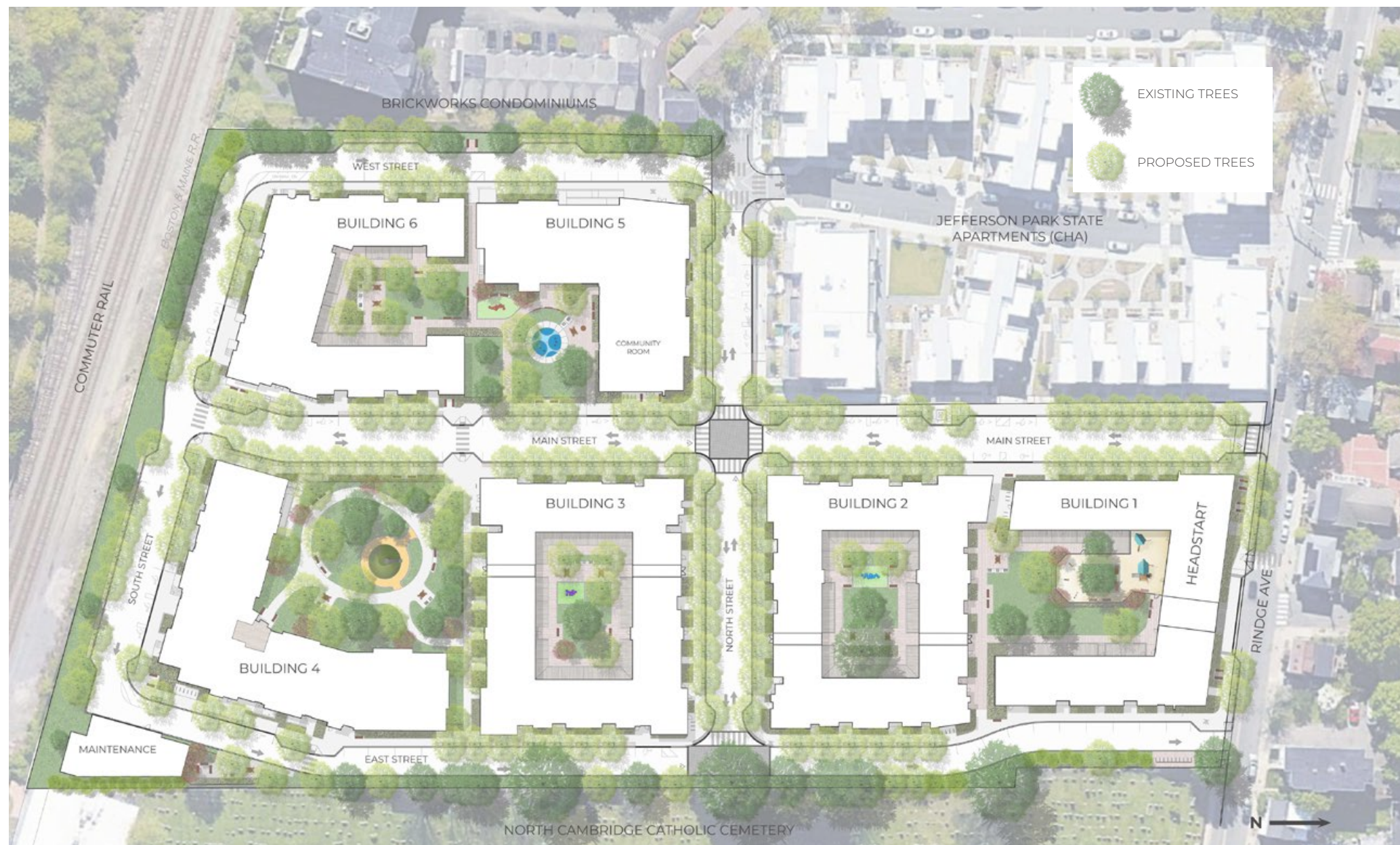


CAMBRIDGE HOUSING AUTHORITY
REVITALIZATION OF JEFFERSON PARK FEDERAL
AFFORDABLE HOUSING OVERLAY SUBMISSION
FEBRUARY 15, 2022



AGENDA

LANDSCAPE, OPEN SPACE, INTERIOR AMENITIES	3
Illustrative Landscape Plan	
Materials Plan	
Materials Board	
Rendered Perspectives of Open Space	
Architectural Floor Plans of Interior Amenities	
BUILDING DESIGN AND MATERIALS	25
Rendered Perspectives of Buildings	
Elevations	
Perspectives	

LANDSCAPE, OPEN SPACE, AND AMENITIES

LANDSCAPE PLANS, SITE SECTIONS, PERSPECTIVES, AND FLOOR PLANS

NOTE: PROPOSED TREES SHOWN AT 10 YEAR MATURITY.



ILLUSTRATIVE LANDSCAPE PLAN

PREVIOUS VERSION PRESENTED ON 11/09/2021

COMMENTS RECEIVED:

- Additional site features should be provided, including additional seating areas, play areas, etc.
- Further develop the pedestrian realm with features such as plantings, low walls, fences, benches, etc.
- The landscape design of courtyards could be further developed.
- Explore opportunities for adding additional trees, particularly along East and West Streets
- Proposed trees could be increased in size.
- Review opportunities to provide additional short-term bike parking racks throughout the development.
- Explore opportunities to provide accessible roof space to residents as a tenant amenity.
- Alternative locations for the emergency generator should be considered.
- Study options to accommodate the proposed multi-use path along the Fitchburg Line



MATERIALS PLAN



MATERIALS BOARD



Cordia Bench
Forms+Surfaces
Solid cast aluminum frame with Jatoba hardwood
and central armrest
Length = 6 feet



Port
mmcite
Solid cast aluminum frame with Jatoba hardwood with
backrest and central armrest
Length = 6 feet



Tangent Table
Forms+Surfaces
Wheelchair accessible table with cast aluminum frame
and Ipe hardwood seats (no umbrella)
Table Length = 4 feet



Stepping Balls and Cubes
Goric
Age group: 2-12
Dimensions = varies



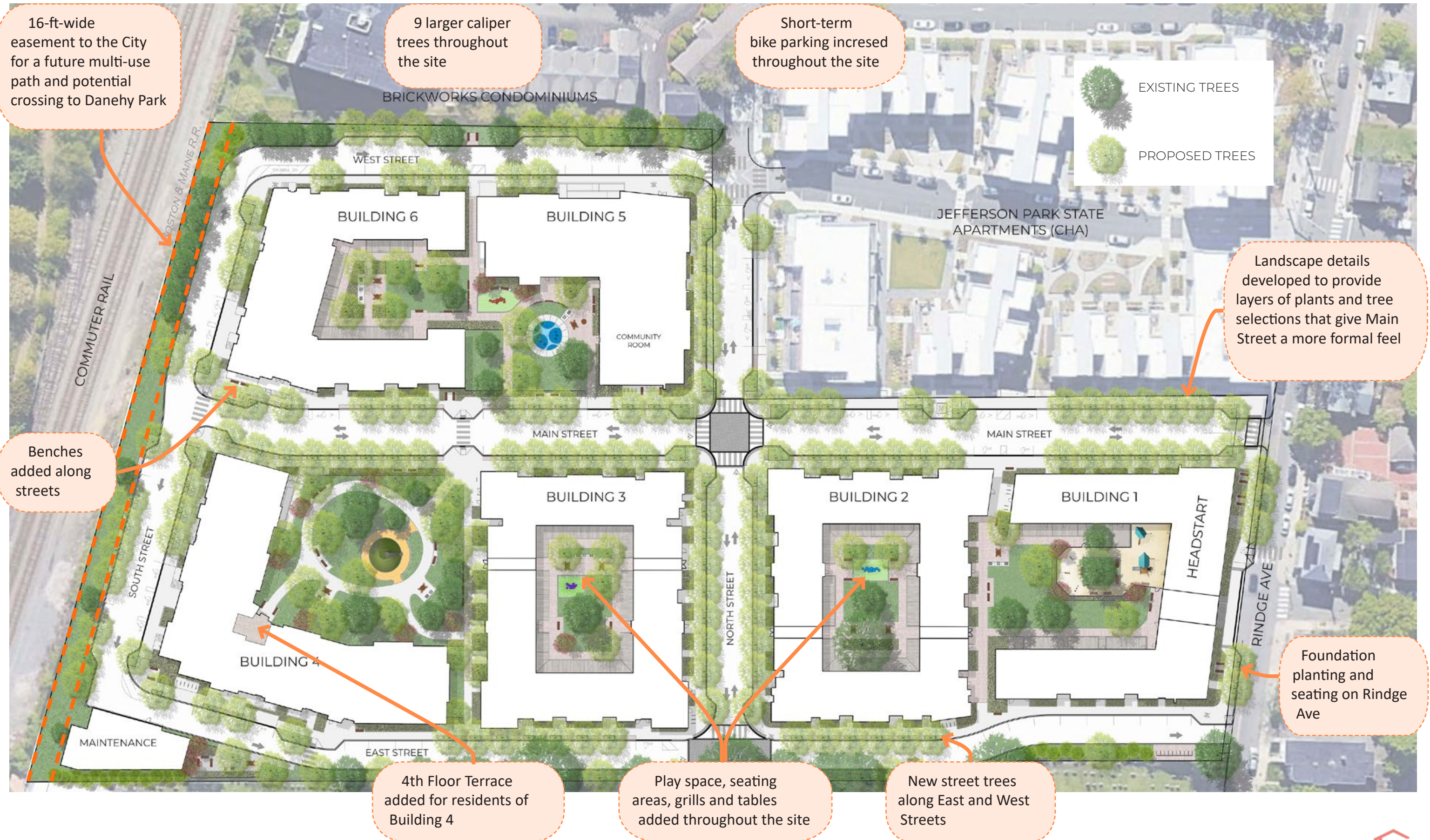
Embankment Slide with Climbing Rope
Kompan
Age group: 5-12, play capacity = 3
Dimensions = 13'3"x3'11"x2'8"



Dolphin Springer
Kompan
Age group: 2-12, play capacity = 1
Dimensions = 3'3"x1'7"x2'3"

ILLUSTRATIVE LANDSCAPE PLAN

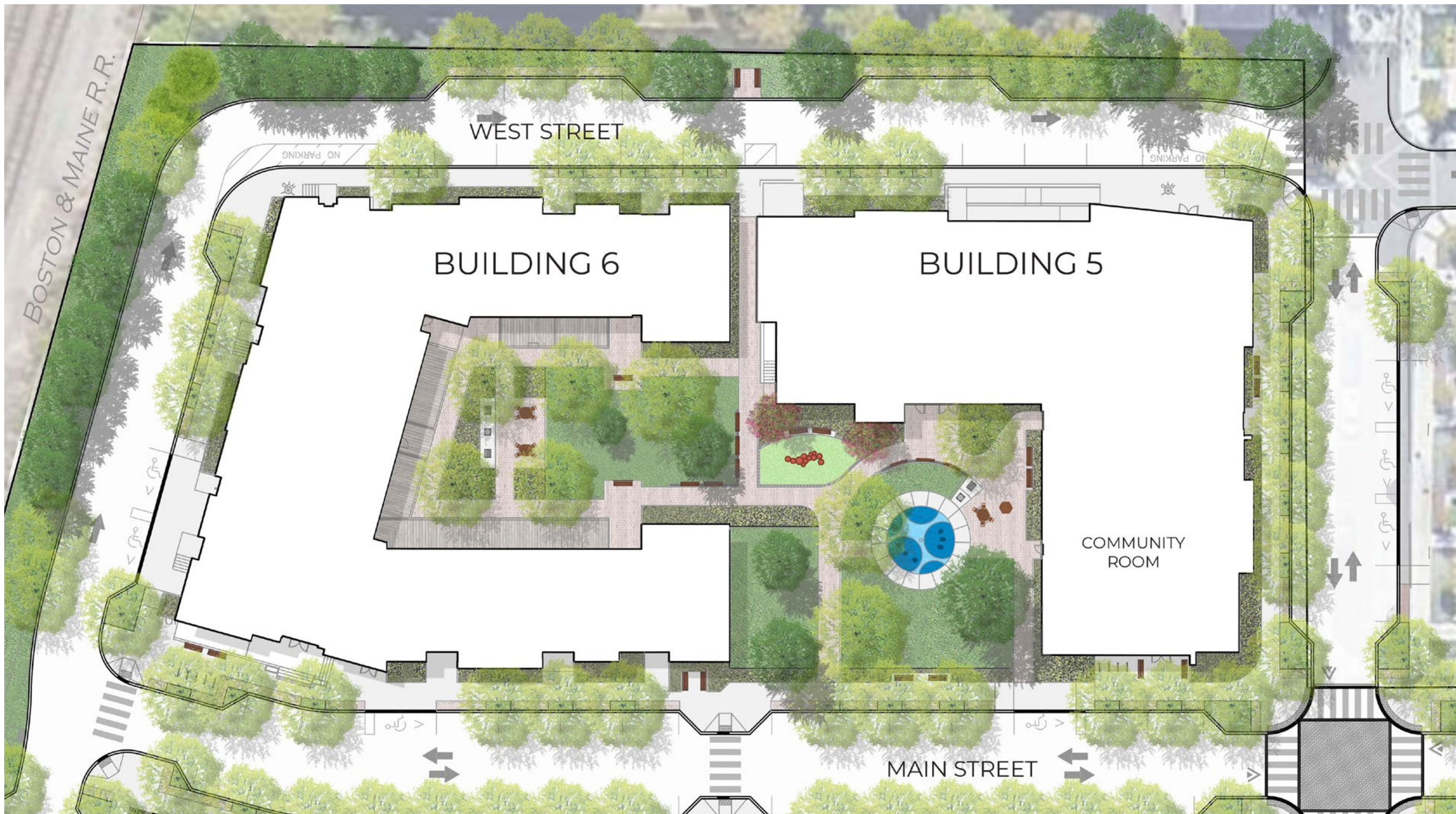
NOTE: PROPOSED TRESS SHOWN AT 10 YEAR MATURITY.



