| | DRAWING LIST | |
|-----------------------|------------------------------------|---------------------|
| SHEET NUMBER | SHEET NAME | SHEET ISSUE DATE |
| 0-Cover | | |
| A-000 | COVER SHEET | 3/27/2023 |
| 1-Civil | DI OT DI AN OF LAND | 010/0004 |
| C1 | PLOT PLAN OF LAND | 2/8/2021 |
| 2-Landscape Ar | rch | |
| L1 | LANDSCAPE PLAN | 3/3/2023 |
| L2 | LANDSCAPE MATERIALS PLAN | 3/3/2023 |
| 3-Architectural A-011 | EXISTING CONDITIONS & DEMO PLAN | 3/27/2023 |
| A-019 | ZONING ANALYSIS | 3/27/2023 |
| A-020 | ARCHITECTURAL SITE PLAN | 3/27/2023 |
| A-021 | BIKE PARKING PLANS | 3/27/2023 |
| A-022 | GROSS AREA PLANS | 3/27/2023 |
| A-023 | UNIT AREAS | 3/27/2023 |
| A-100 | BASEMENT PLAN | 3/27/2023 |
| A-101 | 1ST FLOOR PLAN | 07/11/23 |
| A-102 | 2ND FLOOR PLAN | 07/11/23 |
| A-103 | 3RD FLOOR PLAN | 07/11/23 |
| A-104 | ROOF PLAN | 07/11/23 |
| A-300 | EAST & SOUTH ELEVATIONS | 3/27/2023 |
| A-301 | NORTH & WEST ELEVATIONS | 3/27/2023 |
| AV-1 | PERSPECTIVES | 3/27/2023 |
| AV-2 | MILTON & MASS AVE CORNER RENDERING | 3/27/2023 |
| | | |

MILTON & MASS AVE CORNER RENDERING MILTON & MASS AVE CORNER RENDERING

MASS AVE. RENDERING

MASS, AVE, RENDERING

EXISTING CONDITIONS/ CURRENT

SHADOW STUDY

SHADOW STUDY

SHADOW STUDY

SITE TREES

07/11/23

07/11/23

3/27/2023

07/11/23

3/27/2023

3/27/2023

3/27/2023

3/27/2023

3/27/2023



PROJECT TEAM

OWNER

NELSON GROUP COMPANIES
ADDRESS:
264 SALEM ST.
MEDFORD, MA 02155

ARCHITECT

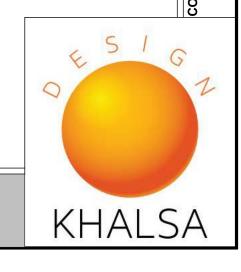
KHALSA DESIGN INC. ADDRESS: 17 IVALOO ST., SUITE 400 SOMERVILLE, MA 02143

LANDSCAPE ARCHITECT

VERDANT ADDRESS: 318 HARVARD ST., #25 BROOKLINE, MA 02446

LEGAL

ADAMS & RAFFERTY ADDRESS: 907 MASS AVE., SUITE 300 CAMBRIDGE, MA 02139

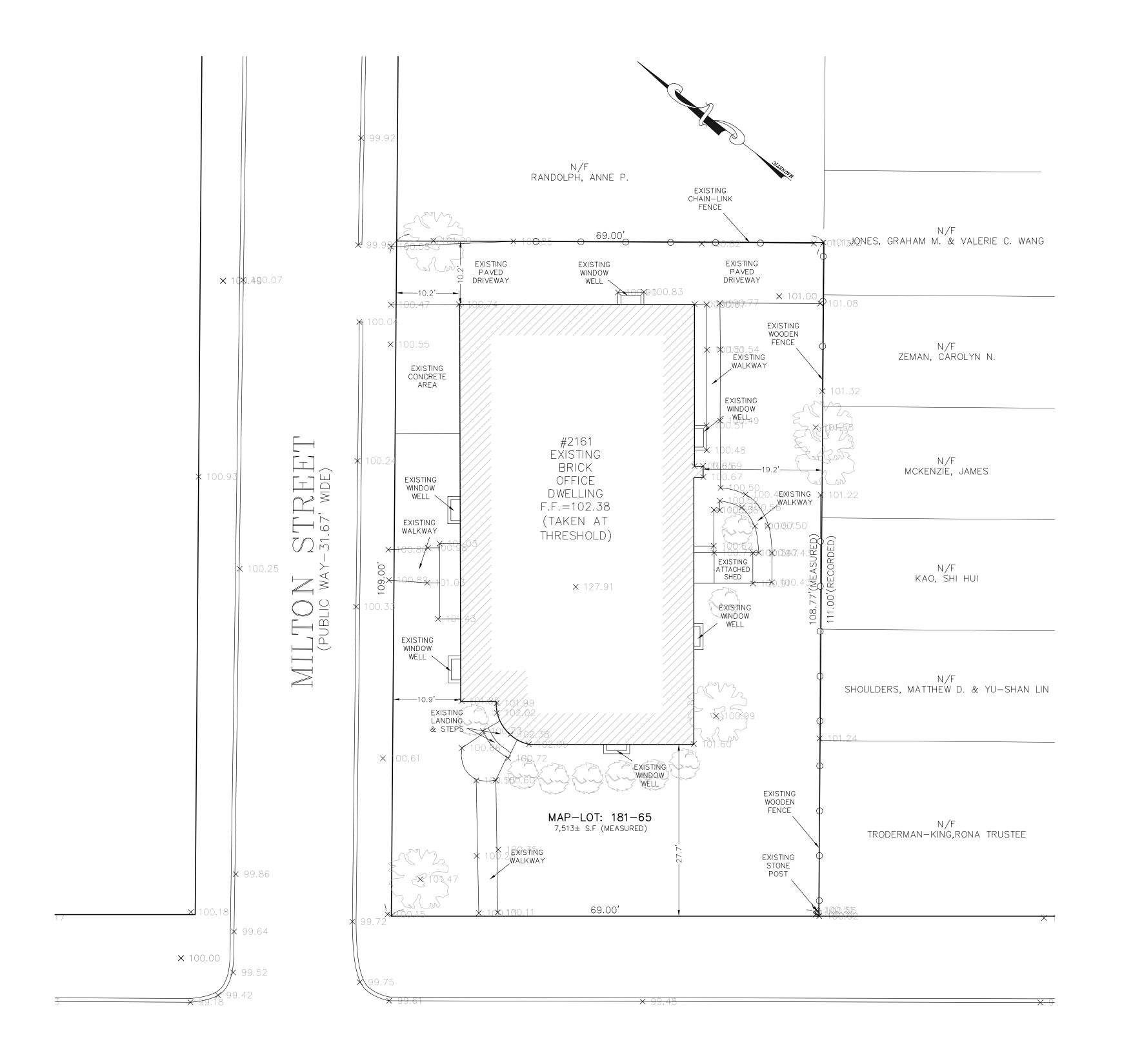


AVE RESIDENCES

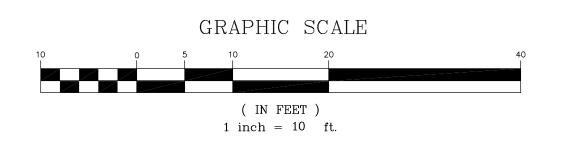
2161 MASS

A-000

DATE: 7/11/2023



MASSACHUSETTS AVENUE (PUBLIC WAY-VARIABLE WIDTH)



NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 1/19/2021.

2. DEED REFERENCE: BOOK 13083, PAGE 528
PLAN REFERENCE: PLAN BOOK 14509, PLAN 327
PLAN REFERENCE: PLAN BOOK 15287, PLAN 343
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

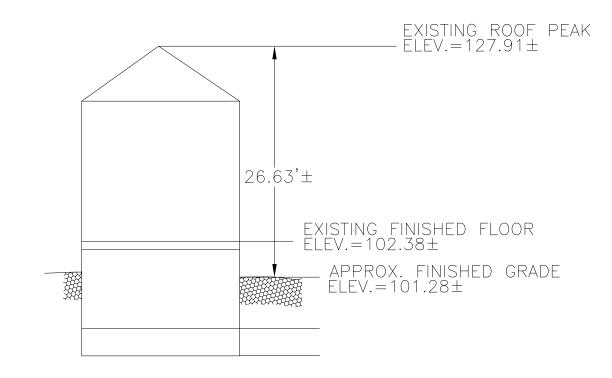
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0438E, IN COMMUNITY NUMBER: 250186, DATED 6/4/2010.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

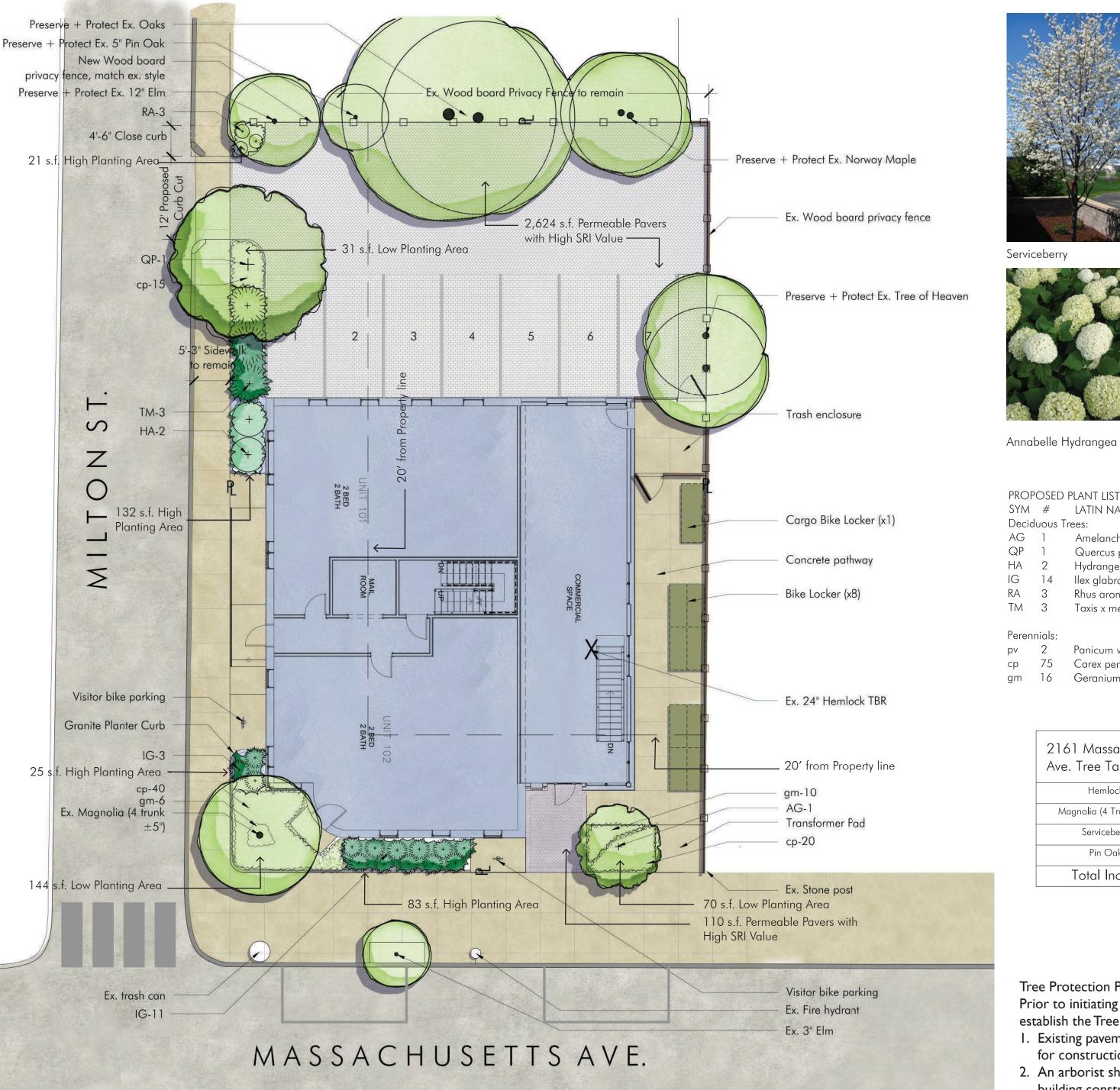
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

8. THE ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM.



EXISTING PROFILE NOT TO SCALE

| SCALE 1"=10' | | | | | | | |
|-----------------|----------|--|------------------------------------|------------|----------|--|--|
| DATE | | | | | | | |
| 2/8/2021 | REV | DATE | REVISION | | BY | | |
| SHEET | | 216 | 1 MASSACHUSETTS AV | /ENUE | | | |
| 1 | | | CAMBRIDGE | | | | |
| PLAN NO. | | | | | | | |
| 1 OF 1 | | MASSACHUSETTS | | | | | |
| CLIENT: | | SHEET NO. | | | | | |
| | | | PLOT PLAN | | | | |
| DRAWN BY | TOFLAND | | | | | | |
| KK | | → DETED NOLAN & ACCOUNTED 110 | | | | | |
| CHKD BY | | PETER NOLAN & ASSOCIATES LLC | | | | | |
| ETS | | LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS | | | | | |
| | \dashv | 80 JEWETT STREET, SUITE 2 NEWTON MA 02458 | | | | | |
| APPD BY | | PHONE | : 857 891 7478/617 782 1533 FAX: 6 | 17 202 569 | 1 | | |
| PJN | | EMA | AIL: pnolan@pnasurveyo | rs.com | 1 | | |











Serviceberry







Inkberry

Pennsylvania Sedge

Wild Geranium

PROPOSED PLANT LIST

| SYM | # | LATIN NAME | COMMON NAME | NOTES | | |
|-------|---------|---|---------------------|-------------------|------|-----------------------------|
| Decid | luous T | rees: | | | | |
| AG | 1 | Amelanchier x grandiflora 'Autumn Brilliance' | Serviceberry | 8'-10' multi stem | B&B | Understory Tree 15'-20' spd |
| QP | 1 | Quercus palustris | Pin Oak | 3-3.5" cal. | B&B | 40'-50' Canopy Tree: |
| HA | 2 | Hydrangea arborescens 'Annabelle' | Annabelle Hydrangea | 3 gal. | pots | 3'-4' Tall |
| IG | 14 | llex glabra 'Shamrock' | Inkberry- 1 male | 24-30" ht. | pots | 4'-5' Tall |
| RA | 3 | Rhus aromatica 'Gro-Low' | Fragrant Sumac | 24-30" ht. | | 2'-3" Tall |
| TM | 3 | Taxis x media "hicksii" | Hicks Yew | 30-36" ht. | pots | 5'-6' Tall |
| | | | | | | |

Perennials:

| pν | 2 | Panicum virgatum 'ruby ribbons' | Ruby Ribbons Switch grass | lgal. | 3' Tall |
|----|----|---------------------------------|---------------------------|-------|---------|
| ср | 75 | Carex pensylvanica | Pennsylvania sedge | 1gal. | 1' Tall |
| gm | 16 | Geranium maculatum 'Espresso' | Wild Geranium | 1gal. | 1' Tall |

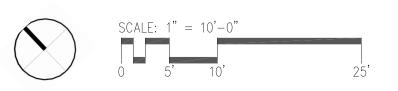
| 2161 Massachusetts Ave. Tree Tabulation | Caliper of Trees To Be Removed | Caliper of Trees To Be Preserved | Caliper Propos Tree: |
|--|-----------------------------------|--|----------------------------|
| Hemlock | 24" | | |
| Magnolia (4 Trunk ±5") | | 20" | |
| Serviceberry | | | 3" |
| Pin Oak | | | 3" |
| Total Inches | 24 | 20 | 6.0 |

Tree Protection Plan:

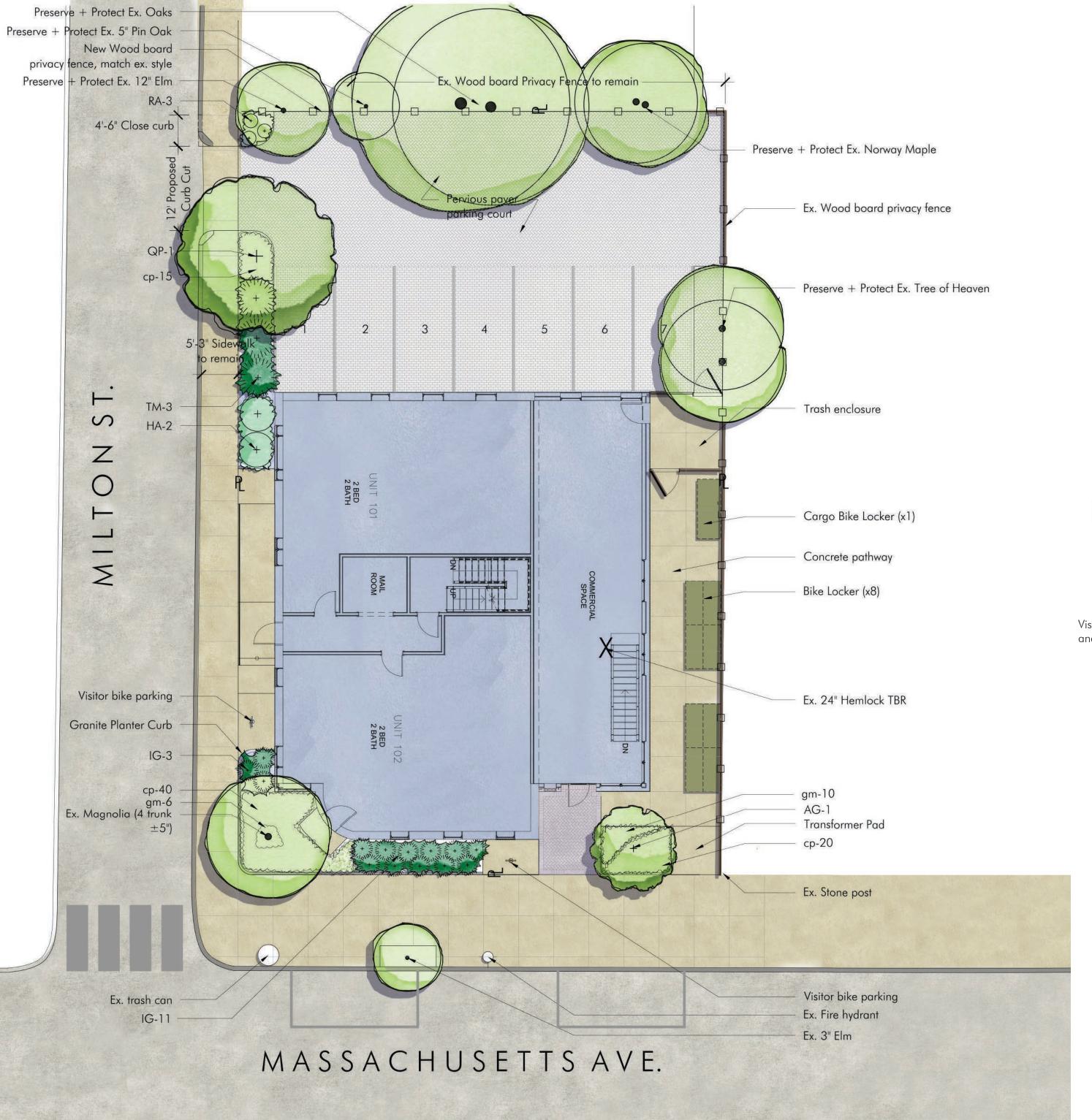
Prior to initiating site work, the Contractor shall install a 6' ht. chain link construction fence as shown on the plan to establish the Tree Protection Zone (TPZ).

