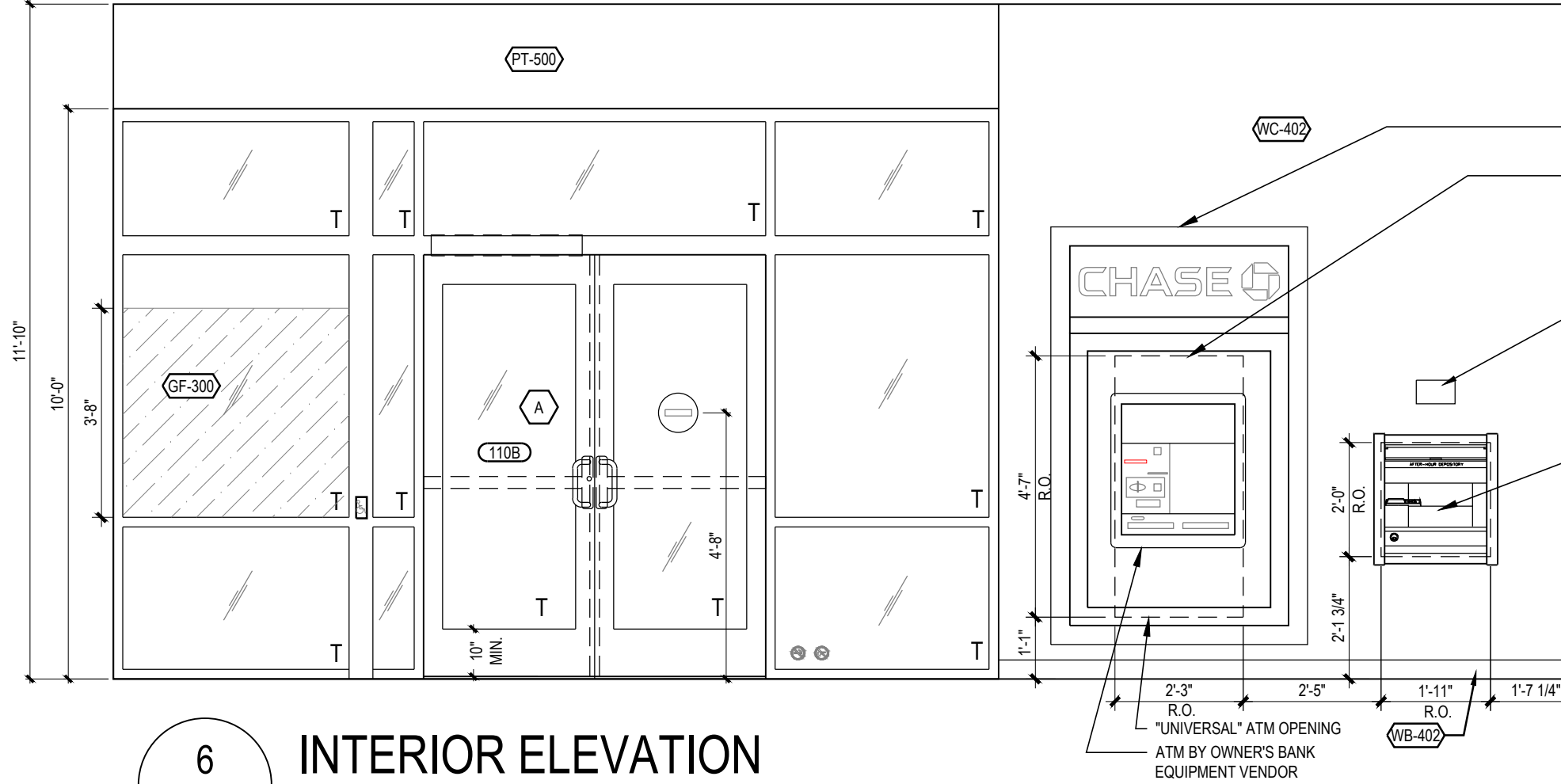
NOTE: Need dimensions before final approval. Awnings must fit within masonry opening and cannot be mounted on masonry.

JFK Frontage – Bank and New Adjoining Retail Space (Illustrative)

