

ARCHITECTURAL ABBREVIATIONS

AB AIR BARRIER ABV ABOVE A/C AIR CONDITIONING ACC ACCESSIBLE ACT ACOUSTICAL CEILING TILE ADH ADHESIVE ADJ ADJACENT ADJT ADJUSTABLE ADMIN ADMINISTRATIVE, ADMINISTRATION AFF ABOVE FINISHED FLOOR ALT/ALTERNATE ALUM ALUMINUM ANOD ANODIZED AP ACCESS PANEL APP APPARATUS APPROX APPROXIMATE(LY) ARCH ARCHITECT(URAL) AUTO AUTOMATIC AVB, A/VB AIR / VAPOR BARRIER AVG AVERAGE	HC HANDICAPPED HDB HARDBOARD HDWE HARDWARE HM HOLLOW METAL HOR HORIZONTAL HP HIGH POINT HPC HIGH PERFORMANCE COATING HR HOUR HGT HEIGHT HT HIGH TEMPERATURE HVAC HEATING, VENTILATION AND AIR CONDITIONING HWH HOT WATER HEATER	S SOUTH SATT SOUND ATTENUATED (INSULATION) SCH SCHEDULE SCW SOLID CORE WOOD SD SOAP DISPENSER SECT SECTION SHLV SHELIVING SHR SHOWER SHT SHEET SHTG SHEATHING SHT MTL SHEET METAL SIMS/MILAR SLT/SEALANT SM SURFACE MOUNTED SOG SLAB ON GRADE SPEC SPECIFICATION SQ SQUARE SS STAINLESS STEEL STD SOUND TRANSMISSION CLASS STANDARD STL/STEEL STOR STORAGE STRUCT STRUCTURE, STRUCTURAL SUSP SUSPENDED
BD BOARD BET BETWEEN BIT BITUMINOUS BKSP/L BACKSP/LASH BLDG BUILDING BLK BLOCK BLKG BLOCKING BM BEAM BOD BOTTOM OF DECKING BOS BOTTOM OF STEEL BOT BOTTOM BOW BOTTOM OF WALL BRG BEARING BRKT BRACKET BSMT BASEMENT BUR BUILT UP ROOFING	JAN JANITOR JST/JOIST JT JOINT	T TREAD T & B TOP AND BOTTOM T & G TONGUE AND GROOVE TB TACK BOARD TC TERRA COTTA TEL/TELEPHONE TEMP TEMPORARY THK THICKNESS TOC TOP OF CONCRETE TOF TOP OF FOOTING TOJ TOP OF JOIST TOS TOP OF STEEL TOW TOB OF WALL TYP TYPICAL TZ TERRAZZO
CAB CABINET CB CHALKBOARD CBB CEMENTITIOUS BACKER BOARD CEM CEMENT(ITIOUS) CFMF COLD FORMED METAL FRAMING CIP CAST-IN-PLACE (CONCRETE) CIRC CIRCULATION CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLO CLOSET CLR CLEARANCE) CMU CONCRETE MASONRY UNIT CO CLEAN OUT COL COLUMN CONC CONCRETE CONST CONSTRUCTION CONT CONTINUOUS, CONTINUE CONTR CONTRACT(OR) COP COPPER CPT CARPET(ED) CRS COLD ROLLED STEEL CSMU CALCIUM SILICATE MASONRY UNIT CT CERAMIC TILE CTR CENTER CW CURTAIN WALL	KIT KITCHEN  LAM LAMINATE(D) LAV LAVATORY LB POUND LCC LEAD COATED COPPER LH LEFT HAND LIN LINOLEUM LOW LIMIT OF WORK LP LOW POINT LS LIGHT SWITCH LT LIGHT LVR LOUVER LWT LIGHTWEIGHT	UHP/C ULTRA HIGH PERFORMANCE CONCRETE UL UNDERWRITERS LABORATORY UNO UNLESS NOTED OTHERWISE UON UNLESS OTHERWISE NOTED
DBL DOUBLE DEG DEGREE DEPT DEPARTMENT DET DETAIL DH DOUBLE HUNG DIA DIAMETER DIM/DIMENSION DISP DISPOSAL DLO DAYLIGHT OPENING DN DOWN DR DOOR DW DISHWASHER DWG DRAWING	MACH MACHINE MAS MASONRY MAT MATERIAL MAU MAKE-UP AIR UNIT MAX MAXIMUM MB MARKER BOARD MECH MECHANICAL MEMB MEMBRANE MFR MANUFACTURE(R) MH MANHOLE MIN/MINIMUM MISC MISCELLANEOUS MLDG MOLDING MO MASONRY OPENING MOD MODULAR MR MOISTURE RESISTANT MTD MOUNTED MTL METAL	VB VAPOR BARRIER VCT VINYL COMPOSITION TILE VERT VERTICAL VEST VESTIGULE VHI HIGH IMPACT GYPSUM WALLBOARD VIF VERIFY IN FIELD VIN VINYL VLT/VINYL LUXURY TILE VP VENEER PLASTER VR VAPOR RETARDER VWC VINYL WALL COVERING
E EAST EA EACH EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRIC(AL) ELEV ELEVATION, ELEVATOR EMER EMERGENCY ENC ENCLOSURE EQ EQUAL EQUIP EQUIPMENT ETR EXISTING TO REMAIN EVTR ELEVATOR EX EXISTING EXH EXHAUST EXIST EXISTING EXP EXPANSION, EXPOSED EXT EXTERIOR	N NORTH N/A NOT APPLICABLE NC NEW CONSTRUCTION NF NO FINISH NIC NOT IN CONTRACT NO NUMBER NTS NOT TO SCALE	W WEST W/ WITH W/O WITHOUT WB WEATHER BARRIER WC WATER CLOSET WOPT WALK-OFF CARPET WD WOOD WH WALL HYDRANT WIN WINDOW WM/WIRE MESH WP WORK POINT WPG WATERPROOFING WT WEIGHT WWF WELDED WIRE FABRIC
FA FIRE ALARM FAB FABRICATED FD FLOOR DRAIN FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FECK FIRE EXTINGUISHER CABINET, FF FINISHED FLOOR FFE FINISHED FLOOR ELEVATION FIN FINISHED FIXT FIXTURE FLR FLOOR(ING) FLUOR FLUORESCENT FND FOUNDATION FR FIRE RATED, FIRE RATING FRT FIRE RETARDANT TREATED FSTN FASTEN(ER) FT FOOT FTG FOOTING FUR FURRING	OA OVERALL OAH OVERALL HEIGHT OC ON CENTER OD OUTSIDE DIAMETER OH OVERHEAD OPG OPENING OPH OPPOSITE HAND OPP OPPOSITE ORD OVERFLOW ROOF DRAIN OZ OUNCE	@ AT ∠ ANGLE CENTERLINE ° DEGREE Ø DIAMETER # NUMBER d PENNY ⊥ PERPENDICULAR PL PLATE ± PLUS OR MINUS
GA GAGE, GAUGE GALV GALVANIZED GB GRAB BAR GBVP GYPSUM BASE - VENEER PLASTER GHM GALVANIZED HOLLOW METAL GL GLASS, GLAZING GMU GLAZED MASONRY UNIT GR GRADE GWB GYPSUM WALLBOARD	QT QUARRY TILE KITCHEN KITCHEN  R RISER RA RETURN AIR RAD RADIUS RB RESILIENT BASE RCP REFLECTED CEILING PLAN ROOF ROOF DRAIN REC RECESSED REF REFRIGERATOR REFL REFLECTED REINF REINFORCED REM REMOVE RENO RENOVATE(D) REQD REQUIRED RES RESINOUS FLOORING REV REVISION RF RESILIENT FLOORING RFL RESINOUS FLOORING RH RIGHT HAND RM ROOM RO ROUGH OPENING RT RESILIENT TILE RTRF RUBBER TREADS, RISERS AND FLOORING RUB RUBBER RWC RAINWATER CONDUCTOR	

ARCHITECTURAL STANDARD SYMBOLS

	PROPOSED ELEVATION IN PLAN
	PROPOSED ELEVATION IN SECTION OR ELEVATION
	CENTER LINE
	HIDDEN EDGES / PROJECTIONS ABOVE
	BREAK LINE
	BUILDING SECTION
	WALL SECTION
	REFERENCE DETAIL
	ELEVATION
	WALLS TO BE DEMOLISHED
	CEILING / SOFFIT HEIGHT (ABOVE FINISHED FLOOR)
	COLUMN REFERENCE LINE
	ROOM NUMBER
	DOOR NUMBER
	BORROWED LIGHT NUMBER
	WINDOW TYPE
	EXTERIOR ELEVATIONS
	INTERIOR ELEVATIONS
	PARTITION TYPE
	GLAZING TYPE
	REVISION REFERENCE

ARCHITECTURAL MATERIAL SYMBOLS

SECTION

	EARTH
	POROUS FILL (STONE, GRAVEL, ETC.)
	CONCRETE (LARGE SCALE)
	CONCRETE (PRECAST)
	BITUMINOUS CONCRETE
	BRICK, COMMON OR FACE
	CONCRETE MASONRY UNIT
	WOOD (FINISHED)
	WOOD (ROUGH) CONTINUOUS
	SHIM, WOOD (ROUGH) DISCONTINUOUS
	PLYWOOD
	PARTICLEBOARD
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	GYPSUM WALLBOARD, PLASTER, SAND, GROUT, MORTAR

ELEVATION

	CONCRETE
	CONCRETE MASONRY UNITS
	BRICK
	WOOD, PLYWOOD
	GLAZING
	STONE

ENERGY CODE NOTES

PROJECT SITE:	CAMBRIDGE, MA
CLIMATE ZONE:	5A
ENERGY CODE:	IECC 2021 & MA AMENDMENTS, WHERE APPLICABLE
COMPLIANCE PATH:	PRESCRIPTIVE COMPLIANCE OPTION SECTIONS R401-R404 & R408 (MA) FOR NEW CONSTRUCTION AREAS

INSULATION AND FENSTRATION REQUIRMENTS BY COMPONENT (TABLE R402.1.3)	
FENSTRATION U-FACTOR:	0.30
SKYLIGHT U-FACTOR:	0.55
CEILING:	R-60
WOOD FRAMED WALL:	R-30; or 20+5ci; or 13+10ci; or 0+20ci
MASS WALL:	R-13/R-17
FRAMED FLOOR:	R-30
BASEMENT:	15 ci; or R-19; or 13+5ci
SLAB R-VALUE/DEPTH:	R-10ci / 4'-0"
CRAWL SPACE:	R-15 ci; or R-19; or 13+5ci

*ci* = CONTINUOUS INSULATION  
*R-values* are minimums.  
*U-factors* and *SHGC* are maximums.

FENSTRATION SHGC, DOUBLE-GLAZED CLEAR: 0.7  
FENSTRATION VT - DOUBLE-GLAZED CLEAR: 0.6

OTHER REQUIREMENTS

NEW HEAT-PUMP MECHANICAL SYSTEM BY OTHERS

ALL NEW WORK TO COMPLY WITH TABLE R402.4.1.1 FOR AIR BARRIER, AIR SEALING AND INSULATION INSTALLATION

THE BUILDING THERMAL ENVELOPE WILL BE REPRESENTED ON THE PLANS WITH A GREEN DASHED LINE.

HERS RATING REQUIREMENTS, MASS AMENDMENTS

R502.1.1 ADDITIONS EXCEEDING 1,000 sqft OR EXCEEDING 100% OF THE EXISTING CONDITIONS FLOOR AREA...

R502.3.5 ALTERATIONS THAT MEET THE IEBC DEFINITION FOR LEVEL 3 ALTERATION OR THE IRC DEFINITION FOR EXTENSIVE ALTERATION, EXCEEDING 1,000 sqft OR EXCEEDING 100% OF THE EXISTING CONDITIONED FLOOR AREA...

...SHALL REQUIRE THE DWELLING UNIT TO COMPLY WITH THE MAXIMUM HERS RATINGS FOR ALTERATIONS, ADDITIONS OR CHANGE OF USE SHOWN IN TABLE R406.5.

R502.3.1 EXCEPTION: NEW ENVELOPE ASSEMBLIES IN ADDITIONS OF LESS THAN 1,000sqft ARE EXEMPT FROM THE REQUIREMENTS OF SECTION R402.4.1.2

SHEET LIST

A0.00	COVER
A0.01	SITE PLAN & ZONING SUMMARY
A0.02	EXIST. CONDITIONS PHOTOS
A0.03	3D VIEWS
A1.00	BASEMENT PLANS
A1.01	1ST FLOOR PLANS
A1.02	2ND FLOOR PLANS
A1.03	3RD FLOOR PLANS
A1.04	ROOF PLAN
A2.00	EXISTING BUILDING ELEVATIONS
A2.01	PROPOSED BUILDING ELEVATIONS
A3.01	BUILDING SECTIONS

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www.mixondevelopment.com

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  - ALL DIMENSIONS MARKED "FIN" ARE TO THE FACE OF FINISH.
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APPLICABLE CODE:  
CURRENT MASSACHUSETTS STATE BUILDING CODE 780 CMR AND ALL CODES INCORPORATED AND REFERENCED THEREIN