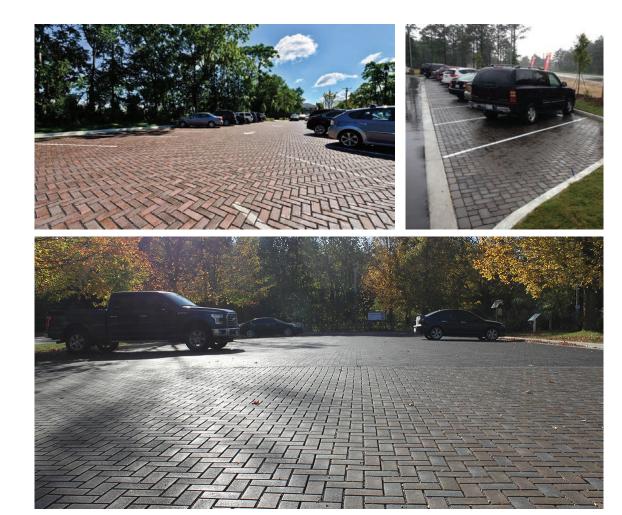
- I. Existing pavement shall be maintained during construction since it will provide a durable and non-erosive platform
- 2. An arborist shall prune limbs that may hinder or be damaged by construction equipment or that may interfere with building construction.
- 3. At the conclusion of construction, the existing pavement shall be carefully removed, leaving the existing base in place to the dimensions shown on the plan.











Pervious paver parking court







Visitor bike parking, Hitch and Loop by Dero

Bike lockers by Dero

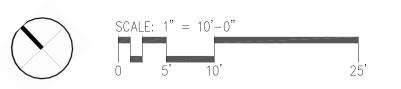
Cargo Bike Locker





4" Landscape curb









PROJECT NAME

2161 MASS AVE **RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION



| Project nu | ımber | | 20089 | |
|------------|-------------|----|------------|--|
| Date | | 7 | 7/11/2023 | |
| Drawn by | | | NB | |
| Checked | by | | TMC | |
| Scale | | 1/ | 8" = 1'-0' | |
| REVISIONS | | | | |
| No. | Description | | Date | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

EXISTING CONDITIONS & **DEMO PLAN**

2161 MASS AVE RESIDENCES

| = | | Č |
|---|--|---|
| | | 7 |

| Lot Contains Identified Historic S | _ | G CHART | BA-2=6,900 RES-B =613 TOTAL: 7,513 |
|---|---|--|--|
| ZONE: BUS A-2 MASS AVE. OVERLAY DISTRICT | REQUIRED | PROPOSED | REMARKS |
| LOT AREA, MIN S.F. | NONE | NONE | NONE |
| LOT AREA, MIN S.F. / DU | 600 S.F. / DU 6,900 SF/ 600 SF= 11 DU ALLOWED | 8 DU's | COMPLIES |
| MAX. FAR (See 5.30.11 & 5.30.12 BELOW) | 1.75 FOR RESIDENTIAL LOT AREA: BA-2: 6,900 SF MAX RESIDENTIAL FAR = 12,075 SF | 9,626 SF | COMPLIES |
| | 0.65 RES-B LOT AREA: RES-B: 613 SF MAX RESIDENTIAL FAR = 398 SF | 0 SF | |
| MIN. LOT WIDTH | NONE | NONE | NONE |
| MIN. FRONT YARD | 5'-0" (FOOTNOTE M) | 5'-0" @ MILTON ST. | COMPLIES |
| | | 5'-0" MASS AVE. | |
| MIN SIDE YARDS | 10'-0" (FOOTNOTE I) 20'-0" ON RES-B SIDE | LEFT (MILTON ST.): 40' - 0" RIGHT (MASS AVE.): 10' - 0" | COMPLIES |
| MIN REAR YARD | 23'-4" (FOOTNOTE J) | N/A (CORNER LOT) | NONE |
| MAX HEIGHT | 35'- 0" (FOOTNOTE K) 60'-0" MASS AVE OVERLAY | 31'-0" | COMPLIES |
| OPEN SPACE (% of lot area) | BA-2: NONE RES-B: 40% | | |
| MIN RATIO OF PRIVATE OP. SP. TO LOT AREA | NONE | NONE | NONE |
| VEHICLE- PARKING | NOT REQUIRED | 7 PROVIDED | COMPLIES |
| BICYCLE PARKING | RESIDENTIAL: LONG TERM= 1 SPACE/ DU = 8 | RESIDENTIAL: LONG-TERM: 9 LOCKERS | COMPLIES |
| | SHORT TERM= 0.10 SPACE / DU = 1 SPACE | SHORT-TERM: 2 | |

FOOTNOTES

DROUND FLOOR HEIGHT

(i) The maximum height of a building may be increased to sixty (60) feet provided the average height of the building is fifty (50) feet (excluding any portion of the building devoted to parking which is not covered with building included in gross floor area). The heights of the several parts of the building shall be such that the volume of building exceeding fifty (50) feet in height, as illustrated below:

Volume 1 (area of a building at a single height - 1 above fifty feet x the difference between height - 1 and fifty feet) + Volume 2 (area of building at a single height - 2 above fifty feet x the difference between the height - 2 and fifty feet) Volume 1' (area of building at a single height - 1' below fifty feet x the difference between height - 1' and fifty feet) + Volume 2' (area of building at single height - 2' below fifty feet x the difference between height - 2' and fifty feet)

(j) Or two-thirds (2/3) of the height of the rear wall whichever is greater; however in the Business C and Business C-1 districts no rear yard shall be required where the rear lot line abuts a lot all of which lies in a business or industrial district.

In addition to the above provisions, that portion of a building located within fifty (50) feet of a residential zoning district line shall be limited to thirty-five (35) feet where the maximum height permitted in the residential district is thirty-five (35) feet or less.

(k) Provided however that any portion of a building having a height greater than thirty-five (35) feet shall be set back of a bulk control plane rising at an angle of forty-five (45) degree from the plane of the principal front wall and rear wall planes beginning at a height of thirty-five (35) feet. (I) Where the parcel has frontage on two or more streets, this setback plane provision shall apply only to the front wall plane facing the principal abutting arterial street and to the opposite wall plane facing either a side or front property line.

(m) Or the setback of the principal front wall plane of any adjacent building facing the same street, whichever is less.

20.110 Additional Standards Applicable in the Business A-2 Districts.

20.110 Additional Standards Applicable in the Business A-2 Districts. Within the portions of the Overlay District having a base Business A-2 zoning district designation (the BA-2 Districts) the regulations set forth above in Subsections 20.103 to 20.109 shall apply except as modified by this Section 20.110. However, the provisions of this Section 20.110 shall not apply in the portion of the BA-2 District north of the centerline of Richard Avenue. 20.110.1 Purpose and Intent. The purpose of the Massachusetts Avenue Overlay District shall apply equally within the included BA-2 Districts. The intent of the additional standards applicable in the BA-2 Districts is to encourage the retention and expansion of pedestrian-friendly ground floor retail and other active non-residential uses on the ground floors of buildings along the Avenue. Additionally, as sites are redeveloped in the future, new buildings and streetscapes should have a scale, urban design, and mix of uses that strengthens the urban character of the Avenue as the principal commercial corridor serving the North Cambridge, Agassiz and Neighborhood Nine neighborhoods while also respecting the historic characteristics of the Avenue. 20.110.2 Use Regulations. In addition to the requirements set forth in Section 20.106, the following regulations shall apply.

20.110.21 Required Ground Floor Non-Residential Uses. The ground floor of any building that fronts directly onto Massachusetts Avenue shall consist of at least one (1) active non-residential use meeting the following requirements:

1.Range of Qualifying Uses. The required ground floor active non-residential uses shall be limited to one or a combination of the following uses, to the extent permitted in the base zoning district:

(a) the proposed modified dimensions do not substantially derogate from the intent of the requirement to provide for a reasonably continuous active ground floor frontage along the public street and (b) the overall floor area of required active non-residential ground floor uses is not substantially reduced and

a. Section 4.34 a (office of a physician, dentist or other medical practitioner not located in a clinic listed under subsection 4.33(d)), b (office of an accountant, attorney, or other non-medical professional person (includes properly licensed massage therapists), c real estate, insurance or other agency office), d (general office use), e (bank, trust company or similar financial institution (retail banking only)); b. Section 4.35 a-1 (Convenience Store), a-2 (Merchandise Store), a-3 (Grocery Store), c (Personal Services Establishment), f-1 (Restaurant), f-2 (Bar), f-3 (Craft Beverage Establishment), f-4 (Food Stand or Kiosk), f-5 (Food Hall), g (Dance Hall or Nightclub), h (Theater), i-1 (Commercial Recreation Establishment), i-2 (Fitness Center), I (Animal Services Facility), o (Fast Order or Quick-Service Food Establishment), q-1 (Art/Craft Studio), q-2 (Performing Arts Studio), r (Bakery, retail); c. Section 4.36 a (Open-Lot Retail Sales Establishment); d. Section 4.56 a(4) (religious or social recreation center), c(4) (college theater), e(4,5,6) (medical clinics), f (social service or community center), g(3) (museum), g(5) (public park, playground, or public

recreation building), i(2) (museum or non commercial gallery). 2. Minimum Depth. The required ground floor uses shall have a minimum depth of forty (40) feet measured from the Massachusetts Avenue frontage of the building (or the full depth of the building if less than forty (40) feet). 3. Floor Elevation. The floor elevation of the required ground floor uses shall be at the mean grade of the adjacent public sidewalk. 4.Minimum Linear Frontage. The required ground floor non-residential use shall occupy a minimum of 75% of the linear frontage of the building facing Massachusetts Avenue.

5. Individual Store Size. a.In portions of the included BA-2 Districts north of Porter Square, any separately leased required ground floor non-residential use shall contain no more than 5,000 square feet of Gross Floor Area, which calculation of square footage shall include any floor area b.In portions of the included BA-2 Districts south of Porter Square, any separately leased required ground floor non-residential use shall contain no more than 2,500 square feet of Gross Floor Area, which calculation of square footage shall exclude any floor area located below grade. However, the Planning Board may grant modifications to such Gross Floor Area limitation, pursuant to Section 20.110.22 below, to accommodate a pre-existing non-residential use of building or for other reasons that are in support of the non-residential use purposes of the Massachusetts Avenue Overlay District. 6.Minimum Ground Floor Height. For any ground floor portion of a building containing a required non-residential use the minimum ground floor height shall be fifteen (15) feet measured in the manner described in Paragraph 20.110.42. If the ground floor height

is reduced below fifteen (15) feet by special permit or variance, there shall be a commensurate reduction in the total height of the building.

7. Maximum Bank Frontage. No bank, trust company or similar financial institution may occupy a building frontage of more than twenty-five (25) feet. 20.110.22Modifications to Standards. As set forth below, the Planning Board may grant a special permit to waive certain requirements of Subsection 20.110.21 above. A project receiving a special permit pursuant to this Subsection 20.110.22 shall be considered to meet the requirements of Subsection 20.110.21 for the purpose of applying the other provisions of this Section 20.110.

1.Modifications to the Dimensional Provisions of Subsection 20.110.21. The Planning Board may approve modifications to the dimensional requirements set forth in Subsection 20.110.21 Paragraphs (2-7) upon making a determination that

(c) the modifications are the minimum necessary to reasonably accommodate the new construction or use on the lot.

2.Additional Non-Residential Uses Not Otherwise Permitted in Subsection 20.110.21. The Planning Board may approve active non-residential ground floor uses not specifically listed in Subsection 20.110.21 Paragraph (1), to the extent permitted in the base zoning district, making a determination that an alternate ground floor use will provide services or amenities to the general public and will promote an active, pedestrian-friendly street front consistent with the objectives of this Overlay District and the purpose of the standards applicable in

| the BA-2 Districts. | | | |
|--|---|---|-----------------|
| ADDITIONAL REQUIREMENTS FOR MASS AVE. OVERLAY DISTRICT | REQUIRED | PROPOSED | REMARKS |
| REQUIRED GROUND FLOOR NON-RESIDENTIAL USE | YES | YES (OFFICE SPACE) | COMPLIES |
| MIN. NON-RESIDENTIAL USE DEPTH IN FT. | 40'-0" MIN. | 56'-11" | COMPLIES |
| MIN. NON-RESIDENTIAL USE FLOOR ELEVATION | SHOULD BE AT MEAN GRADE OF ADJACENT PUBLICK SIDEWALK | AT MEAN GRADE OF ADJACENT PUBLICK SIDEWALK | COMPLIES |
| MIN. NON-RESIDENTIAL USE LINEAR FRONTAGE | MIN 75% OF LINEAR FRONTAGE FACING MASS AVE. (53'-6" * 0.75 = 40'-2" MIN.) | 15'-10" | DOES NOT COMPLY |
| MIN. NON-RESIDENTIAL USE | 15'-0" | 10'-5" | DOES NOT COMPLY |

BA-2 NOTES:
(i) However, for the side yard of any lot abutting another lot (where that lot does not abut Massachusetts Avenue and where all or a majority of it is located in a residence district) no building shall be set nearer than twenty feet to (1) either the residence/Business A-2 zoning district line where the lot line is located in the BA-2 District or (2) the side lot line itself where that lot line is located in the residence district. Nevertheless, the provisions of the following paragraph shall continue to apply.

If a building is hereafter erected on a lot adjacent to a building having a blank wall directly on the side lot line, the new building may be so designed and erected that it will be flush with that portion of the blank wall of the former building which extends along the lot line; otherwise no less than the required side yard setback shall be provided. In the case that any portion of a side wall of the existing building contains windows or is set back form the property line, then a building hereafter erected on the lot adjacent to such an existing building shall be set back from the side lot line as

(i) Or two-thirds (2/3) of the height of the rear wall whichever is greater: however in the Business C and Business C-1 districts no rear vard shall be required where the rear lot line abuts a lot all of which lies in a business or industrial district k) Provided however that any portion of a building having a height greater than thirtyfive (35) feet shall be set back of a bulk control plane rising at an angle of forty-five (45) degree from the plane of the principal front wall and rear wall planes beginning at a height of thirty-five (35) feet. Where the parcel has frontage on two or more streets, this setback plane provision shall apply only to the front wall plane facing the principal abutting arterial street and to the opposite wall plane facing either a side or front property line. In addition to the above provisions, that portion of a building located within fifty (50) feet of a residential zoning district line shall be limited to thirty-five (35) feet where the maximum height permitted in the residential district is thirty-five (35) feet or less. (m) Or the setback of the principal front wall plane of any adjacent building facing the

RES-B NOTES:

i) In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3A, C-3B districts. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet. In Residence A-1, A-2, and B districts, no 5-15 building may be nearer the rear lot line than twenty-five (25) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds one ed (100) feet, up to a maximum of thirty-five (35) feet. For purposes of this Footnote C, the lot depth shall be that distance measured along a line perpendicular to the front lot line and extending to that point on the rear lot line most distant from the front lot line. 5.27.1 The total number of dwelling units allowed shall be the sum of the total dwelling unit for each district, determined by adding the lot area in each district divided by the minimum lot area per dwelling unit for each district.

Max # dwelling units = Lot area in district 1 Lot area in district 2 Lot area in district 2 district 1 min. lot area/du + district 2 min. lot area/du Where the computation of the total number of dwelling units allowed in each district results in two fractional numbers and where the sum of the resulting remainders from both districts equals or exceeds one, an additional unit shall be permitted. 5.27.2 The maximum gross floor area shall be the sum of the total allowed gross floor area in each district, determined by adding the lot area in each district multiplied by the maximum allowed floor area ratio (FAR) for each district. Maximum Gross Floor Area = (Lot area in district 1 x

(Lot area in district 2 x district 2 FAR) 20.104.2 Modifications to the Definition of Gross Floor Area. Notwithstanding the definition of Gross Floor Area contained in Article 2.000 - Definitions, the following shall not be included as part of the gross floor area of any building in the Overlay District:

1. Enclosed bays and other small projections from the principal wall plane of a building normally included as gross floor area, provided they are three (3) feet or less in depth and further provided that the following conditions are met:

a. The maximum width of the projection does not exceed six (6) feet in length; b. No more than fifty (50) percent of the area of each principal wall plane is covered with such projections.

5.22.1 Private open space shall be provided on every lot used for residential purposes except for those in the Cambridge Center MXD District, and shall be a percentage of the lot area as set forth in Section 5.31. An area designated as private open space must have both a width and a length of at least fifteen (15) feet, except for balconies, and may not have a slope greater than ten (10) percent. With the exception of balcony areas, private open space shall be provided at ground level or= within ten (10) feet of the level of the level of the level of the level or such as balconies, decks, and roofs, of garages and buildings, which are accessible to all occupants of buildings, which are not used as walkways or corridors,

and which have both a width and a length of at least six (6) feet and a minimum area of seventy-two (72) square feet, may be calculated as private open space, not to exceed twenty-five (25) percent of the total private open space.

5.22.2 Where nonresidential uses are mixed in a building, the required minimum private open space for residential uses shall be calculated in relation to the portion of the lot which the residential floor area is to the total floor area in the building. 5.22.3 Special Requirements in Residence A-1, A-2, B, C, and C-1 At least fifty (50) percent of the required Private open space in these districts shall meet all of the requirements of Section 5.22.1 above. At least fifty (50) percent of the required Private open space shall meet the definition of Permeable Open Space and shall not be subject to the dimensional limitations of Section 5.22.1 as applied to Private open space.

