



1124 MASSACHUSETTS AVENUE

SHEET LIST - HSqCD	
G000	COVER
G011	SITE SURVEY
G012	ASSESSORS PLOT PLAN
G013	SITE PHOTOS
A100	PROPOSED SITE PLAN
A101	PROPOSED FLOOR PLANS
A102	PROPOSED FLOOR PLANS
A201	PROPOSED BUILDING ELEVATIONS
A202	PROPOSED BUILDING ELEVATIONS
A901	PERSPECTIVE VIEWS
D101	SELECTIVE DEMOLITION PLANS
D102	SELECTIVE DEMOLITION PLANS
D201	EXISTING ELEVATIONS
D202	EXISTING ELEVATIONS

No.	Description	Date



client  
**SIGMA CHI  
FOUNDATION**

the **COVER** project  
**1124 MASSACHUSETTS AVENUE**



job number 22080

scale

release date 10.21.25

HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION

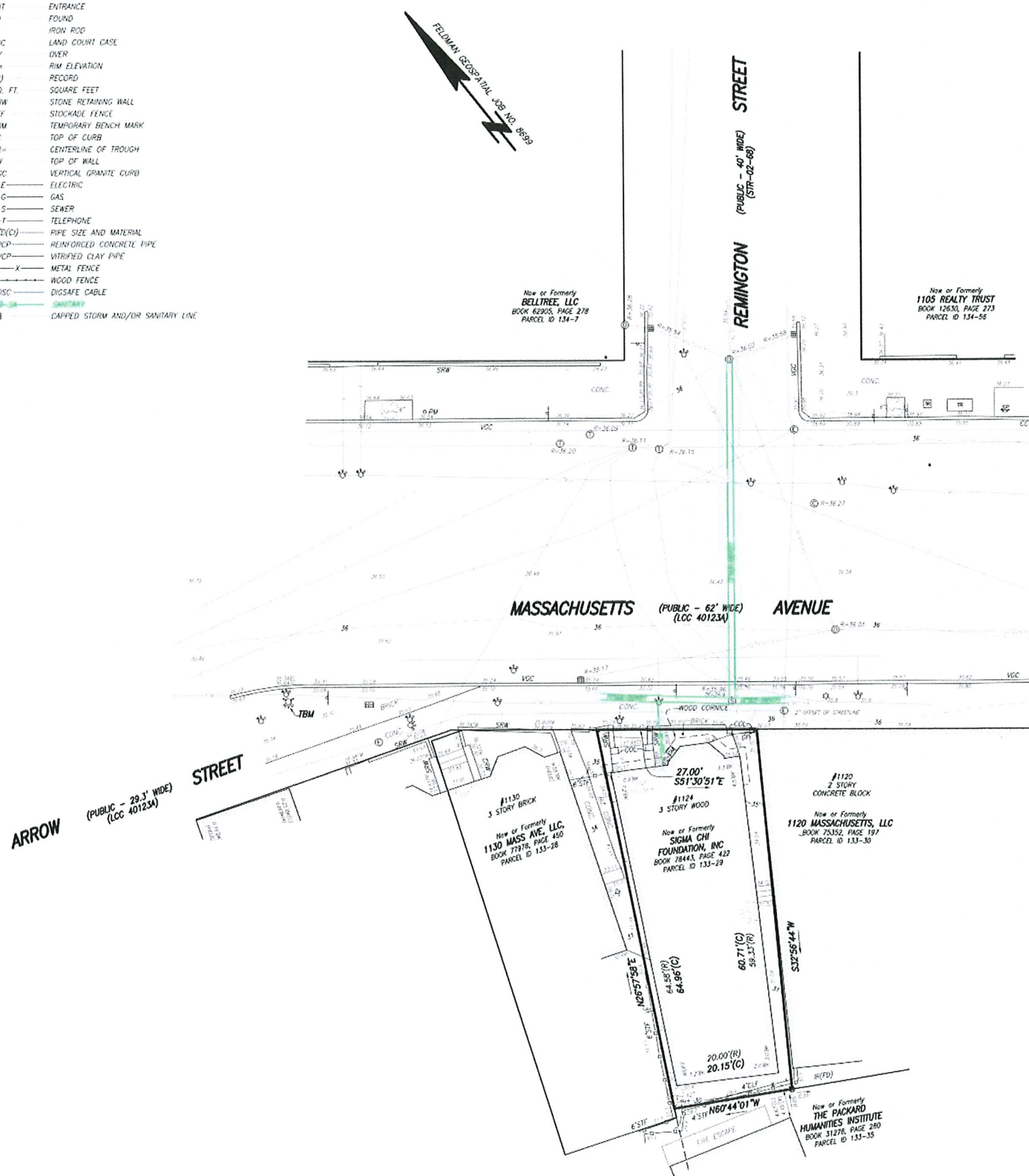
sheet no.

G000



- LEGEND
- SEWER MANHOLE
  - URBAN MANHOLE
  - ELECTRIC MANHOLE
  - TELEPHONE MANHOLE
  - CABLE TELEVISION MANHOLE
  - HYDRANT
  - WATER SHUT OFF/WATER GATE
  - GAS SHUT OFF/GAS GATE
  - CATCH BASIN
  - LIGHT POLE
  - ELECTRIC HANDHOLE
  - BOLLARD
  - POST
  - GATE POST
  - SIGN
  - PARKING METER
  - ROOF DRAIN
  - DRILL HOLE
  - IRON ROD
  - STAND PIPE/SAMESE CONNECTION
  - GAS METER
  - TRASH RECEPTACLE
  - CURB RETURN
  - DECIDUOUS TREE
  - BITUMINOUS
  - BACK
  - CALCULATED
  - CONCRETE CURB
  - CHAIN LINK FENCE
  - COLUM

- CONC. CONCRETE
- CRW CONCRETE RETAINING WALL
  - DM DRILL HOLE
  - ENT ENTRANCE
  - FD FOUND
  - IR IRON ROD
  - LCC LAND COURT CASE
  - OV OVER
  - R- RIM ELEVATION
  - (R) RECORD
  - SQ. FT. SQUARE FEET
  - SRW STONE RETAINING WALL
  - SIF STOCKADE FENCE
  - TBM TEMPORARY BENCH MARK
  - TC TOP OF CURB
  - TR- CENTERLINE OF TROUGH
  - TW TOP OF WALL
  - VGC VERTICAL GRANITE CURB
  - E ELECTRIC
  - G GAS
  - S SEWER
  - T TELEPHONE
  - 12" (C) PIPE SIZE AND MATERIAL
  - RCR REINFORCED CONCRETE PIPE
  - VCP VITRIFIED CLAY PIPE
  - X-X METAL FENCE
  - WOOD FENCE
  - DSC DIGSAFE CABLE
  - CL-9-SA SANITARY
  - > CAPPED STORM AND/OR SANITARY LINE



- NOTES:
- BENCH MARK INFORMATION:  
BENCH MARK USED:  
BM-0270: SQUARE CUT IN CONCRETE BASE OF TRAFFIC SIGNAL LOCATED AT THE INTERSECTION OF THE NORTHERLY SIDE OF TROWBRIDGE STREET AND THE EASTERLY SIDE OF MASSACHUSETTS AVENUE. (CAMBRIDGE)  
ELEVATION = 36.14  
TBM-2: CORNER OF A CONCRETE WALL AT THE NORTHWEST CORNER OF THE INTERSECTION OF HANCOCK AND MASSACHUSETTS AVENUE, AS SHOWN HEREON. (FELDMAN JOB NO. 17023)  
ELEVATION = 41.15  
TEMPORARY BENCH MARKS SET:  
TBM-1: BONNET BOLT OVER MAIN OUTLET OF HYDRANT LOCATED ON THE SOUTHERLY SIDE OF MASSACHUSETTS AVENUE, DIRECTLY IN FRONT OF 1134 MASSACHUSETTS AVENUE, AS SHOWN HEREON.  
ELEVATION = 37.24
  - ELEVATIONS REFER TO CAMBRIDGE CITY BASE.
  - CONTOUR INTERVAL EQUALS ONE (1) FOOT.
  - BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 250120576E, CITY OF CAMBRIDGE COMMUNITY NUMBER 250186, PAVEL NUMBER 0576E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.
  - UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
  - THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

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www.feldmangeo.com

Right From the Ground Up

MASSACHUSETTS AVENUE  
ARROW STREET  
MT AUBURN STREET  
LOCUS

LOCUS MAP NOT TO SCALE

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD

DRAFT 06/12/2023

TIMOTHY R. AGURKIS, FLS (MA# 52782)  
TAGURKIS@FELDMANGEO.COM

DATE

DRAWING NAME:

EXISTING  
CONDITIONS  
PLAN OF LAND

1124  
MASSACHUSETTS AVENUE  
CAMBRIDGE, MASS.

DATE: JUNE 6, 2023

REVISIONS:

FILENAME: 2300282-EX.dwg

RESEARCH: NG FIELD CHIEF: KF

PRGM MGR: DMS APPROVED:

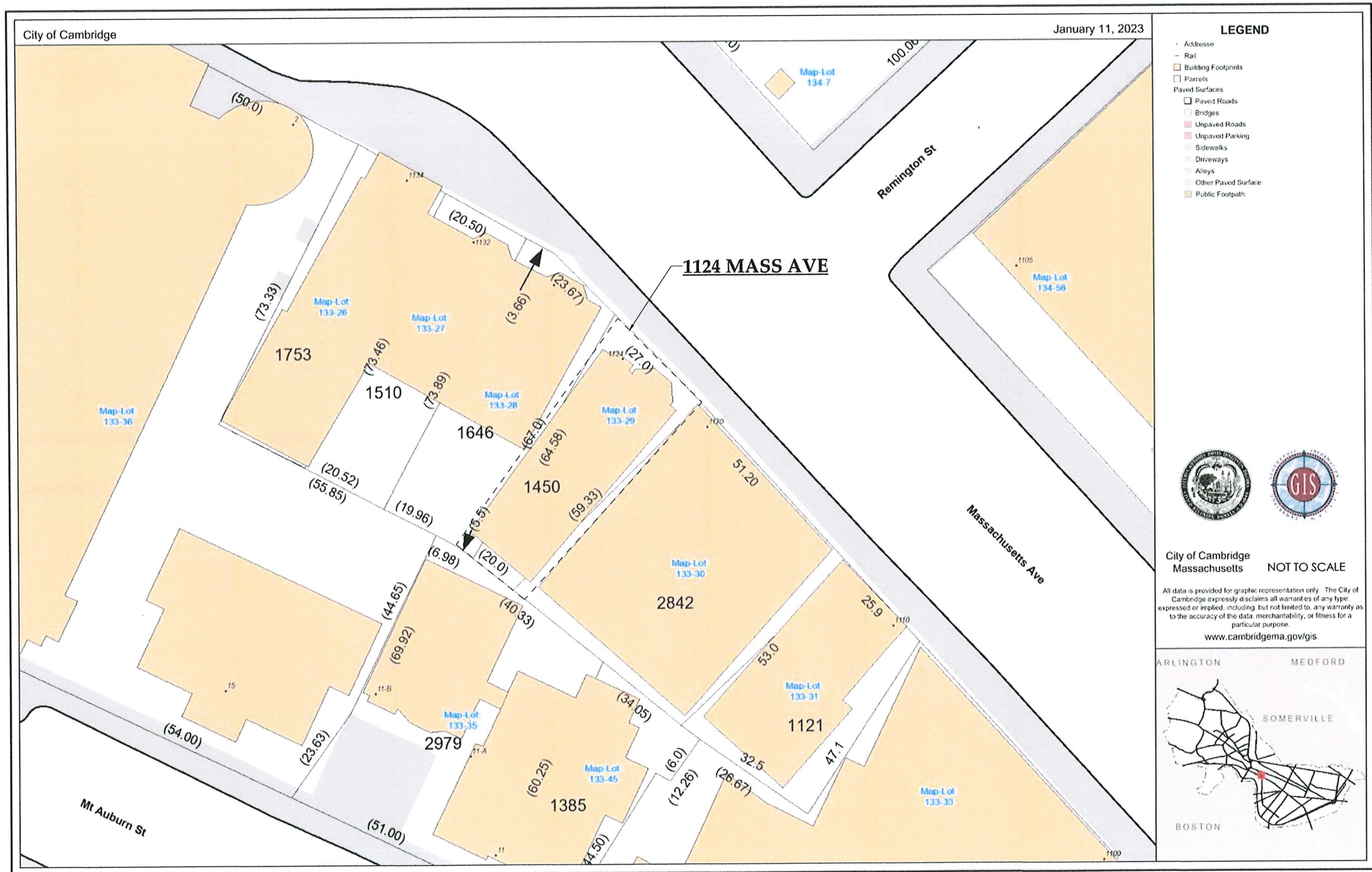
CALC: NG CADD: NG

FIELD CHK: KF CRD FILE: 2300282-EX

SCALE: 1"=10'

SHEET NO. 1 OF 1









VIEW FROM NORTHWEST



VIEW FROM NORTH



VIEW FROM EAST



VIEW FROM REMMINGTON STREET

No.	Description	Date

client  
**SIGMA CHI  
FOUNDATION**

the **SITE PHOTOS**  
project  
**1124 MASSACHUSETTS AVENUE**

**dhA**  
City of Boston  
Department of Public Works  
Planning & Development

job number  
**22080**

scale

preparation date  
**10.21.25**

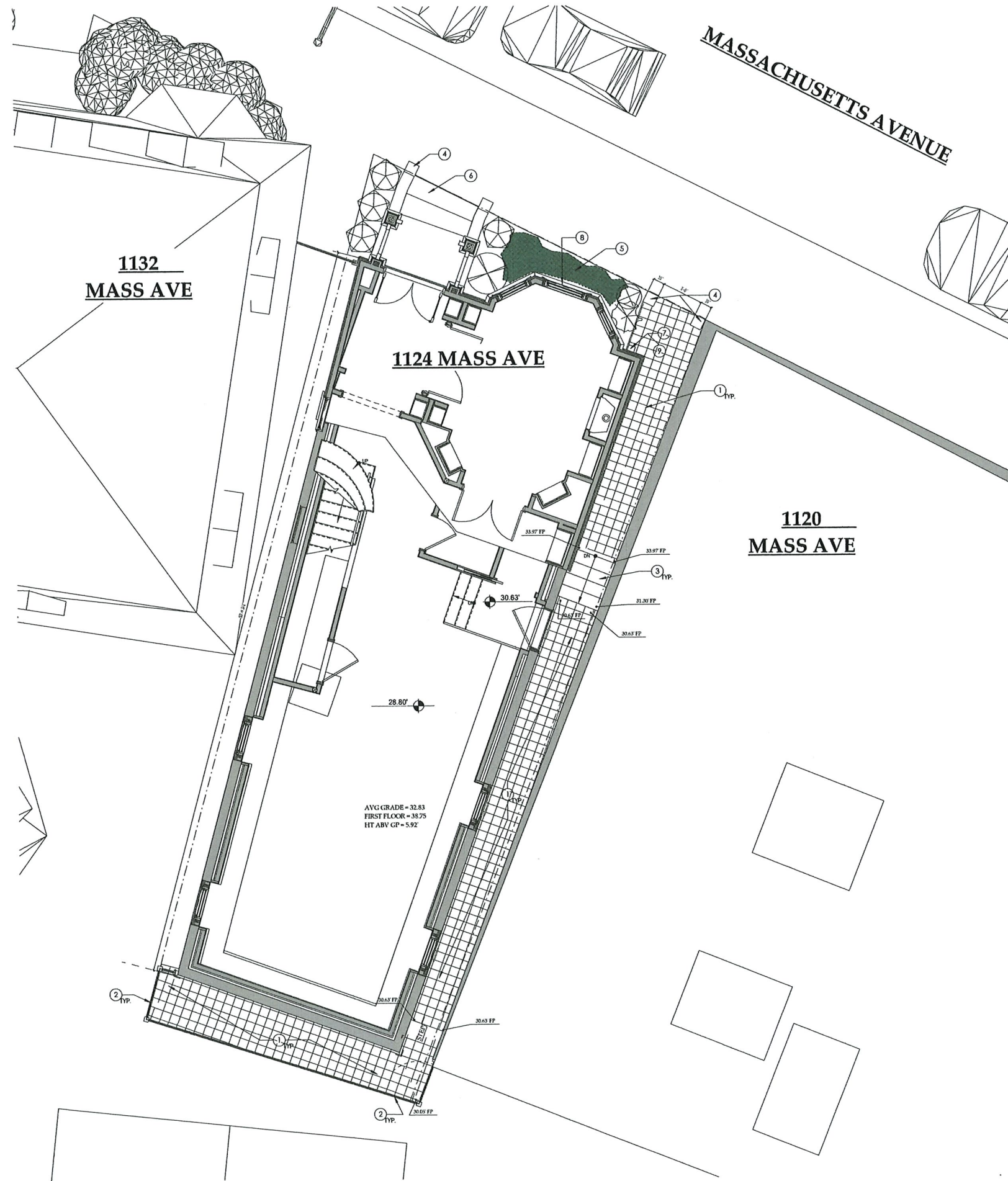
**HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION**

sheet no.

**G013**



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KEYNOTES		
1	NEW PAVER SIDEWALK AND PLAZA PER DETAILS. PAVERS TO BE UNLOCK TREO FLAGSTONE OR APPROVED ALTERNATE.	
2	NEW 6' HIGH CEDAR STOCKADE FENCE - SEE SPECIFICATION	
3	NEW CONCRETE STEPS - SEE DETAILS.	
4	RELOCATE EXISTING GRANITE OBELISKS AS SHOWN.	
5	NEW LANDSCAPE PLANTER - SEE DETAILS AND GENERAL NOTES FOR ADDITIONAL INFORMATION - ALL PLANTER AREAS.	
6	RESET GRANITE CURB AND STEPS.	
7	FIRE DEPARTMENT CONNECTION - VERIFY LOCATION WITH C.F.D.	
8	FIRE ALARM BEACON - VERIFY LOCATION WITH C.F.D.	
9	ELECTRIC FIRE ALARM BELL - VERIFY LOCATION WITH C.F.D.	

