

BUILDING DESIGN AND MATERIALS

PERSPECTIVES AND ELEVATIONS

RENDERED PERSPECTIVES OF PROPOSED DESIGN



KEY PLAN

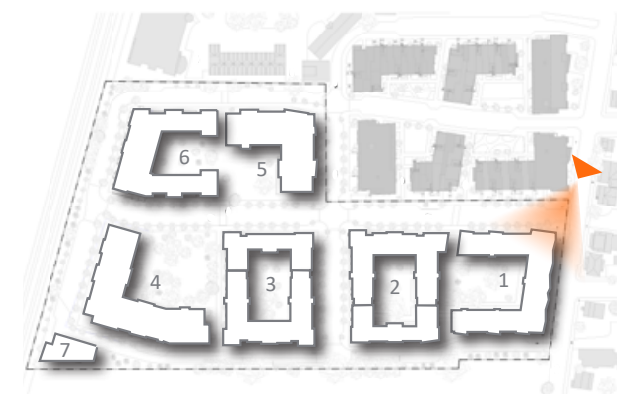
RENDERED PERSPECTIVES OF PROPOSED DESIGN



BUILDING 1 FROM RINDGE

NEW FEATURES:

- Increased frequency of pleats make the undulations more prominent and create more assertive vertical divisions, creating a smaller scale that is reminiscent of bay windows on row houses to better compliment surrounding residential houses.
- Visual interest was added with colored window shadow boxes.
- The civic presence of this building was enhanced with expanded public art installation, prominent glazing at the bike room, and colorful paneling at the Head Start to reflect the unique program.
- Increased visual interest at the roofline with the addition of a cornice
- The pedestrian experience was enhanced with the addition of foundation plantings, benches and covered bicycle parking under the pass-through.
- Canopy was extended to distinguish first floor from residential floors above.
- Detailing breaks down the scale of the canopy.



VIEW 01

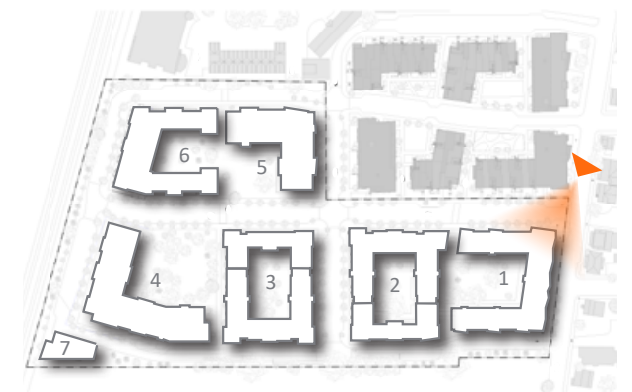
RENDERED PERSPECTIVES OF PROPOSED DESIGN



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VIEW 01

RENDERED PERSPECTIVES OF PROPOSED DESIGN

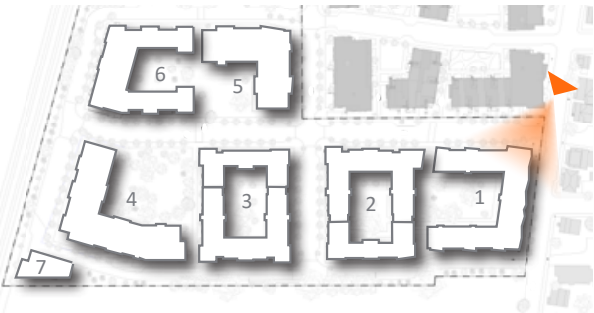
PREVIOUS 11/09/2021



BUILDING 1 FROM RINDGE

COMMENTS RECEIVED:

- Enhance the civic presence of the Rindge Avenue façade. Consider breaking up its length, and enhance the pedestrian scale and visual interest of its ground floor facing Rindge Avenue.
- As Jefferson Park’s primary public face, the Rindge Avenue façade of Building 1 could respond more strongly to the street and the context buildings. More assertive vertical divisions that would break up the length of the façade to relate to the smaller scale of the houses on the opposite side of the street could be considered.
- The incorporation of a canopy along the top of the first-floor façade would emphasize the pedestrian scale of the setback along Rindge Avenue, help distinguish the first floor from the residential floors, emphasize the passage through to the building’s courtyard, and enrich the Head Start facility.
- Consider reducing the amount of cementitious panel and EIFS proposed.
- The rooflines of the buildings lack visual interest, and opportunities to add cornices or other roof details should be explored.
- Further develop the pedestrian realm, front yards, building entrances within the site and in the Rindge Avenue frontage with features such as additional plantings, low walls, fences, stoops, benches, etc.
- Further development of first floor entrances to units and the passages through Buildings 1, 2, and 3.



VIEW 01

RENDERED PERSPECTIVES OF PROPOSED DESIGN



MAIN STREET LOOKING SOUTH

NEW FEATURES:

- Facades along Main Street are given greater design emphasis than the secondary streets with larger windows, more prominent window detailing and accent panels, sconces at unit entrances, and cast stone window and door surrounds.
- Corner massing articulation and window detailing has been added as a common language between differing buildings, with the greatest prominence along Main Street.
- Greater articulation of massing creates a rhythm along Main Street.
- Windows have been grouped within different materials to create larger façade elements and greater detailing has been added to the fenestration.
- Development of wall detailing for CMU and metal paneling to create unique patterns and textures.
- Building colors have been enhanced and colored shadow boxes were added around windows to liven up the elevations.



VIEW 02

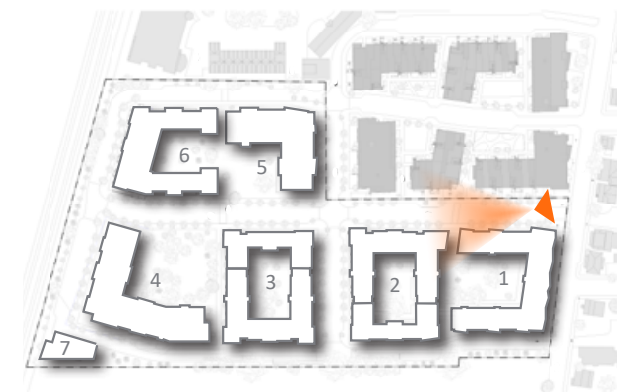
RENDERED PERSPECTIVES OF PROPOSED DESIGN



MAIN STREET LOOKING SOUTH

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- Building colors have been enhanced and colored shadow boxes were added around windows to liven up the elevations.



VIEW 02

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS 11/09/2021



MAIN STREET LOOKING SOUTH

COMMENTS RECEIVED:

- The elevations could be livened up by exploring the use of lighter window trim, different materials, more varied design approaches between the individual buildings.
- Further development of first floor entrances to units, including benches, lighting, projecting canopies, etc.
- For both appearance and durability, cementitious panels should be avoided on first floor facades.
- Consideration could be given to providing larger windows and/or windows grouped to create larger façade elements at the residential floors, and the precise design of mullion patterns and fenestration details.
- Facades along Main Street could be given greater design emphasis than the facades that face secondary ways within the development.
- To emphasize Main Street as the project's primary spine, consideration could be given to using streetwall massing and/or corner articulation to emphasize the difference between the north/south Main Street and the secondary perpendicular cross streets.
- More fully develop the details of the exterior walls of the development, including joint patterns, textures, and colors.



VIEW 02

RENDERED PERSPECTIVES OF PROPOSED DESIGN



BUILDING 3 COURTYARD

NEW FEATURES:

- A warmer, brighter color palette enhances the building 3 facades.
- Enhanced detailing of the exterior walls with framing elements around massings and the addition of colored shadow boxes around windows.
- Rustic cast-stone blocks add unique texture and feel to the courtyard and provides a durable surface instead of cement paneling at ground floor.



VIEW 03

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- A warmer, brighter color palette enhances the building 3 facades.
- Enhanced detailing of the exterior walls with framing elements around massings and the addition of colored shadow boxes around windows.
- Rustic cast-stone blocks add unique texture and feel to the courtyard and provides a durable surface instead of cement paneling at ground floor.



BUILDING 3 COURTYARD

VIEW 03

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS 11/09/2021



COMMENTS RECEIVED:

- For both appearance and durability, cementitious panels should be avoided on first floor facades.
- Provide greater articulation at the fourth-floor façades.
- The rooflines of the buildings lack visual interest, and opportunities to add cornices or other roof details should be explored.
- More fully develop the details of the exterior walls of the development, including joint patterns, textures, and colors.



BUILDING 3 COURTYARD

VIEW 03

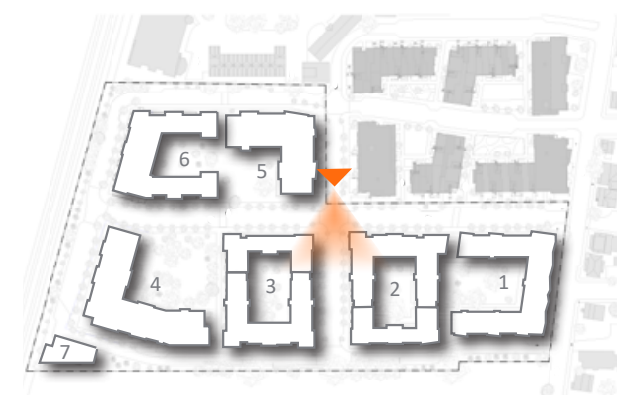
RENDERED PERSPECTIVES OF PROPOSED DESIGN



NORTH AND MAIN LOOKING EAST

NEW FEATURES:

- Facades along Main Street are given greater design emphasis than the secondary streets with larger windows, more prominent window detailing and accent panels, sconces at unit entrances, cast stone window and door surrounds, and greater scale of cornice details.
- Corner massing articulation and window detailing has been added as a common language between differing buildings, with the greatest prominence along Main Street.
- The pedestrian experience was enhanced with the addition of benches and detailing along the first-floor façade. Unique patterns in the color and texture of CMU on building 2 and the addition of rustic cast-stone blocks on building 3 greatly enhance pedestrian experience.
- Greater articulation of the fourth-floor facades are achieved through varying massing and materials on building 2, and creating a more traditional base-middle-top on building 3.
- Both buildings have added detailing to the rooflines with a cornice and a detailed relief band.
- Window presence is enhanced with greater detailing, colored shadow boxes, accent panels, and grouping within different materials.



VIEW 04

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NORTH AND MAIN LOOKING EAST

VIEW 04

RENDERED PERSPECTIVES OF PROPOSED DESIGN

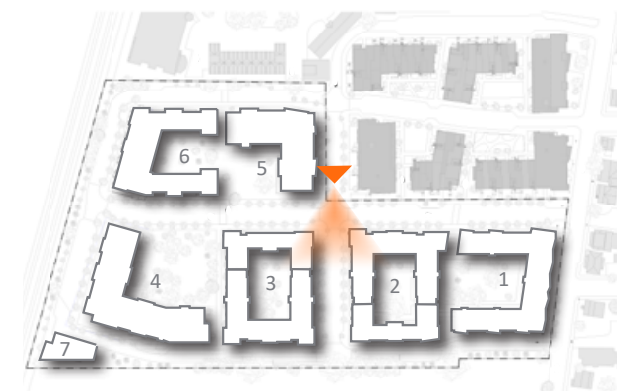
PREVIOUS 11/09/2021



NORTH AND MAIN LOOKING EAST

COMMENTS RECEIVED:

- The facades could use more articulation to minimize “blank wall” effects, improve the pedestrian experience at ground level, and improve the overall aesthetic of the development.
- The elevations could be livened up by exploring the use of lighter window trim, different materials, more varied design approaches between the individual buildings.
- The proposed window-to-wall ratio is fairly low throughout the project. To give windows more presence, fenestration details, joint patterns of cladding materials, details of sills, jambs, and heads, elements that create shadows, etc. should be considered as ways to add visual interest and enhance the scale of openings.
- For both appearance and durability, cementitious panels should be avoided on first floor facades.
- Provide greater articulation at the fourth-floor facades
- The rooflines of the buildings lack visual interest, and opportunities to add cornices or other roof details should be explored.
- Facades along Main Street could be given greater design emphasis than the facades that face secondary ways within the development.
- To emphasize Main Street as the project’s primary spine, consideration could be given to using streetwall massing and/or corner articulation to emphasize the difference between the north/south Main Street and the secondary perpendicular cross streets.



VIEW 04

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- First floor entrances have been further developed with wood detailing to add warmth and visual connection between JP Fed and JP State.
- Operable windows have been changed to “tilt/turn” style windows
- Further detailing of CMU façade adds patterns of texture and color to enhance the pedestrian experience at the first floor.

BUILDING 4 CEMETARY



VIEW 05

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- First floor entrances have been further developed with wood detailing to add warmth and visual connection between JP Fed and JP State.
- Operable windows have been changed to “tilt/turn” style windows
- Further detailing of CMU façade adds patterns of texture and color to enhance the pedestrian experience at the first floor.



BUILDING 4 CEMETARY

VIEW 05

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS 11/09/2021



BUILDING 4 CEMETARY

COMMENTS RECEIVED:

- Consider reducing the amount of cementitious panel and EIFS proposed.
- More fully develop the details of the exterior walls of the development, including joint patterns, textures, and colors.
- Operable windows are shown as awning type. For greater flexibility and ventilation, consideration could be given to using “tilt/turn” windows.
- Further development of first floor entrances to units, including benches, projecting canopies, the design of raised stoops, and railings, etc.
- Explore opportunities for adding additional trees to the site, particularly along East and West Street.



VIEW 05

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- More developed courtyard building entry to activate building corner and strengthen visual cues.
- Added roof terrace to enhance public connection to courtyard and provide community space.
- Restricted use of EIFS to less prominent recessed bays at upper floors.
- Window presence is enhanced with greater detailing, colored shadow boxes, accent panels, and grouping within different materials.
- Visual interest was added to rooflines by varying roof heights and adding cornice detailing.
- Further detailing of CMU façade adds patterns of texture and color to the pedestrian experience at the ground level.
- Corner massing articulation and window detailing has been added as a common language between differing buildings, with the greatest prominence along Main Street.