No. Description Date


BLAINEY-MORK

8 JAMES WAY  
CAMBRIDGE, MA

COVER

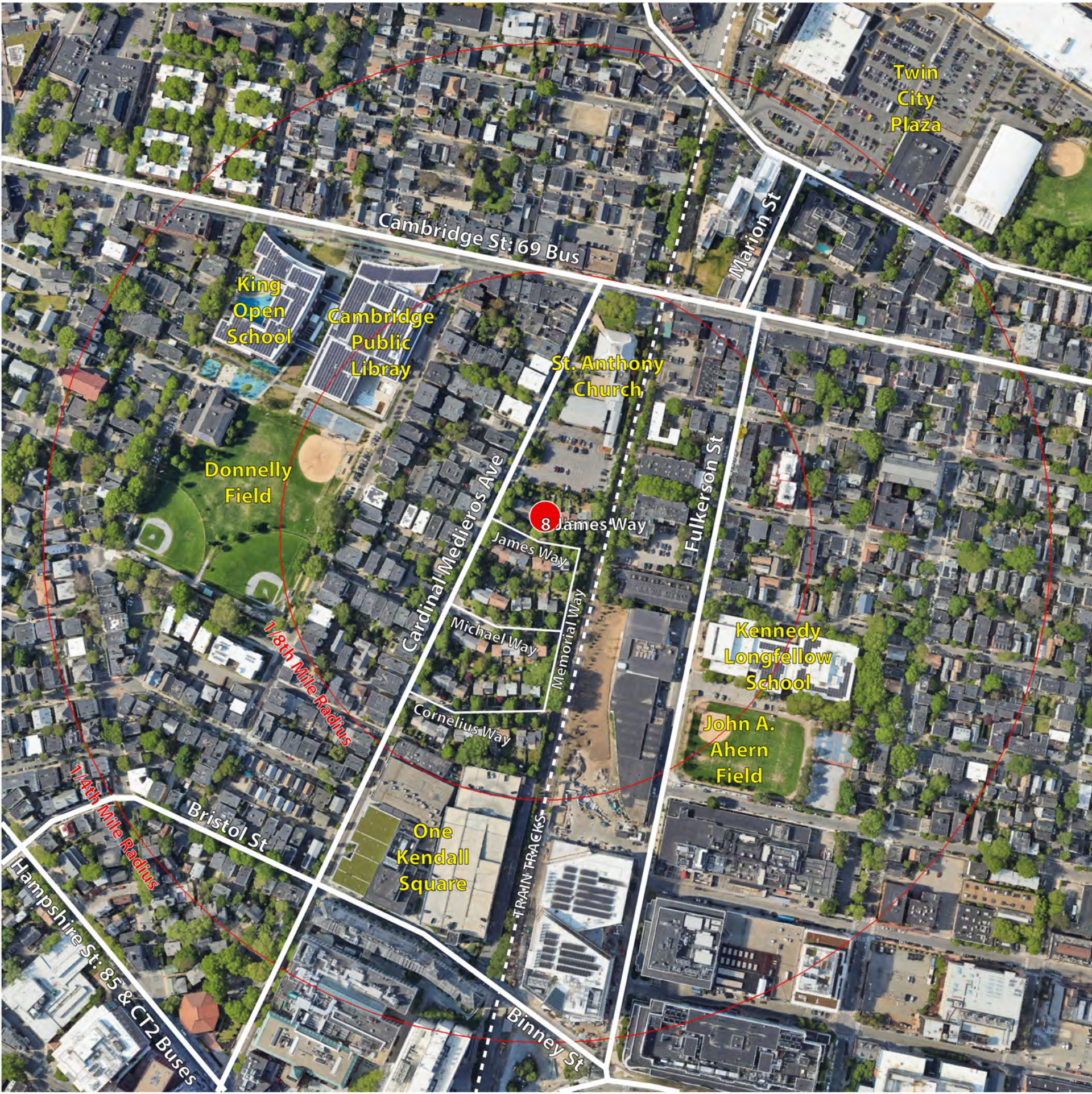
Project number 202307

Date 1/7/2025

A0.00

Scale





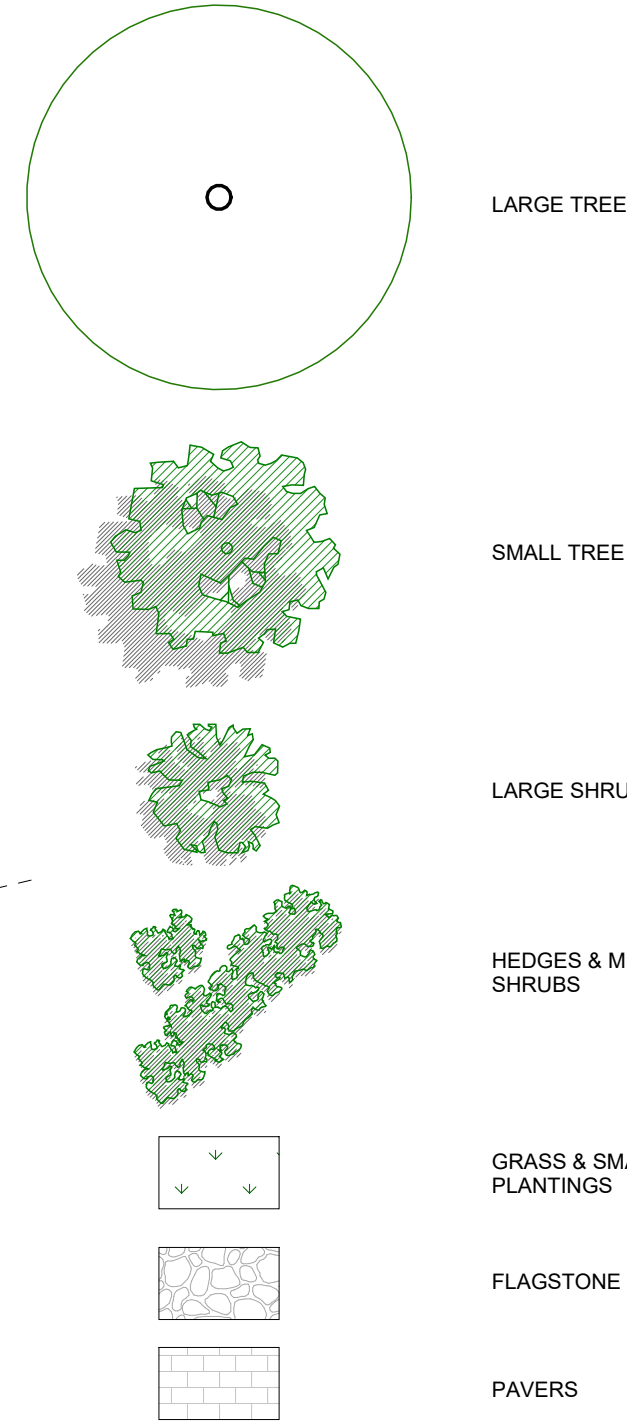
AERIAL PHOTO

ZONING	(1) Max. Ratio of Floor Area to Lot Area	(2) Minimum Lot Size in Sq. Ft.	(3) Min. Lot Area for Each D.U. in Sq. Ft.	(4) Minimum Lot Width in Feet	(5) Minimum Yard in Feet			(6) Maximum Height in Feet	(7) Min. Ratio of Private Op. Sp. to Lot Area
					Front	Side	Rear		
C-1 Multifamily Dwellings	0.75	5,000	1,500	50'	11.9'	8.6'	11.9'	35'	30%
Existing	0.41	3,285	3,285	36'	22.9'	3.7' / 0.0' 1	65.4'	26.8'	65.4%
Proposed	0.63	3,285	3,285	36'	22.9'	3.7' / 0.0' 1	59.4'	35.0'	63%
	A+	(E) NC	A	(E) NC	A	(E) NC	A-	A+	A-

A = Allowable  
NC = Nonconforming  
(E) = Existing  
(N) = New  
+ = Increase  
- = Decrease

SITE PLAN LEGEND

PROPERTY LINE  
SETBACK LINE  
NEIGHBORING PROPERTY LINES  
FENCE



SITE PLAN NOTES:

- DIMENSIONS WERE TAKEN ON-SITE TO EXISTING ELEMENTS AND DOES NOT REPRESENT A CERTIFIED SITE SURVEY.
- THE PROPERTY LINE SHOWN IS BASED ON THE ASSESSOR'S MAP DIMENSIONS. THE LOCATION IS BASED ON THE SIDEWALK AND FENCE LINE LOCATIONS.
- SMALLER PLANTINGS NOT DEPICTED.

Mix

Design and Development

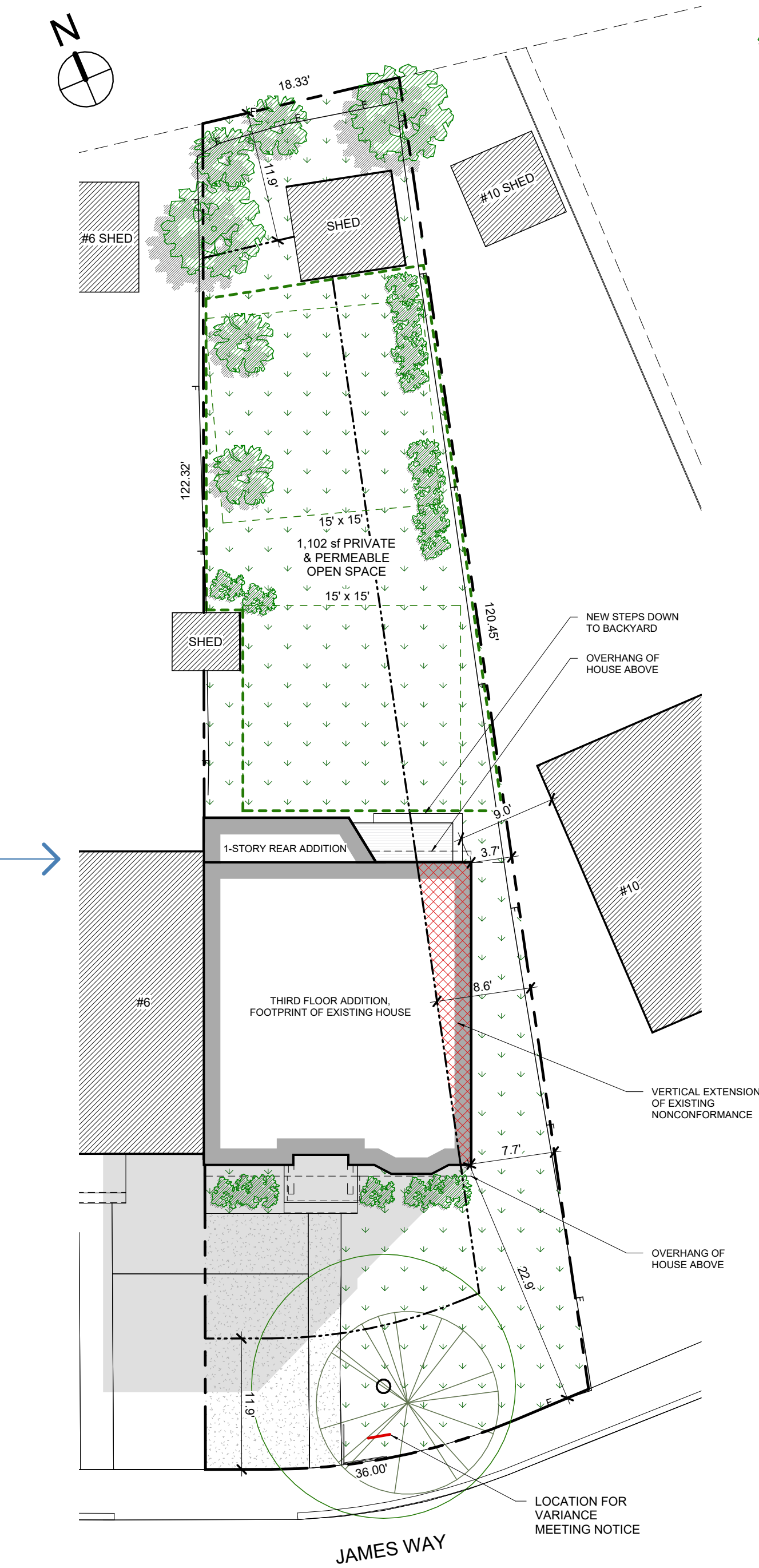
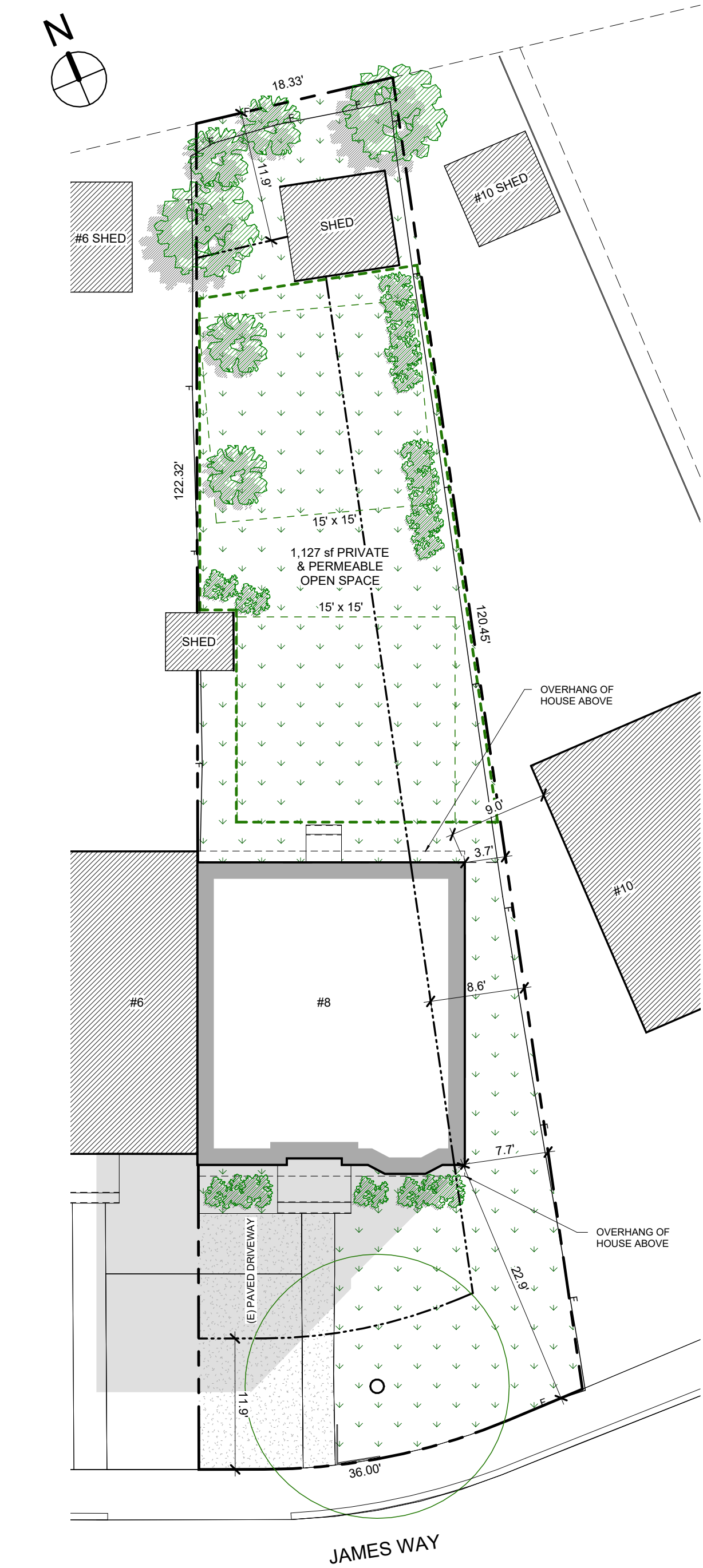
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**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND ALL CODES INCORPORATED AND REFERENCED THEREIN



No.	Description	Date

BLAINEY-MORK  
8 JAMES WAY  
CAMBRIDGE, MA

SITE PLAN & ZONING  
SUMMARY

Project number	202307
Date	1/7/2025

A0.01

Scale	As indicated
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ACROSS THE STREET NEIGHBORS



