



# BUILDING CODE REVIEW

## PROJECT DESCRIPTION

DEMOLITION WORK IS PROPOSED FOR AN EXISTING SINGLE STORY COMMERCIAL STRUCTURE LOCATED AT 8 WINTER STREET IN CAMBRIDGE, MASSACHUSETTS.

SITWORK IS PROPOSED TO PREPARE THE LOT FOR THE CONSTRUCTION OF A NEW STRUCTURE.

THE NEW BUILDING IS PROPOSED TO BE SIX STORIES ABOVE A BASEMENT - TO HOUSE 23 RESIDENCES.

**TOTAL GROSS BUILDING AREA:**

**24,819 GSF**

## BUILDING CODE REFERENCES

- INTERNATIONAL BUILDING CODE (IBC), 2021
- MASSACHUSETTS STATE BUILDING CODE: 780 CMR (9TH Ed.)
- MASSACHUSETTS UNIFORM STATE PLUMBING CODE: 248 CMR 10.00 (2017)
- MASSACHUSETTS ARCHITECTURAL ACCESS BOARD: 521 CMR (2018)
  - § 42, 43, 46 - GROUP 1 DWELLING UNITS
- See Consultants' Drawings for reference to additional codes

## ENERGY CODE COMPLIANCE PATH

CAMBRIDGE HAS ADOPTED THE MASSACHUSETTS SPECIALIZED STRETCH ENERGY CODE, EFFECTIVE July 1, 2023. THE SPECIALIZED CODE REQUIRES NEW CONSTRUCTION TO MEET HIGH PERFORMANCE STANDARDS, AND BE PREPARED FOR ALL-ELECTRIC HEATING AND COOLING. THE SPECIALIZED CODE REQUIRES THAT MULTIFAMILY BUILDINGS OVER 12,000 SQ. FT. MEET PASSIVE HOUSE STANDARDS OR NETZERO HOME PERFORMANCE SCORES.

THEREFORE, THE PROPOSED PROJECT AT 8 WINTER STREET SHALL COMPLY WITH:

- MASSACHUSETTS SPECIALIZED STRETCH ENERGY CODE (effective July 1, 2023)
- PASSIVE HOUSE INSTITUTE U.S. (PHIUS), 2021

225 CMR 22.00 (IECC 2024 AND IBC 2021 CH 11 WITH MASSACHUSETTS AMENDMENTS) COMPLIANCE PATH - R401.2.2 - PASSIVEHOUSE BUILDING CERTIFICATION OPTION; TO COMPLY WITH SECTIONS R404.4 AND R405

- R404.4 - WIRING FOR EV READY SPACES
  - NOT APPLICABLE TO PROJECT - NO PARKING IS PROVIDED
- R405 - PASSIVEHOUSE BUILDING CERTIFICATION OPTION
  - R405.2 - PHIUS DOCUMENTATION - SEE PHIUS REPORT

## USE & OCCUPANCY CLASSIFICATION

IBC SECTION 301

THE 'USE & OCCUPANCY CLASSIFICATION' OF THE PROPOSED BUILDING SHALL BE:

**RESIDENTIAL GROUP R-2**

Residential Group R-2: occupancies containing sleeping units or more than two dwelling units where the occupants are primarily permanent in nature, including: apartment houses.

## FIRE PROTECTION SYSTEMS

IBC CHAPTER 9 & 780 CMR TABLE 903.2

8 WINTER STREET SHALL BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. PER 780 CMR TABLE 903.2 NOTE 1, THE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED THROUGHOUT THE STRUCTURE IN ACCORDANCE WITH NFPA 13.

PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED PER IBC SECTION 906. FIRE ALARM AND DETECTION SYSTEMS SHALL BE PROVIDED PER IBC SECTION 907. (REFER TO E, FP, & FA SERIES DRAWINGS FOR ENGINEERS' DESIGN AND DETAILS.)

SEPARATION WALLS AND HORIZONTAL SEPARATIONS SHALL COMPLY WITH IBC SECTION 420.

## FIRE PROTECTION

IBC SECTIONS 420 & 708

THE NEW SPRINKLER SYSTEMS WILL BE AUTOMATIC, WET PIPE SPRINKLER SYSTEMS FOR THE BUILDING INTERIOR, AND CONDITIONED, SPACES IN ACCORDANCE WITH NFPA-13. NON-CONDITIONED AREAS WILL BE PROVIDED WITH AUTOMATIC DRY SPRINKLER SYSTEMS. ALL CONCEALED SPACES CONTAINING EXPOSED COMBUSTIBLE CONSTRUCTION WILL BE PROVIDED WITH LISTED CONCEALED SPACE SPRINKLERS. STANDPIPE SYSTEMS WILL BE PROVIDED IN THE EGRESS STAIRS AND EGRESS CORRIDORS AS REQUIRED BY NFPA-14.

IN ACCORDANCE WITH NFPA-13 CONCEALED SPACES ABOVE CEILINGS WILL BE PROVIDED WITH SPRINKLER COVERAGE WHEREVER THE CONCEALED SPACES ARE ENCLOSED WHOLLY OR PARTIALLY BY EXPOSED COMBUSTIBLE CONSTRUCTION. SHOULD THE INTERSTITIAL CEILING SPACES BE PROVIDED WITH NON-COMBUSTIBLE INSULATION, SPRINKLER COVERAGE MAY BE OMITTED.

ALL SPRINKLER HEADS USED IN THE DWELLING SPACES WILL BE CONCEALED PENDENT TYPE RESIDENTIAL SPRINKLER HEADS. ALL SPRINKLER HEADS USED IN THE AREAS OUTSIDE OF DWELLING SPACES WILL BE CONCEALED PENDENT QUICK RESPONSE TYPE.

COMBUSTIBLE EXTERIOR PROJECTIONS OVER 48" OFF THE BUILDING FACE SHALL BE PROVIDED WITH DRY TYPE SIDEWALL HEADS. TEMPERATURE RATINGS FOR ALL SPRINKLER HEADS SHALL BE IN ACCORDANCE WITH NFPA-13. STANDPIPE SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA-14.

SEE FIRE ALARM DRAWINGS, FIRE PROTECTION DRAWINGS, AND PROJECT SPECIFICATIONS FOR FURTHER DETAILS.

## TYPE OF CONSTRUCTION

IBC SECTION 602

**TYPE IA FIRST FLOOR/ TYPE IIB 2ND THROUGH 6TH**

TABLE 601  
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V		
	A	B	A	B	A	B	A	B	A	B	
Primary structural frame <sup>a</sup> (see Section 202)	3 <sup>a</sup>	2 <sup>a</sup>	1	0	2	0	HT	1	0		
Bearing walls	3	2	1	0	2	0	2	0	1	0	
Exterior <sup>b</sup>	3 <sup>a</sup>	2 <sup>a</sup>	1	0	2	0	1/HT	1	0		
Interior	2	1	0	1	1	0					
Nonbearing walls and partitions	See Table 602										
Exterior	2	1	0	1	1	0	See Section 602.4.8	0	0		
Interior <sup>c</sup>	2	1	0	1	1	0	HT	1	0		
Floor construction and associated secondary members (see Section 202)	2	1	0	1	1	0	HT	1	0		
Roof construction and associated secondary members (see Section 202)	1 1/2 <sup>b</sup>	1 <sup>b,c</sup>	1 <sup>b</sup>	0 <sup>c</sup>	1 <sup>b,c</sup>	0	HT	1 <sup>b,c</sup>	0		

REQUIRED SEPARATION OF OCCUPANCIES

IBC TABLE 508.4

OCCUPANCY	A, E	I-1, I-2, I-4		I-2	R <sup>a</sup>	F-2, S-2 <sup>b</sup> , U		B <sup>c</sup> , F-1, M, S-1		H-1	H-2	H-3, H-4	H-5							
		S	NS			S	NS	S	NS					S	NS					
A, E	N	N	1	2	2	NP	1	2	N	1	1	2	NP	NP	3	4	2	3	2	NP
I-1, I-2, I-4			N	N	2	NP	1	NP	1	2	1	2	NP	NP	3	NP	2	NP	2	NP
F-2, S-2, U							N	N	1	2	NP	NP	3	4	2	3	2	NP		
B <sup>c</sup> , F-1, M, S-1									N	N	NP	NP	2	3	1	2	1	NP		
H-1										N	NP	NP	NP	NP	NP	NP	NP			
H-2											N	NP	1	NP	1	NP				
H-3, H-4													1 <sup>d</sup>	NP	1	NP				
H-5																		N	NP	

S<sup>a</sup> - Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.  
NS - Buildings not equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.  
N<sup>b</sup> - No separation requirement.  
NP = Not permitted.

- See Section 422
- The required separation from areas used only for private or pleasure vehicles shall be reduced by 1 hour but not to less than 1 hour.
- See Section 424.3.4.
- Separation is not required between occupancies of the same classification.
- See Section 422.2 for ambulatory care facilities.

## ALLOWABLE NUMBER OF STORIES

IBC TABLE 504.5

ALLOWABLE NUMBER OF STORIES	PROPOSED NUMBER OF STORIES
6	6

## ALLOWABLE BUILDING HEIGHT

IBC TABLE 504.3

THE PROPOSED BUILDING HEIGHT WILL COMPLY WITH LOCAL ZONING ORDINANCES (SEE SHEET Z0.2). THE BUILDING HEIGHT WILL BE LESS THAN THE ALLOWABLE 75' MAXIMUM.  
ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	TYPE OF CONSTRUCTION	TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V	
		SEE FOOTNOTES	A	B	A	B	A	B	A	B	
A, B, E, F, M, S, U	NS <sup>a</sup>	UL 160	65	55	65	55	65	55	65	50	40
	S	UL 180	85	75	85	75	85	75	85	70	60
H-1, H-2, H-3, H-5	NS <sup>c, d</sup>	UL 160	65	55	65	55	65	55	65	50	40
	S	UL 180	85	75	85	75	85	75	85	70	60
H-4	NS <sup>c, d</sup>	UL 160	65	55	65	55	65	55	65	50	40
	S	UL 180	85	75	85	75	85	75	85	70	60
I-1 Condition 1, I-3	NS <sup>a, e</sup>	UL 160	65	55	65	55	65	55	65	50	40
	S	UL 180	85	75	85	75	85	75	85	70	60
I-1 Condition 2, I-2	NS <sup>a, f, e</sup>	UL 160	65	55	65	55	65	55	65	50	40
	S	UL 180	85	75	85	75	85	75	85	70	60
I-4	NS <sup>a, g</sup>	UL 160	65	55	65	55	65	55	65	50	40
	S	UL 180	85	75	85	75	85	75	85	70	60
R	NS <sup>a, h</sup>	UL 160	65	55	65	55	65	55	65	50	40
	S13R	60	60	60	60	60	60	60	60	60	60
	S	UL 180	85	75	85	75	85	75	85	70	60

## ALLOWABLE BUILDING AREA

IBC SECTION 506

FOR SINGLE-OCCUPANCY MULTISTORY BUILDINGS, THE ALLOWABLE AREA IS CALCULATED PER THE FOLLOWING:

$$Aa = [At + (Ns \times If)] \times Sa$$

where:

Aa = Allowable area (square feet).

At = Tabular allowable area factor (NS, S13R or SM value, as applicable) in accordance with Table 506.2.

Ns = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered).

If = Area factor increase due to frontage (percent) as calculated in accordance with Section 508.3.

Sa = Actual number of building stories above grade plane, not to exceed three. For buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.2, use the actual number of building stories above grade plane, not to exceed four.

No individual story shall exceed the allowable area (Aa) as determined by Equation 5-2 using the value of Sa = 1.

$$Aa = [48,000 + (16,000 \times 0.35)] \times 4$$

THE ALLOWABLE BUILDING AREA PER THE INTERNATIONAL BUILDING CODE IS 214,400 SQUARE FEET. THE PROPOSED BUILDING AREA IS BELOW THIS MAXIMUM AND, THEREFORE, COMPLIES.

## MAXIMUM AREA OF EXTERIOR WALL OPENINGS (BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION)

IBC TABLE 708.5

ALLOWABLE AREA of EXTERIOR WALL OPENINGS	PROPOSED AREA of EXTERIOR WALL OPENINGS
NORTH FACADE	NO LIMIT
EAST FACADE	NO LIMIT
SOUTH FACADE	NO LIMIT
WEST FACADE	45%
	20%

## FIRE PARTITIONS & HORIZONTAL ASSEMBLIES

IBC SECTIONS 420 & 708

WALLS SEPARATING DWELLING UNITS AND HALLWAY SHALL BE CONSTRUCTED AS FIRE PARTITIONS.

FLOOR ASSEMBLIES SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES.

DWELLING UNIT SEPARATIONS IN THIS PROPOSED TYPE IA + IIB BUILDING (WITH AN AUTOMATIC SPRINKLER SYSTEM) SHALL HAVE FIRE-RESISTANCE RATINGS:

- TYPE IA (BASEMENT AND LEVEL 1): PRIMARY STRUCTURAL FRAME, BEARING WALLS AND FLOOR CONSTRUCTION WITH A 3 HOUR SFRM OR RATED MASONRY.
- TYPE IIB (LEVELS 2 TO 6): PRIMARY STRUCTURAL FRAME, BEARING WALLS AND FLOOR CONSTRUCTION WITH A 0 HOUR RATING. 1 HOUR WHEN SERVING A DWELLING UNIT SEPARATION.

FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE OR TO THE FIRE-RESISTANCE-RATE FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE, AND SHALL BE SECURELY ATTACHED.