BUILDING 4 OPEN SPACE

VIEW 06

RENDERED PERSPECTIVES OF PROPOSED DESIGN



NEW FEATURES:

- More developed courtyard building entry to activate building corner and strengthen visual cues.
- Added roof terrace to enhance public connection to courtyard and provide community space.
- Restricted use of EIFS to less prominent recessed bays at upper floors.
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BUILDING 4 OPEN SPACE

VIEW 06

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS 11/09/2021



BUILDING 4 OPEN SPACE

COMMENTS RECEIVED:

- Further development of common entrances to Buildings 4, 5, and 6.
- The facades could use more articulation to minimize “blank wall” effects, improve the pedestrian experience at ground level, and improve the overall aesthetic of the development.
- The proposed window-to-wall ratio is fairly low throughout the project. To give windows more presence, fenestration details, joint patterns of cladding materials, details of sills, jambs, and heads, elements that create shadows, etc. should be considered as ways to add visual interest and enhance the scale of openings.
- Consider reducing the amount of cementitious panel and EIFS proposed.
- Provide greater articulation at the fourth-floor façades
- The rooflines of the buildings lack visual interest, and opportunities to add cornices or other roof details should be explored.
- More fully develop the details of the exterior walls of the development, including joint patterns, textures, and colors.



VIEW 06

RENDERED PERSPECTIVES OF PROPOSED DESIGN



BUILDING 5 OPEN SPACE

NEW FEATURES:

- Window presence is enhanced with greater detailing, colored shadow boxes, accent panels, and grouping within different materials.
- Visual interest was added to rooflines by varying roof heights and adding cornice detailing.
- Further detailing of CMU façade adds patterns of texture and color to the pedestrian experience at the ground level.
- Corner massing articulation and window detailing has been added as a common language between differing buildings, with the greatest prominence along Main Street.
- Resident entrance added to courtyard with colored panels signaling importance.



VIEW 07

RENDERED PERSPECTIVES OF PROPOSED DESIGN



BUILDING 5 OPEN SPACE

NEW FEATURES:

- Window presence is enhanced with greater detailing, colored shadow boxes, accent panels, and grouping within different materials.
- Visual interest was added to rooflines by varying roof heights and adding cornice detailing.
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VIEW 07

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS 11/09/2021



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VIEW 07

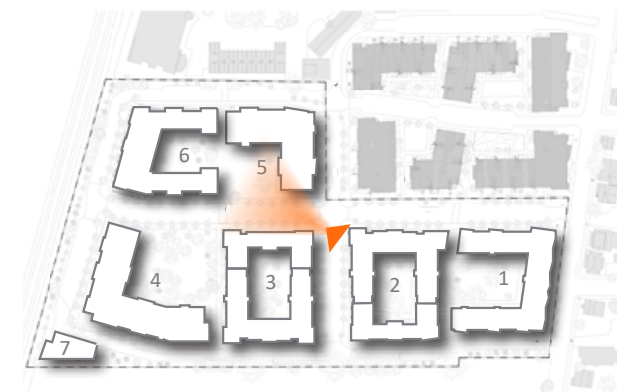
RENDERED PERSPECTIVES OF PROPOSED DESIGN



NORTH AND MAIN ST LOOKING SOUTHWEST

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VIEW 08

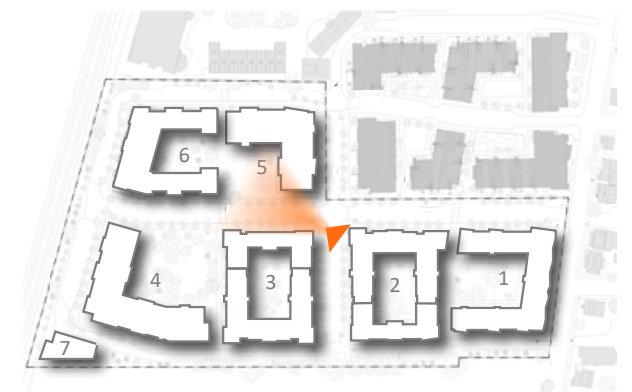
RENDERED PERSPECTIVES OF PROPOSED DESIGN