ASSESSOR'S PHOTO



FROM JAMES WAY



FROM THE BACKYARD



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No.	Description	Date

**BLAINEY-MORK**  
**8 JAMES WAY**  
**CAMBRIDGE, MA**

**EXIST. CONDITIONS**  
**PHOTOS**

Project number	202307
Date	1/7/2025

**A0.02**

Scale	12" = 1'-0"
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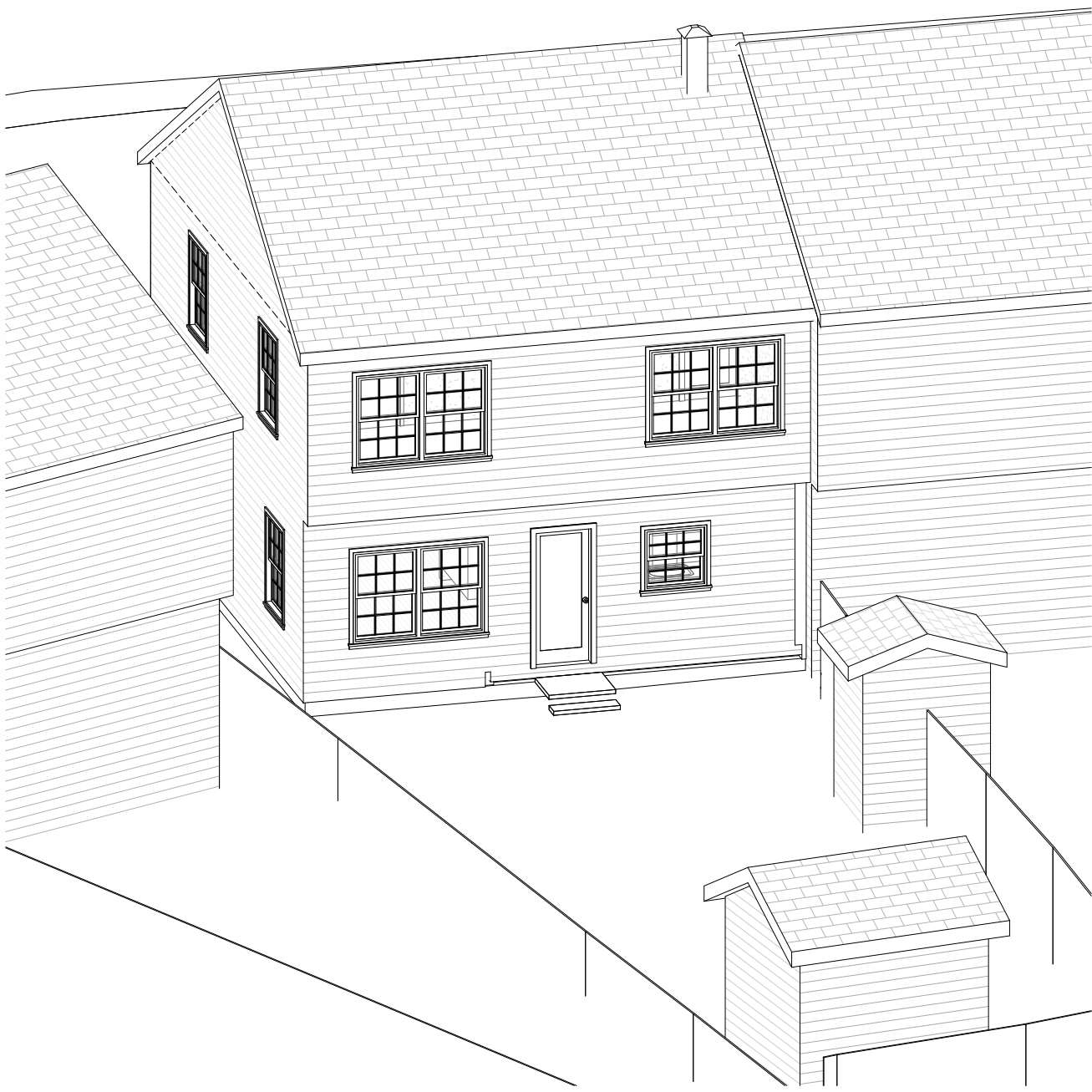




6 3D - PERSPECTIVE, RIGHT



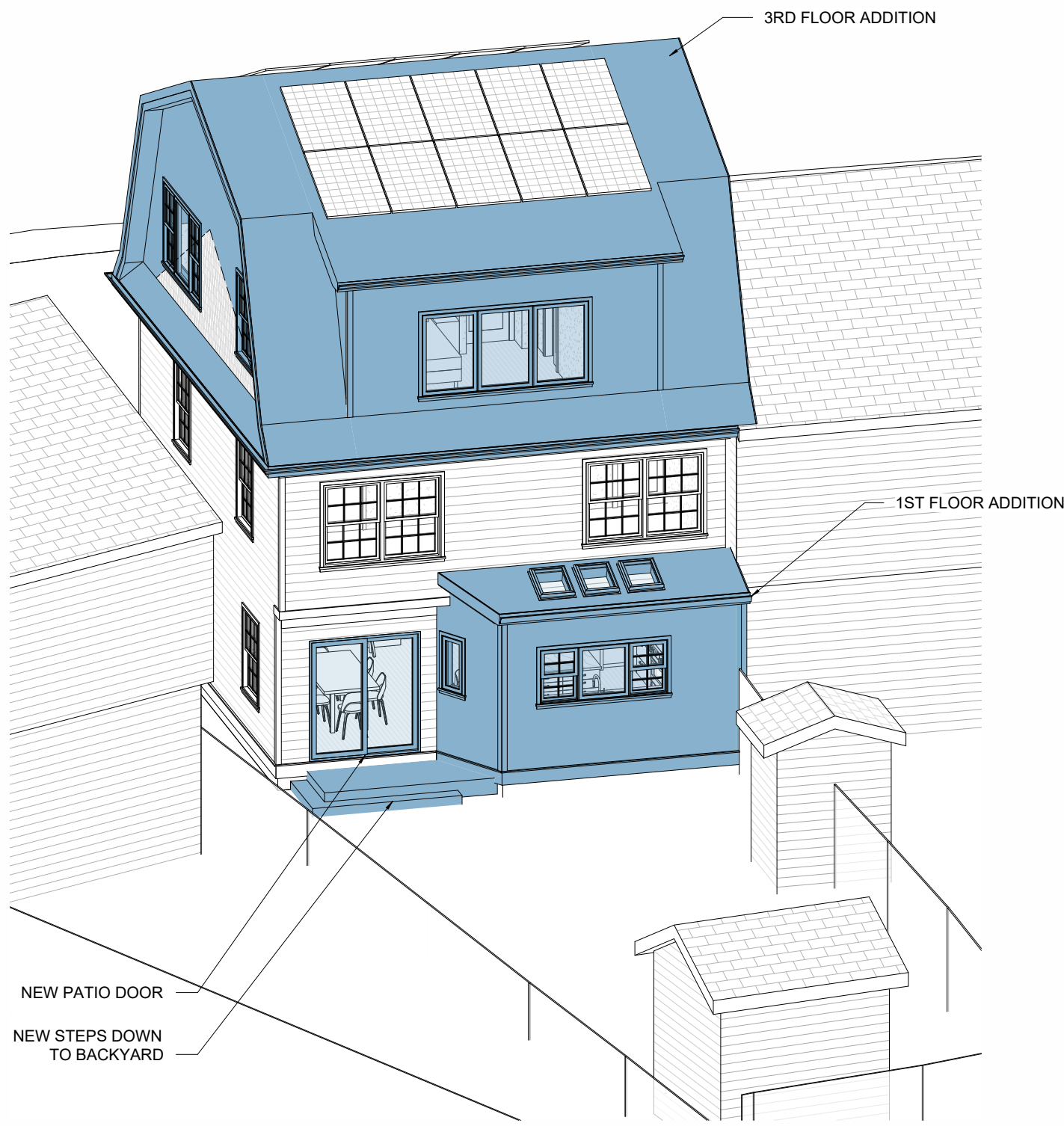
5 3D - PERSPECTIVE, LEFT



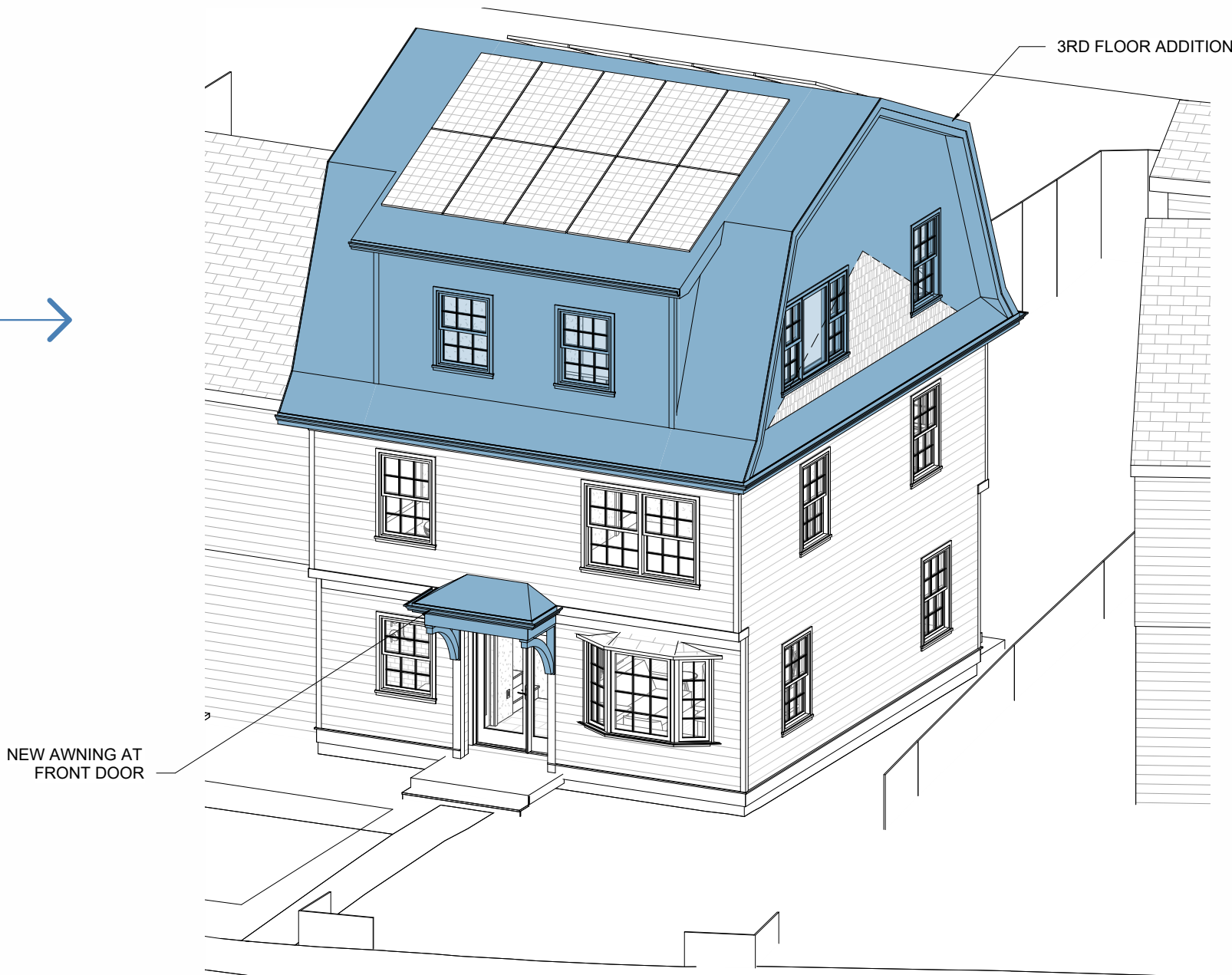
3 3D EXISTING REAR



1 3D EXISTING FRONT



4 3D PROPOSED REAR



2 3D PROPOSED FRONT



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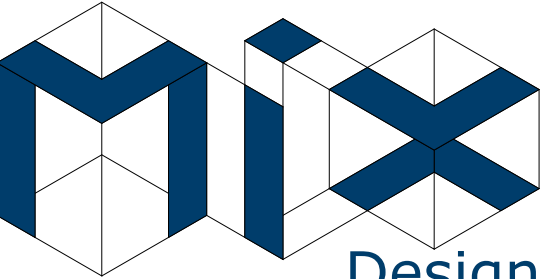
3D VIEWS

Project number 202307  
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A0.03

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MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND ALL CODES INCORPORATED AND REFERENCED THEREIN

No.	Description	Date

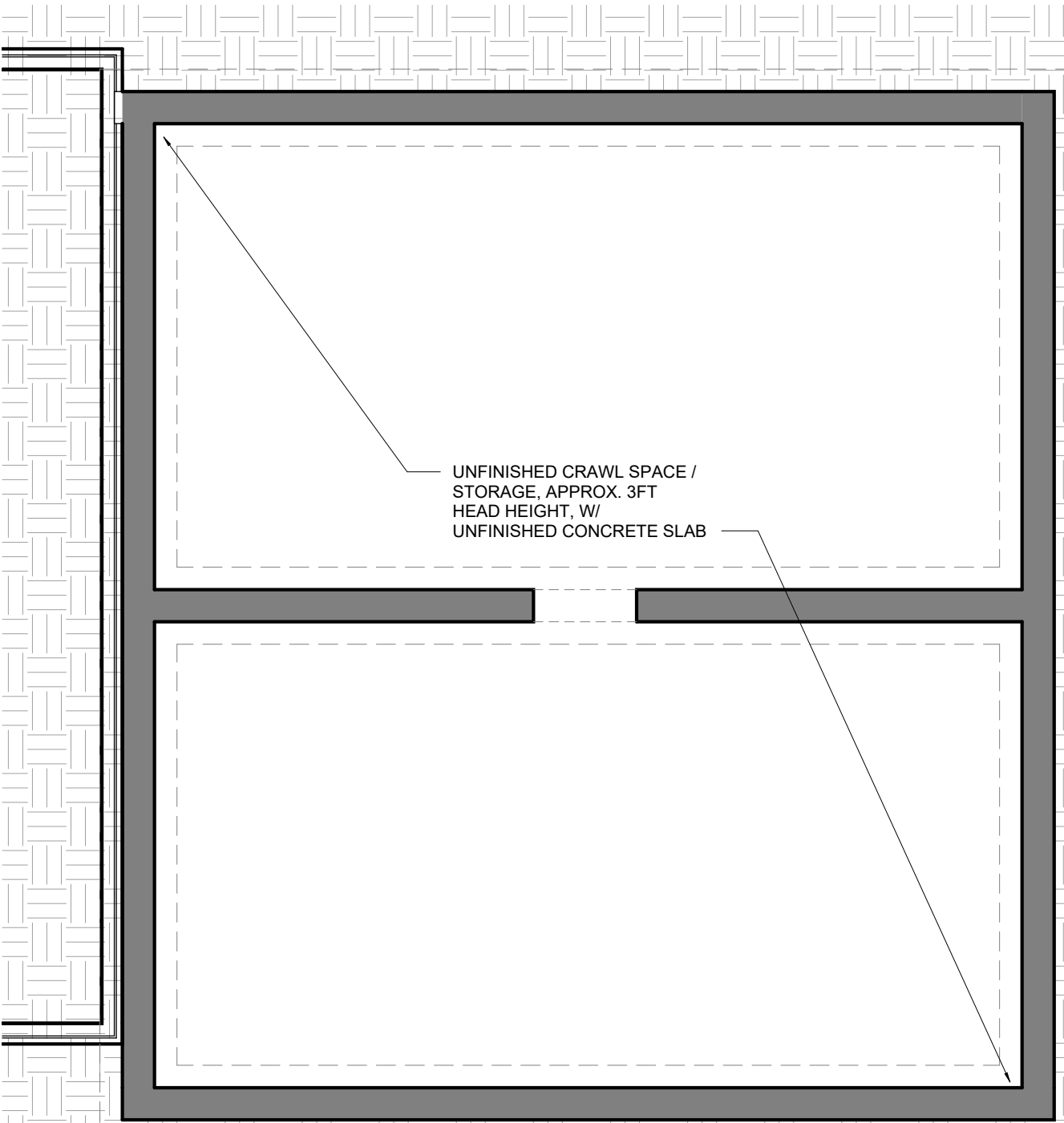
BLAINEY-MORK  
8 JAMES WAY  
CAMBRIDGE, MA

