

REDEVELOPMENT OF 1740 MASS AVE

CAMBRIDGE, MA 02138
RES. C-1 AND MAS-12A DISTRICTS

PETER QUINN ARCHITECTS
ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989



CONSULTANT
**PLANNING BOARD
ADVISORY
PRESENTATION
No. 3**

1

PROJECT
**1740
MASS AVE**

1740 MASS AVE,
CAMBRIDGE, MA 02138

PREPARED FOR
**OLD NORTH
DEVELOPMENT
COMPANY**

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE
TITLE SHEET

SCALE AS NOTED

REVISION	DATE
PB ADVISORY REV	14 APR 2026
PB ADVISORY REV	12 MAR 2026
PB ADVISORY REV	15 JAN 2026
PB ADVISORY	14 NOV 2025
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MASS AVE ELEVATION

Revisions to the Proposal based on Incorporating Feedback from the Initial Planning Board Advisory Consultation

- The Developer attended a meeting with DOT staff to discuss the inclusion of a BlueBikes station on Linnaean Street and potential street tree repositioning. Adding bike racks in the public realm was also discussed and the discussions will be ongoing during the building permit process.
 - A pickup and drop off is not allowed in a front yard pursuant to §17.805.4.3(b). Pickup and Dropoff will occur on the street
 - The commercial corner on the southeast corner of the building fronting Mass Ave was set back with glazing added to increase visual interest and visibility of the commercial space when walking north on Mass Ave on the southbound side of the road. This modification will also allow for added southern exposure for the tenant and additional protected area for outdoor seating as well as natural light into the interior of the space. [p. 2](#)
 - The inclusion of a building mural is being studied on portions of the facade at the intersection of Mass Ave and Linnaean Street. Renderings will be provided in a follow up submission. [p. 3](#)
 - Glazing was enlarged to the maximum extent possible at the studio units along the south facing facade by reallocating glazing area from adjacent units. The glazing is constrained to 25% of the elevation area per floor due to the proximity to the lot line. [pp. 2 & 15](#)
 - Partitions were added between the residential unit balconies on both the eastern and southern facades to match the style of the proposed railings. [p. 24](#)
 - Glazing was added to the top section of the residential loading bay door to improve light and visibility. The Developer will study potentially lightening its color and the surrounding area when performing final color selections in coordination with Community Development. [pp. 5 & 17](#)
 - The elevators have been enlarged, now measuring 5' 4" wide by 7' 7" deep, with a side-opening door that allows the utilization of the full diagonal distance of 9' 3". This size exceeds zoning requirements and is planned to accommodate cargo e-bikes. [pp. 7 & 8](#)
 - We are exploring methods of safely accommodating e-bike charging including the utilization of individual charging lockers. Identified products will be reviewed by the Cambridge Fire Department.
 - The quantity of roof top condensers was reduced allowing additional solar panels. [pp. 10 & 13](#)
 - View studies were added to the submission showing minimal visibility of the roof top mechanical equipment. The Developer studied appropriate parapet heights to shield equipment from up to 450 ft. away at the ground level. This study will be ongoing through the building permit process as final layout and equipment selection takes place. [pp. 25 & 30](#)
 - Landscaping was added to the intersection of Mass Ave and Linnaean Street beneath the corner overhang and flanking the residential entry. [pp. 3 & 12](#)
 - Built in seating was added on either side of the residential entry. [pp. 3 & 12](#)
 - Added visual interest on the ground story brick. Final brick color selection will be chosen once Ceraclad colors are identified for residential facade. [pp. 14 & 17](#)
 - The western end of the Linnaean facade has been shifted in scale to provide a transition to the residential scale of the neighborhood beyond. [p. 17](#)
- For a comprehensive list of revisions, please see the Development Narrative.

PROGRAM SUMMARY

71 RESIDENTIAL UNITS
5 COMMERCIAL SPACES
75 BIKE SPACES (UNDERGROUND)

AREA SUMMARY

LOT AREA: 12,430 SF
TOTAL GSF: 64,330-GSF
BLDG HT: ±69.95'



LOCUS PLAN ↑

PREPARED BY:

ARCHITECT
**PETER QUINN
ARCHITECTS LLC**
259 ELM ST, STE 301
SOMERVILLE, MA 02144
PH (617) 354 3989

SURVEYOR
**SUMMIT
SURVEYING INC.**
4 S. POND STREET,
NEWBURYPORT, MA 01950
PH (978) 692 7109

SURVEYOR
**DeCELLE-BURK-SALA
& ASSOCIATES, INC.**
1266 FURNACE BROOK PARKWAY
#401
QUINCY, MA 02169
PH (617) 405 5100

LANDSCAPE ARCHITECT
**VERDANT LANDSCAPE
ARCHITECTS**
318 HARVARD ST, STE 25
BROOKLINE, MA 02446
PH (617) 735 1180



MASS AVE & LINNAEAN ST.



1740 MASS AVE

AERIAL FROM NORTHEAST



1740 MASS AVE

PETER
QUINN
ARCHI
TECTS
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SOMERVILLE, MA 02144
PH 617-264-2885

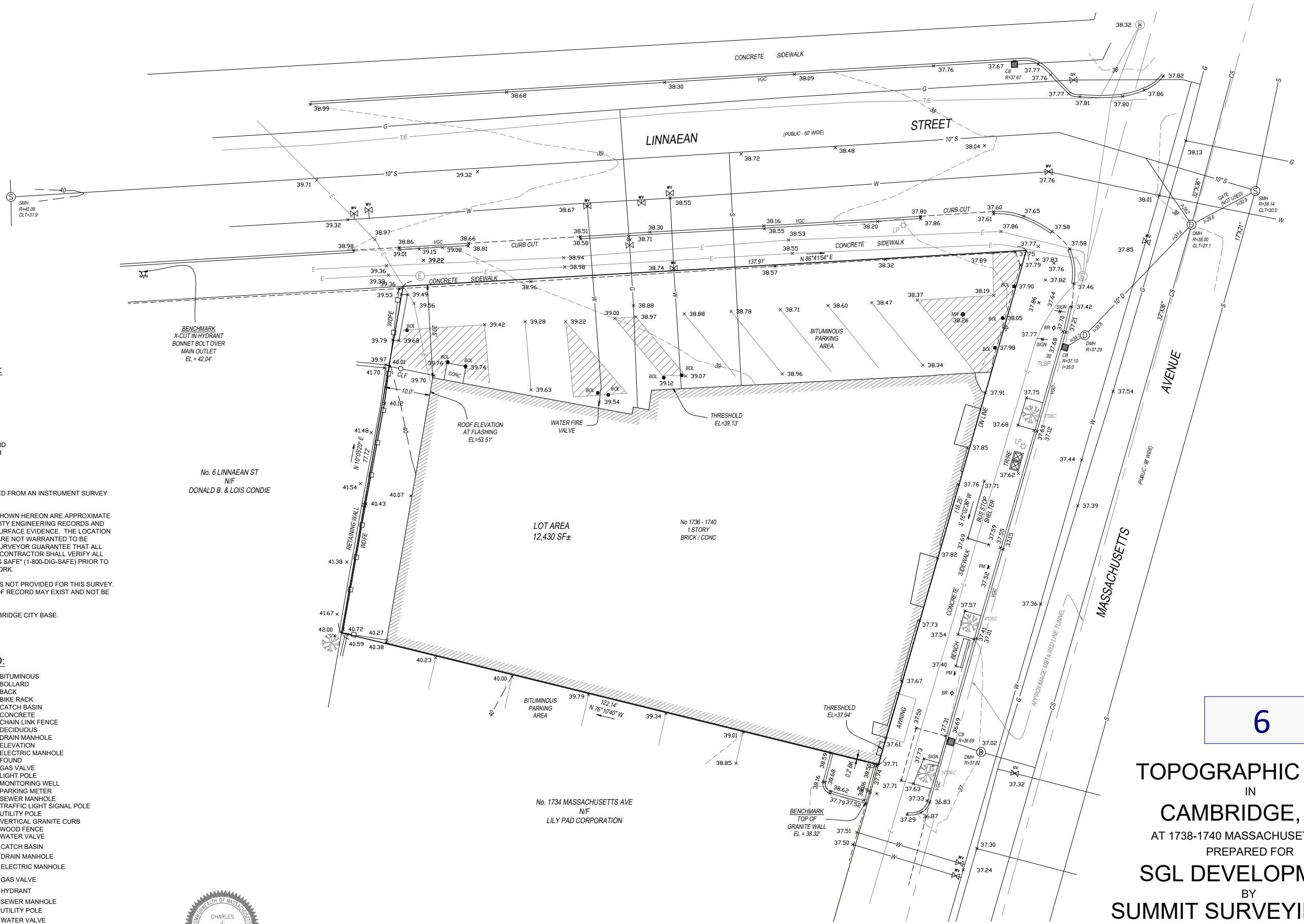
FROM THE NORTH



1740 MASS AVE

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RECORD OWNERS:

1740 TRUST, LLC
FIRST NEEDHAM PLACE
250 FIRST AVE, SUITE 20
NEEDHAM, MA 02494

REFERENCES:

DEED BOOK 70639 PAGE 571

PLAN IN BOOK 1941 PAGE END
PLAN 1491 ON RECORD WITH
THE CITY OF CAMBRIDGE

NOTES:

- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY PERFORMED IN JUNE 2025.
- 2.) SUBSURFACE UTILITIES SHOWN HEREON ARE APPROXIMATE AND BASED ON AVAILABLE CITY ENGINEERING RECORDS AND THE LOCATION OF VISIBLE SURFACE EVIDENCE. THE LOCATION OF SUBSURFACE UTILITIES ARE NOT WARRANTED TO BE CORRECT, NOR DOES THE SURVEYOR GUARANTEE THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND CONTACT "DIG SAFE" (1-800-DIG-SAFE) PRIOR TO THE COMMENCEMENT OF WORK.
- 3.) A TITLE EXAMINATION WAS NOT PROVIDED FOR THIS SURVEY. AS SUCH OTHER MATTERS OF RECORD MAY EXIST AND NOT BE SHOWN HEREON.
- 4.) VERTICAL DATUM IS CAMBRIDGE CITY BASE.

LEGEND:

- BIT BITUMINOUS
- BOL BOLLARD
- BK BACK
- BR BIKE RACK
- CB CATCH BASIN
- CONC CONCRETE
- CLF CHAIN LINK FENCE
- DEC DECIDUOUS
- DMH DRAIN MANHOLE
- EL ELEVATION
- EMH ELECTRIC MANHOLE
- FD FOUND
- GV GAS VALVE
- LP LIGHT POLE
- MW MONITORING WELL
- PM PARKING METER
- SMH SEWER MANHOLE
- TLSP TRAFFIC LIGHT SIGNAL POLE
- UP UTILITY POLE
- VGC VERTICAL GRANITE CURB
- WDFE WOOD FENCE
- WV WATER VALVE
- ⊠ CATCH BASIN
- ⊙ DRAIN MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊗ GAS VALVE
- ⊘ HYDRANT
- ⊙ SEWER MANHOLE
- ⊕ UTILITY POLE
- ⊗ WATER VALVE
- CS COMBINED SEWER LINE
- D DRAIN LINE
- E ELECTRIC LINE
- G GAS LINE
- S SEWER LINE
- T TELEPHONE LINE
- W WATER LINE

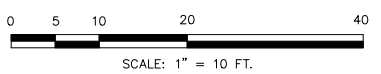


SIGNATURE: *Charles J. Brennan* DATE: 3-16-26

LOT AREA
12,430 SF±

No. 1734 MASSACHUSETTS AVE
N/F
LILY PAD CORPORATION

No. 6 LINNAEAN ST
N/F
DONALD B. & LOIS CONDIE



6

**TOPOGRAPHIC PLAN
IN
CAMBRIDGE, MA**

AT 1738-1740 MASSACHUSETTS AVE
PREPARED FOR

SGL DEVELOPMENT

BY
SUMMIT SURVEYING INC.

4 S. POND STREET, NEWBURYPORT, MA 01950

TEL. 978-692-7109

WWW.SUMMITSURVEYINGINC.COM

JUNE 26, 2025

25-0121

REV: INVERT EL, SPOT EL AT WEST PROPERTY BY: CJB DATE: 11-3-25

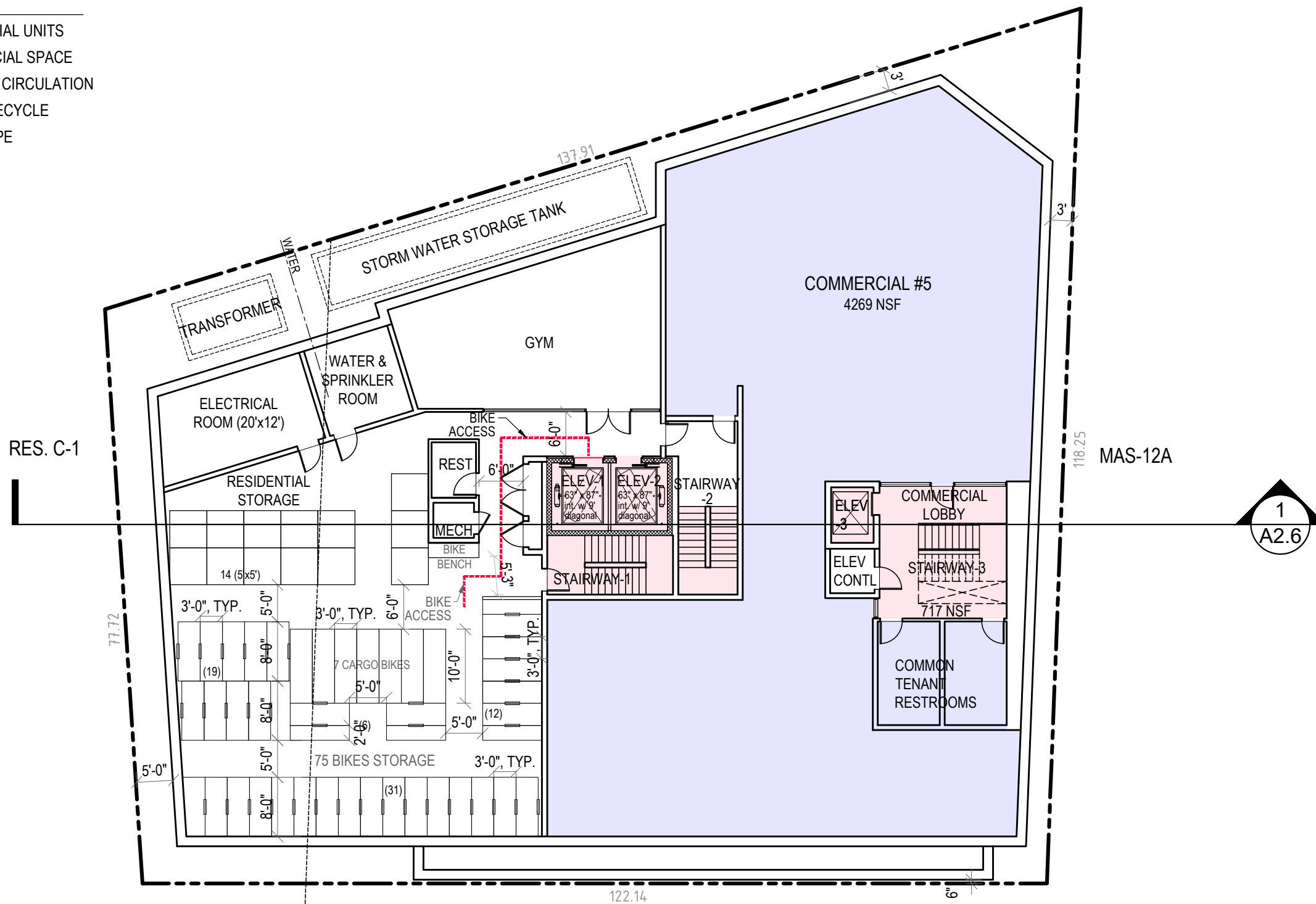
CURB CUT

BY: CJB DATE: 3-4-26

LOT AREA

BY: CJB DATE: 3-16-26

- KEY**
- RESIDENTIAL UNITS
 - COMMERCIAL SPACE
 - VERTICAL CIRCULATION
 - TRASH/ RECYCLE
 - LANDSCAPE

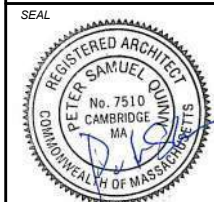


1 BASEMENT PLAN
SCALE: 1/16" = 1'-0"



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PLANNING BOARD ADVISORY PRESENTATION No. 3