Date	
	10-21-25
Description	
No.	

client  
**SIGMA CHI  
FOUNDATION**

PROPOSED SITE PLAN

1124 MASSACHUSETTS AVENUE

**dhA**  
daniel hughes architecture

job number 22080

scale 1/4" = 1'-0"

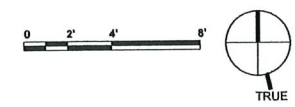
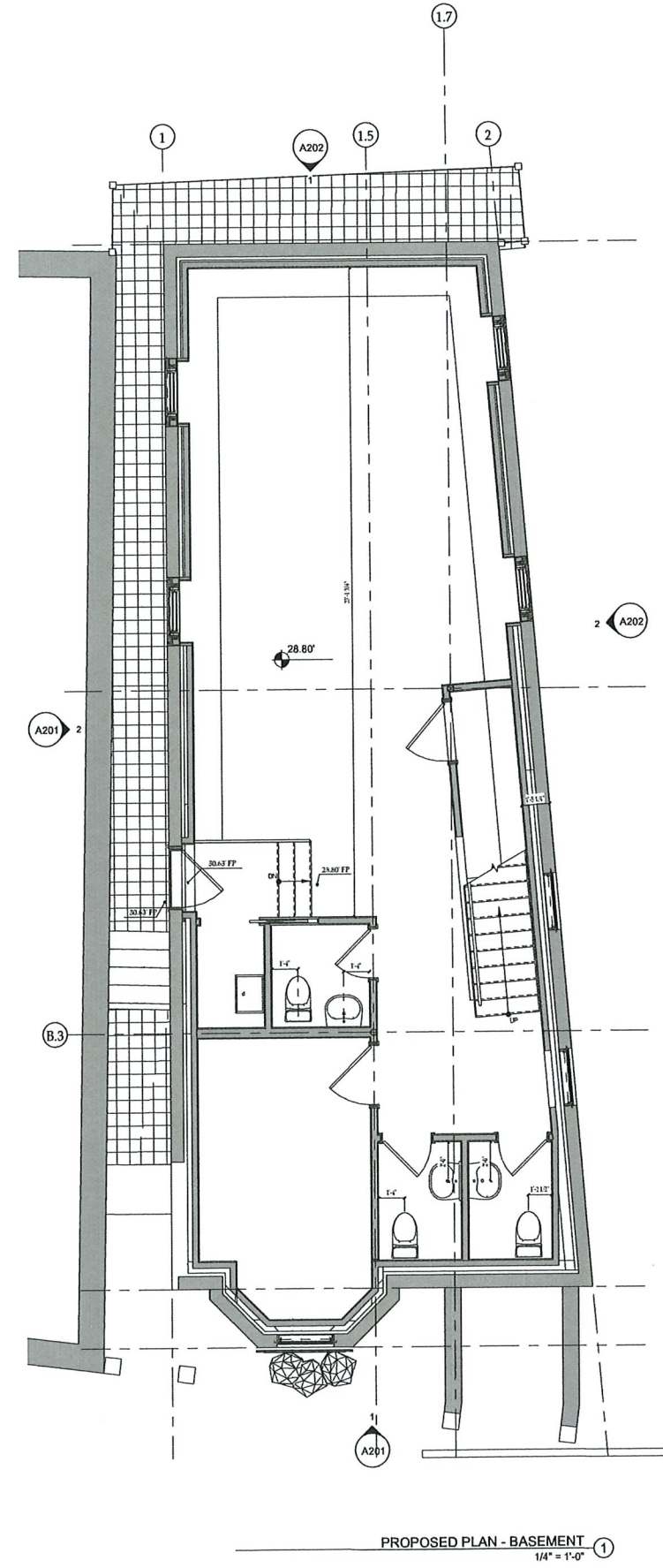
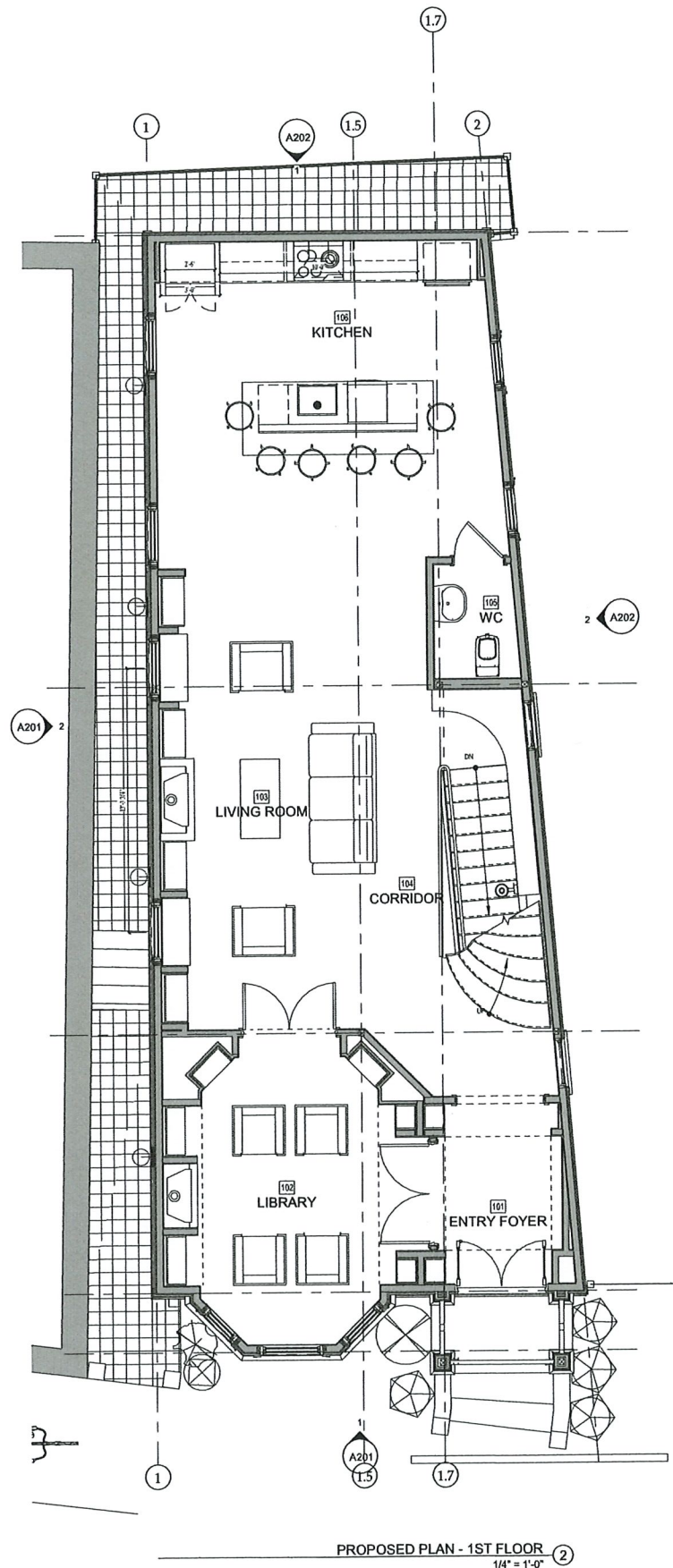
release date 10.21.25

HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION

sheet no.

A100





No.	Description	Date

client  
**SIGMA CHI  
FOUNDATION**

file  
**PROPOSED FLOOR PLANS**

project  
**1124 MASSACHUSETTS AVENUE**

**dhA**  
DESIGN + ARCHITECTURE

job number  
**22080**

scale  
**1/4" = 1'-0"**

release date  
**10.21.25**

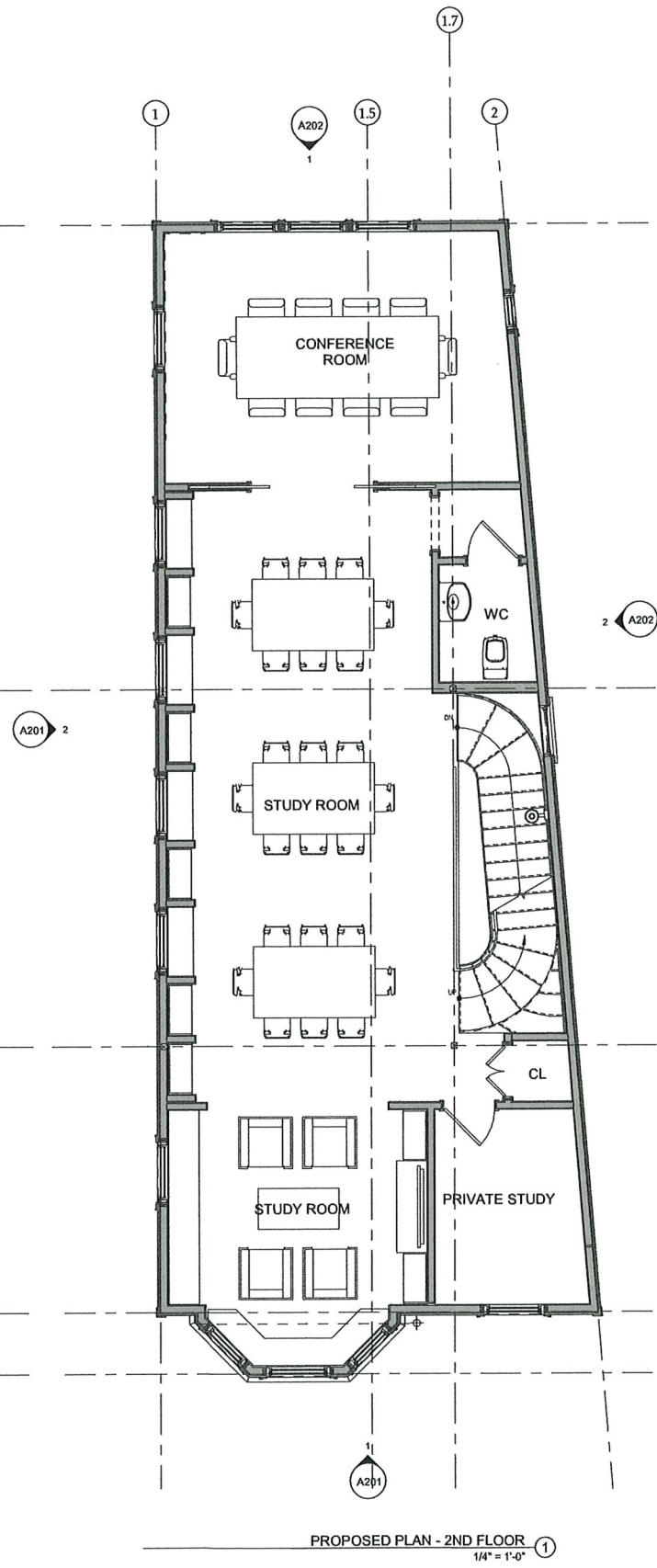
**HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION**