BASEMENT PLANS

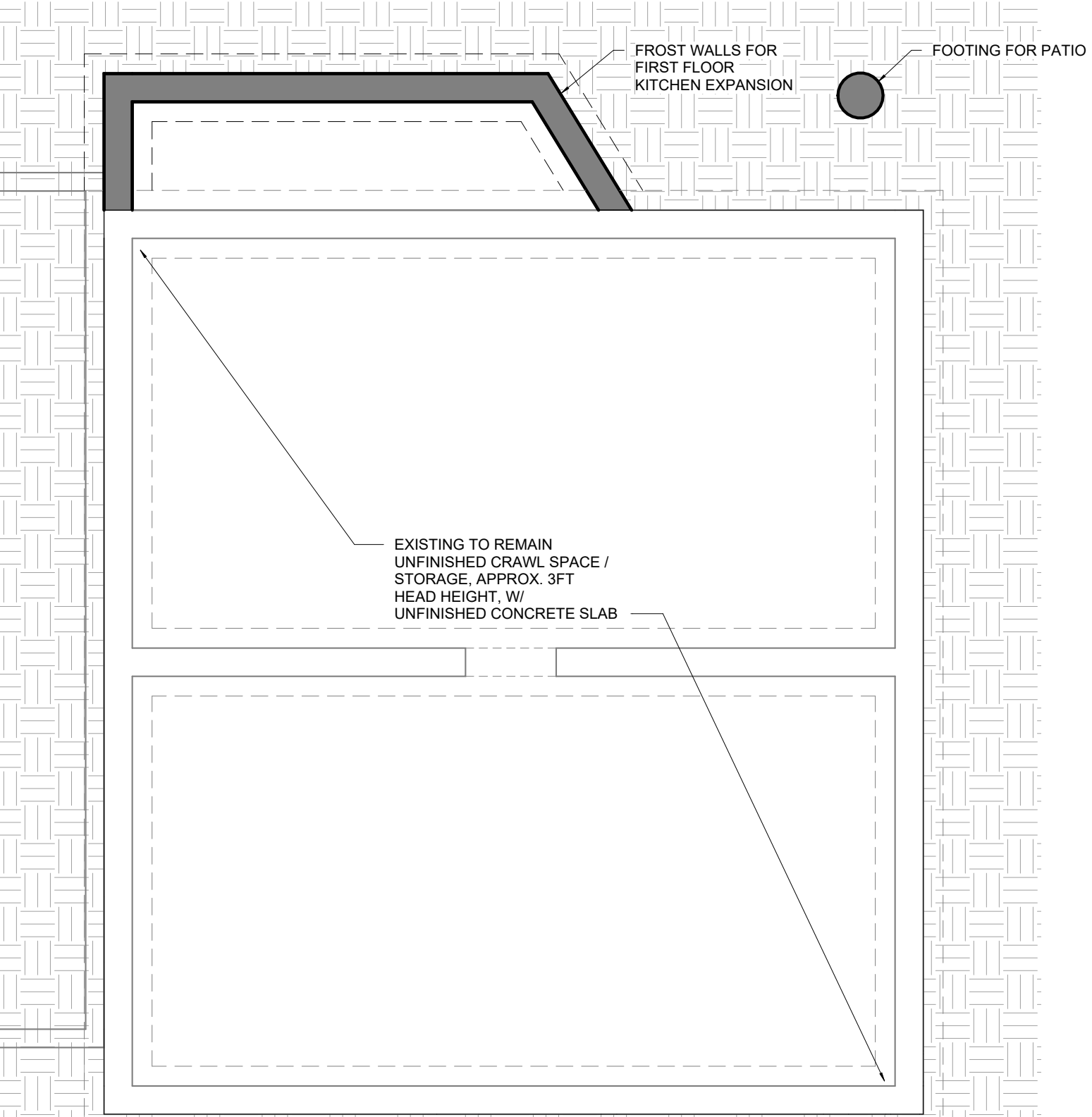
Project number	202307
Date	1/7/2025

A1.00

Scale	1/4" = 1'-0"
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1 EXISTING TO REMAIN BASEMENT CRAWL SPACE  
1/4" = 1'-0"



2 BASEMENT CRAWL SPACE  
1/4" = 1'-0"





10 Grand View Ave  
Somerville, MA 02143  
617-863-6491  
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MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND ALL CODES INCORPORATED AND REFERENCED THEREIN

DOOR SCHEDULE				
DOOR LABEL	TYPE	DIMENSIONS		NOTES
		WIDTH	HEIGHT	
11a	S1	40"	80"	P
11d	(none)	30"	80"	(none)
31a	P1	30"	80"	PK+PPV+EP
32a	P1	30"	80"	PK+FP+EP Cavity Slider pocket door kit, soft close & open
34a	P1	30"	80"	PK+PPV+EP
35a	S1	30"	80"	PV
35b	BP2	72"	80"	FP
EXT1	S1	54"	80"	KE1 36" door + 18" sidelight
EXT2	SP	72"	80"	(none) Sliding Patio 2-Panel

DOOR TYPE SCHEDULE	
TYPE	DESCRIPTION
BP2	BY-PASS, 2-PANEL
P1	POCKET, SINGLE
S1	SWING, SINGLE
SP	SLIDING PATIO

DOOR HARDWARE SCHEDULE	
NAME	DESCRIPTION
FP	FINGER PULL
KE1	KEYED ENTRY, STYLE 1
P	PASSAGE
PK+FP+EP	POCKET KIT + FINGER PULL + EDGE PULL
PK+PPV+EP	POCKET KIT + POCKET PRIVACY + EDGE PULL
PV	PRIVACY

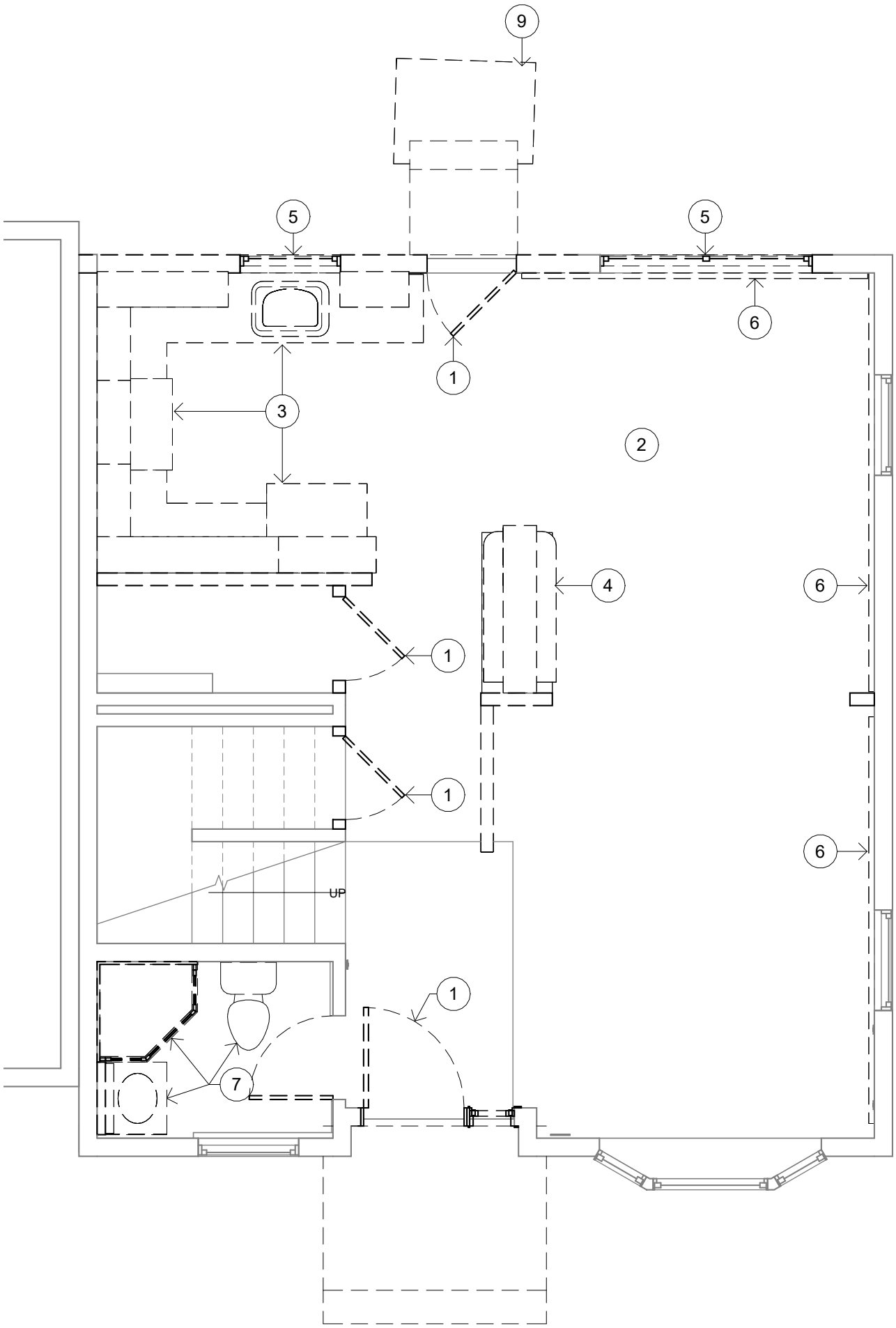
**DEMOLITION NOTES**

REMOVE AND DISPOSE OF WALL

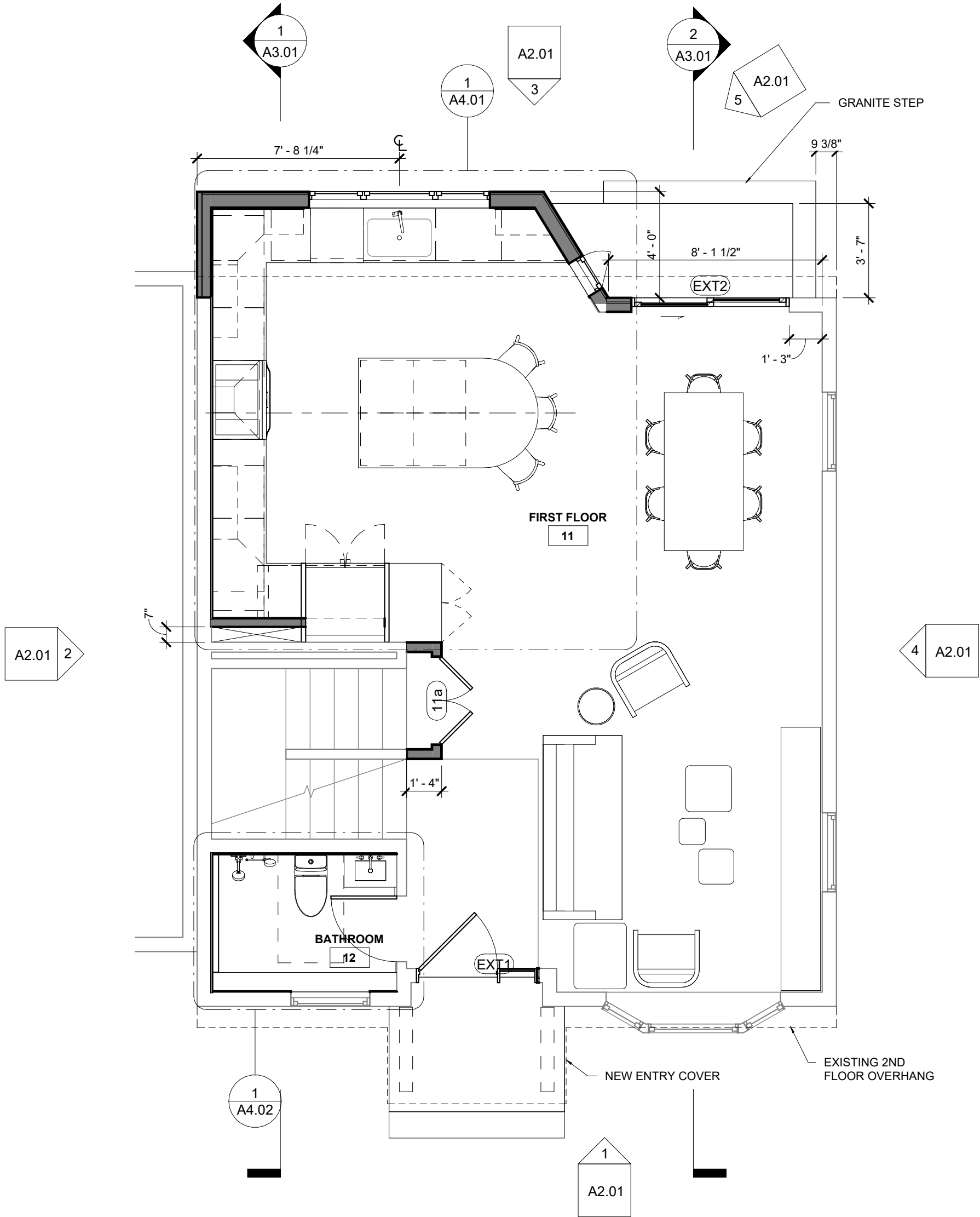
- REMOVE AND DISPOSE OF DOOR.
- REMOVE AND DISPOSE OF FLOOR FINISH.
- REMOVE AND DISPOSE OF CABINETS, COUNTERTOP, AND PLUMBING FIXTURES. STORE DISHWASHER, REMOVE AND DISPOSE OF OTHER APPLIANCES.
- REMOVE AND DISPOSE OF ISLAND.
- REMOVE AND DISPOSE OF WINDOW.
- REMOVE AND DISPOSE OF BASEBOARD HEAT.
- REMOVE AND DISPOSE OF VANITY, PLUMBING FIXTURES, AND WALL FINISH.
- REMOVE AND DISPOSE OF PORTION OF WALL FOR NEW DOOR OR OPENING. SEE CONSTRUCTION PLAN AND DOOR SCHEDULE.
- REMOVE AND DISPOSE OF EXTERIOR LANDING AND STAIR.

**FIRST FLOOR PLAN NOTES**

- DUCTED HEAT PUMP, SUPPLY AND RETURN REGISTER LOCATION TBD BY HVAC W/ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- INSTALL SOUND ATTENUATING INSULATION IN WALL CAVITIES AROUND THE BATHROOM.
- WOOD FLOORING IN THE NEW KITCHEN & DINING ROOM TO MATCH EXISTING.
- TILE FLOOR IN NEW POWDER ROOM.
- BOARD AND PLASTER WALLS, PAINTED THROUGHOUT FIRST FLOOR.
- PATCH AND FINISH EXISTING FLOORING IN LIVING ROOM AND HALLWAY.
- WOOD BASEBOARD, WINDOW, AND DOOR CASINGS, PAINTED, TYP.