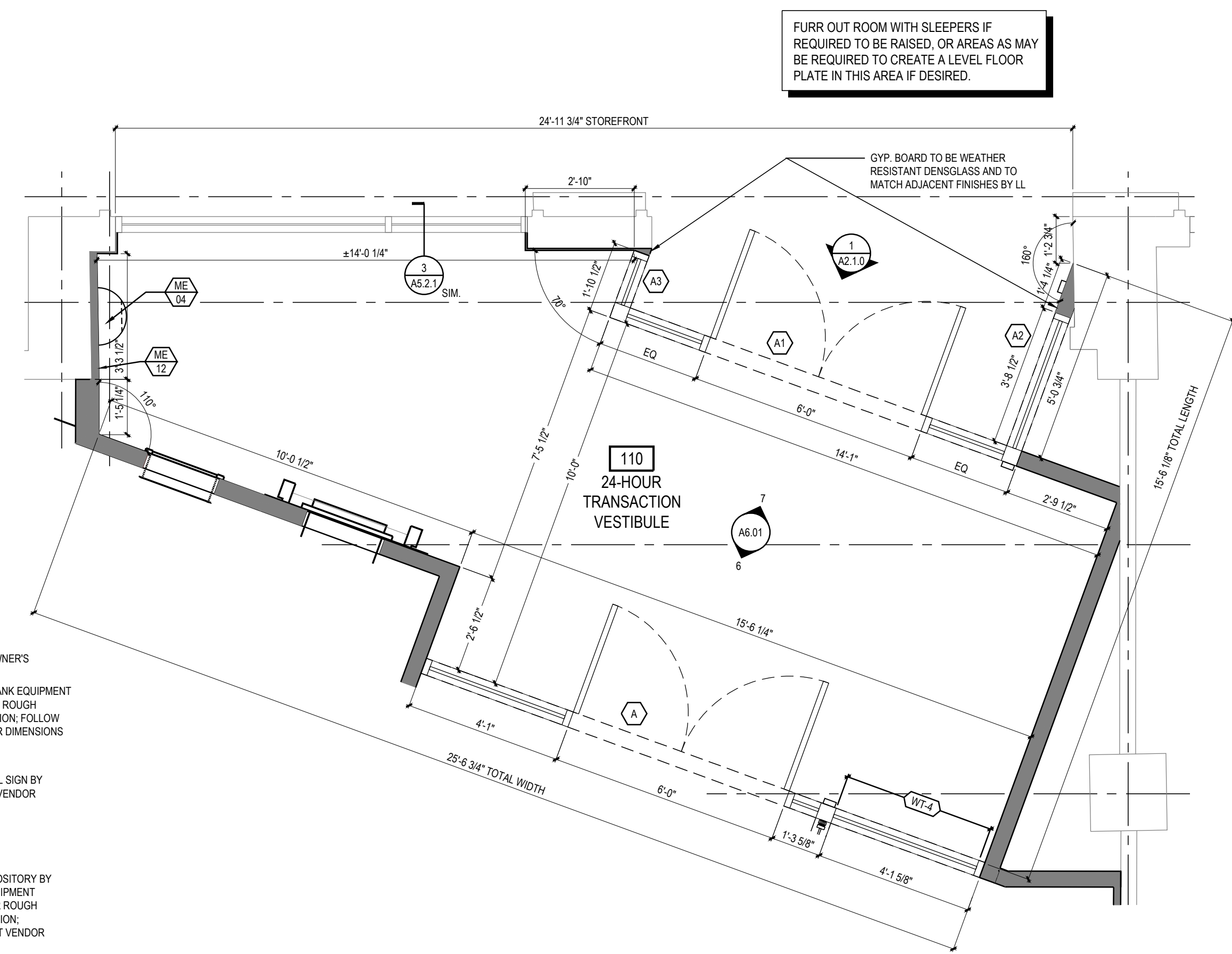




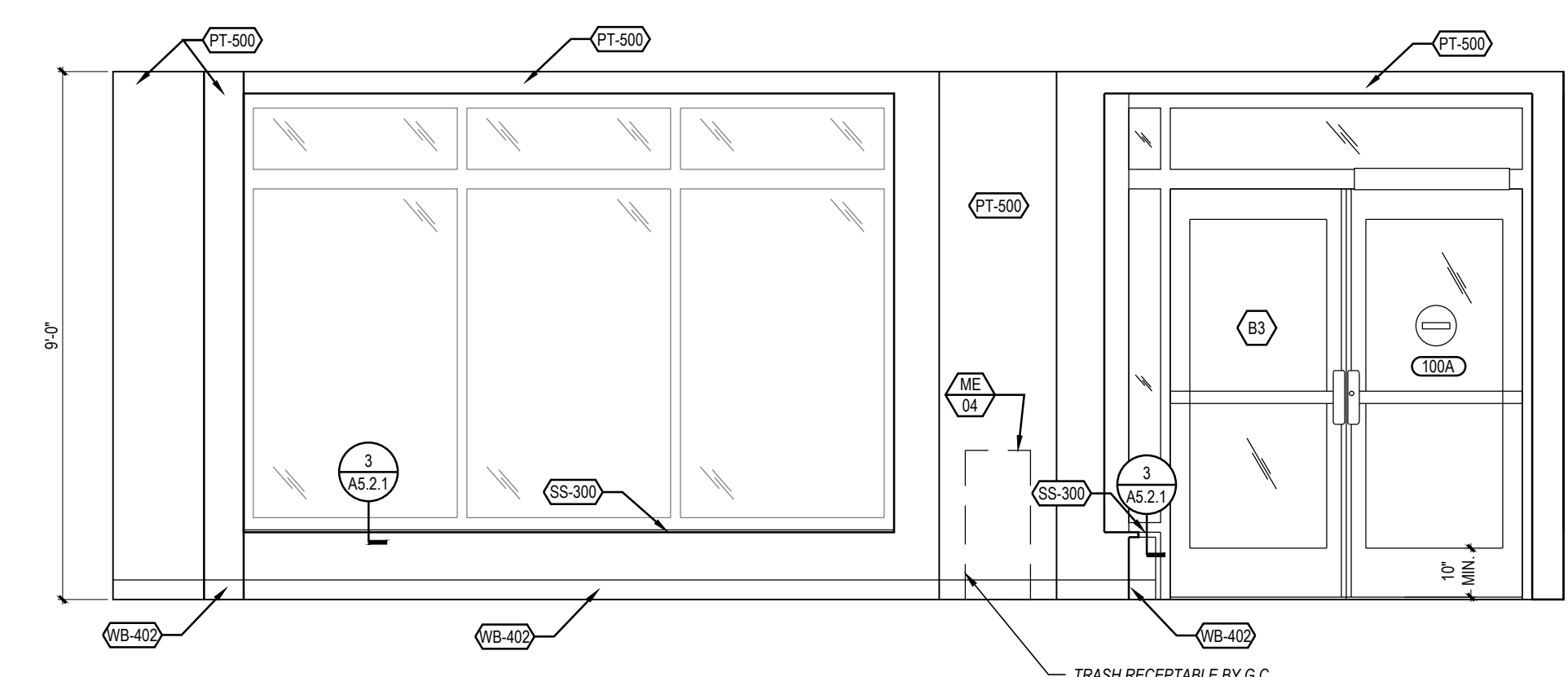
7 INTERIOR ELEVATION
A6.01 3/8" = 1'-0"



