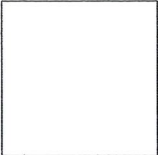




SHEET LIST - HSqCD	
G000	COVER
G011	SITE SURVEY
G012	ASSESSORS PLOT PLAN
G013	SITE PHOTOS
A100	PROPOSED SITE PLAN
A101	PROPOSED FLOOR PLANS
A102	PROPOSED FLOOR PLANS
A201	PROPOSED BUILDING ELEVATIONS
A202	PROPOSED BUILDING ELEVATIONS
A901	PERSPECTIVE VIEWS
D101	SELECTIVE DEMOLITION PLANS
D102	SELECTIVE DEMOLITION PLANS
D201	EXISTING ELEVATIONS
D202	EXISTING ELEVATIONS

No.	Description	Date



client
**SIGMA CHI
FOUNDATION**

the **COVER**

project **1124 MASSACHUSETTS AVENUE**



job number **22080**

scale

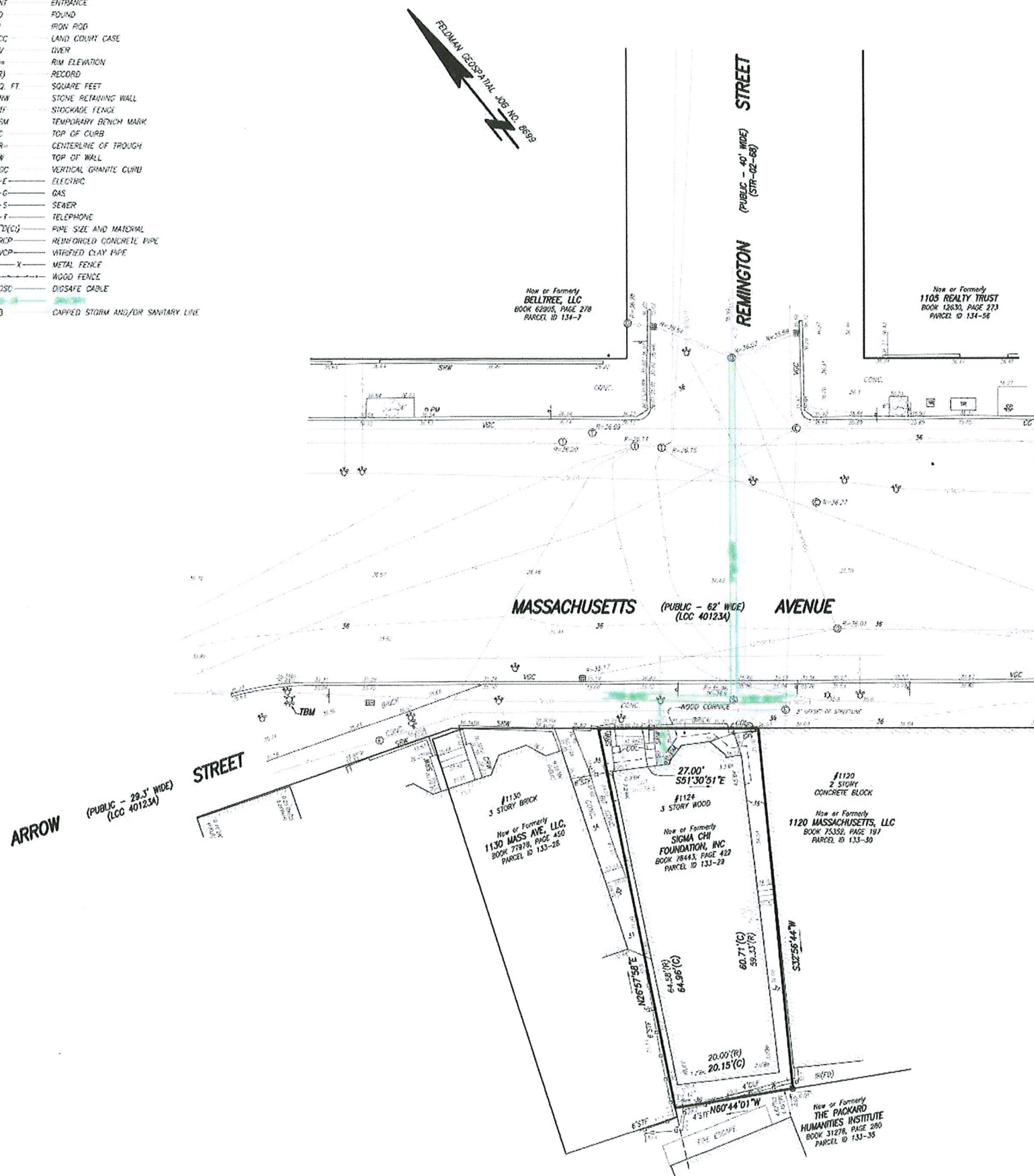
release date **10.21.25**

**HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION**

sheet no.

G000

LEGEND	
⊙	SEWER MANHOLE
⊙	IRRAW MANHOLE
⊙	ELECTRIC MANHOLE
⊙	TELEPHONE MANHOLE
⊙	CABLE TELEVISION MANHOLE
⊙	HYDRANT
⊙	WATER SHUT OFF/WATER GATE
⊙	GAS SHUT OFF/GAS GATE
⊙	CATCH BASIN
⊙	LIGHT POLE
⊙	ELECTRIC HANDHOLE
⊙	BOLLARD
⊙	POST
⊙	GATE POST
⊙	SIGN
⊙	PARKING METER
⊙	ROOF DRAIN
⊙	DRILL HOLE
⊙	IRON ROD
⊙	STAND PIPE/SHAME CONNECTION
⊙	GAS METER
⊙	TRASH RECEPTACLE
⊙	CURB RETURN
⊙	DECIDUOUS TREE
⊙	BITUMINOUS
⊙	BACK
⊙	CALCULATED
⊙	CONCRETE CURB
⊙	CHAIN LINK FENCE
⊙	COLUMN