② EXISTING / DEMO 1ST FLOOR PLAN  
1/4" = 1'-0"



① PROPOSED 1ST FLOOR PLAN  
1/4" = 1'-0"

No.	Description	Date

BLAINEY-MORK  
8 JAMES WAY  
CAMBRIDGE, MA

1ST FLOOR PLANS

Project number	202307
Date	1/7/2025

A1.01

Scale	As indicated
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MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND ALL CODES INCORPORATED AND REFERENCED THEREIN

No.	Description	Date

BLAINEY-MORK  
8 JAMES WAY  
CAMBRIDGE, MA

2ND FLOOR PLANS

Project number	202307
Date	1/7/2025

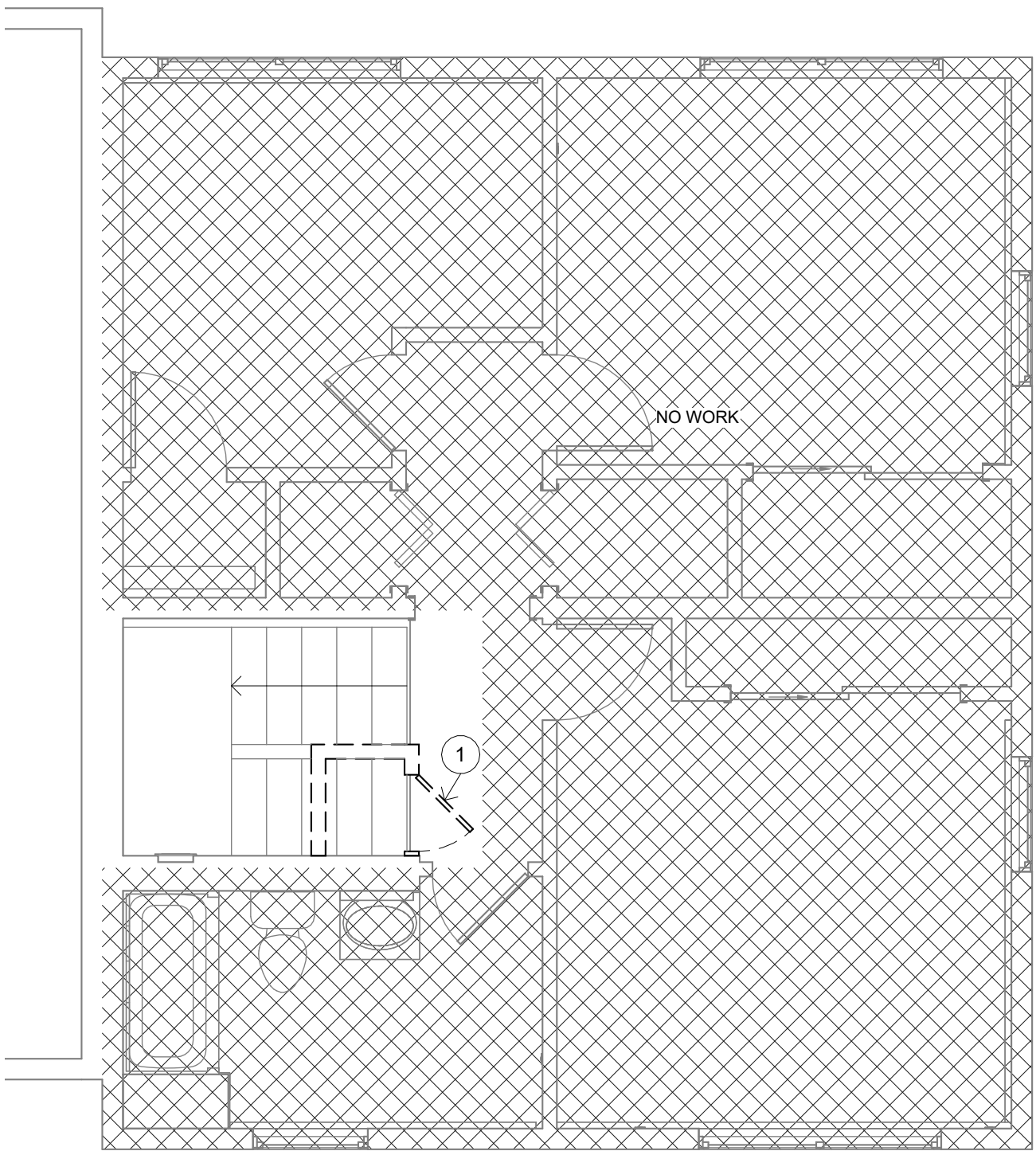
A1.02

Scale	As indicated
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DEMOLITION NOTES

REMOVE AND DISPOSE OF WALL

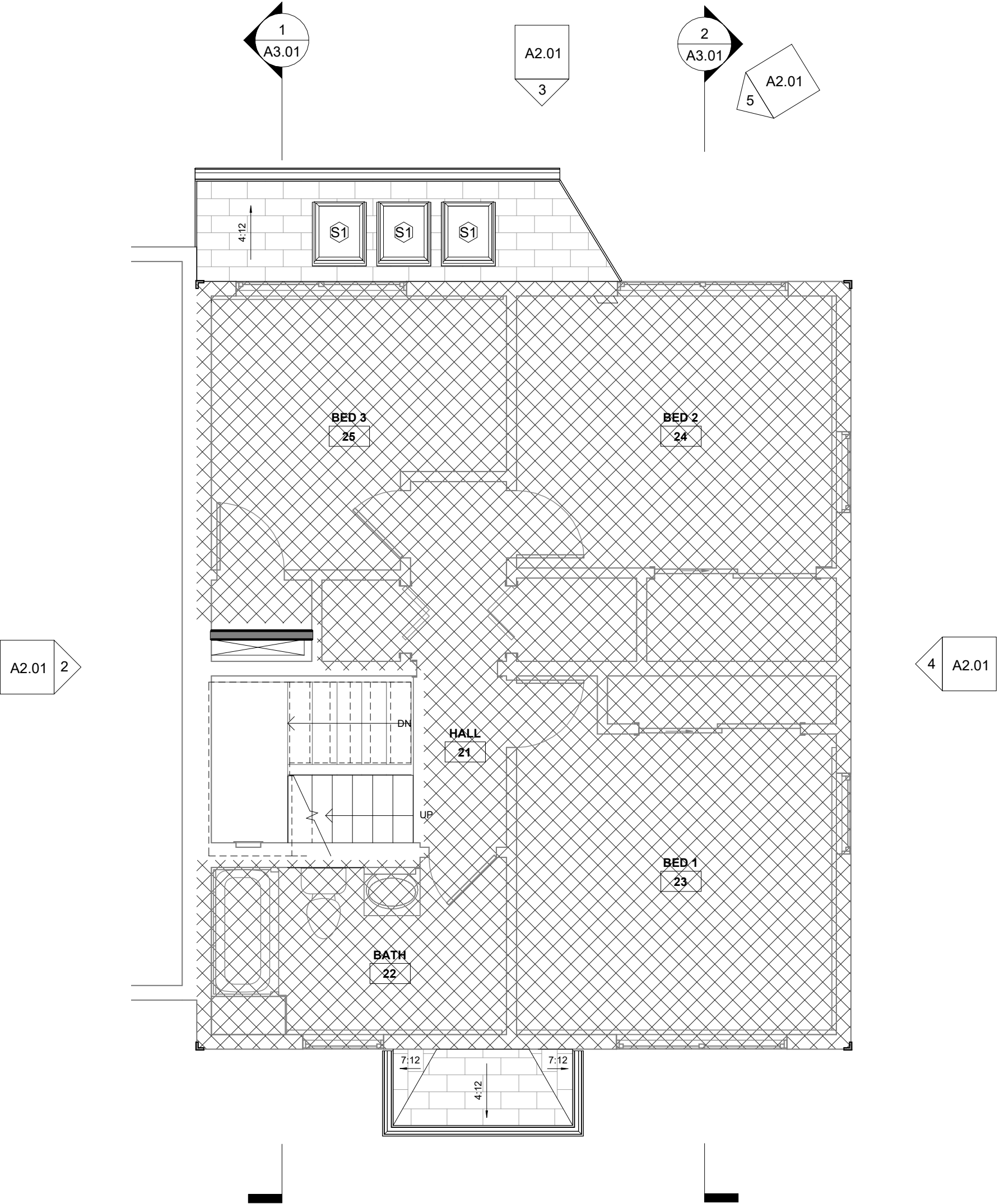
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- REMOVE AND DISPOSE OF FLOOR FINISH.
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- REMOVE AND DISPOSE OF ISLAND.
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- REMOVE AND DISPOSE OF BASEBOARD HEAT.
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- REMOVE AND DISPOSE OF EXTERIOR LANDING AND STAIR.



1 EXISTING / DEMO 2ND FLOOR PLAN  
1/4" = 1'-0"

GENERAL

- A. BOARD AND PLASTER WALLS, PAINTED, TYP.  
B. WOOD TREAD STAIR W/ WOOD WALL-MOUNTED HANDRAIL  
C. WOOD BASEBOARD AND WINDOW AND DOOR CASING, PAINTED, TYP.  
D. PATCH AND REFINISH FLOORING TO MATCH EXISTING AS REQUIRED.  
E. PAINT ALL WALLS AND TRIM ON SECOND FLOOR, TYP.



2 PROPOSED 2ND FLOOR PLAN  
1/4" = 1'-0"





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DOOR SCHEDULE				
DOOR LABEL	TYPE	DIMENSIONS		NOTES
		WIDTH	HEIGHT	
11a	S1	40"	80"	P
11d	(none)	30"	80"	(none)
31a	P1	30"	80"	PK+PPV+EP
32a	P1	30"	80"	PK+FP+EP
34a	P1	30"	80"	PK+PPV+EP
35a	S1	30"	80"	PV
35b	BP2	72"	80"	FP
EXT1	S1	54"	80"	KE1
EXT2	SP	72"	80"	(none)

DOOR TYPE SCHEDULE	
TYPE	DESCRIPTION
BP2	BY-PASS, 2-PANEL
P1	POCKET, SINGLE
S1	SWING, SINGLE
SP	SLIDING PATIO

DOOR HARDWARE SCHEDULE	
NAME	DESCRIPTION
FP	FINGER PULL
KE1	KEYED ENTRY, STYLE 1
P	PASSAGE
PK+FP+EP	POCKET KIT + FINGER PULL + EDGE PULL
PK+PPV+EP	POCKET KIT + POCKET PRIVACY + EDGE PULL
PV	PRIVACY

- THIRD FLOOR PLAN NOTES - GENERAL**
- DUCTED HEAT PUMP, SUPPLY AND RETURN REGISTER LOCATION TBD BY HVAC W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
  - INSTALL SOUND ATTENUATING INSULATION IN WALL CAVITIES AROUND THE BATHROOM.
  - BOARD AND PLASTER WALLS, PAINTED, UNLESS OTHERWISE NOTED
  - BOARD AND PLASTER CEILING, PAINTED, UNLESS OTHERWISE NOTED
  - HARDWOOD FLOORING, STYLE AND FINISH TBD, UNLESS OTHERWISE NOTED
  - WOOD BASEBOARD, WINDOW, AND DOOR CASINGS, PAINTED, TYP.

**PRINCIPAL BEDROOM - 31**  
SEE GENERAL NOTES

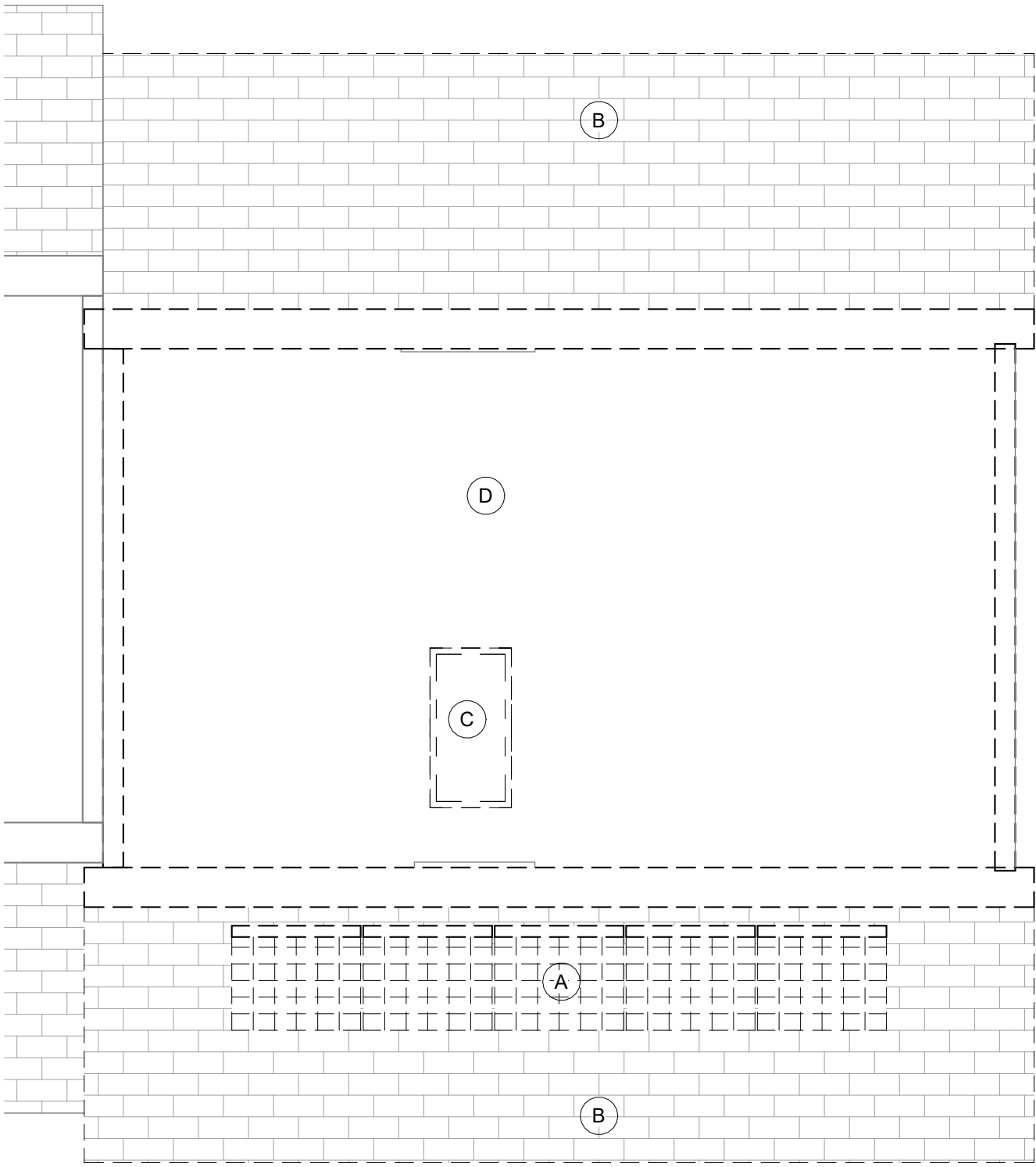
**CLOSET - 32**  
SEE GENERAL NOTES  
1. FIT-OUT OF CLOSET TBD