## NUMBER OF EXITS OR ACCESS TO EXITS PER STORY

IBC 1006.3.1

MIN NUMBER OF EXITS FROM STORY REQUIRED:	2
NUMBER OF EXITS FROM STORY PROVIDED:	2

## MEANS OF EGRESS SIZING

IBC 1005.3.2

EXIT DISCHARGE #	DESIGN OCCUPANT LOAD	EGRESS CAPACITY FACTOR	EGRESS WIDTH REQUIRED	EGRESS WIDTH PROVIDED
1	41	0.20"	8.2"	84"
2	44	0.20"	8.8"	36"

## EGRESS CORRIDORS

IBC TABLE 1020.1

CORRIDOR FIRE RESISTANCE RATING REQUIRED: 1/2 HR (PROVIDED: 2 HR)  
CORRIDOR WIDTH REQUIRED PER # OF OCCUPANTS x 0.20 = 16.6" (PROVIDED: 53")  
CORRIDOR WIDTH REQUIRED WITHIN DWELLING UNITS = 36" (PROVIDED: 43")

## EXIT ACCESS TRAVEL DISTANCE

IBC TABLE 1017.2

OCCUPANCY	WITH SPRINKLER SYSTEM	LONGEST PROPOSED EXIT ACCESS TRAVEL DISTANCE
R-2	250 FT MAX	80 FT

## DEAD ENDS

IBC SECTION 1020.4 EXCEPTION 2

MAXIMUM DISTANCE ALLOWED, WITH SPRINKLERS = 50'-0" (PROPOSED PLANS COMPLY)

## EMERGENCY ESCAPE AND RESCUE

IBC SECTION 1030

SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING, AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES ABOVE THE FLOOR.

## STAIRWAYS

IBC SECTIONS 1011 & 1023

INTERIOR EXIT STAIRWAYS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS

STAIRWAYS SHALL BE NOT LESS THAN 44 INCHES IN WIDTH. THE PROPOSED STAIRWAYS WILL HAVE HEADROOM CLEARANCES GREATER THAN 80 INCHES (MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS).

STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM.

RECTANGULAR TREAD DEPTHS SHALL BE 11 INCHES MINIMUM (MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S NOSING. THE PROPOSED PROJECT WILL NOT HAVE WINDER TREADS.

NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD.

HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES. HANDRAILS SHALL RETURN TO A WALL OR GUARD, WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND HORIZONTALLY NOT LESS THAN 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE NOT LESS THAN 1 1/2 INCHES.

GUARDS AT THE STAIRWAY SECOND FLOOR LANDINGS SHALL COMPLY WITH SECTION 1015 OF THE IBC; GUARDS SHALL BE 42 INCHES HIGH.

PER SECTION 100.9.3, EXCEPTION #8, AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN GROUP R-2 OCCUPANCIES.

SEE SHEETS A4.7 & A4.8

## SHAFT ENCLOSURE, ELEVATOR, & HOISTWAY

IBC SECTIONS 713, 909.21.1, 3003, & CHAPTER 30

THE SHAFT ENCLOSURE SHALL BE CONSTRUCTED AS A FIRE BARRIER; IT SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS.

THE PROPOSED PROJECT CONTAINS ONLY ONE ELEVATOR; THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER.

ELEVATOR HOISTWAYS SHALL BE PRESSURIZED TO MAINTAIN A MINIMUM POSITIVE PRESSURE OF 25 PA AND A MAXIMUM POSITIVE PRESSURE OF 67 PA WITH RESPECT TO ADJACENT OCCUPIED SPACE ON ALL FLOORS.

AN APPROVED PICTORIAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO EACH ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATORS IN CASE OF FIRE. THE SIGN SHALL READ: IN CASE OF FIRE, ELEVATORS ARE OUT OF SERVICE. USE EXIT STAIRS.

THE ELEVATOR CAR SHALL BE OF SUCH A SIZE AND ARRANGEMENT TO ACCOMMODATE AN AMBULANCE STRETCHER 24 INCHES BY 84 INCHES, WITH NOT LESS THAN 5-INCH RADIUS CORNERS, IN THE HORIZONTAL, OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN 3 INCHES IN HEIGHT AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME.

## DESIGN OCCUPANT LOAD

PER IBC 1004.1.2

OCCUPANT LOAD SCHEDULE				
ROOM NAME	ROOM NUMBER	AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
<b>PROPOSED LEVEL 0</b>				
BASEMENT STORAGE	001	2121 SF	300 SF	8
ELEC. ROOM	002	144 SF	300 SF	1
FIRE PROTECTION ROOM	003	73 SF	300 SF	1
FUEL ROOM	004	116 SF	300 SF	1
				<b>11</b>
<b>PROPOSED LEVEL 1</b>				
UNIT A	101	491 SF	200 SF	3
UNIT B	102	583 SF	200 SF	3
UNIT C	103	1300 SF	200 SF	7
				<b>13</b>
<b>PROPOSED LEVEL 2</b>				
MECH.	008	28 SF	300 SF	1
MECH.	010	23 SF	300 SF	1
UNIT G	201	935 SF	200 SF	5
UNIT D	202	979 SF	200 SF	5
UNIT E	203	584 SF	200 SF	3
UNIT F	204	903 SF	200 SF	5
				<b>20</b>
<b>PROPOSED LEVEL 3</b>				
MECH.	011	23 SF	300 SF	1
MECH.	012	28 SF	300 SF	1
UNIT G	301	936 SF	200 SF	5
UNIT D	302	977 SF	200 SF	5
UNIT E	303	584 SF	200 SF	3
UNIT F	304	891 SF	200 SF	5
				<b>20</b>
<b>PROPOSED LEVEL 4</b>				
MECH.	013	23 SF	300 SF	1
MECH.	014	28 SF	300 SF	1
UNIT G	401	935 SF	200 SF	5
UNIT D	402	9		



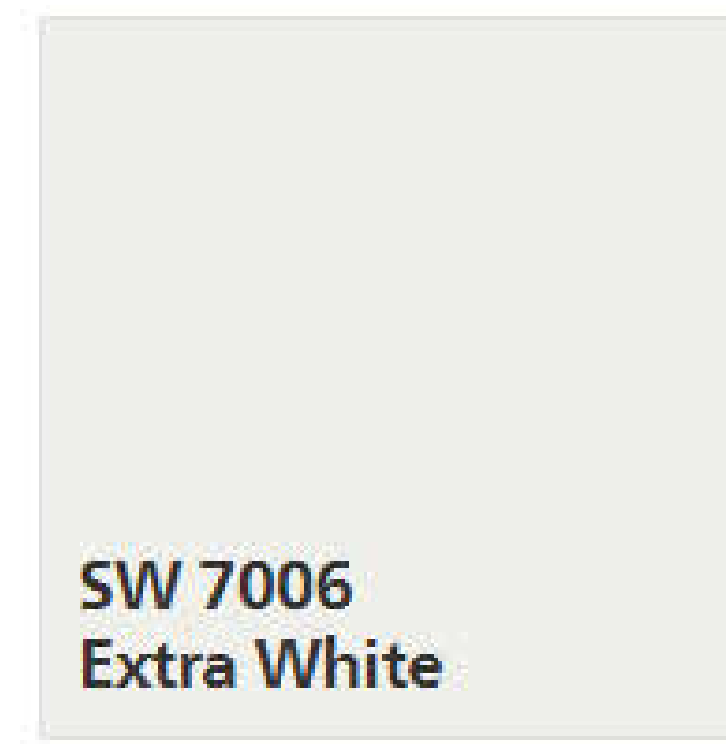
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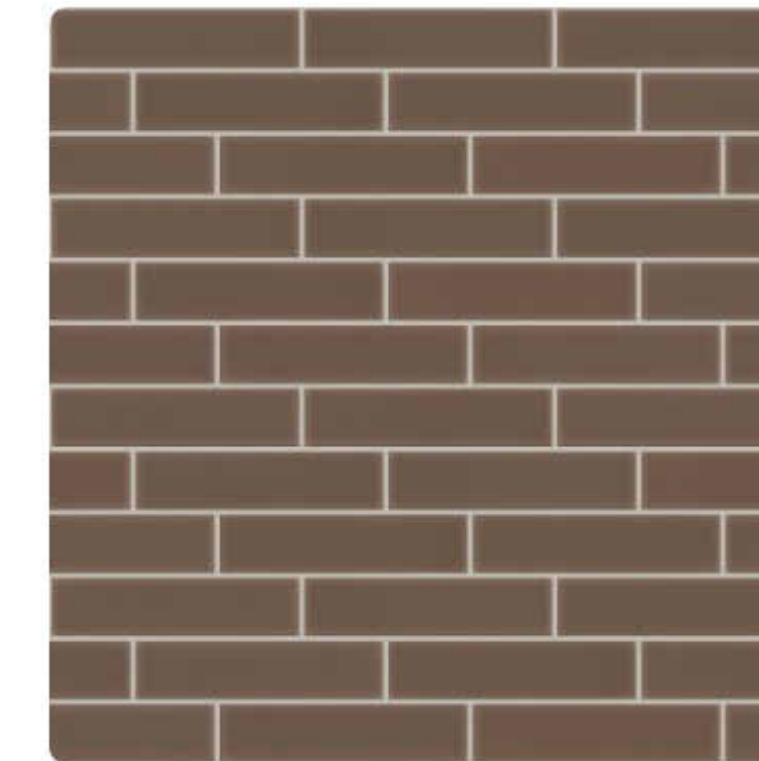
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CEMENT BOARD  
PAINTED



CERAMIC TILE  
BRICK PATTERN  
Color:  
Balanced Taupe



DESIGN  
CONSULTANTS

118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772

CONTACT@MPDCONSULTANTS.COM

OWNER:  
8 WINTER ST  
LLC

PROJECT:  
**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141

PROJECT PHASE	
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<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