Where two numbers appear in Column (1) - Maximum Ratio of Floor Area to Lot Area and Column (6) Maximum Height in Feet, the first number shall apply to all permitted uses in the district except Residential Uses, Section 4.31 a-h, and Dormitory (but excluding resident fraternity or sorority) Uses, Section 4.33 b(7), both of which shall be governed by the second number

5.30.12 Calculation of Permitted Gross Floor Area on a Lot
Where two numbers regulate the permitted FAR on a lot, the Gross Floor Area of any uses proposed on the lot shall be determined by the following formula:
Gross Floor Area Permitted = [(A x FAR1) x Lot Area] + [(B x FAR2) x Lot Area]

Where A equals the percentage of Gross Floor Area in the building to be used for nonresidential use(s), and Where B equals the percentage of Gross Floor Area in the building to be used for residential and dormitory use(s), and

Where A + B = 100% (or 1.0) or less, and FAR1 equals permitted FAR for nonresidential uses, and FAR2 equals permitted FAR for residential and dormitory uses

6.34 Parking Space Size Allocation . In all parking facilities required to have five or more spaces, a combination of regular and compact spaces may be provide; however, no more than fifty (50) percent of the required spaces shall be designed for compact cars (as specified in Subsection 6.42). All off street parking facilities shall contain spaces designed for handicapped access. The number of such spaces shall be determined by the requirements of the currently applicable "Rules and Regulations of the Architectural Barriers Board of the Commonwealth of Massachusetts 6.47.8 Screening requirements may be waived in the following cases: (a) If said parking facility is already effectively screened by an existing building, wall, fence, or hedge on an adjoining lot and within five feet of the common property line, screening shall not be required so long as such adjoining screening is maintained. (b) If said parking facility is already effectively screened by a natural terrain feature, railroad tracks, or change in grade. (c) If said parking facility abuts another parking facility under different use or ownership, a landscaped planting strip at least five (5) feet in width may be used in lieu of screening along the common property line.

Gross Floor Area shall include:

(a) Roofed porches and balconies whether enclosed or unclosed;

(b) Unroofed porches and balconies above third floor, with the exception of porch and balcony spaces associated with Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;

(c)Elevator shafts and stairwells on each floor, not excluded in (6) below;
(d)Attic space, whether finished or unfinished, within the area of a horizontal plane that is five (5) feet above the attic floor and which touches the side walls and/or the underside of the roof rafters and which is not excluded in (5) below;

e)Interior balconies, mezzanines, and penthouses;

(g)Area of parking facilities in structures except as excluded in (2) below; and (h)Any accessory parking spaces not in above ground structures if in excess of the maximum number permitted on the premises as set forth in Section 5.25 and 6.30.

Gross Floor Area shall not include:
(1)Areas used for off street loading purposes;
(2)Area of parking facilities in structures located underground and the area of on grade open parking spaces outside the building footprint at or below the maximum number permitted on the premises as set forth in Sections 5.25 and 6.30; (3)Basement and cellar areas devoted to the operations and maintenance of the building such as heating and cooling equipment, electrical and telephone facilities, and fuel storage; (4)Open and lattice-work fire escapes;

(5)Unroofed porches and balconies no higher than the third floor:

systems and heat pumps, solar hot water systems and related tubes and tanks, equipment related to radiant heating, hydronic cooling, heat recovery ventilators, and energy recovery ventilators; (7)Elevator shafts and stairwells on floors where there is no other area which qualifies to be included in gross floor area; (8)Attic space not otherwise included in (d) above; (9)Basement and cellar spaces with less than seven (7) feet of ceiling height measured from the floor to the line of the bottom of the floor joists, or to any subfloor or finished surface above any floor joists that are spaced not less than four (4) feet on center, and further provided that the basement or cellar is not a Story Above Grade as defined in the State Building Code.
(10) Bicycle parking meeting or exceeding the requirements of Article 6.000, which shall include all areas occupied by Bicycle Parking Spaces and access routes intended exclusively for use by bicycles, which shall be clearly indicated in the bicycle parking plan requirements set forth in

(6)Attic space and other areas devoted to elevator machinery or mechanical equipment necessary for the operation of the building, including sustainable mechanical systems and related equipment and chases for systems including, but not limited to, solar energy systems, geothermal

Section 6.52.1whether located in a principal use structure, any parking facility for motor vehicles, or in an accessory structure. (11)Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;

(12)Interior air spaces within Double-Skin Façades and additional exterior wall thickness to accommodate insulation, in accordance with the regulations in Section 22.40 of this Zoning Ordinance; and (13)Space directly beneath overhangs, eaves, awnings, pergolas, arbors, trellises or other sun-shading devices, in accordance with the regulations in Section 22.50 of this Zoning Ordinance. (14) Public Bicycle-Sharing Stations.

(15) Any basement or cellar living space in any single-family or two-family home.

(16)Any basement or cellar living space in any other type of structure with the issuance of a special permit, the permit granting authority may approve the exemption of any portion of Gross Floor Area (GFA) located in a basement or cellar from the calculation of GFA, provided the permit granting authority finds that the uses occupying such exempted GFA support the character of the neighborhood or district in which the applicable lot is located.

| EXISTING FAR | ₹ |
|--------------|----------|
| NAME | AREA |
| BASEMENT | 2,226 SF |
| 1ST FLOOR | 2,857 SF |
| 2ND FLOOR | 2,749 SF |
| ATTIC | 154 SF |
| TOTAL: | 7,986 SF |
| | |

| GROSS BUILD | ING - EXISTING |
|-------------|----------------|
| NAME | AREA |
| BASEMENT | 2,226 SF |
| 1ST FLOOR | 2,857 SF |
| 2ND FLOOR | 2,749 SF |
| ATTIC | 2,184 SF |
| TOTAL: | 10,016 SF |
| | |

| GROSS BUILDING - PROPOSED | | | | |
|---------------------------|---------|--|--|--|
| Level | Area | | | |
| | | | | |
| 0 BASEMENT | 1562 SF | | | |
| 1ST FLOOR | 3254 SF | | | |
| 2ND FLOOR | 3195 SF | | | |
| 3RD FLOOR | 1775 SF | | | |
| | 9786 SF | | | |

| UNIT AREAS | | | |
|---------------------|--------------|---------|--|
| NAME | TYPE | AREA | |
| | | | |
| COMMERCIAL | | 952 SF | |
| COMMERCIAL BASEMENT | | 1348 SF | |
| UNIT 101 | 2 BED 2 BATH | 1019 SF | |
| UNIT 102 | 2 BED 2 BATH | 1001 SF | |
| UNIT 201 | 2 BED 1 BATH | 780 SF | |
| UNIT 202 | 1 BED 1 BATH | 681 SF | |
| UNIT 203 | 1 BED 1 BATH | 671 SF | |
| UNIT 204 | 2 BED 1 BATH | 763 SF | |
| UNIT 301 | 2 BED 1 BATH | 808 SF | |
| UNIT 302 | 2 BED 1 BATH | 820 SF | |
| | 1 | 8844 SF | |

PROJECT NAME

2161 MASS AVE RESIDENCES

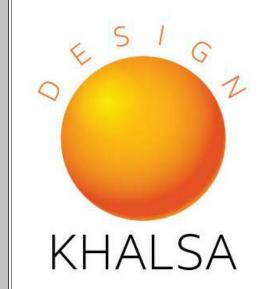
PROJECT ADDRESS

2161 MASS AVE

CLIENT

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT

OF PROSECUTION UNDER LAW

REGISTRATION

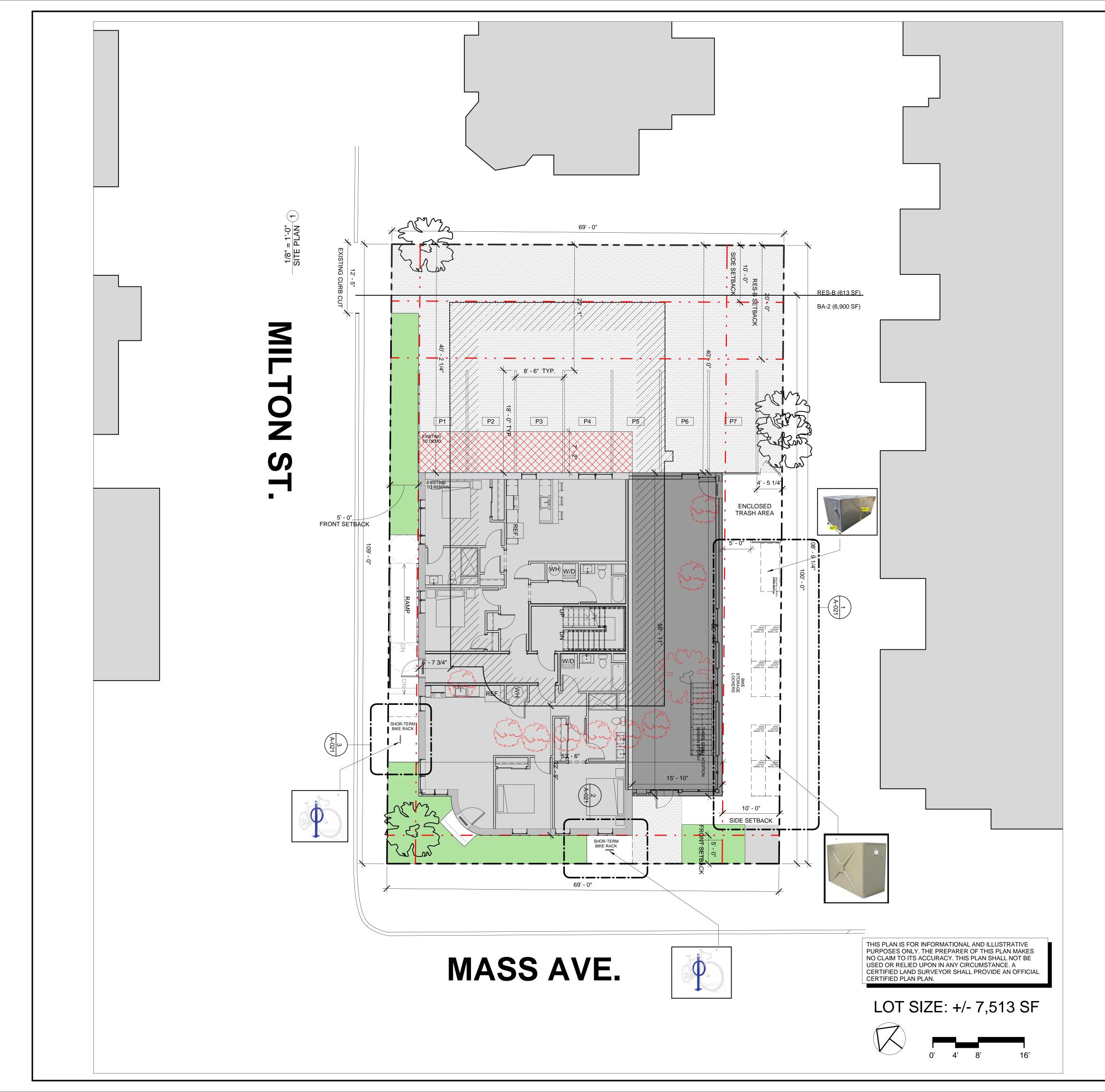
Project number



| ., | | _00 |
|----------|-------------|------------|
| Date | | 7/11/20 |
| Drawn by | | N. |
| Checked | by | |
| Scale | | 1/4" = 1'- |
| REVISI | ONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ZONING **ANALYSIS**

2161 MASS AVE RESIDENCES



SITE PLAN LEGEND PROPOSED ADDITION EXISTING TO REMAIN EXISTING TO DEMO EXISTING BUILDING CONCRETE SURFACE LANDSCAPE PERVIOUS PAVERS REQUIRED SETBACKS

NELSON OLIVEIRA

2161 MASS AVE

RESIDENCES

2161 MASS AVE

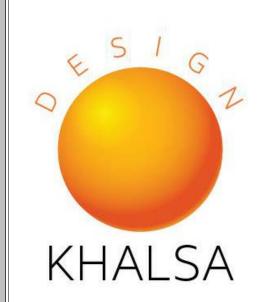
CAMBRIDGE, MA

ARCHITECT

CLIENT

PROJECT NAME

PROJECT ADDRESS



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION

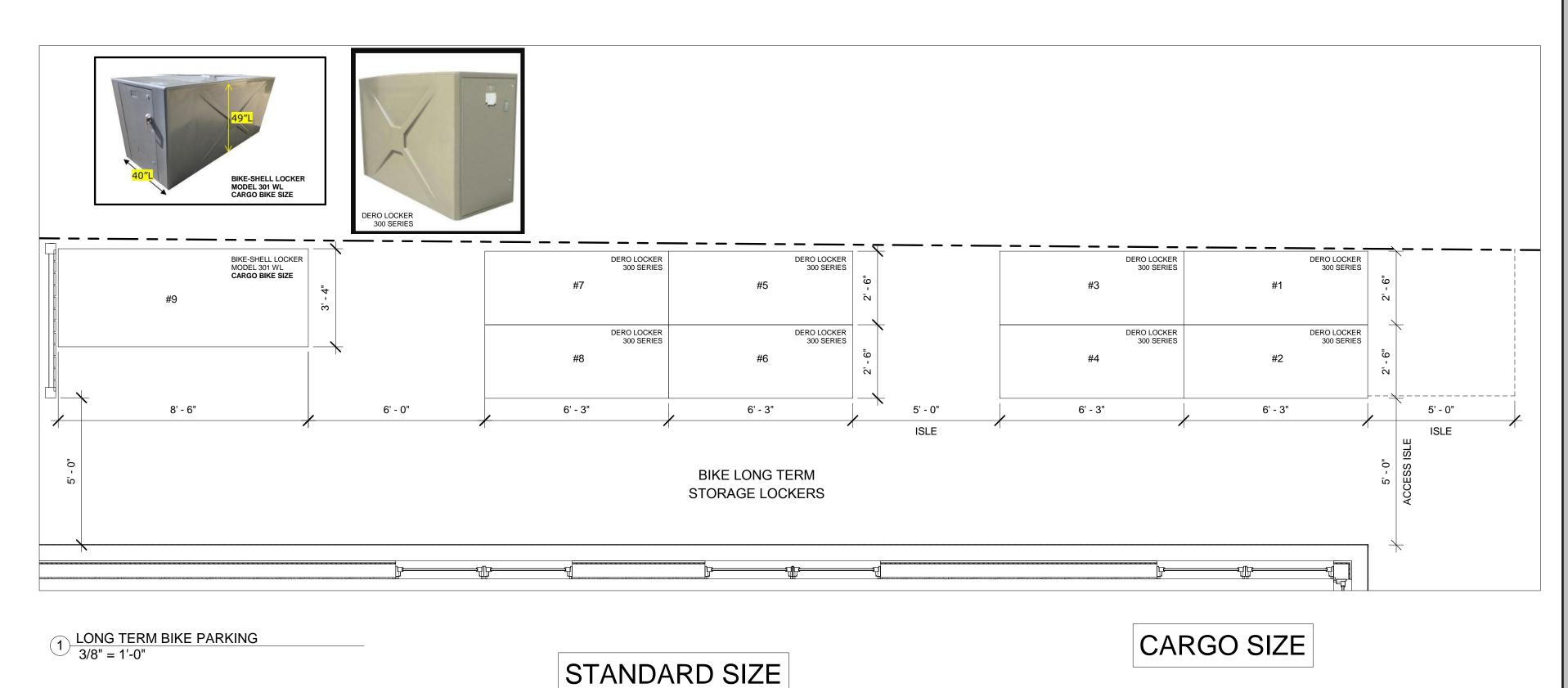


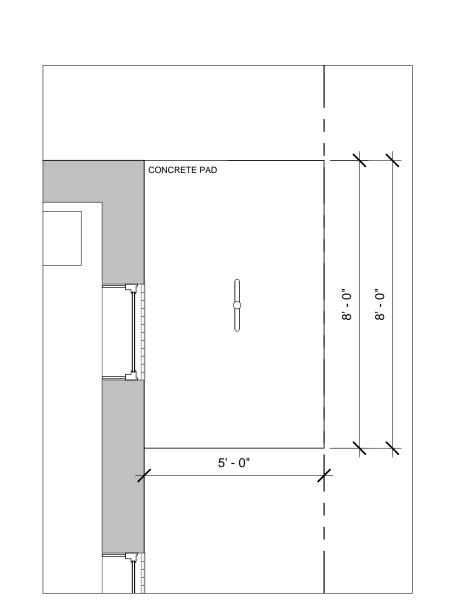
| Projec | t number | 20089 |
|--------|-------------|-----------|
| _Date_ | - | 7/11/2023 |
| Drawn | by | NB |
| Check | ed by | TMC |
| Scale | As | indicated |
| REVI | SIONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ARCHITECTURAL SITE PLAN

A-020 2161 MASS AVE RESIDENCES







SHORT TERM BIKE PARKING MILTON

3 ST. 3/8" = 1'-0"

CONCRETE PAD

 $\leftarrow \bigcirc$





SHORT TERM BIKE PARKING HITCH







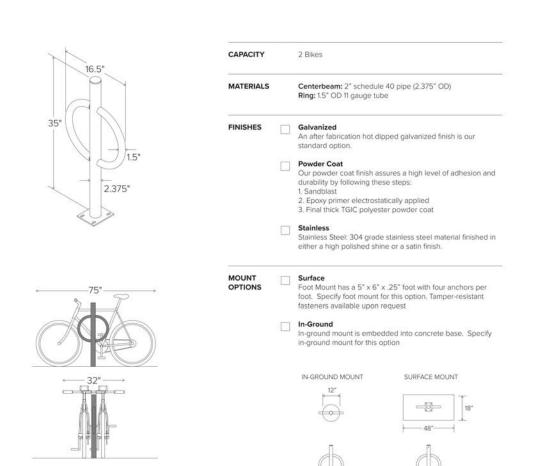
Submittal Sheet

10

(or standard 4" sidewalk slab)

