



# VOLUME II - GRAPHICS

28-30 WENDELL ST  
CAMBRIDGE, MA  
10/08/25





VOLUME II - GRAPHICS

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**CONTEXT MAP & ANALYSIS**

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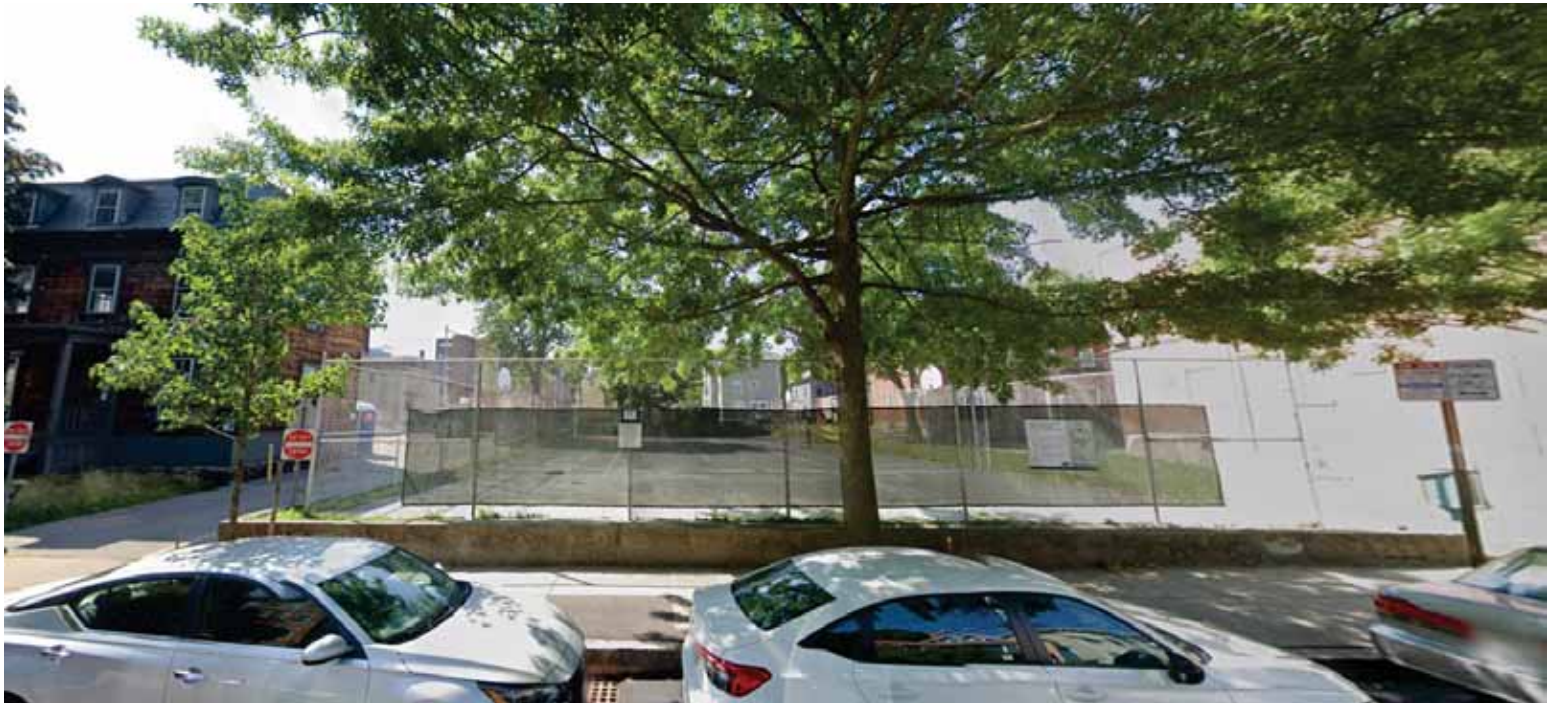








VIEW 1



VIEW 2

WENDELL STREET



VIEW 3





VIEW 1



VIEW 2

OXFORD STREET



VIEW 3





VIEW 1



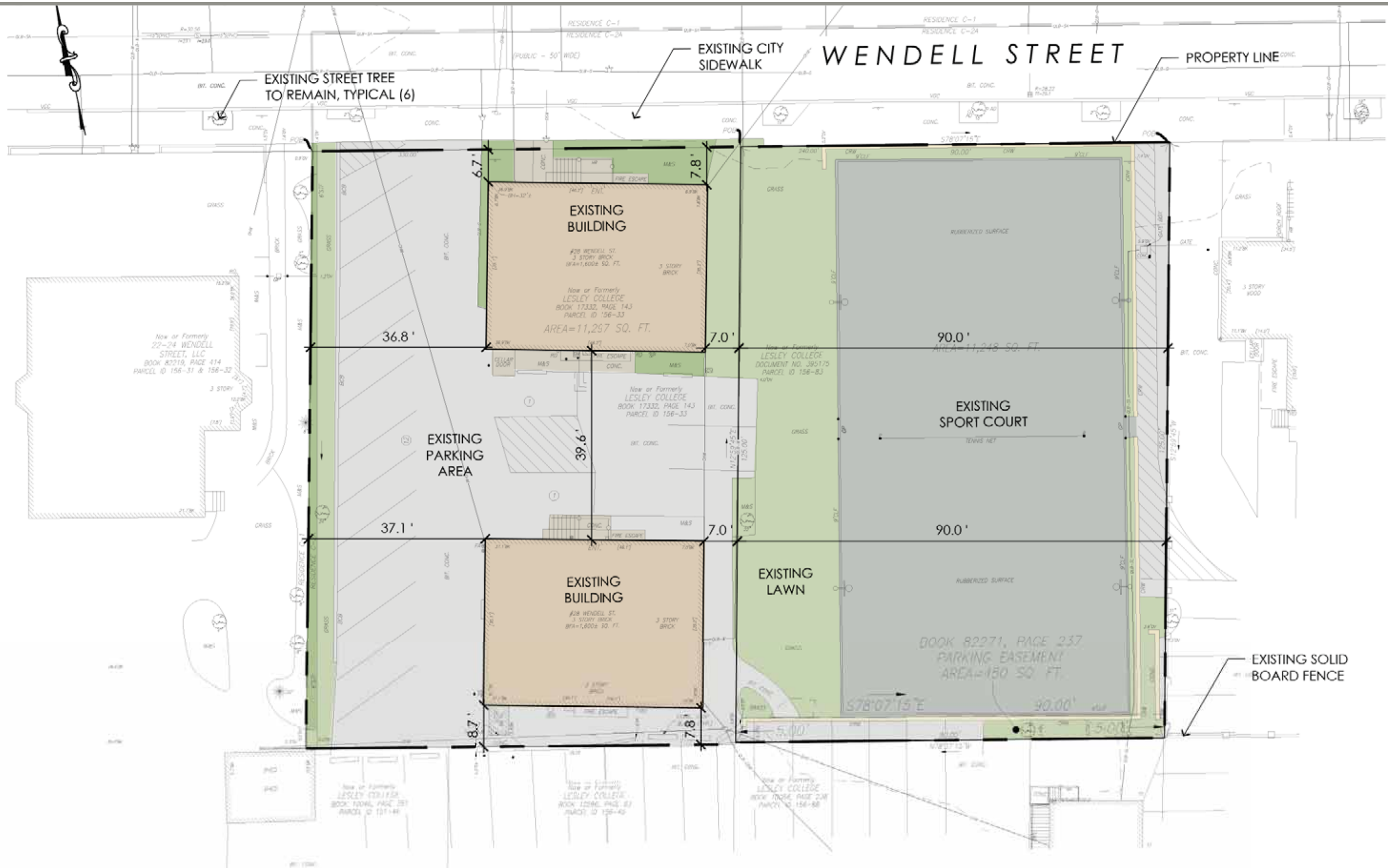
VIEW 2

OXFORD STREET



VIEW 3







**PROJECT SUMMARY & BUILDING MASSING**

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The design team for 28-30 Wendell took inspiration from nearby masonry buildings on Massachusetts Ave and in the Baldwin neighborhood. ICON and HRI toured the Baldwin neighborhood and looked at multi-family, multistory buildings across Cambridge. In early design conversations, Community Development Department staff provided examples of brick and stone buildings for HRI to use as references for façade design, cornices, fenestration, and streetscape integration. Inspired by these precedents and by the existing urban fabric, the project team worked to design a building with a strong streetscape along Wendell Street. The ground floor of the building is pedestrian friendly, with clear sightlines into the lobby and community spaces while also promoting interaction along the sidewalk and front yard. At the front, the nineteen-foot setback at the center of the building provides an ample entry court and a relationship to the street appropriate for the building's height. The front facade has an inviting canopy that frames the residential entry and a semi-public seating area that creates a welcoming interface with the community further enhanced by signage, accent lighting, and landscaping. Vehicle, pedestrian and bicycle access are separated along the primary façade. A discrete entry to the garage is situated at the north-west corner of the site, utilizing the existing curb cut. The building's main entry is located at its center and the entry to the community Hub space is to the east, which is adjacent to a path at the side of the building that leads to bike parking. The fifteen-foot setback at the rear of the building expands the resident courtyard space and provides space for back of house needs. One back of house space hosts pad mounted condensers, located here to minimize vibrations in the building and maximize resident comfort. The other back of house space provides access to various maintenance rooms. A south-facing courtyard for resident use is the focus of the backyard and will include a variety of seating options, a shade structure, and small play elements. Given the distance of abutting buildings from the shared property lines, the side setbacks are minimized and utilitarian in nature: the east side setback is a path to the interior bicycle parking while the west side setback serves as a maintenance corridor. HRI and ICON worked closely to balance the open space and setback aspects of this project to ensure beautiful living spaces for future residents and neighbors as well as meet the city's mandate to

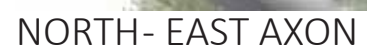
create a substantial number of new affordable homes.

As a response to the neighborhood's concern for the building's height, the maximum height of 13 stories as of right through the Affordable Housing Overlay is not being pursued; instead, the main massing is 8 stories. Two 6-story bookends at the building's primary façade along Wendell Street create varying planes along the streetscape and anchor the building on either end. These bookends are capped at 6-stories, a datum that is established by the larger context, including Lesley and Harvard buildings and large multi-family buildings along Mass Ave. Both of the bookend elevations are fully clad in true brick to relate to the number of masonry buildings in the neighborhood, and particularly the two near the project site on Wendell Street. Brick detailing is incorporated into the design, with soldier coursing at the first two levels to relate to the existing wood-frame structures in the area. Soldier coursing and cast stone lintels are also used adjacent to windows, to help the openings appear larger and to group multiple windows. The Wendell façade has 22% glazing, to align with both high envelope performance goals and with building precedents along Wendell that have lower glazing percentages. The window sizes increase at the ground floor and help to distinguish the community and gathering spaces from the residential floors on the upper levels. Bookshelves and a mural define an area at the ground floor for a 'Little Free Library,' to further activate the streetscape and pay homage to an existing effort on site. The fiber cement cladding on the remainder of the building has subtle differences across the façade to differentiate the base, middle, and top of the building. At the ground level, the siding has a sandstone texture, best appreciated from the view of a pedestrian. The main body of the façade includes vertical elements in a rhythm that is informed by the changing widths of windows, and the top of the main mass is capped with a cornice that is slender and deep. In the center of the main facade is a two foot recess to help break down the massing and further reinforce the six story datum, with repeated vertical trim between other window rows. At the rear of the building, the top two floors are differentiated, and the massing is further articulated by bays that wrap the corners, with an accent color that ties them to the rest of the building. Their 5 story heights relate to the mid-rise buildings in the neighborhood.

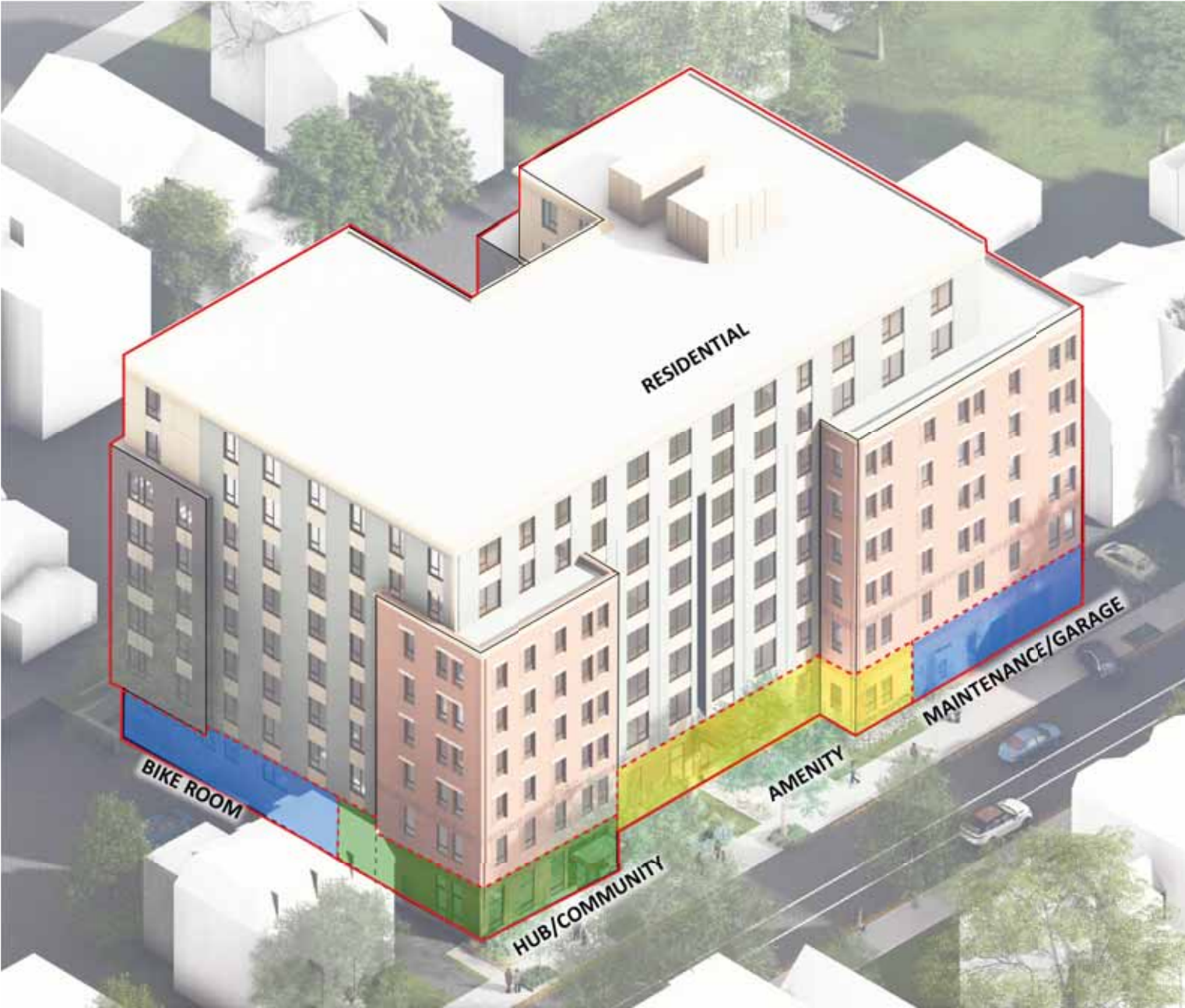


A small garage within the building footprint accommodates five parking spaces for management for building staff and outside staff visiting residents ((e.g. visiting nurse). This area connects to the main trash room which therefore has direct access to the curb for trash collection, but is otherwise fully contained. The majority of the building's mechanical systems are on the roof of the building, with the only exception being heat pump hot water condensers that are pad mounted at the southeast corner of the building to remain close to the water room and maximize their efficiency. The systems are central, and therefore there is little equipment on the roof, all of which is set 10' or more from the edge to ensure they cannot be seen from the street and to help maximize the area for solar panel installation. The transformer serving the building is within the building footprint to maximize the use of the site and is being closely coordinated with Eversource engineers.