CONC.	CONCRETE
CONC.	CONCRETE RETAINING WALL
OH	DRILL HOLE
ENT	ENTRANCE
FD	FOUND
IR	IRON ROD
LCC	LAND COURT CASE
OV	OVER
R=	RIM ELEVATION
(R)	RECORD
SQ. FT.	SQUARE FEET
SW	STONE RETAINING WALL
STF	STOCKADE FENCE
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TR	CENTERLINE OF TROUGH
TR	TOP OF WALL
VCC	VERTICAL GRANITE CURB
E	ELECTRIC
G	GAS
S	SEWER
T	TELEPHONE
12"(C)	PIPE SIZE AND MATERIAL
ROP	REINFORCED CONCRETE PIPE
VCP	VITRIFIED CLAY PIPE
X	METAL FENCE
W	WOOD FENCE
DSC	DIGSAFE CABLE
---	GRAVEL
---	GRAVEL STORM AND/OR SANITARY LINE



NOTES:

1. BENCH MARK INFORMATION:

BENCH MARK USED:

BM-0270: SQUARE CUT IN CONCRETE BASE OF TRAFFIC SIGNAL LOCATED AT THE INTERSECTION OF THE NORTHERLY SIDE OF TOWNBRIDGE STREET AND THE EASTERLY SIDE OF MASSACHUSETTS AVENUE. (CAMBRIDGE)

ELEVATION = 36.14

TEM-2: CORNER OF A CONCRETE WALL AT THE NORTHWEST CORNER OF THE INTERSECTION OF HANCOCK AND MASSACHUSETTS AVENUE, AS SHOWN HEREON (FELDMAN JOB NO. 17023)

ELEVATION=41.15

TEMPORARY BENCH MARKS SET:

TBM-1: CONCRETE BOLT OVER MAIN OUTLET OF HYDRANT LOCATED ON THE SOUTHERLY SIDE OF MASSACHUSETTS AVENUE, DIRECTLY IN FRONT OF 1134 MASSACHUSETTS AVENUE, AS SHOWN HEREON.