7

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DRAWING TITLE
BASEMENT PLAN

SCALE AS NOTED

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DRAWING TITLE

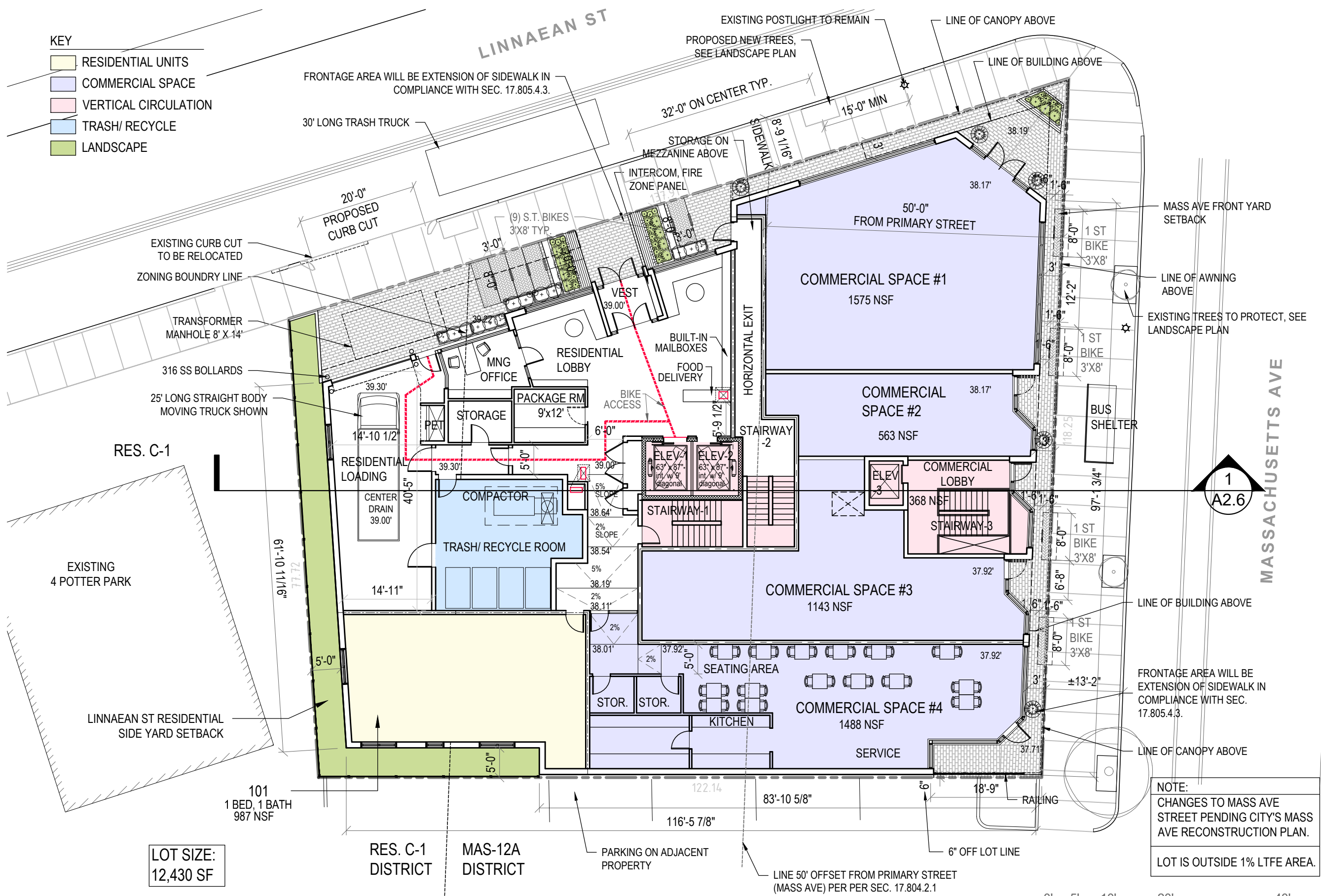
FIRST FLOOR
PLAN

SCALE AS NOTED

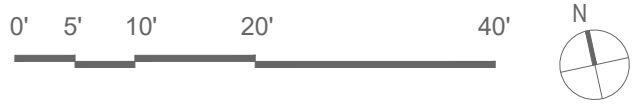
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- KEY**
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 - COMMERCIAL SPACE
 - VERTICAL CIRCULATION
 - TRASH/ RECYCLE
 - LANDSCAPE

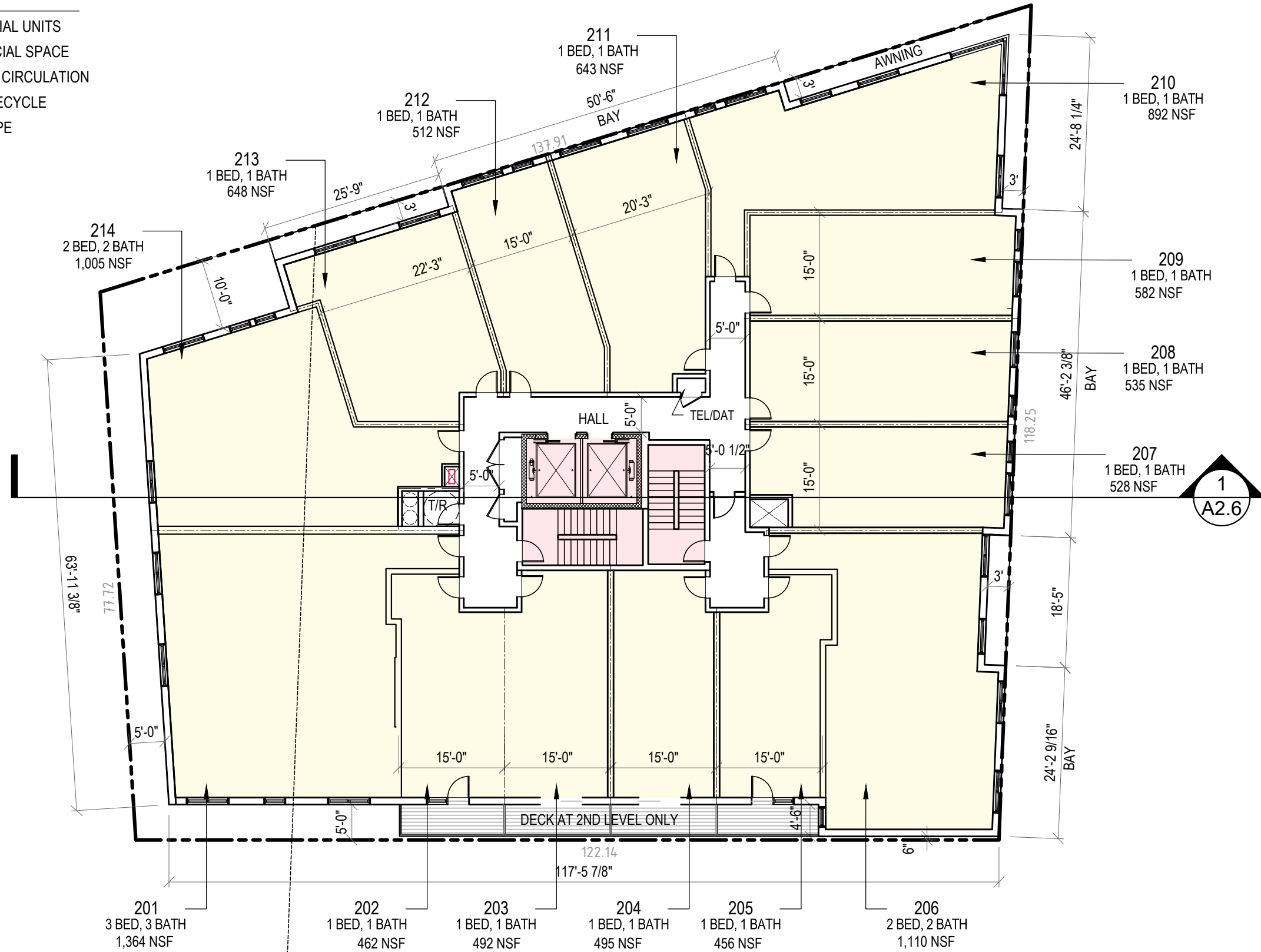


1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



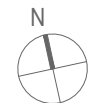
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- KEY**
- RESIDENTIAL UNITS
 - COMMERCIAL SPACE
 - VERTICAL CIRCULATION
 - TRASH/ RECYCLE
 - LANDSCAPE



1 SECOND & THIRD FLOOR PLANS
SCALE: 1/16" = 1'-0"

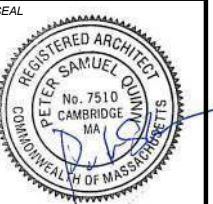
0' 5' 10' 20' 40'



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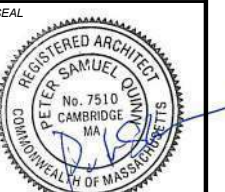
810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE
**SECOND &
THIRD FLOOR
PLANS**