REVISIONS		
1	ISP	25/03/27
5	Planning Board	26/04/23

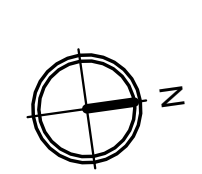
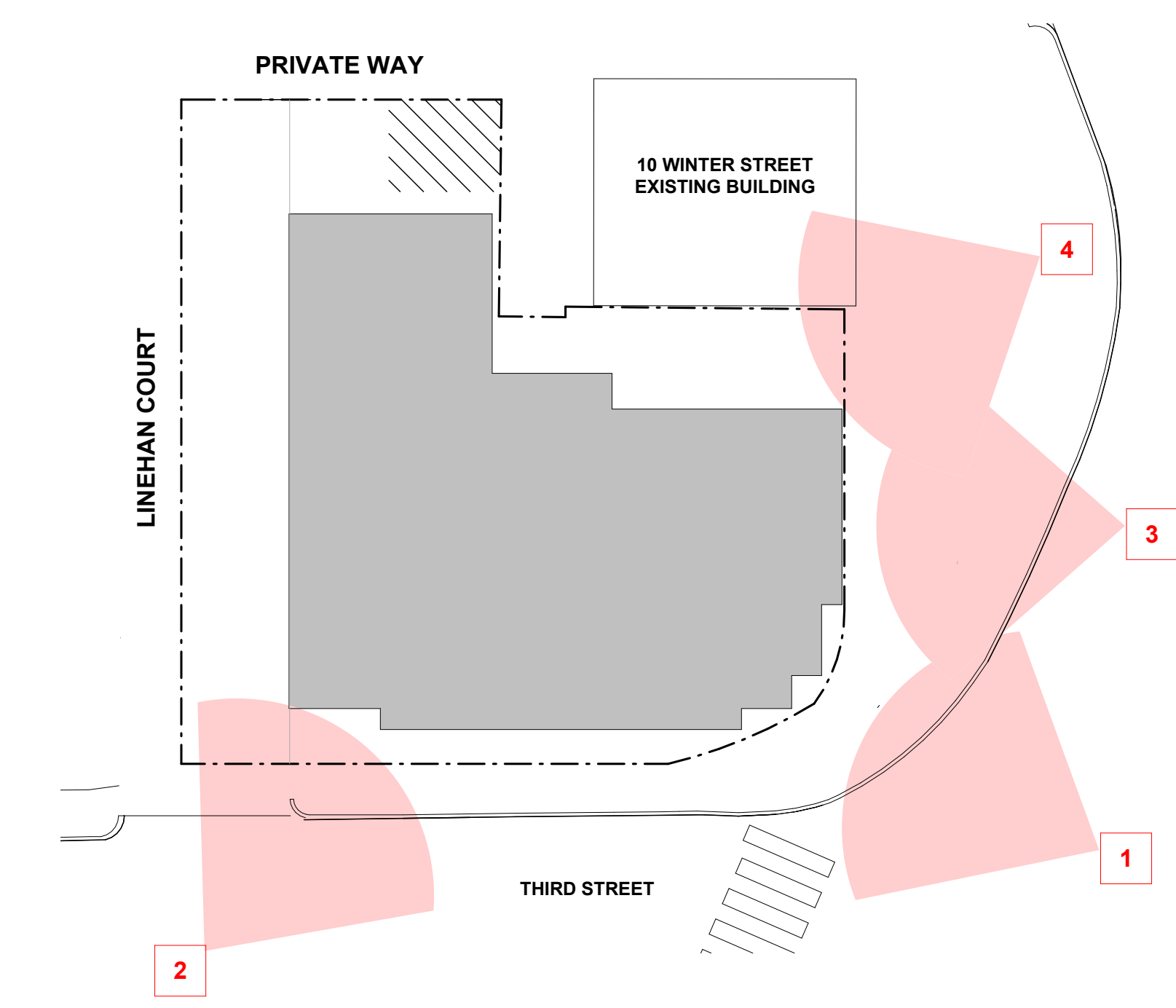
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DESIGNED BY: CF/AN  
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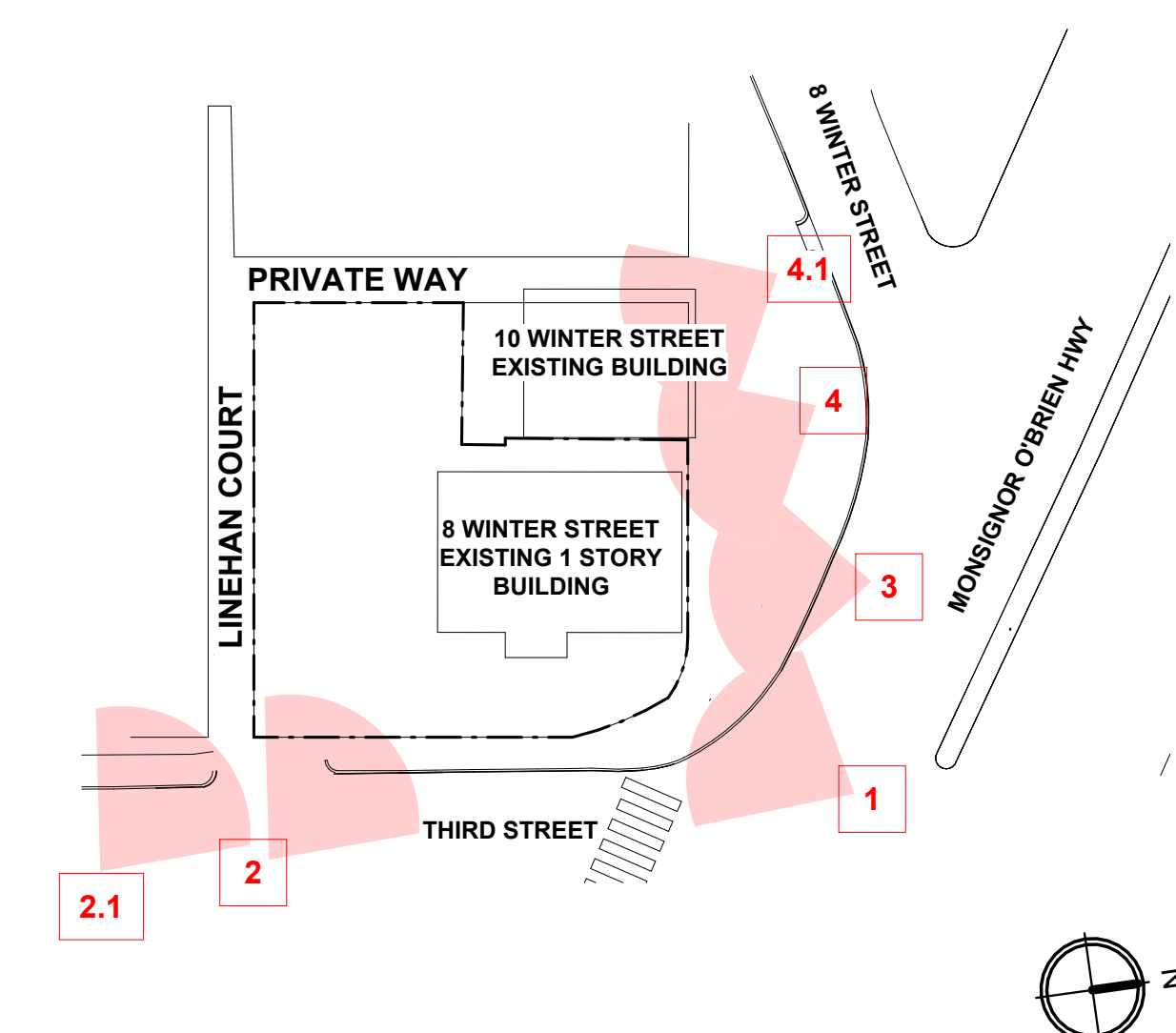
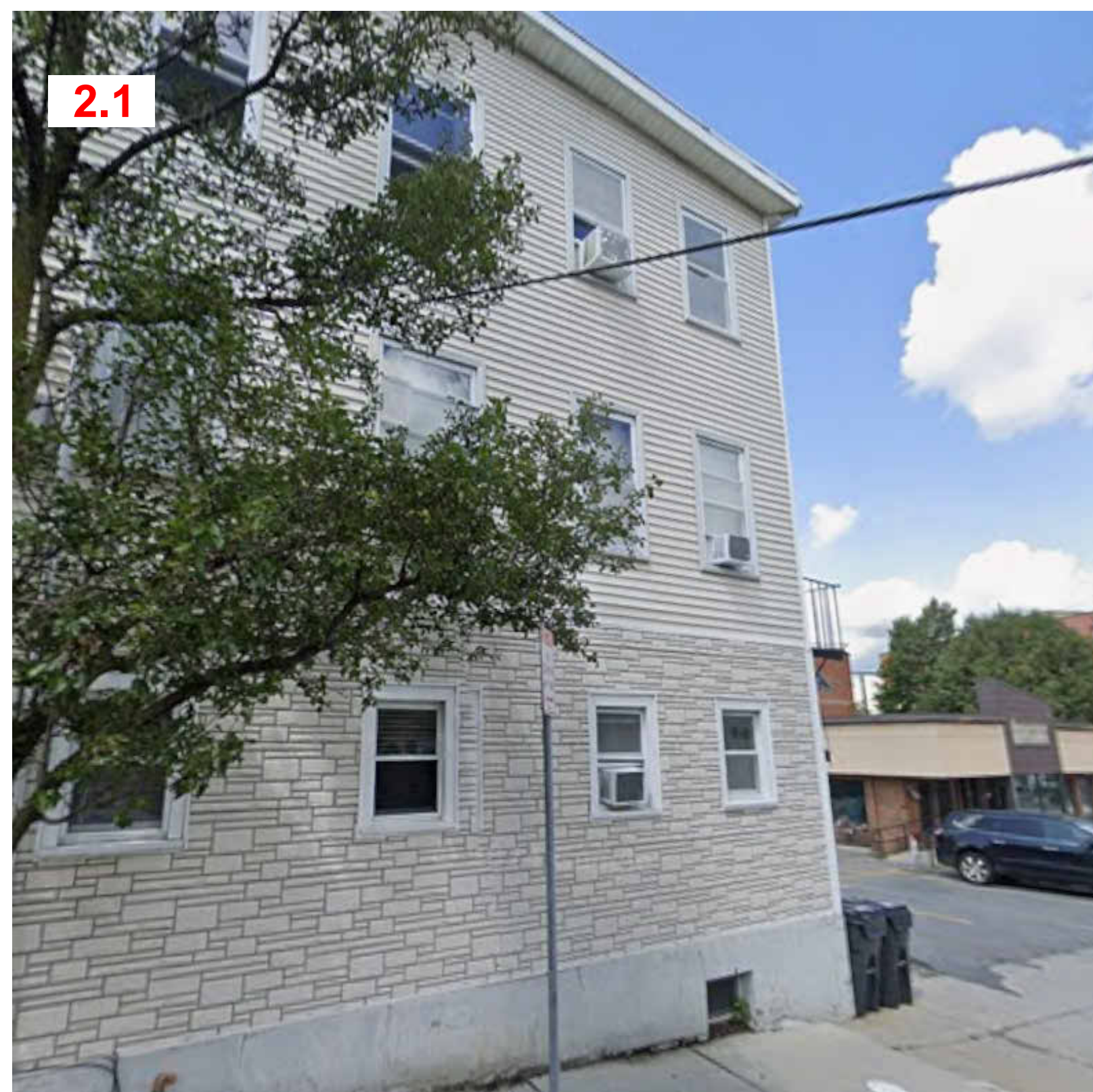
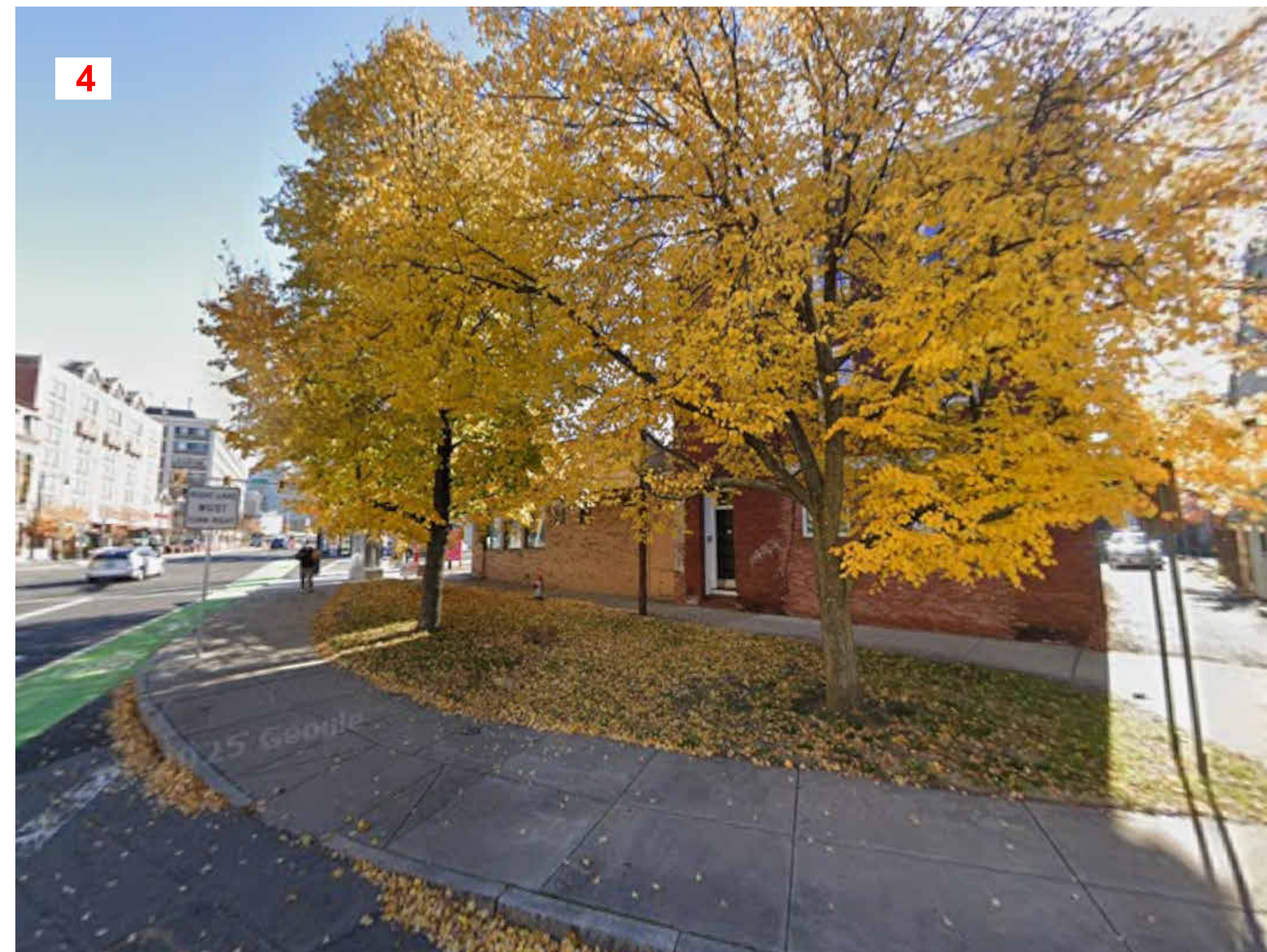
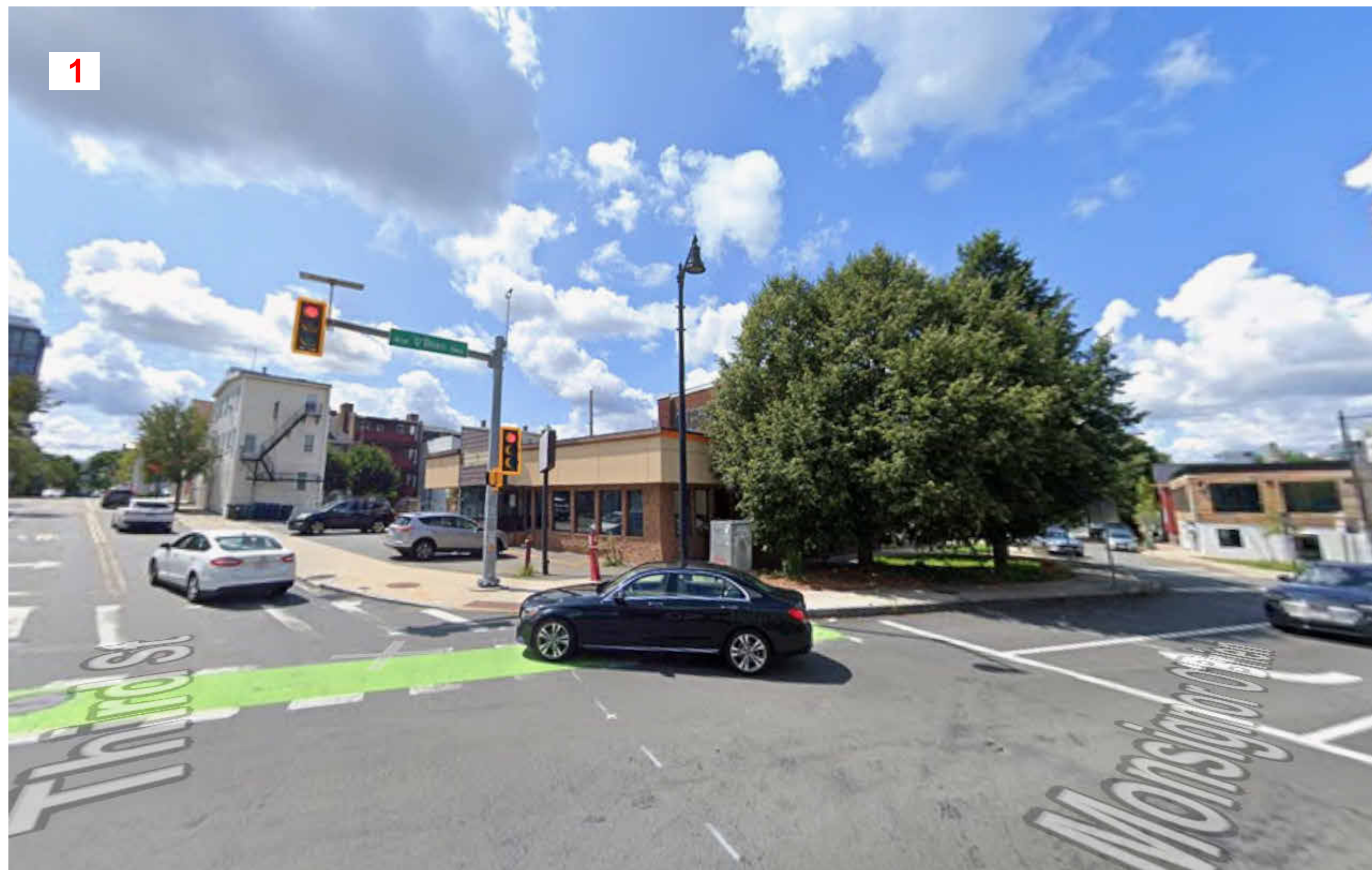
SHEET TITLE

RENDERINGS

SHEET:

**G0.7**





**DESIGN**  
CONSULTANTS

118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772

CONTACT@MPDCONSULTANTS.COM

OWNER:

8 WINTER ST  
LLC

PROJECT:

**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141

PROJECT PHASE	
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<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
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REVISIONS