NORTH- EAST AXON

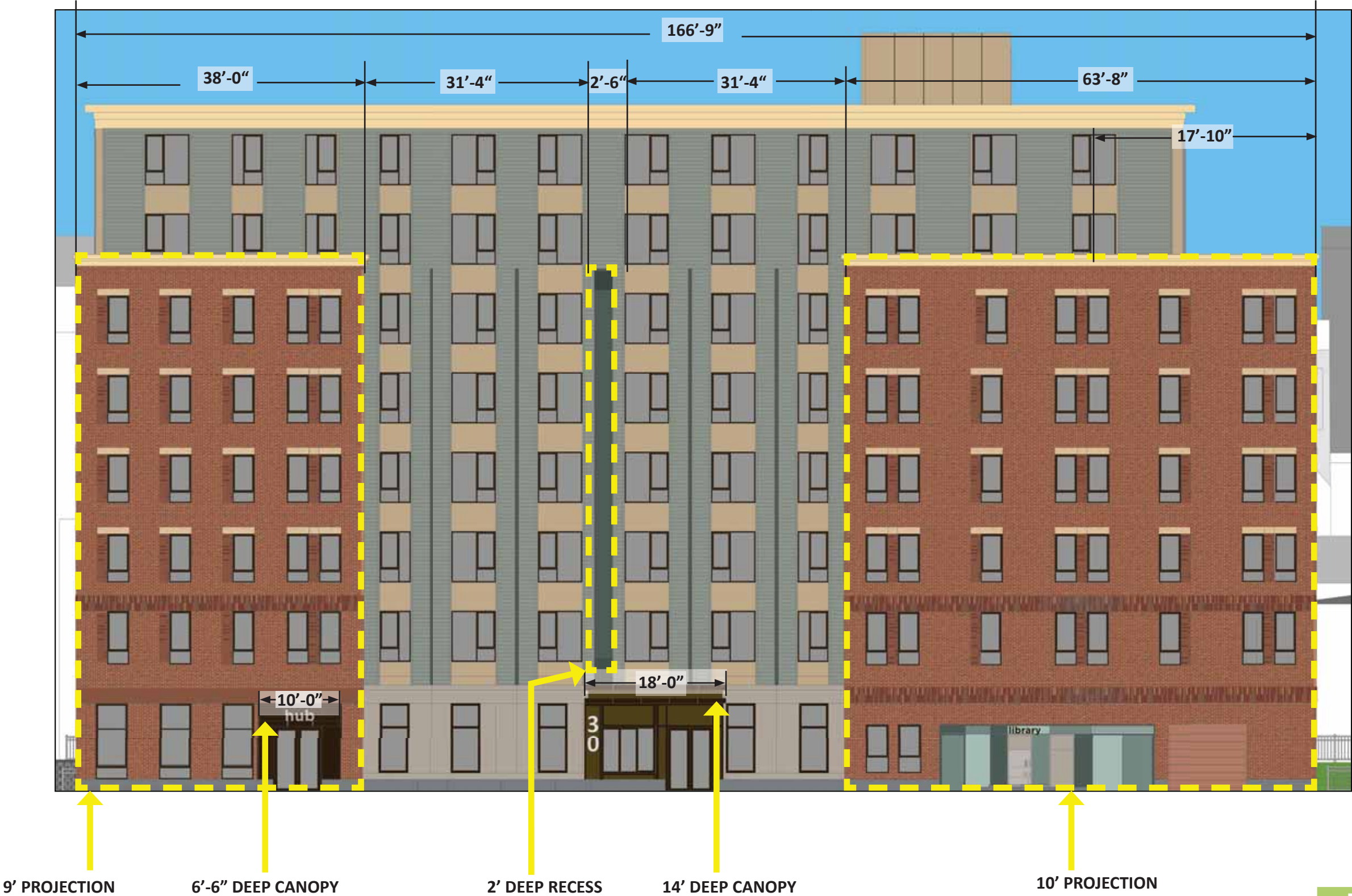


SOUTH- WEST AXON







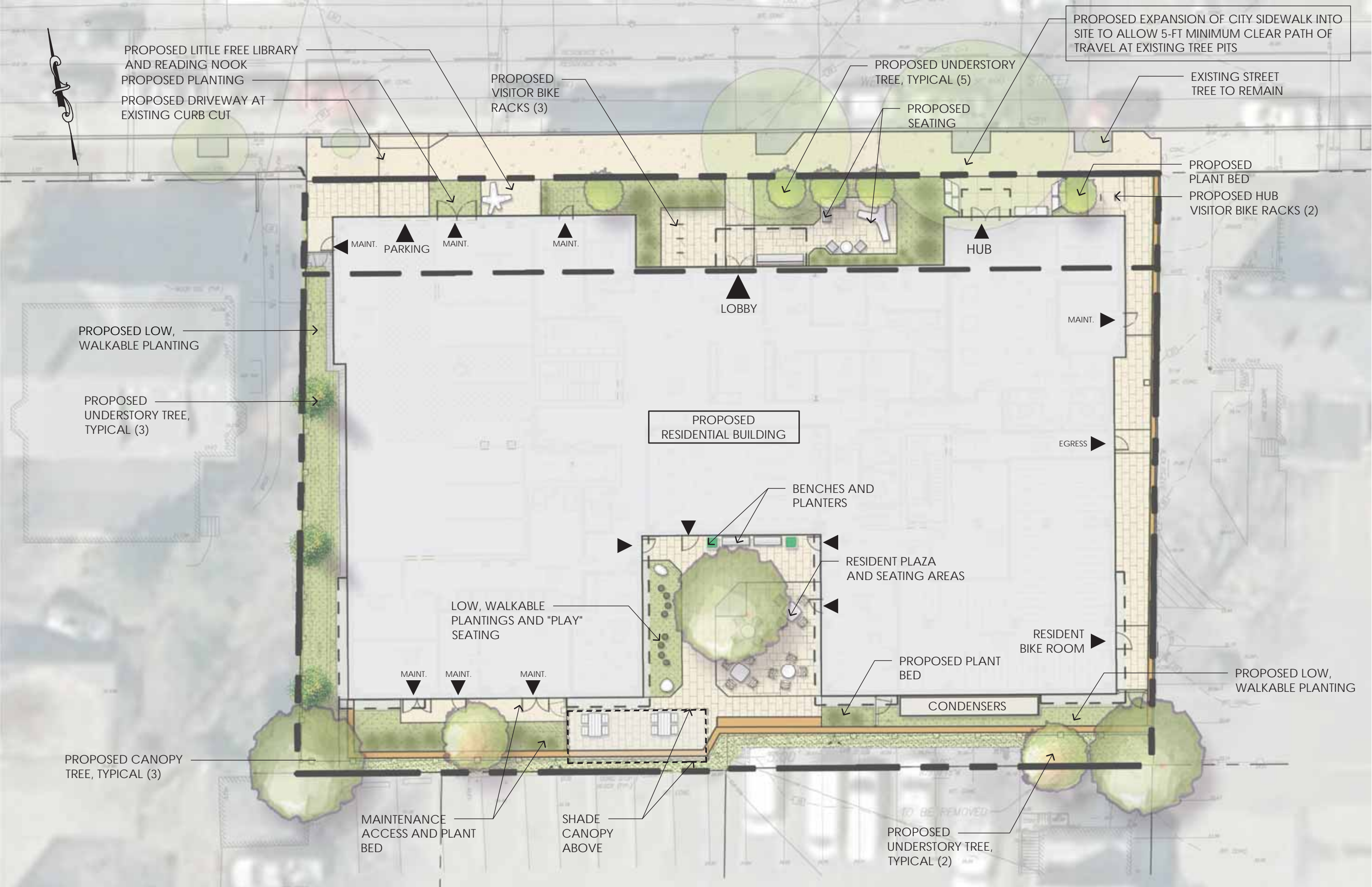




**PROPOSED SITE CONDITIONS**

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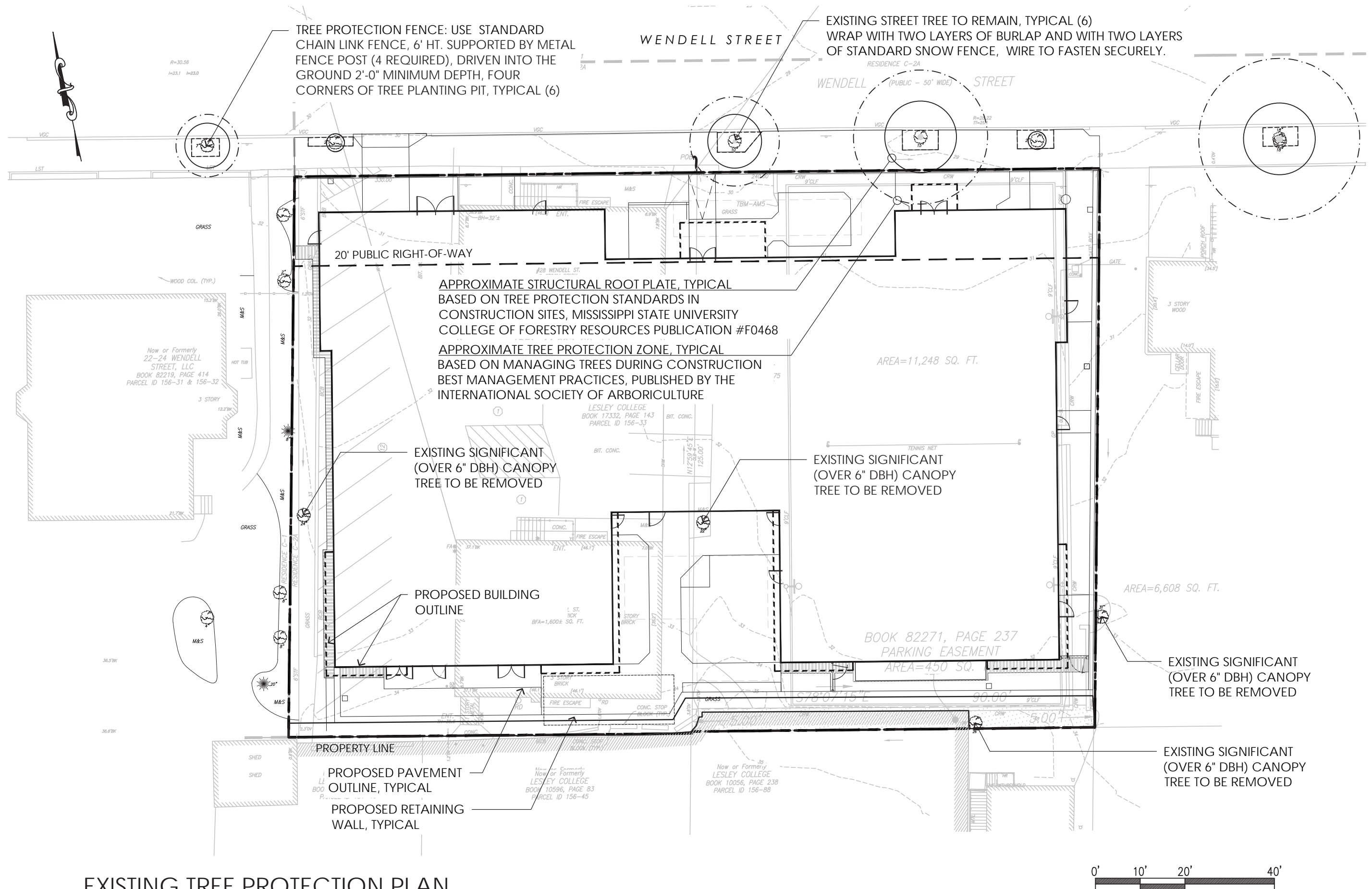