NOTE: PROPOSED TRESS SHOWN AT 10 YEAR MATURITY.



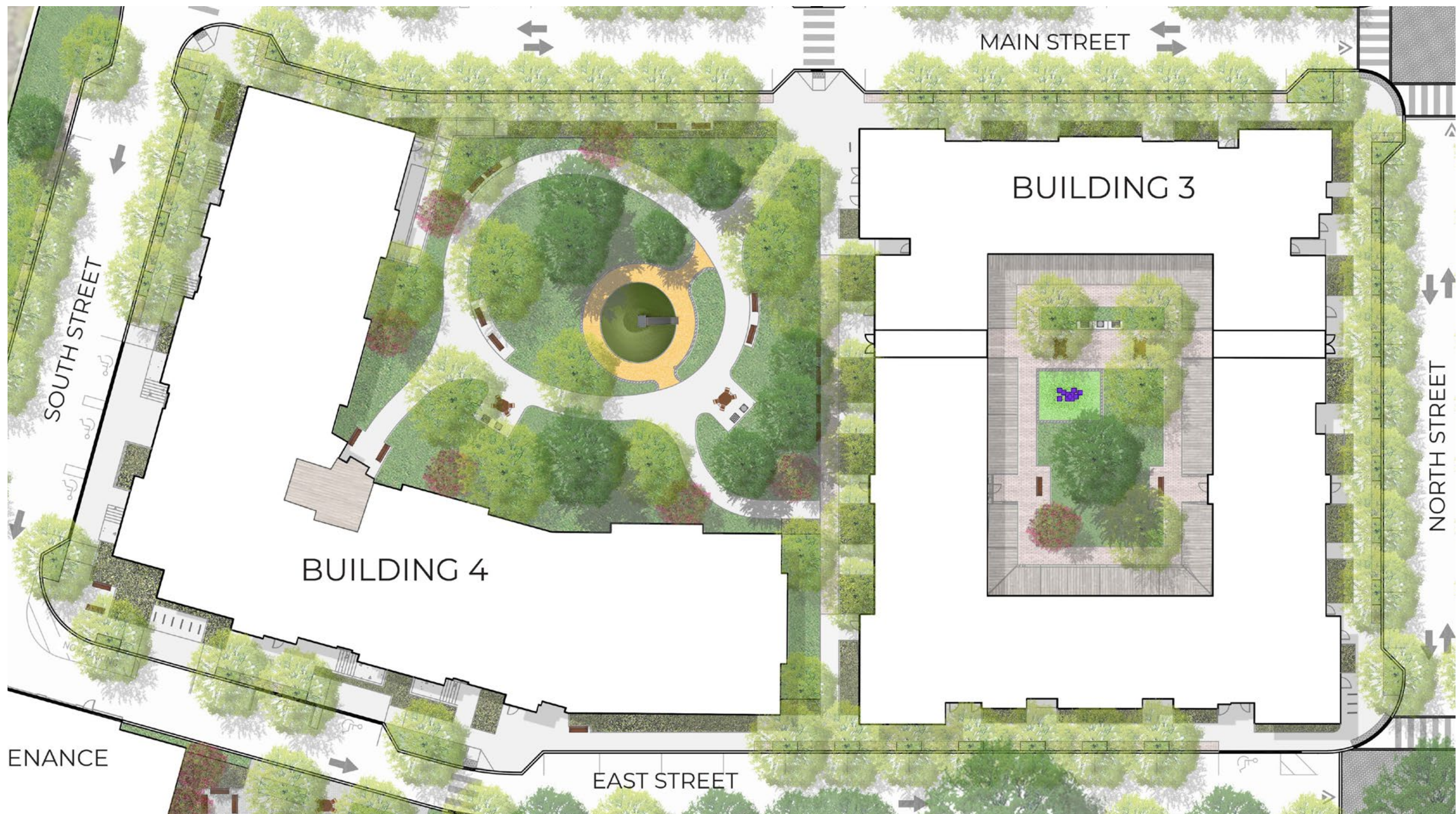
ILLUSTRATIVE LANDSCAPE PLAN



NOTE: PROPOSED TRESS SHOWN AT 10 YEAR MATURITY.



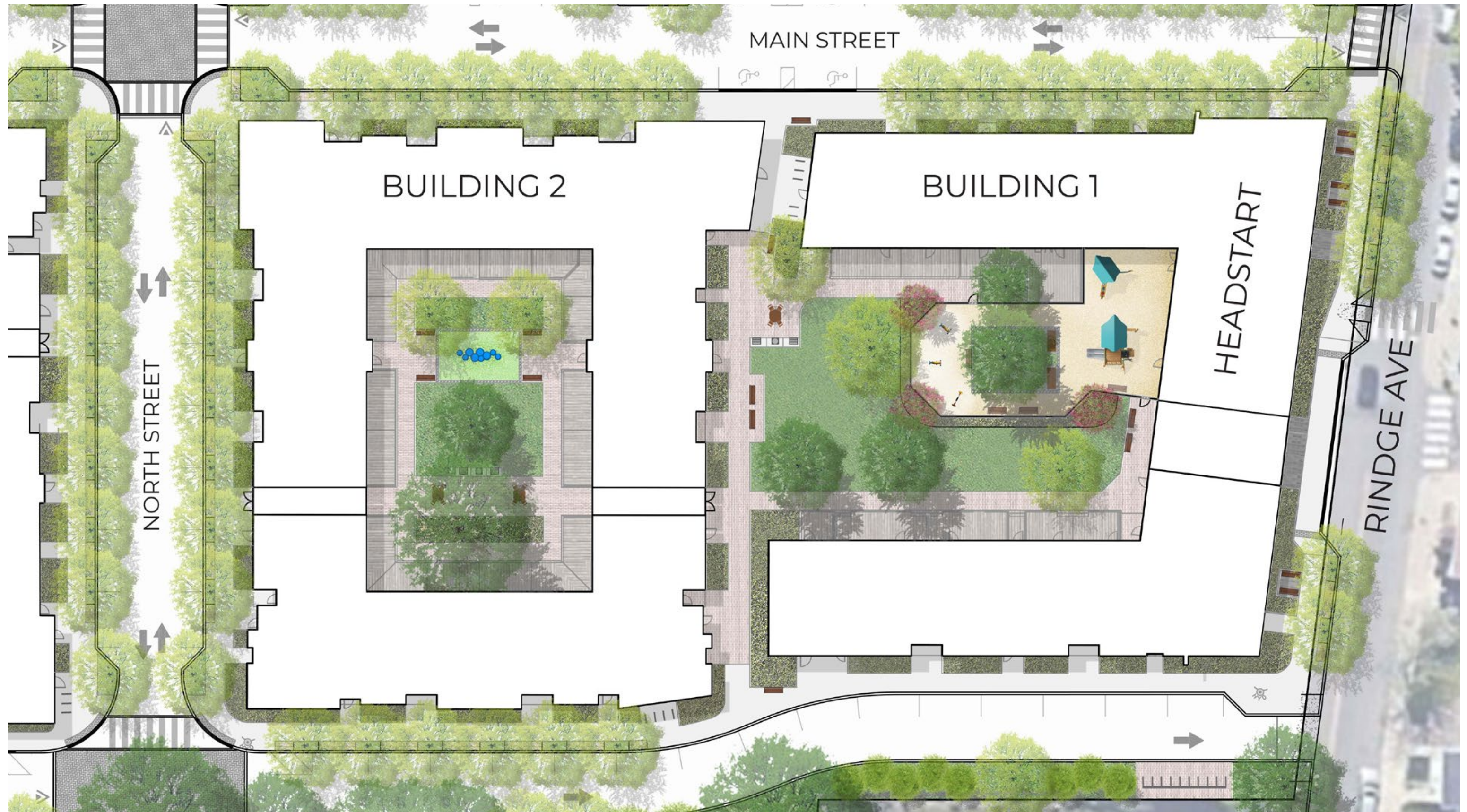
ILLUSTRATIVE LANDSCAPE PLAN



NOTE: PROPOSED TRESS SHOWN AT 10 YEAR MATURITY.



ILLUSTRATIVE LANDSCAPE PLAN



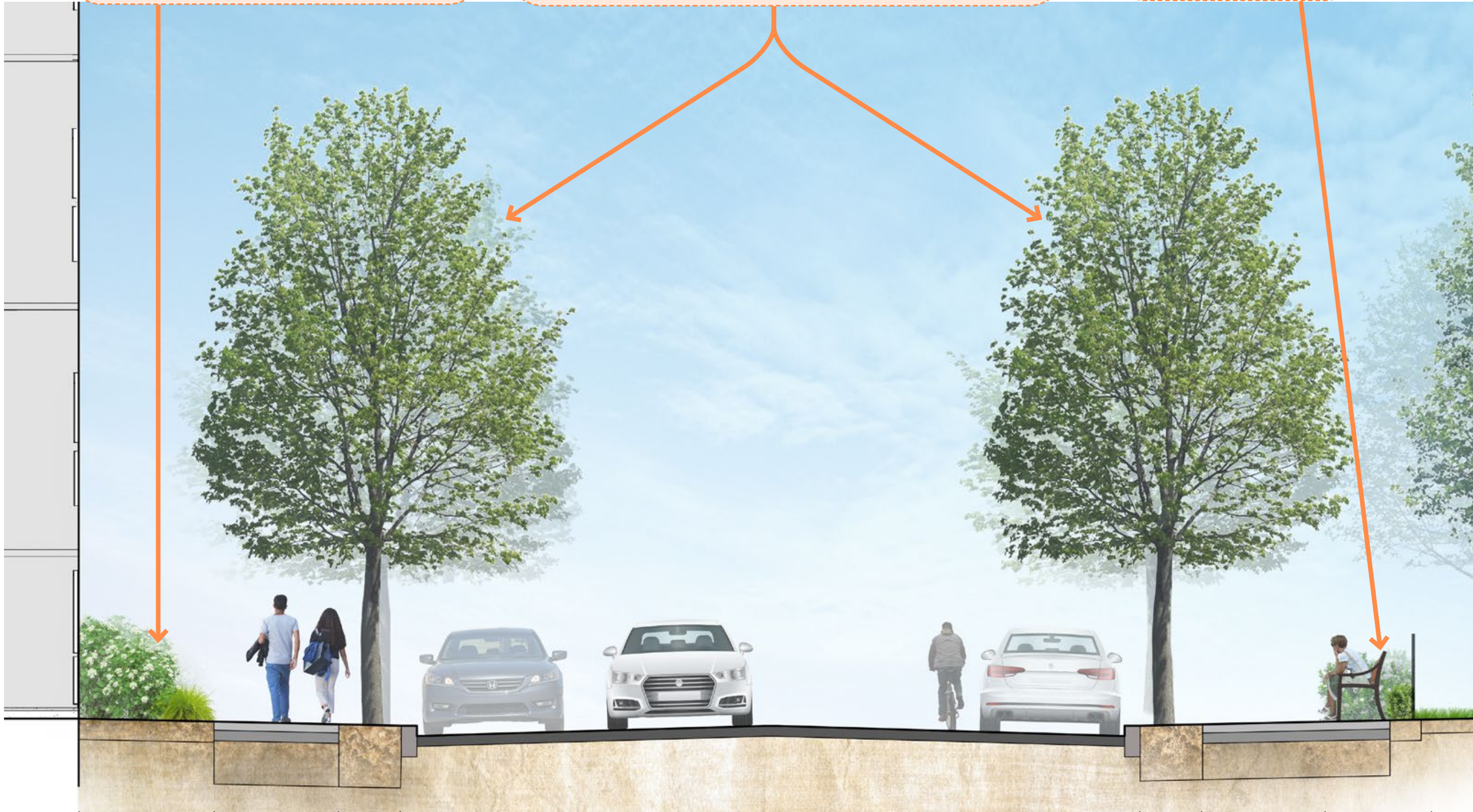
SITE SECTIONS

TYPICAL CONDITION ON MAIN ST

Layered facade shrub and perennial planting where space allows. Larger, low-maintenance, and spread species to provide buffer between first floor unit and street.