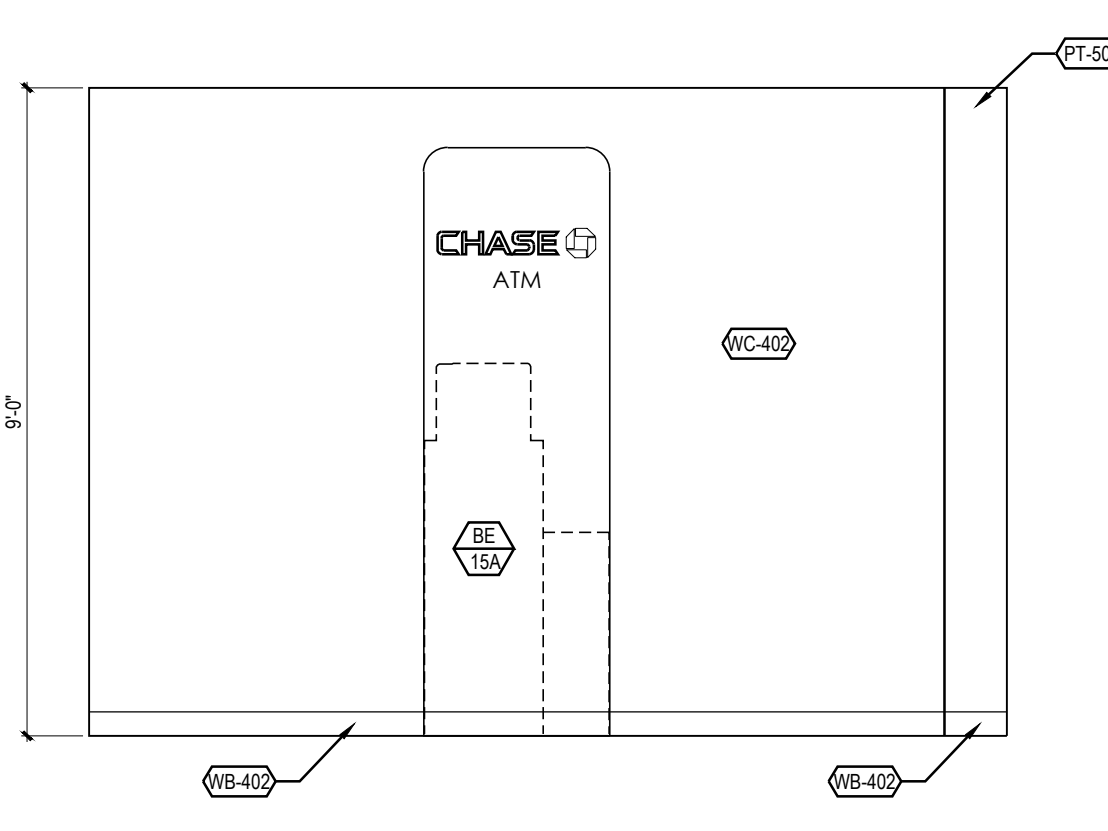
6 INTERIOR ELEVATION
A6.01 3/8" = 1'-0"



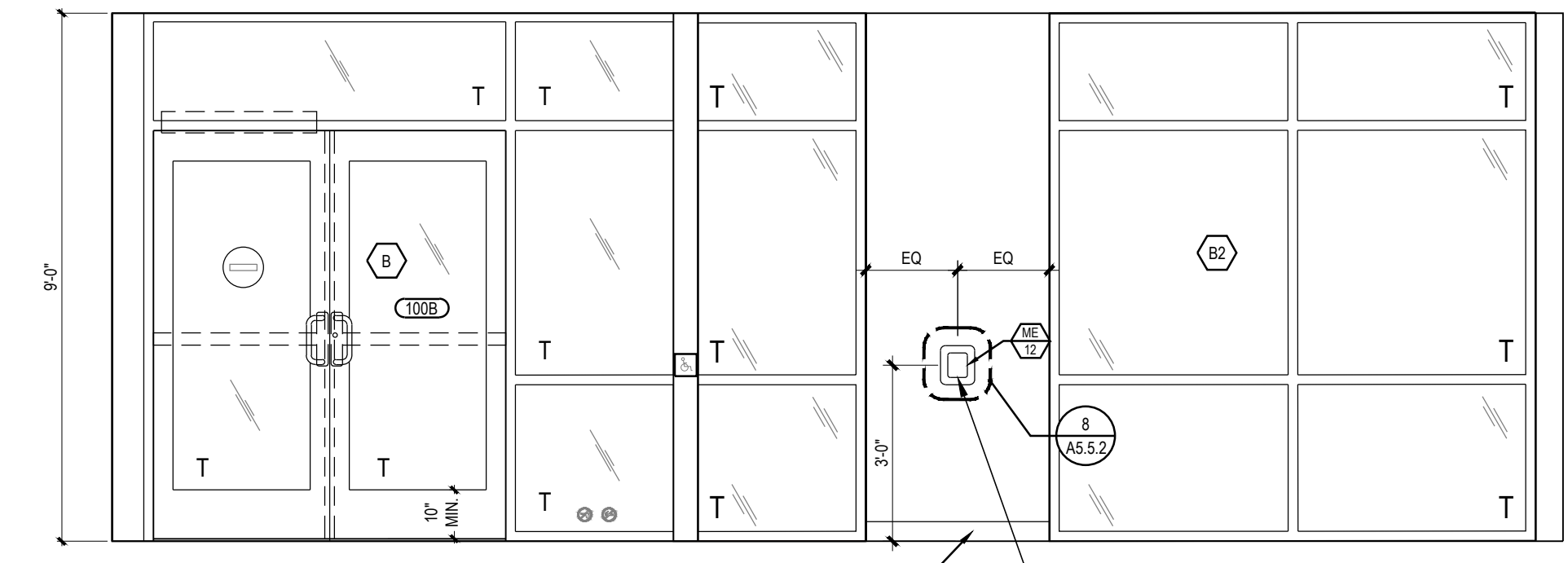
5 TRANSACTION VESTIBULE PLAN
A6.01 3/8" = 1'-0"