**HALL - 33**  
SEE GENERAL NOTES  
1. WOOD STAIRS, STYLE AND FINISH TBD

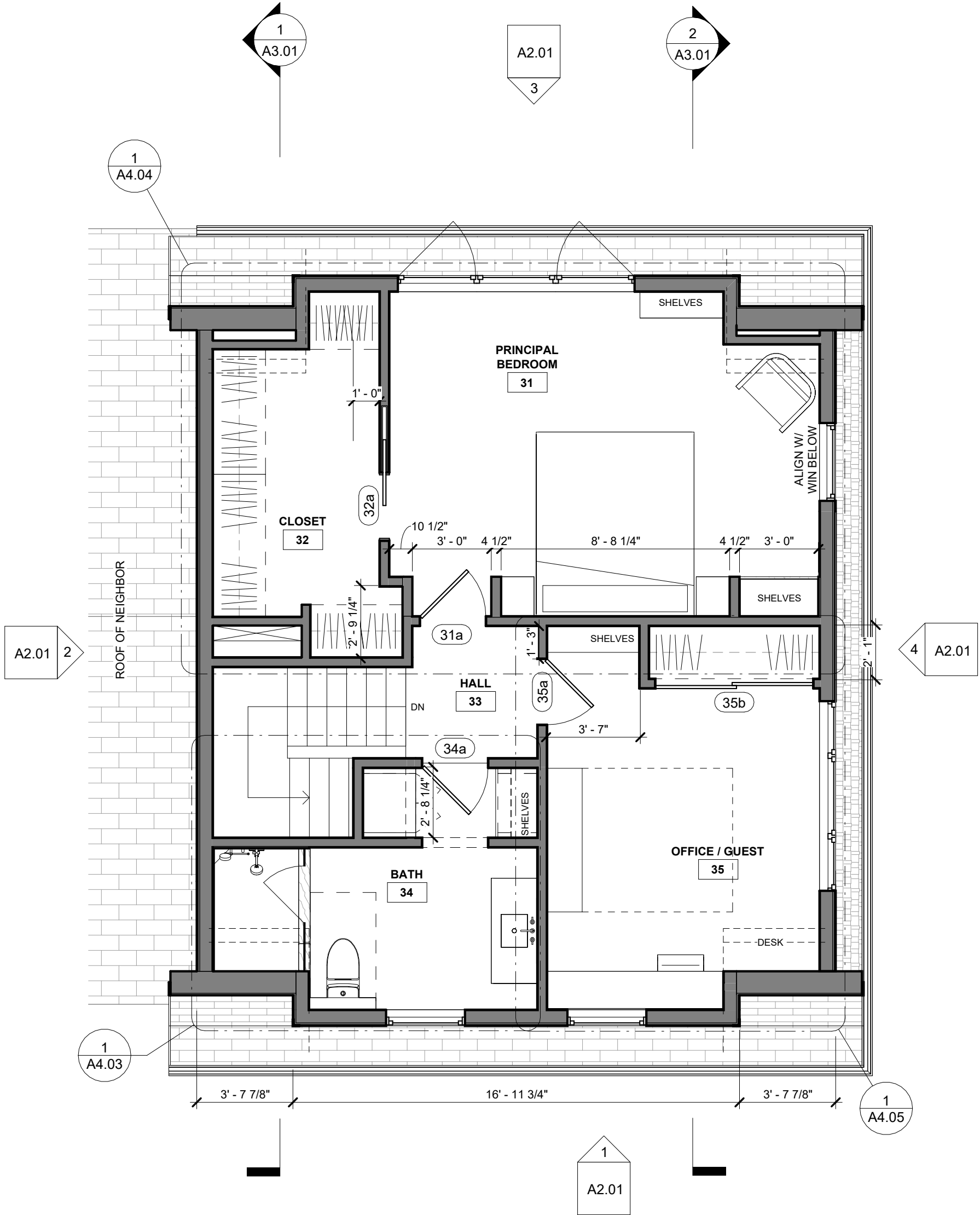
- BATH - 34**  
SEE GENERAL NOTES
- PORCELAIN TILE FLOOR
  - TILE WALL @ SHOWER
  - 3" CURB W/ STONE CAP @ SHOWER
  - ONE-PIECE TOILET
  - SINGLE VANITY WITH STONE COUNTER, WOOD BASE CABINET, WALL-MOUNTED MIRROR
  - ELECTRIC RADIANT FLOOR UNDER TILE W/ PROGRAMMABLE THERMOSTAT

**OFFICE/GUEST - 35**  
SEE GENERAL NOTES

- THIRD FLOOR NOTES**
- REMOVE AND STORE SOLAR PANELS FOR REUSE
  - REMOVE AND DISPOSE OF ROOFING AND ROOF STRUCTURE.
  - REMOVE AND DISPOSE OF ATTIC STAIRS.
  - REMOVE AND DISPOSE OF ATTIC FLOORING, FLOOR STRUCTURE, AND SECOND FLOOR CEILING



1 EXISTING / DEMO 3RD FLOOR PLAN  
1/4" = 1'-0"



2 PROPOSED 3RD FLOOR PLAN  
1/4" = 1'-0"

No.	Description	Date

BLAINEY-MORK  
8 JAMES WAY  
CAMBRIDGE, MA

3RD FLOOR PLANS

Project number	202307
Date	1/7/2025

A1.03

Scale	1/4" = 1'-0"
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MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND ALL CODES INCORPORATED AND REFERENCED THEREIN

No.	Description	Date

BLAINEY-MORK  
8 JAMES WAY  
CAMBRIDGE, MA

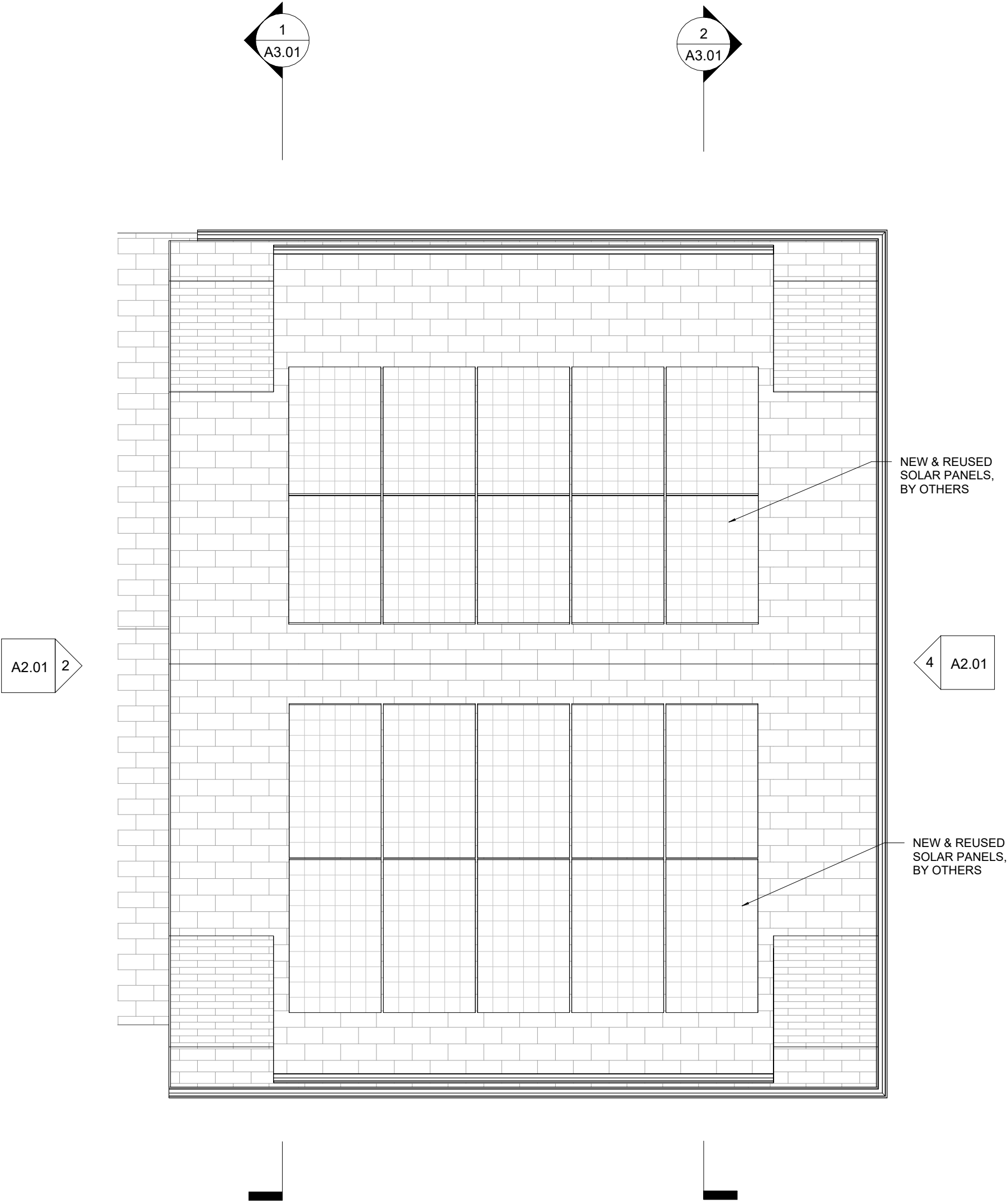
ROOF PLAN

Project number	202307
Date	1/7/2025

A1.04

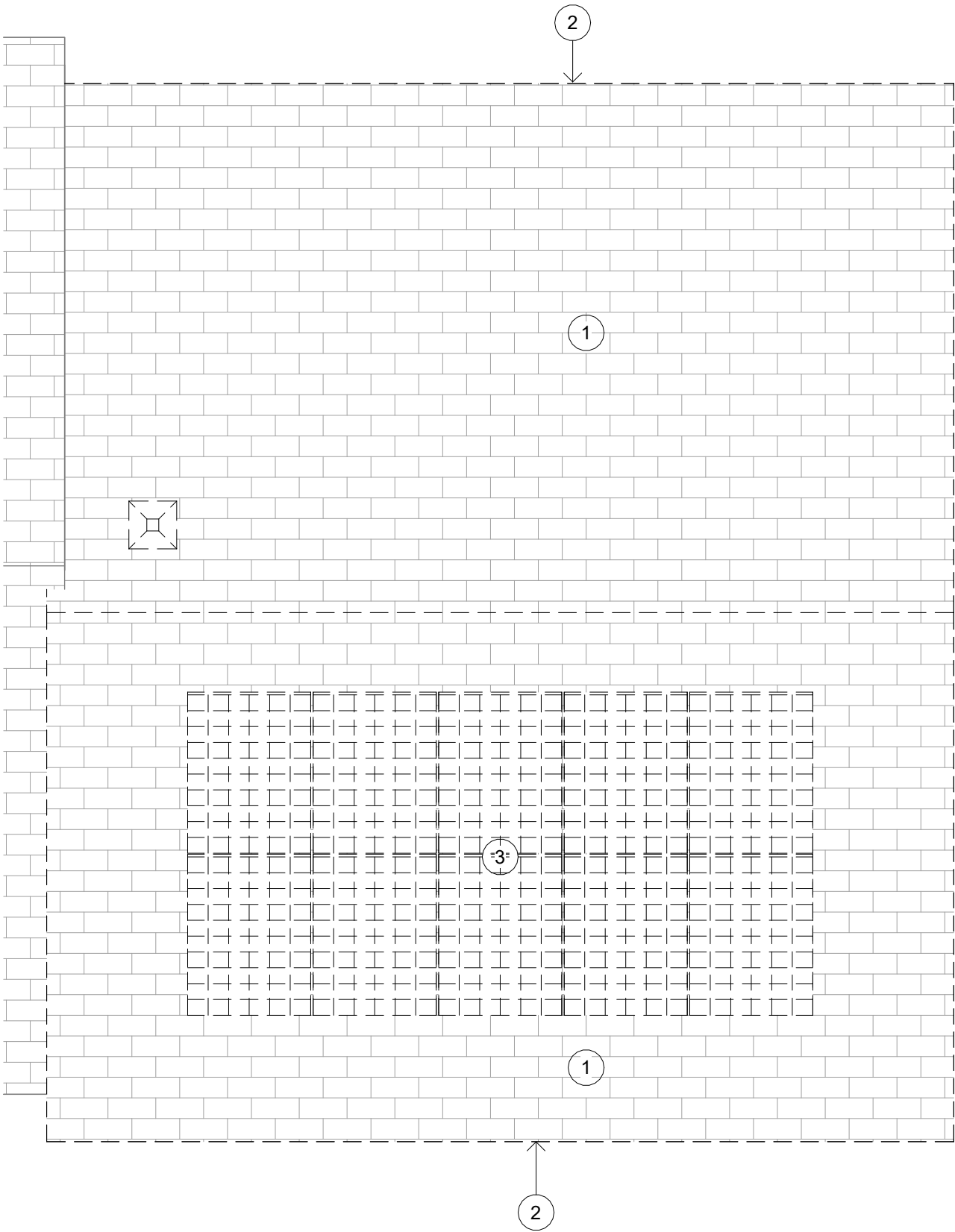
Scale	1/4" = 1'-0"
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- ROOF PLAN NOTES**
1. ASSUME 2x10 ROOF FRAMING, FILLED CAVITIES BETWEEN RAFTERS W/ CLOSED CELL SPRAY FOAM INSULATION, 5/8" STRUCTURAL SHEATHING, 4-1/2" RIGID BOARD INSULATION W/ STAGGERED SEAMS, 1/2" PROTECTION BOARD, HOT-ROOF APPROPRIATE WATERPROOFING MEMBRANE, ARCHITECTURAL ASPHALT SHINGLES APPROPRIATE FOR HOT-ROOF INSTALLATION.
  2. ASSUME ACCOYA FASCIA BOARDS, PAINTED TO MATCH EXISTING.
  3. ALUMINUM K-STYLE GUTTRS W/ ALUMINUM RECTANGULAR DOWNSPOUTS



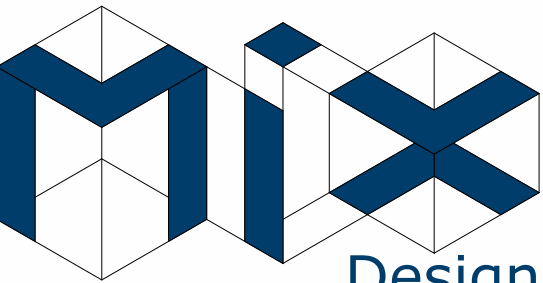
2 PROPOSED ROOF PLAN  
1/4" = 1'-0"

- ROOF DEMO NOTES**
1. REMOVE AND DISPOSE OF ROOF.
  2. REMOVE AND STORE GUTTERS FOR REUSE AS POSSIBLE.
  3. REMOVE AND STORE SOLAR PANELS FOR REUSE.



1 DEMO ROOF  
1/4" = 1'-0"





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1. MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  2. COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  3. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  4. ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  5. COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND ALL CODES INCORPORATED AND REFERENCED THEREIN

No.	Description	Date

BLAINEY-MORK  
8 JAMES WAY  
CAMBRIDGE, MA

EXISTING BUILDING  
ELEVATIONS

Project number	202307
Date	1/7/2025

A2.00

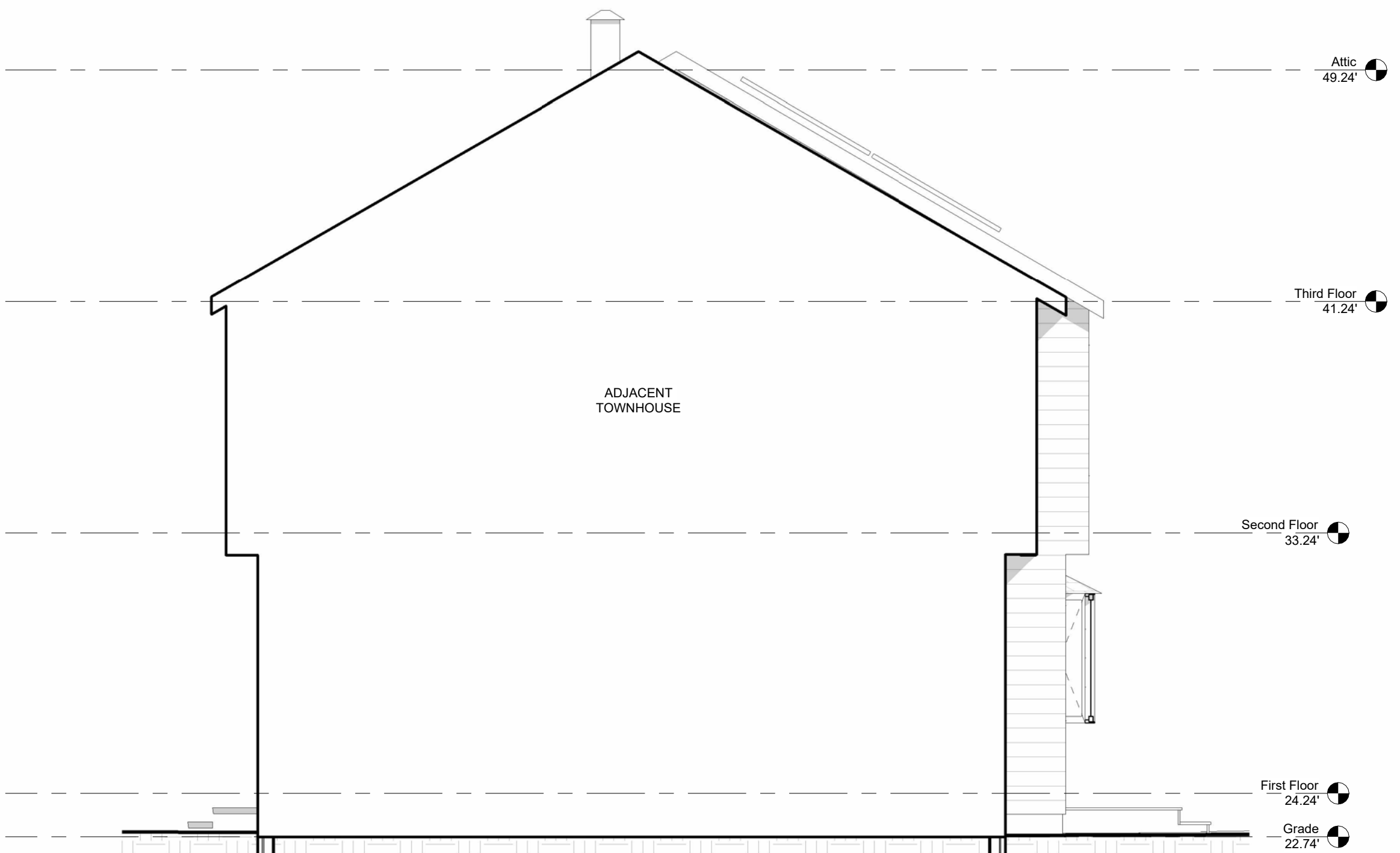
Scale	1/4" = 1'-0"
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④ EXISTING RIGHT SIDE ELEVATION  
1/4" = 1'-0"