sheet no.  
**A101**



PROPOSED FLOOR PLANS

1124 MASSACHUSETTS AVENUE



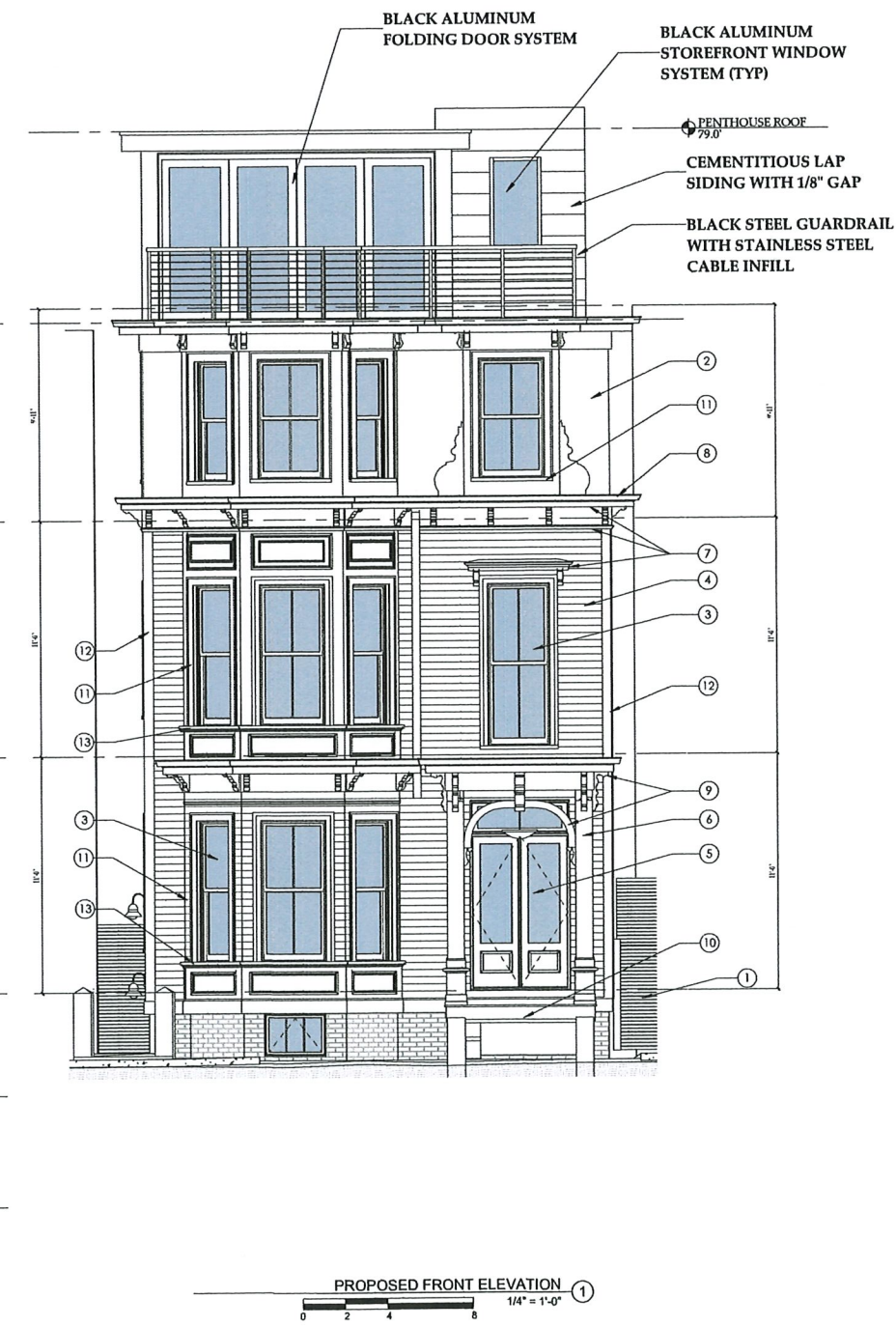
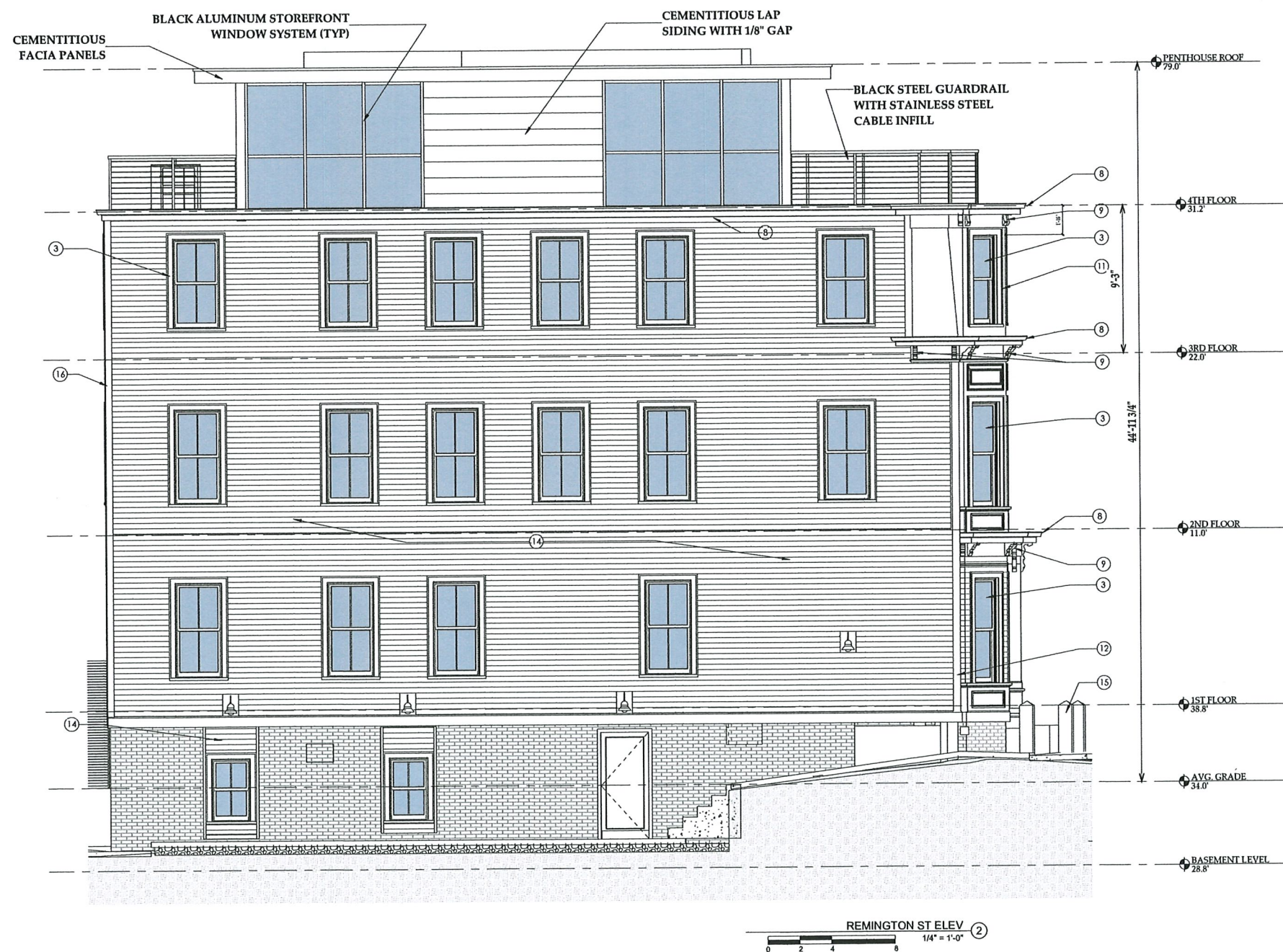


KEYNOTES

- |    |  |
|----|--|
| 1  | EXISTING FOUNDATION WALL - CLEAN AND REPOINT PER SPECIFICATION   |
| 2  | REPAIR AND RESTORE EXISTING SLATE ROOFING. PROVIDE NEW SLATE SHINGLES TO MATCH IN AREAS THAT CANNOT BE RESTORED. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL. |
| 3  | NEW MARVIN ULTIMATE ALUMINUM CLAD WOOD WINDOW - BLACK EXTERIOR COLOR.  |
| 4  | NEW CEDAR CLAPBOARD SIDING - COURSING AND PROFILE TO MATCH EXISTING.   |
| 5  | EXISTING ENTRY DOOR TO BE RESTORED. C.O.C. BUILDING DEPARTMENT APPROVAL WILL BE REQUIRED.  |
| 6  | EXISTING WOOD COLUMN, BRACKETS AND CORBELS - REPAIR/REPLACE AS REQUIRED.   |
| 7  | NEW EXTERIOR WOOD RUNNING TRIM TO MATCH EXISTING. PROVIDE MOCKUPS FOR HISTORIC APPROVAL PRIOR TO CONSTRUCTION.   |
| 8  | NEW FIBERGLASS GUTTER TO MATCH HISTORIC GUTTERS. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.   |
| 9  | EXISTING CORBELS, BRACKETS, ETC. TO BE RESTORED OR REPLACED TO MATCH. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.  |
| 10 | EXISTING GRANITE PORCH STEPS - REPAIR / REPLACE AS REQUIRED.   |
| 11 | NEW WOOD SILL AND CASING TO MATCH EXISTING. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.  |
| 12 | NEW WOOD CORNERBOARD TO MATCH ORIGINAL HISTORIC.   |
| 13 | NEW CONTINUOUS WOOD SILL AT BAY TO MATCH EXISTING. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.   |
| 14 | NEW HARDIE PLANK CEMENTITIOUS CLAPBOARD SIDING - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY. COURSING TO MATCH FRONT ELEVATION.   |
| 15 | EXISTING GRANITE OBELISK - RESTORE AND RESET AS REQUIRED.  |
| 16 | NEW PVC CORNERBOARD - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY(TYP. UNQ.)   |

[illegible]

client  
**SIGMA CHI**  
**FOUNDATION**



PROPOSED BUILDING ELEVATIONS

11124 MASSACHUSETTS AVENUE

**dhA**

job number 22080

1/4" = 1'-0"

ref issue date	10.21.25
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**HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION**

Sheet no.