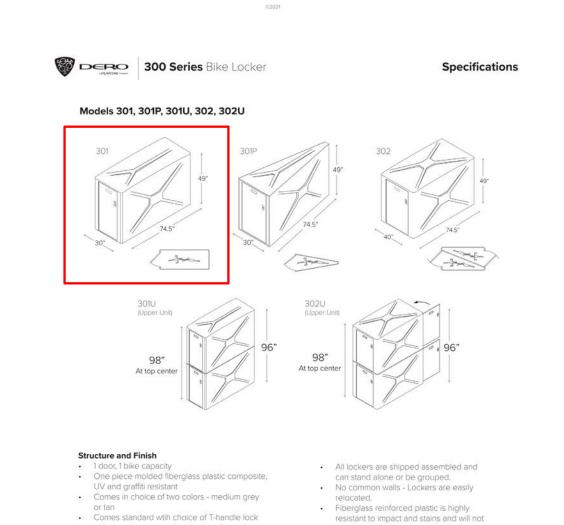


Bike Hitch™









High security with standard key locks recessed in door face and internal

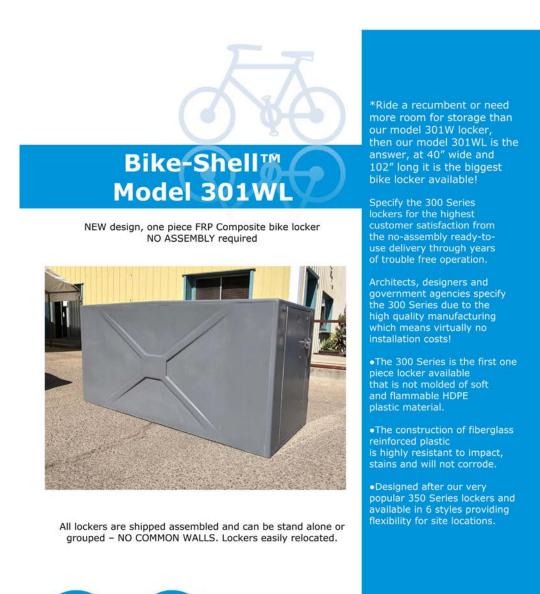
locking bar mechanism.

with three keys or padlocking handle system

 Available in 1-2 bike capacity

Stackable option available for 301 and 302

Rectangular or pie shaped

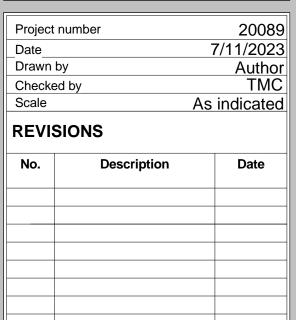








American Bicycle Security Company P.O. Box 7359 Ventura, CA 93006 Ph: (800) 245-3723 or (805) 933-3688 Fax: (805) 933-1865 www.ameribike.com Email: turtle@ameribike.com



PROJECT NAME

PROJECT ADDRESS

CLIENT

ARCHITECT

2161 MASS AVE

RESIDENCES

2161 MASS AVE

CAMBRIDGE, MA

NELSON OLIVEIRA

KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023

REGISTRATION

THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA

DESIGN INC. USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN

IN WHOLE OR IN PART WITHOUT EXPRESS

WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT

OF PROSECUTION UNDER LAW

BIKE PARKING **PLANS**

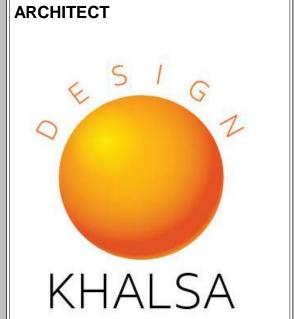
2161 MASS AVE RESIDENCES



PROJECT ADDRESS 2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION

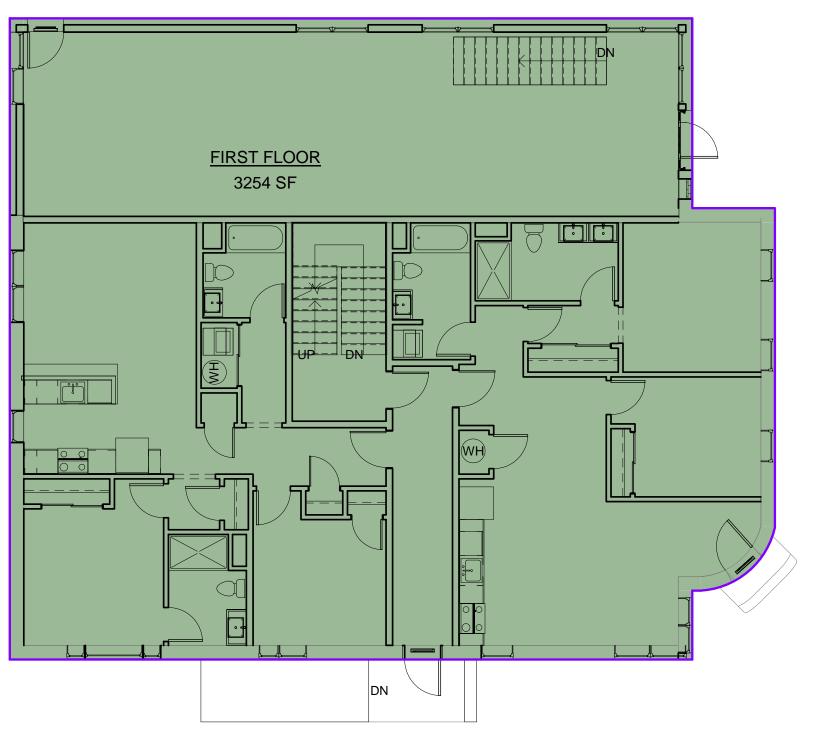


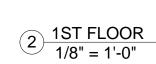
| Date | | 7 | 7/11/202 |
|----------|-------------|-------------|----------|
| Drawn by | у | | Autho |
| Checked | l by | | TMO |
| Scale | | 1/8" = 1'-0 | |
| REVIS | IONS | | |
| No. | Description | | Date |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| _ | | | |
| | | | |
| | | | |
| | | | |

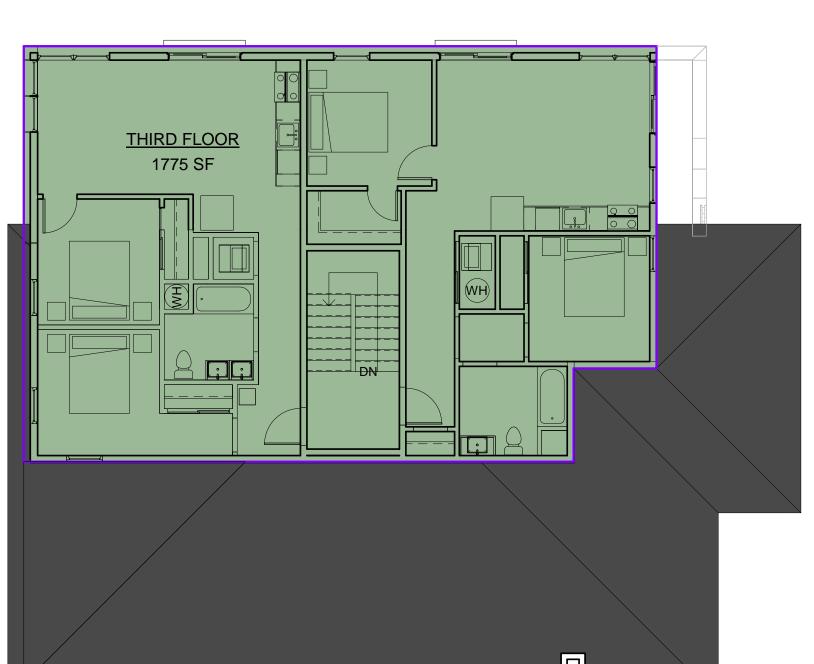
GROSS AREA PLANS

2161 MASS AVE RESIDENCES



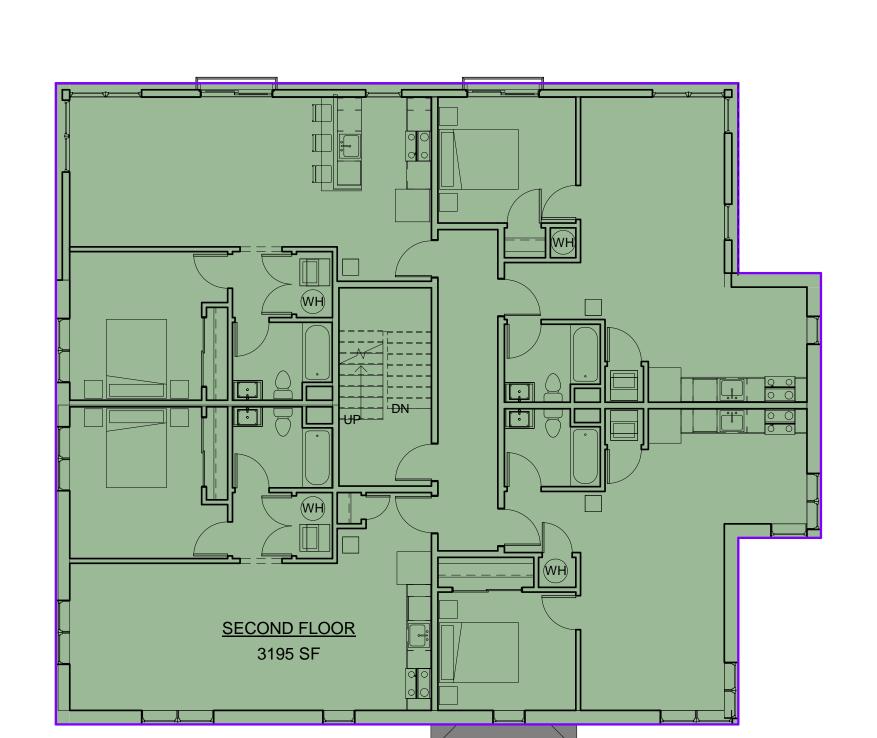








4 3RD FLOOR 1/8" = 1'-0"

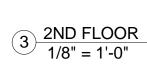


UP

BASEMENT

1562 SF

1 0 BASEMENT 1/8" = 1'-0"



PROJECT NAME 2161 MASS AVE

RESIDENCES

PROJECT ADDRESS 2161 MASS AVE CAMBRIDGE, MA

CLIENT

AREA

952 SF

1348 SF

1019 SF

1001 SF

780 SF

681 SF

671 SF

763 SF

808 SF

820 SF

8844 SF

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT

REGISTRATION

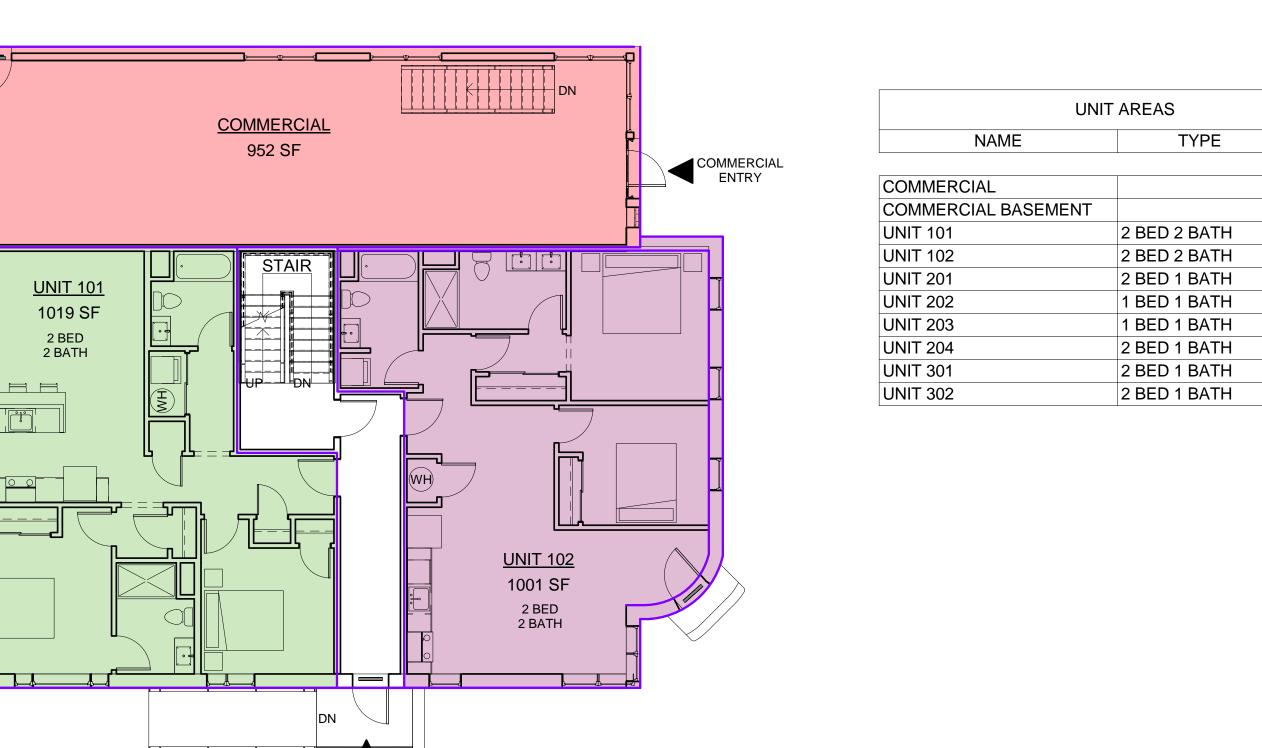
OF PROSECUTION UNDER LAW

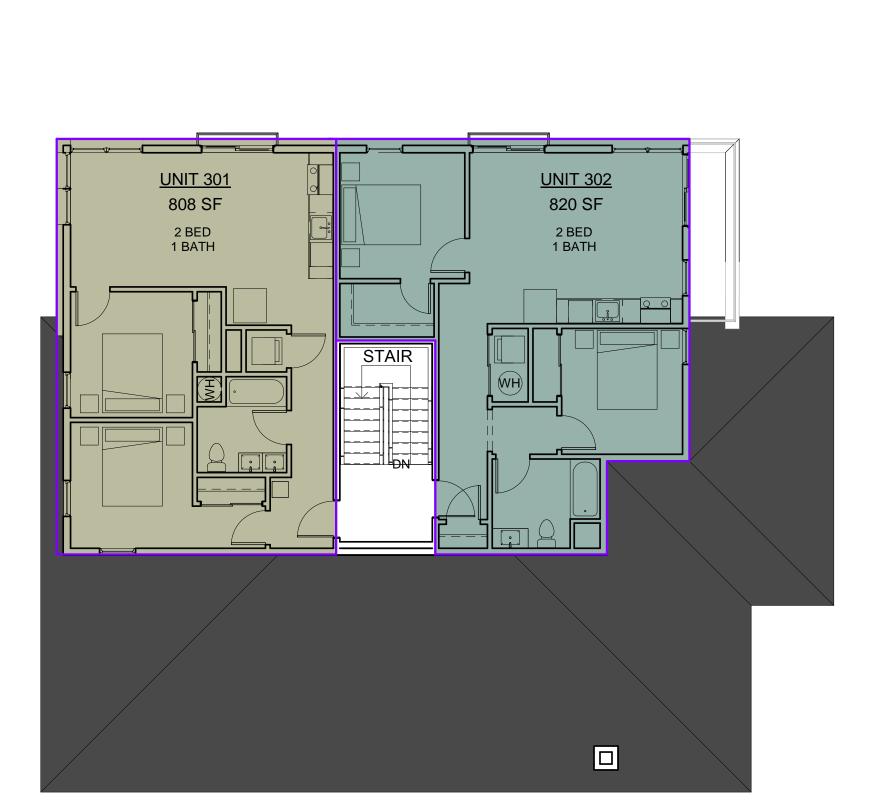


| Project nu | ımber | | 20089 |
|------------|-------------|----|-------------------------|
| Date | | 7 | 7/11/2023 |
| Drawn by | | | Author |
| Checked | by | | TMC |
| Scale | | 1/ | ['] 8" = 1'-0' |
| No. | Description | | Date |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

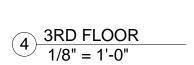
UNIT AREAS

2161 MASS AVE RESIDENCES

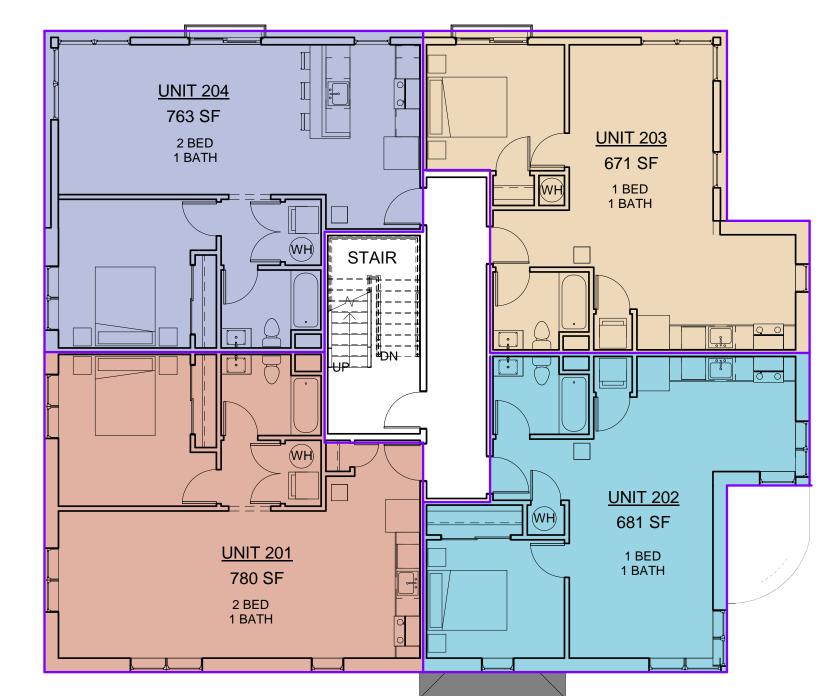




RESIDENTIAL ENTRY



2 1ST FLOOR 1/8" = 1'-0"