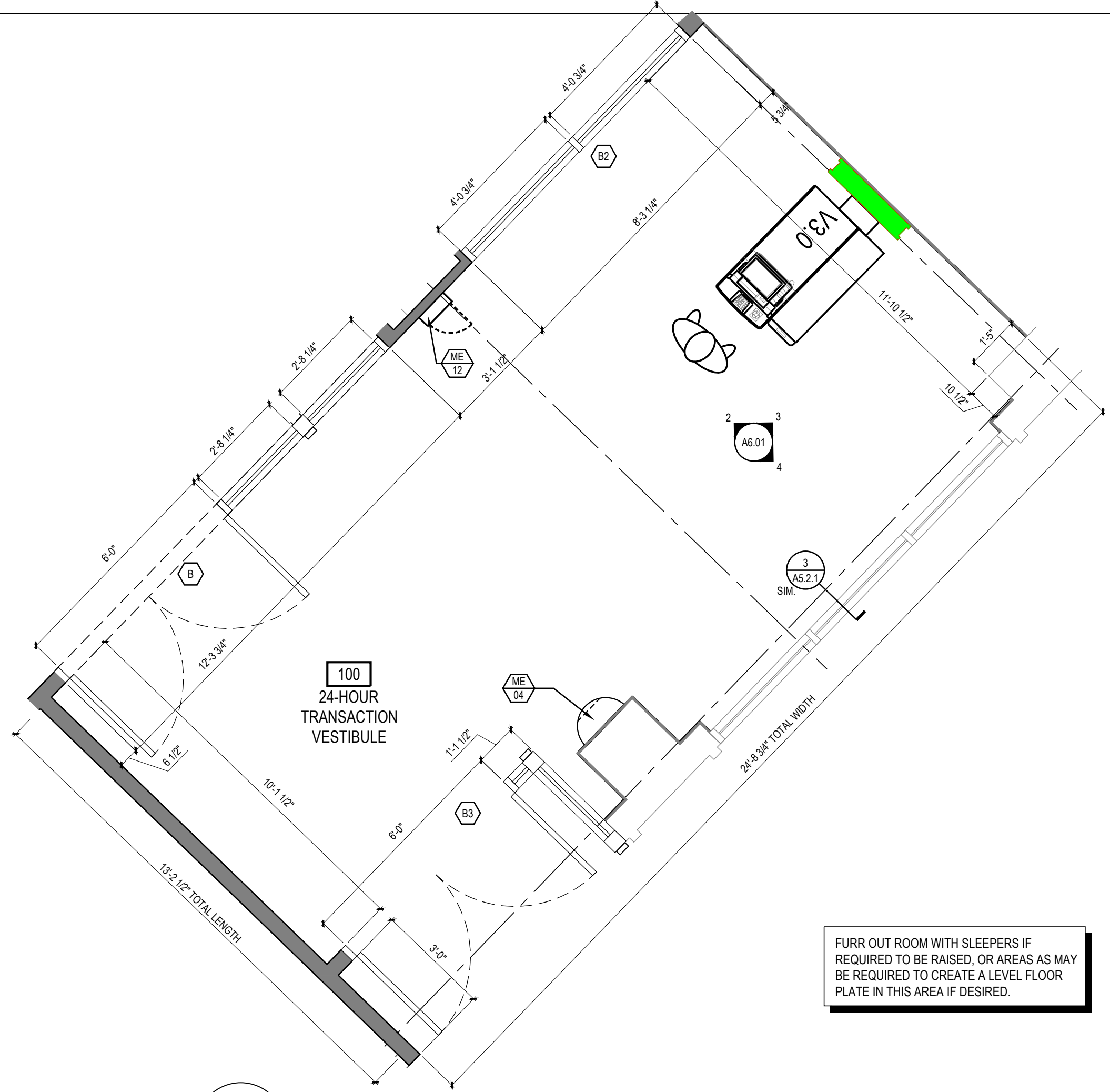
4 INTERIOR ELEVATION
A6.01 3/8" = 1'-0"



3 INTERIOR ELEVATION
A6.01 3/8" = 1'-0"



2 INTERIOR ELEVATION
A6.01 3/8" = 1'-0"



1 TRANSACTION VESTIBULE PLAN
A6.01 3/8" = 1'-0"

FURR OUT ROOM WITH SLEEPERS IF REQUIRED TO BE RAISED, OR AREAS AS MAY BE REQUIRED TO CREATE A LEVEL FLOOR PLATE IN THIS AREA IF DESIRED.