③ EXISTING REAR ELEVATION  
1/4" = 1'-0"



② EXISTING LEFT SIDE ELEVATION  
1/4" = 1'-0"



① EXISTING FRONT BUILDING ELEVATION  
1/4" = 1'-0"

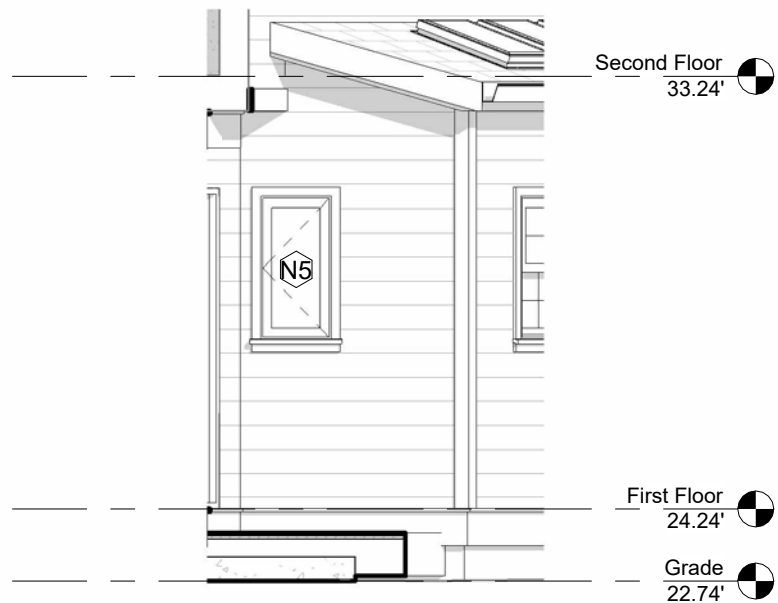


EXISTING WINDOWS TO BE REPLACED				
WINDOW LABEL	TYPE	NOMINAL DIMENSIONS		
		WIDTH	HEIGHT	SILL HEIGHT
E1	DH	36"	54"	24"
E2	DH2	76"	54"	24"
E3	DH	36"	48"	30"
E4	BAY	79 1/2"	54"	24"

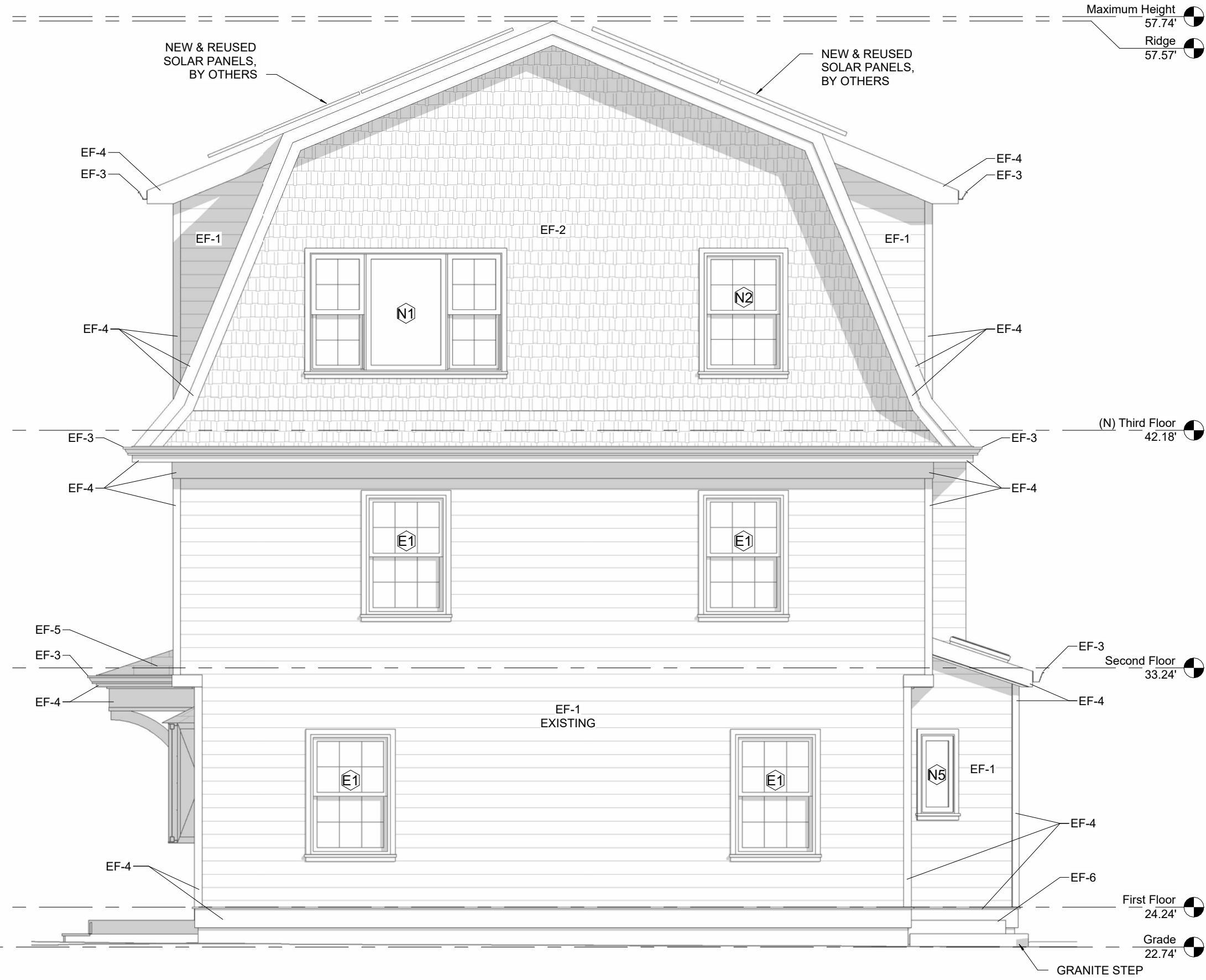
NEW WINDOWS				
WINDOW LABEL	TYPE	NOMINAL DIMENSIONS		
		WIDTH	HEIGHT	SILL HEIGHT
N1	DH3	86 1/2"	53 1/2"	26 1/2"
N2	DH	35 1/2"	53 1/2"	26 1/2"
N3	C3	108"	54"	24"
N4	DH3	82 1/2"	35 1/2"	42 1/2"
N5	C	17 1/2"	35 1/2"	42 1/2"
N6	DH	36"	48"	32"
S1	SK	22 3/8"	28 3/8"	

DH - DOUBLE-HUNG, SINGLE  
DH2 - DOUBLE-HUNG, DOUBLE  
DH3 - PICTURE W/ (2) FLANKING DOUBLE-HUNGs  
BAY - BAY  
C - CASEMENT  
C3 - PICTURE W/ (2) FLANKING CASEMENTS  
SK - SKYLIGHT

- GENERAL NOTES:  
A. ALL WINDOW SIZES TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO ORDERING.  
B. PROVIDE SUBMITTAL TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ORDERING.