NO.	DESCRIPTION	DATE
1	ISP	25/03/27
5	Planning Board	26/04/23

DRAWN BY: AN  
CHECKED BY: CF  
DESIGNED BY: CF/AN  
DATE: 4/2/2026  
SCALE: 1" = 40'-0"

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**EXISTING  
CONDITIONS**

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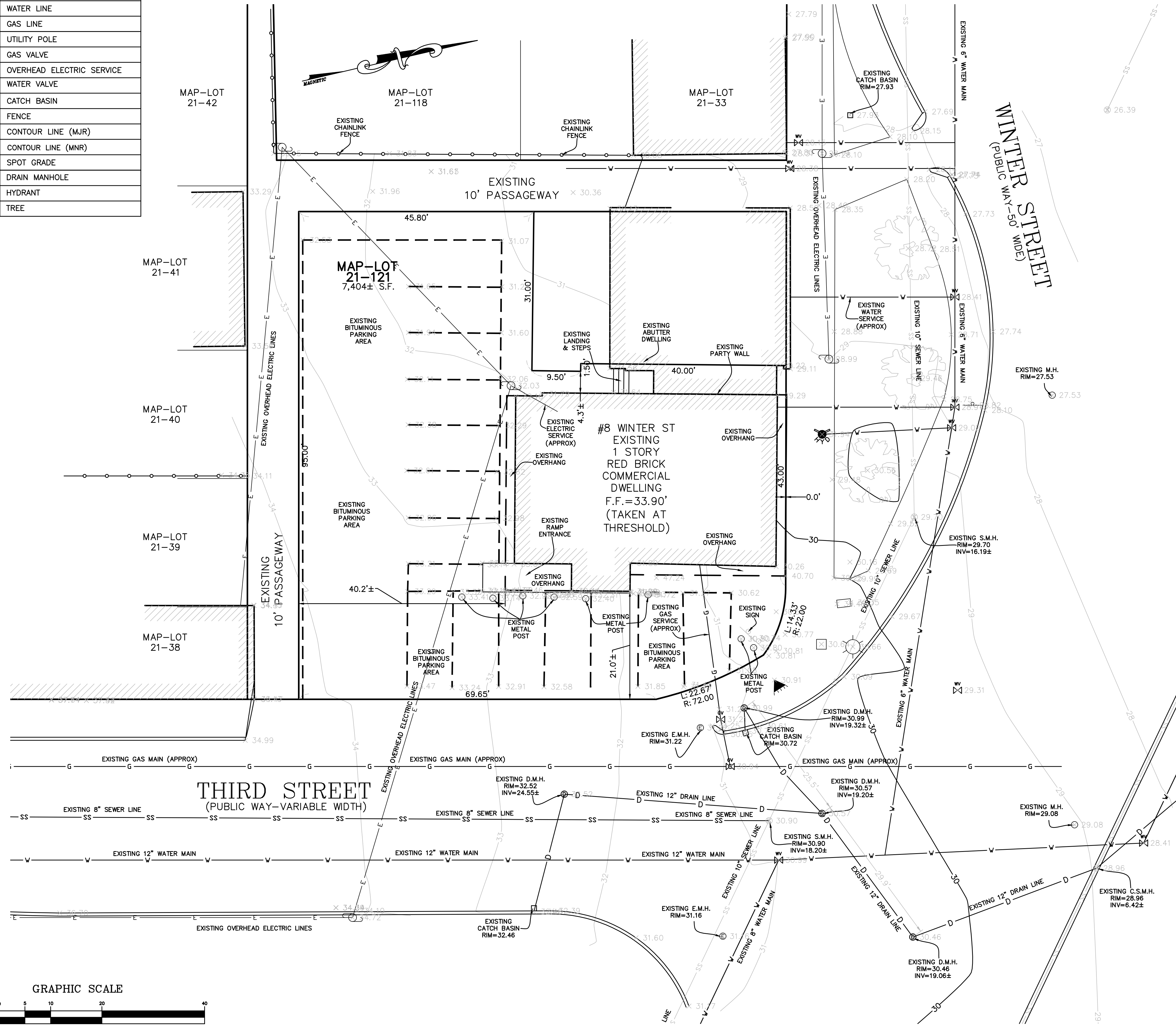
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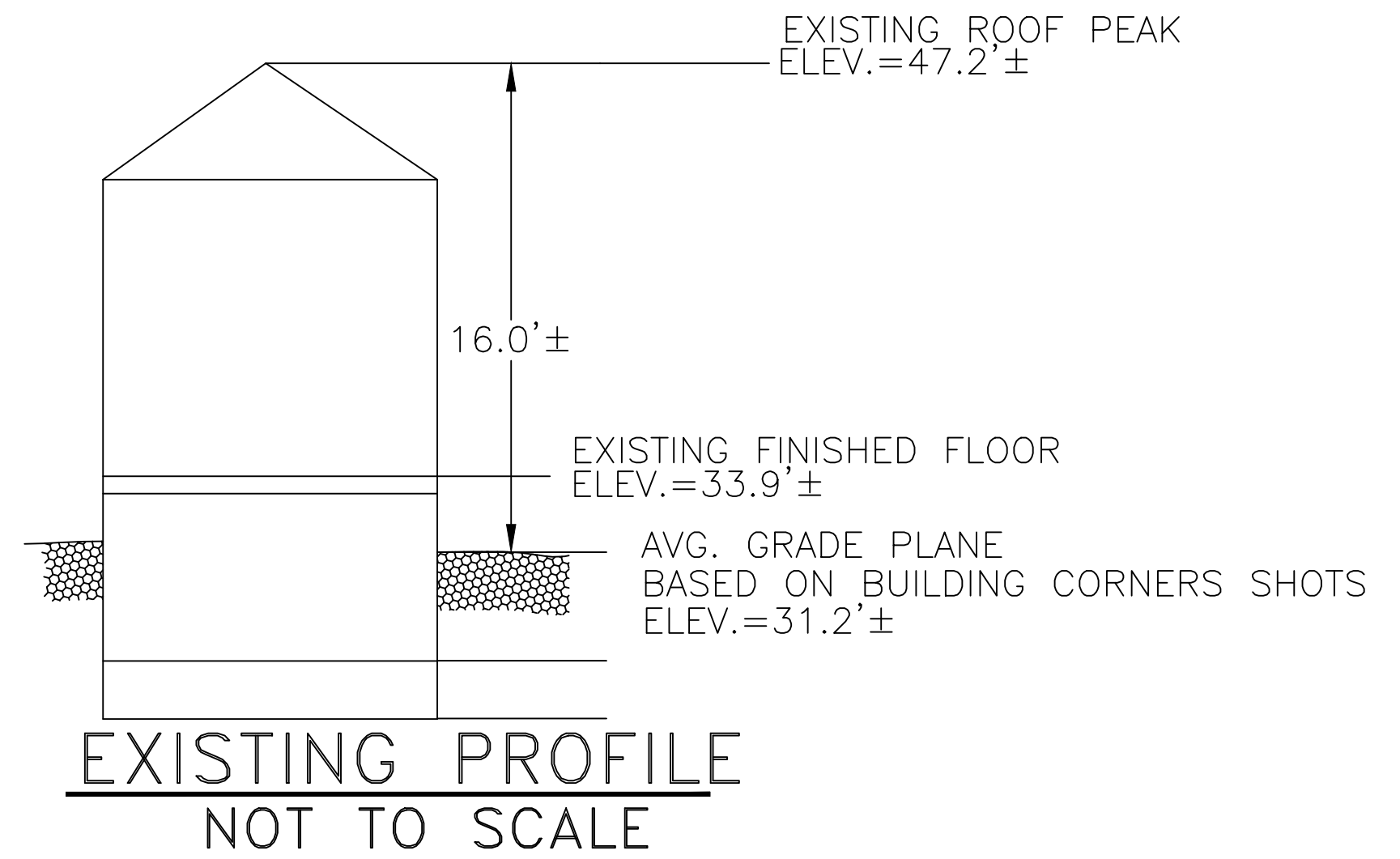
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SS	SEWER LINE
⊙	SEWER MANHOLE
V	WATER LINE
G	GAS LINE
⊕	UTILITY POLE
⊗	GAS VALVE
⊖	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
○	FENCE
-20S	CONTOUR LINE (MJR)
-19S	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊗	TREE



**NOTES:**

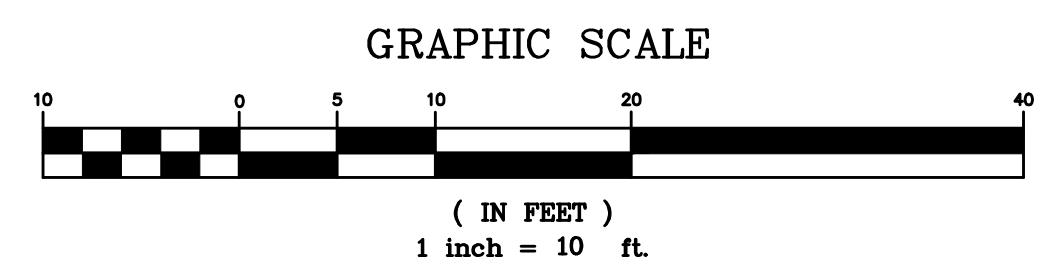
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 10/23/2020.
2. DEED REFERENCE: BOOK 74716 PAGE 531, PLAN REFERENCE: PLAN NO. 767 OF 1992, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0577E, PANEL NUMBER 0577E, COMMUNITY NUMBER: 250186, DATED JUNE 4, 2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. ZONING DISTRICT = BUSINESS A & RESIDENCE C-1



Ground Elevation Min:	28.5 ft-CCB
Ground Elevation Max:	33.8 ft-CCB
2070 - 1% - SLR/SS	N/A
2070 - 1% - Precip	N/A
2070 - 10% - SLR/SS	N/A
2070 - 10% - Precip	N/A
2030 - 1% - Precip	N/A
2030 - 10% - Precip	N/A
Present Day - 1% - Precip	N/A
Present Day - 10% - Precip	N/A
FEMA 500-Year	N/A
FEMA 100-Year	N/A
1% - LTFE	N/A
10% - LTFE	N/A

Selected Map-Lot: 21-121

FLOOD ELEVATION (CAMBRIDGE FLOOD VIEWER)  
CAMBRIDGE CITY BASE (FT-CBB DATUM)



PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.  
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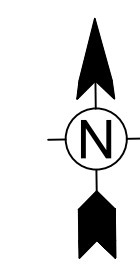
SCALE 1"=10'				
DATE 10/23/2020	REV	DATE	REVISION	BY
SHEET 1				
PLAN NO. 1 OF 1				
CLIENT:				
DRAWN BY	8 WINTER STREET CAMBRIDGE MASSACHUSETTS EXISTING CONDITIONS SITE PLAN			
CHKD BY P.J.N.	<b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com			
APPD BY P.J.N.	SHEET NO. <b>1</b>			

GENERAL NOTES

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY.
2. GENERAL CONTRACTOR SHALL COORDINATE PROPOSED UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, MATERIAL AND SUITABILITY OF EXISTING UTILITIES. COORDINATE WITH UTILITY PROVIDER AND NOTIFY THE DESIGNER ENGINEER OF ANY CONFLICTS. IF EXISTING SERVICES CANNOT BE REUSED, A NEW SERVICE CONNECTION SHALL BE MADE TO THE EXISTING MAIN OR LINE IN ACCORDANCE TO THE TOWN/CITY REQUIREMENTS INCLUDING PATCHING WHERE DEEMED NECESSARY.
3. AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
4. CIVIL ENGINEER DESIGN BASED ON PROVIDED SURVEY BY SURVEYOR. ENGINEER NOT RESPONSIBLE FOR ANY DISCREPANCY IN THE PROVIDED SURVEY.
5. THE APPLICANT MAY HAVE TO APPLY FOR STREET OPENING, UTILITY CONNECTION, AND AN INSTALL CURB & SIDEWALK PERMITS WITH THE DPW PRIOR TO START OF WORK.
6. AFTER ALL ENGINEERING PERMITS ARE OBTAINED, THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DIVISION CONSTRUCTION INSPECTOR A MINIMUM OF 48-HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE SITE UTILITIES AND STORMWATER COMPONENTS INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY BE BACKFILLED.
7. THE CONTRACTOR MUST PROVIDE POLICE DETAILS, SCHEDULED 48 HOURS IN ADVANCE, FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER. ALL ROADS AFFECTED BY CONSTRUCTION SHALL ALWAYS REMAIN OPEN TO EMERGENCY VEHICLES. CONTRACTOR IS TO COORDINATE WITH POLICE AND FIRE DEPARTMENT TO ENSURE PUBLIC SAFETY.
8. THE NEW WATER SERVICE SHALL BE INSTALLED IN CONJUNCTION WITH THE TOWN OF CAMBRIDGE UTILITIES DIVISION. THE OWNER/CONTRACTOR MAY OBTAIN A WATER SERVICE APPLICATION BY CONTACTING THE UTILITIES DIVISION OR BY VISITING THE TOWN OF CAMBRIDGE WEBSITE.
9. EXCEPT FOR GAS SERVICES, ALL UTILITY TRENCHES WITHIN THE TOWN OF CAMBRIDGE RIGHT-OF-WAY WILL BE BACK FILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL AS SPECIFIED BY THE TOWN OF CAMBRIDGE ENGINEERING SPECIFICATIONS. EXCAVATABLE FLOW FILL WITH EXTEND TO WITHIN 18" OF ROADWAY ASPHALT.
10. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS AND AS-BUILT LOCATIONS; THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT NOT LIMITED TO DRAINAGE, UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES ETC. ENGINEER OF RECORD MUST ALSO CONDUCT "BOTTOM OF HOLE" INSPECTION(S) PRIOR TO SUBSURFACE DRAINAGE SYSTEM(S) BEING INSTALLED. CONTRACTOR TO NOTIFY ENGINEER BEFORE BACKFILLING OR SIGN OFF CANNOT OCCUR WITHOUT RE-EXCAVATION.