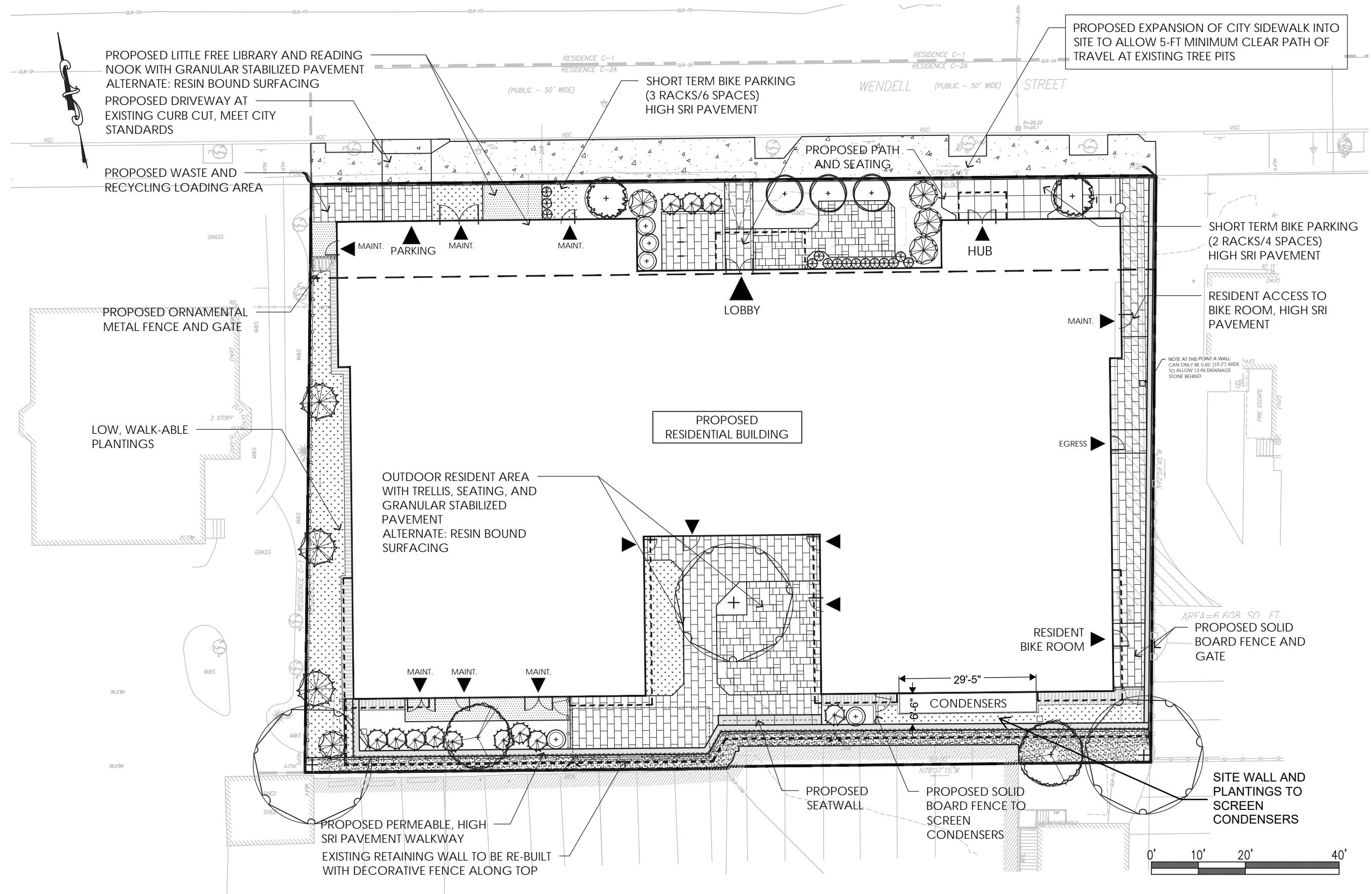






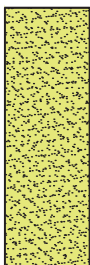

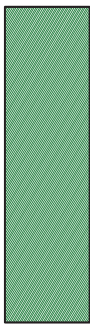






## SITE MATERIALS PLAN



Trees & Plantings Legend								
TYPE	SIZE	COLOR	Qty / Outside 20' of Street		Qty / Within 20' of Street	TOTAL QUANTITY	BOTANICAL NAME	COMMON NAME
			South	West	North			
TREES								
A6.1	8-15' Canopy		-	-	2	2	<i>Carpinus caroliniana</i>	American Hornbeam
A6.2			2	-	-	2	<i>Cercis canadensis</i>	Eastern Redbud
A6.3			-	-	2	2	<i>Hamamelis virginiana</i>	Common Witchhazel
A6.4			-	3	-	3	<i>Taxus cuspidata</i> 'Capitata'	Upright Japanese Yew
A7.1	25'+ Canopy		1	-	-	1	<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust
A7.2			1	-	-	1	<i>Nyssa sylvatica</i>	Sweetgum
A7.3			1	-	-	1	<i>Quercus palustris</i>	Pin Oak
LOW, WALKABLE PLANTINGS								
B1	Minimum 8" soil depth, includes sod or seeded tall grasses.		689 SF	0 SF	0 SF	689 SF	Lolium perenne (30%)	Perennial Ryegrass
							Festuca rubra (35%)	Chewings Fescue
							Poa pratensis (30%)	Kentucky Bluegrass
							Northeast Native Grass Seed Mix (5%) Including similar or equal to: <i>Elymus virginicus</i> , <i>Elymus canadensis</i> , <i>Schizachyrium scoparium</i> , <i>Sorghastrum nutans</i> , <i>Panicum virgatum</i>	
		135 SF	225 SF	0 SF	360 SF	<i>Carex pensylvanica</i>	Pennsylvania Sedge	
		135 SF	225 SF	0 SF	360 SF	<i>Carex plantaginea</i>	Plantain-leaf sedge	
		135 SF	225 SF	0 SF	360 SF	Northeast Native Grass Seed Mix Including similar or equal to: <i>Elymus virginicus</i> , <i>Elymus canadensis</i> , <i>Schizachyrium scoparium</i> , <i>Sorghastrum nutans</i> , <i>Panicum virgatum</i>	Virginia Wildrye, Canada Wildrye, Little Bluestem 'Camper', Indiangrass 'Tomahawk', Switchgrass 'Dacotah'	
SHRUBS, GRASSES, PERENNIALS AND GROUNDCOVER								
B2	Minimum 12" soil depth, anticipated plant height at maturity under 2' tall		60	6	63	129	<i>Arctostaphylos uva-ursi</i>	Bearberry
			81	-	93	174	<i>Carex plantaginea</i>	Plantain-leaf sedge
			-	-	120	120	<i>Heuchera americana</i>	American Alumroot
			-	-	120	120	<i>Polystichum acrostichoides</i>	Christmas Fern
			6	6	-	12	<i>Rudbeckia fulgida</i> 'City Garden'	City Garden Coneflower
B3	Minimum 18" soil depth, anticipated plant height at maturity over 2' tall		9	-	3	12	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry
			-	-	3	3	<i>Itea virginica</i>	Sweetspire
			1	-	3	4	<i>Kalmia latifolia</i>	Mountain Laurel
			6	6	-	12	<i>Panicum virgatum</i>	Switchgrass
			2	-	3	5	<i>Viburnum d.</i> 'Christom'	Blue Muffin Viburnum
			3	3	-	6	<i>Achillea millefolium</i>	Yarrow
			3	3	-	6	<i>Comptonia peregrina</i>	Sweetfern
			60	6	63	129	<i>Dennstaedtia punctilobula</i>	Hay-Scented Fern
			9	9	120	138	<i>Liatris spicata</i> 'Kobold'	Blazingstar
			3	5	-	8	<i>Penstemon digitalis</i>	Foxglove Beardtongue