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SHEET
A1.2



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DRAWING TITLE
ROOF PLAN

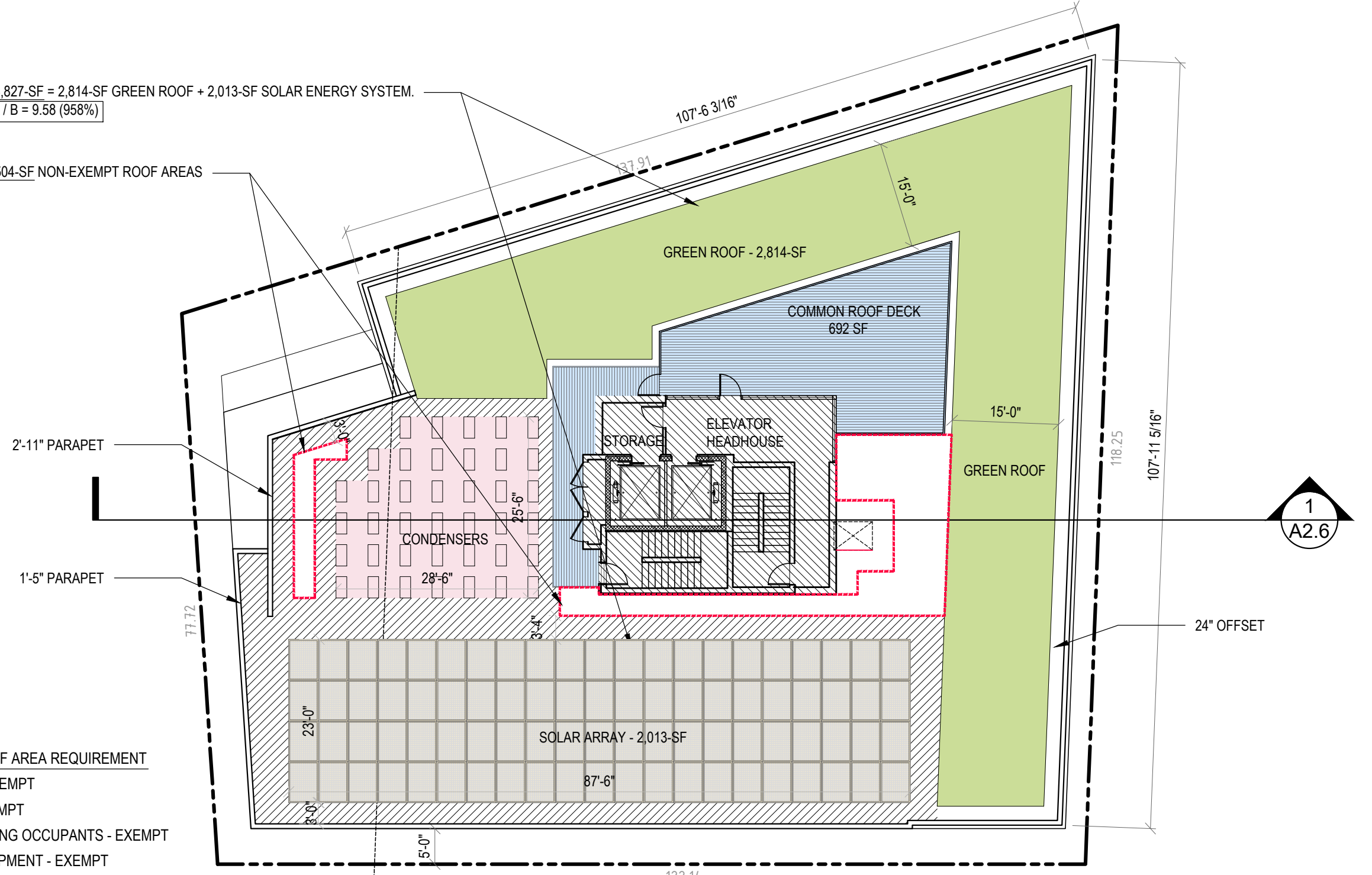
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A) 4,827-SF = 2,814-SF GREEN ROOF + 2,013-SF SOLAR ENERGY SYSTEM.
A / B = 9.58 (958%)

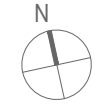
B) 504-SF NON-EXEMPT ROOF AREAS



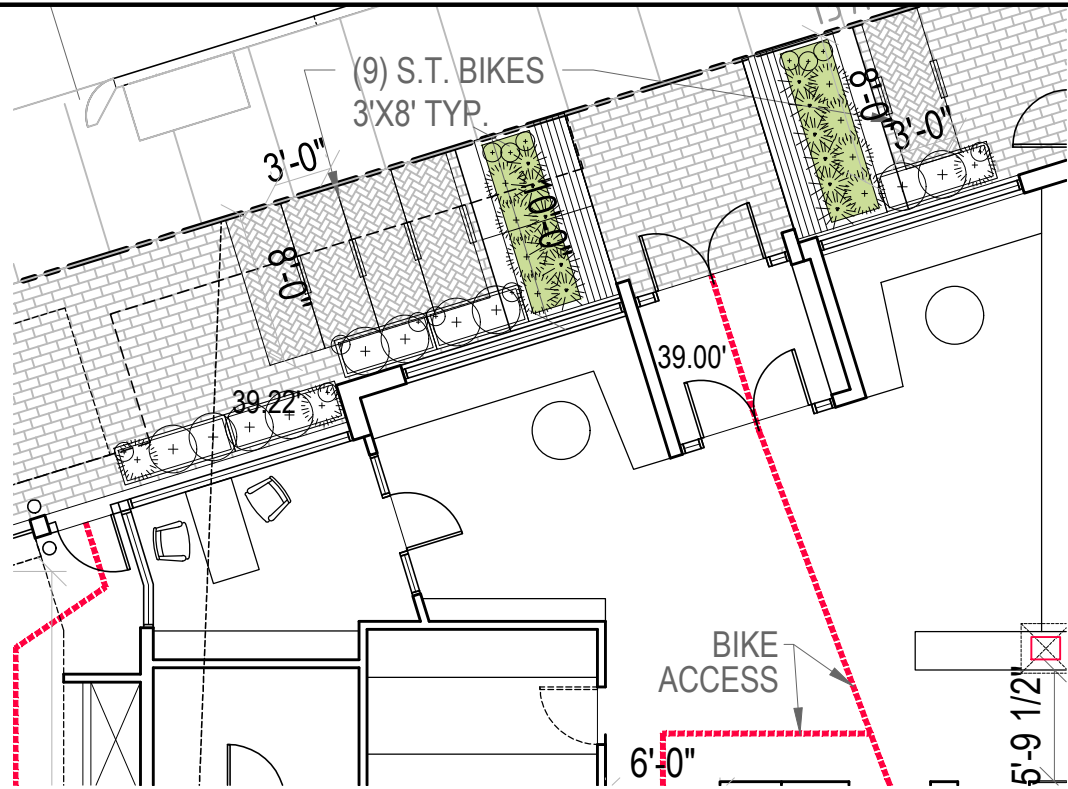
SEC. 22.35.2 GREEN ROOF AREA REQUIREMENT

- ACCESS PATH - EXEMPT
- HEADHOUSE - EXEMPT
- AREAS FOR BUILDING OCCUPANTS - EXEMPT
- MECHANICAL EQUIPMENT - EXEMPT
- NON-EXEMPT ROOF AREA
- GREEN ROOF AREA
- SOLAR ENERGY SYSTEM