LEGEND

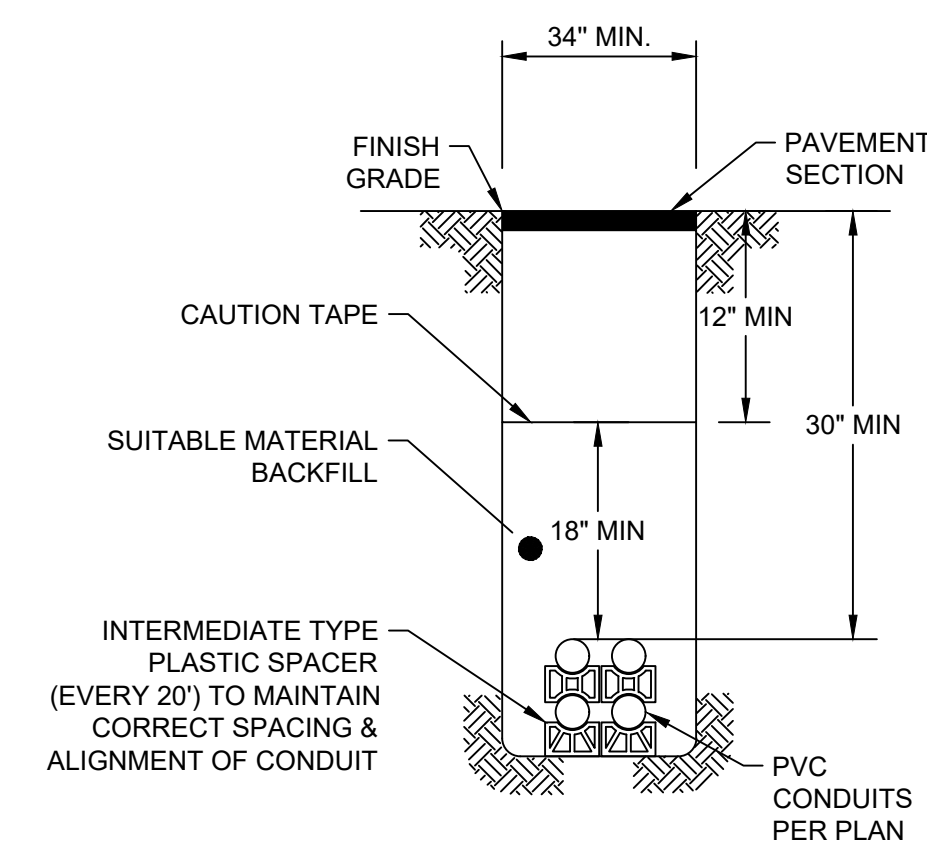
SUBJECT PARCEL	---
EXISTING MINOR CONTOUR	--- 291 ---
EXISTING MAJOR CONTOUR	--- 290 ---
FLOW DIRECTION ARROW	→
PROPOSED SPOT GRADE	105.55'



118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772  
CONTACT@MPDCONSULTANTS.COM

OWNER:  
**8 WINTER STREET LLC.**  
8 WINTER STREET,  
CAMBRIDGE, MA 02141

PROJECT:  
**8 WINTER STREET**  
8 WINTER STREET,  
CAMBRIDGE, MA 02141

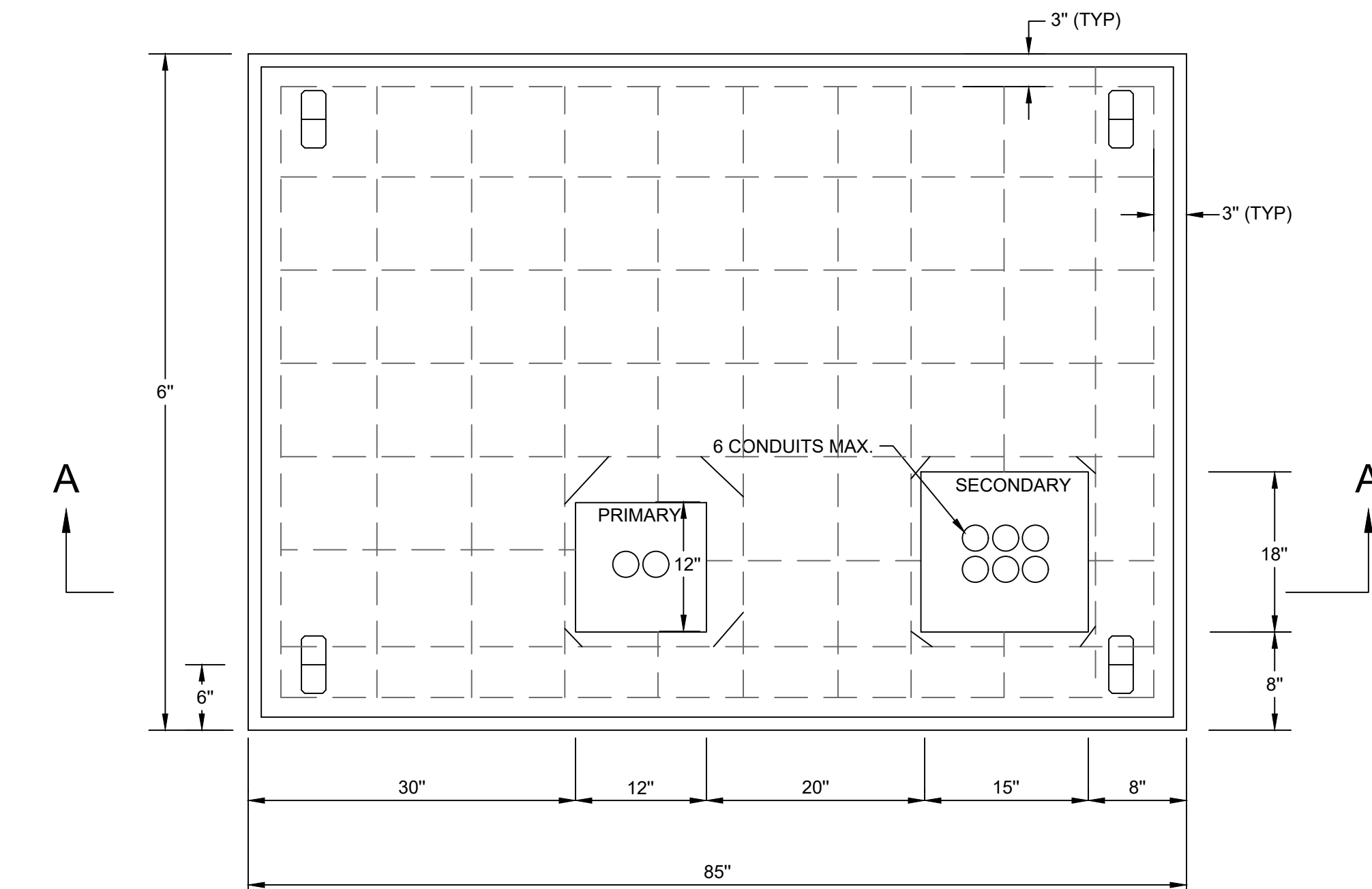


NOTES:

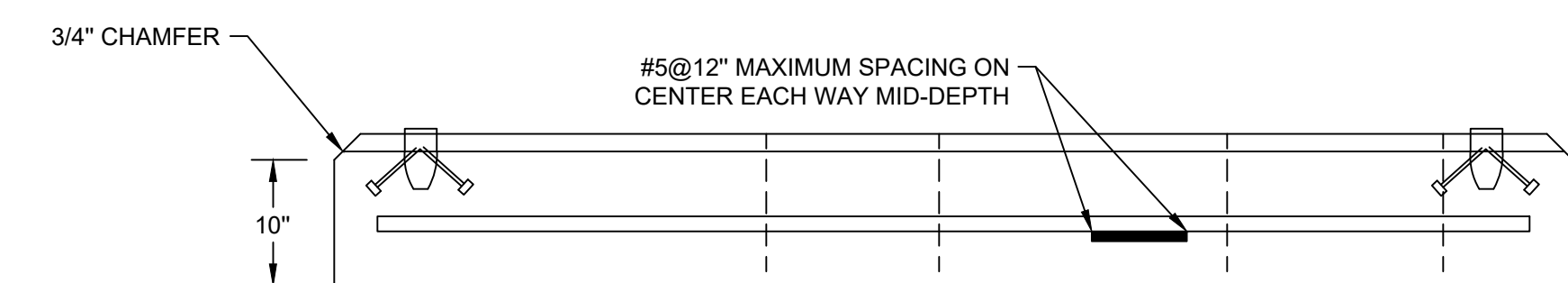
1. DIMENSIONS SHOWN ARE ARE TYPICAL DUCT BANK CONFIGURATIONS.
2. CONDUIT SHALL BE SCHED. 40 PVC, PROVIDED WITH PULLING WIRE ONLY - CABLE BY OTHERS. - SEE PLAN FOR CONDUIT SIZES AND LOCATIONS.
3. CONDUITS SHALL BE PLUGGED WITH PLASTIC CAPS. - PULLING WIRE SHALL BE THREADED THRU CAP AND SECURED ON OUTSIDE OF CAP.
4. INSTALL UTILITY CAUTION TAPE ABOVE ALL DUCT BANKS.

CONDUIT IN CONCRETE TRENCH DETAIL

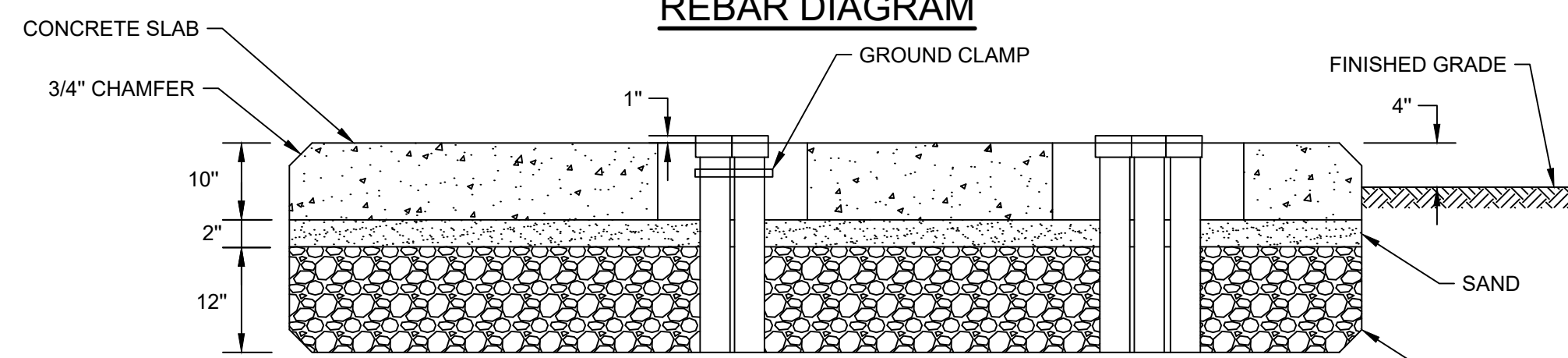
NOT TO SCALE



PLAN



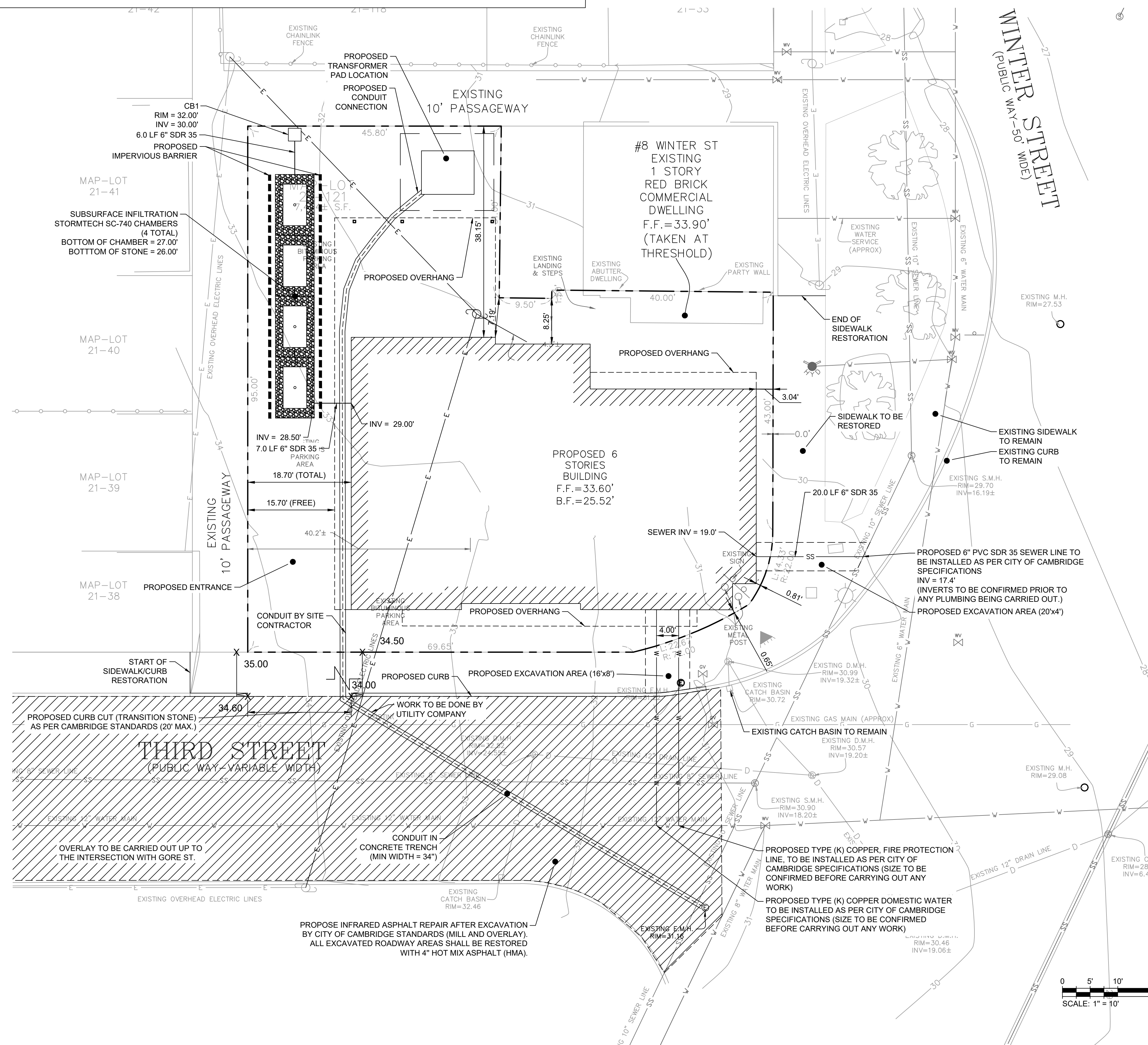
REBAR DIAGRAM



SECTION A-A

TRANSFORMER PAD IN CONCRETE DETAILS

NOT TO SCALE



Digitally signed by Carlos Ferreira  
DN: C=USA, E=contact@mpdesignconsultants.com, O=MP Design Consultants, CN=Carlos Ferreira  
Date: 2025.08.01 10:25:06-03'00'