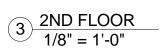
COMMON MECH 1717 SF

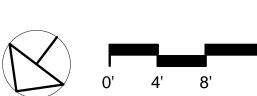
MECHANICAL NON-OCCUPIABLE SPACE

COMMERCIAL BASEMENT

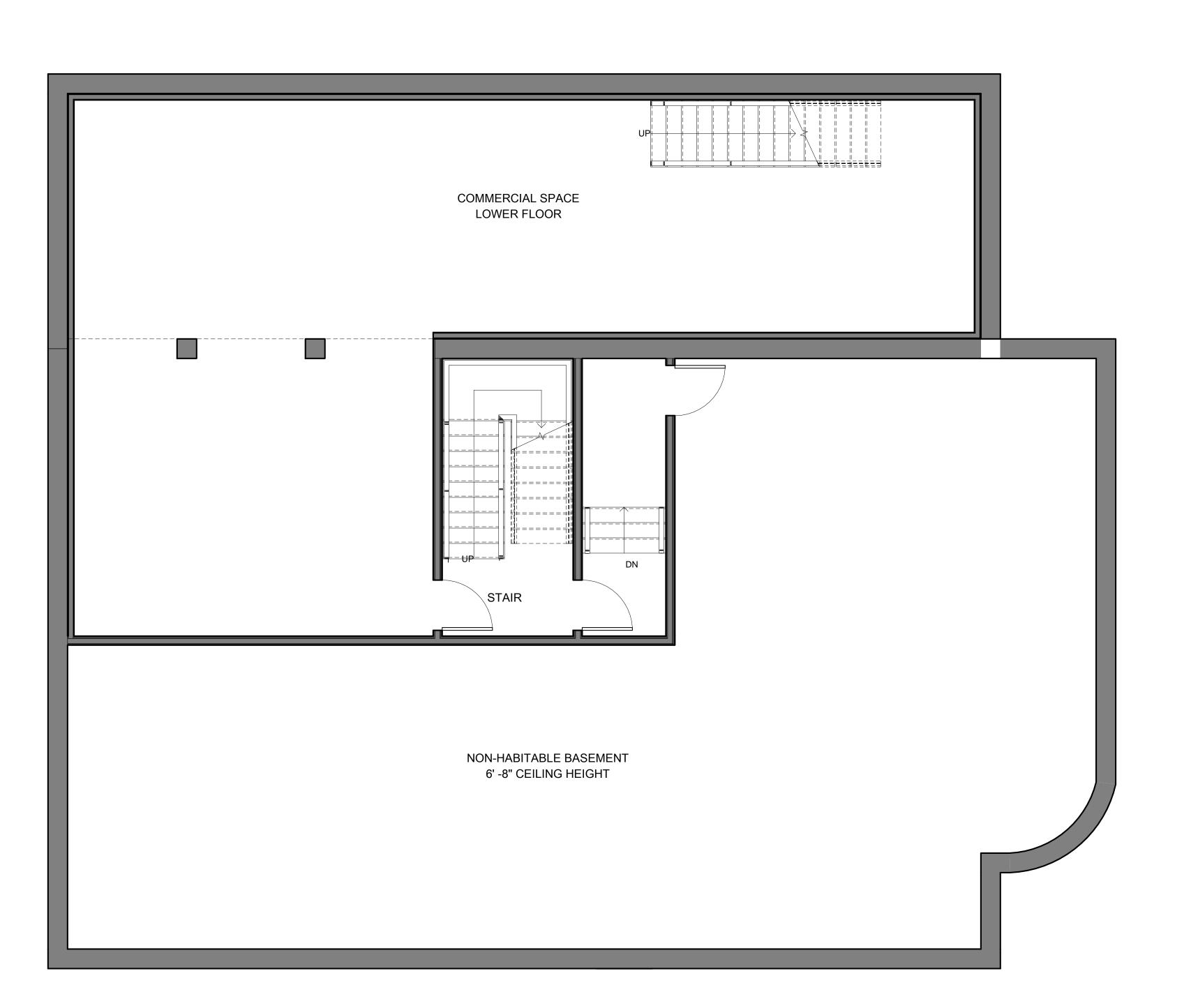
1348 SF

0 BASEMENT 1/8" = 1'-0"

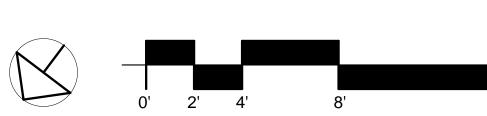




BASEMENT PLAN A-100 2161 MASS AVE RESIDENCES



1 0 BASEMENT 1/4" = 1'-0"



| UNI | T AREAS | |
|---------------------|--------------|---------|
| NAME | TYPE | AREA |
| | | |
| COMMERCIAL | | 952 SF |
| COMMERCIAL BASEMENT | | 1348 SF |
| UNIT 101 | 2 BED 2 BATH | 1019 SF |
| UNIT 102 | 2 BED 2 BATH | 1001 SF |
| UNIT 201 | 2 BED 1 BATH | 780 SF |
| UNIT 202 | 1 BED 1 BATH | 681 SF |
| UNIT 203 | 1 BED 1 BATH | 671 SF |
| UNIT 204 | 2 BED 1 BATH | 763 SF |
| UNIT 301 | 2 BED 1 BATH | 808 SF |
| UNIT 302 | 2 BED 1 BATH | 820 SF |
| | | 8844 SE |

2161 MASS AVE

RESIDENCES PROJECT ADDRESS

2161 MASS AVE

CAMBRIDGE, MA

CLIENT

PROJECT NAME

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

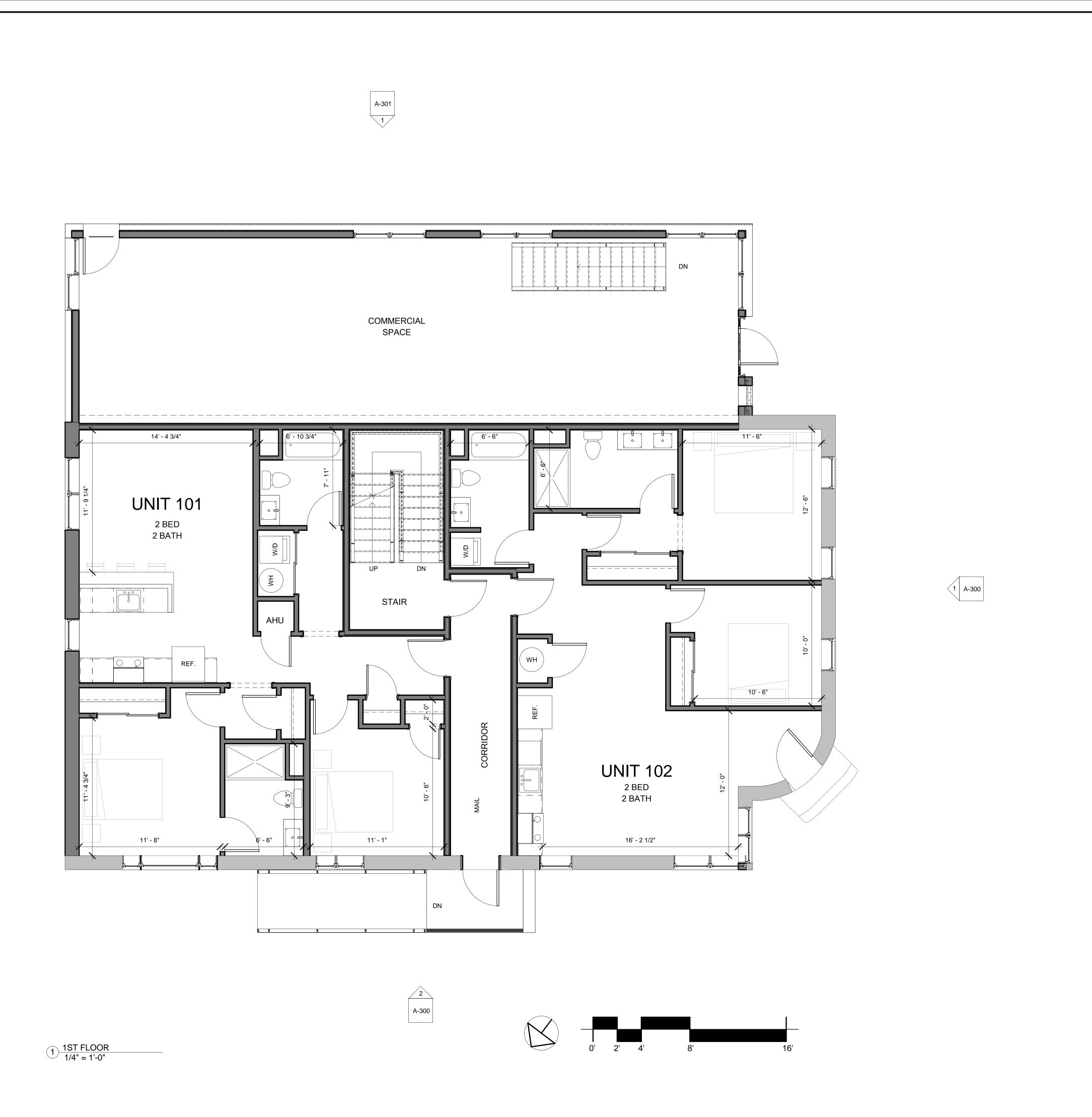
COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION



| Project nu | mber | | 2008 |
|------------|-------------|-----|---------|
| Date | | 7/ | 11/202 |
| Drawn by | | | Ν |
| Checked | оу | | TM |
| Scale | | 1/4 | " = 1'- |
| REVISI | ONS | | |
| No. | Description | | Date |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |





A-301 2

2161 MASS AVE

RESIDENCES

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION



| Project no | umber | 20089 |
|------------|-------------|--------------|
| _Date | | 7/11/2023 |
| Drawn by | , | NB |
| Checked | by | TMC |
| Scale | | 1/4" = 1'-0" |
| REVISI | ONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1ST FLOOR PLAN

A-101
2161 MASS AVE RESIDENCES

20089 7/11/2023 NB TMC 1/4" = 1'-0"

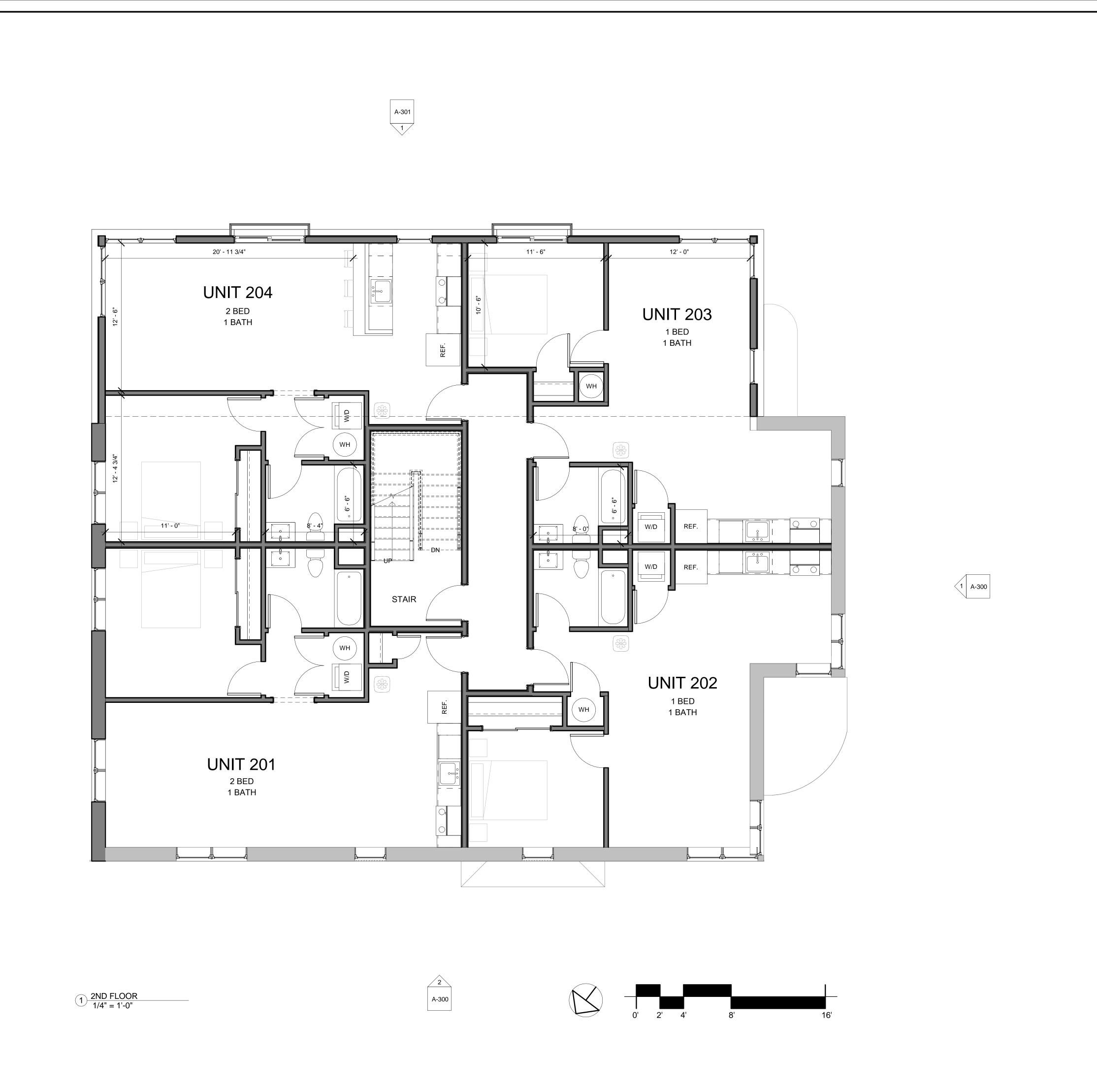
Date

2161 MASS AVE RESIDENCES

PROJECT NAME

2161 MASS AVE

RESIDENCES



A-301 2

PROJECT NAME 2161 MASS AVE

RESIDENCES

PROJECT ADDRESS 2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



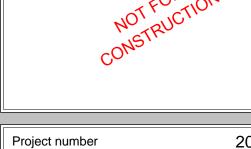
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

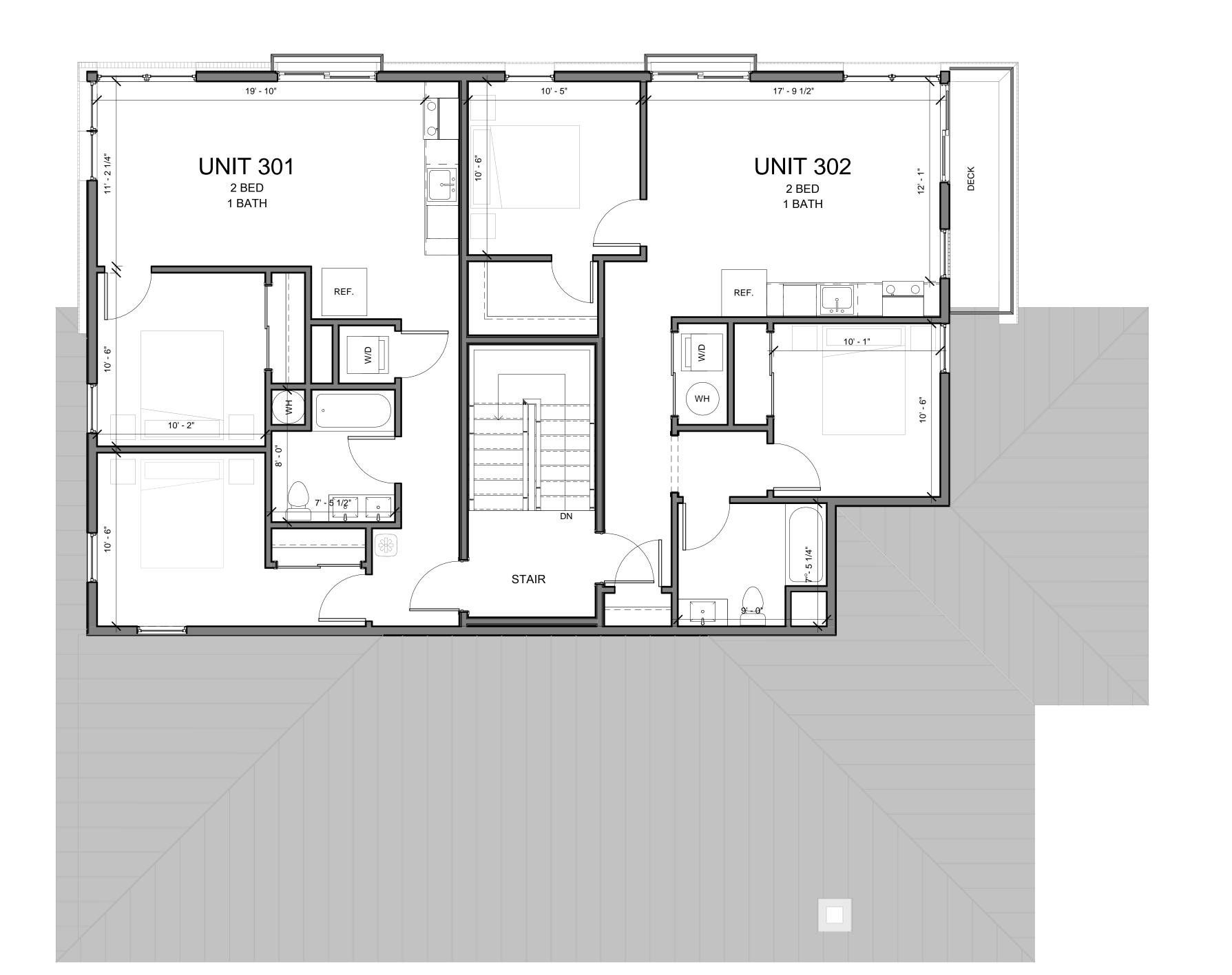
1 A-300



| Projec | t number | 20089 |
|--------|-------------|-------------|
| Date | , | 7/11/2023 |
| Drawn | by | NB |
| Check | ed by | TMC |
| Scale | 1. | /4" = 1'-0" |
| REVI | SIONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | 1 |

3RD FLOOR PLAN

2161 MASS AVE RESIDENCES



A-301 2

1 3RD FLOOR 1/4" = 1'-0"