Diverse tree selection to maintain 10%-20%-30% forest resiliency goal. On Main St, tree selections will match both sides of the street between intersections and pedestrian crossings to give Main St greater design emphasis than secondary streets.

Seating along Main St.



STREET TREES
Autumn Gold Ginkgo
Greenspire Linden
Green Vase Japanese Zelkova

SHRUBS
Blue Kazoo Spiraea
Blue Shadow Fothergilla
Compact Korean Azalea
Cunningham's White Rhododendron
Delaware Valley White Azalea
Ivory Halo Dogwood
Scintillation Rhododendron
Shamrock Inkberry
Yuki Cherry Blossom Deutzia

PERENNIALS
All Gold Hakone Grass
Blue Star
Bowles Variety Periwinkle
Ingwersen's Variety Geranium
Pink Pewter Deadnettle
Rozanne Geranium
Thriller Lady's Mantle



Residential Unit - Building 3	2.5'-6.5' Depth Facade Planting Bed	6' Wide Sidewalk with Structural Soil	3'x8' Street Tree Pit	Main Street 2 Lane Street with Parking on both sides	3'x8' Street Tree Pit	6' Wide Sidewalk with Structural Soil	3' Depth, Bench Seating	Community Play Area - Building 5
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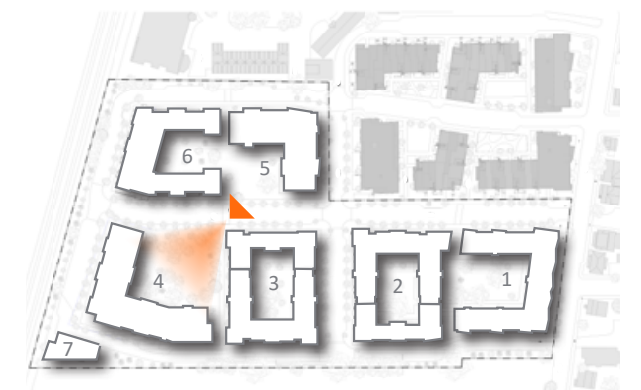
RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE

PREVIOUS 11/09/2021



COMMENTS RECEIVED:

- Additional site features should be provided to residents, including additional seating areas, etc.
- Further develop the pedestrian realm within the site with features such as additional plantings, low walls, fences, benches, etc.
- Proposed trees could be increased in size.
- Review opportunities to provide additional short-term bike parking racks throughout the development.
- Explore opportunities to provide accessible roof space to residents as a tenant amenity.
- Opportunities to increase indoor amenity space should be further explored.
- Further development of common entrances to Buildings 4, 5, and 6.
- The facades could use more articulation to minimize “blank wall” effects, improve the pedestrian experience at ground level and improve the overall aesthetic of the development.



BUILDING 4 PARK (24,000 SF)

RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE

UPDATE



NEW FEATURES:

- Additional seat wall at park edge.
- Two grill and table areas for residents added in the park.
- Low wall, plantings and benches help develop the pedestrian realm.
- Four 6-in caliper trees to be planted in the park.
- Additional short-term bike racks at park entrance.
- New terrace and fitness room on 4th floor and common room on 1st floor overlooking the park for residents of Building 4.
- More developed courtyard building entry to activate building corner and strengthen visual cues
- Further detailing of CMU facade adds patterns of texture and color to the pedestrian experience at the ground level.



BUILDING 4 PARK (24,000 SF)

RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE

UPDATE



NEW FEATURES:

- Additional seat wall at park edge.
- Two grill and table areas for residents added in the park.
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BUILDING 4 PARK (24,000 SF)

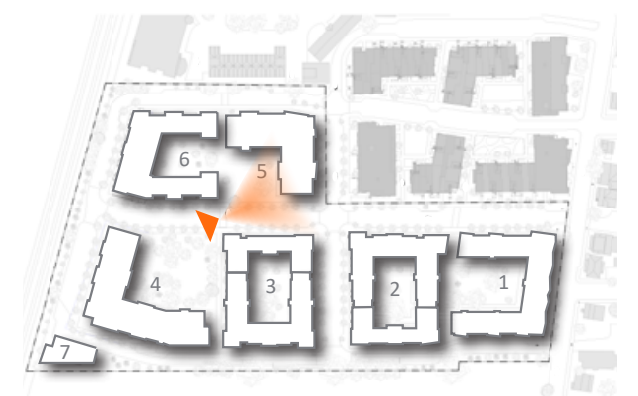
RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE

PREVIOUS 11/09/2021



COMMENTS RECEIVED:

- Additional site features should be provided to residents, including additional seating areas, etc.
- Further develop the pedestrian realm within the site with features such as additional plantings, low walls, fences, benches, etc.
- Proposed trees could be increased in size.
- Residential units on the second, third, and fourth floors of Building 5 will overlook the emergency generator. Alternative locations should be considered.
- Review opportunities to provide additional short-term bike parking racks throughout the development.
- Opportunities to increase indoor amenity space should be further explored.
- Further development of common entrances to Building 5



BUILDING 5 PARK (10,000 SF)

RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE UPDATE



NEW FEATURES:

- New seating around splash pad
- Low wall, plantings and benches help develop the pedestrian realm.
- One grill and table area (2 grills) for residents added in the park.
- Three 6-in caliper trees to be planted in the park.
- Relocated generator from park to roof.
- Additional short-term bike racks at entrance to community room and management office
- New fitness room for residents added next to community room overlooking the park.
- Resident entrance added to courtyard with colored panels signaling importance



BUILDING 5 PARK (10,000 SF)

RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE

UPDATE



NEW FEATURES:

- New seating around splash pad
- Low wall, plantings and benches help develop the pedestrian realm.
- One grill and table area (2 grills) for residents added in the park.
- Three 6-in caliper trees to be planted in the park.
- Relocated generator from park to roof.
- Additional short-term bike racks at entrance to community room and management office
- New fitness room for residents added next to community room overlooking the park.
- Resident entrance added to courtyard with colored panels signaling importance



BUILDING 5 PARK (10,000 SF)

RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE

PREVIOUS 11/09/2021



COMMENTS RECEIVED:

- Additional site features should be provided to residents, including additional seating areas, play areas, etc.
- The landscape design of courtyards could be further developed.
- Consideration should be given to increasing the privacy of the small private decks that line the perimeters of the courtyard by the use of opaque fences



BUILDING 3 COURTYARD (8,000 SF)

RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE UPDATE



NEW FEATURES:

- Additional play equipment and benches in every courtyard.
- Existing mature tree to be preserved.
- Wooden fences added between patios to make more private



BUILDING 3 COURTYARD (8,000 SF)

RENDERED PERSPECTIVES OF PROPOSED OPEN SPACE UPDATE



NEW FEATURES:

- Additional play equipment and benches in every courtyard.
- Existing mature tree to be preserved.
- Wooden fences added between patios to make more private



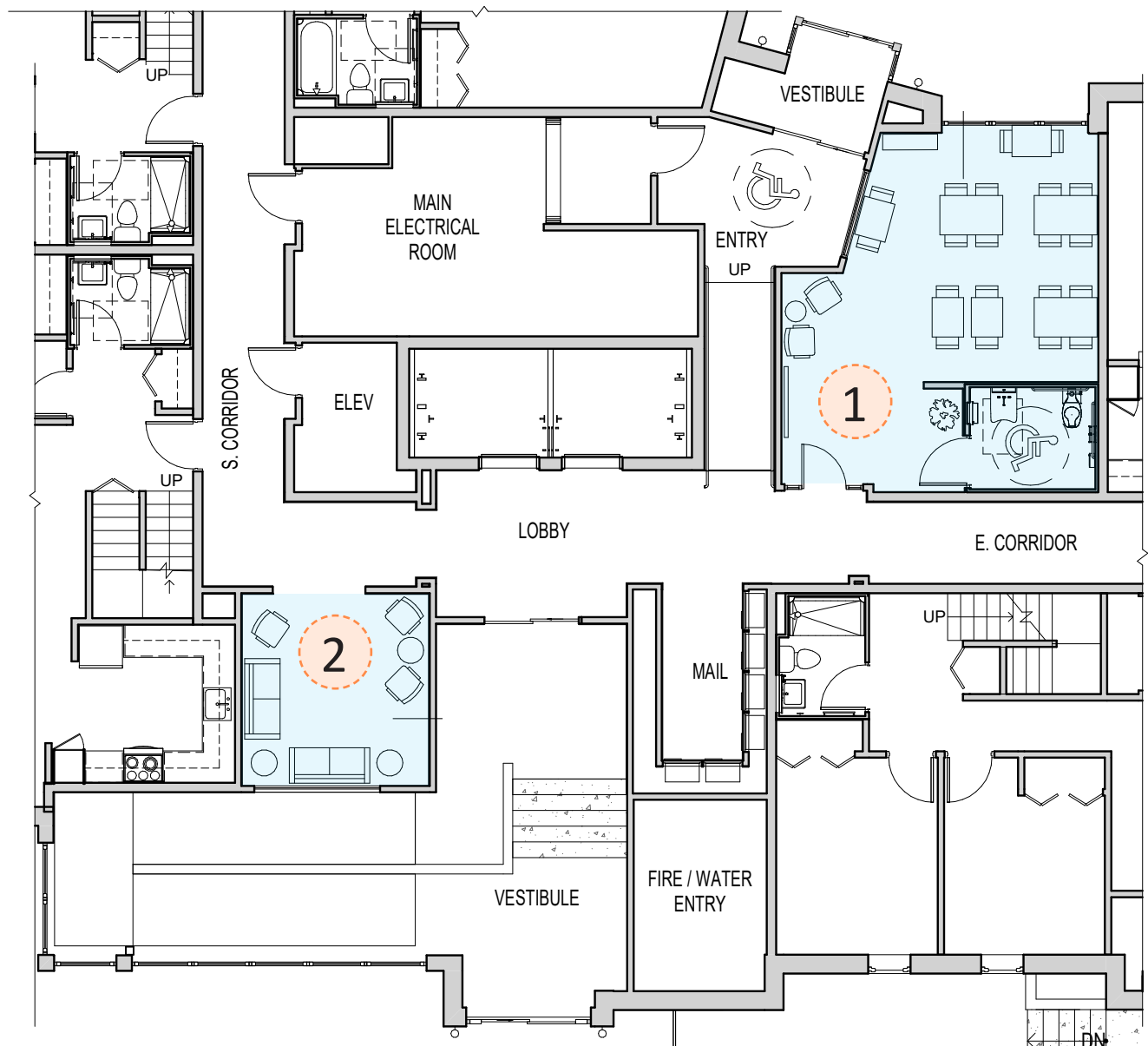
BUILDING 3 COURTYARD (8,000 SF)