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VIEW 08

RENDERED PERSPECTIVES OF PROPOSED DESIGN



AERIAL VIEW 1

RENDERED PERSPECTIVES OF PROPOSED DESIGN

PREVIOUS PRESENTED ON 11/09/2021



AERIAL VIEW 1

RENDERED PERSPECTIVES OF PROPOSED DESIGN



AERIAL VIEW 2

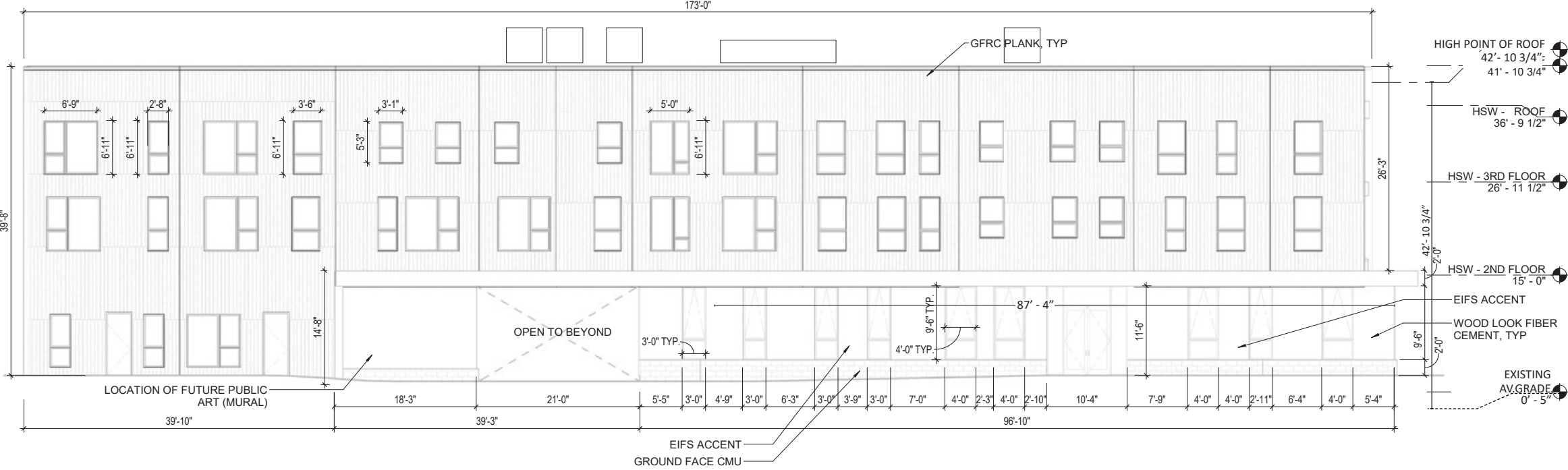
BUILDING 1

ELEVATIONS AND MATERIALS

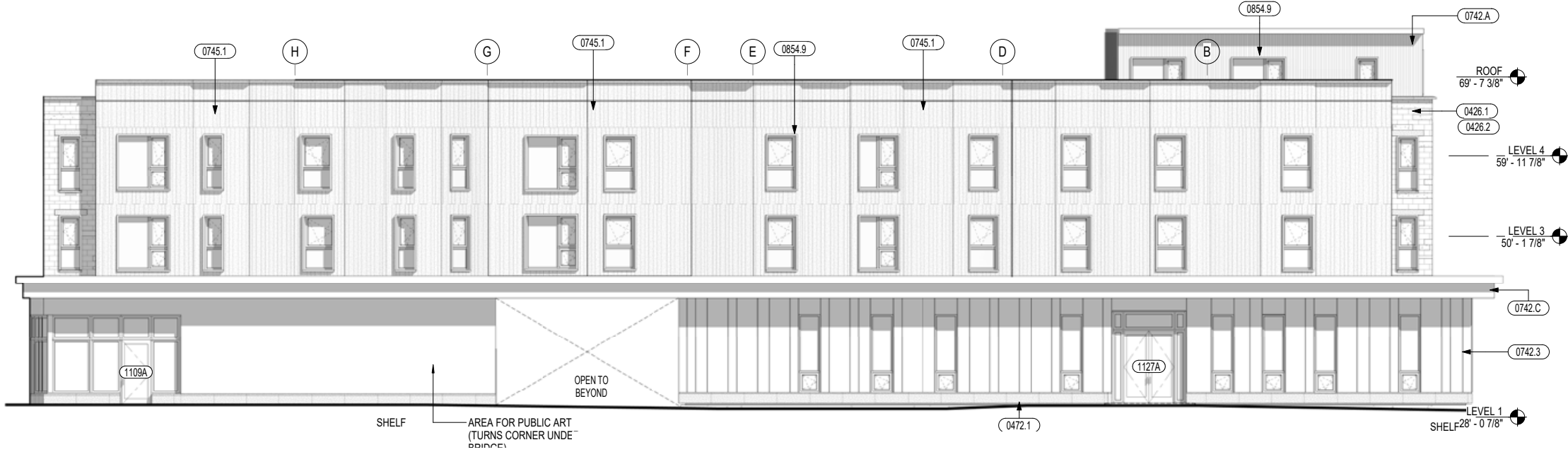


BUILDING 1

PREVIOUS AND CURRENT ELEVATIONS



► PREVIOUS NORTH ELEVATION - RINDGE AVE



► CURRENT NORTH ELEVATION - RINDGE AVE

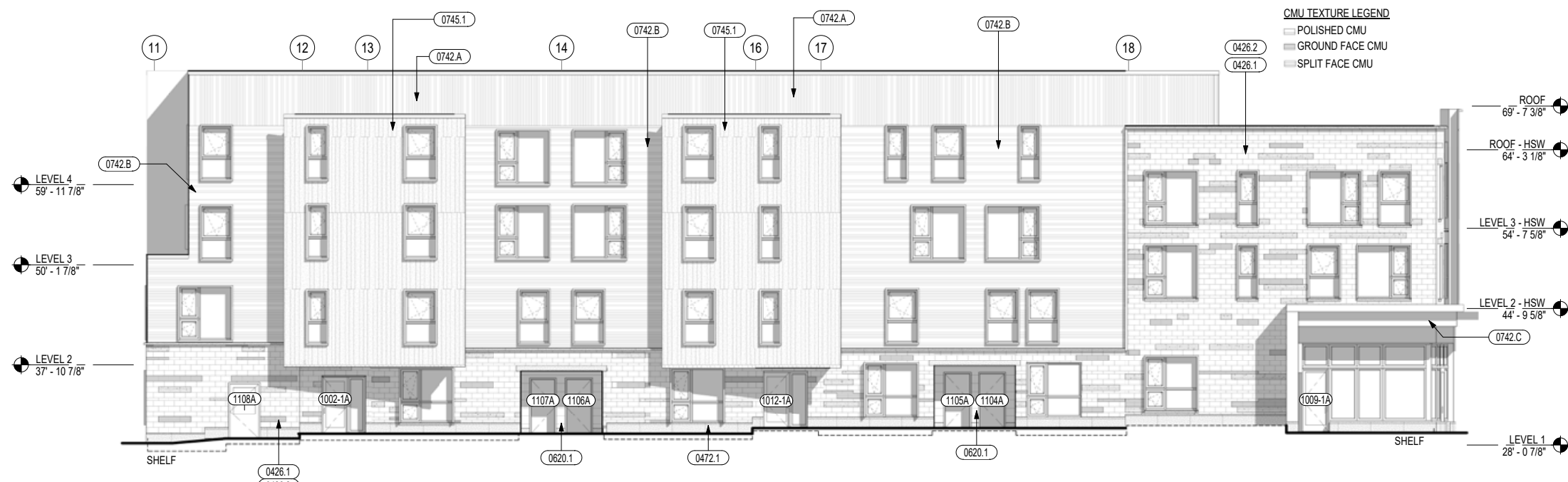


BUILDING 1

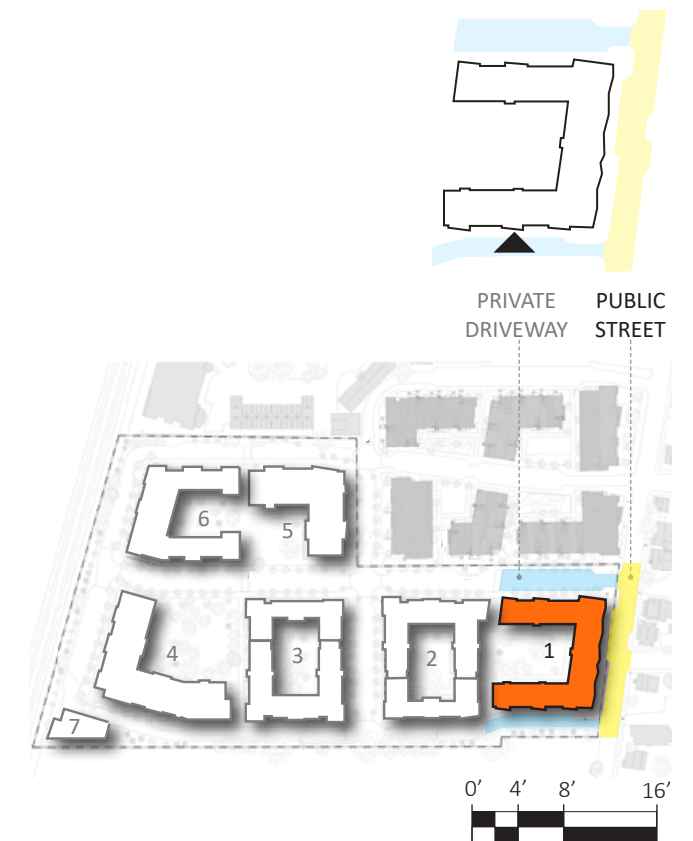
PREVIOUS AND CURRENT ELEVATIONS



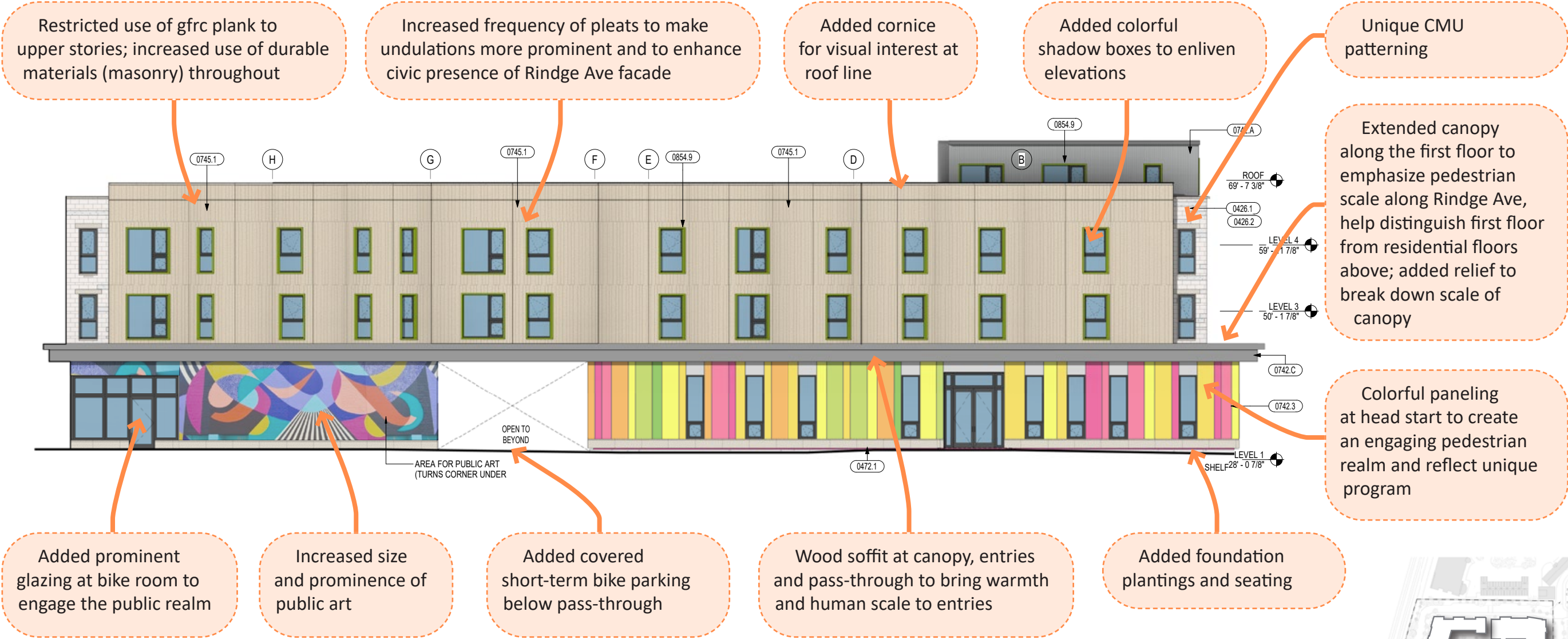
► **PREVIOUS EAST ELEVATION - EAST ST**



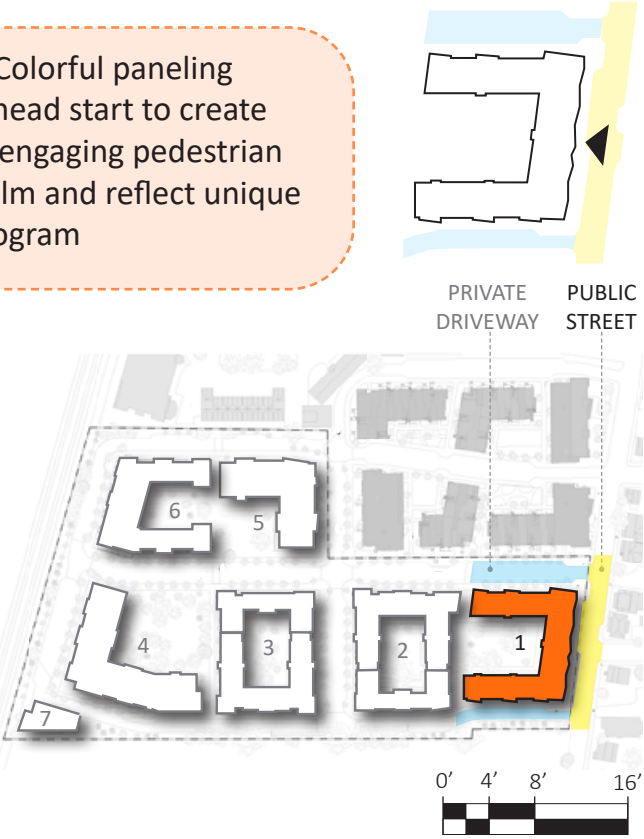
CURRENT EAST ELEVATION - EAST AVE



BUILDING 1
ELEVATIONS

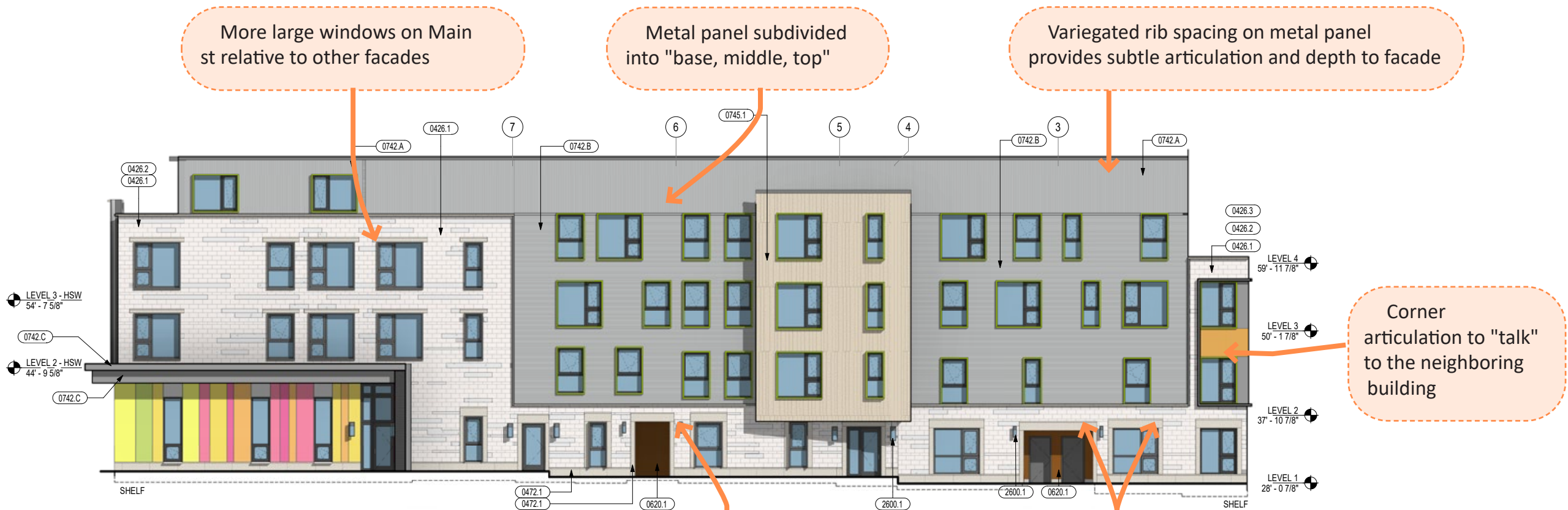


► NORTH ELEVATION - RINDGE AVE

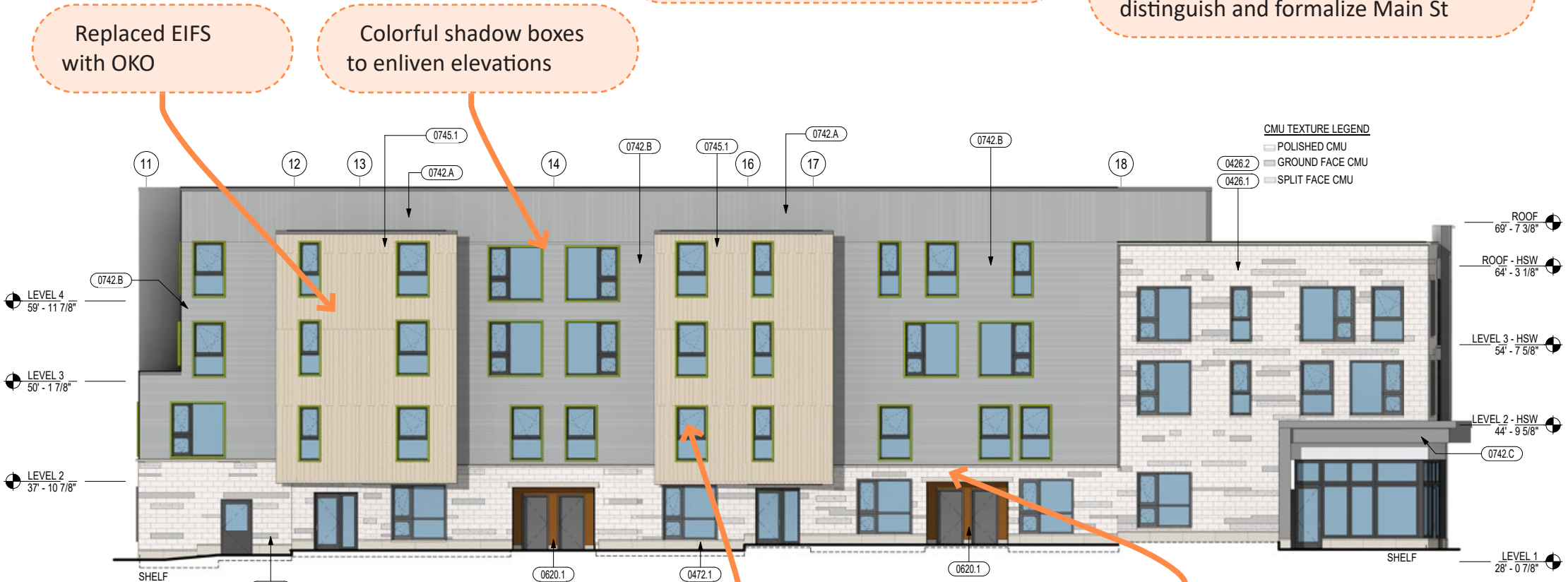


BUILDING 1 ELEVATIONS

CODED NOTES	
0426.1	SPLIT FACE CMU (CMU1) (BY SECTION 040001)
0426.2	GROUND FACE CMU (CMU2) (BY SECTION 040001)
0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0742.3	MODULAR MTL WALL PANEL TYPE 3 W/ CONCEALED FASTENERS
0742.4	RIBBED MTL WALL PANEL TYPE 4 W/ EXPOSED FASTENERS
0745.1	GLASS-FIBER REINFORCED CEMENTITIOUS SIDING TYPE 1