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TRANSACTION VESTIBULE 110

CHASE
JP MORGAN CHASE, N.A.
HARVARD SQUARE
9 JFK STREET
CAMBRIDGE, MA 02138
CHASE OVP #38100P322595

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ARCHITECT OF RECORD

JAMES T. LALLI, AIA, ARCHITECT
LICENSE NO. 32254

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE	DATE	DESCRIPTION
1	2021.05.21	PERMIT SET
1	2021.10.05	PERMIT COMMENTS
2	2022.06.22	REVISION 01

PROJECT INFORMATION

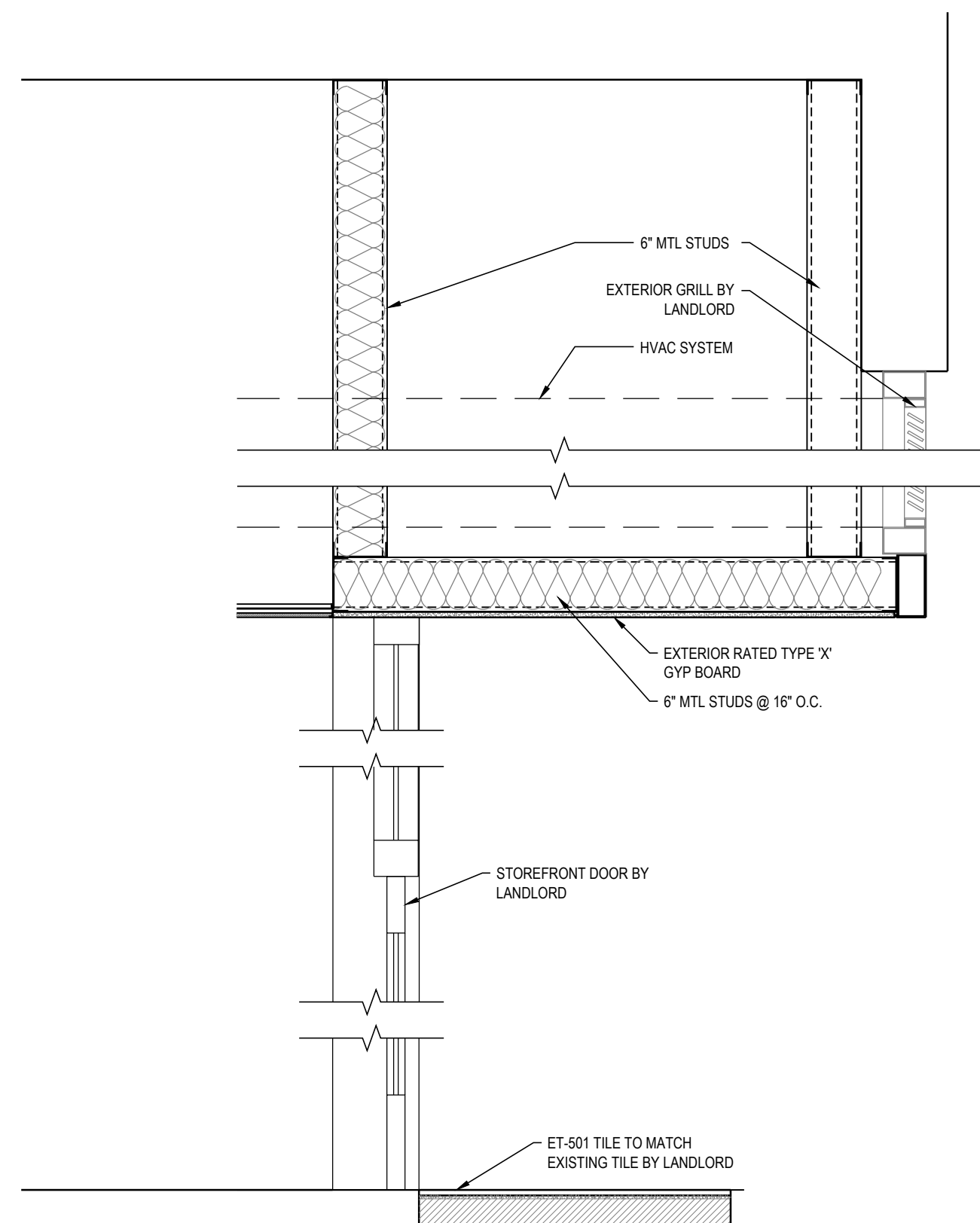
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DATE:	2022.06.21
PROTOTYPE:	20.3
DRAWN BY:	K.KELLY
CHECKED BY:	M.SIDES
VERSION:	SSE_1.00