ARCHITECTURAL FLOOR PLANS

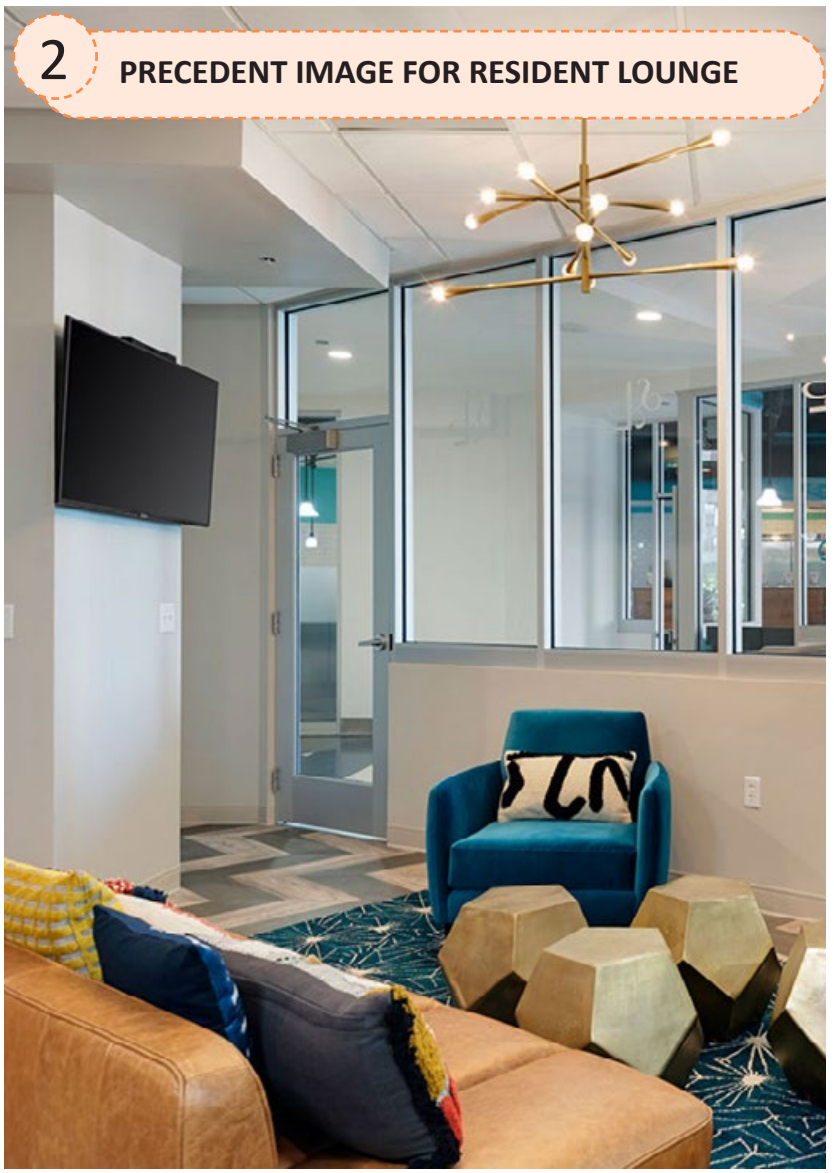
BUILDING 4 - FIRST FLOOR AMENITY SPACE

1 COMMUNITY ROOM
 • 32 occupants max
 • 352 sf

2 RESIDENT LOUNGE
 • 9 occupants max
 • 149 sf



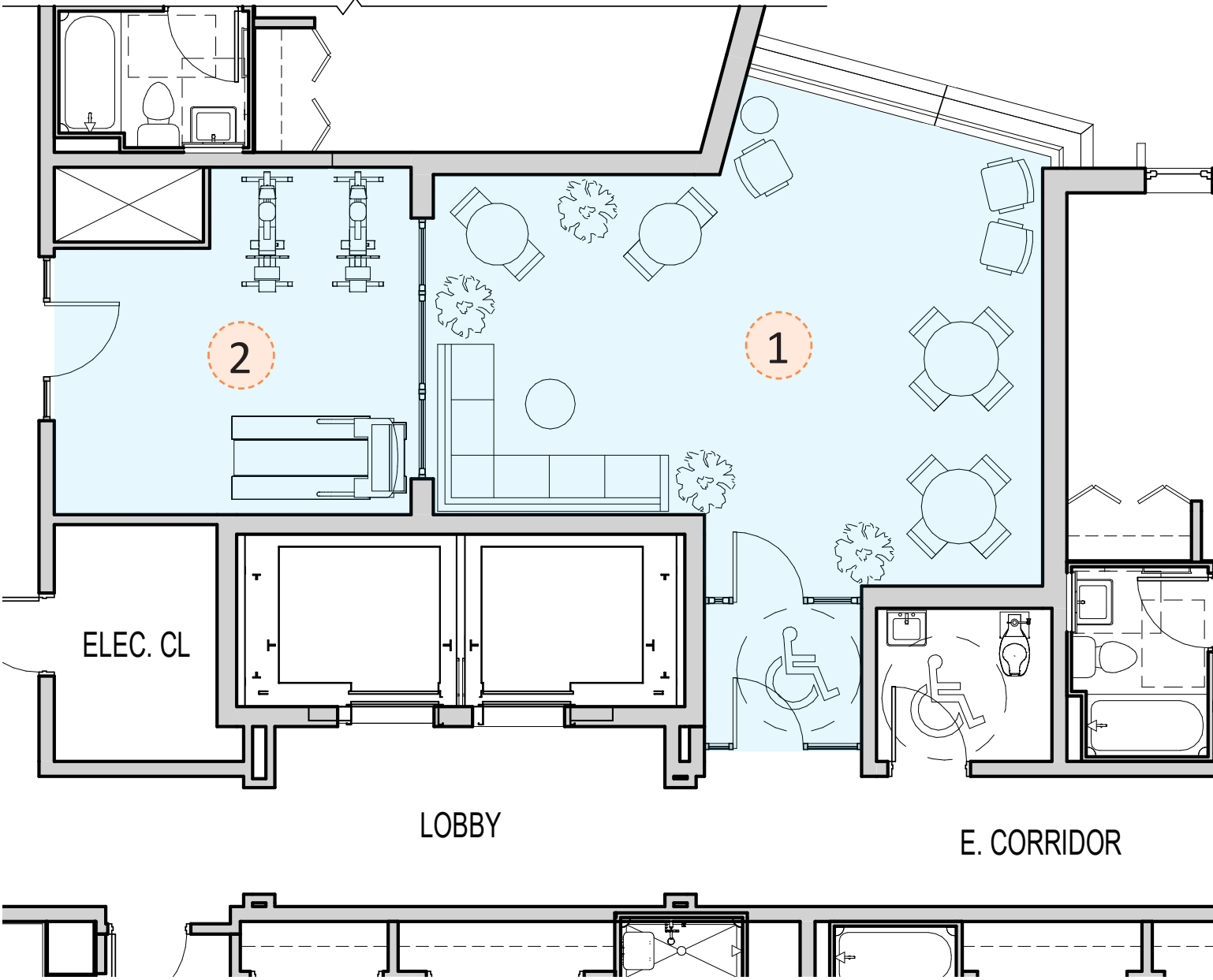
**NORTH EAST -
FIRST FLOOR PLAN**



ARCHITECTURAL FLOOR PLANS
BUILDING 4 - FOURTH FLOOR AMENITY SPACE

1 ROOFTOP TERRACE
• 407 sf
• 27 occupants max

2 FITNESS ROOM
• 180sf
• 3 pieces of equipment



1 VIEW OF TERRACE



ARCHITECTURAL FLOOR PLANS
BUILDING 4 - AMENITY SPACE

VIEW FROM TERRACE



ARCHITECTURAL FLOOR PLANS

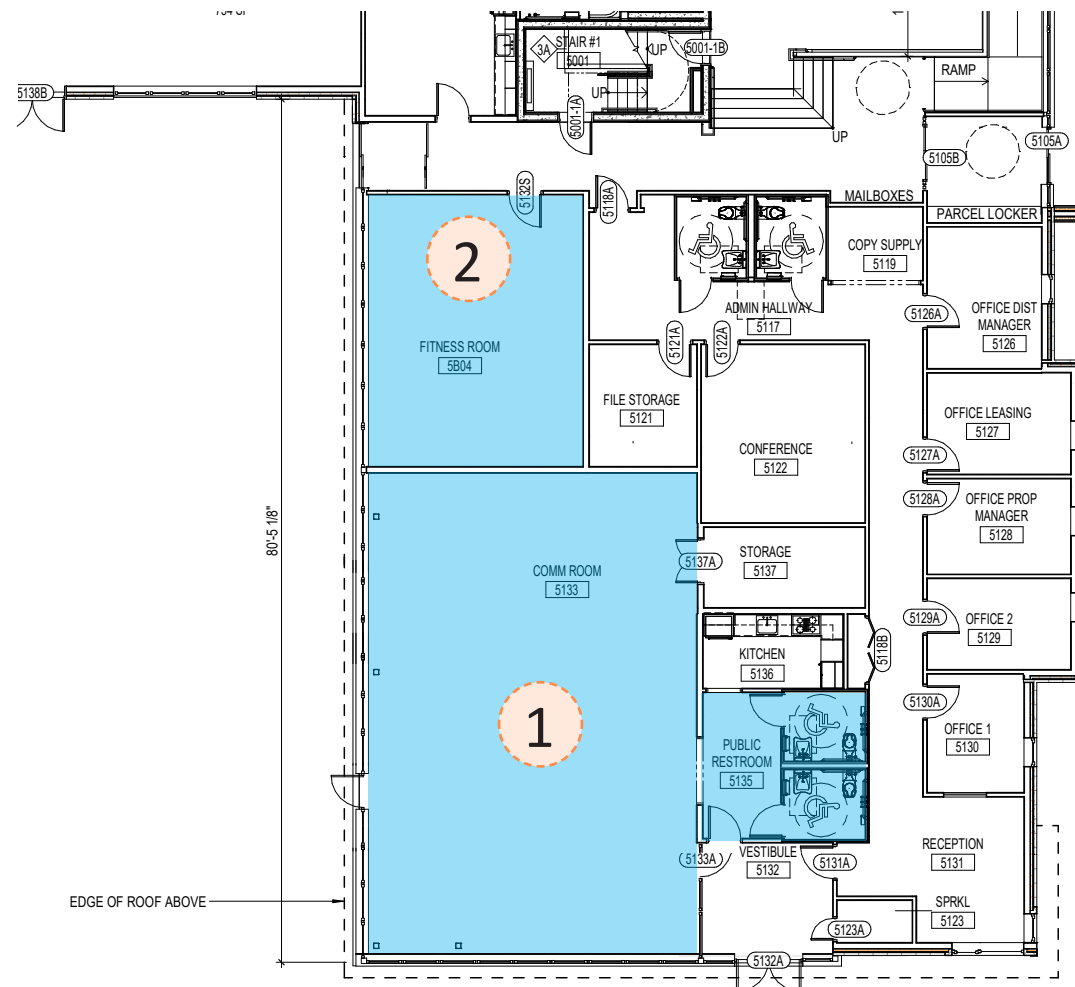
BUILDING 5 - AMENITY SPACE

1 COMMUNITY ROOM

- 1,424 sf
- Flexible space for meeting, birthdays, etc.
- Computers

2 FITNESS ROOM

- 506 sf
- Fitness space open to all JP resident with views onto park



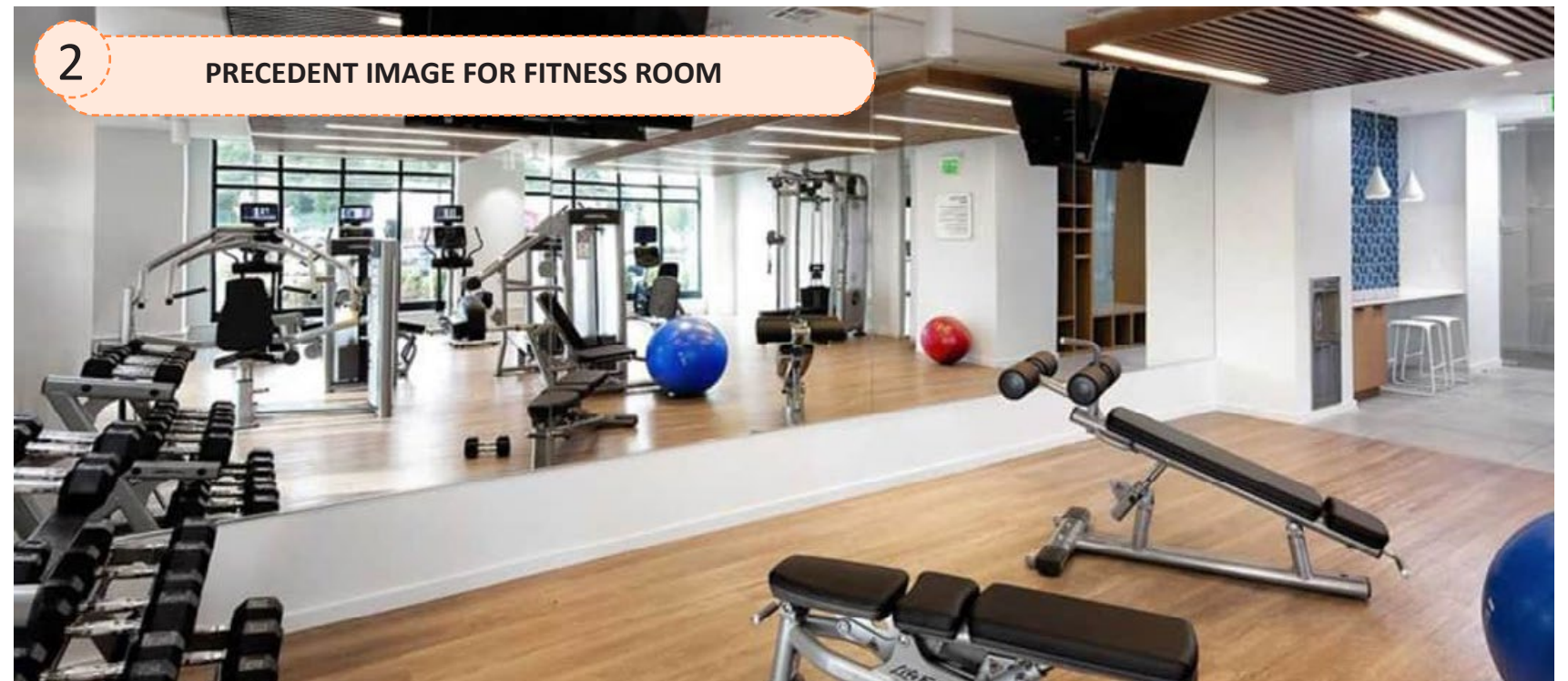
FIRST FLOOR PLAN



1 PRECEDENT IMAGE FOR COMMUNITY ROOM



2 PRECEDENT IMAGE FOR FITNESS ROOM



BUILDING DESIGN AND MATERIALS

PERSPECTIVES AND ELEVATIONS

RENDERED PERSPECTIVES OF PROPOSED DESIGN

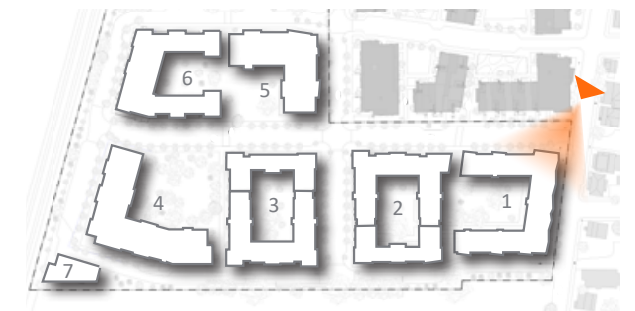
PREVIOUS 11/09/2021



BUILDING 1 FROM RINDGE

COMMENTS RECEIVED:

- Enhance the civic presence of the Rindge Avenue façade. Consider breaking up its length, and enhance the pedestrian scale and visual interest of its ground floor facing Rindge Avenue.
- As Jefferson Park's primary public face, the Rindge Avenue façade of Building 1 could respond more strongly to the street and the context buildings. More assertive vertical divisions that would break up the length of the façade to relate to the smaller scale of the houses on the opposite side of the street could be considered.
- The incorporation of a canopy along the top of the first-floor façade would emphasize the pedestrian scale of the setback along Rindge Avenue, help distinguish the first floor from the residential floors, emphasize the passage through to the building's courtyard, and enrich the Head Start facility.
- Consider reducing the amount of cementitious panel and EIFS proposed.
- The rooflines of the buildings lack visual interest, and opportunities to add cornices or other roof details should be explored.
- Further develop the pedestrian realm, front yards, building entrances within the site and in the Rindge Avenue frontage with features such as additional plantings, low walls, fences, stoops, benches, etc.
- Further development of first floor entrances to units and the passages through Buildings 1, 2, and 3.



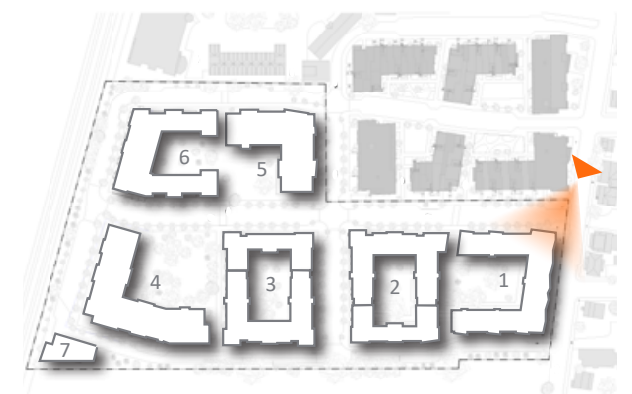
VIEW 01

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- Increased frequency of pleats make the undulations more prominent and create more assertive vertical divisions, creating a smaller scale that is reminiscent of bay windows on row houses to better compliment surrounding residential houses.
- Visual interest was added with colored window shadow boxes.
- The civic presence of this building was enhanced with expanded public art installation, prominent glazing at the bike room, and colorful paneling at the Head Start to reflect the unique program.
- Increased visual interest at the roofline with the addition of a cornice
- The pedestrian experience was enhanced with the addition of foundation plantings, benches and covered bicycle parking under the pass-through.
- Canopy was extended to distinguish first floor from residential floors above.
- Detailing breaks down the scale of the canopy.



BUILDING 1 FROM RINDGE

VIEW 01

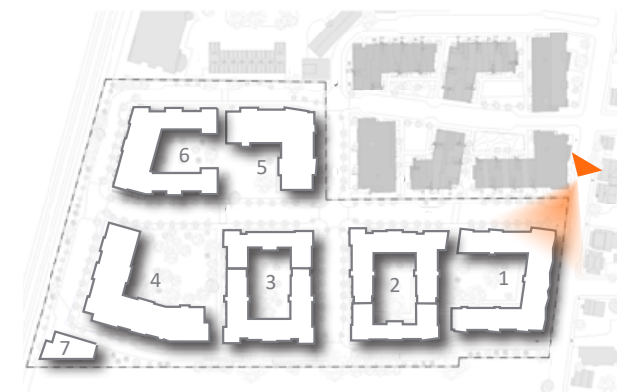
RENDERED PERSPECTIVES OF PROPOSED DESIGN



BUILDING 1 FROM RINDGE

NEW FEATURES:

- Increased frequency of pleats make the undulations more prominent and create more assertive vertical divisions, creating a smaller scale that is reminiscent of bay windows on row houses to better compliment surrounding residential houses.
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- The civic presence of this building was enhanced with expanded public art installation, prominent glazing at the bike room, and colorful paneling at the Head Start to reflect the unique program.
- Increased visual interest at the roofline with the addition of a cornice
- The pedestrian experience was enhanced with the addition of foundation plantings, benches and covered bicycle parking under the pass-through.
- Canopy was extended to distinguish first floor from residential floors above.
- Detailing breaks down the scale of the canopy.



VIEW 01

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS 11/09/2021