A-301

PROJECT NAME

2161 MASS AVE

RESIDENCES

PROJECT ADDRESS

2161 MASS AVE
CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

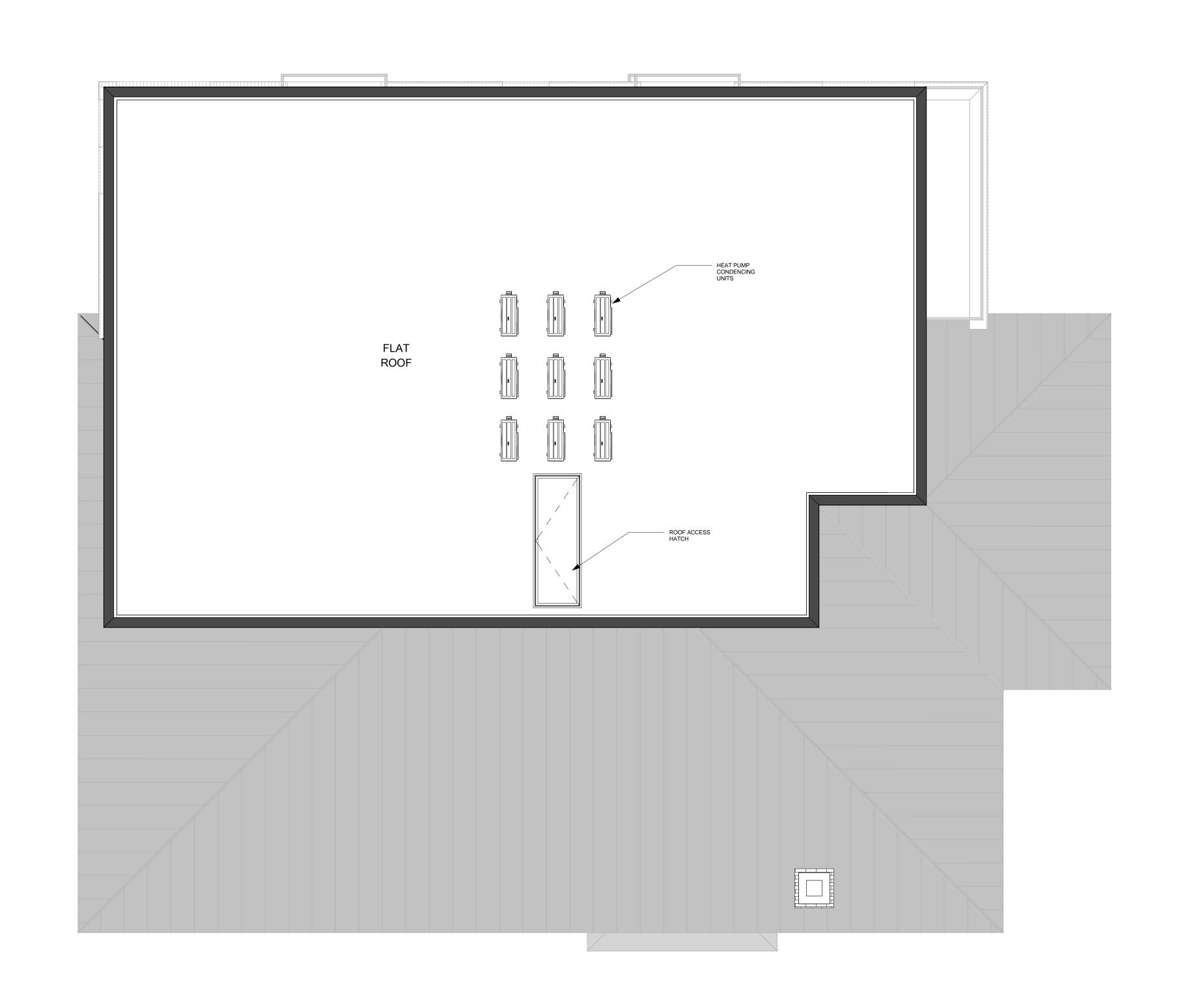
Project number



| i iojectiii | arriber | 2000 |
|-------------|-------------|-------------|
| Date | | 7/11/202 |
| Drawn by | | |
| Checked | by | N TM |
| Scale | | 1/4" = 1'-0 |
| REVISI | ONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ROOF PLAN

A-104
2161 MASS AVE RESIDENCES









2161 MASS AVE

2161 MASS AVE



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

COPYRIGHT KDI © 2023 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS



20089

| Drawn | by | Author | | | |
|-----------|-------------|-----------|--|--|--|
| Checke | ed by | TMC | | | |
| Scale | As | indicated | | | |
| REVISIONS | | | | | |
| No. | Description | Date | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

EAST & SOUTH **ELEVATIONS**

A-300 2161 MASS AVE RESIDENCES

— BRICK, COLOR TO — MATCH HISTORIC BRICK

4" EXPOSURE FIBER

CEMENT LAP SIDING

2 NORTH EAST ELEVATION 1/4" = 1'-0" \\Tkg-server\Data\20\20089_Nelson_2161 Mass Ave Cambridge\03 Drawings\00_ARC

A-301

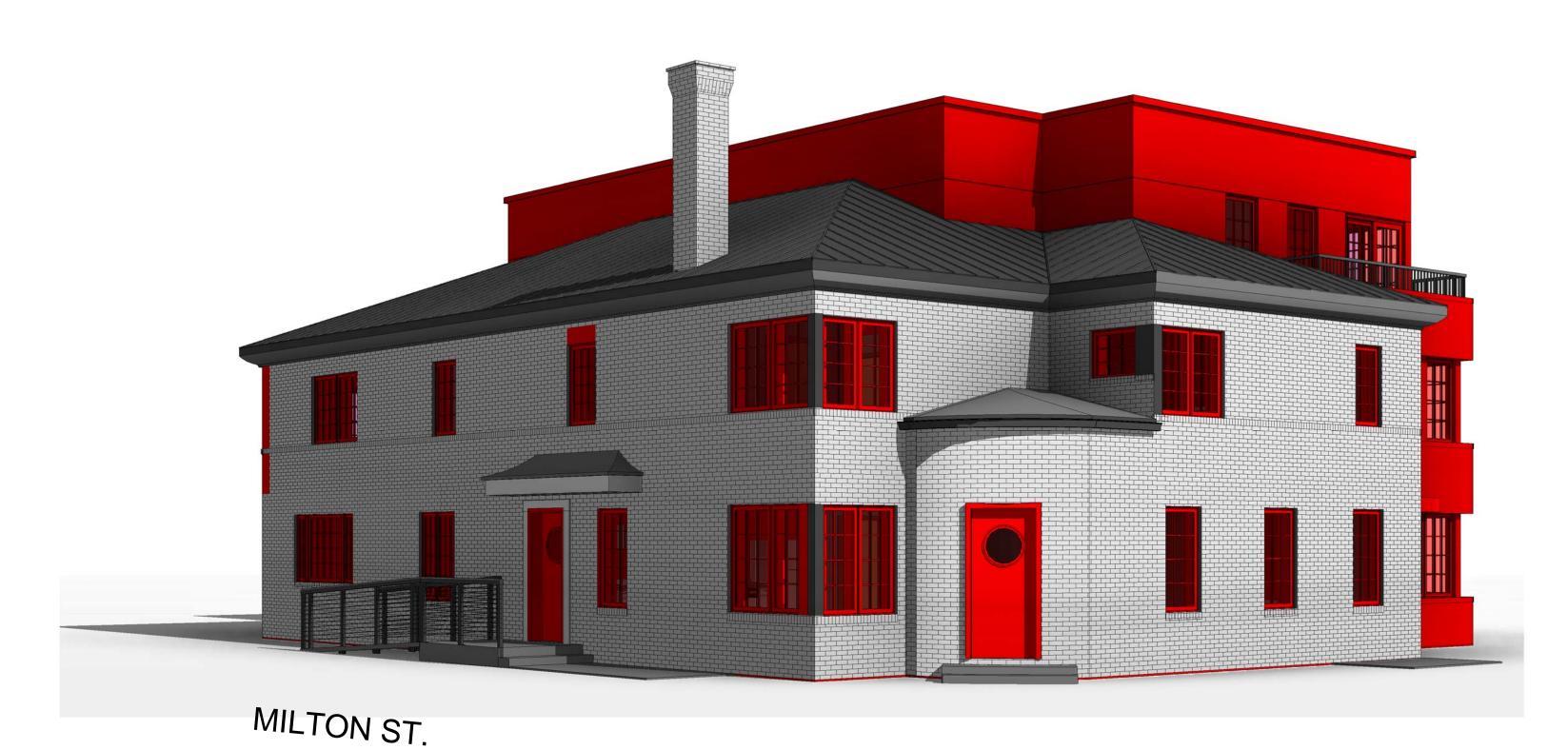
2161 MASS AVE RESIDENCES

NORTH & WEST

MILTON ST.



5 Birds Eye



1 Mass Ave & Milton St. View

MASS AVE

<u>LEGEND</u>



COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION

PROJECT NAME

PROJECT ADDRESS

CLIENT

ARCHITECT

2161 MASS AVE

RESIDENCES

2161 MASS AVE CAMBRIDGE, MA

NELSON OLIVEIRA

KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:



| Project nu | ımber | 2008 |
|------------|-------------|------------|
| _Date | | 7/11/202 |
| Drawn by | | Auth |
| Checked | by | TM |
| Scale | | 1/4" = 1'- |
| REVISI | ONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

PERSPECTIVES





















SUMME

MORNING (9 AM - 10 AM)

NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

RESIDENCES

2161 MASS AVE

2161 MASS AVE CAMBRIDGE, MA

CLIENT

PROJECT NAME

NELSON OLIVEIRA

ARCHITECT



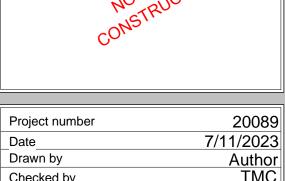
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

CONSULTANTS:

COPYRIGHT KDI © 2023 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION

Drawn by

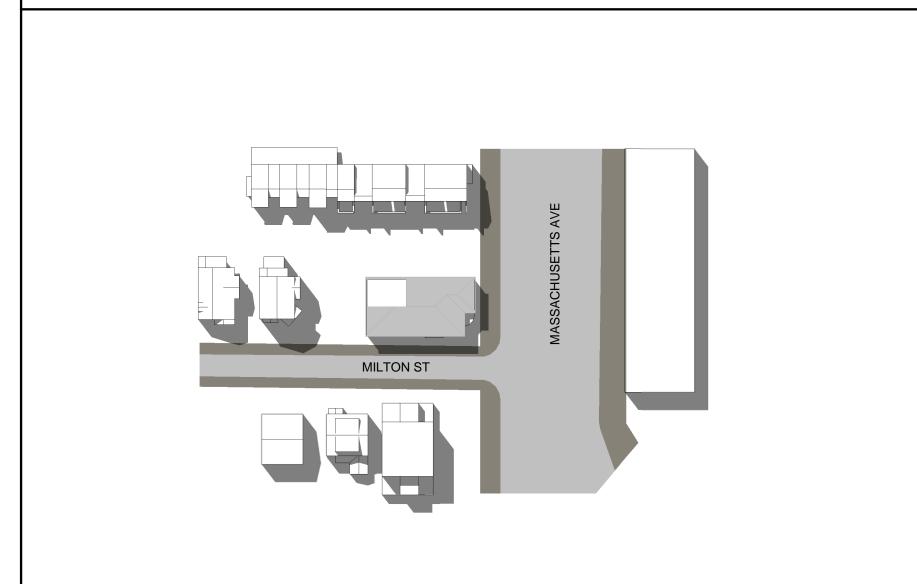


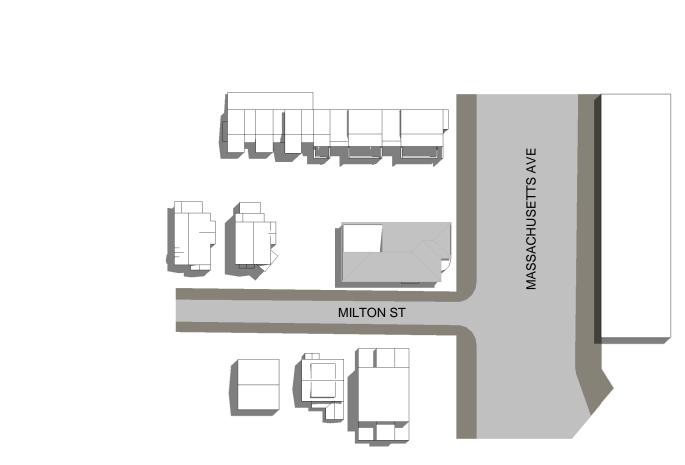
| Checke | ed by | | IIVIC |
|--------|-------------|-----|-------------|
| Scale | | 1/6 | 64" = 1'-0" |
| REVI | SIONS | | |
| No. | Description | | Date |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

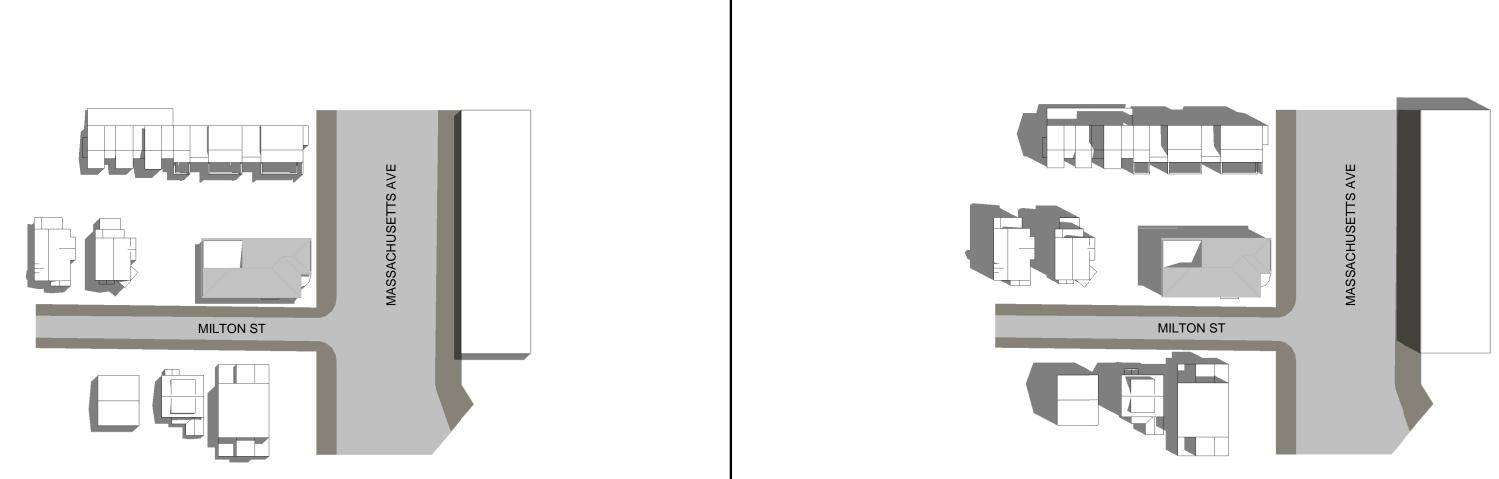
SHADOW STUDY

AV-4 2161 MASS AVE RESIDENCES

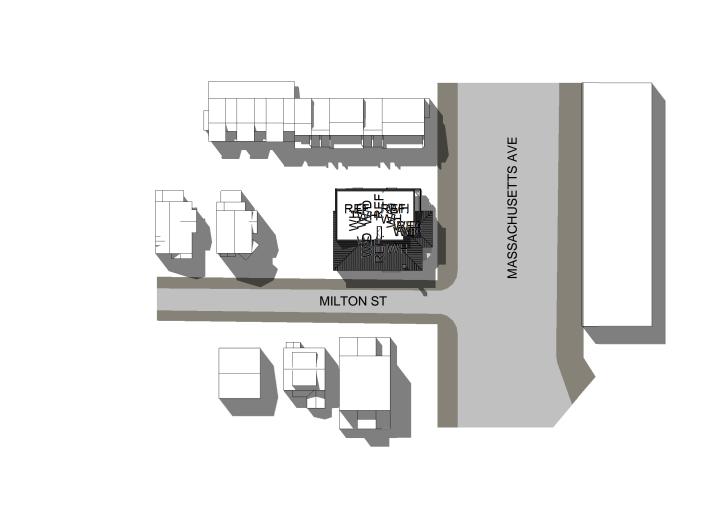
EXISTING CONDITION

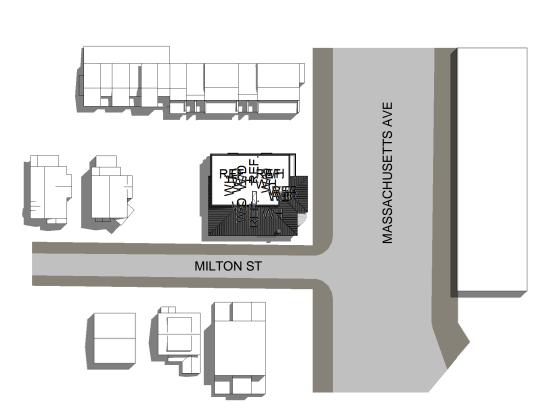


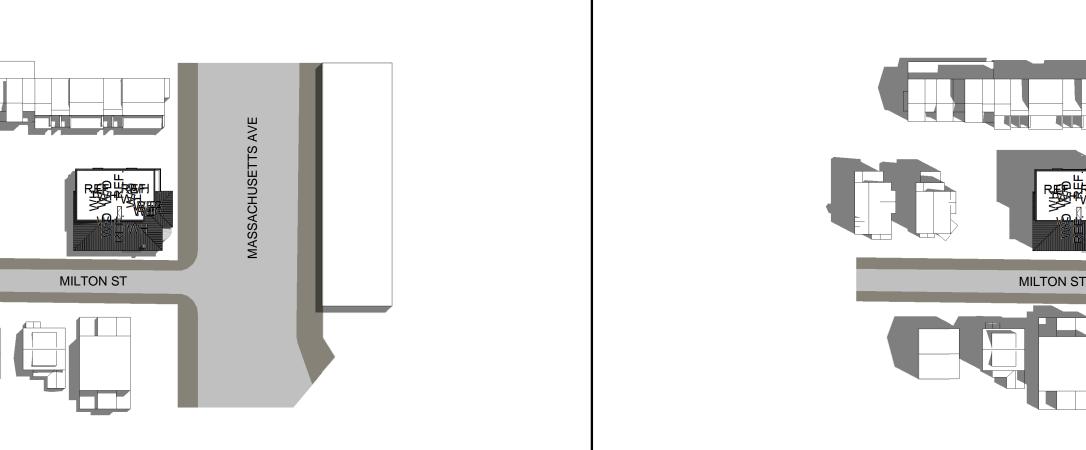




PROPOSED CONDITION







2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT

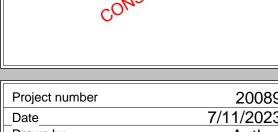


17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

CONSULTANTS:

COPYRIGHT KDI © 2023 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION



| REVISIONS | |
|------------|--------------|
| Scale | 1/64" = 1'-0 |
| Checked by | TM |
| Drawn by | Auth |
| _Date | 7/11/202 |
| | 2000 |