NATIVE & NATURALIZED TREES & SHRUBS TOLERANT OF  
SHADE, DROUGHT, URBAN STRESS, ROAD SALT

*Amelanchier canadensis*



*Hamamelis virginiana*



Source: Mt. Cuba Center

*Clethra alnifolia*



*Itea virginica*

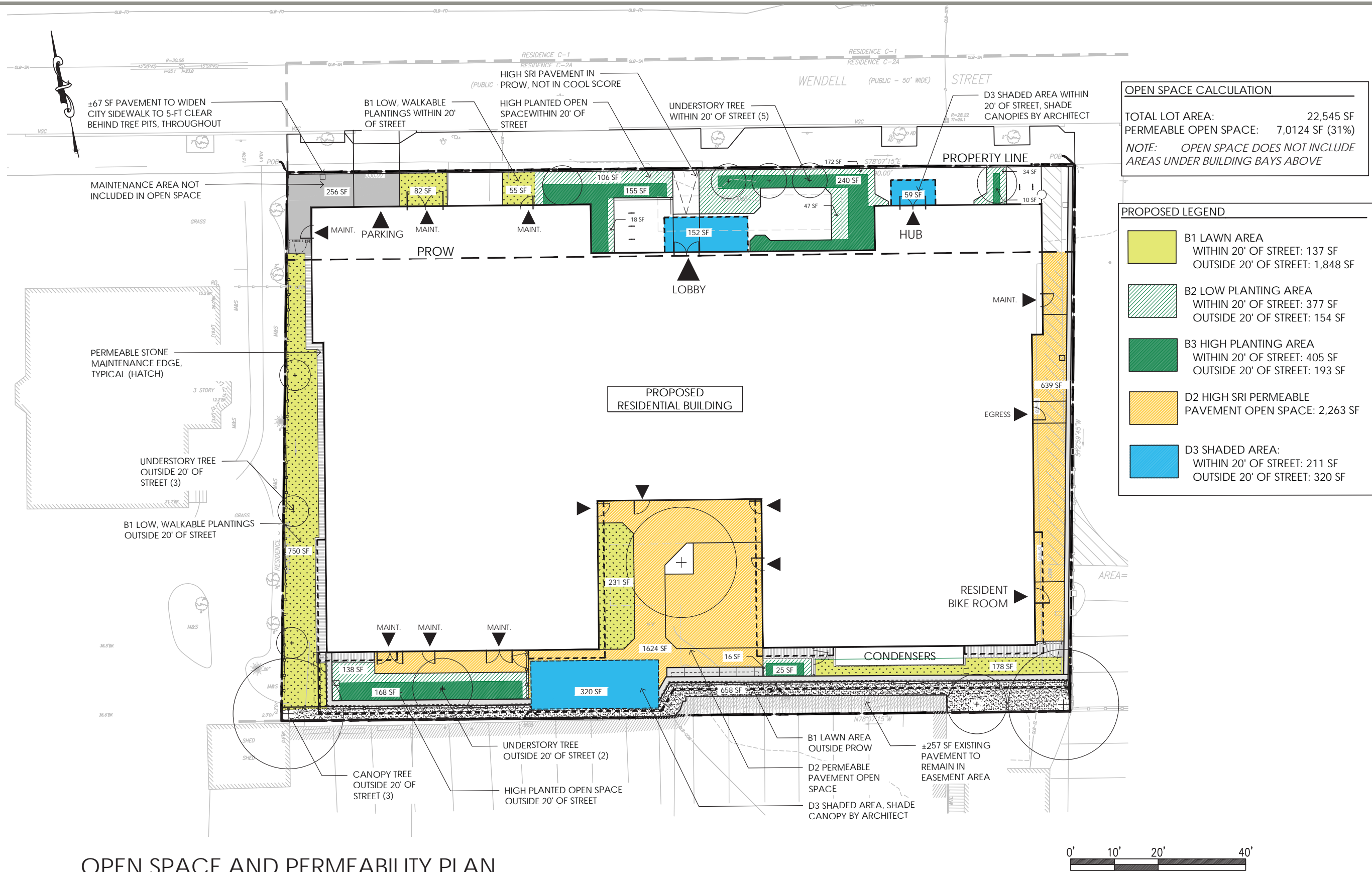


*Kalmia latifolia*



STREETSCAPE

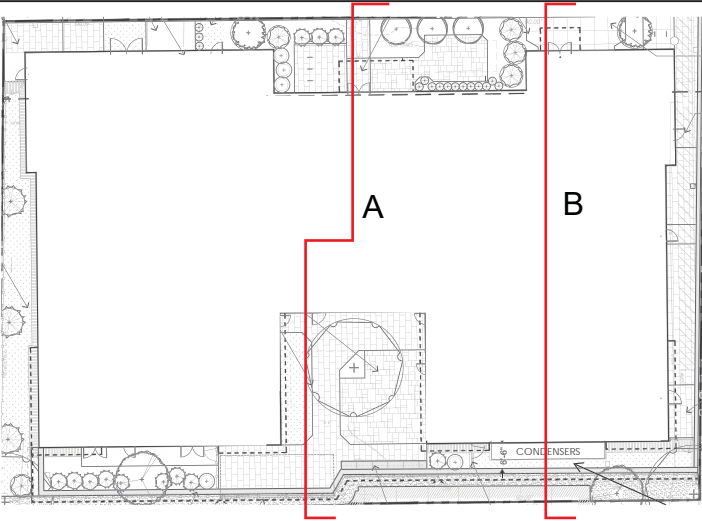
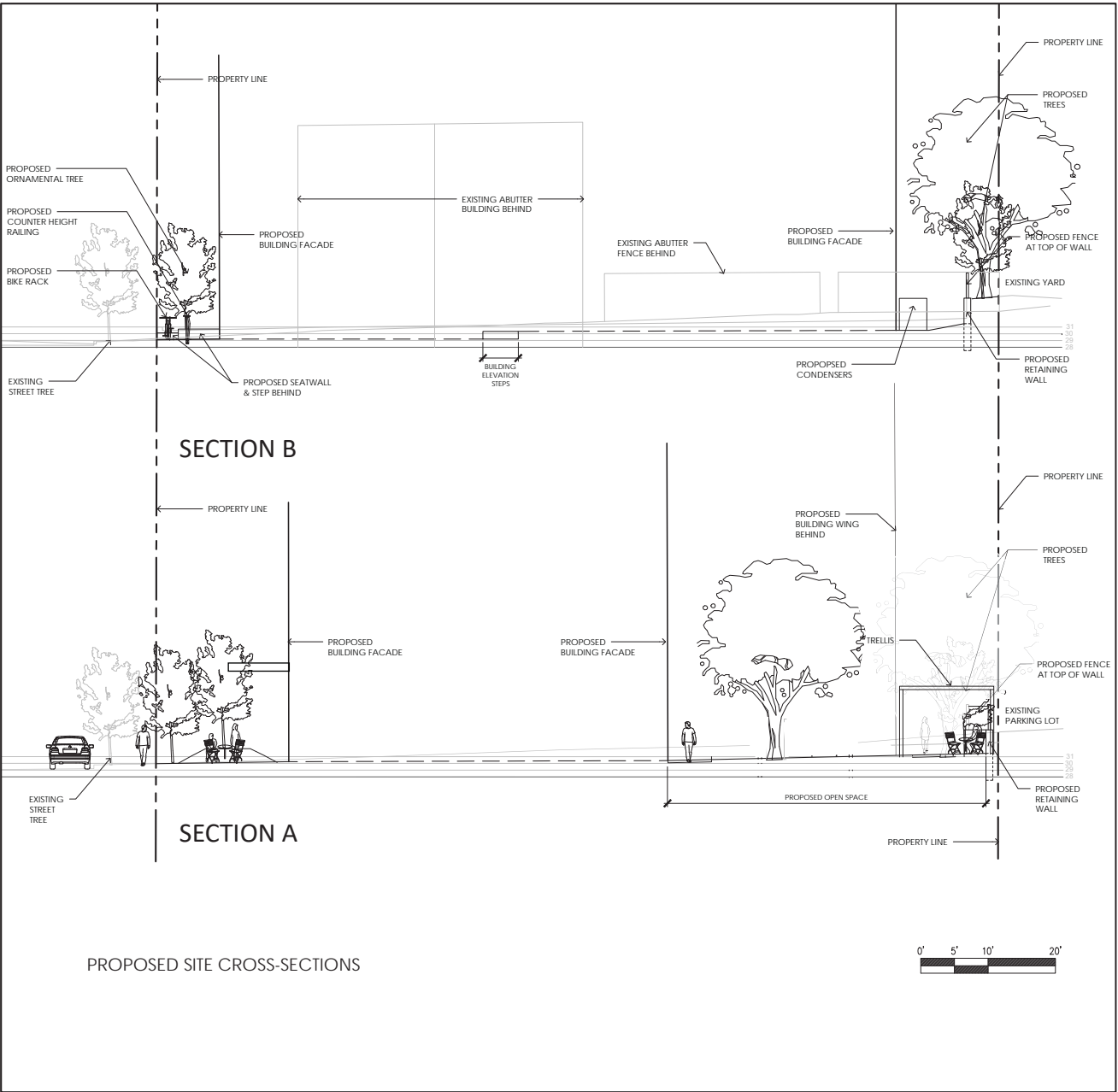
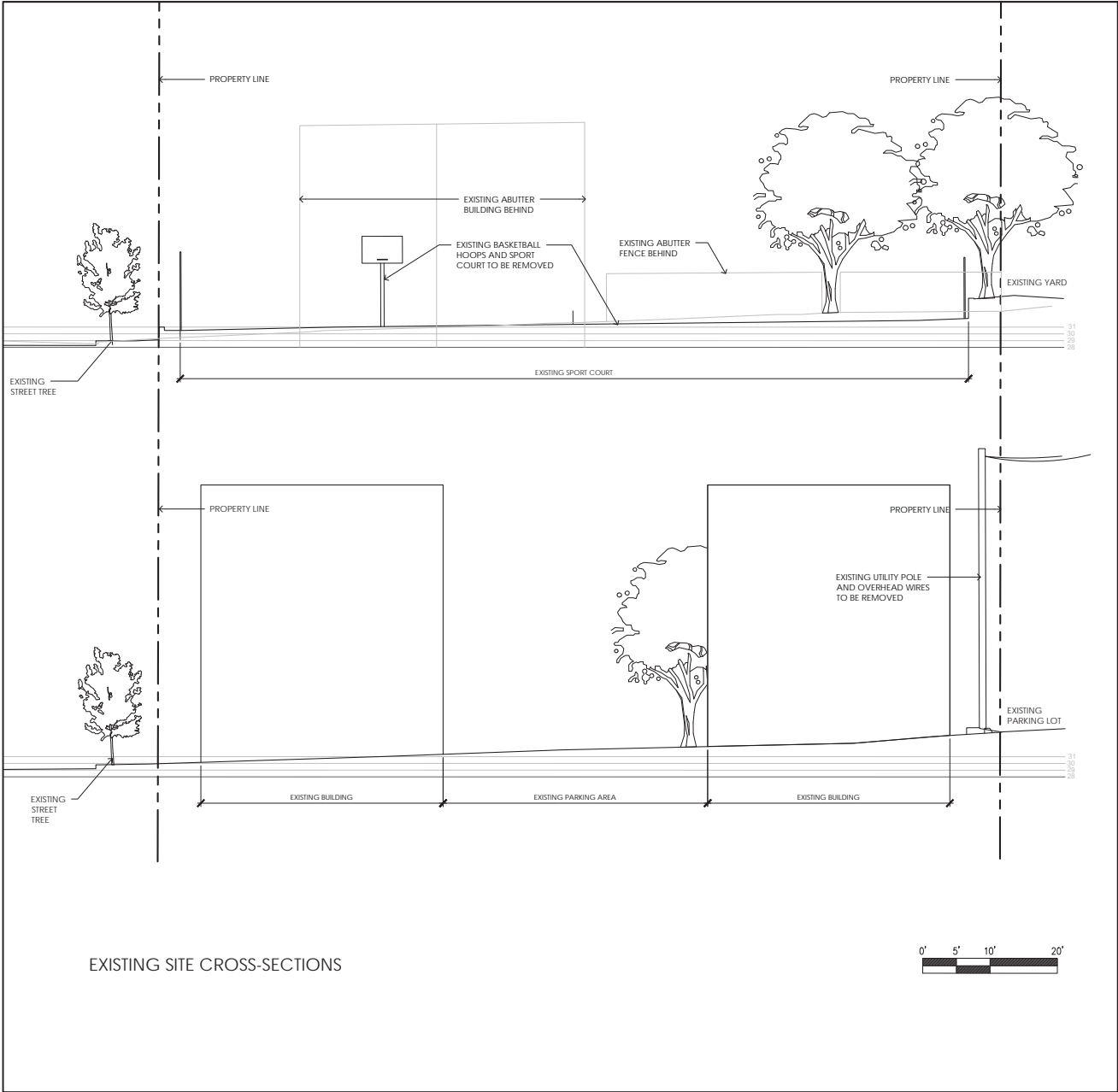










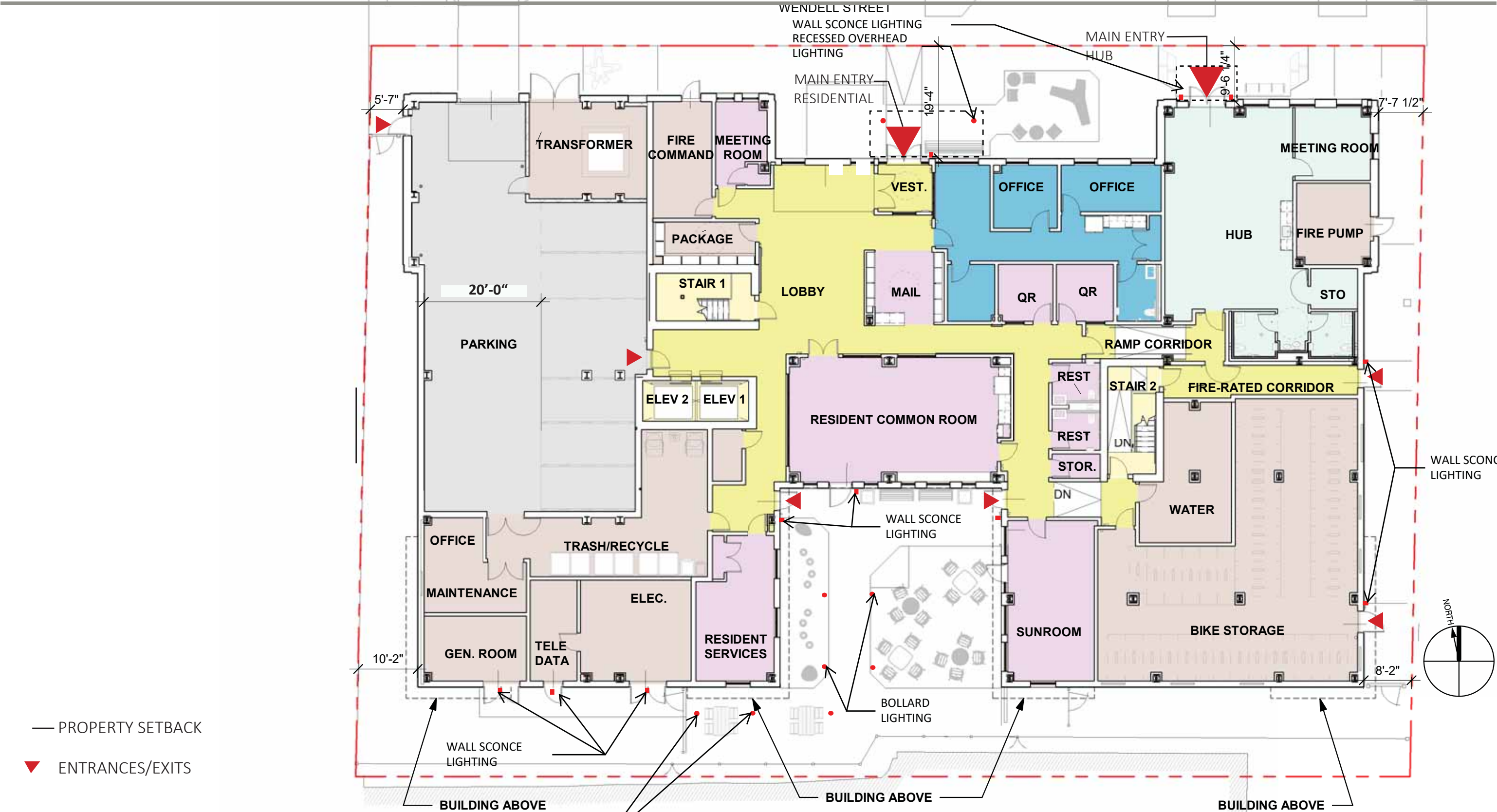




**FLOOR PLANS**

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28 & 30 WENDELL ST

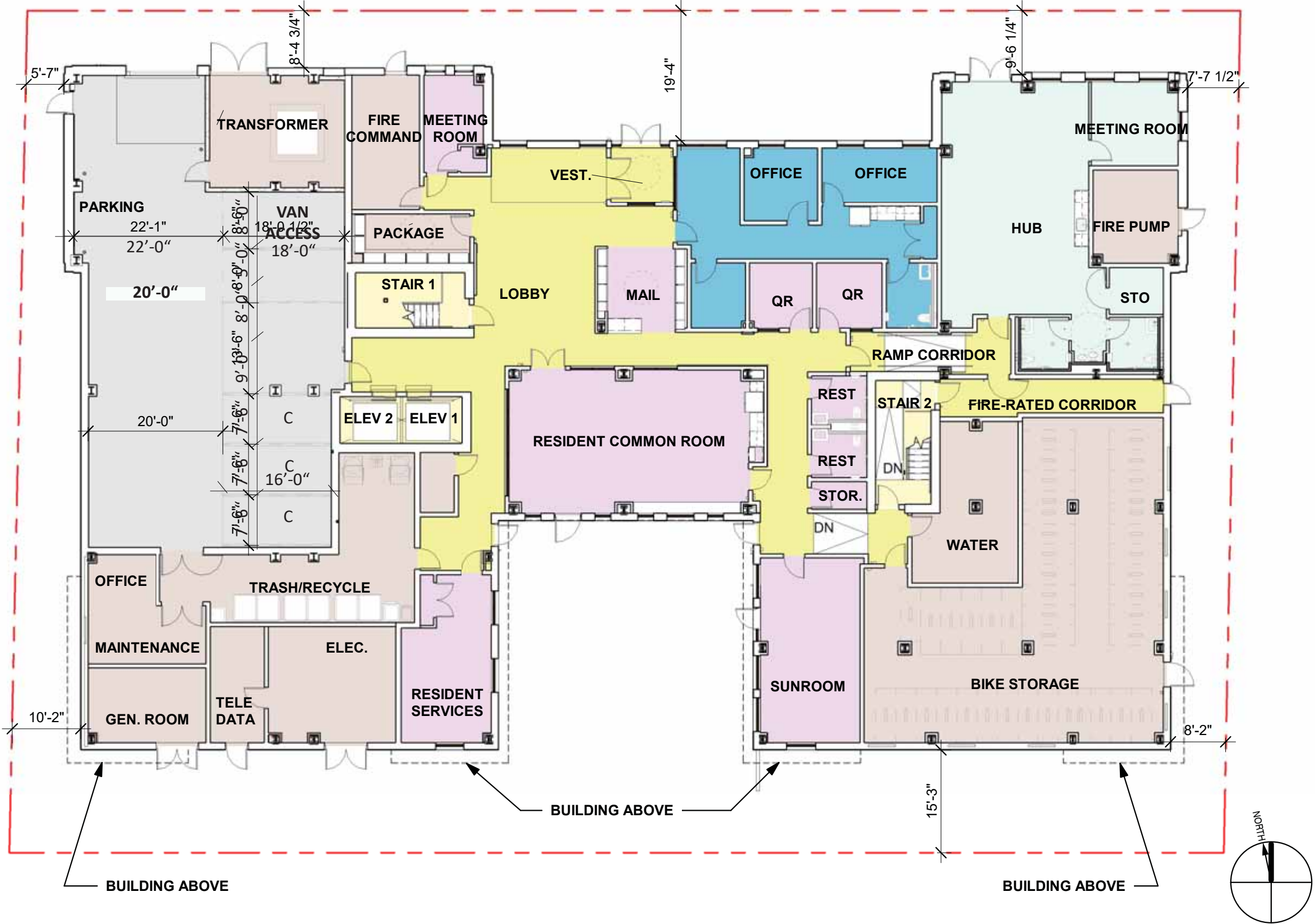
HOMEOWNER'S REHAB, INC.