SHEET TITLE
TRANSACTION VESTIBULE:
INTERIOR ELEVATIONS

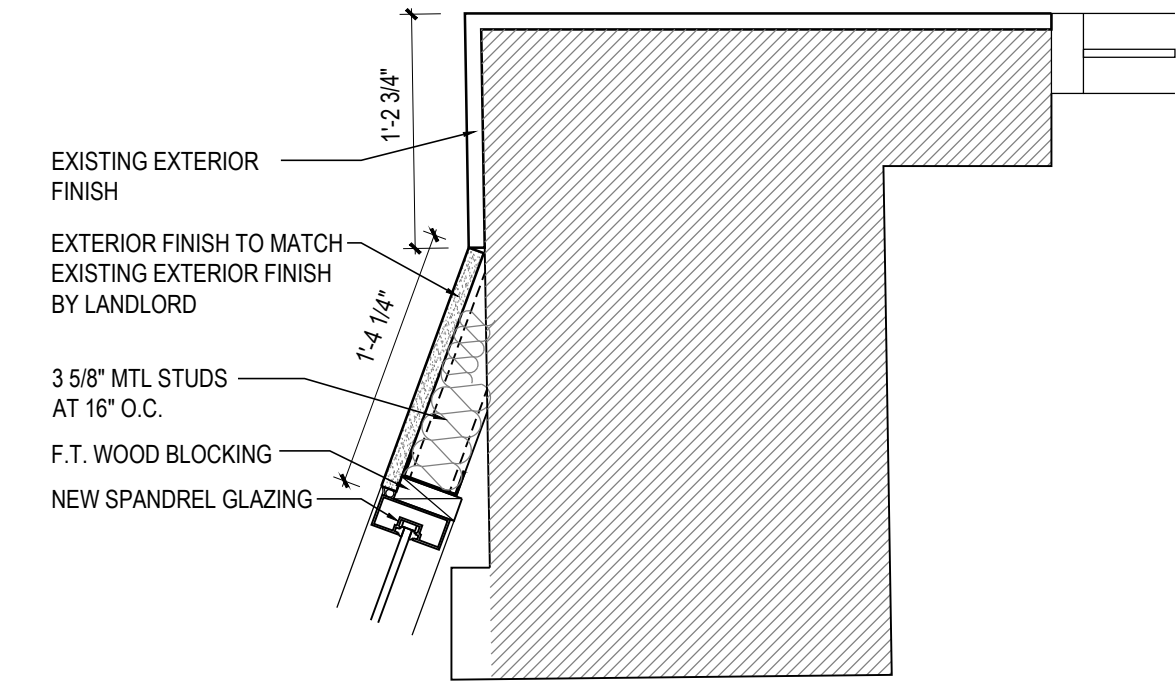
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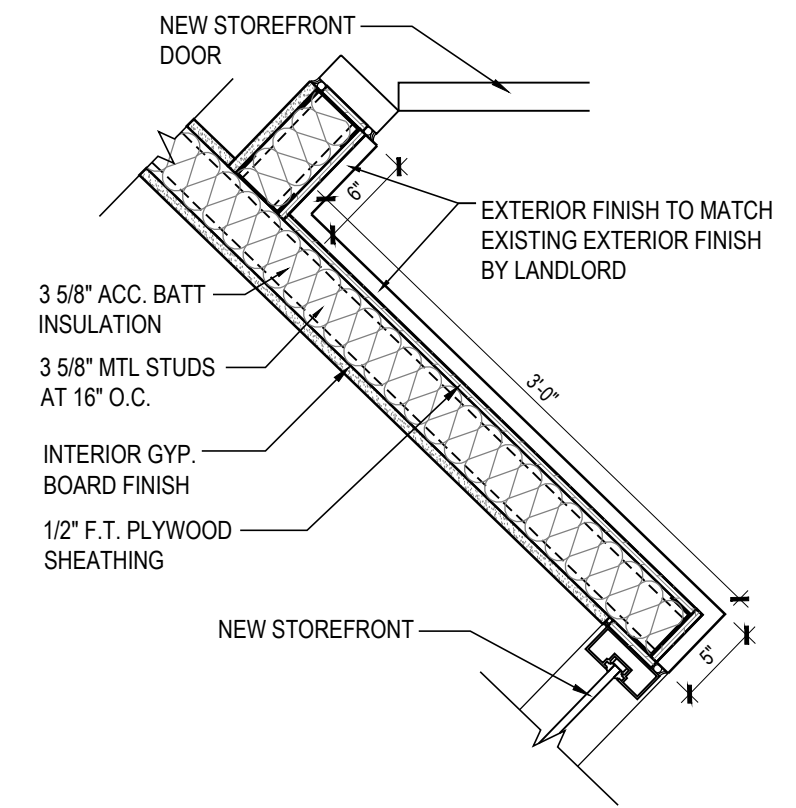
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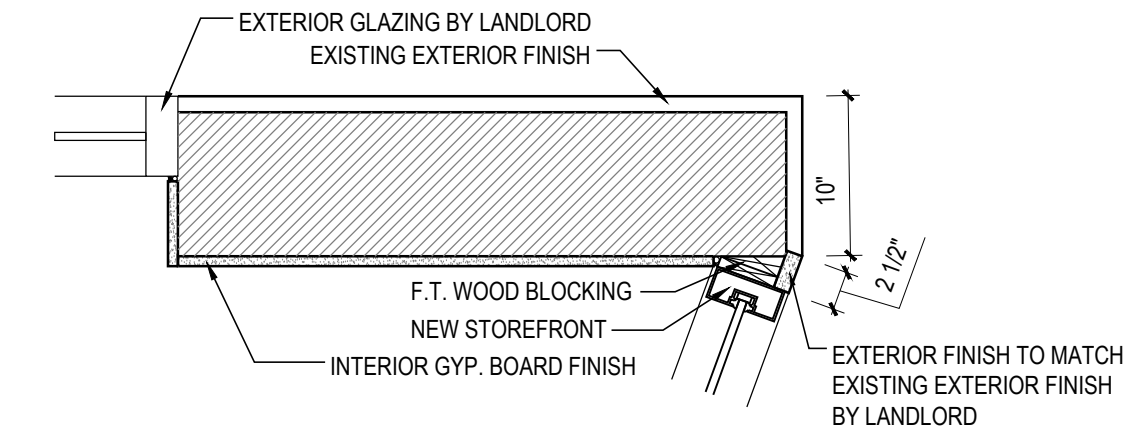
7 SECTION AT FRONT ENTRY ALCOVE
 1 1/2" = 1'-0"