MAIN STREET LOOKING SOUTH

COMMENTS RECEIVED:

- The elevations could be livened up by exploring the use of lighter window trim, different materials, more varied design approaches between the individual buildings.
- Further development of first floor entrances to units, including benches, lighting, projecting canopies, etc.
- For both appearance and durability, cementitious panels should be avoided on first floor facades.
- Consideration could be given to providing larger windows and/or windows grouped to create larger façade elements at the residential floors, and the precise design of mullion patterns and fenestration details.
- Facades along Main Street could be given greater design emphasis than the facades that face secondary ways within the development.
- To emphasize Main Street as the project's primary spine, consideration could be given to using streetwall massing and/or corner articulation to emphasize the difference between the north/south Main Street and the secondary perpendicular cross streets.
- More fully develop the details of the exterior walls of the development, including joint patterns, textures, and colors.



VIEW 02

RENDERED PERSPECTIVES OF PROPOSED DESIGN



MAIN STREET LOOKING SOUTH

NEW FEATURES:

- Facades along Main Street are given greater design emphasis than the secondary streets with larger windows, more prominent window detailing and accent panels, sconces at unit entrances, and cast stone window and door surrounds.
- Corner massing articulation and window detailing has been added as a common language between differing buildings, with the greatest prominence along Main Street.
- Greater articulation of massing creates a rhythm along Main Street.
- Windows have been grouped within different materials to create larger façade elements and greater detailing has been added to the fenestration.
- Development of wall detailing for CMU and metal paneling to create unique patterns and textures.
- Building colors have been enhanced and colored shadow boxes were added around windows to liven up the elevations.



VIEW 02

RENDERED PERSPECTIVES OF PROPOSED DESIGN



MAIN STREET LOOKING SOUTH

NEW FEATURES:

- Facades along Main Street are given greater design emphasis than the secondary streets with larger windows, more prominent window detailing and accent panels, sconces at unit entrances, and cast stone window and door surrounds.
- Corner massing articulation and window detailing has been added as a common language between differing buildings, with the greatest prominence along Main Street.
- Greater articulation of massing creates a rhythm along Main Street.
- Windows have been grouped within different materials to create larger façade elements and greater detailing has been added to the fenestration.
- Development of wall detailing for CMU and metal paneling to create unique patterns and textures.
- Building colors have been enhanced and colored shadow boxes were added around windows to liven up the elevations.



VIEW 02

RENDERED PERSPECTIVES OF PROPOSED DESIGN

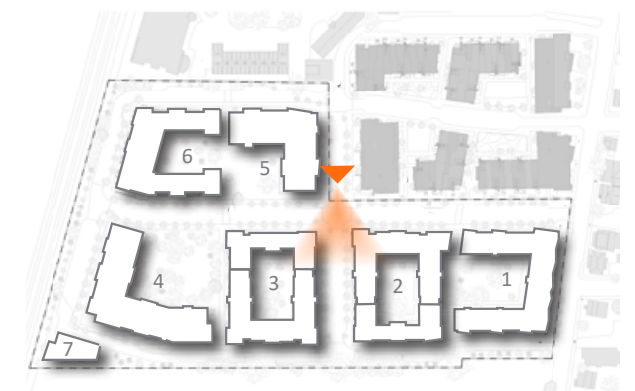
PREVIOUS 11/09/2021



NORTH AND MAIN LOOKING EAST

COMMENTS RECEIVED:

- The facades could use more articulation to minimize “blank wall” effects, improve the pedestrian experience at ground level, and improve the overall aesthetic of the development.
- The elevations could be livened up by exploring the use of lighter window trim, different materials, more varied design approaches between the individual buildings.
- The proposed window-to-wall ratio is fairly low throughout the project. To give windows more presence, fenestration details, joint patterns of cladding materials, details of sills, jambs, and heads, elements that create shadows, etc. should be considered as ways to add visual interest and enhance the scale of openings.
- For both appearance and durability, cementitious panels should be avoided on first floor facades.
- Provide greater articulation at the fourth-floor facades
- The rooflines of the buildings lack visual interest, and opportunities to add cornices or other roof details should be explored.
- Facades along Main Street could be given greater design emphasis than the facades that face secondary ways within the development.
- To emphasize Main Street as the project’s primary spine, consideration could be given to using streetwall massing and/or corner articulation to emphasize the difference between the north/south Main Street and the secondary perpendicular cross streets.