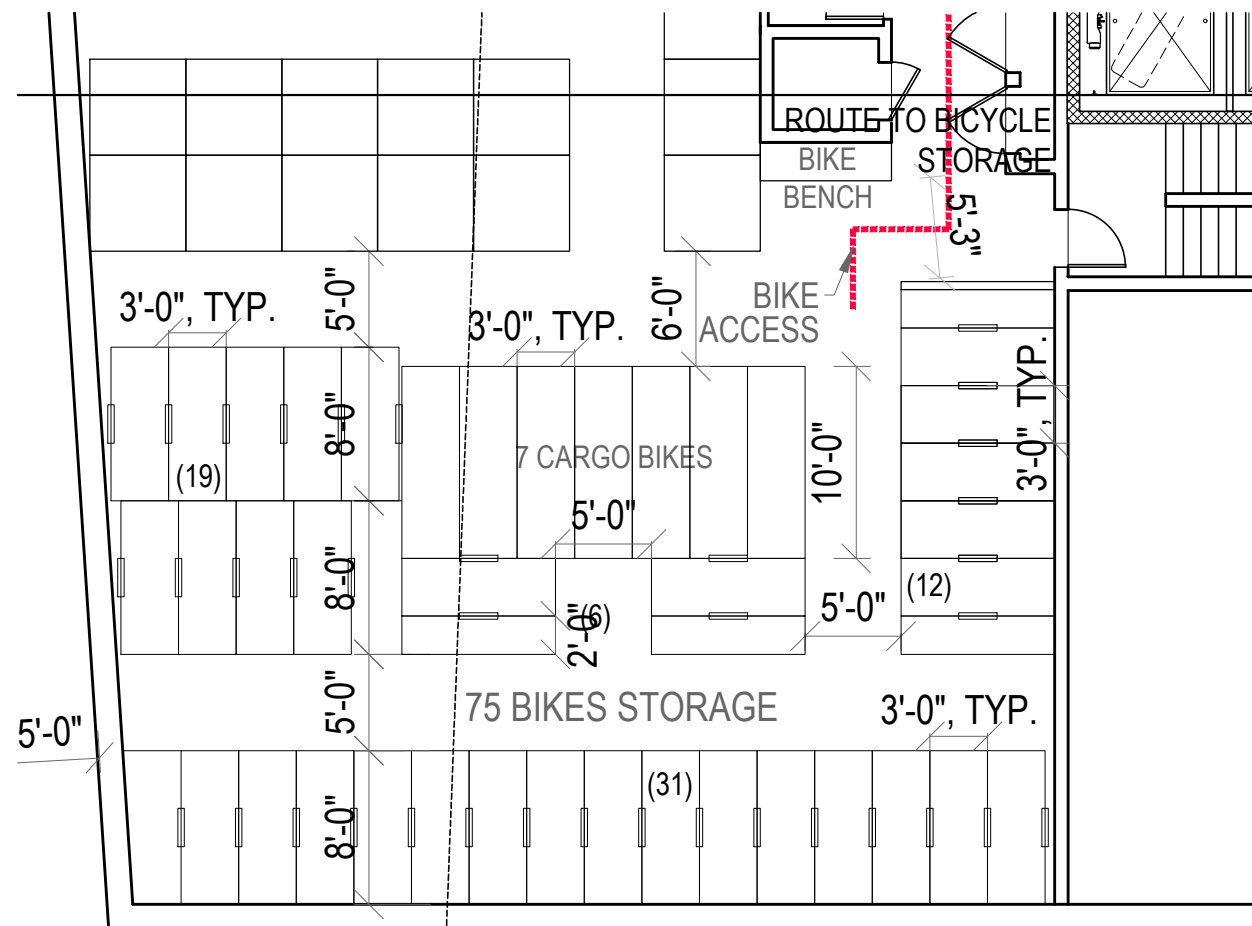
1 ROOF PLAN
SCALE: 1/16" = 1'-0"



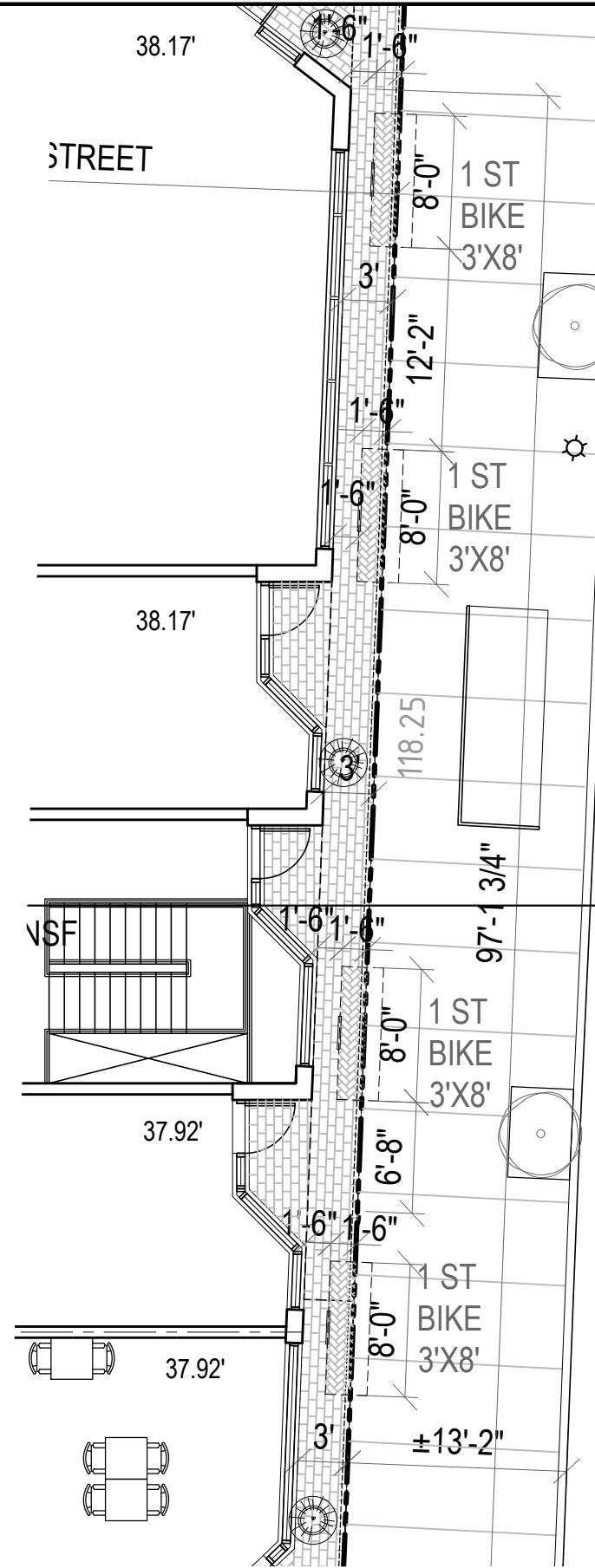
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ONGROUND - LINNAEAN ST

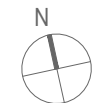


UNDERGROUND



ONGROUND - MASSACHUSETTS AVE

1 BIKE PARKING PLAN
SCALE: 1" = 10'-0"



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SEAL



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DRAWING TITLE

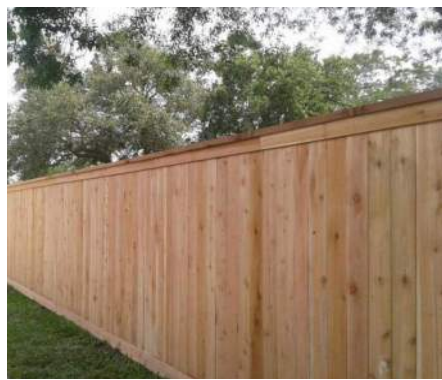
BIKE PARKING
PLANS

SCALE AS NOTED

REVISION	DATE
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PB ADVISORY	14 NOV 2025
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A1.7

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6' Ht. Wood Privacy Fence Along Western Property Line. Transition to 4' Ht. Along Frontage Zone



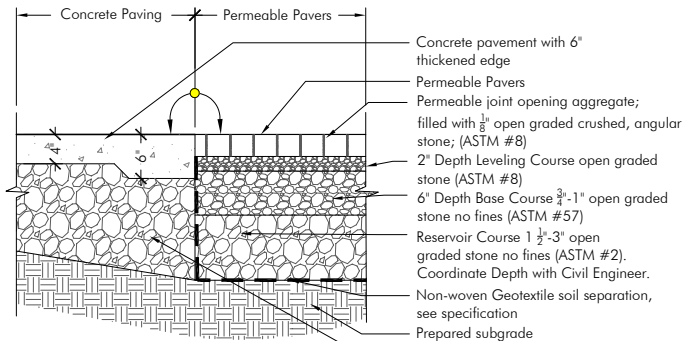
42" Ht. Open Wood Picket Fence Along Southern Property Line



Permeable Ceramic Brick Paver
Jumbo Permeable Paver
by Belden Brick
Color Mix: Lighthouse & Carbon Black OR Similar



Post & Ring
Exterior Visitor Bike Rack
Hitch by Dero OR Similar



- Notes:
- All aggregate material shall be crushed, angular stone and free of fines.
 - Compact subsoil with a California bearing ratio (cbr) of less than 5% as directed by a professional engineer.
 - Surface slope shall be a minimum of 1% and a maximum of 5%.
 - Install pvc underdrain pipe where infiltration rate of subsoil is less than 0.5 in./hr. size as directed by a professional engineer.
 - Never build permeable pavements on organic clay soils of high plasticity and/or peat, mulch, soils with high organic content.
 - Maintain a minimum distance of 2' between bottom of permeable base and water table.
 - The minimum aggregate thicknesses are after compaction.