► WEST ELEVATION - MAIN ST



► EAST ELEVATION - EAST ST

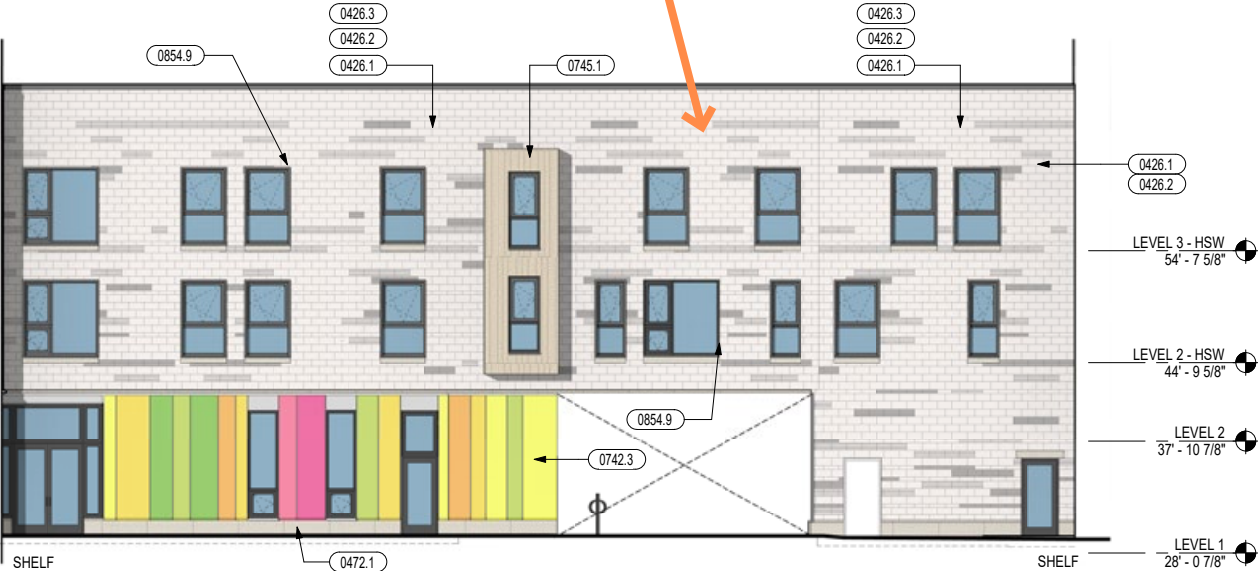


BUILDING 1
ELEVATIONS

Masonry veneer articulated using varied textures to replace GFRC plank



► **EAST ELEVATION (COURTYARD)**



► **SOUTH ELEVATION (COURTYARD)**



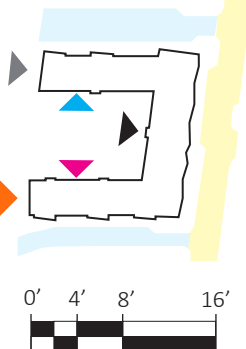
► **WEST ELEVATION (COURTYARD)**



► **SOUTH ELEVATION WEST BAR**



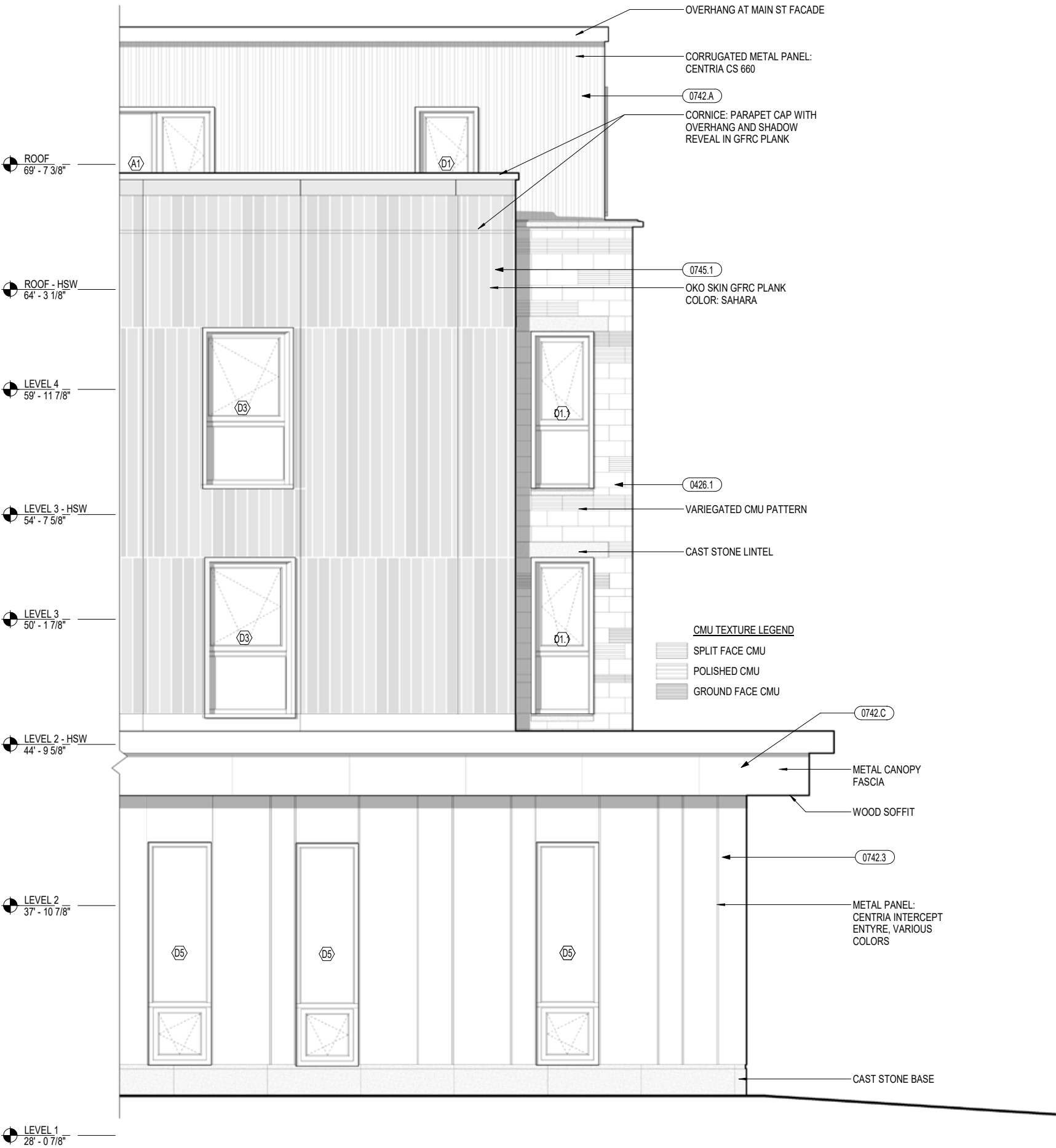
► **SOUTH ELEVATION EAST BAR**



BUILDING 1

ELEVATIONS

CODED NOTES	
0426.1	SPLIT FACE CMU (CMU1) (BY SECTION 040001)
0742.3	MODULAR MTL WALL PANEL (TYPE 3) W/ CONCEALED FASTENERS
0742.A	CORRUGATED/RIBBED MTL WALL PANEL W/ CONCEALED FASTENERS (TYPE 6)
0742.C	METAL FLAT LOCKING CONCEALED FASTENER WALL PANELS (TYPE 7)
0745.1	GLASS-FIBER REINFORCED CEMENTITIOUS SIDING TYPE 1



BUILDING 1

ELEVATIONS

CODED NOTES

0426.1	SPLIT FACE CMU (CMU1) (BY SECTION 040001)
0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING - TRANSPARENT FINISH
0742.A	CORRUGATED/RIBBED MTL WALL PANEL W/ CONCEALED FASTENERS (TYPE 6)
0742.B	CORRUGATED/ VARIABLE RIBBED MTL WALL PANEL W/ CONCEALED FASTENERS (TYPE 6a)
0745.1	GLASS-FIBER REINFORCED CEMENTITIOUS SIDING TYPE 1
0854.9	PREFINISHED ALUMINUM SHADOW BOX JAMB EXTENSION BY WINDOW MFR.
2600.1	LIGHT FIXTURE - SEE ELEC



► **DETAIL ELEVATION - MAIN ST**

BUILDING 1

ELEVATIONS

CODED NOTES

0426.1	SPLIT FACE CMU (CMU1) (BY SECTION 040001)
0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING – TRANSPARENT FINISH
0742.A	CORRUGATED/RIBBED MTL WALL PANEL W/ CONCEALED FASTENERS (TYPE 6)
0742.B	CORRUGATED/ VARIABLE RIBBED MTL WALL PANEL W/ CONCEALED FASTENERS (TYPE 6a)
0745.1	GLASS-FIBER REINFORCED CEMENTITIOUS SIDING TYPE 1
0854.9	PREFINISHED ALUMINUM SHADOW BOX JAMB EXTENSION BY WINDOW MFR.
2600.1	LIGHT FIXTURE – SEE ELEC



► DETAIL ELEVATION - EAST ST

BUILDING 1
PERSPECTIVES



BUILDING 1
PERSPECTIVES

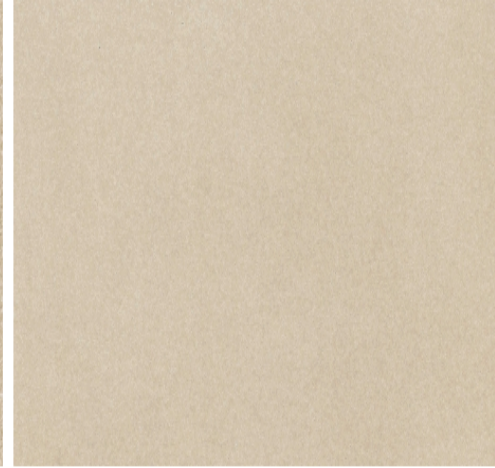


BUILDING 1
PERSPECTIVES





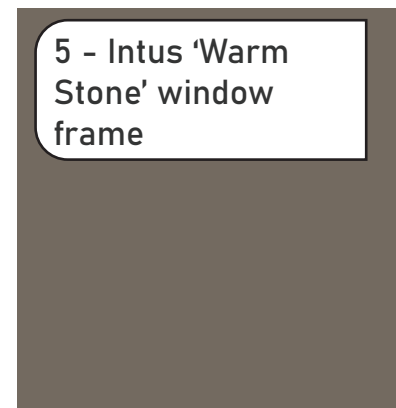
1 - GFRC Plank - Rieder oko skin, color sahara



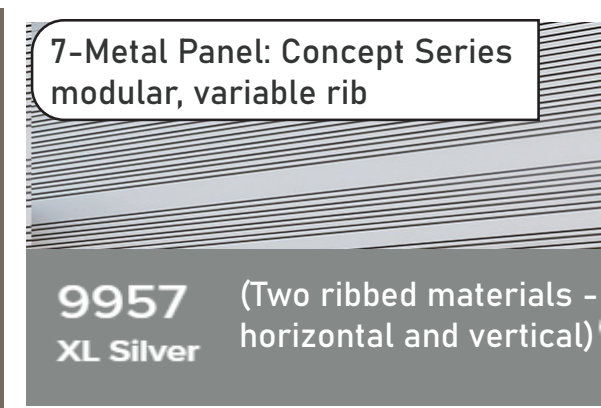
Shadow box



1



5 - Intus 'Warm Stone' window frame



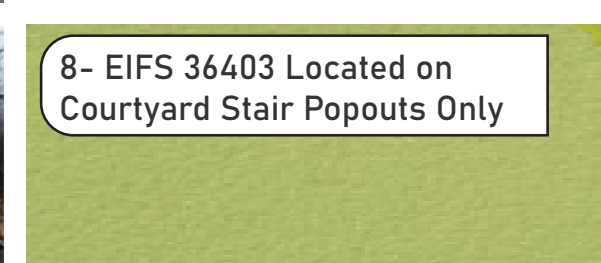
7-Metal Panel: Concept Series modular, variable rib

9957 XL Silver (Two ribbed materials - horizontal and vertical)



6

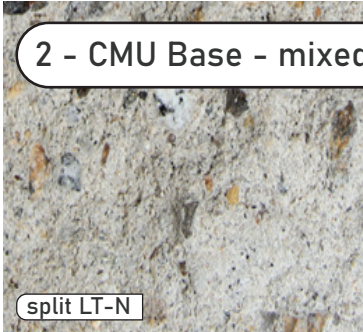
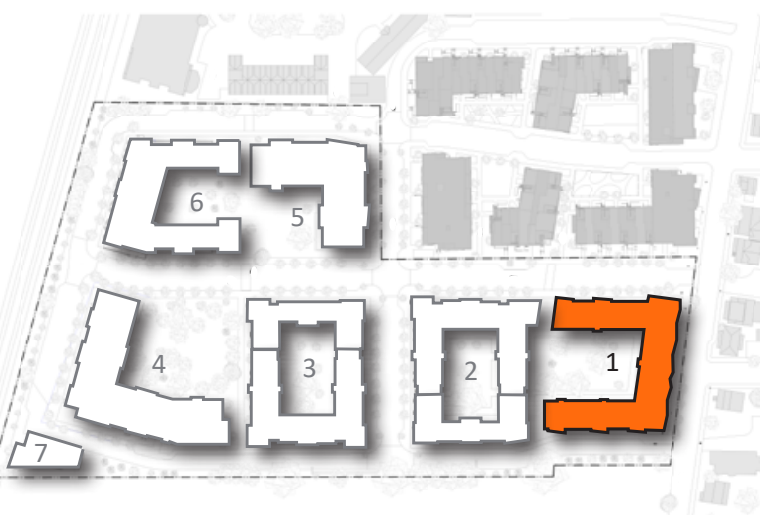
Public art mural