VIEW 04

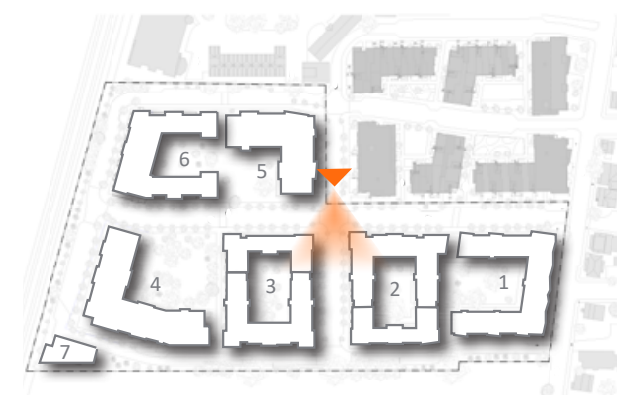
RENDERED PERSPECTIVES OF PROPOSED DESIGN



NORTH AND MAIN LOOKING EAST

NEW FEATURES:

- Facades along Main Street are given greater design emphasis than the secondary streets with larger windows, more prominent window detailing and accent panels, sconces at unit entrances, cast stone window and door surrounds, and greater scale of cornice details.
- Corner massing articulation and window detailing has been added as a common language between differing buildings, with the greatest prominence along Main Street.
- The pedestrian experience was enhanced with the addition of benches and detailing along the first-floor façade. Unique patterns in the color and texture of CMU on building 2 and the addition of rustic cast-stone blocks on building 3 greatly enhance pedestrian experience.
- Greater articulation of the fourth-floor facades are achieved through varying massing and materials on building 2, and creating a more traditional base-middle-top on building 3.
- Both buildings have added detailing to the rooflines with a cornice and a detailed relief band.
- Window presence is enhanced with greater detailing, colored shadow boxes, accent panels, and grouping within different materials.



VIEW 04

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NORTH AND MAIN LOOKING EAST

VIEW 04

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NORTH AND MAIN ST LOOKING SOUTHWEST

NEW FEATURES:

- Facades along Main Street are given greater design emphasis than the secondary streets with larger windows, more prominent window detailing and accent panels, sconces at unit entrances, cast stone window and door surrounds, and even greater scale of cornice details.
- Window presence is enhanced with greater detailing, colored shadow boxes, accent panels, and grouping within different materials.
- Visual interest was added to rooflines by varying roof heights and adding cornice detailing.
- Further detailing of CMU façade adds patterns of texture and color to the pedestrian experience at the ground level.



VIEW 08

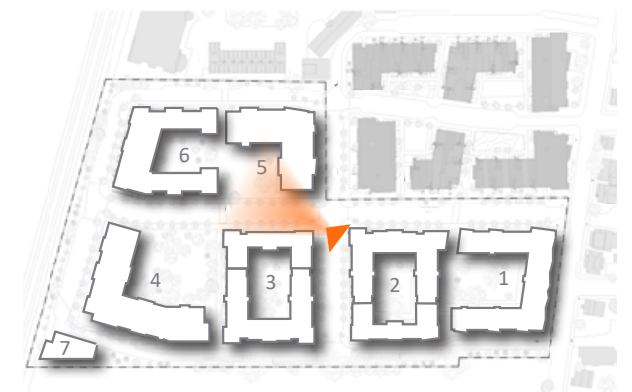
RENDERED PERSPECTIVES OF PROPOSED DESIGN



NORTH AND MAIN ST LOOKING SOUTHWEST

NEW FEATURES:

- Facades along Main Street are given greater design emphasis than the secondary streets with larger windows, more prominent window detailing and accent panels, sconces at unit entrances, cast stone window and door surrounds, and even greater scale of cornice details.
- Window presence is enhanced with greater detailing, colored shadow boxes, accent panels, and grouping within different materials.
- Visual interest was added to rooflines by varying roof heights and adding cornice detailing.
- Further detailing of CMU façade adds patterns of texture and color to the pedestrian experience at the ground level.



VIEW 08

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS 11/09/2021



BUILDING 4 EAST ST LOOKING NORTH

COMMENTS RECEIVED:

- Consider reducing the amount of cementitious panel and EIFS proposed.
- More fully develop the details of the exterior walls of the development, including joint patterns, textures, and colors.
- Operable windows are shown as awning type. For greater flexibility and ventilation, consideration could be given to using "tilt/turn" windows.
- Further development of first floor entrances to units, including benches, projecting canopies, the design of raised stoops, and railings, etc.
- Explore opportunities for adding additional trees to the site, particularly along East and West Street.



VIEW 05

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- First floor entrances have been further developed with wood detailing to add warmth and visual connection between JP Fed and JP State.
- Operable windows have been changed to “tilt/turn” style windows
- Further detailing of CMU façade adds patterns of texture and color to enhance the pedestrian experience at the first floor.



BUILDING 4 EAST ST LOOKING NORTH

VIEW 05

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- First floor entrances have been further developed with wood detailing to add warmth and visual connection between JP Fed and JP State.
- Operable windows have been changed to “tilt/turn” style windows
- Further detailing of CMU façade adds patterns of texture and color to enhance the pedestrian experience at the first floor.



BUILDING 4 EAST ST LOOKING NORTH

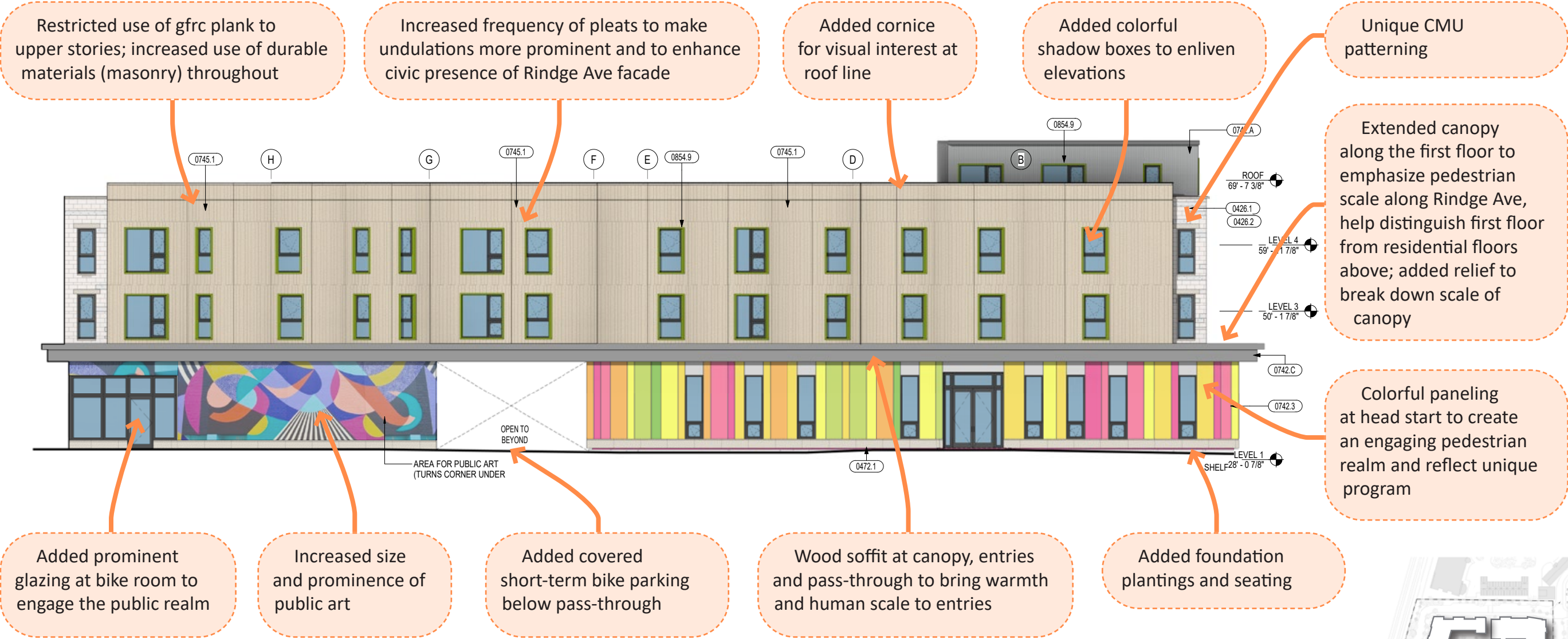
VIEW 05

BUILDING 1

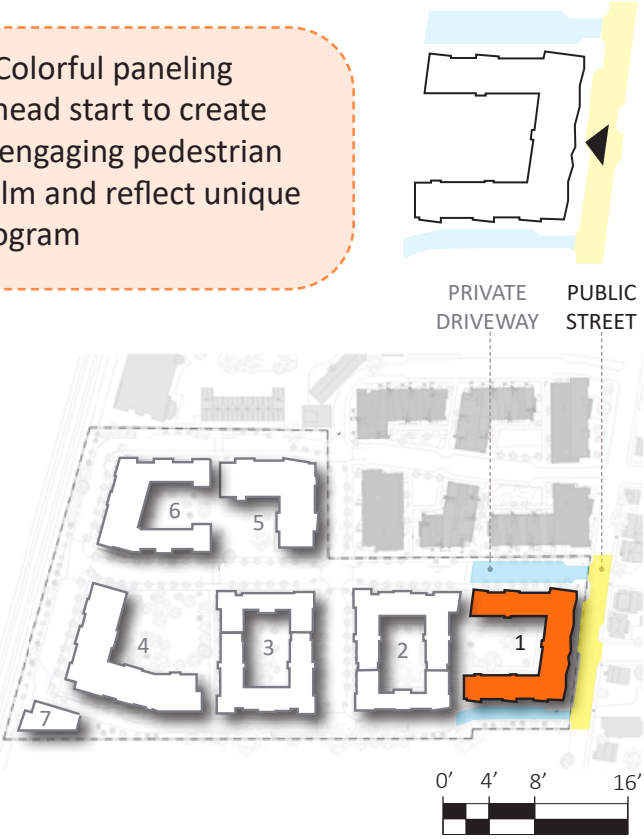
ELEVATIONS AND MATERIALS



BUILDING 1
ELEVATIONS

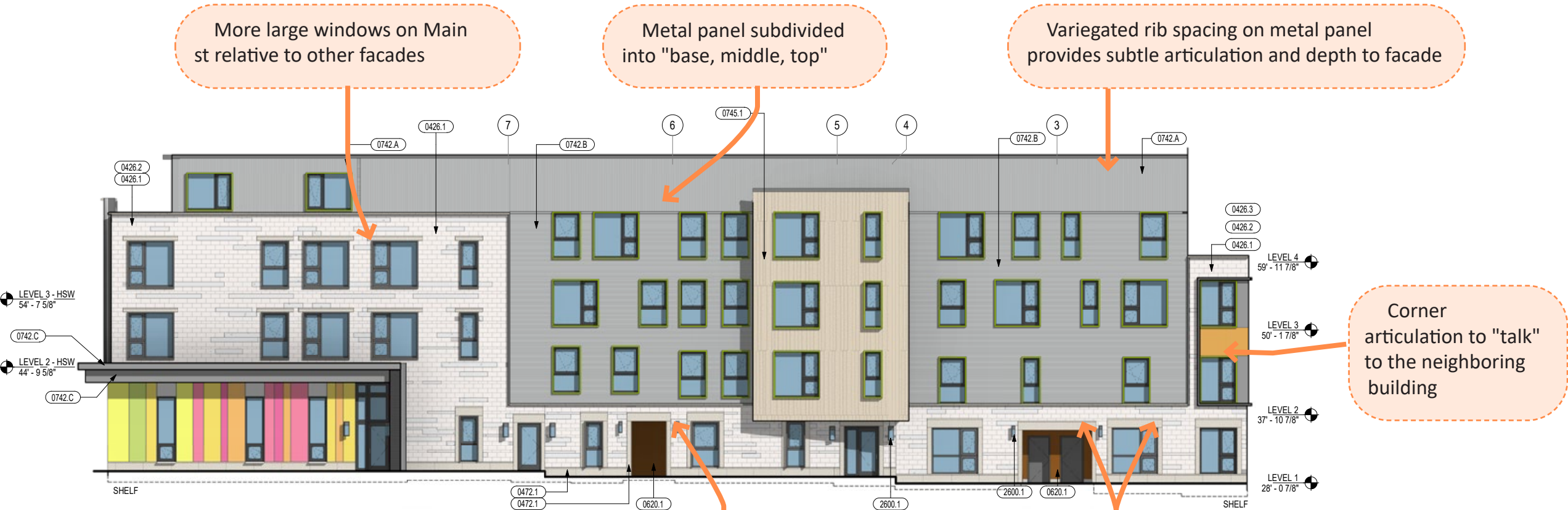


► NORTH ELEVATION - RINDGE AVE



BUILDING 1 ELEVATIONS

CODED NOTES	
0426.1	SPLIT FACE CMU (CMU1) (BY SECTION 040001)
0426.2	GROUND FACE CMU (CMU2) (BY SECTION 040001)
0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0742.3	MODULAR MTL WALL PANEL TYPE 3 W/ CONCEALED FASTENERS
0742.4	RIBBED MTL WALL PANEL TYPE 4 W/ EXPOSED FASTENERS
0745.1	GLASS-FIBER REINFORCED CEMENTITIOUS SIDING TYPE 1