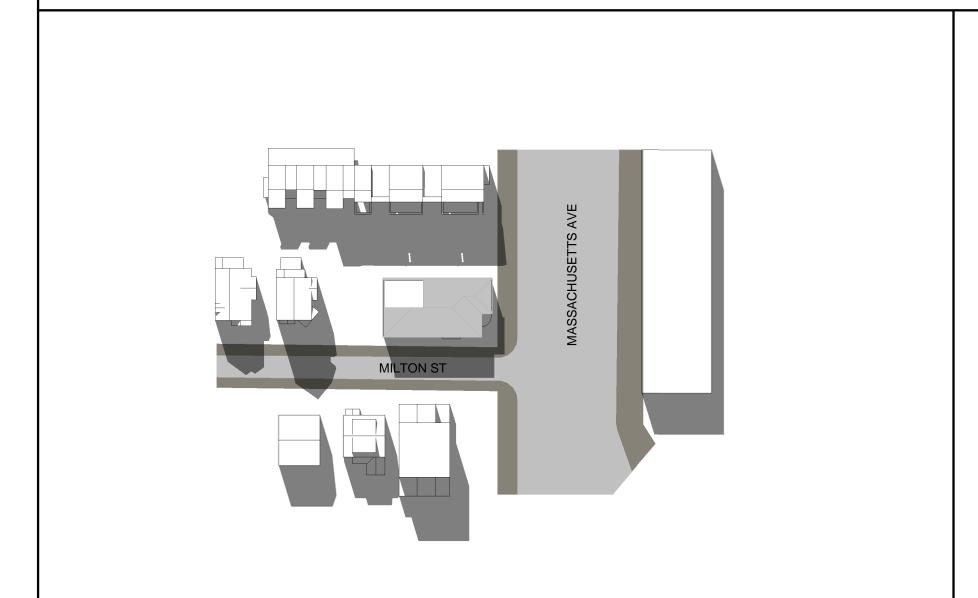
| REVISIONS | |
|-----------|-------------|
| No. | Description |

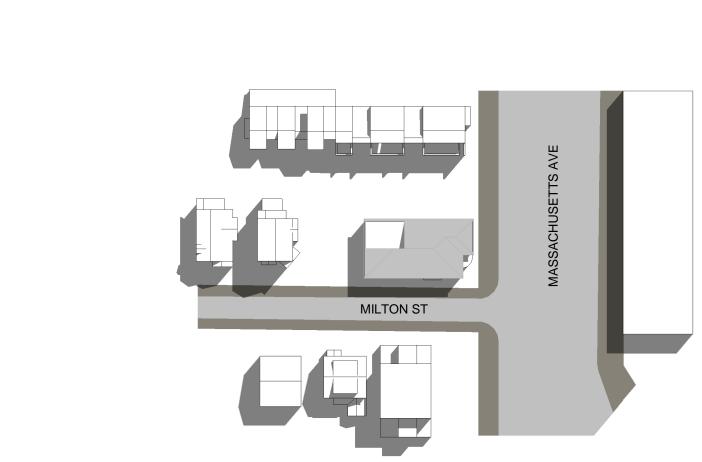
| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

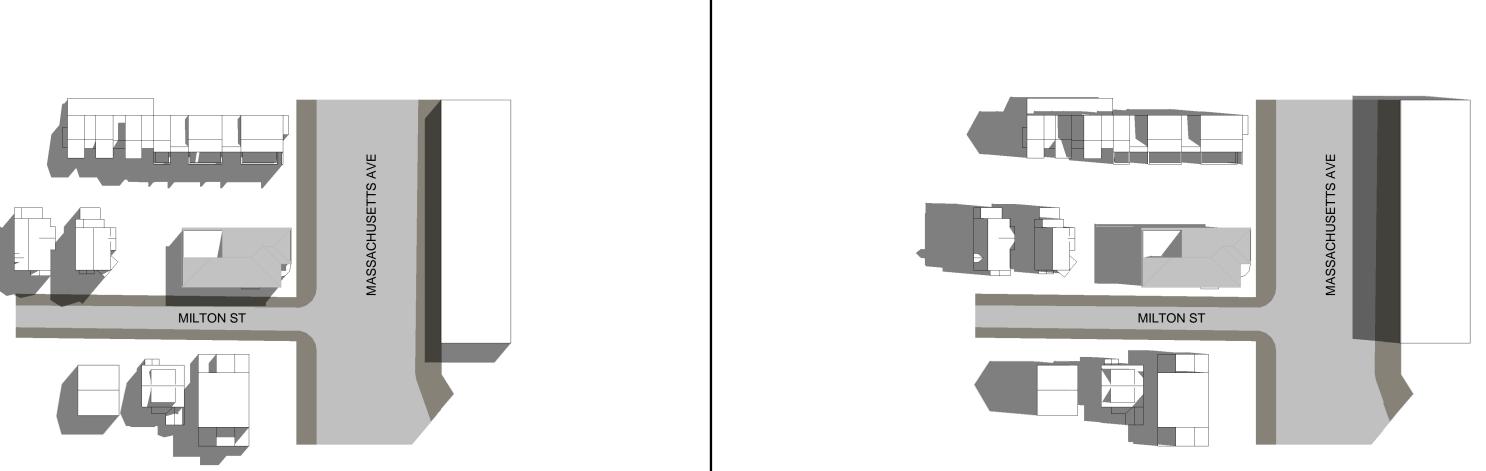
SHADOW STUDY

AV-5 2161 MASS AVE RESIDENCES

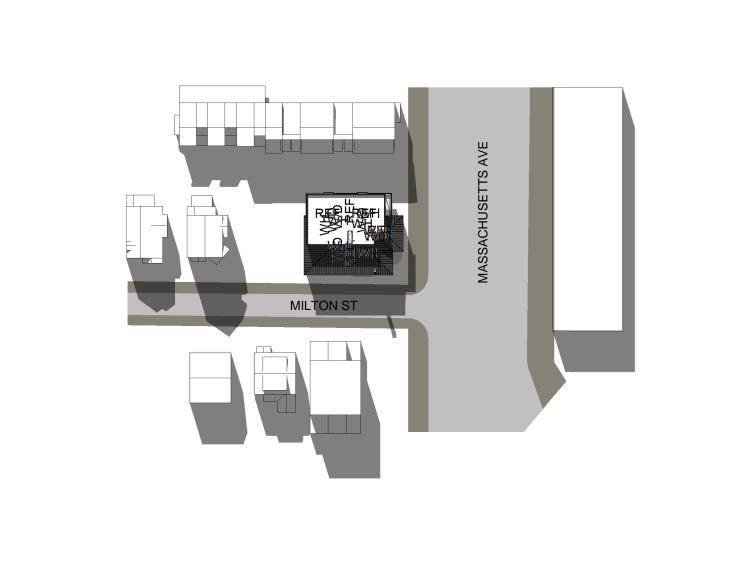
EXISTING CONDITION

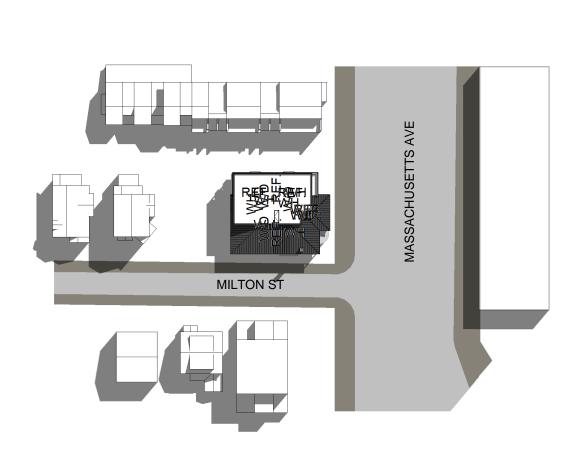


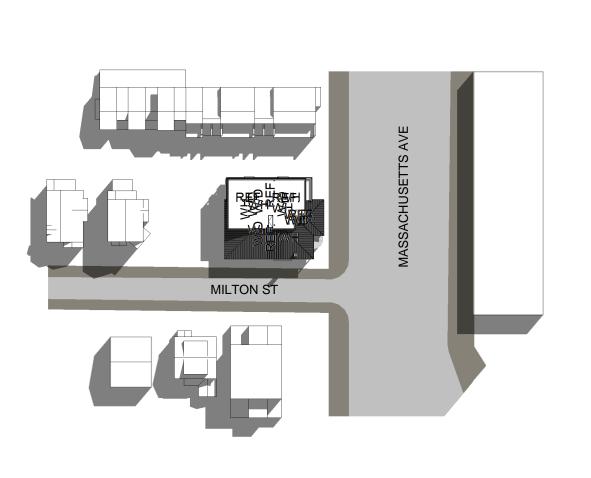




PROPOSED CONDITION





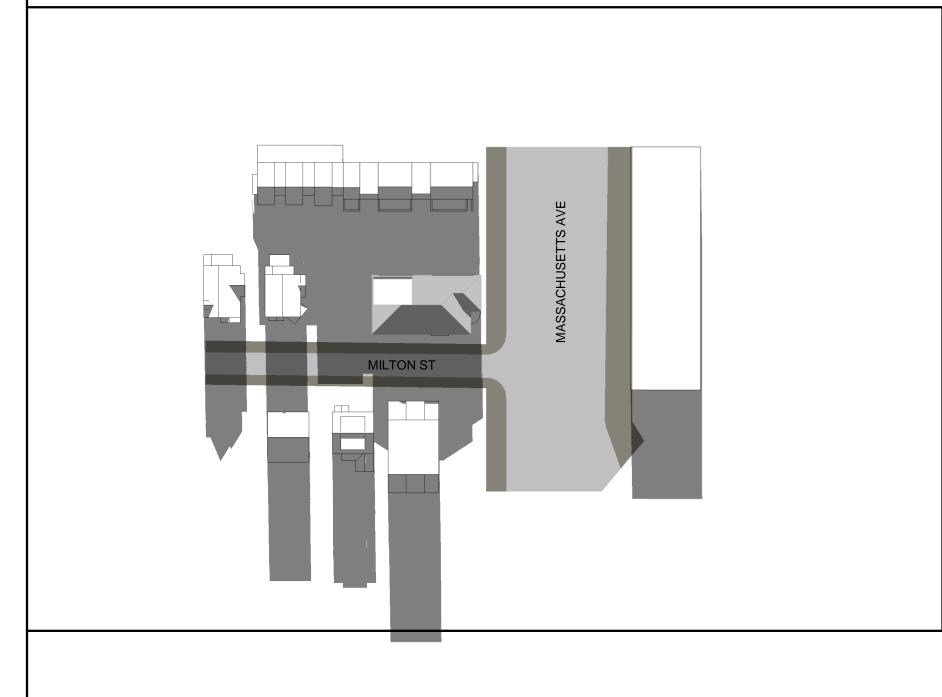


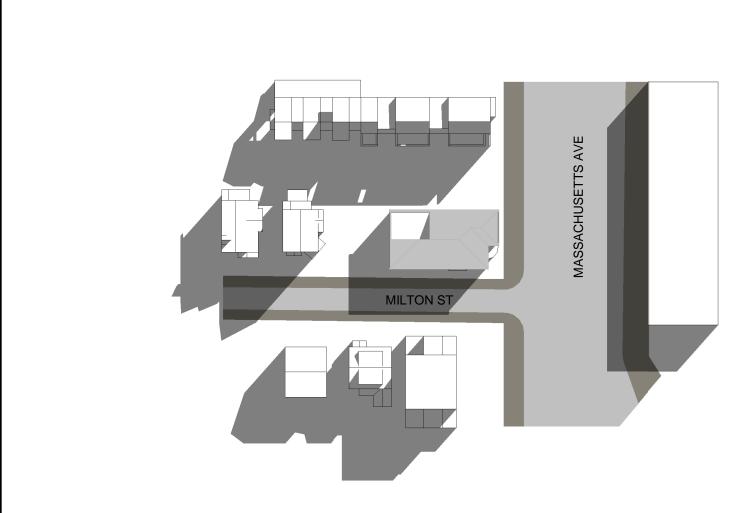
MORNING (9 AM - 10 AM)

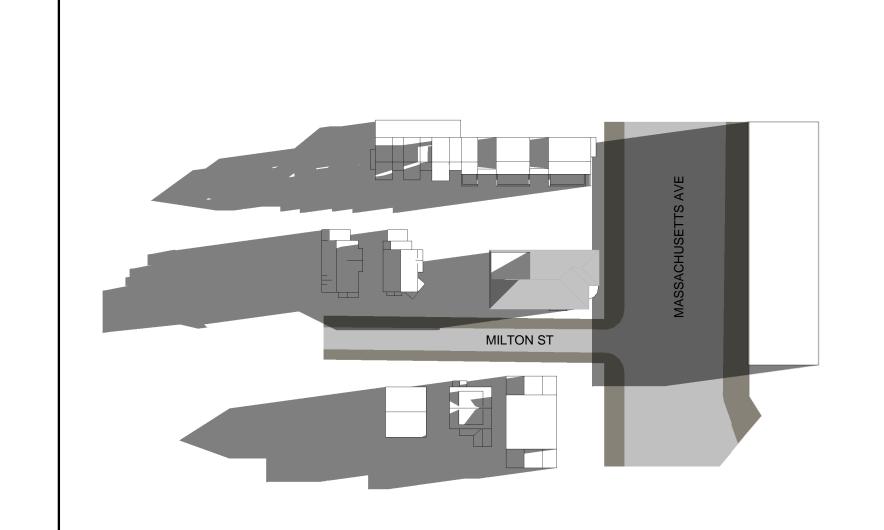
NOON (12 PM - 1 PM)

AFTERNOON (3PM - 4 PM)

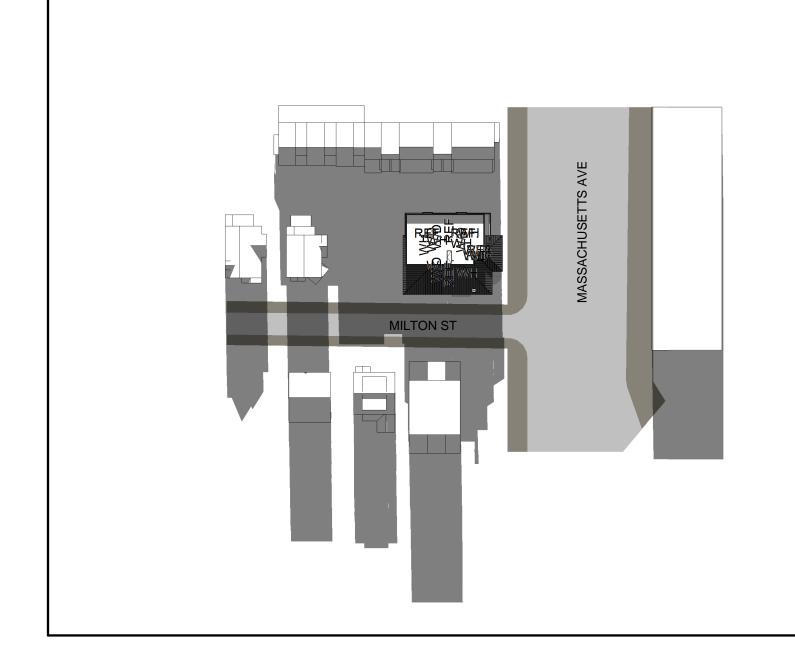
EXISTING CONDITION

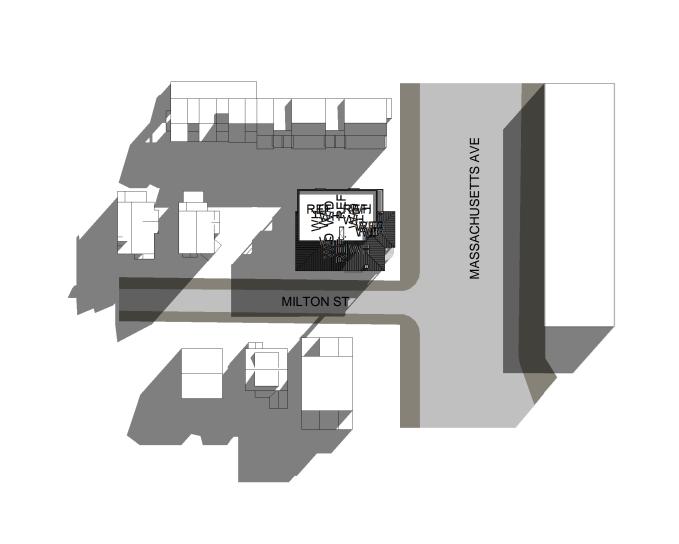


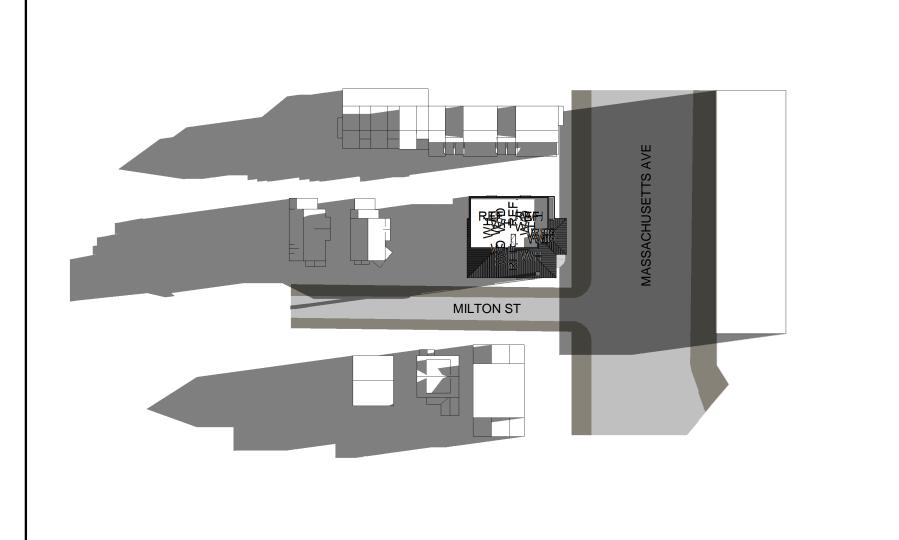




PROPOSED CONDITION







PROJECT NAME

2161 MASS AVE **RESIDENCES**

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

CONSULTANTS:

COPYRIGHT KDI © 2023 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION

Project number



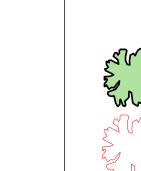
| _Date | | 7/11/202 |
|-----------|-------------|--------------|
| Drawn by | | Autho |
| Checked I | by | TMC |
| Scale | | 1/64" = 1'-0 |
| REVISION | ONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHADOW STUDY