A201

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KEYNOTES	
1	NEW FIBERGLASS GUTTER TO MATCH HISTORIC GUTTERS. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.
2	NEW EXTERIOR WOOD RUNNING TRIM TO MATCH EXISTING. PROVIDE MOCKUPS FOR HISTORIC APPROVAL PRIOR TO CONSTRUCTION.
3	EXISTING WOOD COLUMN, BRACKETS AND CORBELS - REPAIR/REPLACE AS REQUIRED.
4	NEW WOOD SILL AND CASING TO MATCH EXISTING. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
5	NEW MARVIN ULTIMATE ALUMINUM CLAD WOOD WINDOW - BLACK EXTERIOR COLOR.
6	PAINTED WOOD GUARD RAIL, AND BALUSTERS TO MATCH ORIGINAL HISTORIC. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
7	EXISTING GRANITE OBELISK - RESTORE AND RESET AS REQUIRED.
8	EXISTING CORBELS, BRACKETS, ETC. TO BE RESTORED OR REPLACED TO MATCH. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.
9	NEW HARDIE PLANK CEMENTITIOUS CLAPBOARD SIDING - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY. COURSING TO MATCH FRONT ELEVATION.
10	REPAIR AND RESTORE EXISTING SLATE ROOFING. PROVIDE NEW SLATE SHINGLES TO MATCH IN AREAS THAT CANNOT BE RESTORED. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
11	NEW PVC CORNERBOARD - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY (TYP. U.N.O.).
12	EXISTING FOUNDATION WALL - CLEAN AND REPOINT PER SPECIFICATION.
13	BRICK INFILL AT EXISTING VENT OPENING.
14	NEW PVC SILL, CASING AND BAND MOLDINGS. PVC TO BE USED ON RIGHT SIDE, LEFT SIDE AND REAR ELEVATIONS (TYP. U.N.O.).
15	NEW PVC FACIA/SOFFIT - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY (TYP. U.N.O.).

Revision	
No.	Description

client  
**SIGMA CHI  
FOUNDATION**

PROPOSED BUILDING ELEVATIONS  
1124 MASSACHUSETTS AVENUE

**dhA**  
DESIGN + ARCHITECTURE

job number 22080

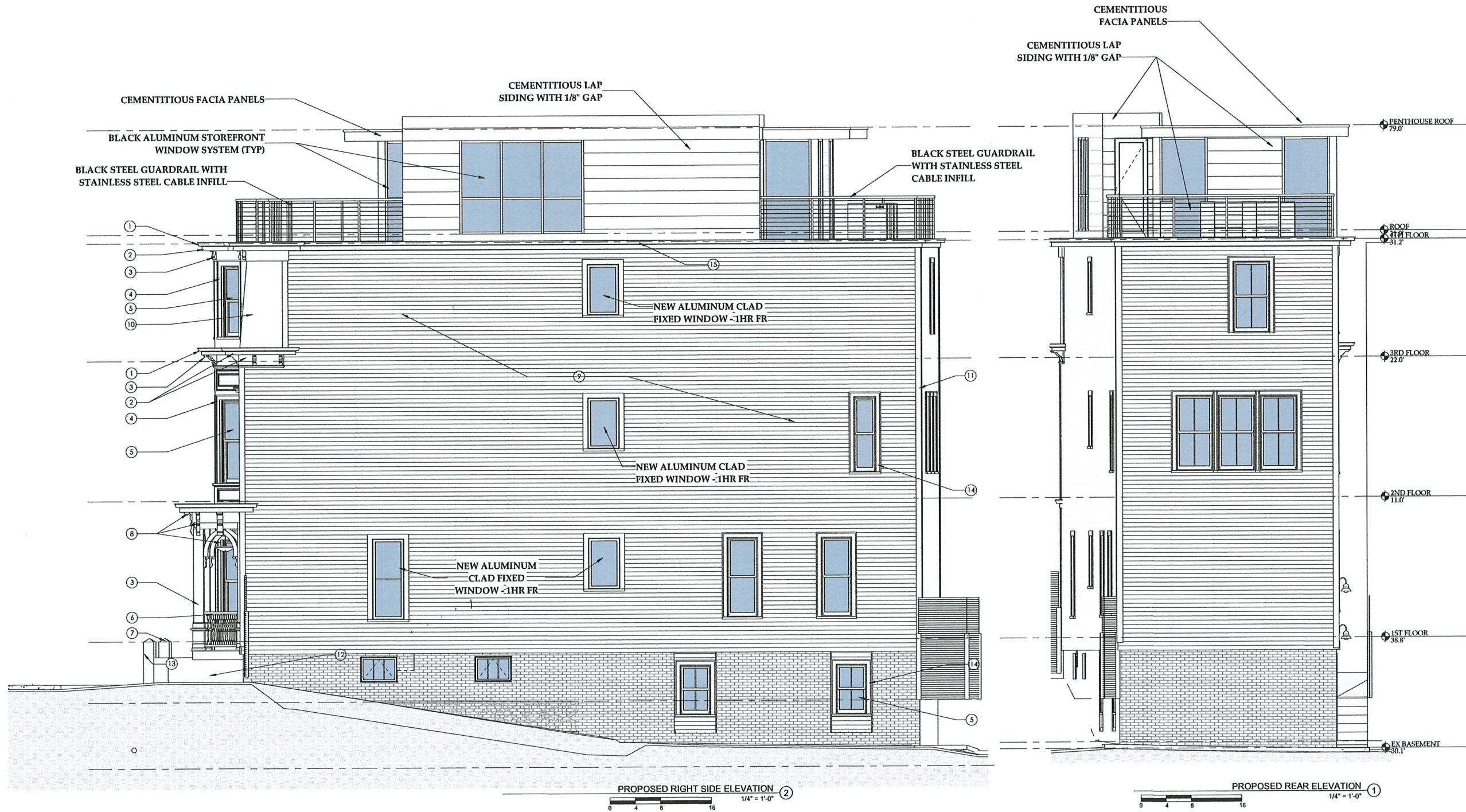
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release date 10.21.25

HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION

Sheet no.

A202







VIEW FROM MASS AVE LOOKING SOUTH

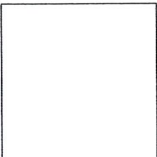


VIEW FROM MASS AVE LOOKING SOUTHWEST



VIEW FROM REMINGTON ST LOOKING SOUTHWEST

No.	Description	Date



client  
**SIGMA CHI  
FOUNDATION**

PERSPECTIVE VIEWS

1124 MASSACHUSETTS AVENUE

dh architects, llc  
1000 WASHINGTON STREET, SUITE 200  
CAMBRIDGE, MA 02142

job number 22080

scale

issue date 10.21.25

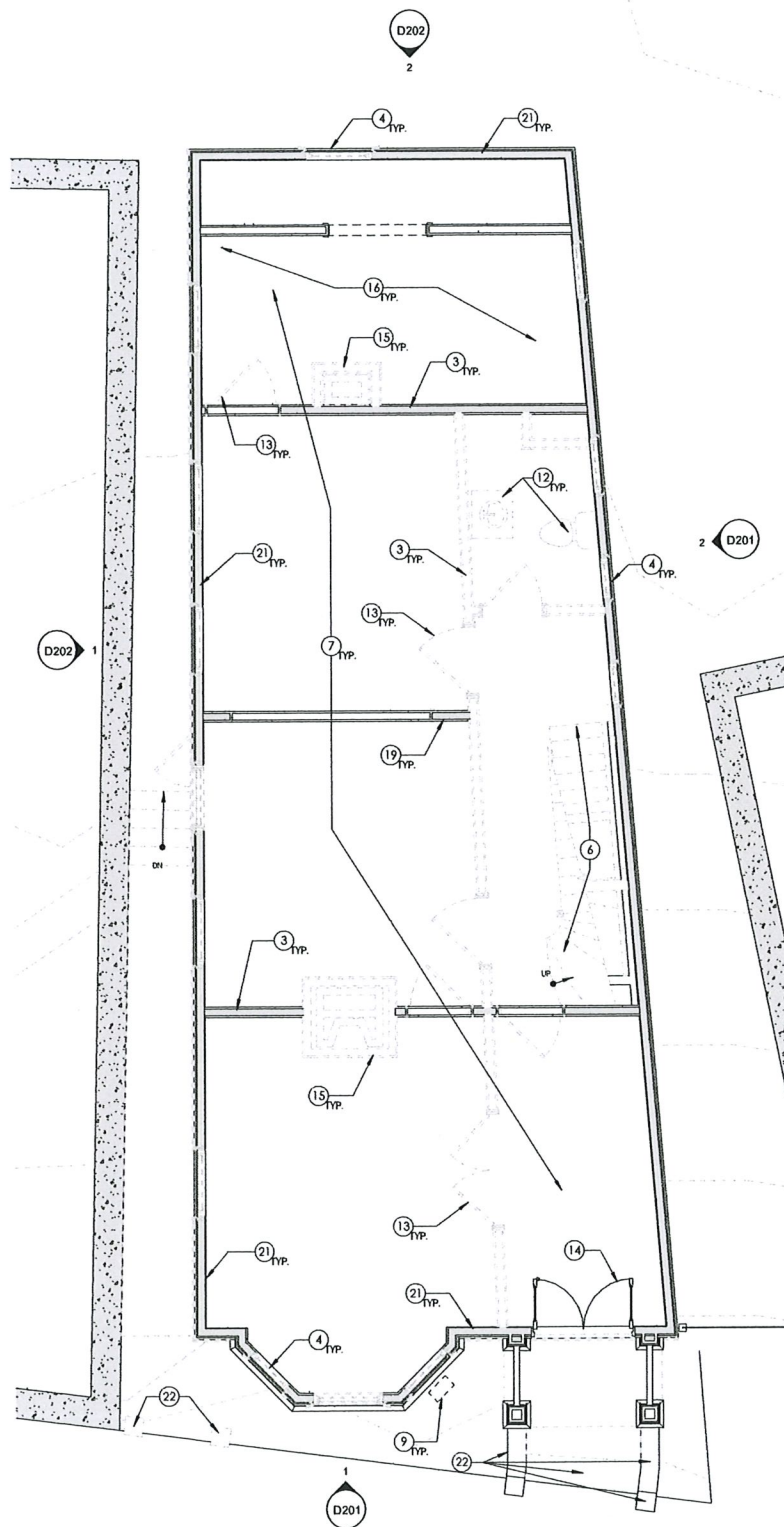
HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION

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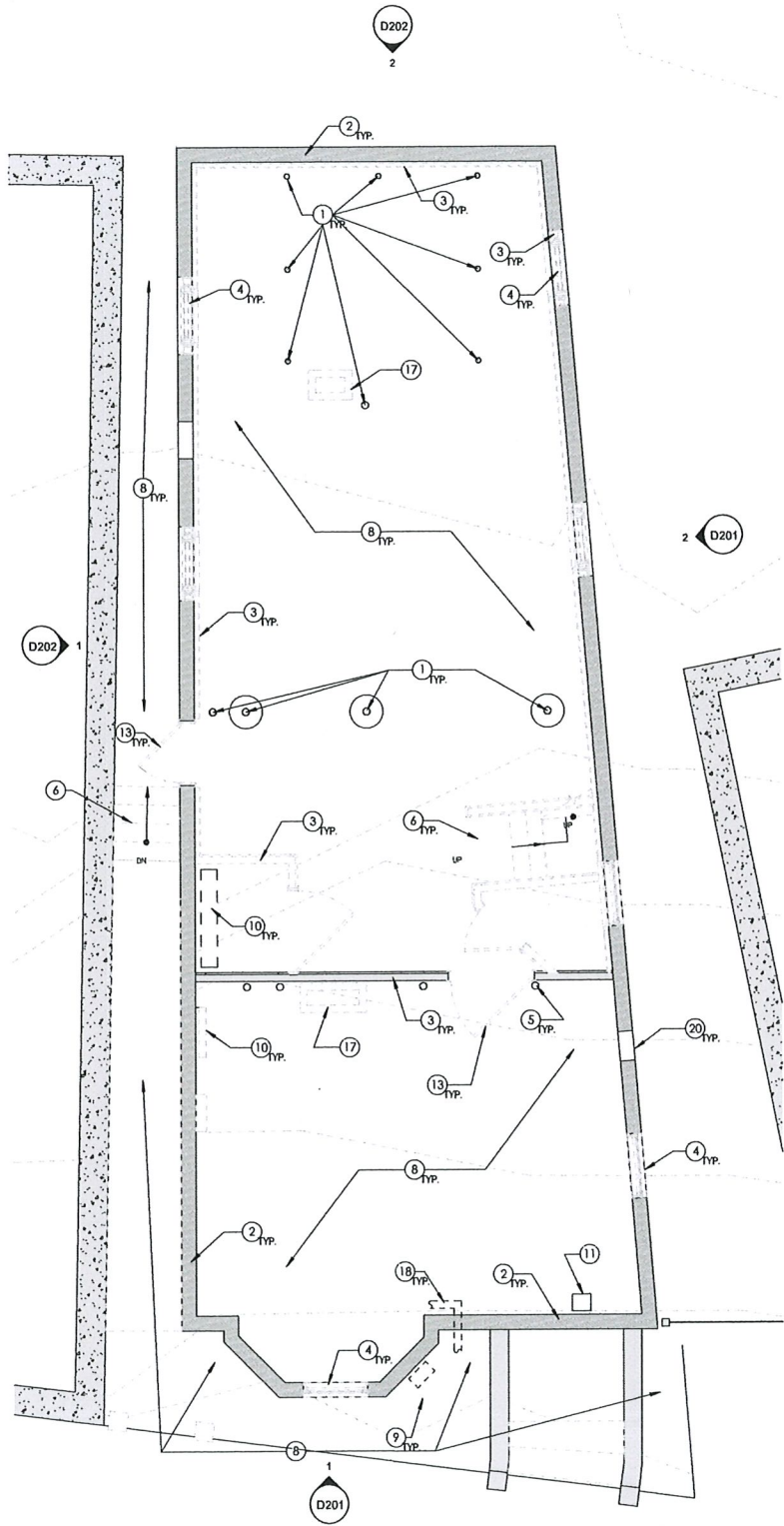
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EXISTING PLAN - 1ST FLOOR ②  
1/4" = 1'-0"



EXISTING PLAN - BASEMENT ①  
1/4" = 1'-0"

## KEYNOTES

- 1 STRUCTURAL PIERS, COLUMNS, WALLS, BEAMS ETC. TO REMAIN UNTIL THE G.C. HAS PREPARED AND IMPLEMENTED AN ENGINEERED STRUCTURAL SHORING PLAN. G.C. TO SUBMIT THE SHORING PLAN TO THE ARCHITECT FOR REVIEW.
- 2 FOUNDATION WALL TO REMAIN - DO NOT DISTURB - DO NOT UNDERMINE GRADE BELOW.
- 3 REMOVE EXISTING NON LOAD BEARING WALL(S) - INDICATED BY DASH LINE TYP.
- 4 REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING
- 5 EXISTING CORBELS, BRACKETS, ETC TO BE CAREFULLY REMOVED AND STORED IN A SAFE PLACE FOR FUTURE USE.
- 6 REMOVE EXISTING STAIRWAY AND RAILINGS. RETAIN OR CREATE MIN. REQUIRED SAFE MEANS OF EGRESS FROM ALL WORK AREAS DURING DEMOLITION.
- 7 REMOVE EXISTING FINISH FLOORING MATERIALS. SUBFLOOR, AND STRUCTURE TO REMAIN.
- 8 EXISTING CONCRETE SLAB TO BE DEMOLISHED. EXERCISE CAUTION WHEN BREAKING SLAB NEAR EXTERIOR WALLS, BRICK DEMISING WALLS AND INTERIOR LOAD BEARING BRICK PIERS. DO NOT DISTURB COMPACTED GRADE BELOW THESE ELEMENTS.
- 9 EXISTING GAS LINE AND METER. REVIEW DISCONNECT REQUIREMENTS WITH C.O.C. I.S.D. AND GAS UTILITY CO.
- 10 REMOVE EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED DISTRIBUTION SYSTEMS, DUCTWORK, ETC.
- 11 EX. 1" WATER LINE AND METER. MAINTAIN AT LEAST ONE HOSE BIB OR OTHER SUPPLY SOURCE FOR USE DURING DEMOLITION AND LATER PHASE CONSTRUCTION OPERATIONS. REVIEW DISCONNECTION AND TEMPORARY USE REQUIREMENTS WITH C.O.C. WATER DEPARTMENT.
- 12 REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED HARDWARE, SUPPLY AND VENT PIPING.
- 13 REMOVE EXISTING DOORS, FRAMES AND BLOCKING DOWN TO ROUGH FRAME OPENING AND/OR MASONRY OPENING
- 14 EXISTING ENTRY DOOR TO BE REMOVED AND STORED FOR FUTURE USE.
- 15 REMOVE EXISTING MASONRY FIREPLACE CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
- 16 REMOVE EXISTING APPLIANCES AND OTHER EQUIPMENT.
- 17 SUPPORT PIER FOR FIREPLACE AND CHIMNEY ABOVE. REMOVE AFTER ALL CHIMNEY/FIREPLACE ELEMENTS ABOVE HAVE BEEN DEMOLISHED. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL.
- 18 EXISTING SEWER LINE TO BE REMOVED. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 19 EXISTING LOAD BEARING WALL. REMOVE ALL FINISHES, DOORS, ETC. TO EXPOSE WOOD STUDS. STRUCTURE TO REMAIN UNTIL NEW FLOOR OR ROOF FRAMING OPERATIONS BEGIN UNDER SEPARATE PERMIT.
- 20 EXISTING VENT LOUVER, GRATE OR OTHER OPENING ELEMENT TO BE REMOVED.
- 21 EXISTING EXTERIOR WALL TO REMAIN. REMOVE EXTERIOR SIDING, EXTERIOR WOODWORK AS SHOWN ON SELECTIVE DEMOLITION ELEVATIONS. REMOVE ALL INTERIOR FINISHES TO EXPOSE WALL CAVITY BBBB.
- 22 RETAIN EXISTING GRANITE STEPS, WALLS, PIERS, ETC. STORE AND PROTECT FROM DAMAGE.