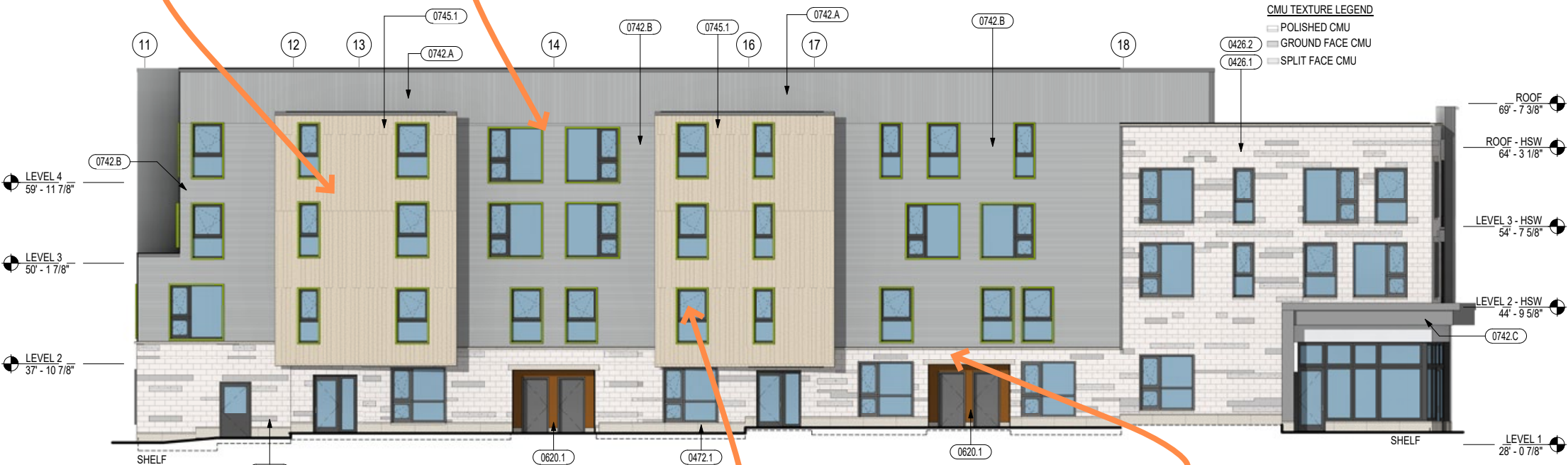
► WEST ELEVATION - MAIN ST

Added sconces at doors to help distinguish and formalize Main St

Added cast stone detailing around windows and doors on main st to help distinguish and formalize Main St

Replaced EIFS with OKO

Colorful shadow boxes to enliven elevations



► EAST ELEVATION - EAST ST

Smaller windows relative to Main St

Cast stone lintels at entry niches only, not at window heads. No sconces



BUILDING 1
PERSPECTIVES



BUILDING 1
PERSPECTIVES



BUILDING 2

ELEVATIONS AND MATERIALS



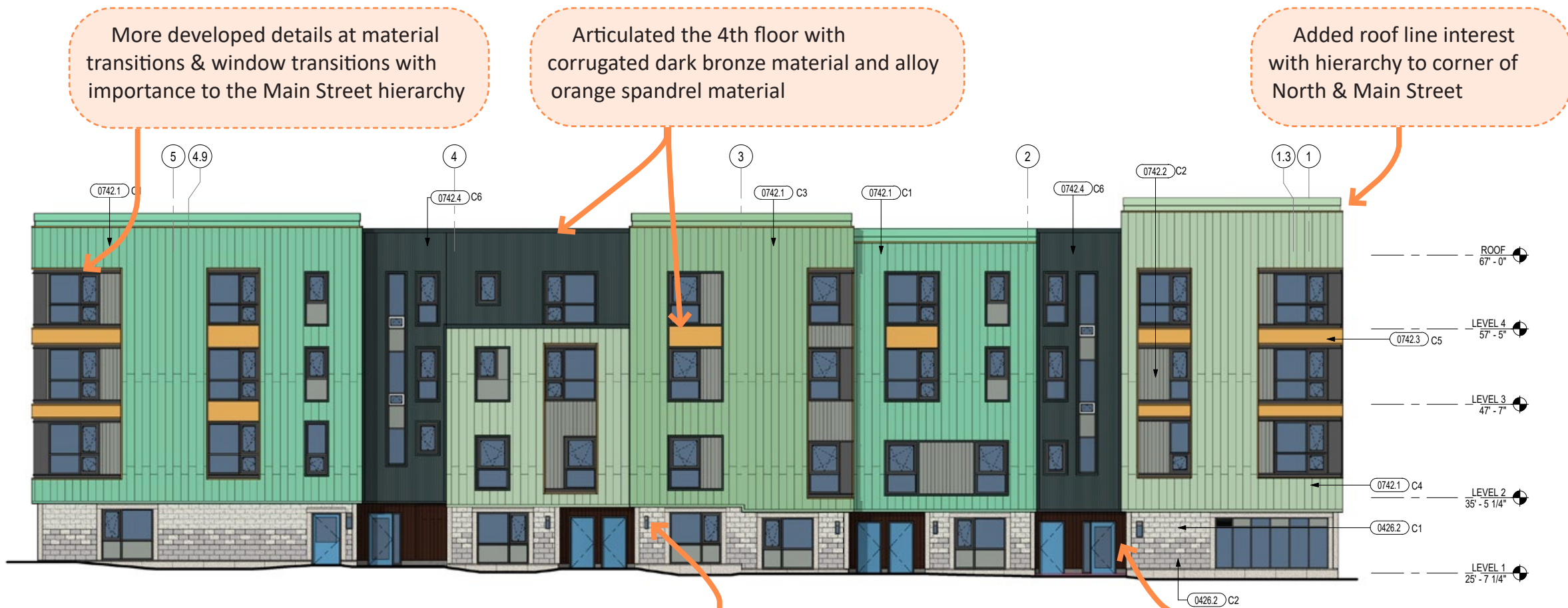
BUILDING 2 ELEVATIONS

CODED NOTES

0426.2	GROUND FACE CMU (CMU2) (BY SECTION 040001)
0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING - TRANSPARENT FINISH
0742.1	FLAT MTL WALL PANEL (TYPE 1) W/ CONCEALED FASTENERS
0742.2	V-GROOVED MTL WALL PANEL (TYPE 2) W/ CONCEALED FASTENERS
0742.3	MODULAR MTL WALL PANEL (TYPE 3) W/ CONCEALED FASTENERS
0742.4	CORRUGATED/RIBBED MTL WALL PANEL (TYPE 4) W/ EXPOSED FASTENERS

COLOR KEY

- METAL PANEL FACADE COLORS:
C1: BM 579 CLIFFSIDE PARK
C2: SW SW9164 ILLUSIVE GREEN
C3: BM 564 GUMDROP
C4: CENTRIA 5444 AGED COPPER
C5: SW SW6670 GOLD CREST
C6: CENTRIA 9914 MIDNIGHT BRONZE
- CMU VENEER COLORS:
C1: WHITE, GROUND FACE - JANDRIS 5110
C2: GREY, GROUND FACE - JANDRIS 9308



WEST ELEVATION - MAIN ST

Orange detail around window patterns and below cornice to lighten and enliven elevations

Added sconces at doors to help distinguish and formalize Main St

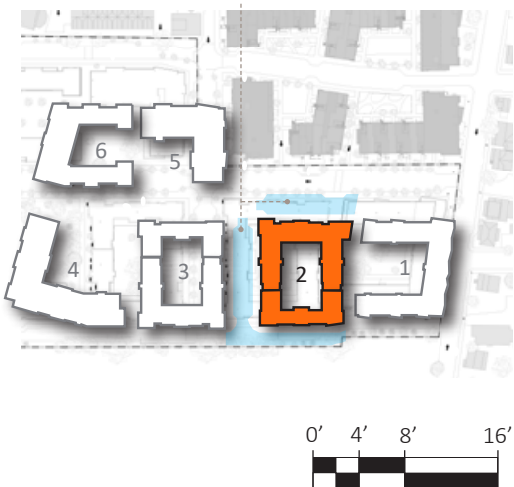
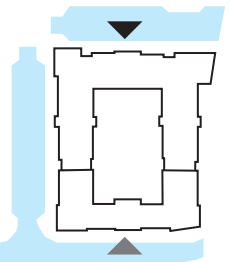
Added cast stone detailing around windows and doors to distinguish and formalize Main St



EAST ELEVATION - EAST ST

Cast stone sills at first floor only

Smaller windows with solid facade corner featured on side streets to articulate Main St hierarchy