8- EIFS 36403 Located on Courtyard Stair Popouts Only

BUILDING 1

CURRENT MATERIAL PALETTE

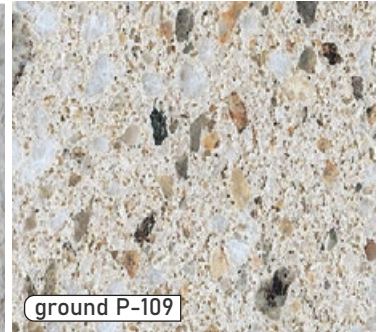


2 - CMU Base - mixed colors and textures

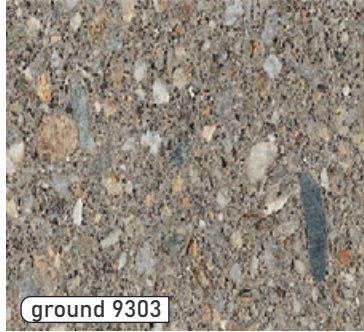


split LT-N

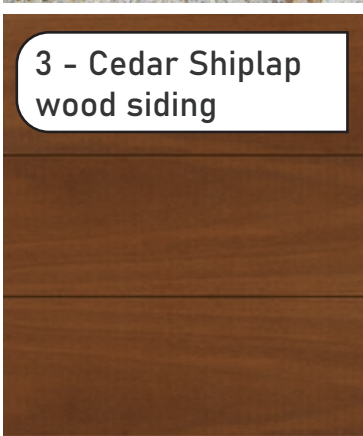
split W-60



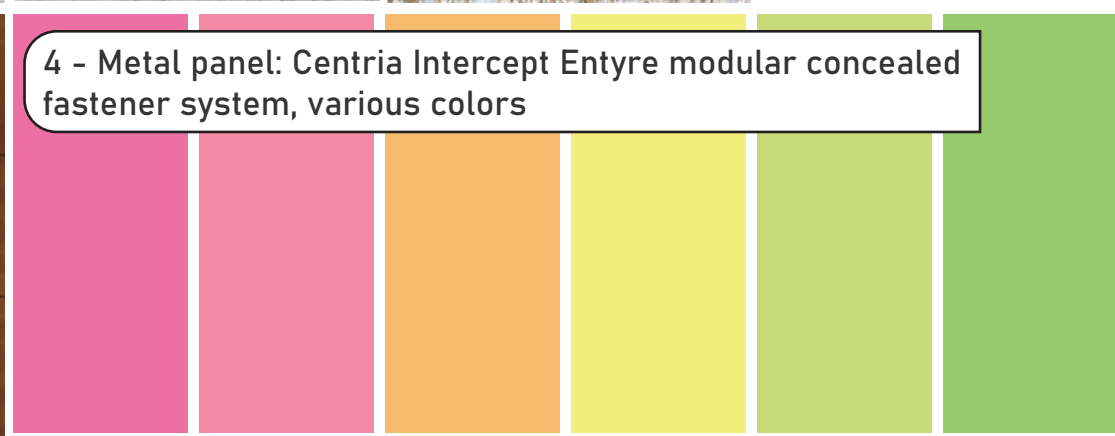
ground P-109



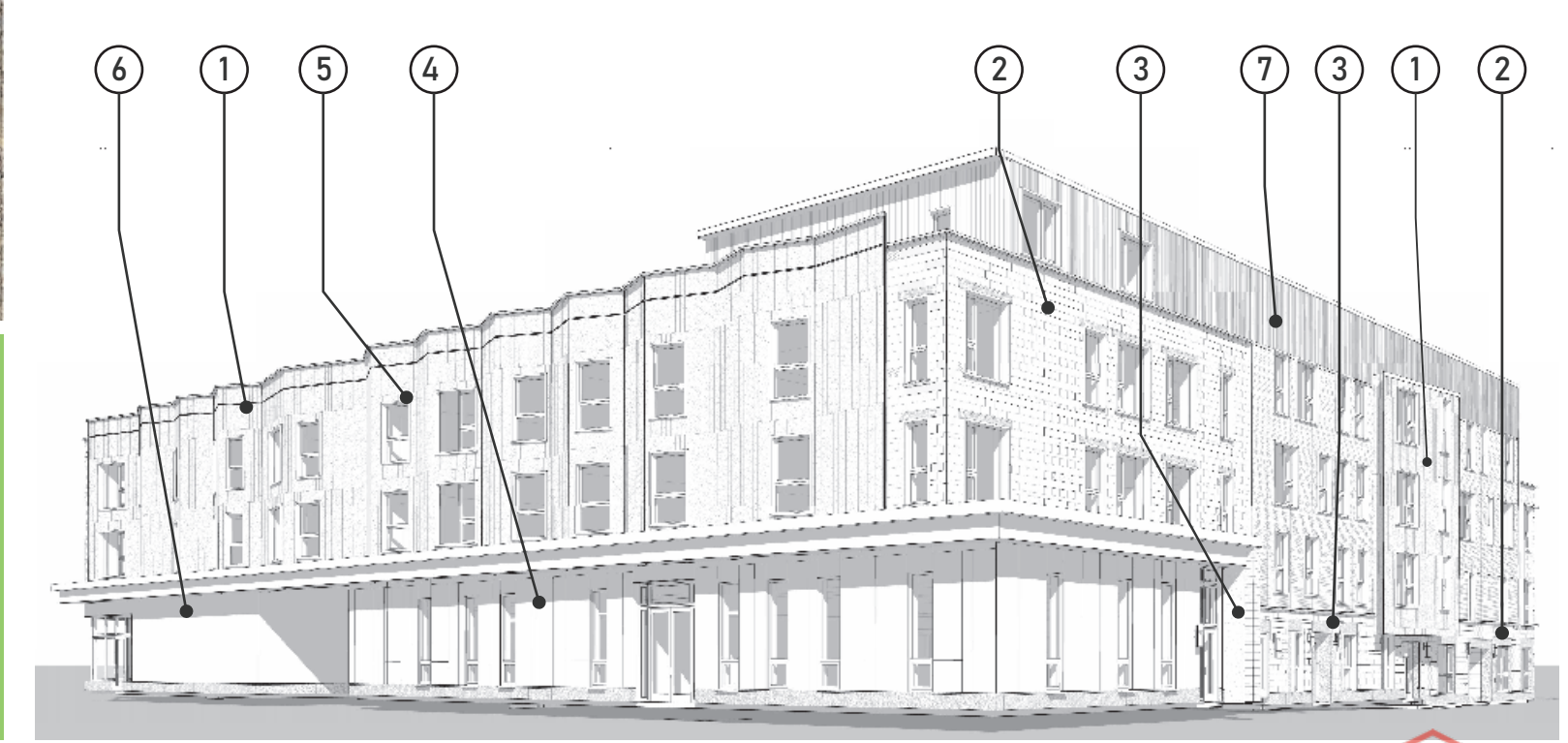
ground 9303



3 - Cedar Shiplap wood siding

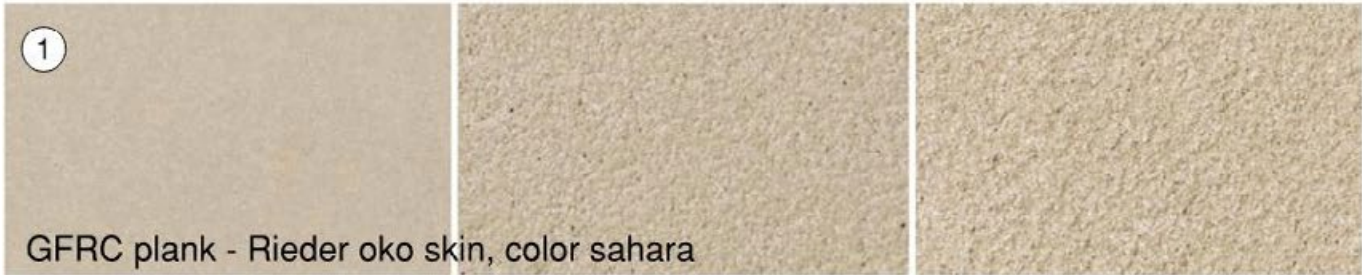
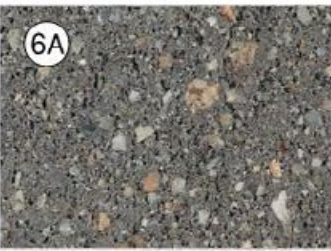


4 - Metal panel: Centria Intercept Entyre modular concealed fastener system, various colors



BUILDING 1

PREVIOUS MATERIAL PALETTE

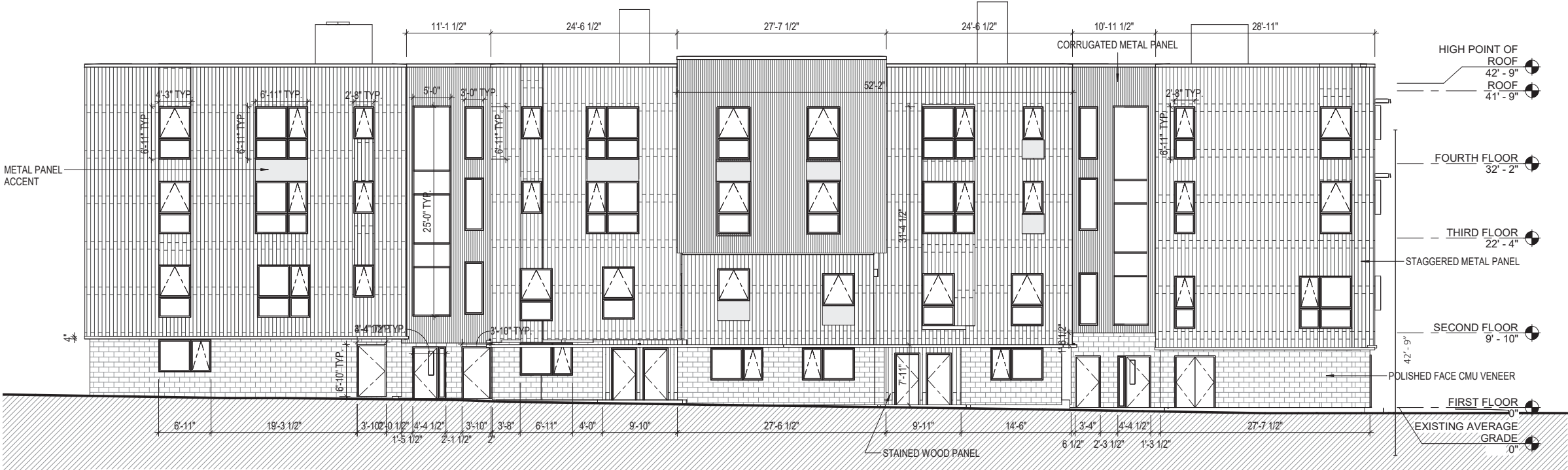


BUILDING 2

ELEVATIONS AND MATERIALS



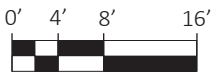
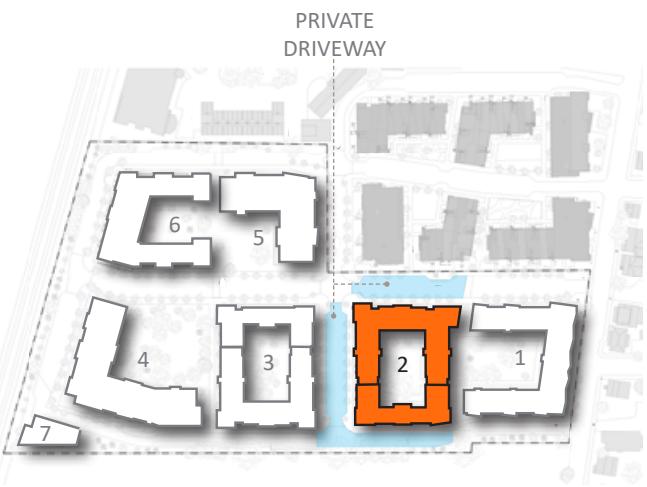
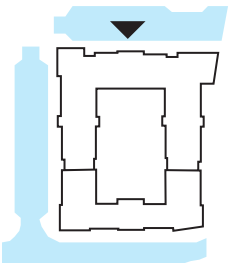
BUILDING 2
PREVIOUS AND CURRENT ELEVATIONS



► **PREVIOUS WEST ELEVATION - MAIN ST**

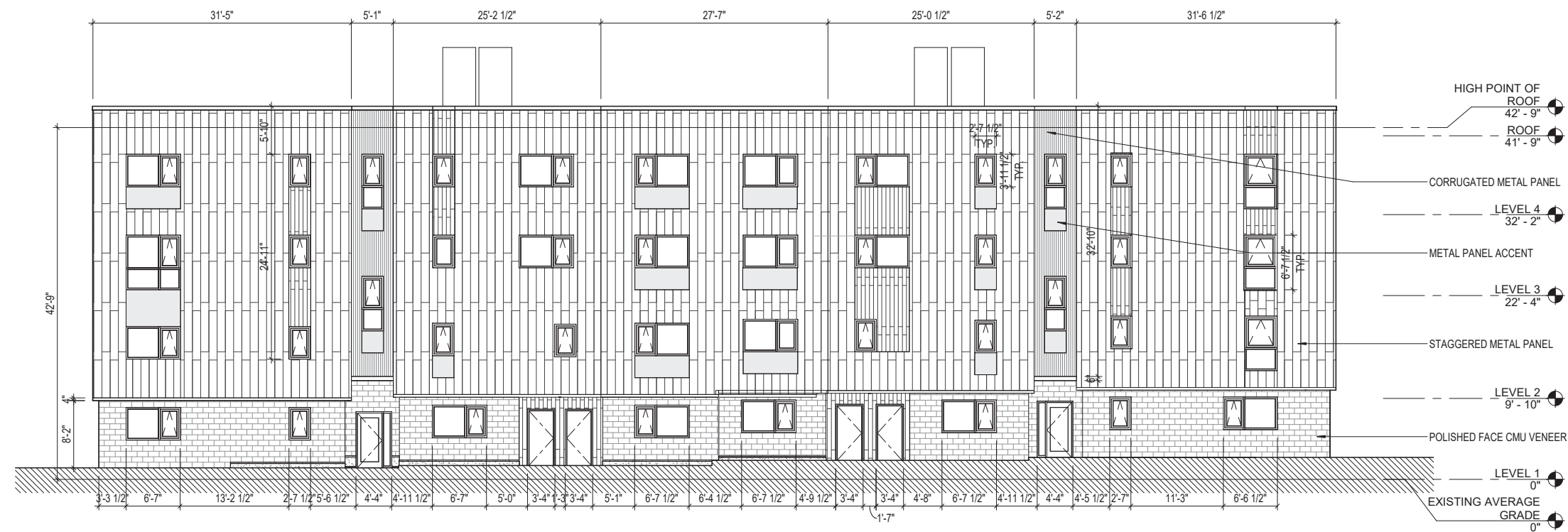


► **CURRENT WEST ELEVATION - MAIN ST**



BUILDING 2

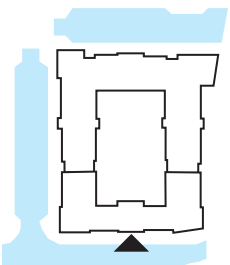
PREVIOUS AND CURRENT ELEVATIONS



► PREVIOUS WEST ELEVATION - EAST ST



► CURRENT EAST ELEVATION - EAST ST



BUILDING 2 ELEVATIONS

CODED NOTES

0426.2	GROUND FACE CMU (CMU2) (BY SECTION 040001)
0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING - TRANSPARENT FINISH
0742.1	FLAT MTL WALL PANEL (TYPE 1) W/ CONCEALED FASTENERS
0742.2	V-GROOVED MTL WALL PANEL (TYPE 2) W/ CONCEALED FASTENERS
0742.3	MODULAR MTL WALL PANEL (TYPE 3) W/ CONCEALED FASTENERS
0742.4	CORRUGATED/RIBBED MTL WALL PANEL (TYPE 4) W/ EXPOSED FASTENERS

COLOR KEY

- METAL PANEL FACADE COLORS:
C1: BM 579 CLIFFSIDE PARK
C2: SW SW9164 ILLUSIVE GREEN
C3: BM 564 GUMDROP
C4: CENTRIA 5444 AGED COPPER
C5: SW SW6670 GOLD CREST
C6: CENTRIA 9914 MIDNIGHT BRONZE
- CMU VENEER COLORS:
C1: WHITE, GROUND FACE - JANDRIS 5110
C2: GREY, GROUND FACE - JANDRIS 9308



► WEST ELEVATION - MAIN ST

Added sconces at doors to help distinguish and formalize Main St

Added cast stone detailing around windows and doors to distinguish and formalize Main St

Orange detail around window patterns and below corice to lighten and enliven elevations



► EAST ELEVATION - EAST ST

Cast stone sills at first floor only

Smaller windows relative to Main St.



BUILDING 2 ELEVATIONS

CODED NOTES

0426.2	GROUND FACE CMU (CMU2) (BY SECTION 040001)
0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING - TRANSPARENT FINISH
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0742.4	CORRUGATED/RIBBED MTL WALL PANEL (TYPE 4) W/ EXPOSED FASTENERS

COLOR KEY

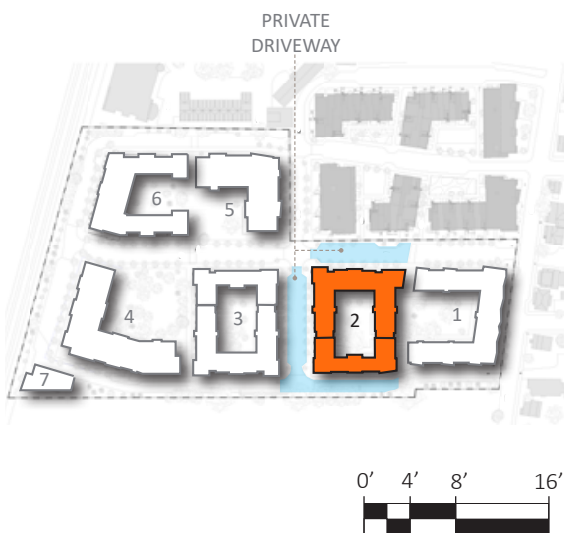
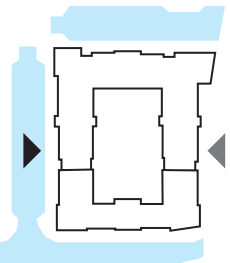
- METAL PANEL FACADE COLORS:
C1: BM 579 CLIFFSIDE PARK
C2: SW SW9164 ILLUSIVE GREEN
C3: BM 564 GUMDROP
C4: CENTRIA 5444 AGED COPPER
C5: SW SW6670 GOLD CREST
C6: CENTRIA 9914 MIDNIGHT BRONZE
- CMU VENEER COLORS:
C1: WHITE, GROUND FACE - JANDRIS 5110
C2: GREY, GROUND FACE - JANDRIS 9308



► SOUTH ELEVATION - NORTH ST.