1 Permeable Unit Paver Transition at Concrete Pavement
SCALE: 1" = 1'-0"

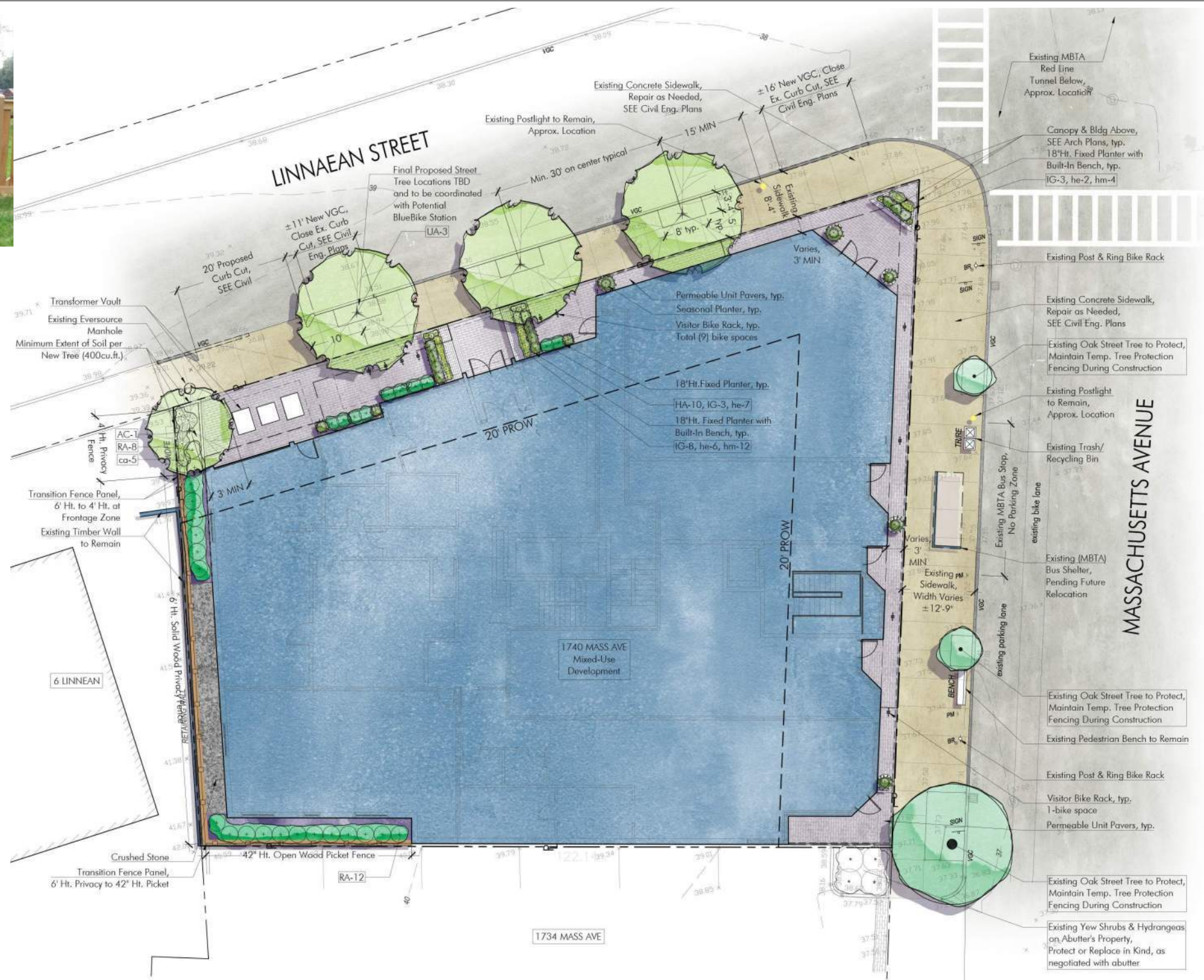
PLANT LIST | 1740 MASS AVE

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES	SIZE AT MATURITY
TREES:						
AC	1	Amelanchier canadensis	Shadblow Serviceberry	2-2.5" cal.	B&B	+10' Canopy; +20' Ht.
UA	3	Ulmus americana 'Homestead'	American Elm (Disease-Resistant)	2.5-3" cal.	B&B	+30' Canopy; +40' Ht.
SHRUBS:						
HA	10	Hydrangea arborescens 'Invincibelle'	Smooth Hydrangea	3 gal.	Pots	
IG	14	Ilex glabra 'Gem Box'	Dwarf Inkberry	3 gal.	Pots	
RA	20	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal.	Pots	
PERENNIALS & GRASSES:						
ca	5	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pots	
he	15	Heuchera	Coral Bells	1 qt.	Pots, Shade-Tolerant Variety	
hm	16	Hakonechloa macra 'All Gold'	Japanese Forest Grass	1 gal.	Pots	

NOTE: All tree planting areas shall consist of planting soil of 36" depth. All high and low planting areas shall consist of planting soil minimum 18" depth. All planting areas shall be prepared with subsoils loosened to minimum -36" below finish grade. All planters shall have a minimum 12" soil depth.



*NOTE: There are no existing trees on the existing site within site property lines. There are (3) three existing street trees on Massachusetts Avenue that are proposed to be preserved as shown on the Plan. No trees are being proposed to be removed.



REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION
ISSUE: NOT FOR CONSTRUCTION
DATE: 03/13/2026
SCALE: AS NOTED

PROJECT NUMBER:
DRAWN BY: EH
CHECKED BY: KP

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER

L1



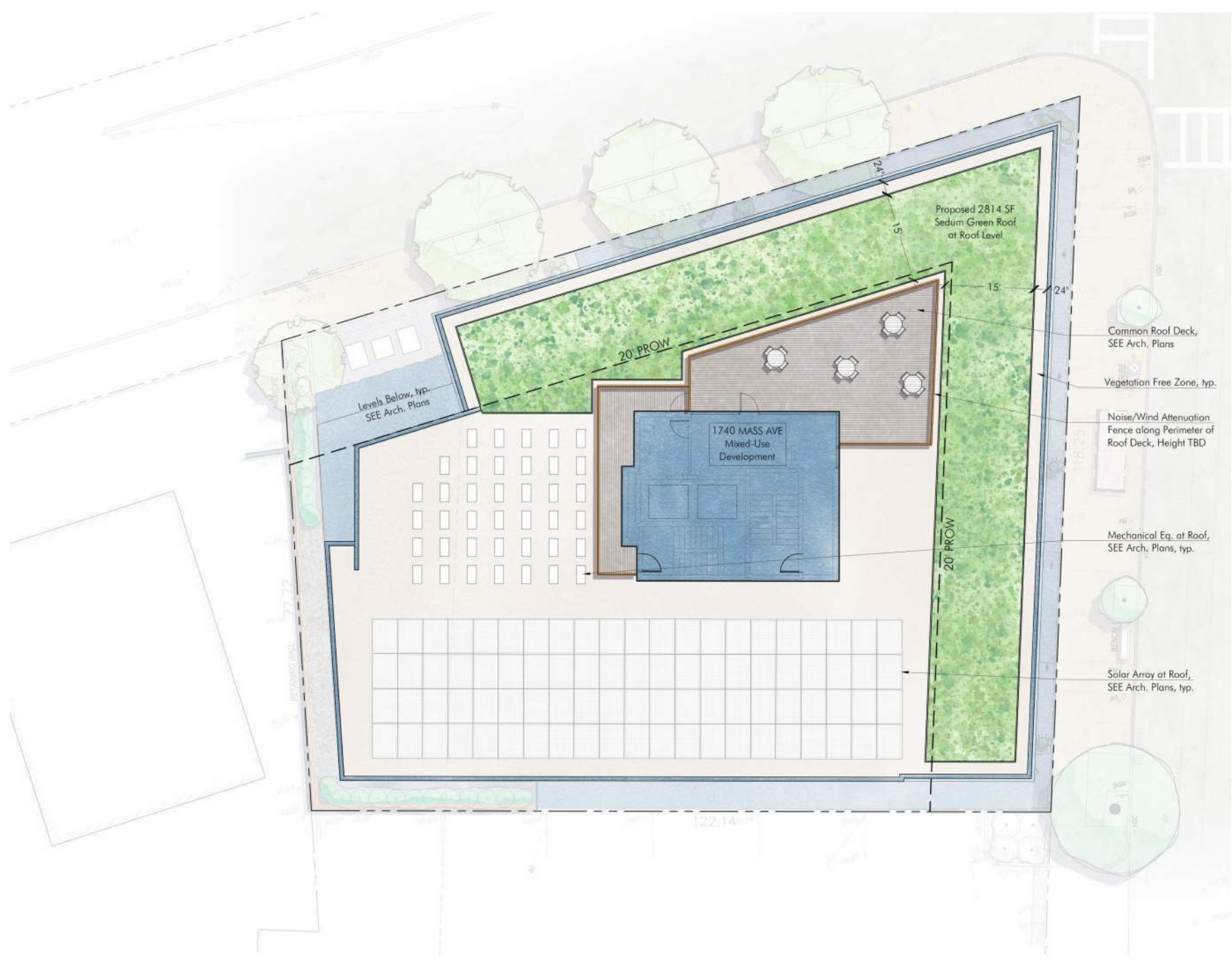
MARK	ISSUE	DATE

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ISSUE: NOT FOR CONSTRUCTION
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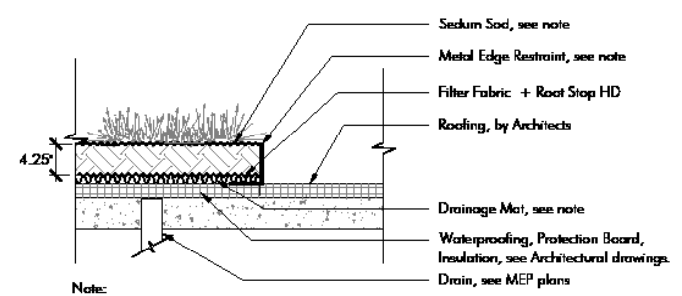
DRAWING TITLE
**LANDSCAPE PLAN
ROOF LEVEL**

DRAWING NUMBER
L2
© Verdant Landscape Architecture



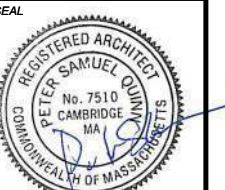
PLANT LIST | 1740 MASS AVE ROOF LEVEL
KEY QTY LATIN NAME COMMON NAME

SEDUM
Sedum Green Roof: 2,814SF InstaGreen Sedum Carpet by Hydrotech OR Similar



- Note:
1. InstaGreen Sedum Carpet by Hydrotech OR Similar
 2. 4.5' GeoEdge by Permaloc
 3. Drainage mat by Hydrotech, GR15

Green Roof
SCALE: 1" = 1'-0"



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1 MASS. AVE ELEVATION
SCALE: 1/16" = 1'-0"



SEAL



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SOUTH
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1 SOUTH ELEVATION
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SEAL



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WEST
ELEVATIONS

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PB ADVISORY	14 NOV 2025
PRESENTATION	06 NOV 2025
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SHEET

A2.2



1 WEST ELEVATION
SCALE: 1/16" = 1'-0"

SEAL



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No. 3

17

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

PREPARED FOR

OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

LINNAEAN ST
ELEVATIONS

SCALE AS NOTED

REVISION	DATE
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PB ADVISORY REV	15 JAN 2026
PB ADVISORY	14 NOV 2025
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SHEET

A2.3



1 LINNAEAN ST ELEVATION
SCALE: 1/16" = 1'-0"





2. AERIAL VIEW FROM SOUTHEAST



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QUINN
ARCHI
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ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

CONSULTANT

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PRESENTATION
No. 3

18

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

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OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

3D AERIAL
VIEW

SCALE AS NOTED

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3D.2



3. AERIAL VIEW FROM SOUTHWEST



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INTERIOR DESIGN

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SOMERVILLE, MA 02144
PH 617-354-3989

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PRESENTATION
No. 3

19

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

PREPARED FOR

OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

3D AERIAL
VIEW

SCALE AS NOTED

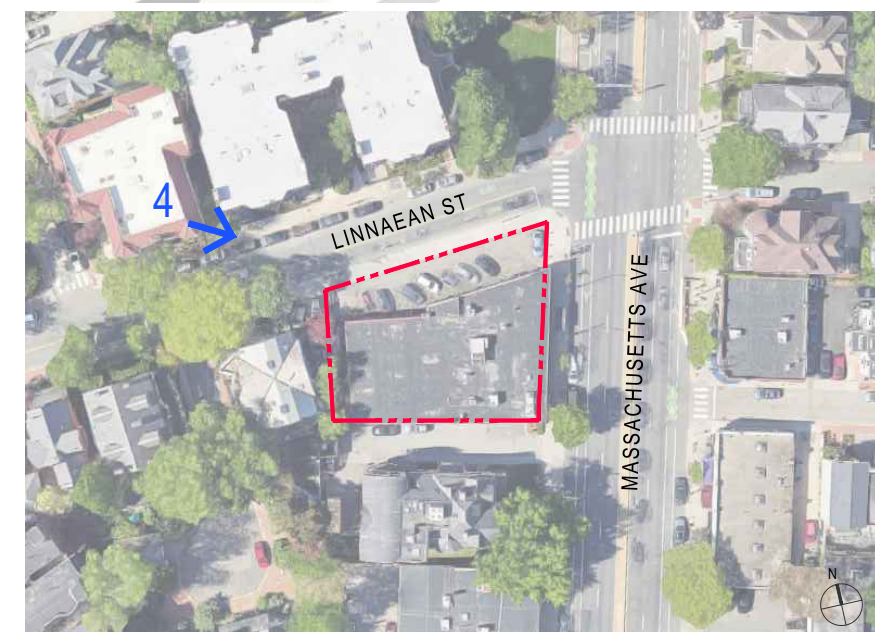
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PB ADVISORY	14 NOV 2025
PRESENTATION	06 NOV 2025
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3D.3



4. AERIAL VIEW FROM NORTHWEST



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PH 617-354-3989

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PRESENTATION
No. 3

20

PROJECT

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MASS AVE

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CAMBRIDGE, MA 02138

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OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
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DRAWING TITLE

3D AERIAL
VIEW

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SHEET

3D.4



5. AERIAL VIEW FROM THE NORTH



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PH 617-354-3989

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PRESENTATION
No. 3

21

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

PREPARED FOR

OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

3D AERIAL
VIEW

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3D.5



7. STREET VIEW AT CORNER OF MASS AVE & LINNAEAN ST



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No. 3

22

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

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OLD NORTH
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COMPANY

810 MEMORIAL DR, STE 105
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DRAWING TITLE

3D STREET
VIEW

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3D.7



8. COMMERCIAL ENTRY AT MASS AVE & LINNAEAN ST CORNER



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PRESENTATION
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23

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

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OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