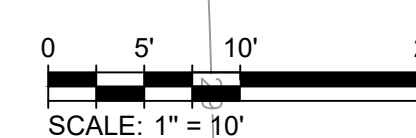
REVISIONS:

No.	DATE	DESCRIPTION
1	06.20.2025	UTILITIES UPDATE
3	07.31.2025	ASPHALT EXCAVATION UPDATE

DRAWN BY: EP  
CHECKED BY: MDC  
DATE: 04/02/2025  
SCALE: 1" = 10'

SITE PLAN

SHEET:  
**C-101**









DESIGN CONSULTANTS

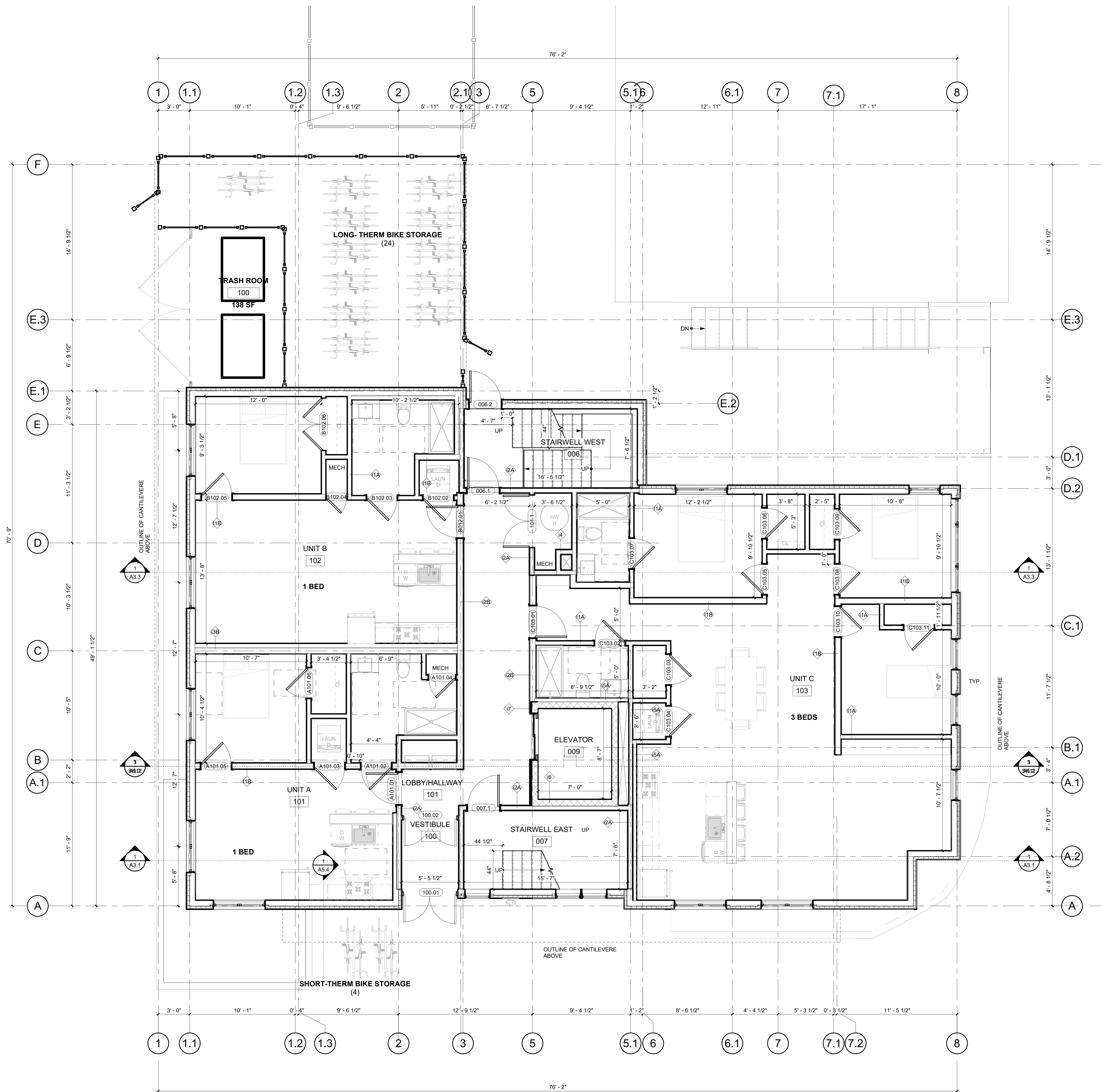
118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772

CONTACT@MPDCONSULTANTS.COM

OWNER:  
8 WINTER ST  
LLC

PROJECT:  
**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141



**1 FIRST FLOOR PLAN**  
1/4" = 1'-0"



PROJECT PHASE	
<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

REVISIONS		
1	ISP	2/20/27
5	Planning Board	2/20/23

DRAWN BY: AN  
 CHECKED BY: CF  
 DESIGNED BY: CF/AN  
 DATE: 4/2/2026  
 SCALE: 1/4" = 1'-0"  
 SHEET TITLE

**PROPOSED  
1st FLOOR  
PLAN**

SHEET:  
**A1.1**



DESIGN CONSULTANTS

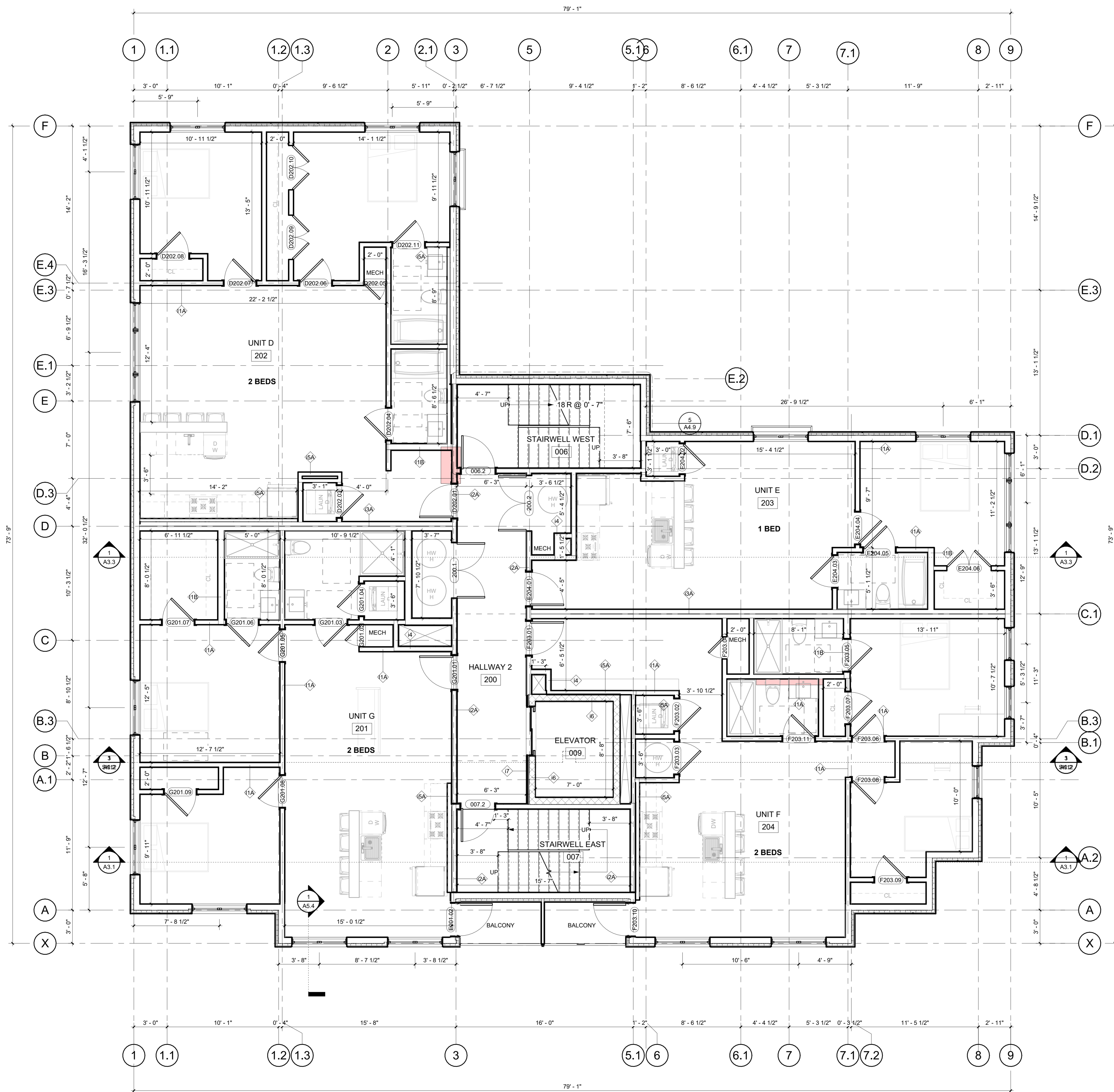
118 TURNPIKE ROAD, SUITE 200  
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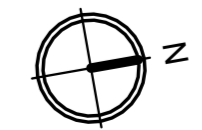
OWNER:  
8 WINTER ST  
LLC

PROJECT:  
**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141



**1 SECOND FLOOR PLAN**  
1/4" = 1'-0"



PROJECT PHASE	
<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

REVISIONS		
1	ISP	2/6/2027
5	Planning Board	2/6/2023

DRAWN BY: AN  
 CHECKED BY: CF  
 DESIGNED BY: CF/AN  
 DATE: 4/2/2026  
 SCALE: 1/4" = 1'-0"

SHEET TITLE  
**PROPOSED  
2nd FLOOR  
PLAN**

SHEET:  
**A1.2**









DESIGN  
CONSULTANTS

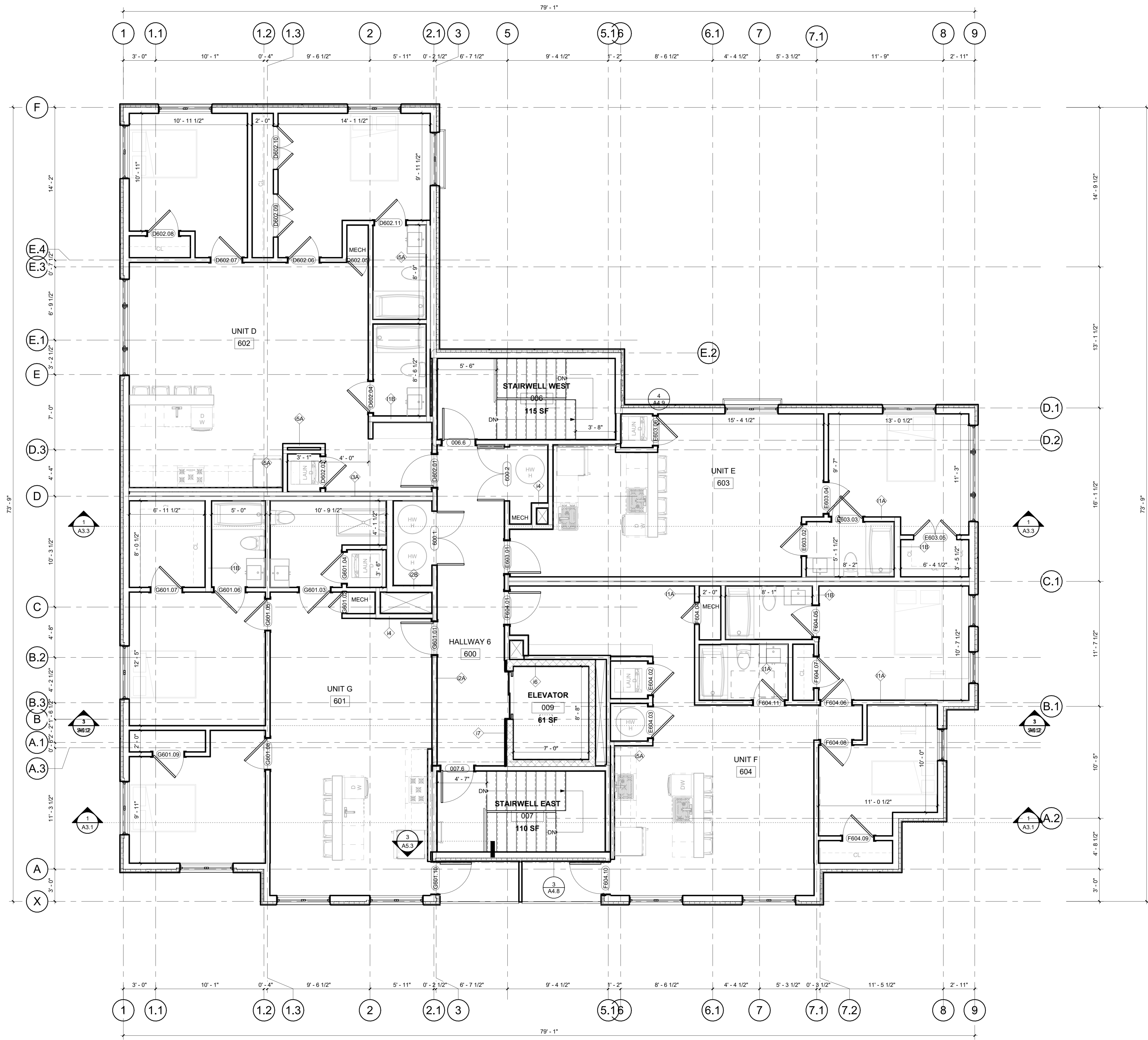
118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772

CONTACT@MPDCONSULTANTS.COM

OWNER:  
8 WINTER ST  
LLC

PROJECT:  
**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141



1 LEVEL 6  
1/4" = 1'-0"

PROJECT PHASE	
<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

REVISIONS		
1	ISP	2/6/2027
5	Planning Board	2/6/2023

DRAWN BY: AN  
 CHECKED BY: CF  
 DESIGNED BY: CF/AN  
 DATE: 4/2/2026  
 SCALE: 1/4" = 1'-0"

SHEET TITLE  
**PROPOSED  
6th FLOOR  
PLAN**

SHEET:  
**A1.6**



TOTAL SQ. FOOTAGE OF EAST FAÇADE - 4823 SQ FT.