► NORTH ELEVATION



BUILDING 2
ELEVATIONS



► NORTH ELEVATION (COURTYARD)



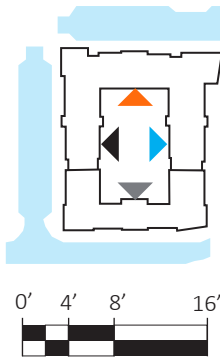
► EAST ELEVATION (COURTYARD)



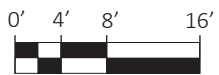
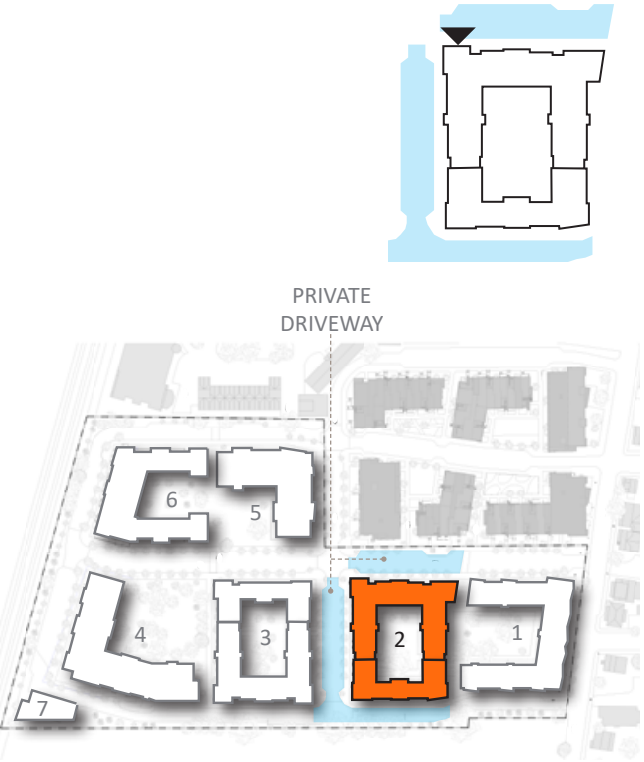
► SOUTH ELEVATION (COURTYARD)



► WEST ELEVATION (COURTYARD)



BUILDING 2
ELEVATIONS



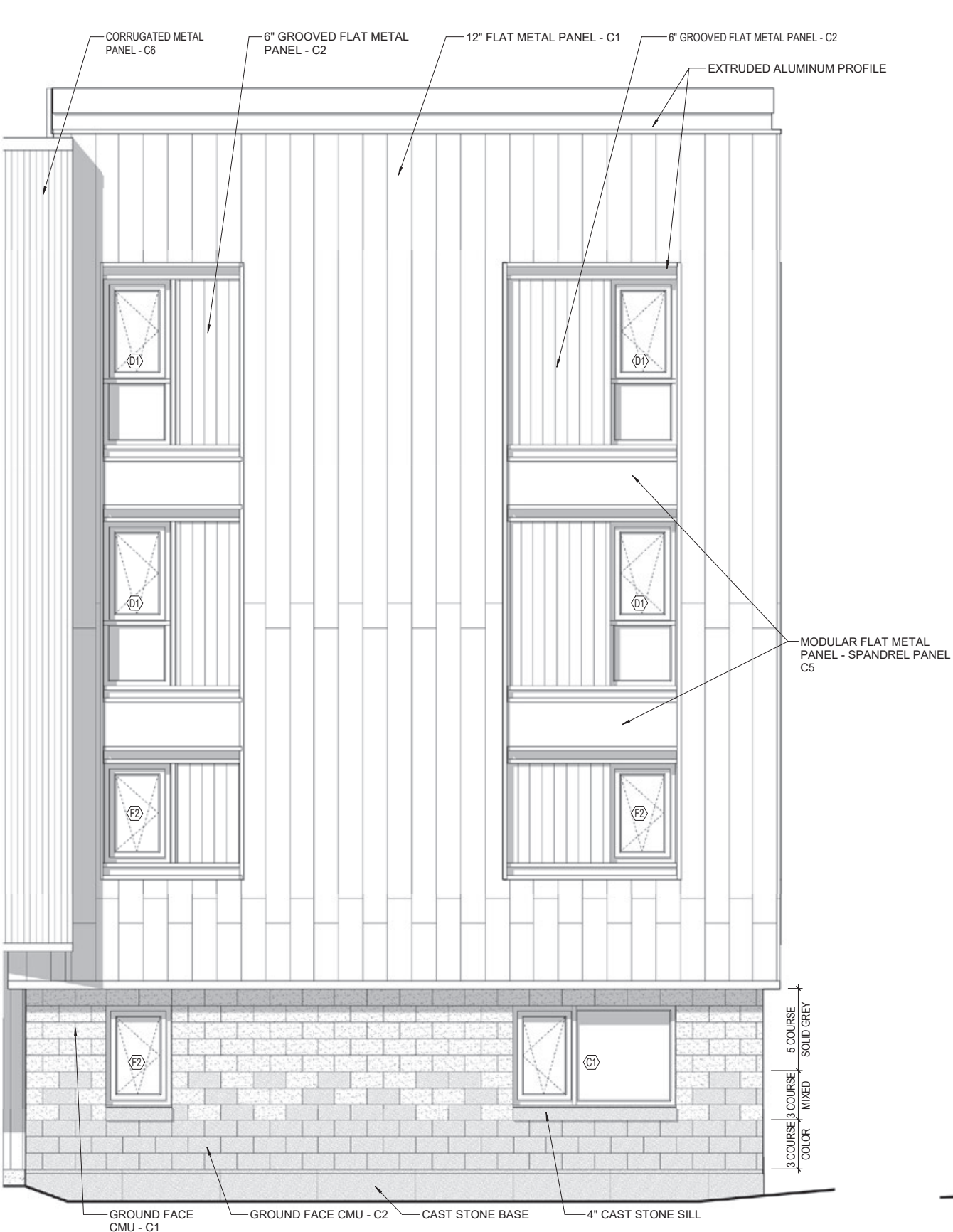
► DETAIL ELEVATION - WEST

BUILDING 2
ELEVATIONS

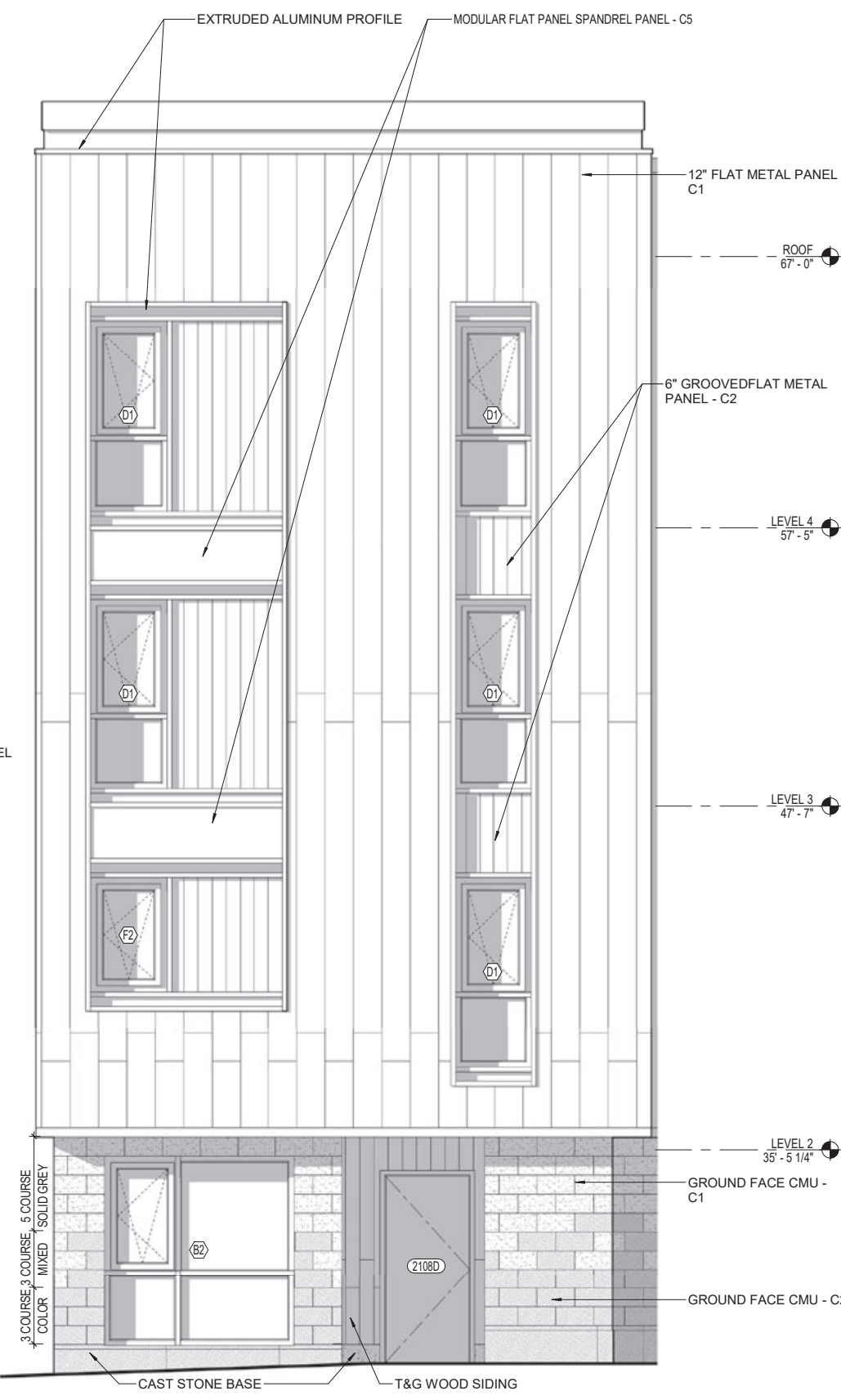


► DETAIL ELEVATION - WEST

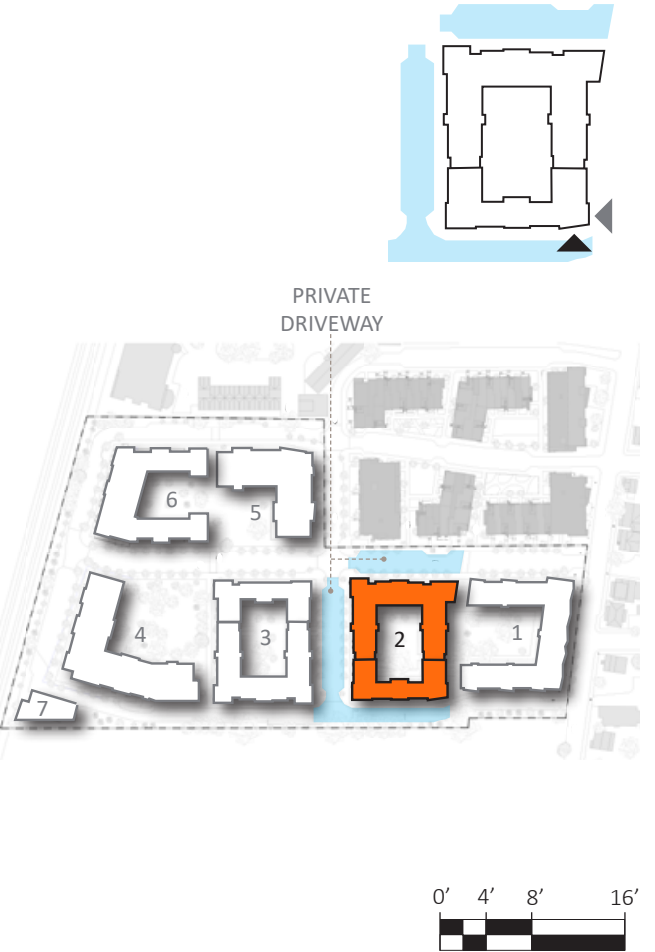
BUILDING 2
ELEVATIONS



► DETAIL ELEVATION - EAST



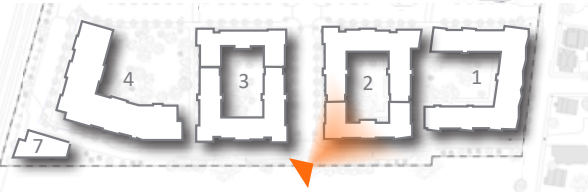
► DETAIL ELEVATION - NORTH



BUILDING 2
PERSPECTIVES



BUILDING 2
PERSPECTIVES



BUILDING 2
PERSPECTIVES



C1
Cliffside Park
BM 579

C2
Illusive Green
SW9164

C3
Gumdrop
BM 564

C4
Centria Color 5444
Aged Copper

Centria BR5-36
9914 Midnight Bronze

Centria IW-14A
Illusive Green (SW9164)



Jandris Ground Face CMU

Jandris 5110

Jandris 9308

Centria Spandrel
Gold Crest (SW6670)

Door Color:
Blue Plate (SW6796)
Stained Wood Surround

Horizontal Profile

Vertical Profile

BR5-36

Product Description

CONTACT US +

COLOR SAMPLE +

Panel Length	Panel Width	Panel Depth	Surface Finish	Substrate
Standard: 115 1/4" (2926mm)	48" (1219mm)	1 1/2" (38mm)	Standard: Brushed Optional: Smooth	Standard: 22 - 26 gauge G-90 Galvalume Steel Optional: Aluminum