10/08/2025 SCALE: 1/16" = 1'-0"

LEVEL 1 + SITE PLAN

AHO-100





28 & 30 WENDELL ST

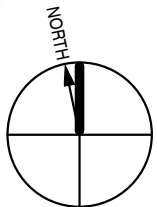
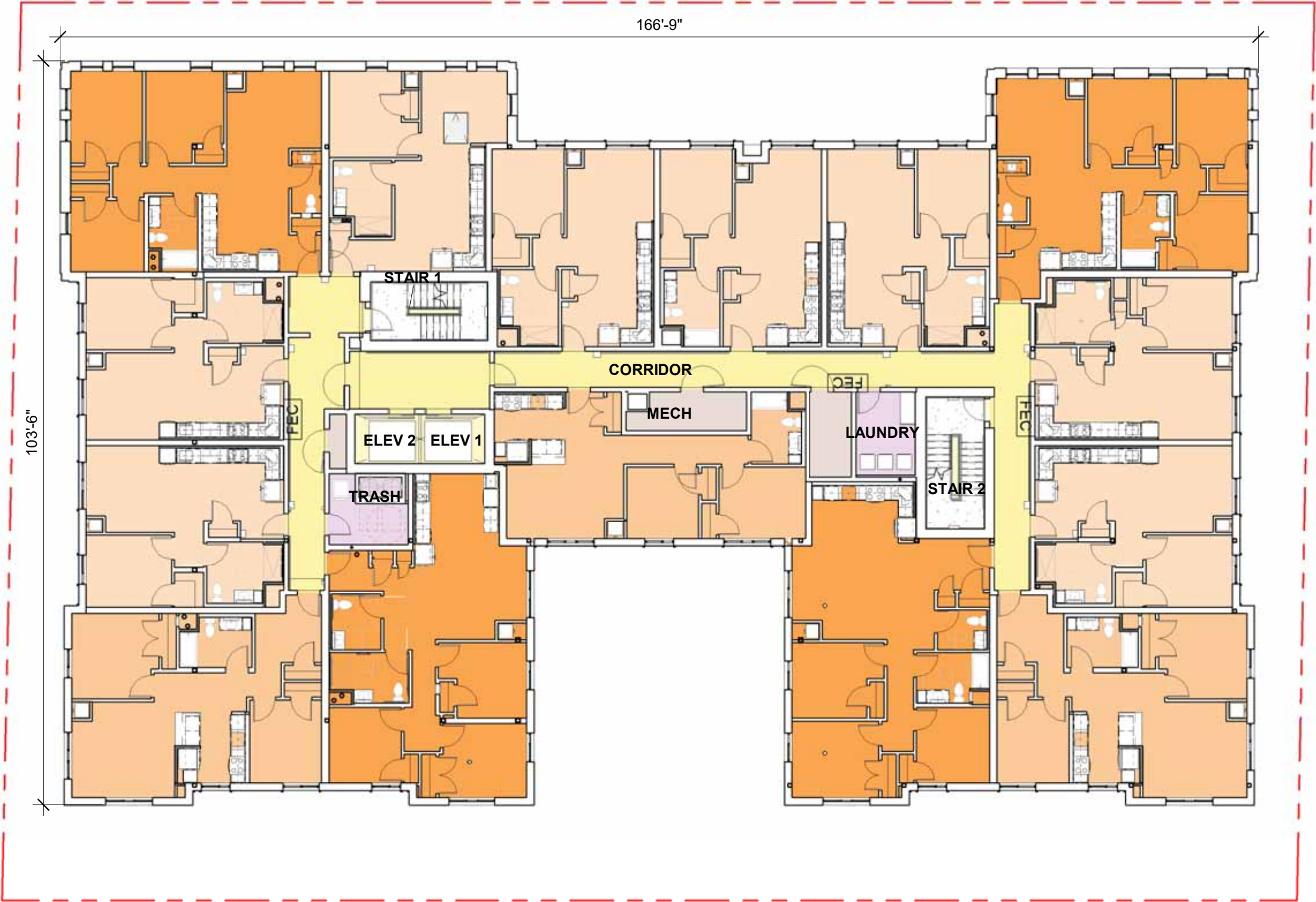
HOMEOWNER'S REHAB, INC.

10/08/2025 SCALE: 1/16" = 1'-0"

LEVEL 1 FLOOR PLAN

AHO-101





28 & 30 WENDELL ST

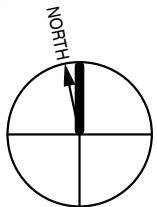
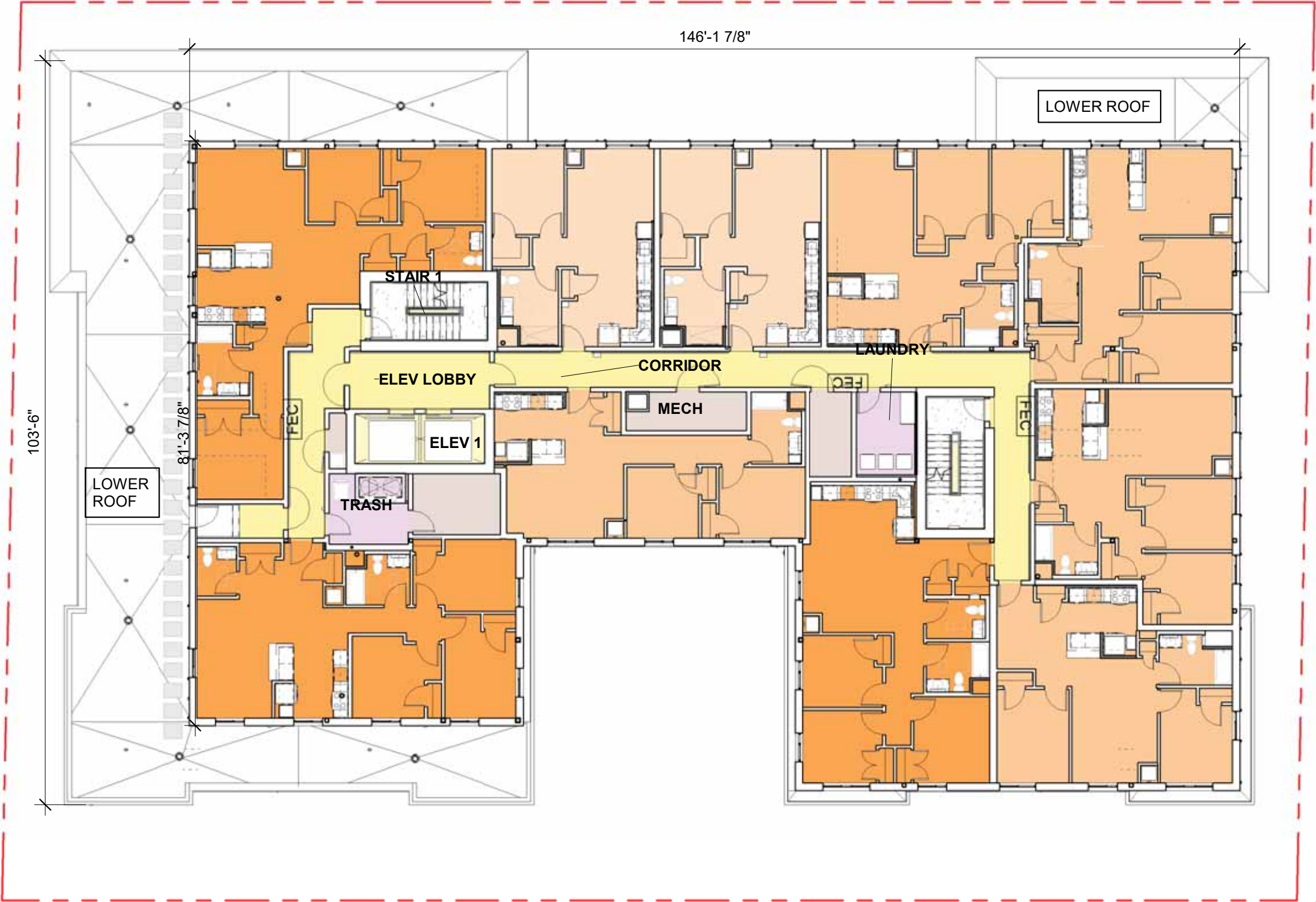
HOMEOWNER'S REHAB, INC.

10/08/2025 SCALE: 1/16" = 1'-0"

LEVEL 2-6 FLOOR PLAN

AHO-102





28 & 30 WENDELL ST

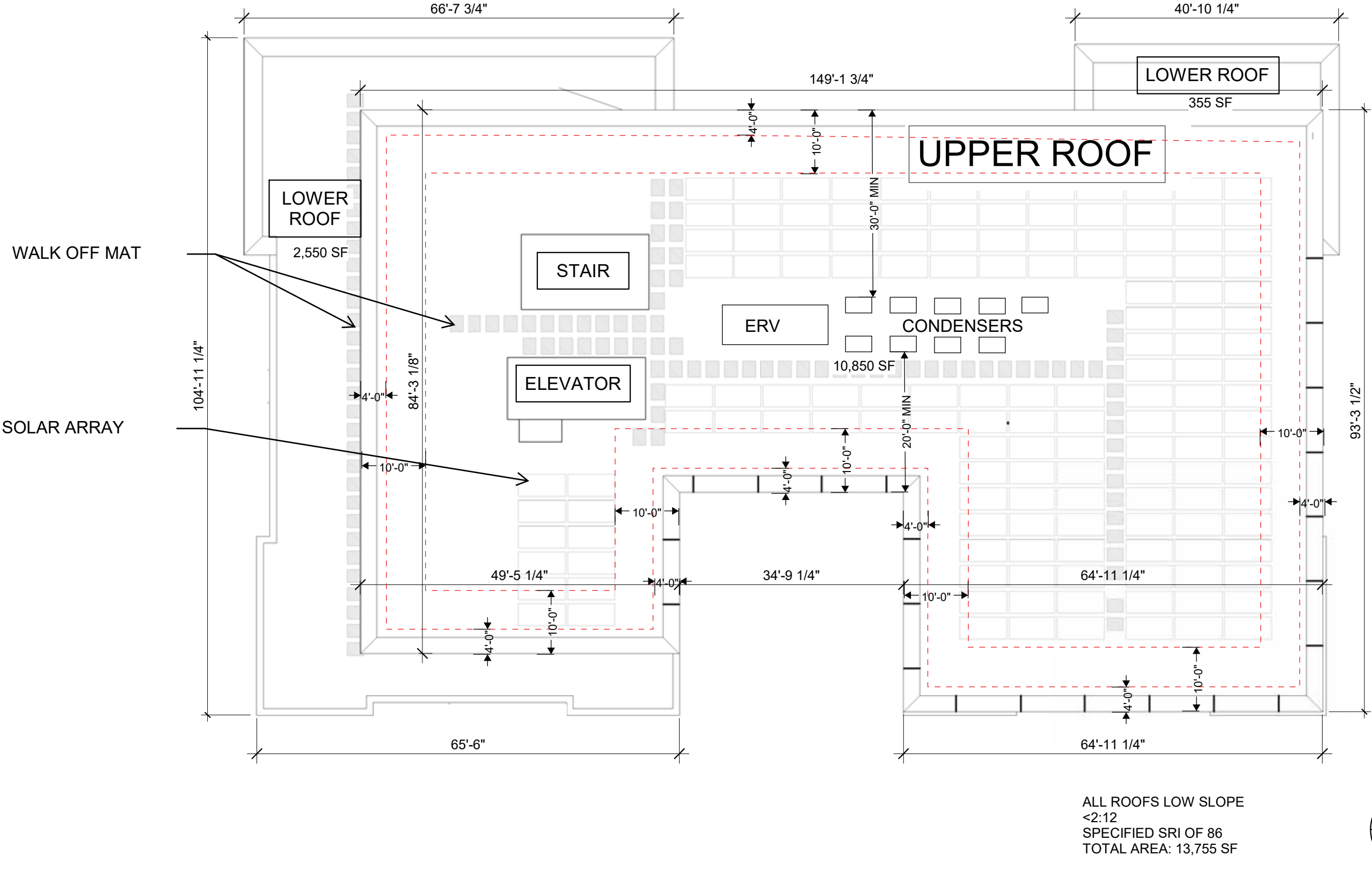
HOMEOWNER'S REHAB, INC.

10/08/2025 SCALE: 1/16" = 1'-0"