TOTAL SQ. FOOTAGE OF OPENINGS - 967 SQ. FT

% OF TOTAL FAÇADE AS OPENINGS - 20%



DESIGN  
CONSULTANTS

118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772

CONTACT@MPDCONSULTANTS.COM

OWNER:  
8 WINTER ST  
LLC

PROJECT:  
**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141



**1 EAST ELEVATION**  
1/4" = 1'-0"

PROJECT PHASE	
<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

REVISIONS		
1	ISP	2/6/2027
5	Planning Board	2/6/2023

DRAWN BY: AN  
CHECKED BY: CF  
DESIGNED BY: CF/AN  
DATE: 4/2/2026  
SCALE: 1/4" = 1'-0"

SHEET TITLE  
**PROPOSED  
EAST  
ELEVATION**

SHEET:  
**A2.1**

TOTAL SQ. FOOTAGE OF NORTH FAÇADE - 2853 SQ. FT.

TOTAL SQ. FOOTAGE OF OPENINGS - 705 SQ. FT

% OF TOTAL FAÇADE AS OPENINGS - 25%



DESIGN CONSULTANTS

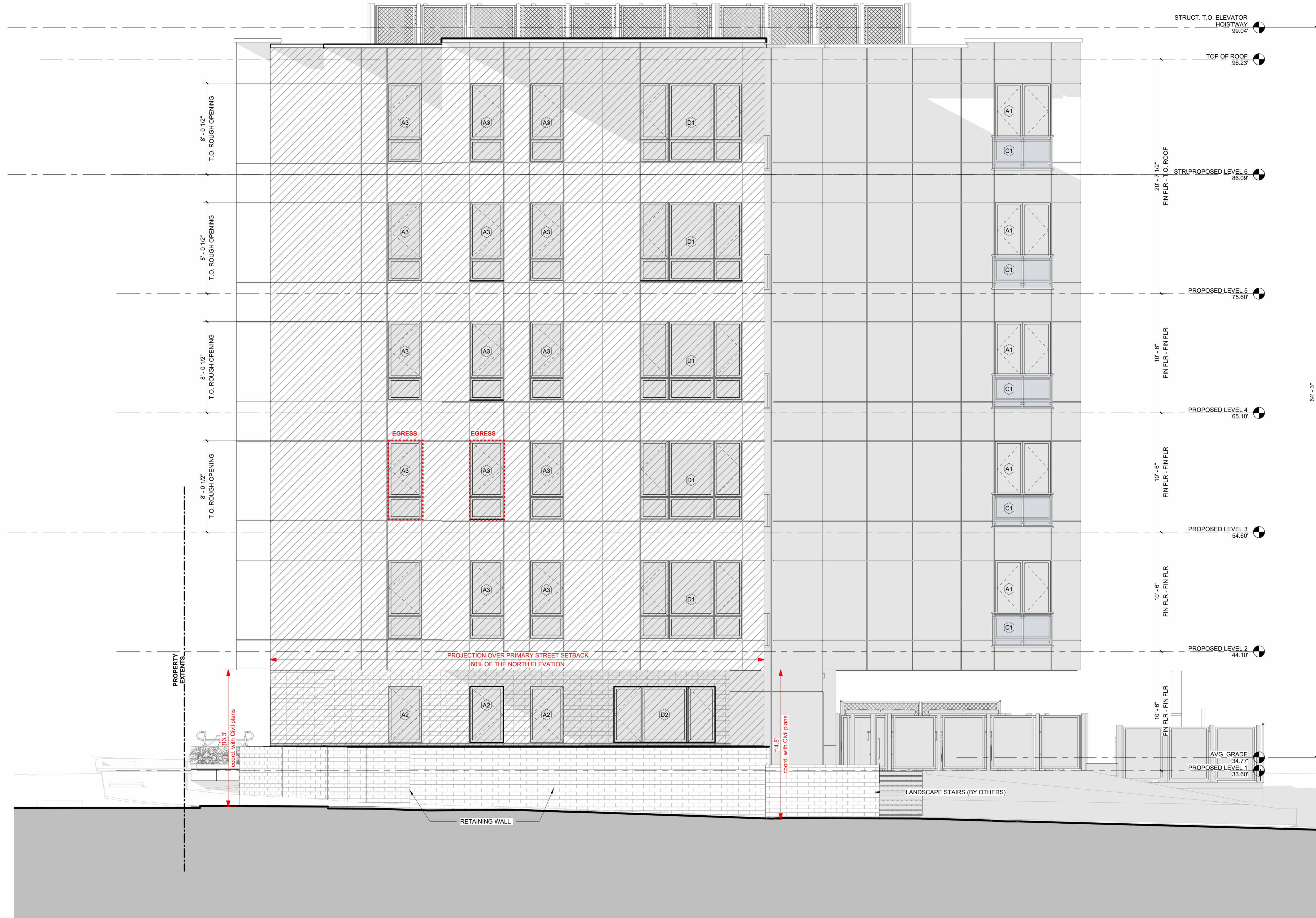
118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772

CONTACT@MPDCONSULTANTS.COM

OWNER:  
8 WINTER ST  
LLC

PROJECT:  
**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141



1 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

PROJECT PHASE	
<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

REVISIONS		
1	ISP	2/6/2027
5	Planning Board	2/6/2023

DRAWN BY: AN  
 CHECKED BY: CF  
 DESIGNED BY: CF/AN  
 DATE: 4/2/2026  
 SCALE: 1/4" = 1'-0"

SHEET TITLE  
**PROPOSED  
NORTH  
ELEVATION**

SHEET:  
**A2.2**



TOTAL SQ. FOOTAGE OF SOUTH FAÇADE - 4461 SQ. FT.

TOTAL SQ. FOOTAGE OF OPENINGS - 923 SQ. FT

% OF TOTAL FAÇADE AS OPENINGS - 21%



DESIGN CONSULTANTS

118 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772

CONTACT@MPDCONSULTANTS.COM

OWNER:  
8 WINTER ST  
LLC

PROJECT:  
**8  
WINTER  
STREET**

8 WINTER STREET  
CAMBRIDGE, MA 02141



PROJECT PHASE	
<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

REVISIONS		
1	ISP	2/6/2027
5	Planning Board	2/6/2023

DRAWN BY: AN  
 CHECKED BY: CF  
 DESIGNED BY: CF/AN  
 DATE: 4/2/2026  
 SCALE: 1/4" = 1'-0"

SHEET TITLE  
**PROPOSED  
 SOUTH  
 ELEVATION**

SHEET:  
**A2.4**

**1** PROPOSED SOUTH ELEVATION  
 1/4" = 1'-0"



**EAST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**



**SOUTH ELEVATION**

**PROJECT PHASE**

<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

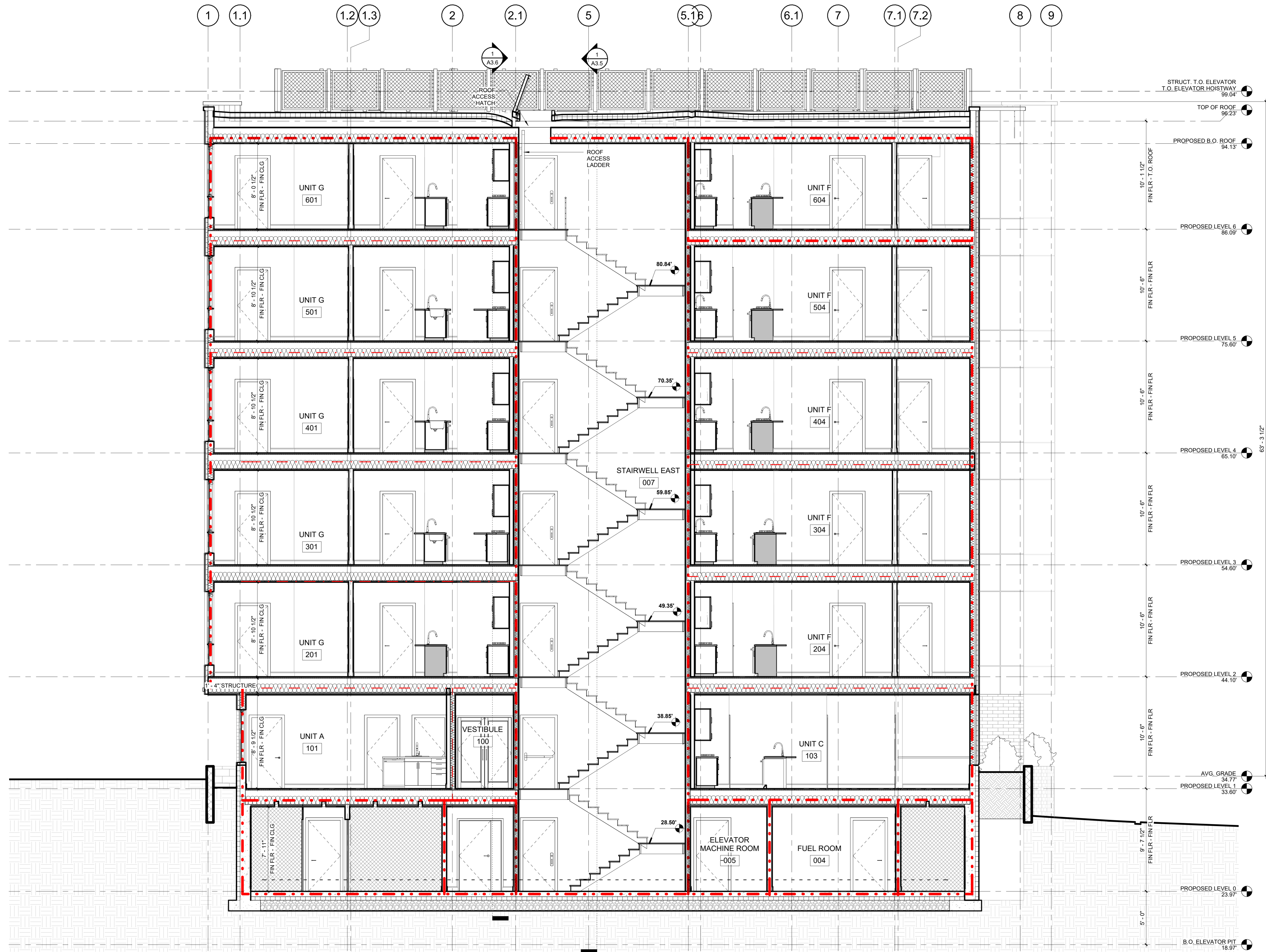
**REVISIONS**

1	ISP	2/6/2027
5	Planning Board	2/6/2023

DRAWN BY: AN  
 CHECKED BY: CF  
 DESIGNED BY: CF/AN  
 DATE: 4/2/2026  
 SCALE:  
 SHEET TITLE

**PROPOSED  
COLORED  
ELEVATIONS**

SHEET:  
**A2.5**



**1 BUILDING SECTION 1 - LOOKING WEST**  
1/4" = 1'-0"

**PROJECT PHASE**

<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

**REVISIONS**

1	ISP	2/6/2027
5	Planning Board	2/6/2023

DRAWN BY: AN  
 CHECKED BY: CF  
 DESIGNED BY: CF/AN  
 DATE: 4/2/2026  
 SCALE: 1/4" = 1'-0"

SHEET TITLE  
**PROPOSED  
SECTION 1**

SHEET:  
**A3.1**

**GUIDE SPECIFICATIONS FOR THE DERO ARC REV B BIKE RACK**

**SECTION 129313 or 323313**  
**BIKE RACKS**

These specifications were current at the time of publication but are subject to change at any time without notice. Please confirm the accuracy of these specifications with the manufacturer and/or distributor prior to installation.

**PART 1 GENERAL**

**1.1 Summary**

- A. This section includes specifications for the Arc Bike Rack.

- 1. Bikes parked per unit: 2

**1.2 Quality Assurance**

- A. Installer Qualifications: An experienced installer who has completed installation of bicycle racks similar in material, design, and extent to that indicated for this project and whose work has resulted in construction with a record of successful in-service performance.
- B. Manufacturer Qualifications: A firm experienced in manufacturing bicycle racks similar to those required for this project and with a record of successful in-service performance.
- C. Source Limitations: Obtain each color, finish, shape and type of bicycle rack from a single source with resources to provide components of consistent quality in appearance and physical properties.
- D. Product Options: Drawings indicate size, shape and dimensional requirements of bicycle racks and are based on the specific system indicated.

**1.3 Submittals**

- A. Product Data: Include physical characteristics such as shape, dimensions, bicycle, material parking capacity and finish for each bicycle rack.
- B. Shop Drawings: Show installation details for each bicycle rack.
- C. Samples for Verification: Submit finish samples for review and verification.
- D. Maintenance Data: For each bicycle rack.
  - 1. Include recommended methods for repairing damage to the finish.

**1.4 Delivery, Storage and Handling**

- A. Upon delivery, before signing for shipment, inspect for any damages and note on the B.O.L.
- B. Store bicycle racks in original undamaged packages and containers until ready for installation. Handle bicycle racks with sufficient care to prevent any scratches or damage to the finish.

**1.5 Warranty**

- A. Bicycle racks carry a one year manufacturer's limited warranty against defects in materials and workmanship. The one year warranty period begins the date the product is shipped from the manufacturer.

**PART 2 PRODUCTS**

**2.1 Acceptable Manufacturers**

- A. Provide bicycle racks manufactured by DERO BIKE RACK CO., 5522 Lakeland Avenue N., Minneapolis, MN 55429, 1-888-337-6729. Fax: 612-331-2731 Website: www.dero.com

**2.2 Materials**

- A. 2" x 1 1/2" square tube.
- B. Installation Methods: In-ground mount is embedded into concrete base. Flange mount has two 6" x 3.5" x .25" feet - 4 anchors. In-ground mount and foot mount models are available.