Horizontal Profile

Vertical Profile

IW-10A

Product Description

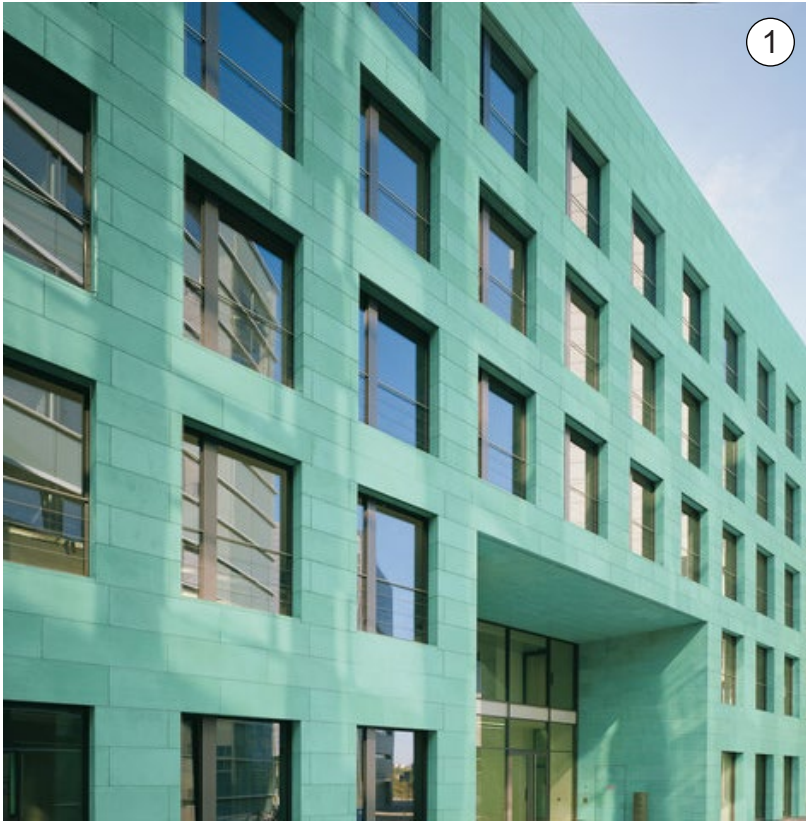
CONTACT US +

COLOR SAMPLE +

Panel Length	Panel Width	Panel Depth	Surface Finish	Substrate
Standard: 9' (1.52m) - 29' (7.62m)	12" (305mm)	1 1/2" (38mm)	Standard: Embossed Optional: Smooth	Standard: 22 - 26 gauge G-90 Galvalume Steel Optional: Aluminum

INTUS WINDOWS

Window Color
Dark Bronze



Horizontal Profile

Vertical Profile

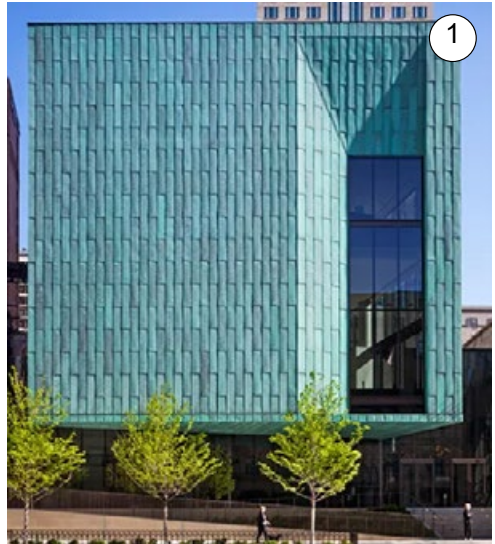
IW-14A

Product Description

CONTACT US +

COLOR SAMPLE +

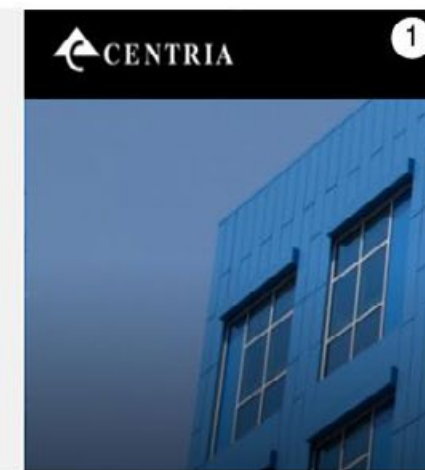
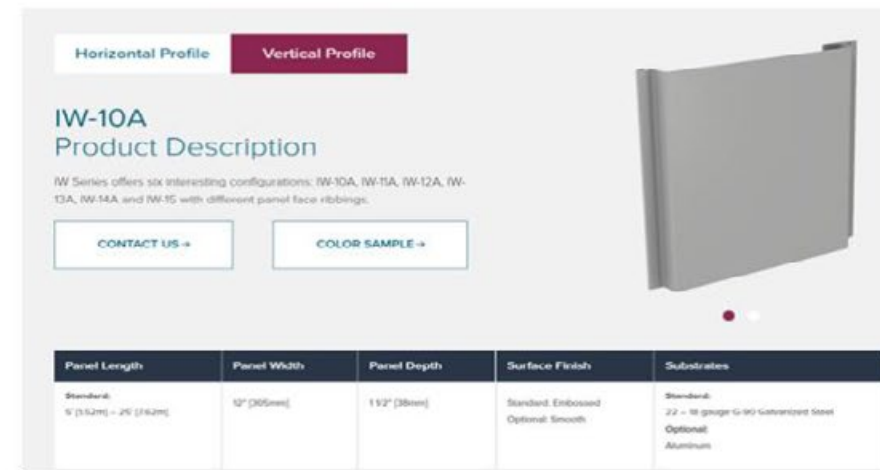
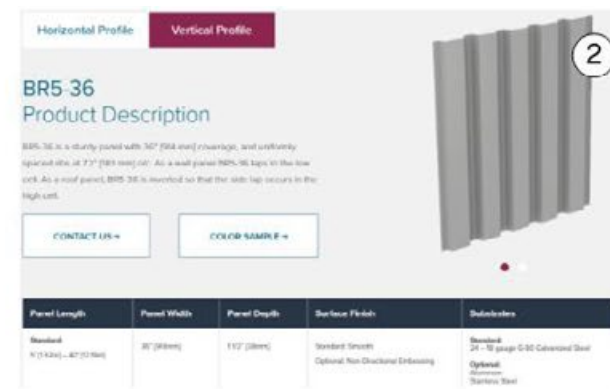
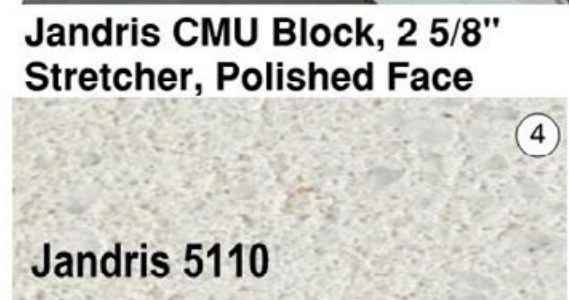
Panel Length	Panel Width	Panel Depth	Surface Finish	Substrate
Standard: 9' (1.52m) - 29' (7.62m)	12" (305mm)	1 1/2" (38mm)	Standard: Embossed Optional: Smooth	Standard: 22 - 26 gauge G-90 Galvalume Steel Optional: Aluminum



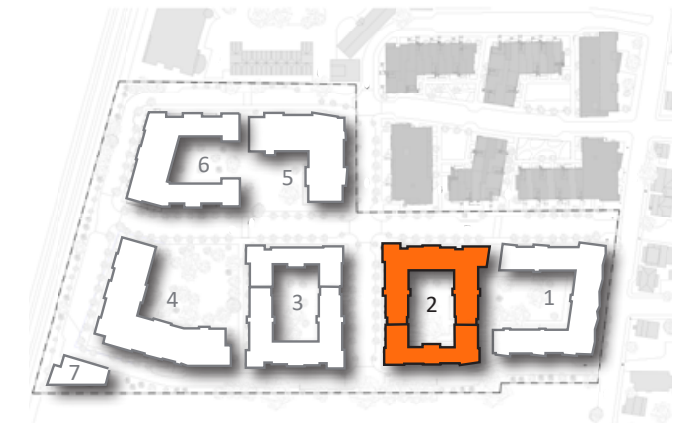
BUILDING 2

CURRENT MATERIAL PALETTE





BUILDING 2 PREVIOUS MATERIAL PALETTE



BUILDING 3

ELEVATIONS AND MATERIALS

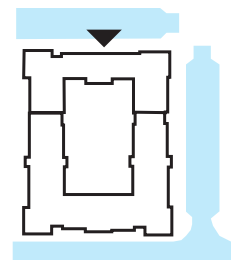


BUILDING 3

PREVIOUS AND CURRENT ELEVATIONS



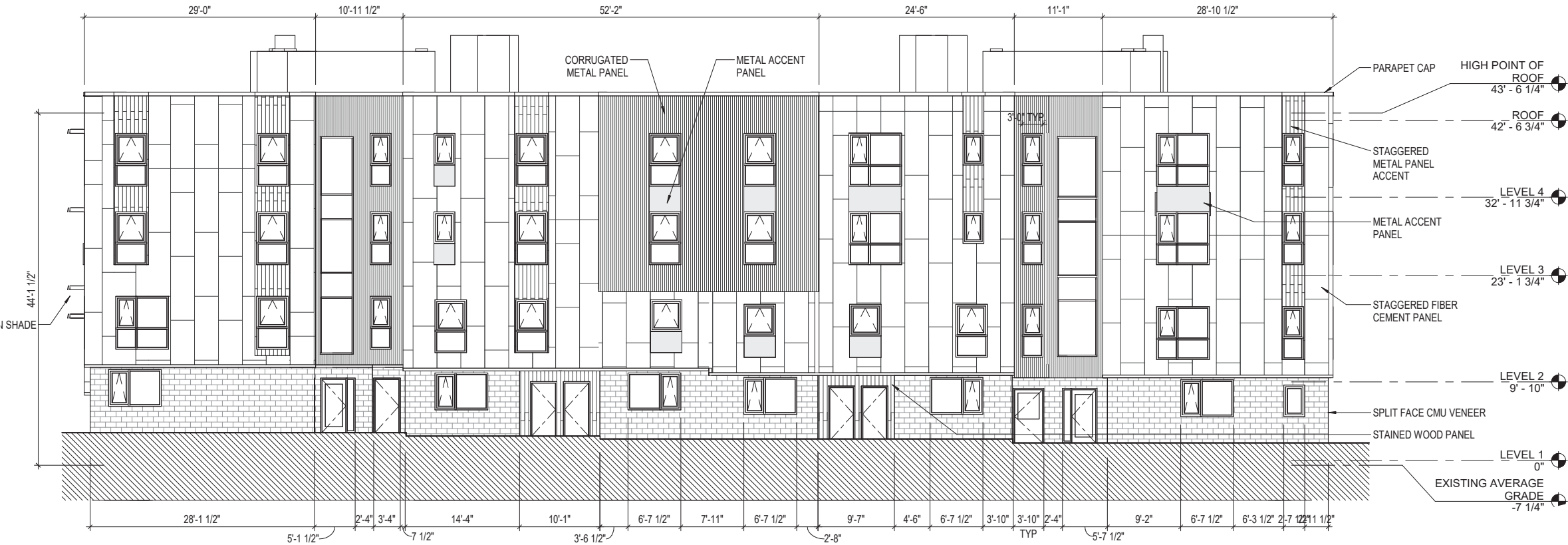
► **PREVIOUS WEST ELEVATION - MAIN ST**



CURRENT WEST ELEVATION - MAIN ST

BUILDING 3

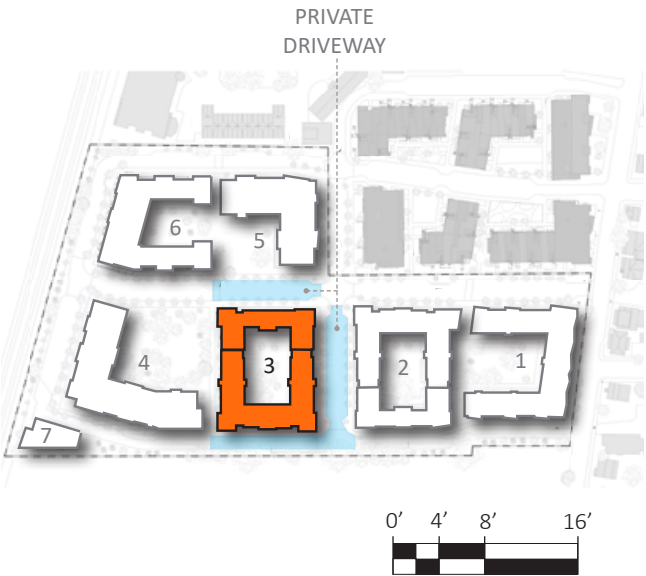
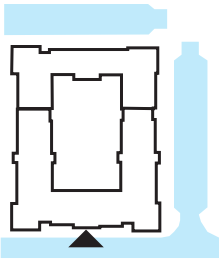
PREVIOUS AND CURRENT ELEVATIONS