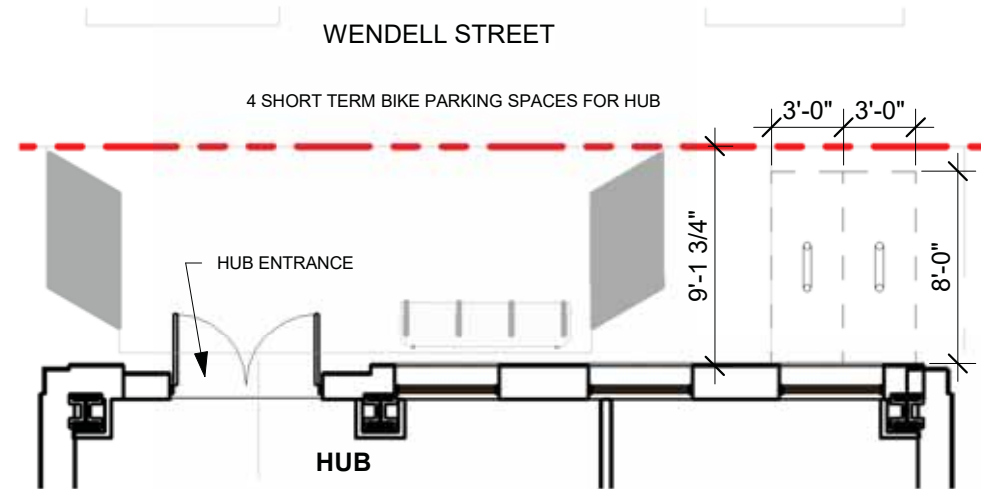
LEVEL 7-8 FLOOR PLAN

AHO-103

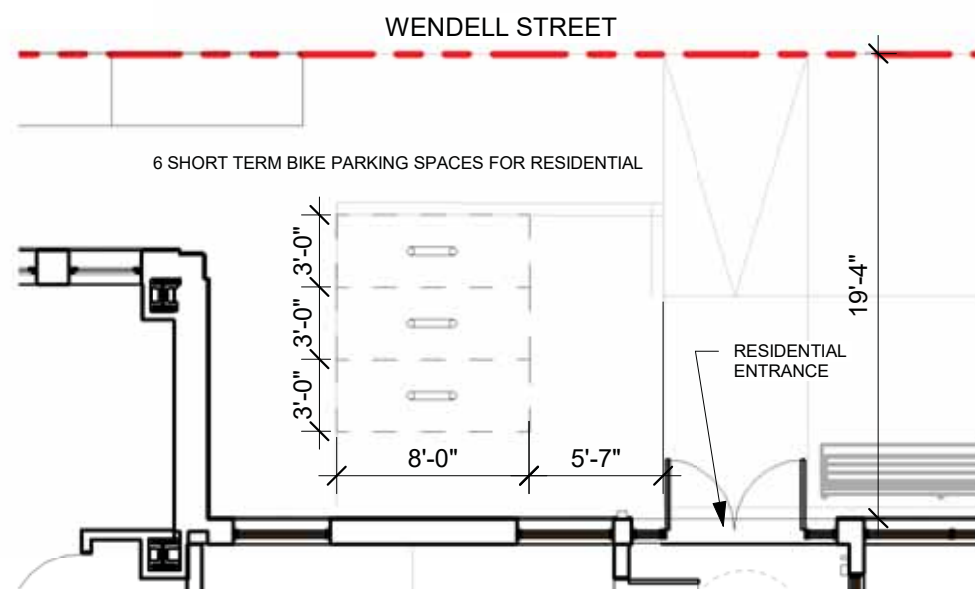




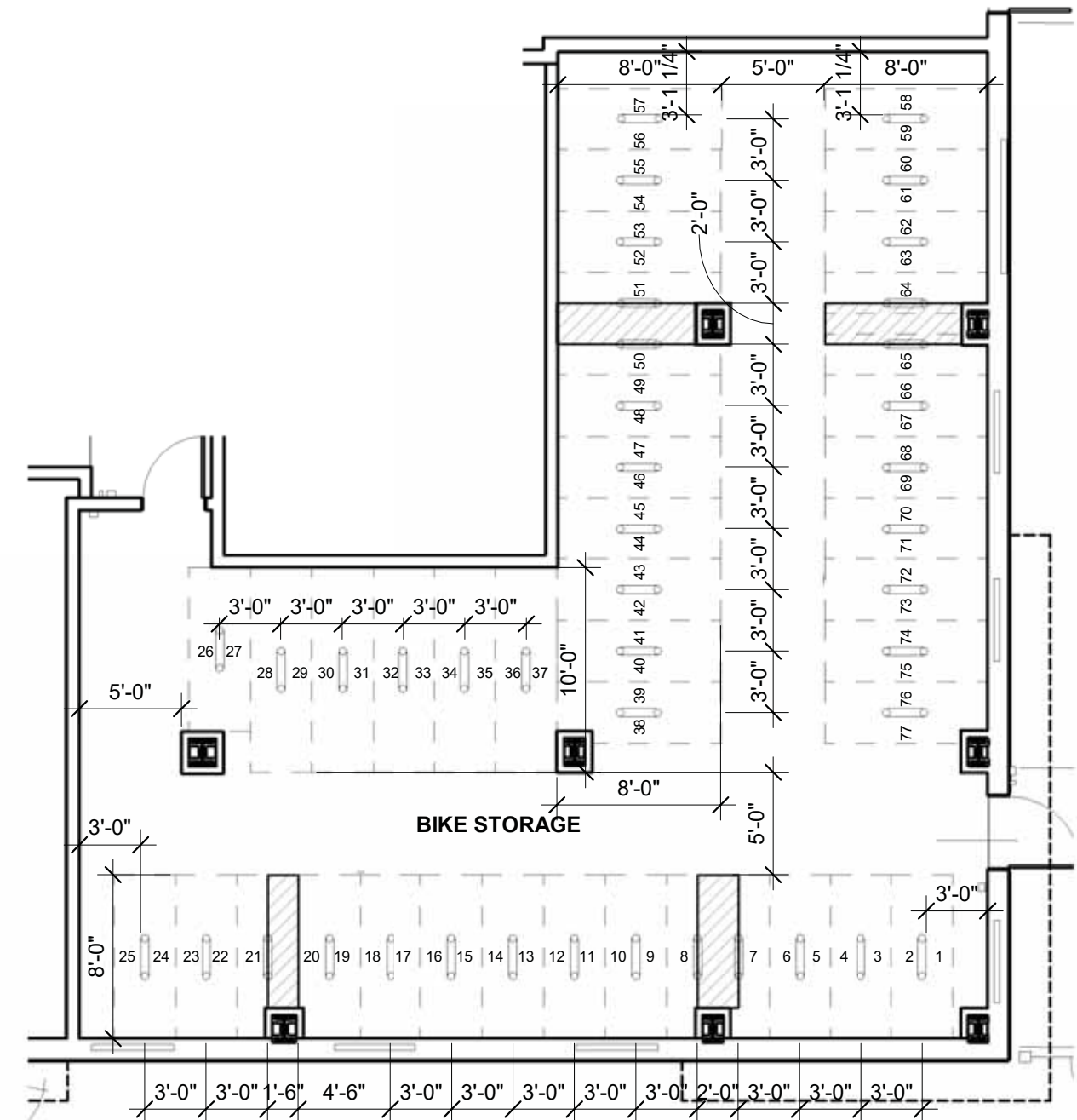




3 ENLARGED SHORT TERM BIKE PARK- HUB  
1/8" = 1'-0"



2 ENLARGED SHORT TERM BIKE PARK- RESIDENTIAL  
1/8" = 1'-0"



1 ENLARGED LONG TERM BIKE PARKING - RESIDENTIAL  
1/8" = 1'-0"

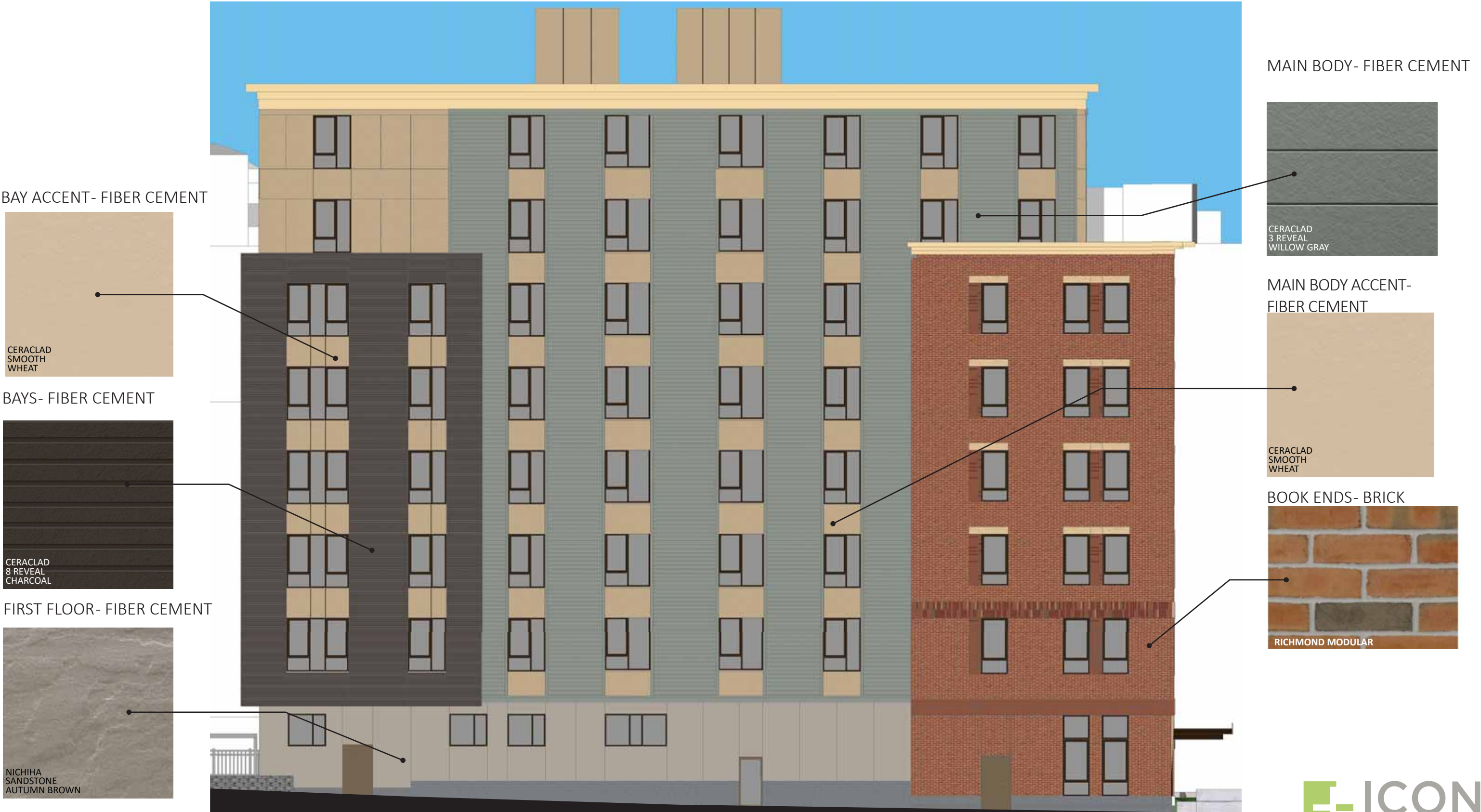


**MATERIALITY**

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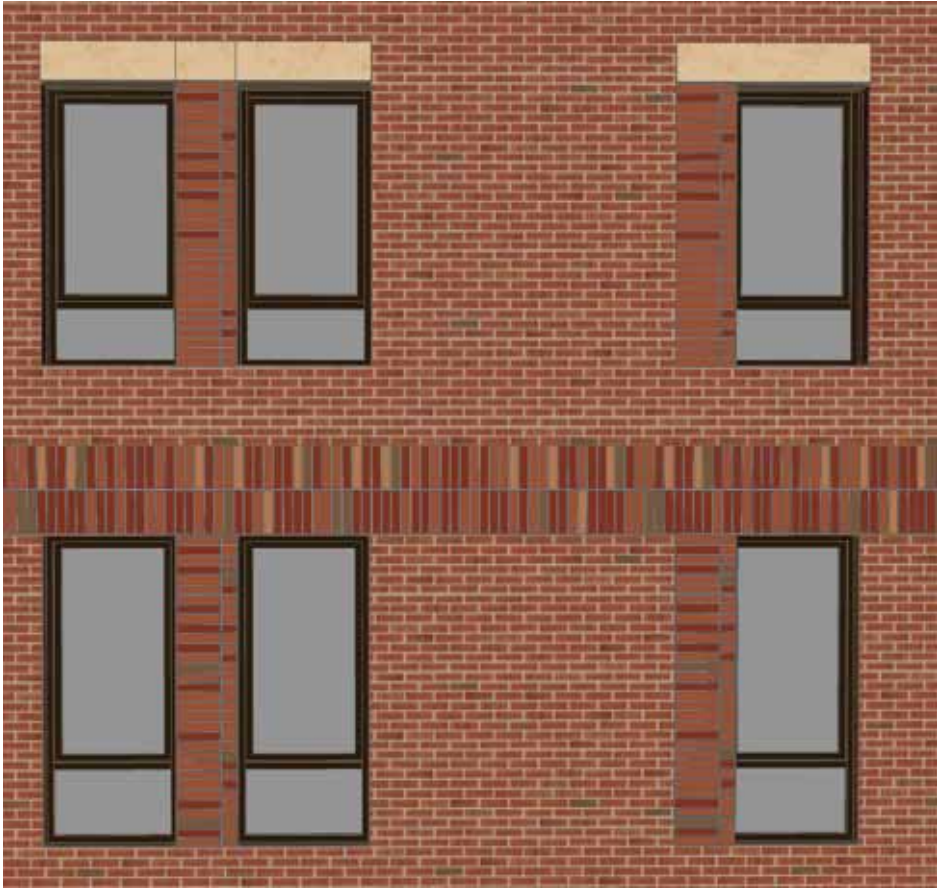