AV-6 2161 MASS AVE RESIDENCES

LOT SIZE: +/- 7,513 SF

MAGNOLIA TREE
 EASTERN RED CEDAR



LEGEND

TREE TO REMAIN

TREE TO DEMO

BUILDING FOOTPRINT



2161 MASS AVE **RESIDENCES** PROJECT ADDRESS

PROJECT NAME

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT

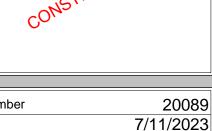


17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

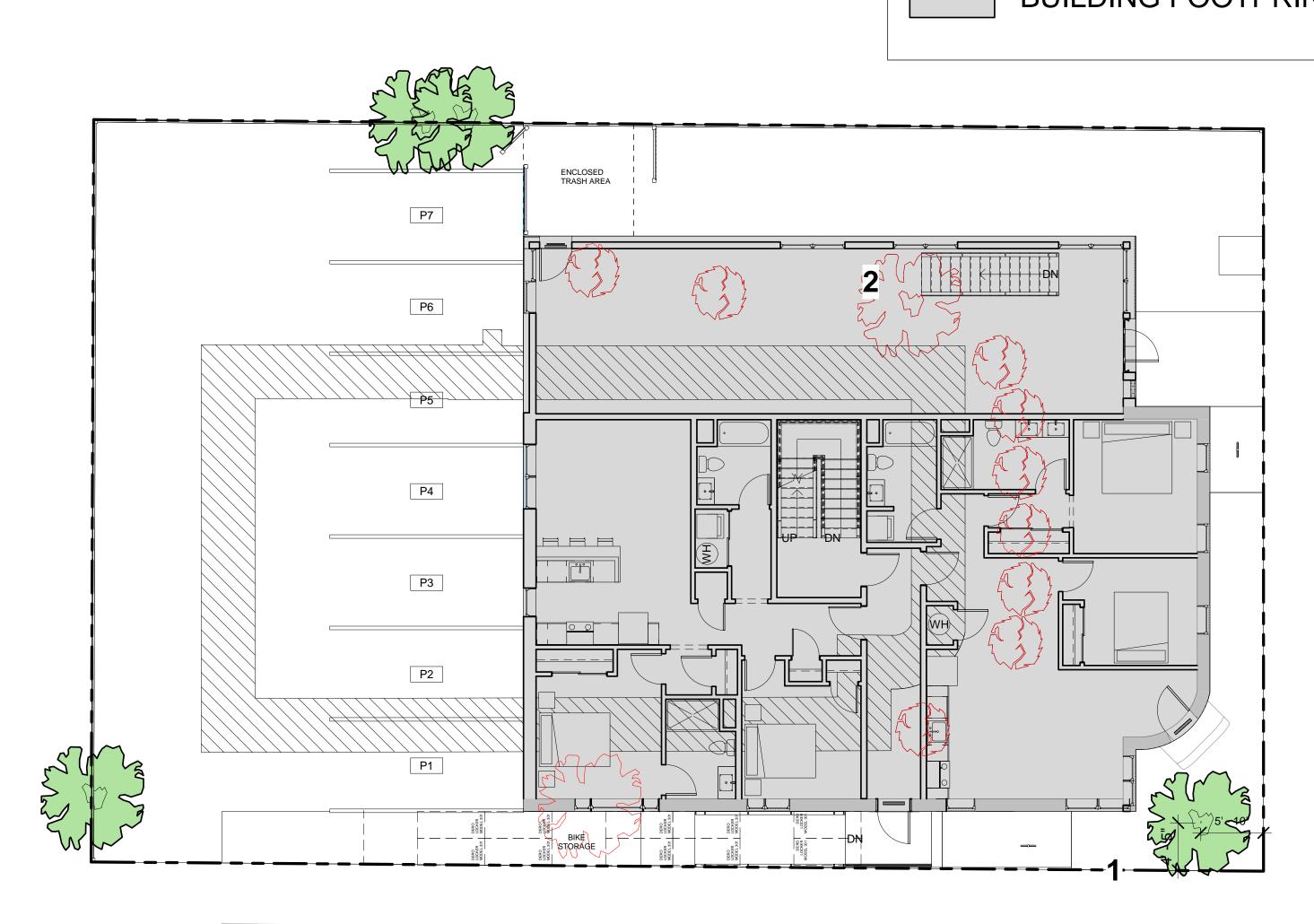
REGISTRATION



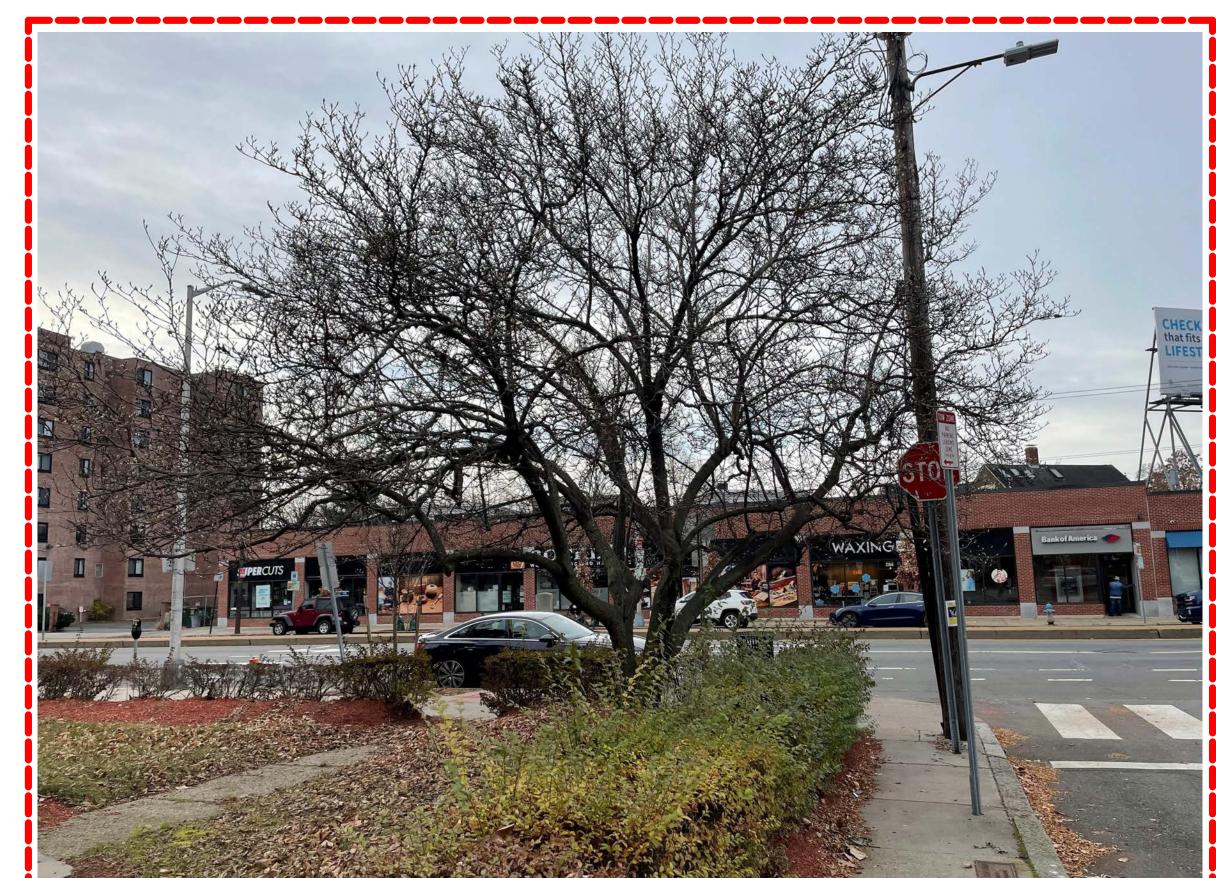
| | | 1/11/2023 |
|----------|-------------|--------------|
| Drawn by | | Author |
| Checked | by | TMC |
| Scale | | 1/8" = 1'-0" |
| REVISI | ONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SITE TREES

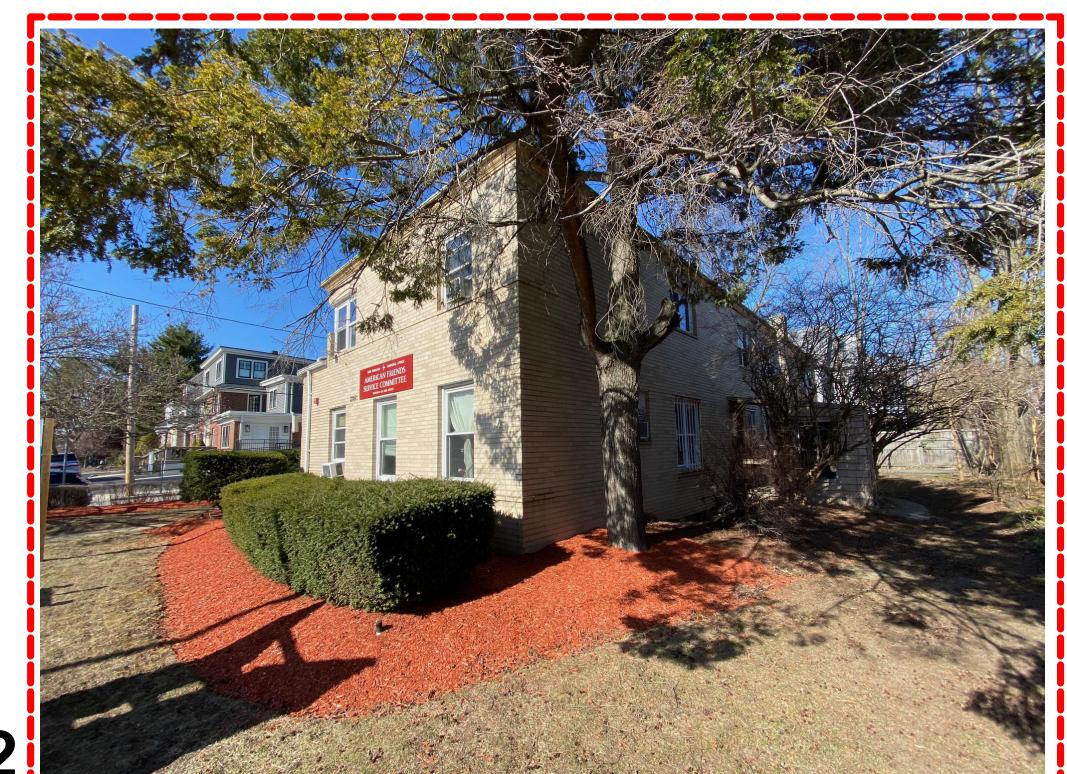
2161 MASS AVE RESIDENCES



MASS AVE



MILTON ST.





MASS AVE. & MILTON ST. CORNER VIEW



MASS AVE. ENTRY



MASS AVE. CORNER VIEW



MILTON STREET VIEW

PROJECT NAME

2161 MASS AVE RESIDENCES

PROJECT ADDRESS

2161 MASS AVE CAMBRIDGE, MA

CLIENT

NELSON OLIVEIRA

ARCHITECT

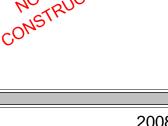


17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

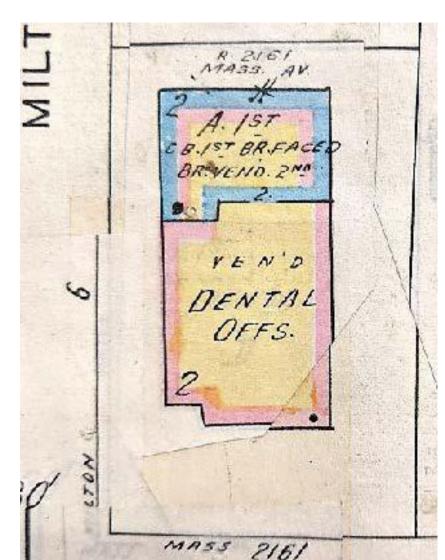


| Project | number | 20089∥ |
|---------|-------------|-----------|
| Date | | 7/11/2023 |
| Drawn | by | Author |
| Checke | ed by | TMC |
| Scale | | |
| REVIS | SIONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | ll ll |

EXISTING CONDITIONS/ CURRENT

AV-8
2161 MASS AVE RESIDENCES

1959 ADDITION REFERENCES



1934 Sanborn Atlas, updated through 1959 showing garage addition

ADDITION, 1959



ORIGINAL DESIGN VISUALIZATION, 1939



CURRENT, REAR VIEW



CURRENT, MILTON STREET VIEW

KHALSA 17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN

REGISTRATION

PROJECT NAME

PROJECT ADDRESS

CLIENT

ARCHITECT

2161 MASS AVE

RESIDENCES

2161 MASS AVE

CAMBRIDGE, MA

NELSON OLIVEIRA



| Project no | umber | 20089 | |
|------------|-------------|-----------|--|
| Date | | 7/11/2023 | |
| Drawn by | , | Author | |
| Checked | by | TMC | |
| Scale | | | |
| REVISI | ONS | | |
| No. | Description | Date | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

HISTORIC REFERENCES

AV-20 2161 MASS AVE RESIDENCES

7/11/2023 Author TMC 3/16" = 1'-0"

PROJECT NAME

PROJECT ADDRESS

CLIENT

ARCHITECT

2161 MASS AVE

RESIDENCES

2161 MASS AVE CAMBRIDGE, MA

NELSON OLIVEIRA

KHALSA

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023

REGISTRATION

Date
Drawn by
Checked by

REVISIONS

HISTORIC

REFERENCE

AV-21

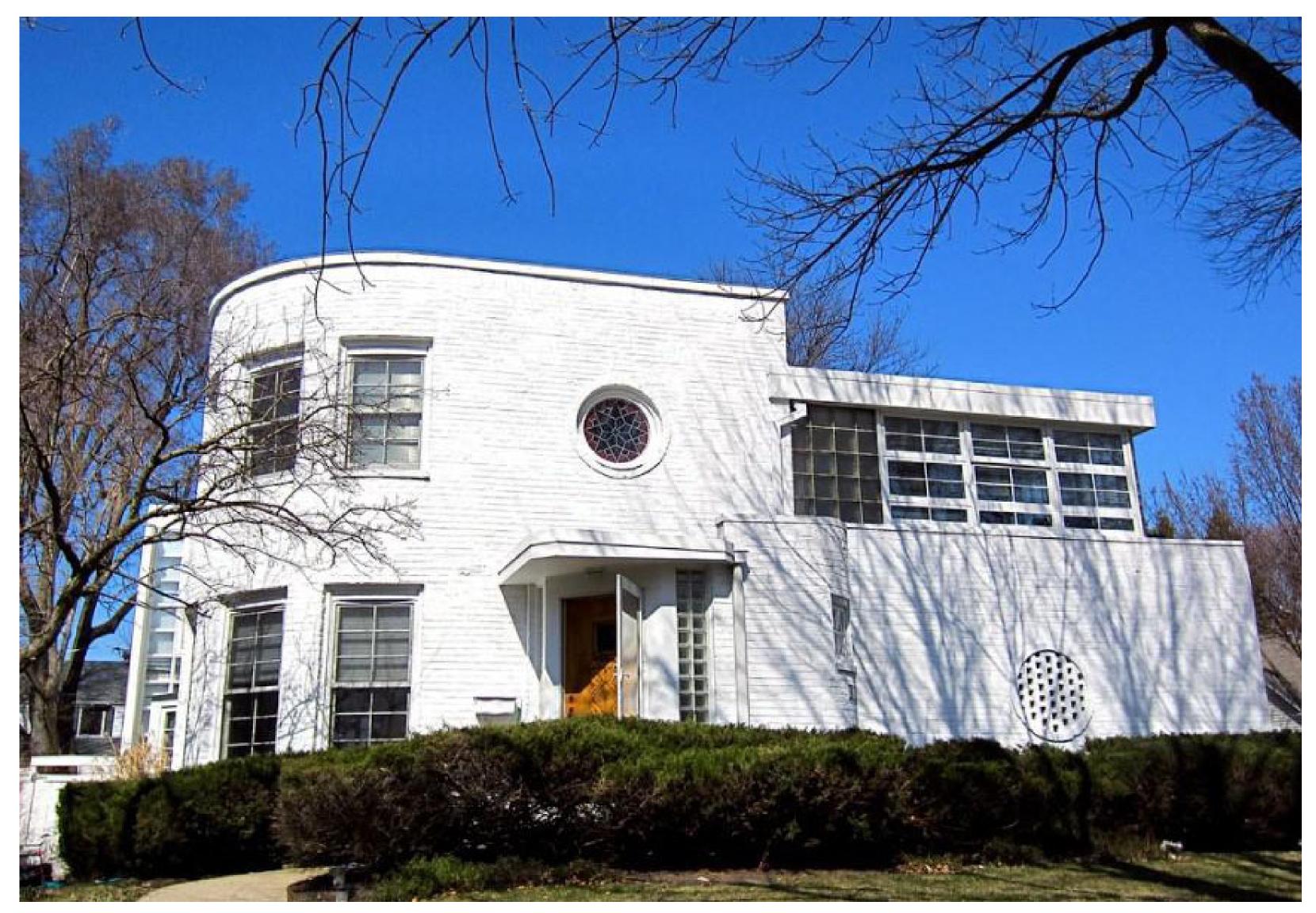
2161 MASS AVE RESIDENCES

OF PROSECUTION UNDER LAW

ART MODERNE



Club Moderne, Anaconda, Montana. Designed by Fred F. Willson, 1937



1910 Greenwood Avenue Wilmette, IL Architect: Andrew Rebori



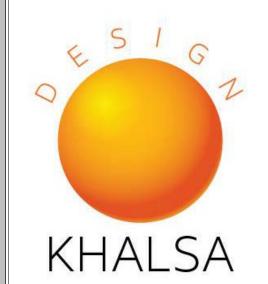
ART MODERNE CHARACTERISTICS (1930-1950)

- SIMPLE GEOMETRY
- COMPACT CUBIC MASSING WITH LITTLE DECORATION
- CURVED FORMS, ROUNDED CORNERS
- LONG HORIZONTAL LINES, HORIZONTAL STREAMLINES
- OCCASIONALLY NAUTICAL ELEMENTS, MACHINE AGE ARCHITECTURE
- MOSTLY FLAT ROOFS
- CORNER WINDOWS
- PORTHOLE WINDOWS
- GLASS BLOCK OR MULTI-PANE WINDOWS
- SMOOTH WHITE WALLS

CLIENT

NELSON OLIVEIRA

ARCHITECT



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT

REGISTRATION



| Project nu | ımber | 20089 |
|------------|-------------|---------------|
| Date | | 7/11/2023 |
| Drawn by | | Author TMC |
| Checked | by | TMC |
| Scale | | |
| REVISION | ONS | |
| No. | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ART MODERNE

AV-22
2161 MASS AVE RESIDENCES