0 2 4 8



No.	Description	Date

client  
**SIGMA CHI  
FOUNDATION**

PROJECT  
**SELECTIVE DEMOLITION PLANS**  
**1124 MASSACHUSETTS AVENUE**

**dhA**  
DESIGN + ARCHITECTURE

job number  
22080

scale  
1/4" = 1'-0"

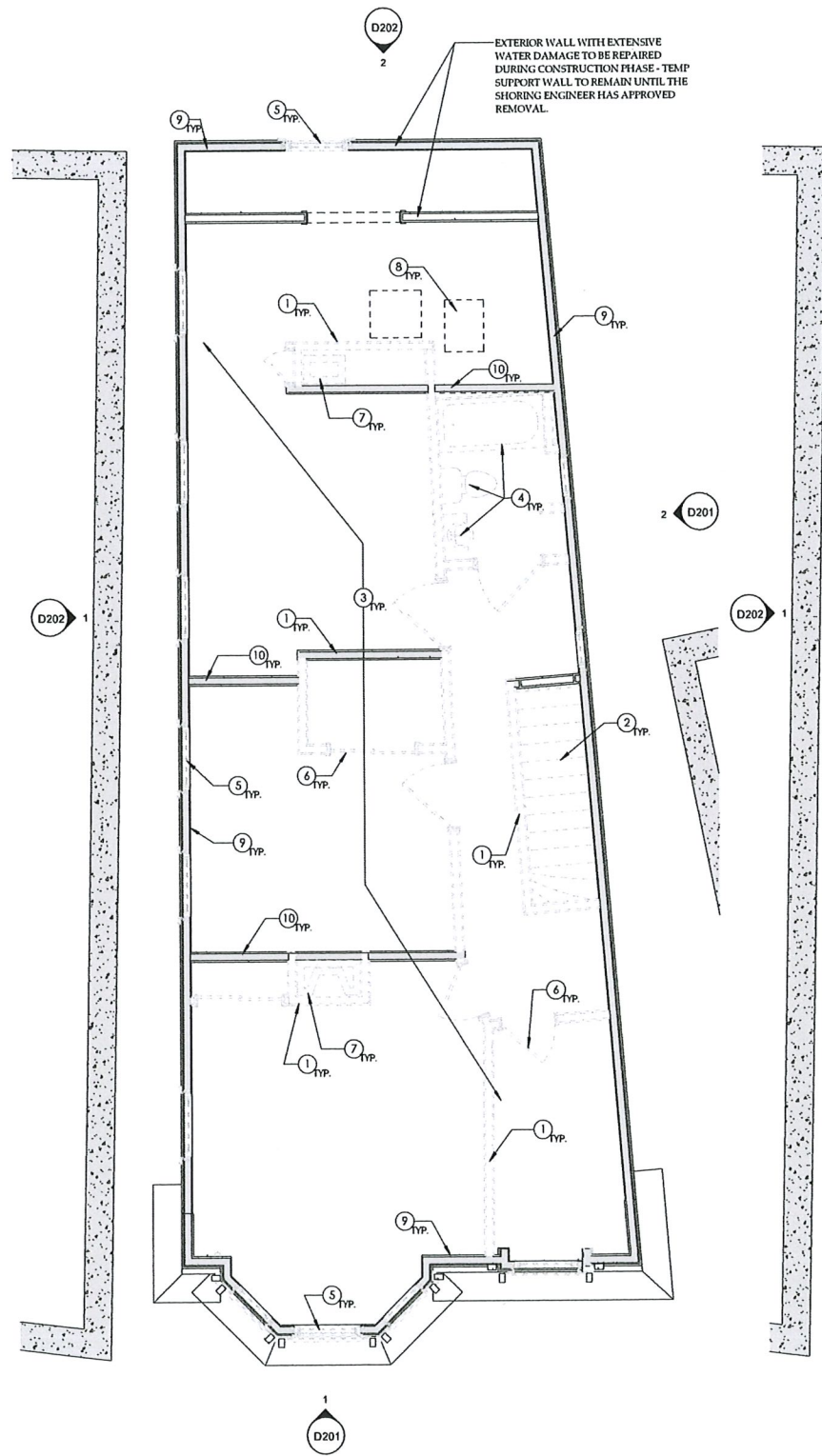
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**HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION**

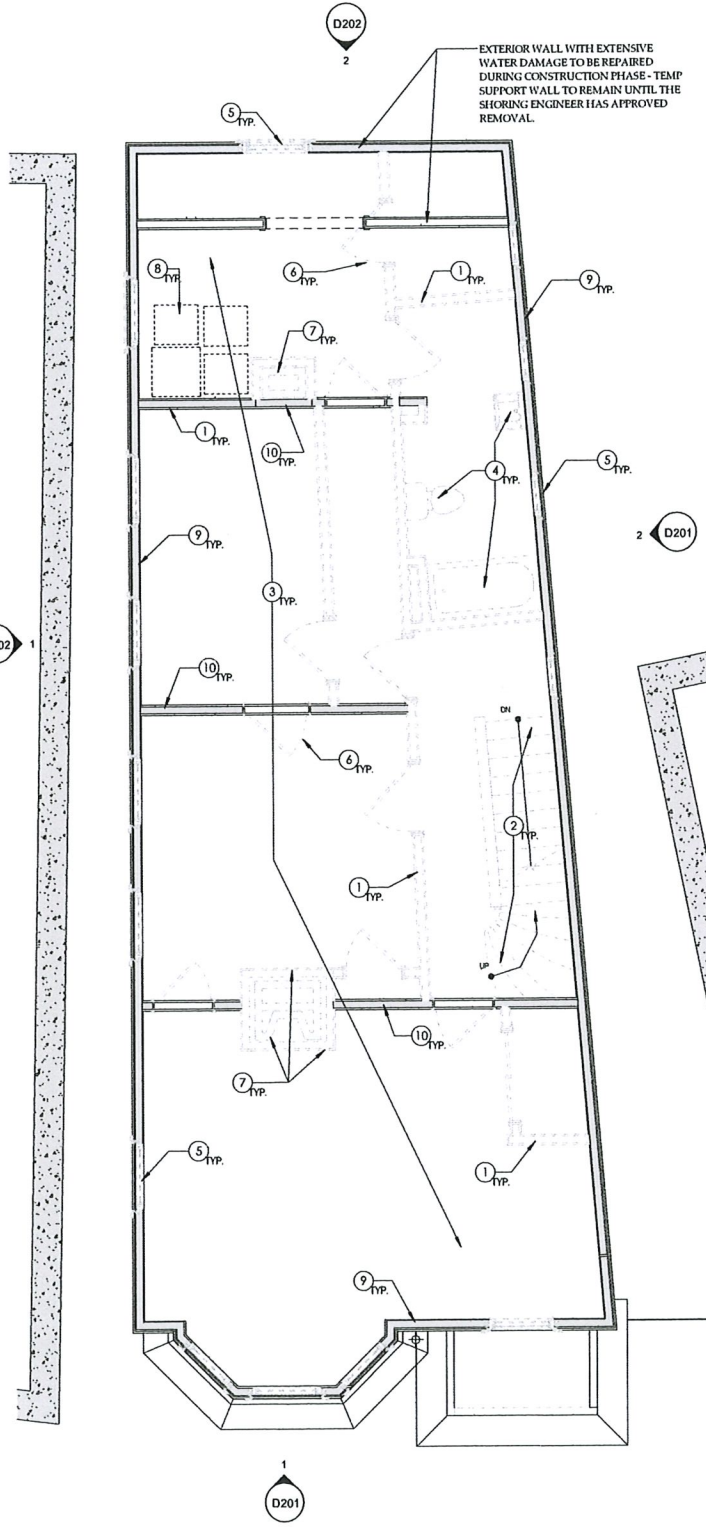
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**D101**





EXISTING PLAN - 3RD FLOOR ②  
1/4" = 1'-0"



EXISTING PLAN - 2ND FLOOR ①  
1/4" = 1'-0"

KEYNOTES	
1	REMOVE EXISTING NON LOAD BEARING WALL(S) - INDICATED BY DASH LINE TYP.
2	REMOVE EXISTING STAIRWAY AND RAILINGS. RETAIN OR CREATE MIN. REQUIRED SAFE MEANS OF EGRESS FROM ALL WORK AREAS DURING DEMOLITION.
3	REMOVE EXISTING FINISH FLOORING MATERIALS. SUBFLOOR, AND STRUCTURE TO REMAIN.
4	REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED HARDWARE, SUPPLY AND VENT PIPING.
5	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING.
6	REMOVE EXISTING DOORS, FRAMES AND BLOCKING DOWN TO ROUGH FRAME OPENING AND/OR MASONRY OPENING.
7	REMOVE EXISTING MASONRY FIREPLACE/CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
8	REMOVE EXISTING APPLIANCES AND OTHER EQUIPMENT.
9	EXISTING EXTERIOR WALL TO REMAIN. REMOVE EXTERIOR SIDING, EXTERIOR WOODWORK AS SHOWN ON SELECTIVE DEMOLITION ELEVATIONS. REMOVE ALL INTERIOR FINISHES TO EXPOSE WALL CAVITY.BBBB
10	EXISTING LOAD BEARING WALL. REMOVE ALL FINISHES, DOORS, ETC. TO EXPOSE WOOD STUDS. STRUCTURE TO REMAIN UNTIL NEW FLOOR OR ROOF FRAMING OPERATIONS BEGIN UNDER SEPARATE PERMIT.