EAST ELEVATION

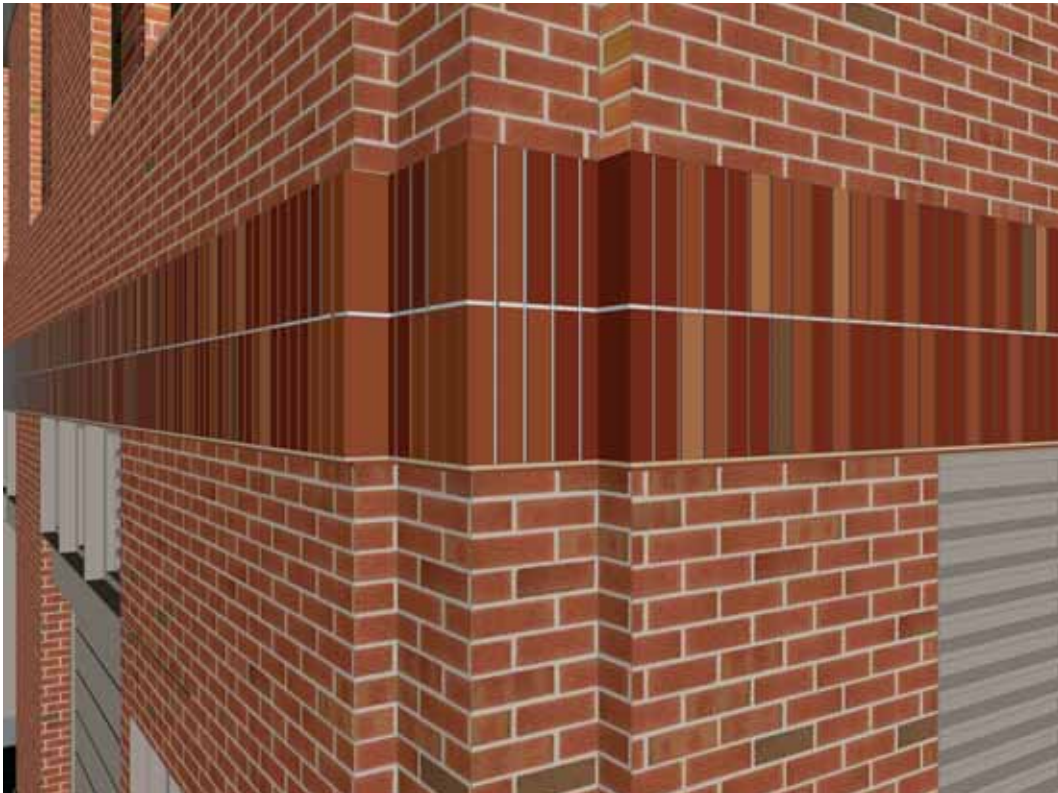




BRICK DETAILING



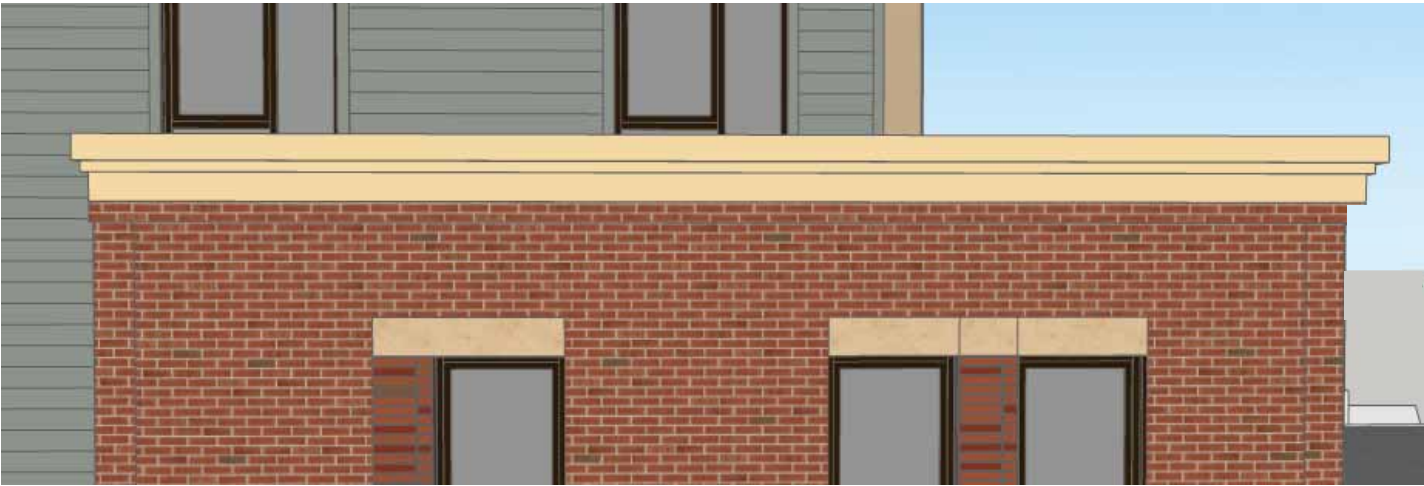
DETAILING AT WINDOWS IN BRICK



DETAILING AT BRICK CORNERS



CORNICE AT CORNER



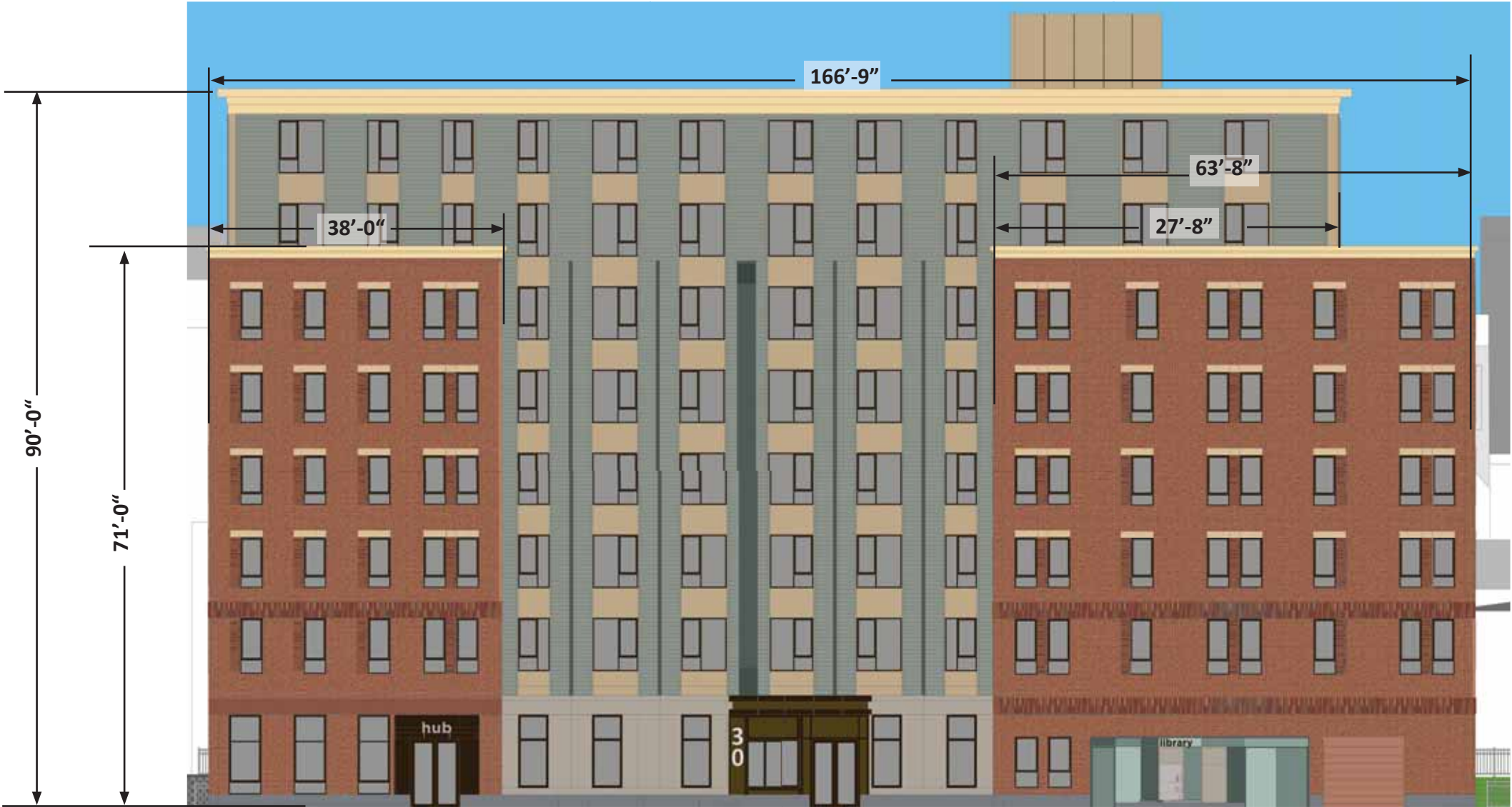
CORNICE PROFILE AT BRICK



**ELEVATIONS & SECTIONS**

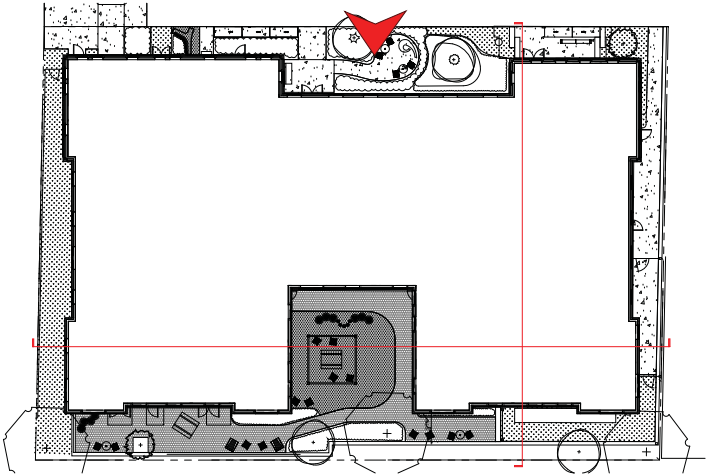
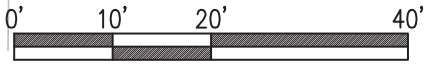
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PREVIOUS SUBMISSION

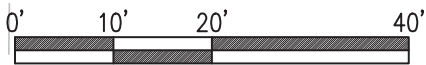
WENDELL STREET / NORTH ELEVATION



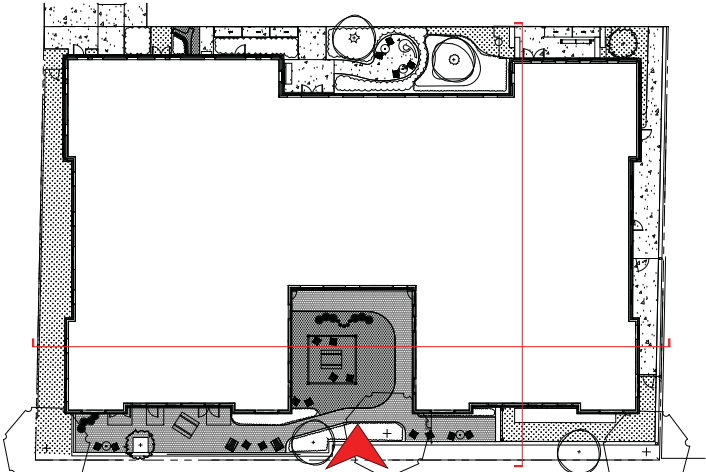




REAR OF BUILDING / SOUTH ELEVATION



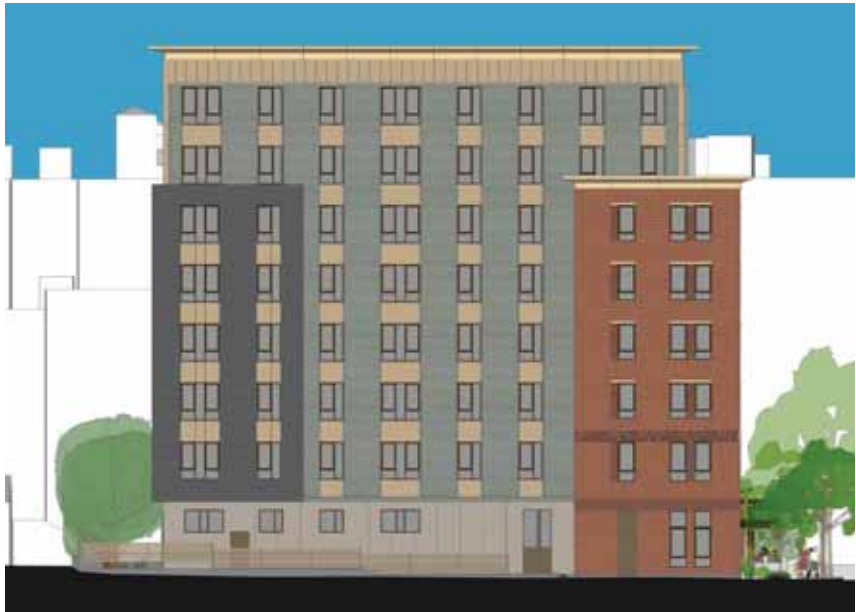
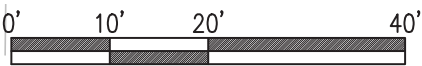
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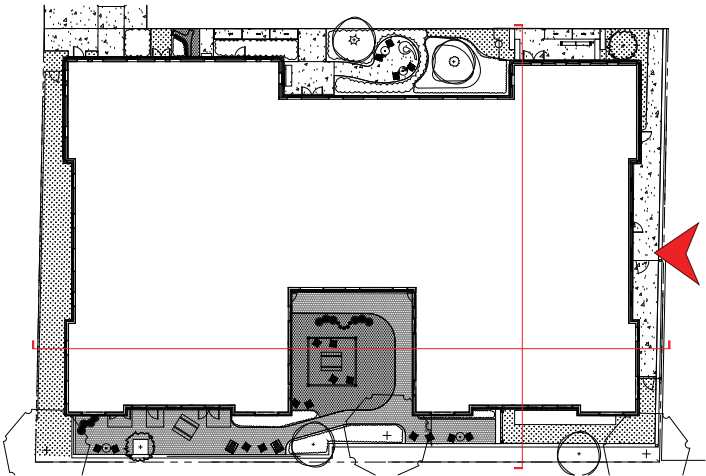




SIDE OF BUILDING / EAST ELEVATION



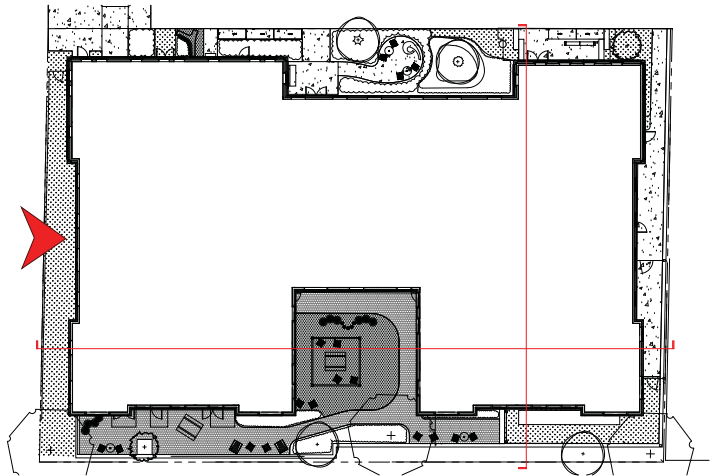
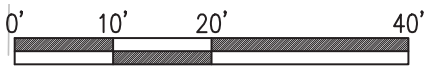
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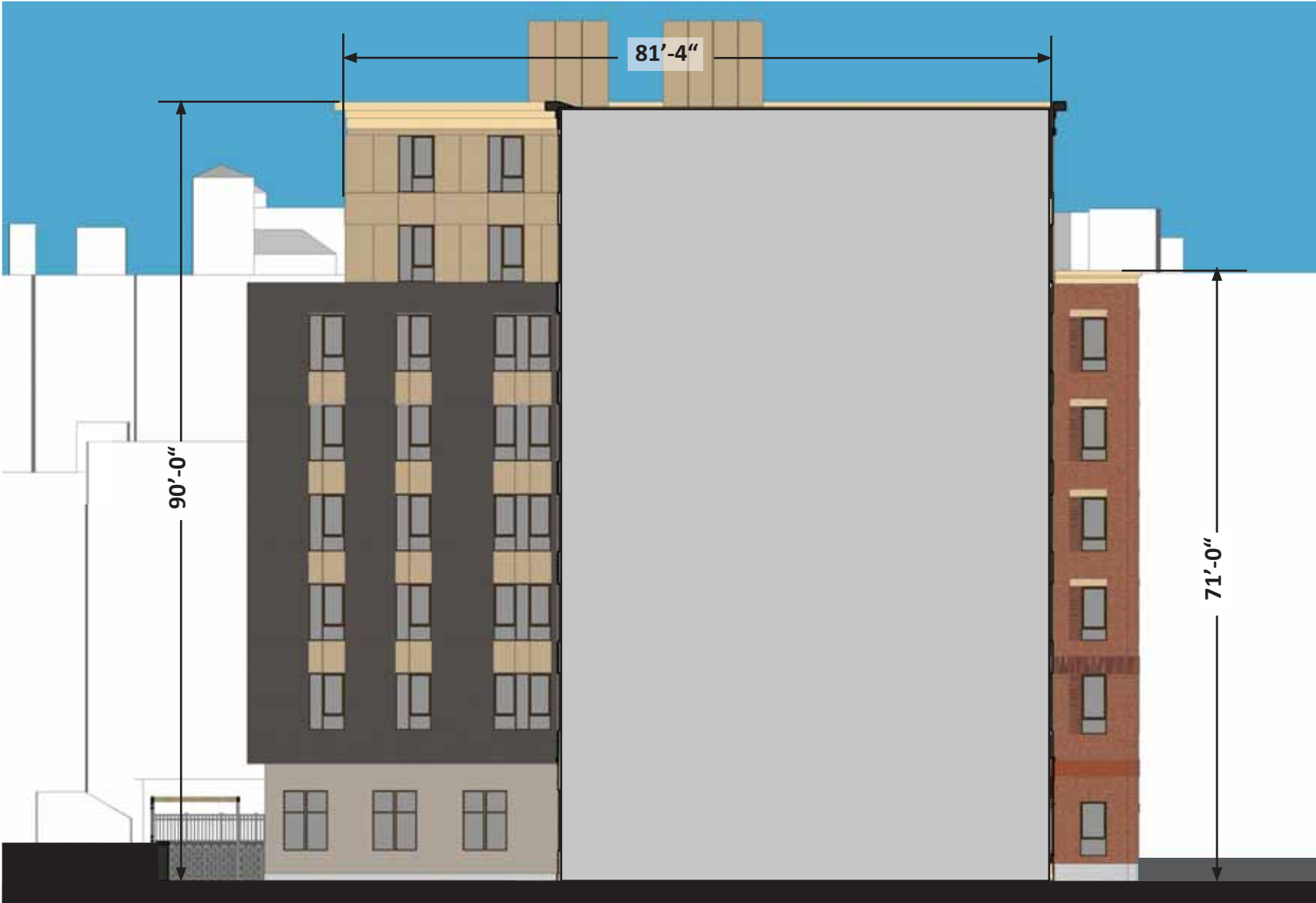