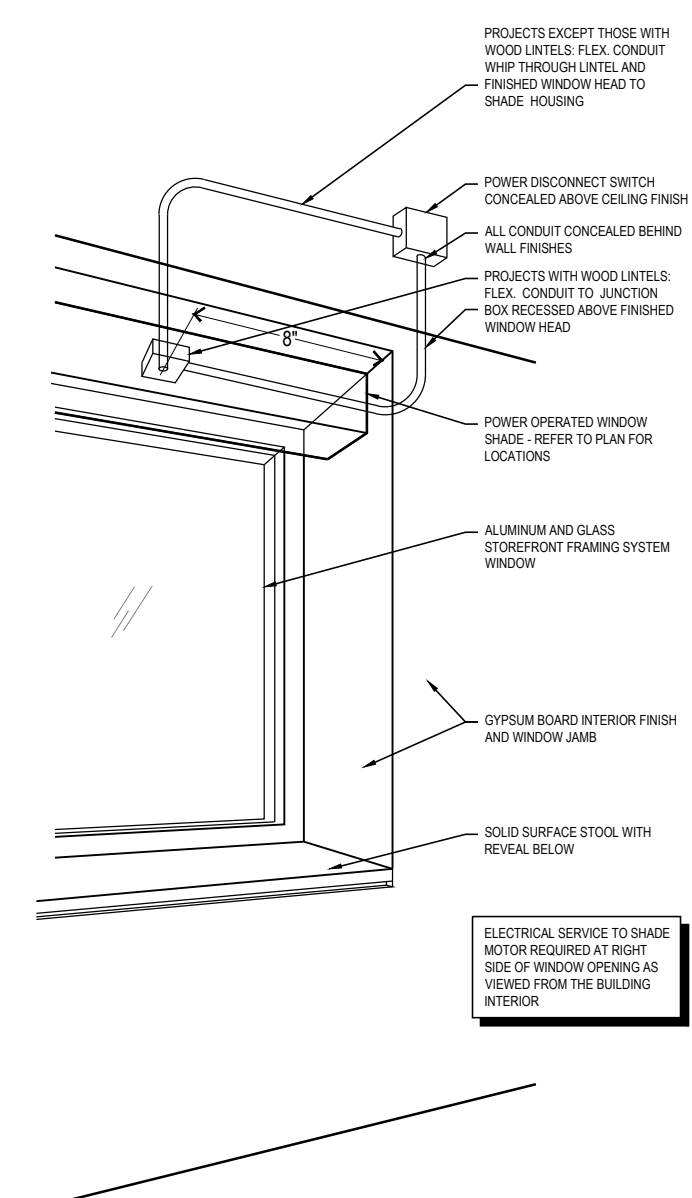
6 BRATTLE ST WALL DETAIL 02
 1" = 1'-0"



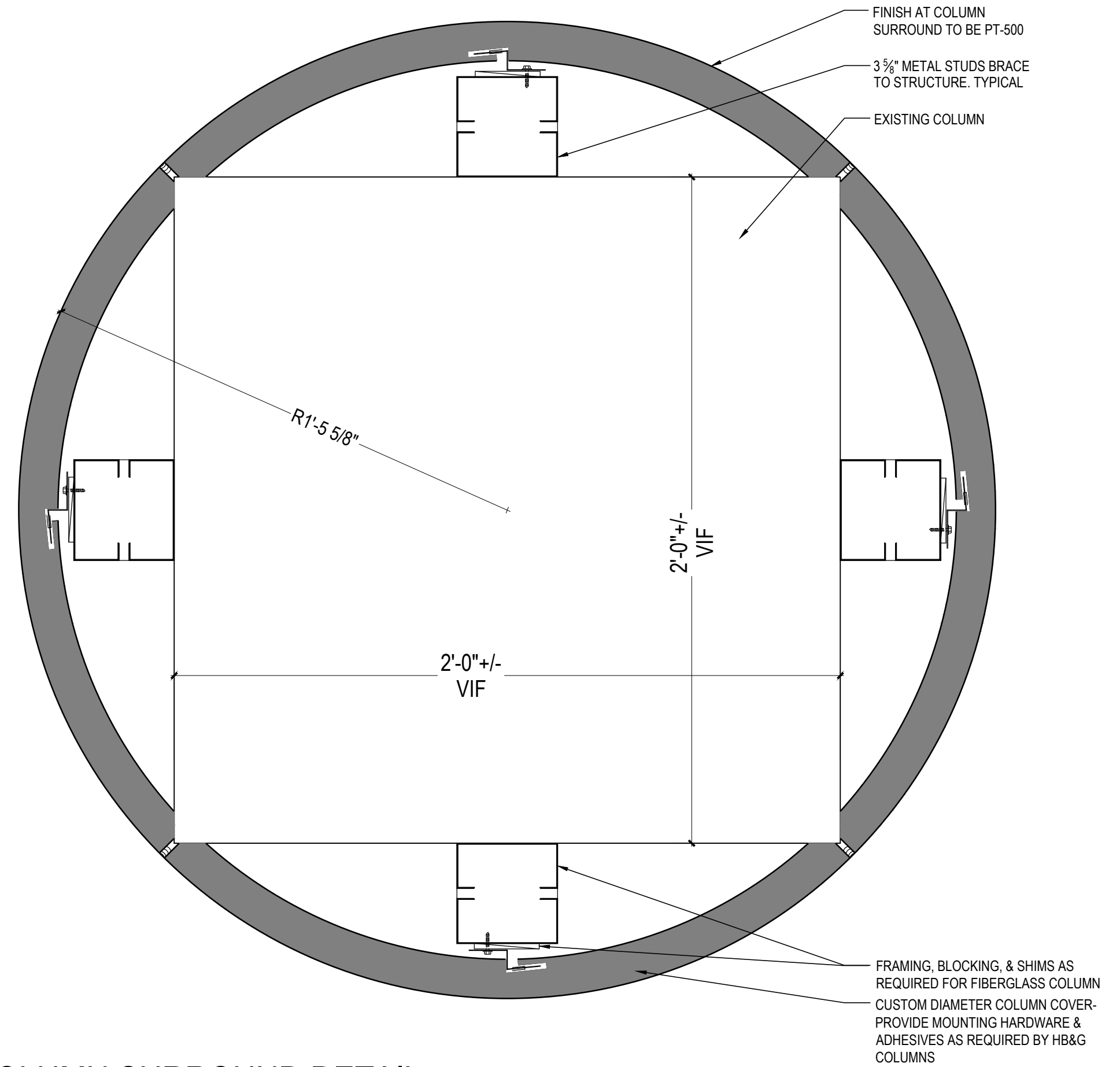
8 BRATTLE STREET WALL DETAIL 01
 1" = 1'-0"