BUILDING 2
PERSPECTIVES



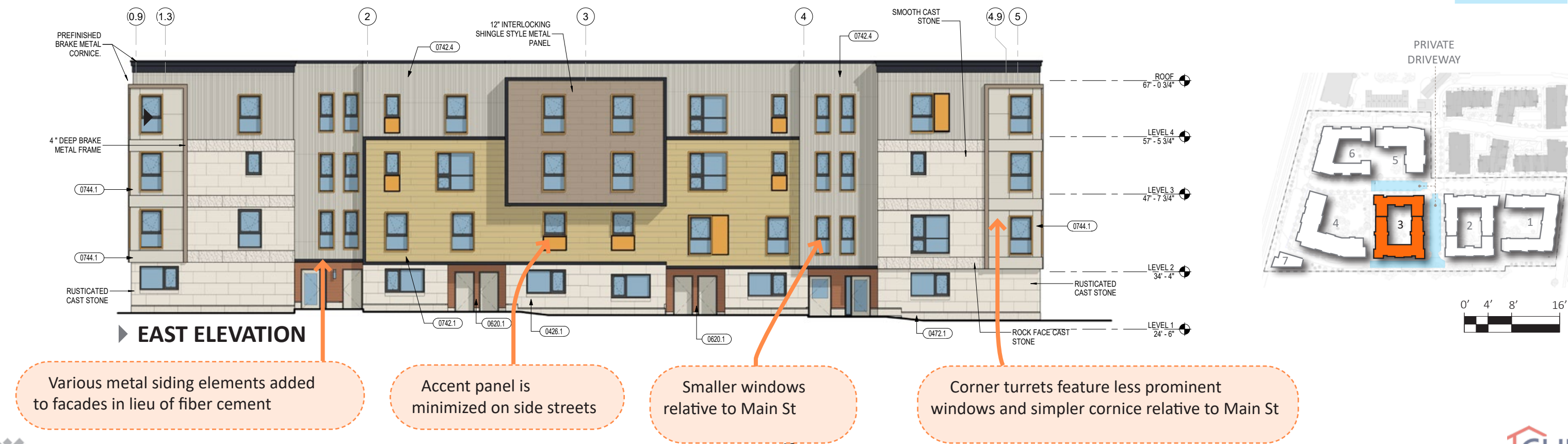
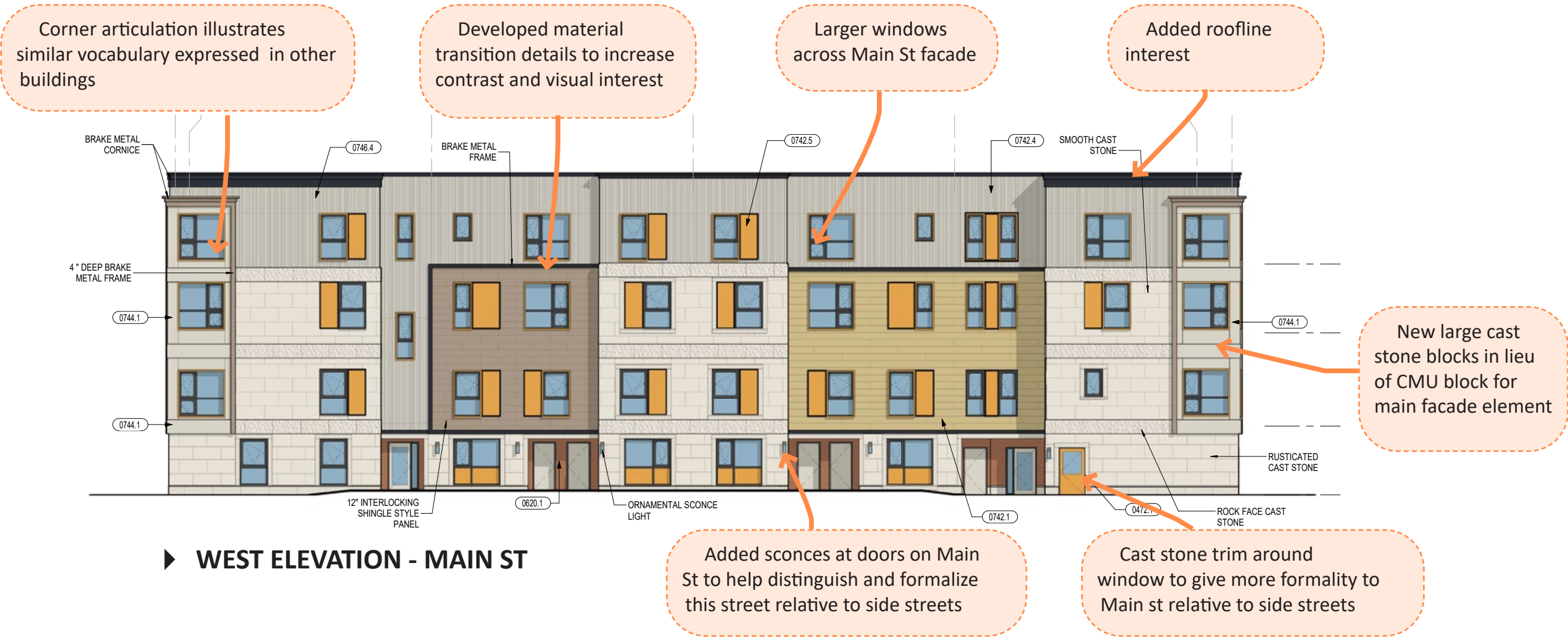
BUILDING 3
ELEVATIONS AND MATERIALS



BUILDING 3 ELEVATIONS

CODED NOTES

0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING - TRANSPARENT FINISH
0742.1	FLAT MTL WALL PANEL TYPE 1 W/ CONCEALED FASTENERS
0742.4	RIBBED MTL WALL PANEL TYPE 4 W/ EXPOSED FASTENERS
0742.5	MTL WALL ACCENT PANEL TYPE 5
0744.1	ALUMINUM COMPOSITE PANEL (ACP) W/ FR CORE
0746.4	FIBER-CEMENT SIDING TYPE 4 EXPOSED FASTENER WITH SURROUND TRIM



BUILDING 3
PERSPECTIVES



BUILDING 4

ELEVATIONS AND MATERIALS



BUILDING 4 ELEVATIONS

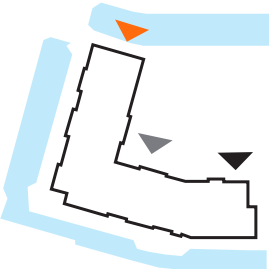
Added larger windows at prominent Main Street views to give more formality and continuity to Main Street

Restricted use of EIFS to less prominent recessed bays, relegated only to upper floors

More developed courtyard building entry to activate building corner and strengthen visual cues. Added roof terrace to enhance public connection to courtyard and provide community space.

Additional detailing at windows to create a second layer of scale while increasing presence of windows

► WEST ELEVATION (COURTYARD)



More developed building corners with importance to the Main Street hierarchy

Cast stone trim around windows to give more formality and continuity to Main Street

Facade subdivided in three horizontal layers, "base, middle, top"

Window fins to enhance scale of opening

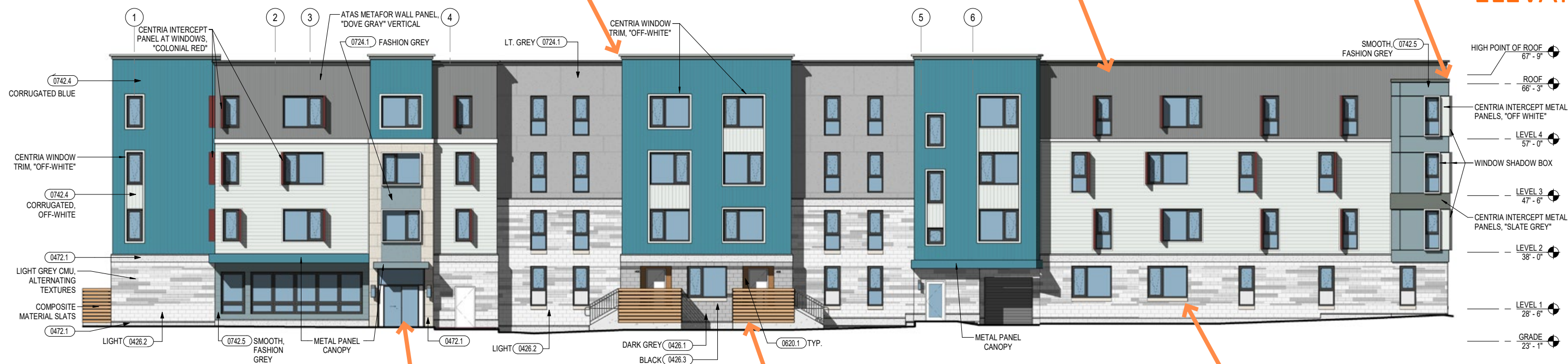
More developed detailing at masonry to add visual depth and interest



► WEST ELEVATION - MAIN ST

BUILDING 4

ELEVATIONS



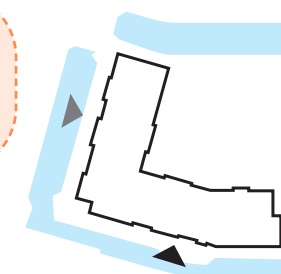
► **EAST ELEVATION - EAST ST**

Larger windows, accent panels and stronger cornice treatment to give prominence to Main St.

More developed East Street building entry to activate building corner and strengthen visual cues

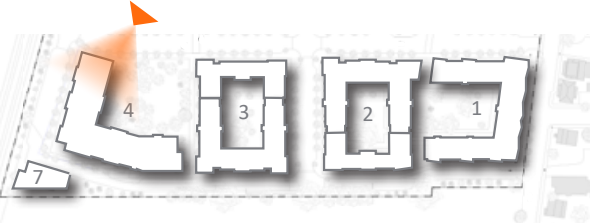
Added additional wood detailing at unit entries to add additional warmth while visually connecting to JP Fed and JP State

More developed detailing at masonry to add visual depth and interest

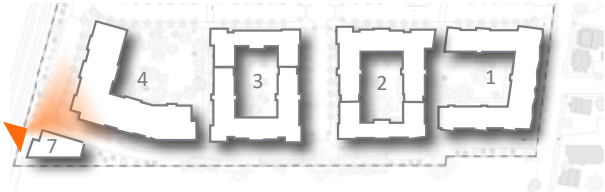


► SOUTH ELEVATION - SOUTH ST

BUILDING 4
PERSPECTIVES



BUILDING 4
PERSPECTIVES



BUILDING 5 ELEVATIONS AND MATERIALS



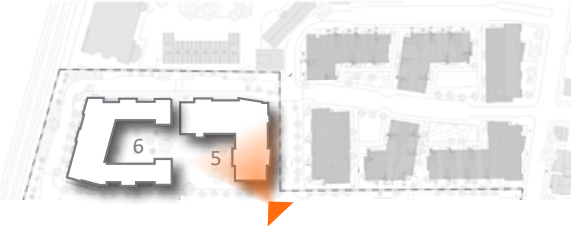
BUILDING 5 ELEVATIONS



BUILDING 5
PERSPECTIVES



BUILDING 5
PERSPECTIVES



BUILDING 6
ELEVATIONS AND MATERIALS



BUILDING 6 ELEVATIONS

CODED NOTES

- 0426.1 SPLIT FACE CMU (CMU1) (BY SECTION 040001)
- 0426.2 GROUND FACE CMU (CMU2) (BY SECTION 040001)
- 0426.3 POLISHED FACE CMU (CMU3) (BY SECTION 040001)
- 0472.1 CAST STONE TRIM UNIT (BY SECTION 040001)
- 0746.1 FIBER-CEMENT PANEL SIDING TYPE 1

COLOR KEY

- FIBER CEMENT FACADE COLORS:
 - C1: BM 997 BAJA DUNES
 - C2: BM HC-84 ELMIRA WHITE
 - C3: BM 2005-10 RED ROCK
 - C4: BM 1202 BAKED TERRA COTTA
- CMU VENEER COLORS:
 - C1: WHITE, GROUND FACE - JANDRIS 5110-G
 - C2: GREY, GROUND FACE - JANDRIS W-60
 - C3: GREY, SPLIT FACE - JANDRIS W-60
 - C4: BLACK, POLISHED FACE - JANDRIS 4540
- EIFS COLORS:
 - C1: STO 32440
 - C2: STO 32401
 - C3: STO 33240



► EAST ELEVATION - MAIN ST

Window has less presence on side streets to enhance prominence of Main St at primary spine

Prominent building entrance featuring material and color change, benches, large lighting fixtures, and wood screen to signal entry

Added sconces at doors on Main St to help distinguish and formalize this street relative to side streets

More large windows on Main St relative to other facades

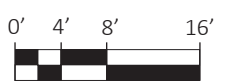
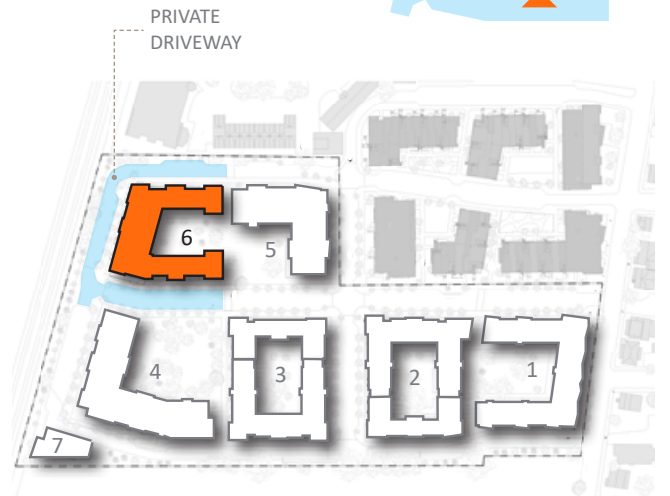
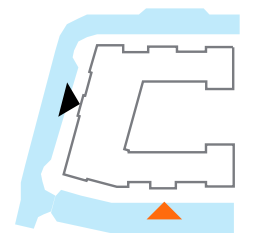
Cast stone trim around windows to give more formality and continuity to Main Street



► SOUTH ELEVATION - SOUTH ST

Cast stone lintel only on side streets

Added additional wood detailing at unit entries to add additional warmth while visually connecting to JP Fed and JP State



BUILDING 6
PERSPECTIVES



RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS PRESENTED ON 11/09/2021



AERIAL VIEW 1

RENDERED PERSPECTIVES OF PROPOSED DESIGN



AERIAL VIEW 1