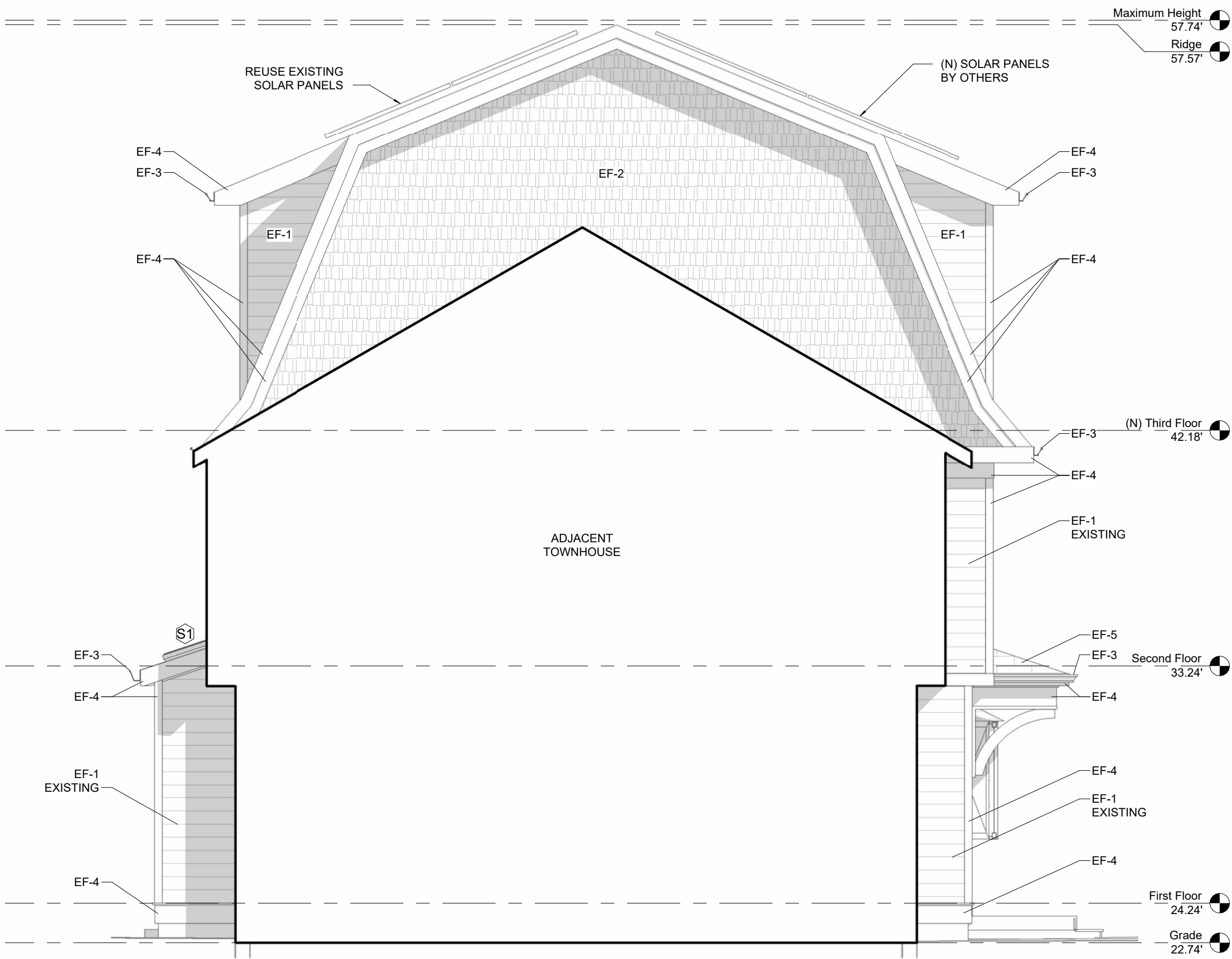


5 PROPOSED REAR ADDITION ELEVATION  
1/4" = 1'-0"

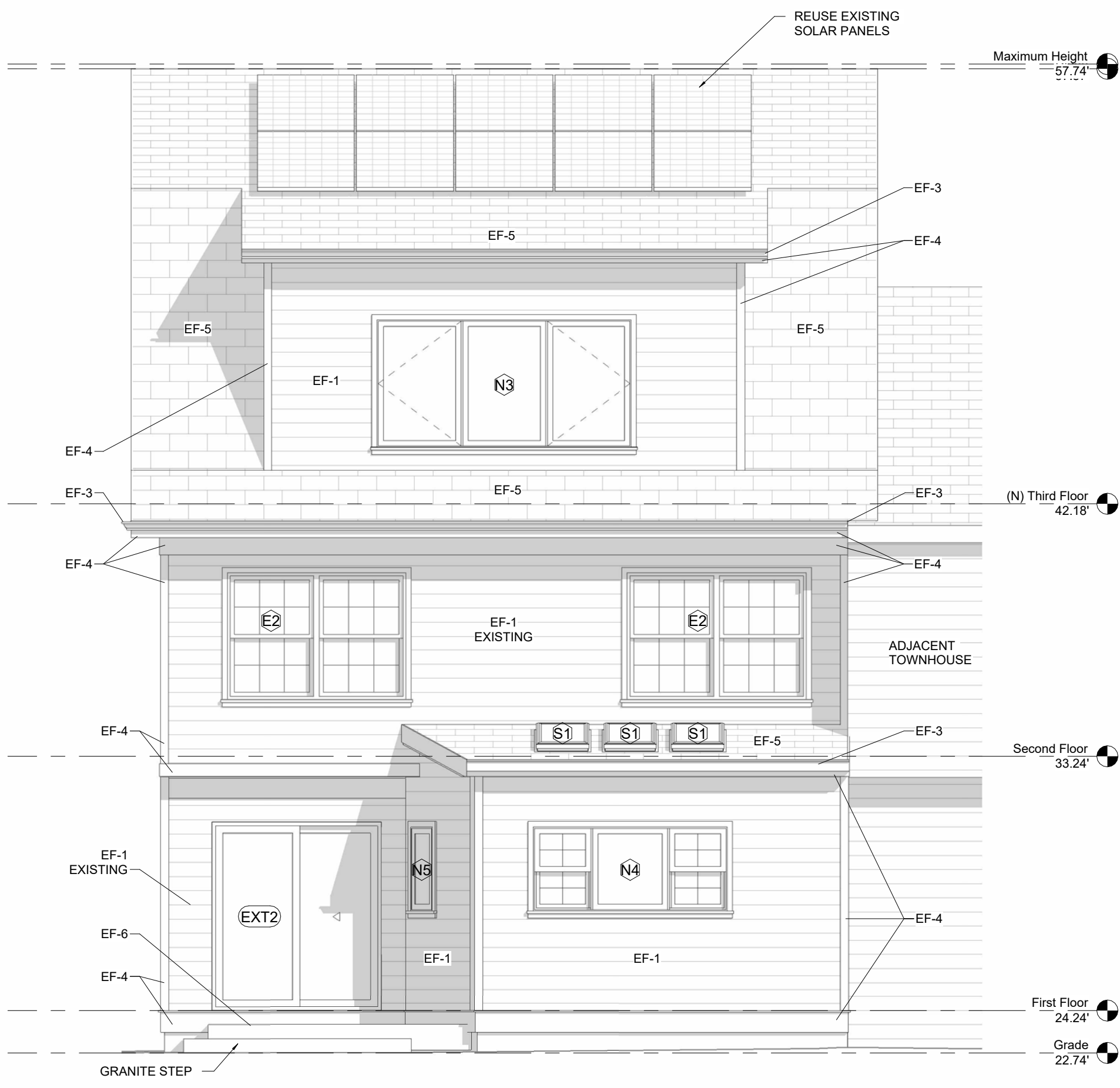


4 PROPOSED RIGHT SIDE ELEVATION  
1/4" = 1'-0"

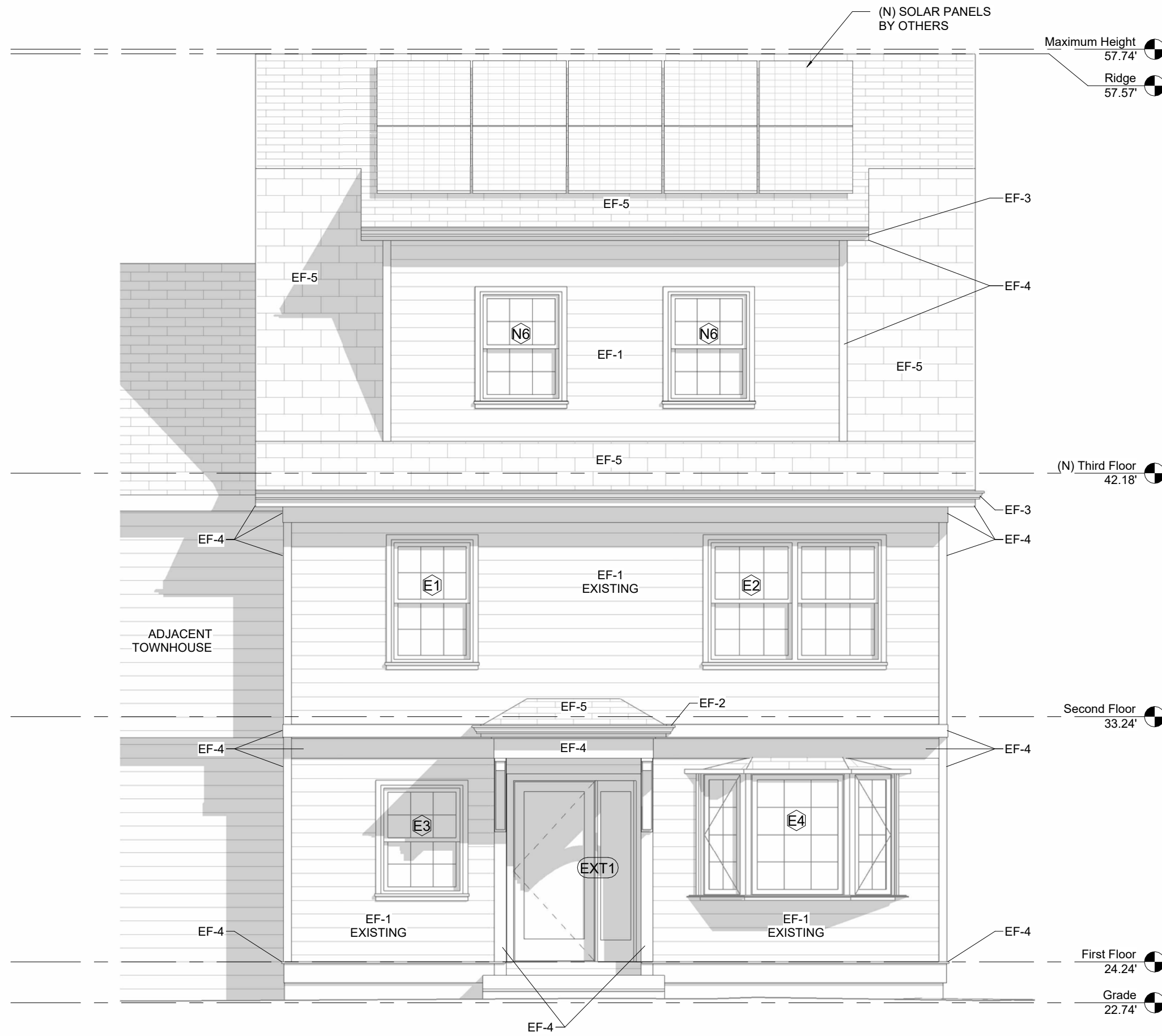
- GENERAL EXTERIOR NOTES  
A. MATCH EXISTING EVERLAST COMPOSITE SIDING ON ADDITIONS AND PATCH INTO EXISTING WHERE REQUIRED
- EXTERIOR FINISHES (EF-#)  
1. SIDING, TO MATCH EXISTING  
2. SIDING, SHINGLES  
3. ALUMINUM GUTTER & DOWNSPOUT, TO MATCH EXISTING  
4. TRIM, SKIRTSBOARD & WATER TABLE, FASCIA, CORNER BOARDS, TO MATCH EXISTING  
5. ASPHALT SHINGLES  
6. COMPOSITE DECKING



2 PROPOSED LEFT SIDE ELEVATION  
1/4" = 1'-0"



3 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



1 PROPOSED FRONT BUILDING ELEVATION  
1/4" = 1'-0"

- GENERAL DESIGN / BUILD NOTES:
- GENERAL CONTRACTOR SHALL BE LICENSED TO PRACTICE IN THE STATE WHERE THE WORK IS BEING PERFORMED. ALL SUBCONTRACTORS SHALL BE SIMILARLY LICENSED AS REQUIRED BY THE STATE.
  - ANY MODIFICATIONS TO THE DESIGN BY GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT PRIOR TO IMPLEMENTATION.
  - ALL WORK RELATED TO HVAC, PLUMBING, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, AND PLUMBING LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.

- DIMENSION NOTES:
- CONTRACTOR SHALL VERIFY IN FIELD ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES.
  - ALL DIMENSIONS ARE TO FACE OF STUD AT NEW WALLS AND FINISHED FACE AT EXISTING WALLS UNLESS OTHERWISE NOTED.
  - DIMENSIONS NOTED "FIN" ARE TO FINISHED FACE.
  - DIMENSIONS NOTED "CLR" ARE CLEAR.
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No.	Description	Date

**BLAINEY-MORK**  
**8 JAMES WAY**  
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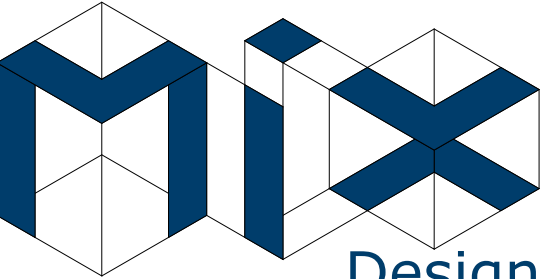
## PROPOSED BUILDING ELEVATIONS

Project number	202307
Date	1/7/2025

**A2.01**

Scale As indicated





10 Grand View Ave  
Somerville, MA 02143  
617-863-6491  
dsidel@mixdesigndevelop.com  
www.mixdesigndevelop.com

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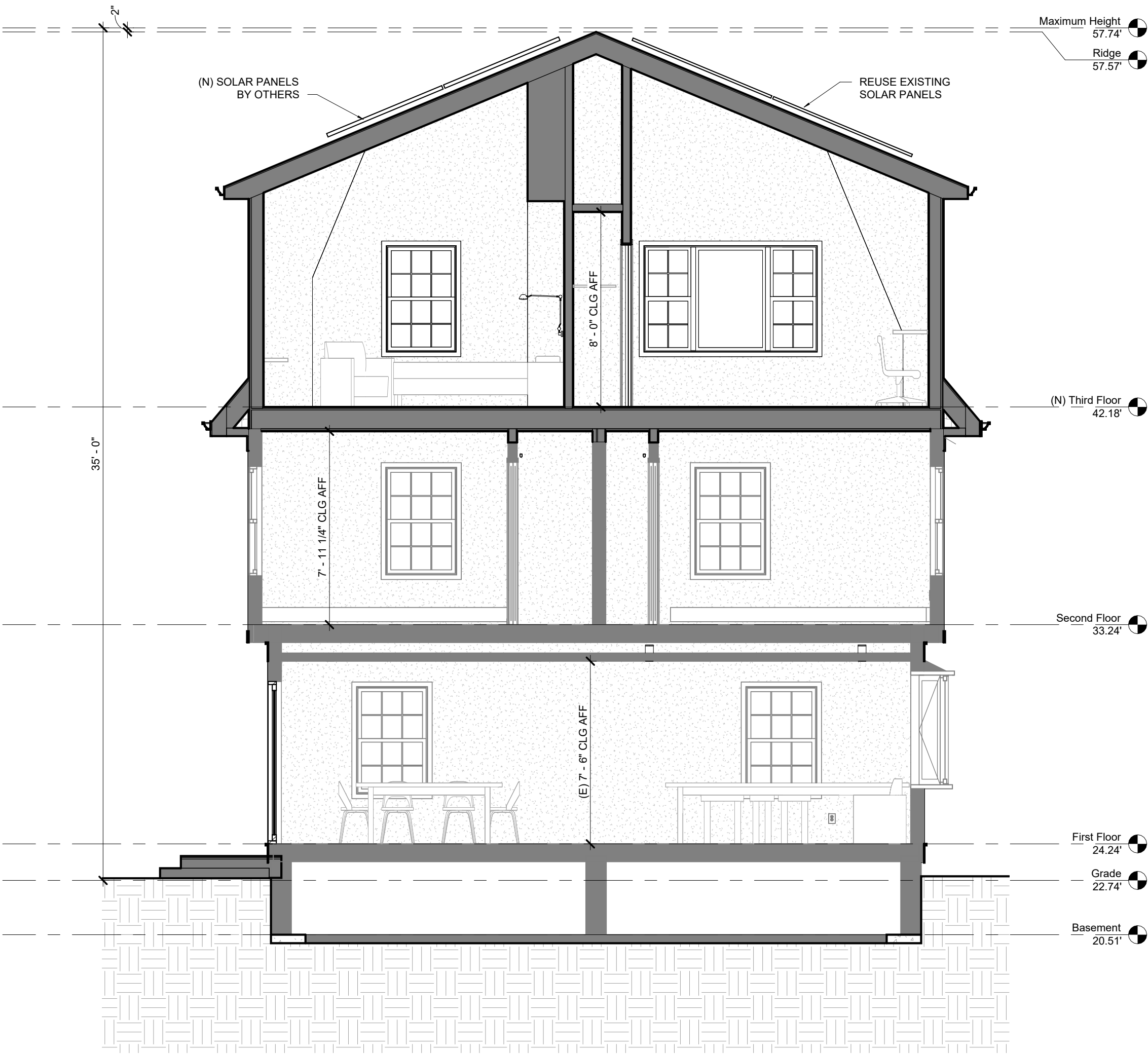
BLAINEY-MORK  
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BUILDING SECTIONS

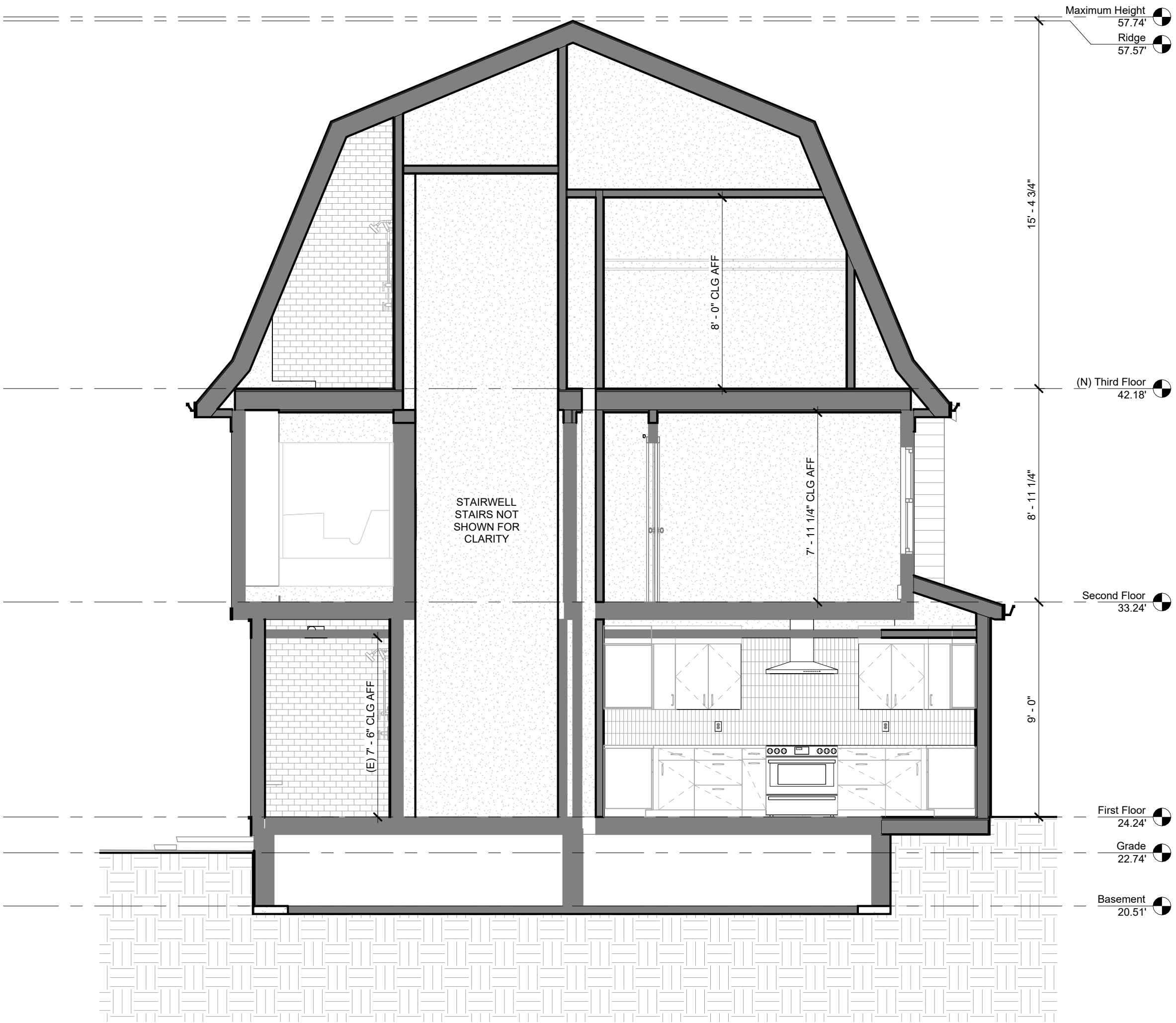
Project number	202307
Date	1/7/2025

A3.01

Scale	1/4" = 1'-0"
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2 BUILDING SECTION THROUGH DORMERS  
1/4" = 1'-0"



1 BUILDING SECTION THROUGH GAMBREL  
1/4" = 1'-0"