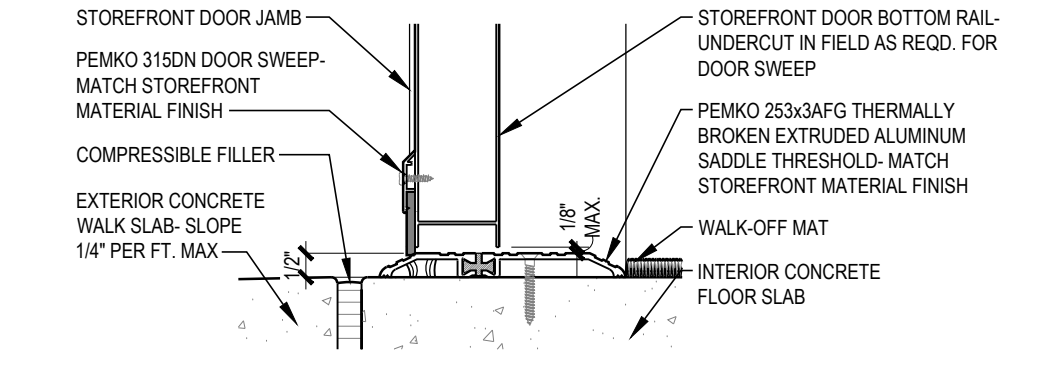
5 BRATTLE STREET WALL DETAIL 01
 1" = 1'-0"



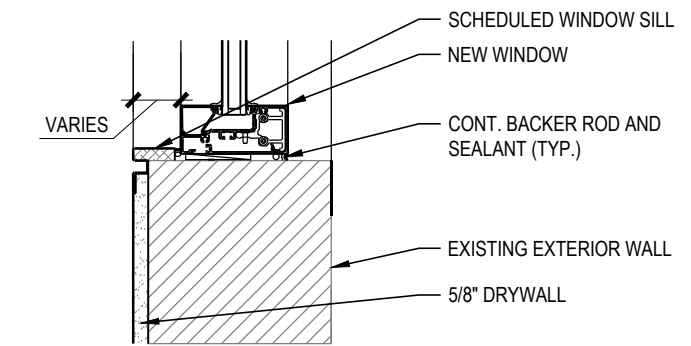
17 TYPICAL MOTORIZED SHADE ELECTRICAL ROUGH-IN DIAGRAM
 NOT TO SCALE



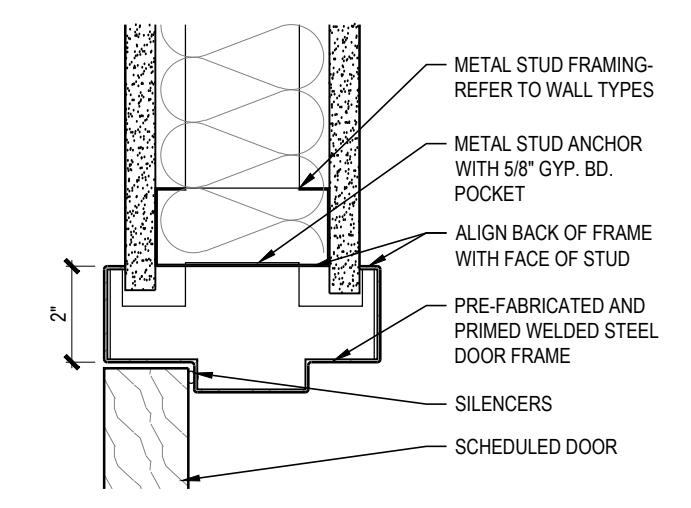
2 COLUMN SURROUND DETAIL
 3" = 1'-0"



4 TYPICAL STOREFRONT ENTRANCE THRESHOLD
 3" = 1'-0"



3 TYP WDW SILL DETAIL
 1 1/2" = 1'-0"



1 INTERIOR DOOR HEAD / JAMB SIMILAR
 3" = 1'-0"

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DRAWN BY:	K.KELLY
CHECKED BY:	M.SIDES
VERSION:	SSE_1.00

DETAILS: WALL OPENINGS & INTERIOR DETAILS

SHEET NUMBER

A5.2.1

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