SIDE OF BUILDING / WEST ELEVATION

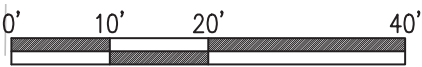


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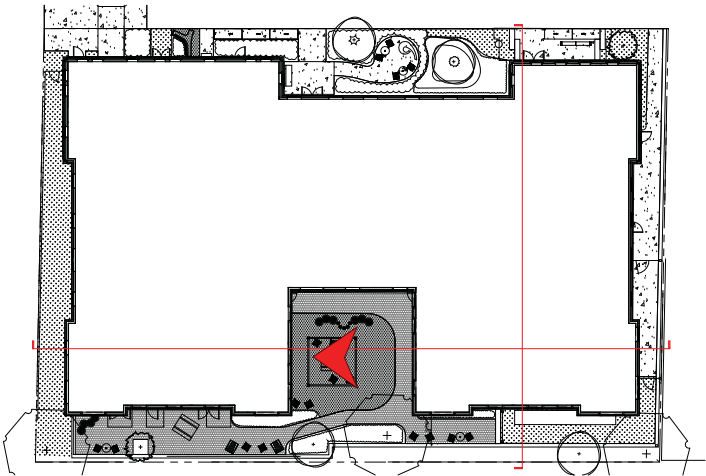




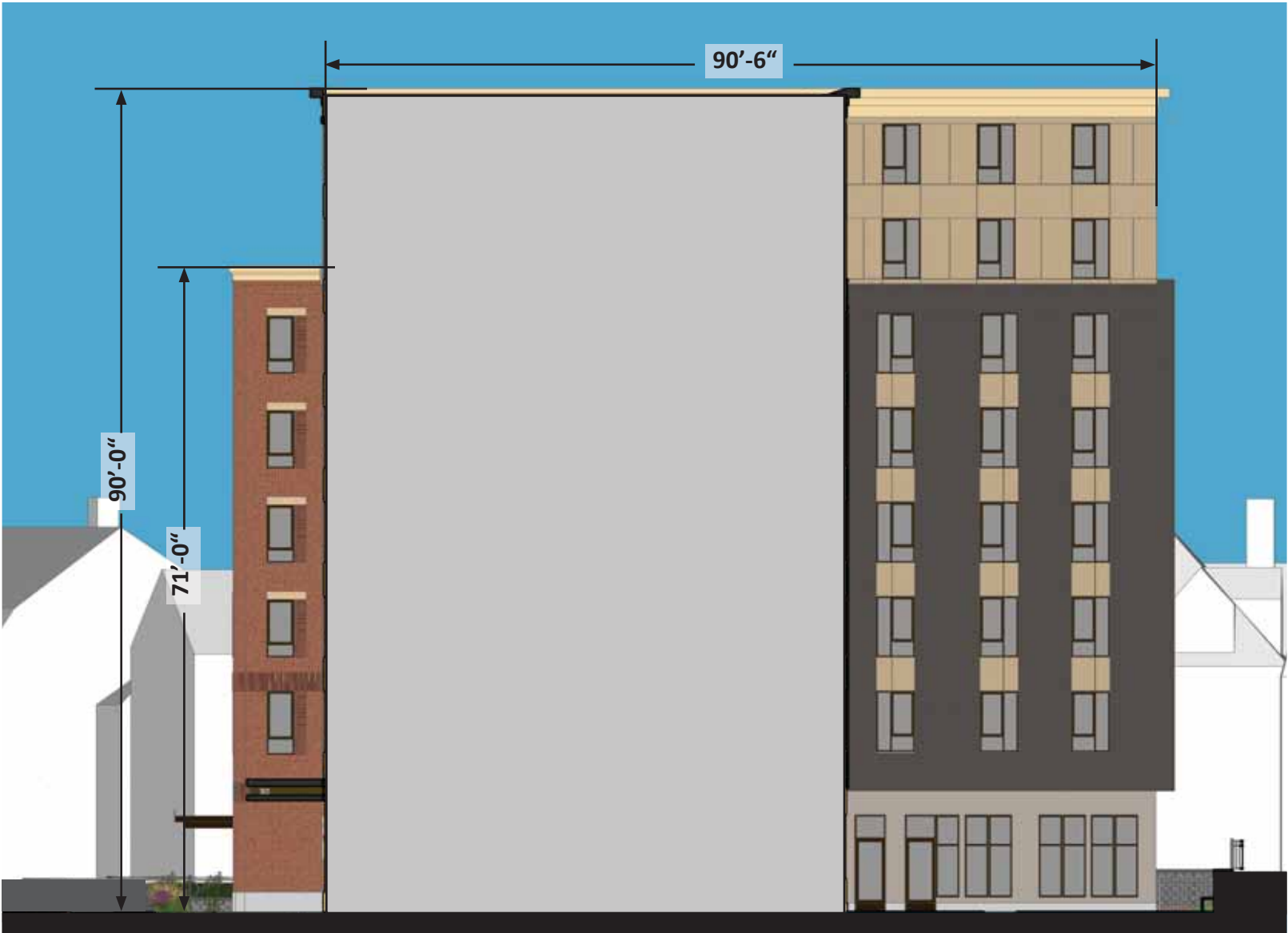
COURTYARD / EAST ELEVATION



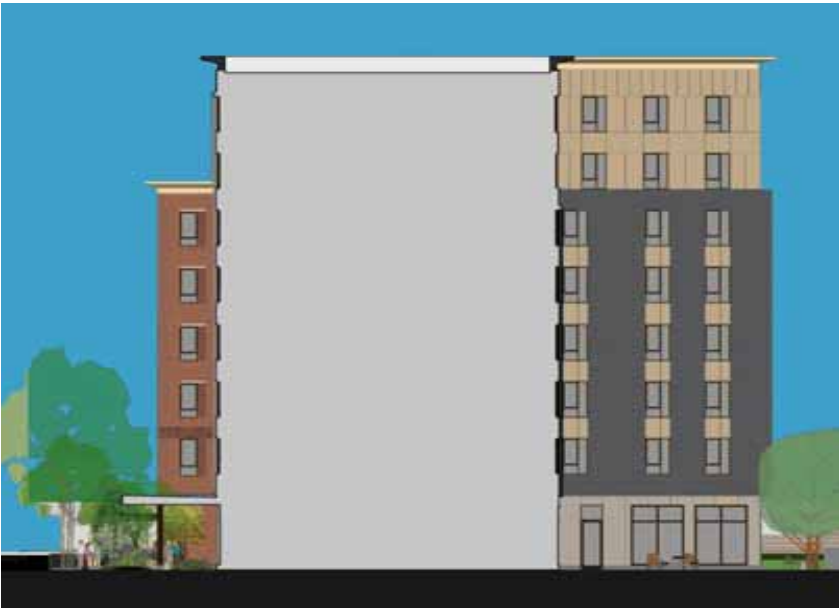
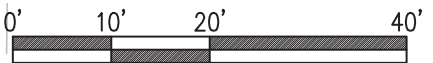
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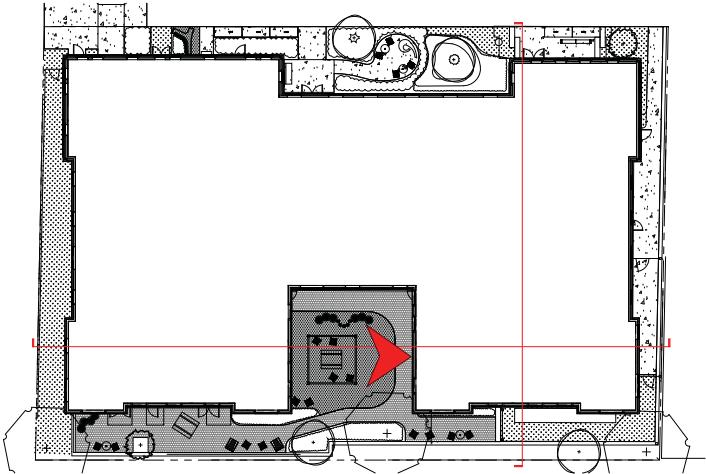




COURTYARD / WEST ELEVATION



PREVIOUS SUBMISSION







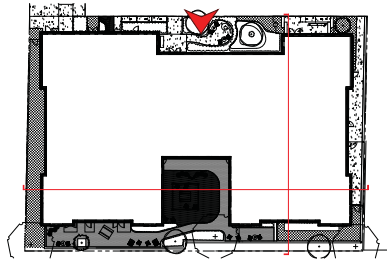
WENDELL STREET / NORTH ELEVATION



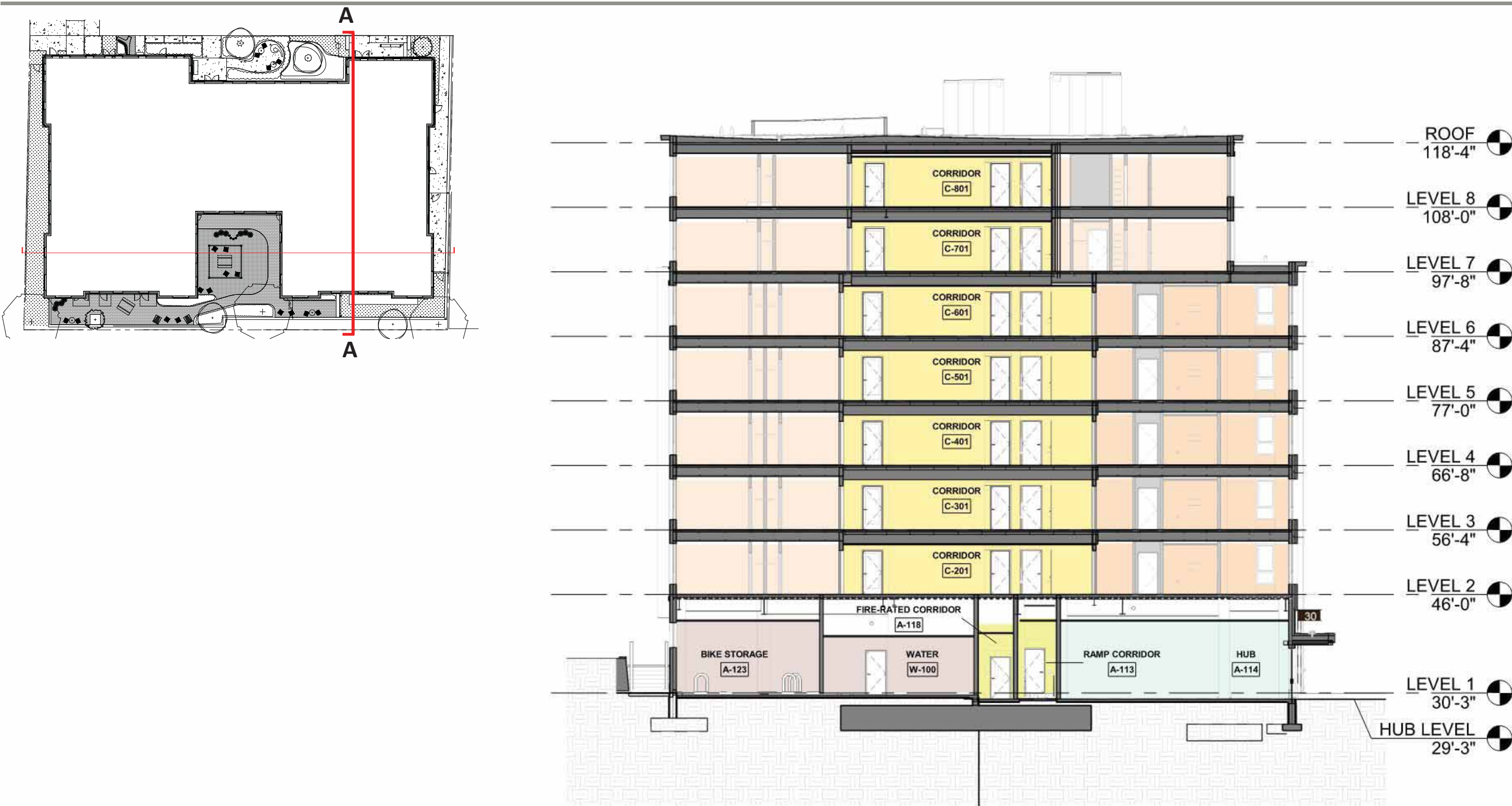
PREVIOUS SUBMISSION



WENDELL STREET SITE SECTION / NORTH ELEVATION







28 & 30 WENDELL ST

HOMEOWNER'S REHAB, INC.

10/01/2025 SCALE: 1/16" = 1'-0"

SECTION A

AHO-106





28 & 30 WENDELL ST

HOMEOWNER'S REHAB, INC.

10/01/2025

SCALE: 1/16" = 1'-0"

SECTION B

AHO-107



**PROPOSED PERSPECTIVES**

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PREVIOUS SUBMISSION



CURRENT SUBMISSION







PREVIOUS SUBMISSION



CURRENT SUBMISSION





SHADOW STUDIES

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