► PREVIOUS EAST ELEVATION - EAST ST



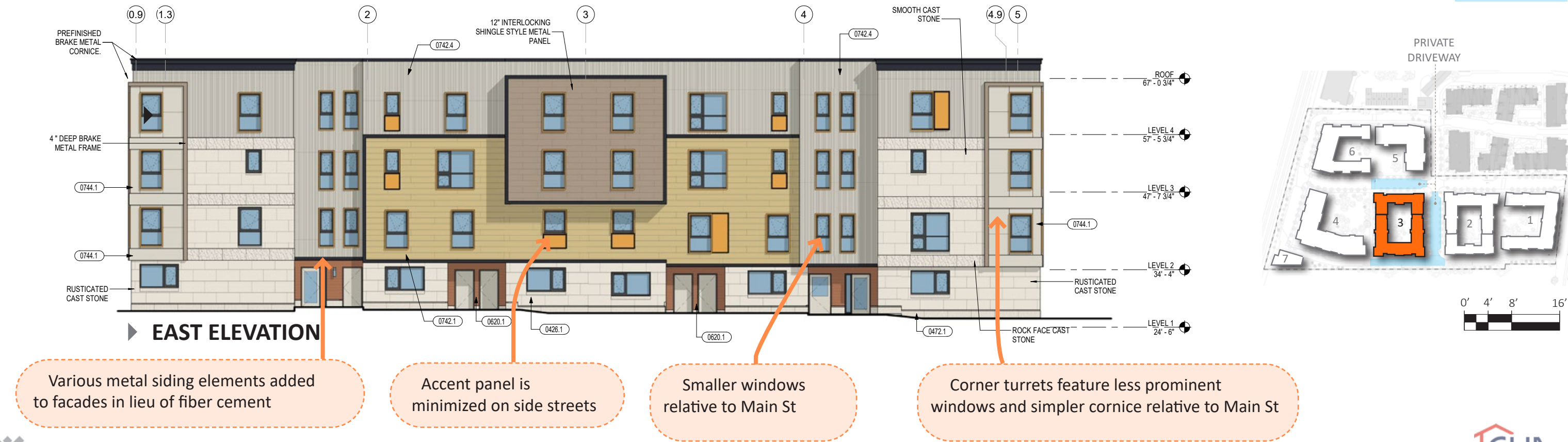
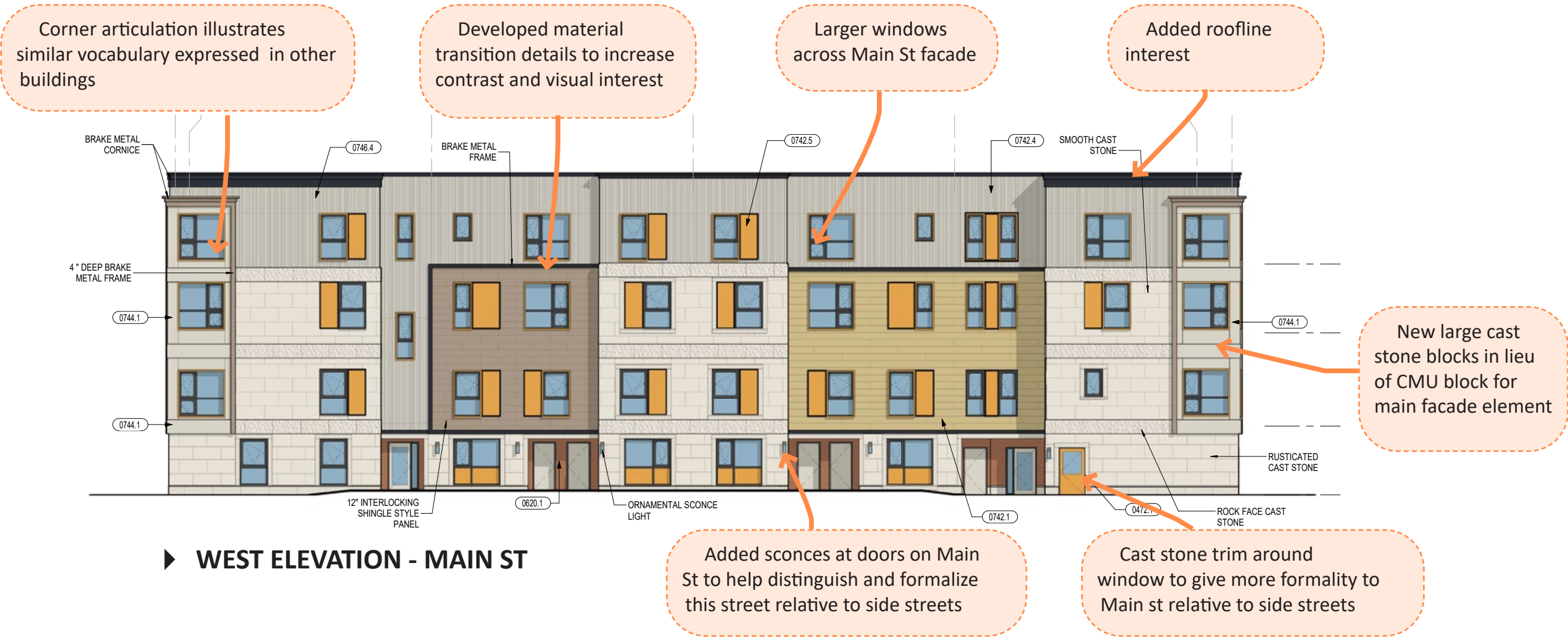
► CURRENT EAST ELEVATION - EAST ST



BUILDING 3 ELEVATIONS

CODED NOTES

0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING - TRANSPARENT FINISH
0742.1	FLAT MTL WALL PANEL TYPE 1 W/ CONCEALED FASTENERS
0742.4	RIBBED MTL WALL PANEL TYPE 4 W/ EXPOSED FASTENERS
0742.5	MTL WALL ACCENT PANEL TYPE 5
0744.1	ALUMINUM COMPOSITE PANEL (ACP) W/ FR CORE
0746.4	FIBER-CEMENT SIDING TYPE 4 EXPOSED FASTENER WITH SURROUND TRIM



BUILDING 3 ELEVATIONS

CODED NOTES

0472.1	CAST STONE TRIM UNIT (BY SECTION 040001)
0620.1	SHIPLAP SIDING - TRANSPARENT FINISH
0742.1	FLAT MTL WALL PANEL TYPE 1 W/ CONCEALED FASTENERS
0742.4	RIBBED MTL WALL PANEL TYPE 4 W/ EXPOSED FASTENERS
0742.5	MTL WALL ACCENT PANEL TYPE 5
0744.1	ALUMINUM COMPOSITE PANEL (ACP) W/ FR CORE
0746.4	FIBER-CEMENT SIDING TYPE 4 EXPOSED FASTENER WITH SURROUND TRIM

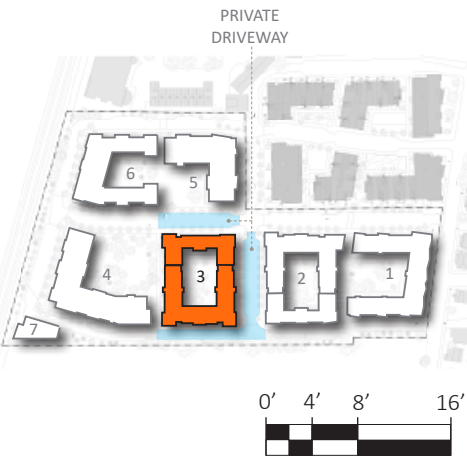
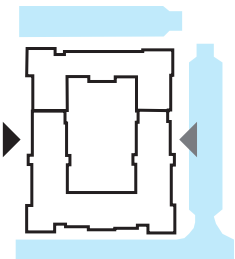


► SOUTH ELEVATION

Corner turrets feature less prominent windows and simpler cornice relative to Main St



► NORTH ELEVATION - NORTH ST



BUILDING 3
ELEVATIONS



►SOUTH ELEVATION (COURTYARD)



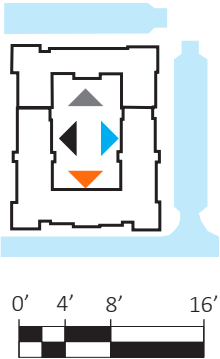
►WEST ELEVATION (COURTYARD)



► NORTH ELEVATION (COURTYARD)



► EAST ELEVATION (COURTYARD)



BUILDING 3

ELEVATIONS



► DETAIL ELEVATION - EAST ST ENTRANCE

► DETAIL ELEVATION - MAIN ST ENTRANCE

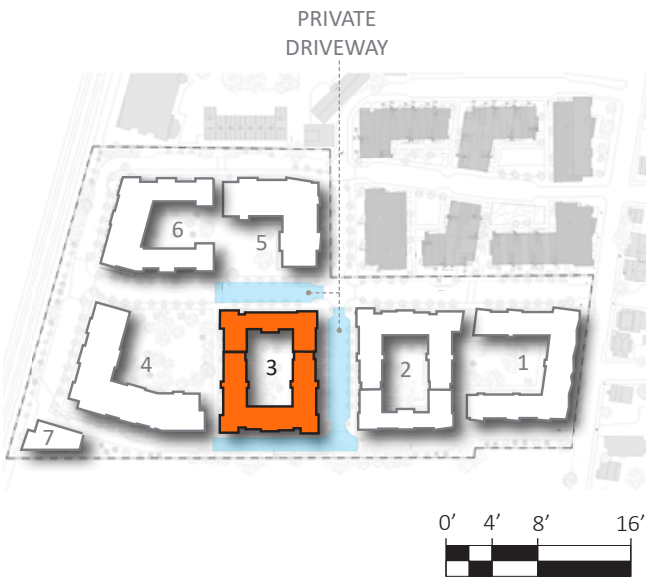
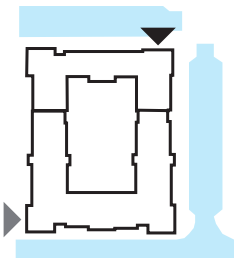


BUILDING 3
ELEVATIONS



► DETAIL ELEVATION - MAIN ST

► DETAIL ELEVATION - NORTH STRET



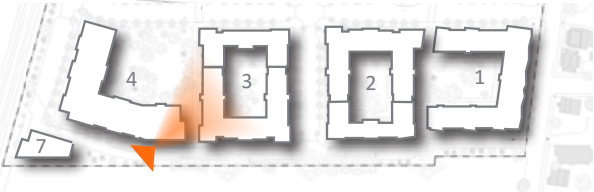
BUILDING 3
PERSPECTIVES



BUILDING 3
PERSPECTIVES



BUILDING 3
PERSPECTIVES



BUILDING 3
CURRENT MATERIAL PALETTE



1. CENTRIA PEBBLE (CS-260)
2. CENTRIA ASPEN GOLD (IW-40A)
3. ATAS SIERRA TAN
4. GOLD CREST SW6670 RGB (226,163,76)
5. BRAKE METAL TRIM RGB (47,50,58)
6. CENTRIA PEBBLE METAL PANEL

Horizontal Profile Vertical Profile

CS-260 Product Description

CONTACT US + COLOR SAMPLE +

Panel Length	Panel Width	Panel Depth	Surface Finish	Substrate
Standard: 1'3.534" - 30' (3044)	12" (305mm)	3/8" (23mm)	Standard: Smooth Optional: Embossed	Standard: 22 x 18 gauge 60 030 aluminum steel Optional: Aluminum clad, Stainless Steel, Zinc

Horizontal Profile Vertical Profile

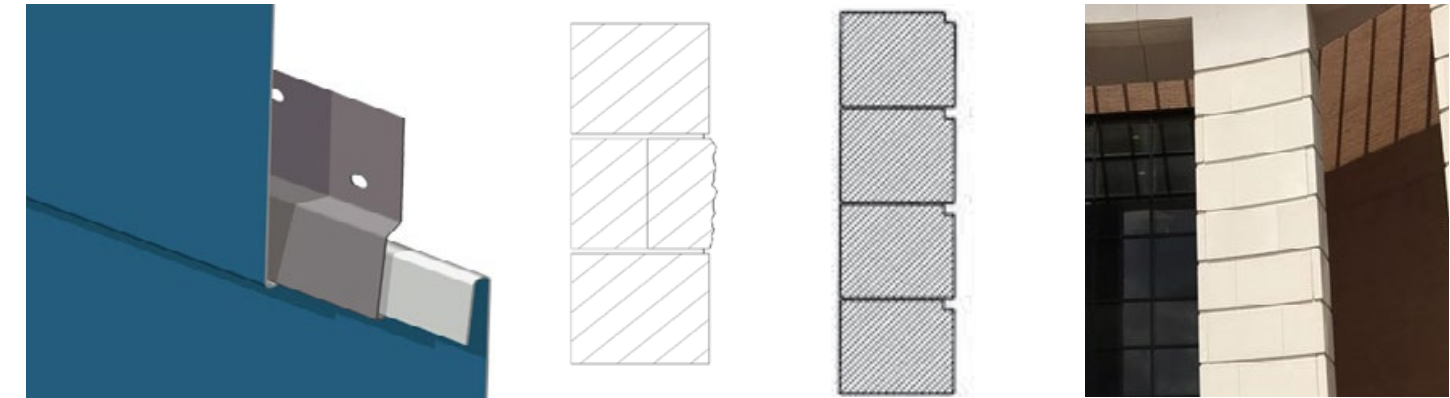
IW-40A Product Description

CONTACT US + COLOR SAMPLE +

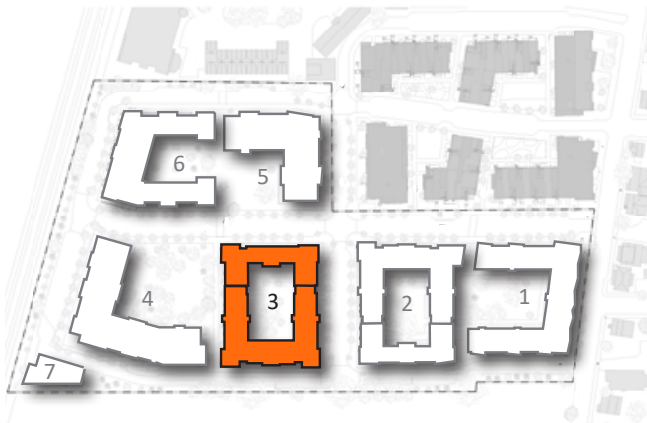
Panel Length	Panel Width	Panel Depth	Surface Finish	Substrate
Standard: 1'3.534" - 30' (3044)	12" (305mm)	1/2" (12mm)	Standard: Embossed Optional: Smooth	Standard: 22 x 18 gauge 60 030 aluminum steel Optional: Aluminum



- 8/9. CAST STONE COLOR
- 8.SMOOTH FACE CAST STONE TEXTURE
9. ROCK FACE CAST STONE TEXTURE
10. SHIP LAP WOOD SIDING - CAMBIA



3. ATAS VERSA LOK METAL PANEL
8. ROCK FACE CAST STONE PROFILE
9. RUSTICATED CAST STONE PROFILE
9. RUSTICATED CAST STONE EXAMPLE



BUILDING 3 - NORTH WEST CORNER



BUILDING 3 - WEST ELEVATION

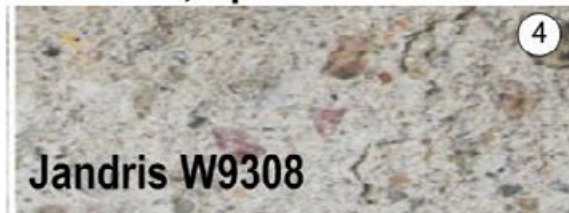
Hardie Aspyre Reveal Panel System
Color: Mansion Tan
Finish: Smooth

9914
Midnight Bronze

Hardie Artisan Siding
Color: Desert Wind
Finish: Select Cedarmill

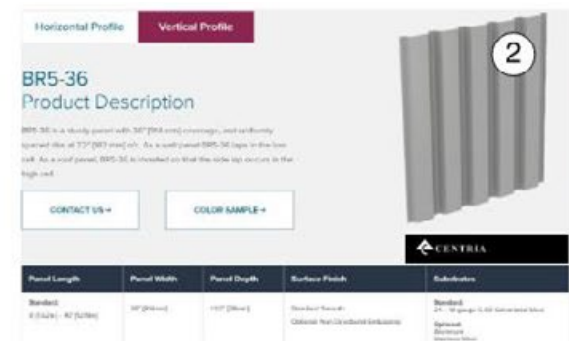


Jandris CMU Block, 2 5/8" Stretcher, Split Face Finish



997
Spandrel
Centria Color: Prism Yellow

Door Color:
Decisive Yellow (SW6902)
Stained Wood Surround



BUILDING 3 PREVIOUS MATERIAL PALETTE