**2.3 Finishes**

- A. A hot-dipped galvanized finish performed after fabrication is standard.
- B. Over 250 high quality TGIC powder-coated colors are available from Dero Bike Rack Co.
  - 1. A TGIC powdercoat finish is available.
  - 2. For powder coated/ painted racks, the following specifications are required: Part is prepared for painting with hard sandblasting. An epoxy primer is electrostatically applied. A final TGIC, UV resistant polyester powder coat is applied. Final coating mil thickness shall be no less than 6 mils.
- C. A 304 grade stainless steel finish is also available.

**2.4 Arc Bike Rack**

**A. Setbacks**

- 1. Wall Setback: For racks set parallel to the wall, a minimum of 24" should be left between the wall and the rack. 36" is the recommended setback. For racks installed perpendicular to the wall, a 34" setback is the minimum distance. 42" is recommended.
- 2. Distance Between Racks: 24" is the minimum distance between racks. 36" is recommended.
- 3. Street Setback: 24" is the minimum distance between the street and the rack. 36" is recommended.

**PART 3 EXECUTION**

**3.1 Installation**

- A. Installation Method
  - 1. Surface mount

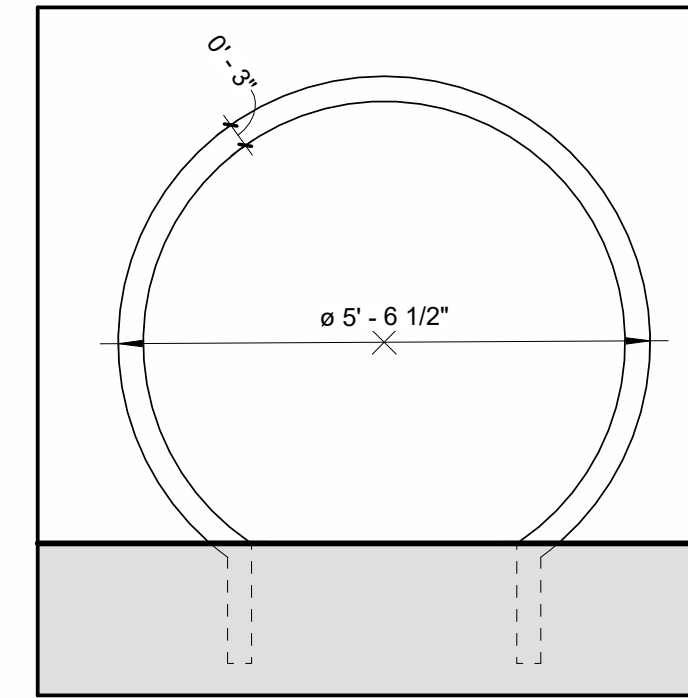
- 2. In-ground mount
- 3. It is the responsibility of the installer to ensure that all base materials into which the rack will be installed can support the rack and will not be damaged by any required installation procedures.

**3.2 Ordering Information**

- A. When ordering or specifying this rack, make sure the product type, finish and fastener type (if applicable) are included. Contact your Dero representative for a current price list or to place an order.
- B. Included in the price is either a hot-dipped galvanized finish, a TGIC powder coat finish, or a stainless steel finish. The foot-mounted Excalibur Arc Racks include 4 wedge anchors or concrete spikes.

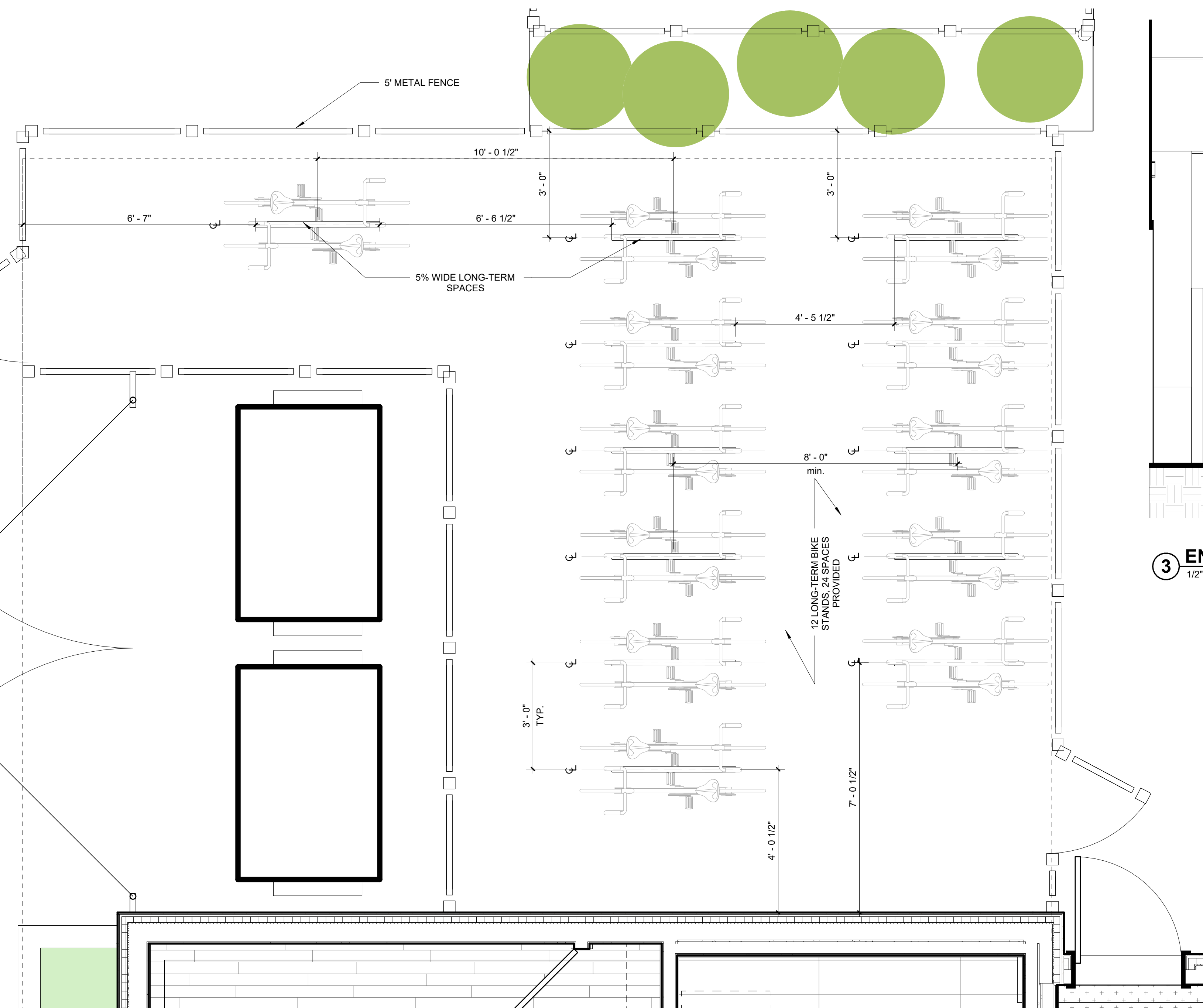
**3.3 Freight**

- A. Call 1-888-337-6729 for freight quotes.

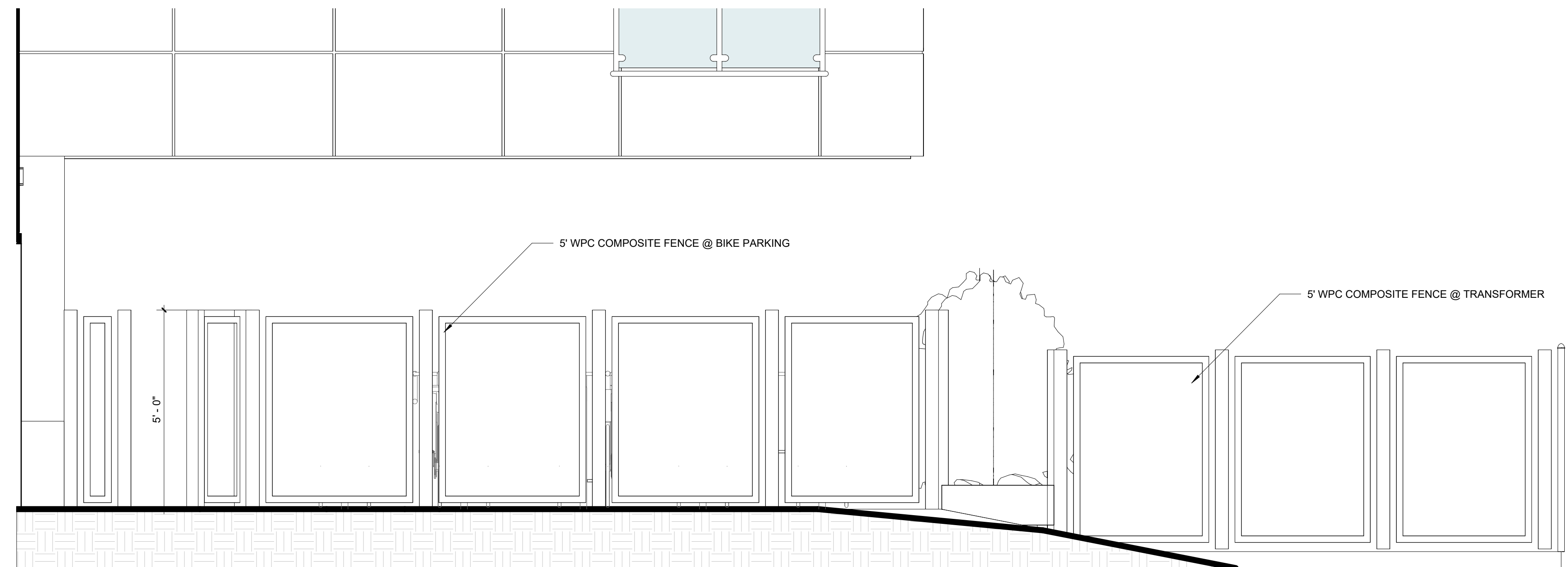


ARC BIKE RACK DETAIL. REFER TO MANUFACTURER FOR FURTHER INFORMATION.

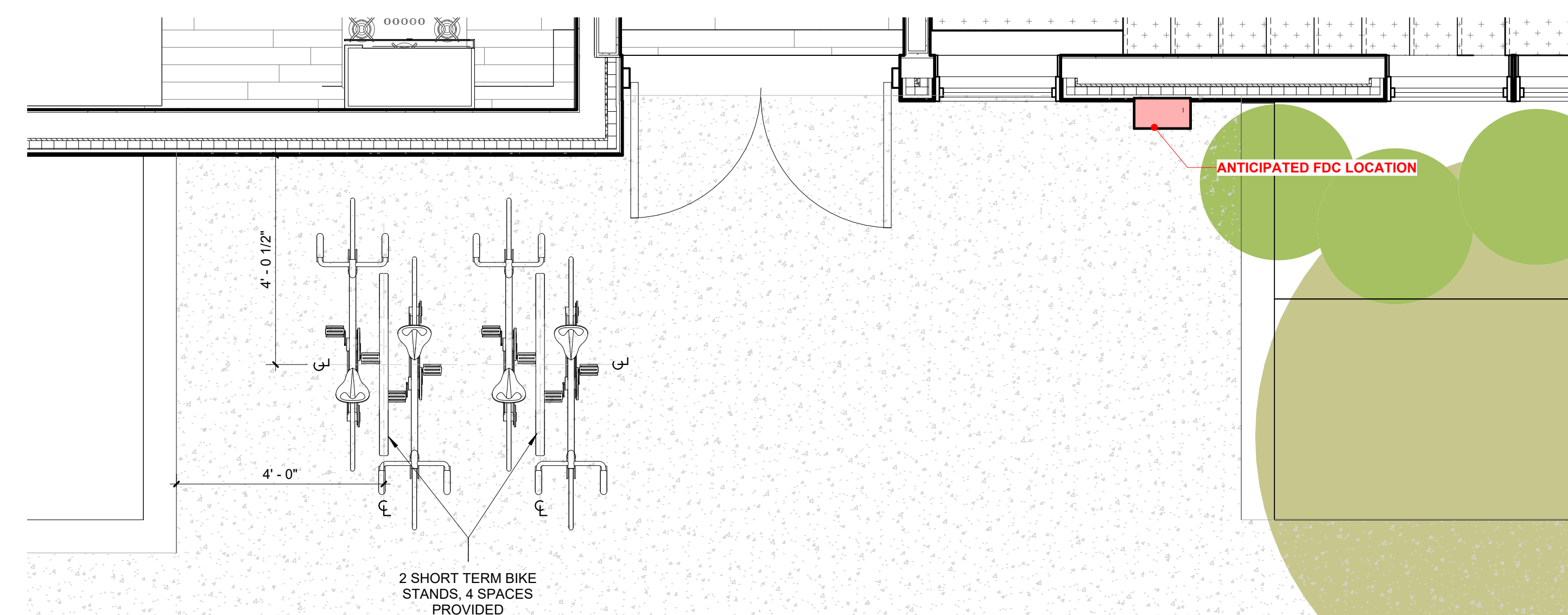
- REQUIREMENTS ACCORDING TO THE CAMBRIDGE MA ZONING ORDINANCE ARTICLE 6.100 - BICYCLE PARKING:**
- PROPOSED QUANTITIES OF BICYCLE PARKING FACILITIES
  - PROPOSED LOCATION OF BIKE PARKING FACILITIES
  - EXACT DETAILS AND SPECIFICATIONS OF THE DESIGN AND LAYOUT OF PROPOSED BICYCLE PARKING SPACES
  - MIN 3'-0" BETWEEN BIKE STANDS
  - MIN 4'-0" AWAY FROM WALLS



**1 LONG TERM BICYCLE PARKING PLAN**  
1/2" = 1'-0"



**3 ENLARGED ELEVATION @ METAL SCREENING**  
1/2" = 1'-0"



**2 SHORT TERM PARKING PLAN**  
1/2" = 1'-0"

**PROJECT PHASE**

<input type="checkbox"/>	EXISTING CONDITIONS
<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	BUILDING PERMIT
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION

**REVISIONS**

NO.	DESCRIPTION	DATE
2	Community Devel. Review	2/20/24

DRAWN BY: AN  
CHECKED BY: CF  
DESIGNED BY: CF/AN  
DATE: 4/2/2025  
SCALE: 1/2" = 1'-0"

SHEET TITLE  
**ENLARGED VIEWS @ BIKE PARKING**

SHEET:

**A4.17**