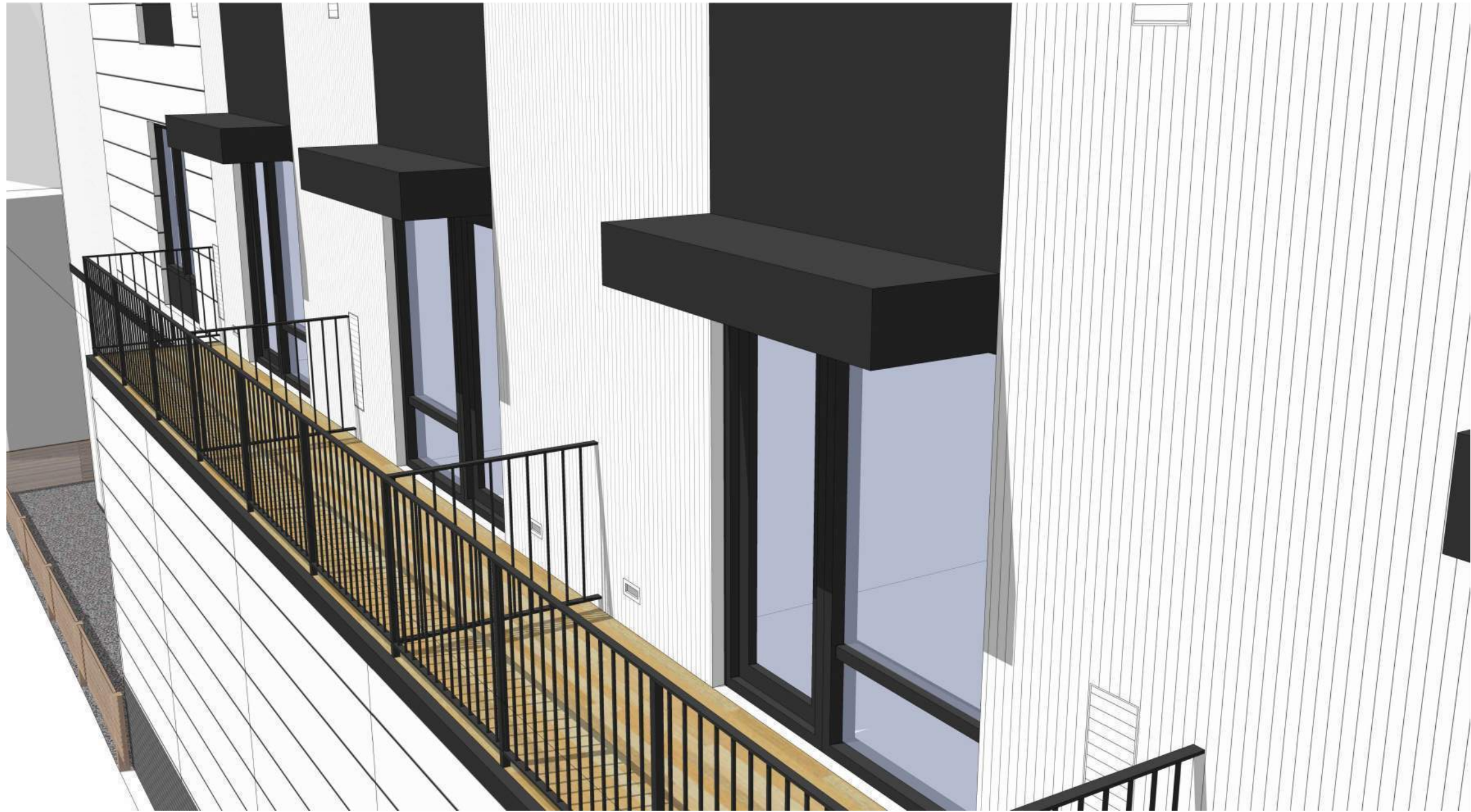
3D STREET
VIEW

SCALE AS NOTED

REVISION	DATE
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SHEET

3D.8



10. BALCONY DIVIDER



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PRESENTATION
No. 3

24

PROJECT

1740
MASS AVE

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CAMBRIDGE, MA 02138

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COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

3D STREET
VIEW

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3D.10



NOTE: EXISTING STREET TREES NOT SHOWN

APPROXIMATELY 500 FT SOUTH OF PROPOSED SITE ON MASS AVE



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 PLANNING
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 259 ELM STREET, SUITE 301
 SOMERVILLE, MA 02144
 PH 617-354-3989

CONSULTANT
PLANNING BOARD ADVISORY PRESENTATION No. 3

25

PROJECT
1740 MASS AVE
 1740 MASS AVE.
 CAMBRIDGE, MA 02138

PREPARED FOR
OLD NORTH DEVELOPMENT COMPANY
 810 MEMORIAL DR, STE 105
 Cambridge, MA 02139

DRAWING TITLE
500 FT SOUTH ON MASS AVE

SCALE AS NOTED

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SHEET
3D.11



NOTE: EXISTING STREET TREES NOT SHOWN

APPROXIMATELY 250 FT SOUTH OF PROPOSED SITE ON MASS AVE



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PLANNING BD
ADVISORY
PRESENTATION
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26

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

PREPARED FOR

OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

250 FT SOUTH
ON MASS AVE

SCALE AS NOTED

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SHEET

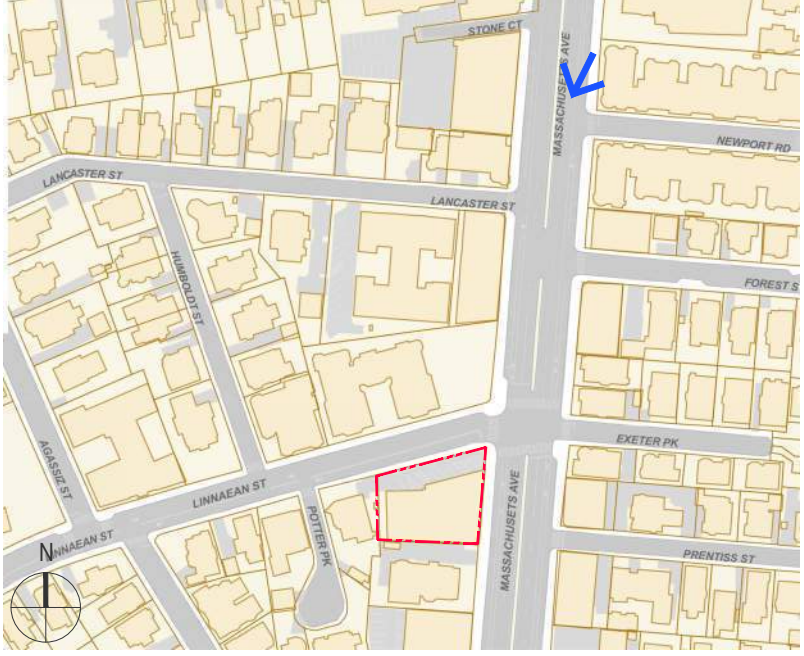
3D.12



MASSACHUSETTS AVE

NOTE: EXISTING STREET TREES NOT SHOWN

APPROXIMATELY 450 FT NORTH OF PROPOSED SITE ON MASS AVE



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PRESENTATION
No. 3**

27

PROJECT
**1740
MASS AVE**

1740 MASS AVE.
CAMBRIDGE, MA 02138

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**OLD NORTH
DEVELOPMENT
COMPANY**

810 MEMORIAL DR, STE 105
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DRAWING TITLE
**500 FT NORTH
ON MASS AVE**

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SHEET
3D.13



NOTE: EXISTING STREET TREES NOT SHOWN

APPROXIMATELY 250 FT NORTH OF PROPOSED SITE ON MASS AVE



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PRESENTATION
No. 3**

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PROJECT
**1740
MASS AVE**

1740 MASS AVE.
CAMBRIDGE, MA 02138

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DEVELOPMENT
COMPANY**

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DRAWING TITLE
**250 FT NORTH
ON MASS AVE**

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SHEET
3D.14



APPROXIMATELY 400 FT WEST OF PROPOSED SITE ON LINNAEAN ST



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PH 617-354-3989

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PRESENTATION
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29

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

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COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

500 FT WEST
ON LINNAEAN
ST

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3D.15



APPROXIMATELY 250 FT WEST OF PROPOSED SITE ON LINNAEAN ST



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PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

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COMPANY

810 MEMORIAL DR, STE 105
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DRAWING TITLE

250 FT WEST
ON LINNAEAN
ST

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3D.16



AERIAL VIEW LOOKING NORTHWARD



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ADVISORY
PRESENTATION
No. 3

31

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

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OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

500 FT WEST
ON LINNAEAN
ST

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AERIAL VIEW LOOKING WESTWARD



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INTERIOR DESIGN

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259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3889

CONSULTANT

PLANNING BD
ADVISORY
PRESENTATION
No. 3

32

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

PREPARED FOR

OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

DRAWING TITLE

500 FT WEST
ON LINNAEAN
ST

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3D.18



AERIAL VIEW LOOKING SOUTHWARD



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INTERIOR DESIGN

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No. 3

33

PROJECT

1740
MASS AVE

1740 MASS AVE.
CAMBRIDGE, MA 02138

PREPARED FOR

OLD NORTH
DEVELOPMENT
COMPANY

810 MEMORIAL DR, STE 105
Cambridge, MA 02139

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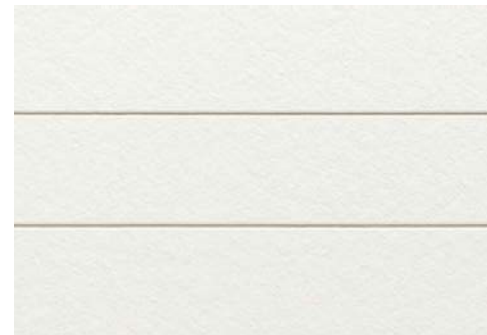
3D.19



1. CERACLAD FIBER CEMENT
RAINSCREEN CLADDING
CASHMERE SMOOTH
SILK



2. CERACLAD TRIPLE
COATED PANEL
ZEN GARDEN, SOLID-CORE,
SILK, VERTICAL



3. CERACLAD TRIPLE
COATED PANEL
3-REVEAL, SOLID-CORE,
SILK



4. CERACLAD FIBER CEMENT
RAINSCREEN CLADDING
CASHMERE SMOOTH
CHARCOAL



5. BRICK VENEER
BELDEN
BLACK DIAMOND VELOUR
STACKED COURSE

SEE ALSO SHEET A2.0
FOR MORE MATERIALS

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