Revision	
No.	Description

client  
**SIGMA CHI  
FOUNDATION**

PROJECT  
**SELECTIVE DEMOLITION PLANS**  
**1124 MASSACHUSETTS AVENUE**



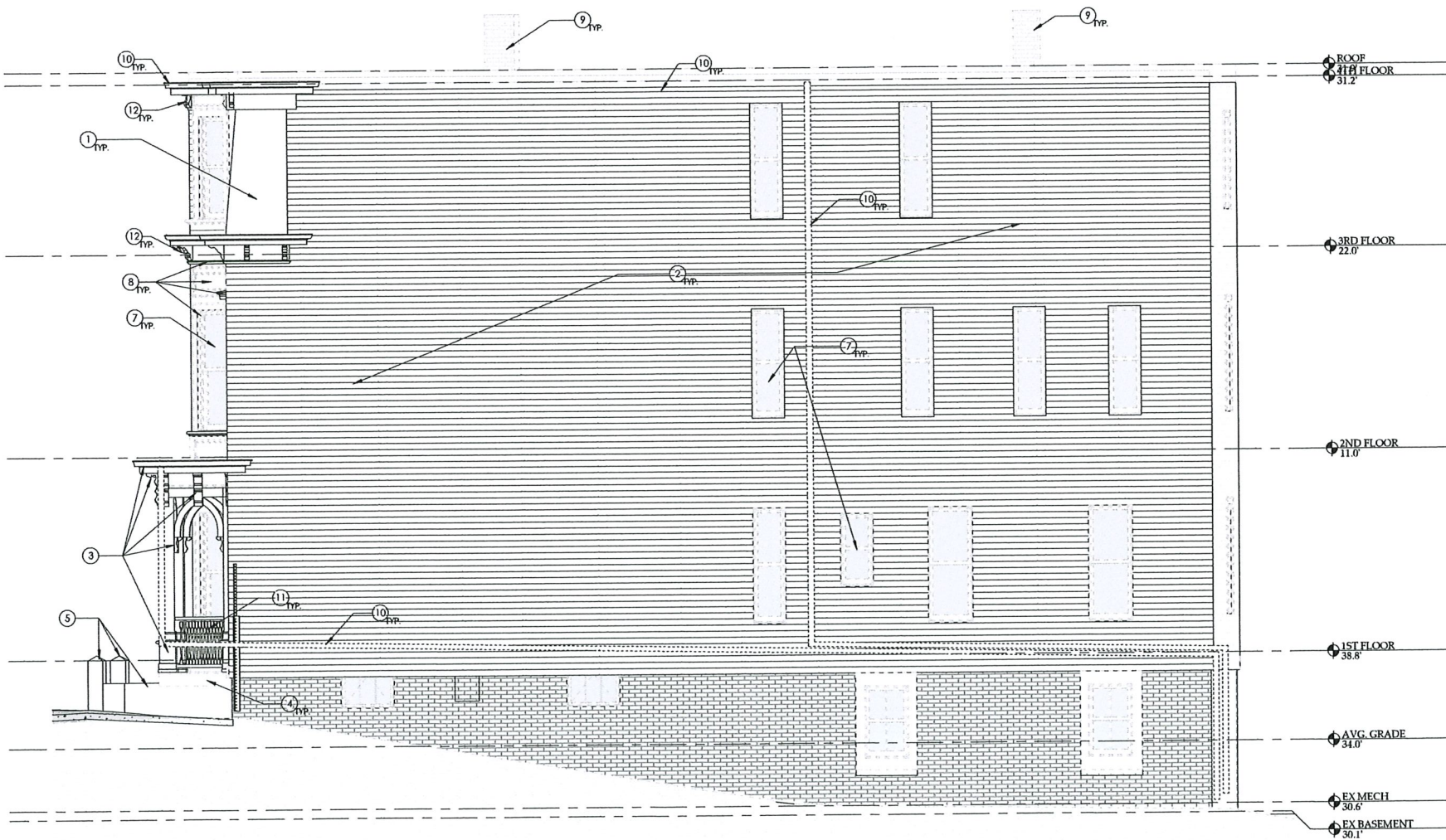
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scale **1/4" = 1'-0"**  
release date **10.21.25**

**HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION**

Sheet no.  
**D102**



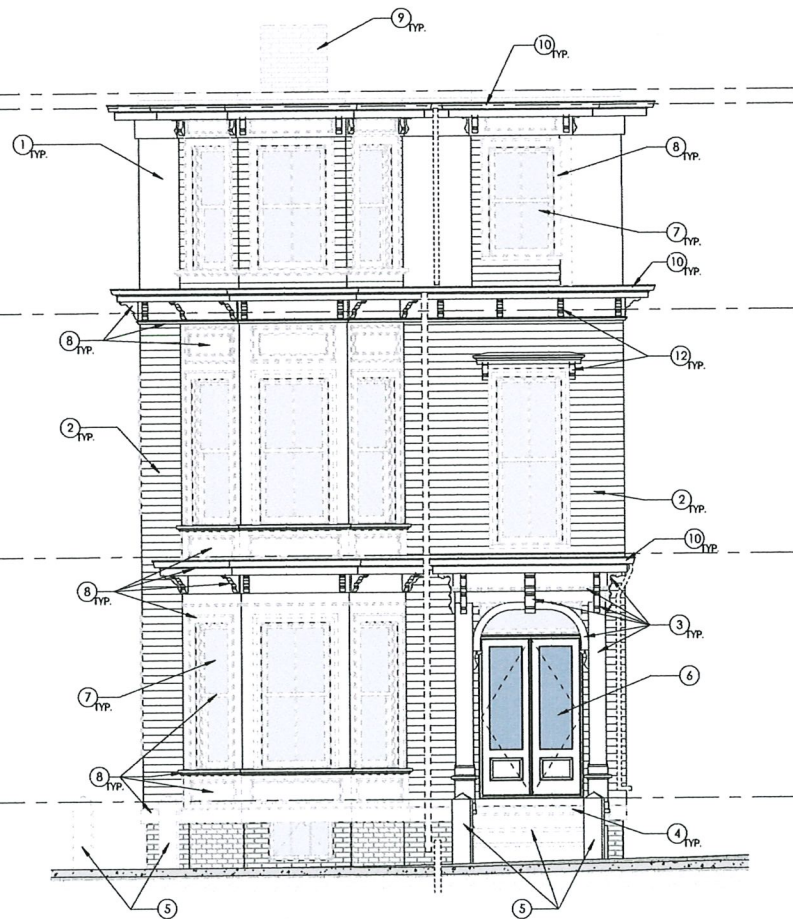
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RIGHT SIDE ELEVATION ②  
1/4" = 1'-0"

### KEYNOTES

1	CAREFULLY REMOVE EXISTING ROOF SLATE SHINGLES AND STORE IN A SAFE LOCATION. MATERIALS TO BE RESTORED AND REUSED. ANY DAMAGED MATERIALS TO BE REPLACED TO MATCH THE EXISTING.
2	REMOVE EXISTING SIDING AND ANY BACKING MEMBRANES TO EXPOSED PLANK OR PLYWOOD SHEATHING. RETAIN AND STORE AT LEAST THREE EXAMPLES OF EACH TYPE FOR RECORD. DOCUMENT SIDING TYPES AND PATTERNS IN ALL LOCATIONS FOR RECORD.
3	EXISTING PORCH COLUMNS AND CORBELS TO BE CAREFULLY REMOVED, STORED AND PROTECTED FROM DAMAGE.
4	EXTERIOR PORCH DECKING AND SUPPORTING STRUCTURE TO DEMOLISHED. SALVAGE SAMPLES OF EXISTING DECKING FOR FUTURE REFERENCE.
5	RETAIN EXISTING GRANITE STEPS, WALLS, PIERS, ETC. STORE AND PROTECT FROM DAMAGE.
6	EXISTING ENTRY DOOR TO BE REMOVED AND STORED FOR FUTURE USE.
7	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING.
8	DEMOLISH EXISTING EXTERIOR CASINGS, SOFFITS, WATERTABLES AND ALL OTHER RUNNING TRIM. SALVAGE THREE EXAMPLES OF EACH TYPE AS ASSEMBLED AND RETAIN FOR RECORD.
9	REMOVE EXISTING MASONRY FIREPLACE/CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
10	REMOVE EXISTING ALUMINUM GUTTER ASSEMBLIES, LEADERS AND ALL ASSOCIATED HARDWARE. SALVAGE SAMPLES OF EXISTING WOOD GUTTERS FOR REPRODUCTION.
11	EXISTING PORCH RAILING TO BE DEMOLISHED. RETAIN AND STORE AT LEAST THREE EXAMPLES OF EACH RAILING ELEMENT FOR USE IN REPRODUCTION.
12	EXISTING CORBELS, BRACKETS, ETC TO BE CAREFULLY REMOVED AND STORED IN A SAFE PLACE FOR FUTURE USE.



FRONT ELEVATION ①  
1/4" = 1'-0"

No.	Description	Date

client  
**SIGMA CHI  
FOUNDATION**

EXISTING ELEVATIONS

1124 MASSACHUSETTS AVENUE

**dhA**  
DESIGN + ARCHITECTURE

job number 22080

scale 1/4" = 1'-0"

release date 10.21.25

HARVARD SQUARE  
CONSERVATION  
DISTRICT  
APPLICATION

sheet no.

D201





KEYNOTES	
1	CAREFULLY REMOVE EXISTING ROOF SLATE SHINGLES AND STORE IN A SAFE LOCATION. MATERIALS TO BE RESTORED AND REUSED. ANY DAMAGED MATERIALS TO BE REPLACED TO MATCH THE EXISTING.
2	REMOVE EXISTING SIDING AND ANY BACKING MEMBRANES TO EXPOSED PLANK OR PLYWOOD SHEATHING. RETAIN AND STORE AT LEAST THREE EXAMPLES OF EACH TYPE FOR RECORD. DOCUMENT SIDING TYPES AND PATTERNS IN ALL LOCATIONS FOR RECORD.
3	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING.
4	REMOVE EXISTING ALUMINUM GUTTER ASSEMBLIES, LEADERS AND ALL ASSOCIATED HARDWARE. SALVAGE SAMPLES OF EXISTING WOOD GUTTERS FOR REPRODUCTION.
5	REMOVE EXISTING MASONRY FIREPLACE/CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
6	RETAIN EXISTING GRANITE STEPS, WALLS, PIERS, ETC. STORE AND PROTECT FROM DAMAGE.
7	DEMOLISH EXISTING EXTERIOR CASINGS, SOFFITS, WATERTABLES AND ALL OTHER RUNNING TRIM. SALVAGE THREE EXAMPLES OF EACH TYPE AS ASSEMBLED AND RETAIN FOR RECORD.
8	EXISTING CORBELS, BRACKETS, ETC TO BE CAREFULLY REMOVED AND STORED IN A SAFE PLACE FOR FUTURE USE.
9	FOUNDATION WALL TO REMAIN - DO NOT DISTURB - DO NOT UNDERMINE GRADE BELOW.
10	EXISTING VENT LOUVER, GRATE OR OTHER OPENING ELEMENT TO BE REMOVED.

Revision	
No.	Description

client  
**SIGMA CHI  
FOUNDATION**

EXISTING ELEVATIONS  
1124 MASSACHUSETTS AVENUE

**dhA**  
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