ELEVATION = 37.24

2. ELEVATIONS REFER TO CAMBRIDGE CITY BASE.

3. CONTOUR INTERVAL EQUALS ONE (1) FOOT.

4. BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 2501700870E, CITY OF CAMBRIDGE COMMUNITY NUMBER 250186, PANEL NUMBER 0578E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.

5. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE ASSESSMENT VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE 800 SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

6. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

REFERENCES

MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS

DEED BOOK 12630, PAGE 273
DEED BOOK 62073, PAGE 525
DEED BOOK 62925, PAGE 278
DEED BOOK 75352, PAGE 197
DEED BOOK 77878, PAGE 150
DEED BOOK 78443, PAGE 422
PLAN NO. 463 OF 2008

MASSACHUSETTS LAND COURT

LCC 40123A
LCC 95244

CAMBRIDGE ENGINEERING DEPARTMENT

FIELD BOOK 83, PAGE 12-13
FIELD BOOK 135, PAGE 4-5
FIELD BOOK 135, PAGE 17
FIELD BOOK 163, PAGE 64-65
STR-01-21
STR-02-48
STR-02-51
STR-02-68

FELDMAN PROJECT ID:

#15363
#17023
#8609

BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com



LOCUS MAP NOT TO SCALE

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

DRAFT 06/12/2023

THOMAS R. ADAMS, P.E. (MAE 52782)
TAGURKIS@FELDMANGEO.COM

DATE:

DRAWING NAME:

**EXISTING
CONDITIONS
PLAN OF LAND**

**1124
MASSACHUSETTS AVENUE
CAMBRIDGE, MASS.**

DATE: JUNE 6, 2023

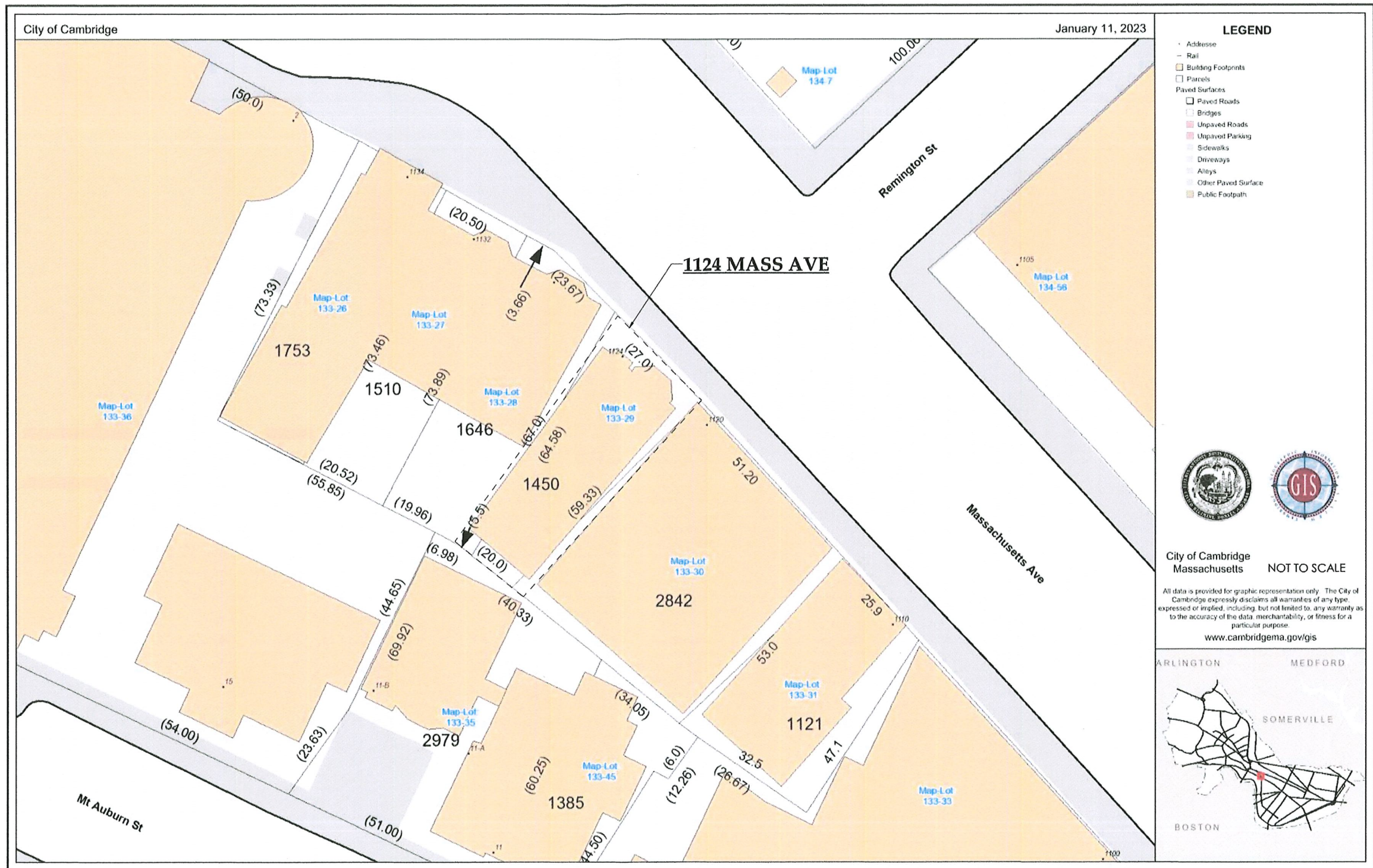
REVISIONS:

FILENAME: 2300282-EX.dwg

RESEARCH: NG	FIELD CHIEF: KF
PROJ MGR: DMS	APPROVED:
CALC: NG	CADD: NG
FIELD CHIEF: KF	ORD FILE: 2300282-EX

10 0 5 10 20
SCALE: 1"=10'

SHEET NO. 1 OF 1





VIEW FROM NORTHWEST



VIEW FROM NORTH



VIEW FROM EAST



VIEW FROM REMMINGTON STREET

No.	Description	Date

client
SIGMA CHI
FOUNDATION

the **SITE PHOTOS** Project 1124 MASSACHUSETTS AVENUE



job number 22080

scale

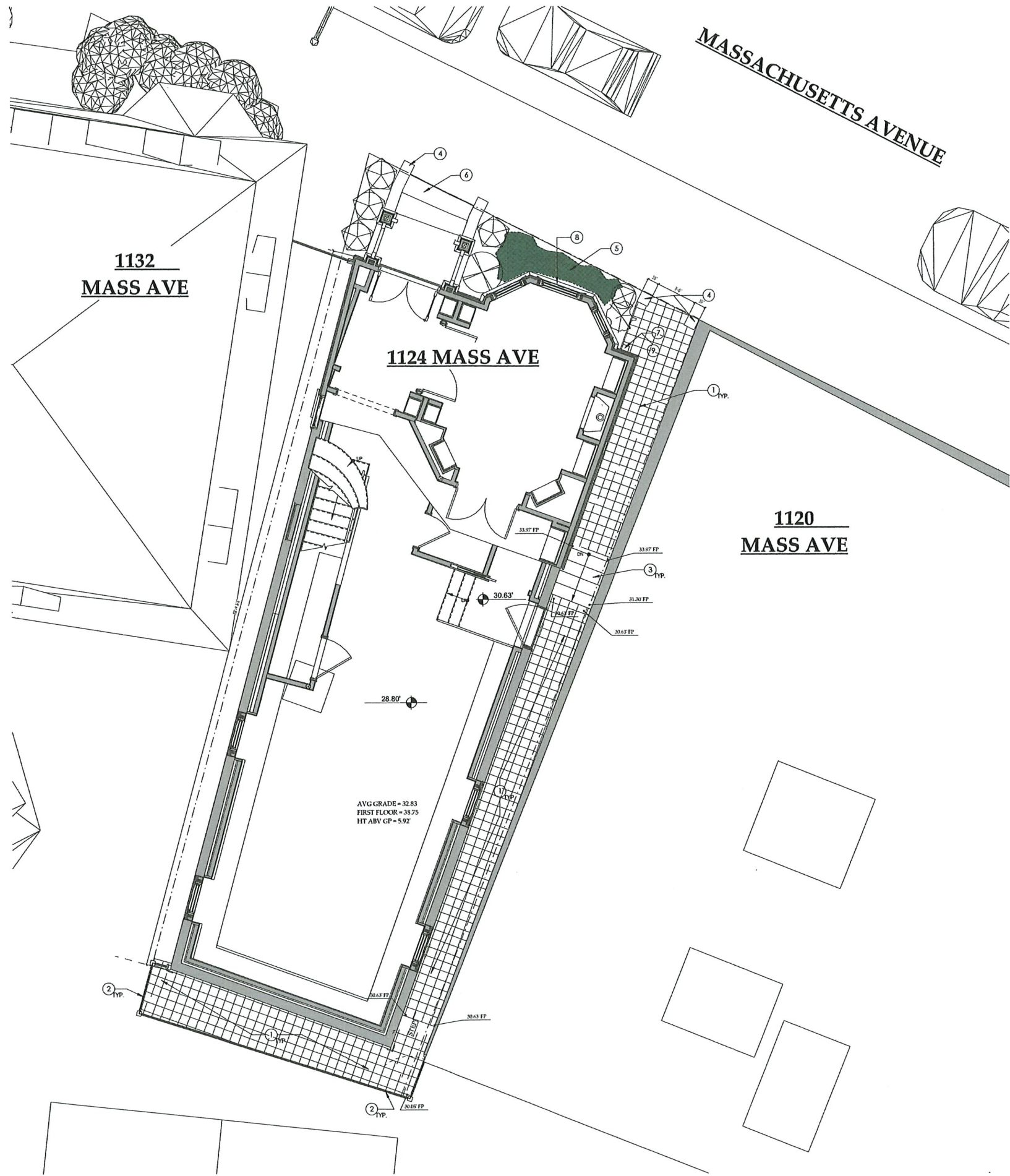
release date 10.21.25

HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION

Sheet no.

G013

10/21/2025 2:03:23 PM



KEYNOTES	
1	NEW PAVEMENT SIDEWALK AND PLAZA PER DETAILS. PAVERS TO BE UNILOCK TREO FLAGSTONE OR APPROVED ALTERNATE.
2	NEW 6' HIGH CEDAR STOCKADE FENCE - SEE SPECIFICATION.
3	NEW CONCRETE STEPS - SEE DETAILS.
4	RELOCATE EXISTING GRANITE OBELISKS AS SHOWN.
5	NEW LANDSCAPE PLANTER - SEE DETAILS AND GENERAL NOTES FOR ADDITIONAL INFORMATION - ALL PLANTER AREAS.
6	RESET GRANITE CURB AND STEPS.
7	FIRE DEPARTMENT CONNECTION - VERIFY LOCATION WITH C.F.D.
8	FIRE ALARM BEACON - VERIFY LOCATION WITH C.F.D.
9	ELECTRIC FIRE ALARM BELL - VERIFY LOCATION WITH C.F.D.

Date	
No.	Description
1	10-21-25

client
**SIGMA CHI
FOUNDATION**

PROPOSED SITE PLAN

1124 MASSACHUSETTS AVENUE

dhA
DESIGN + ARCHITECTURE

job number 22080

scale 1/4" = 1'-0"

setback date 10.21.25

HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION

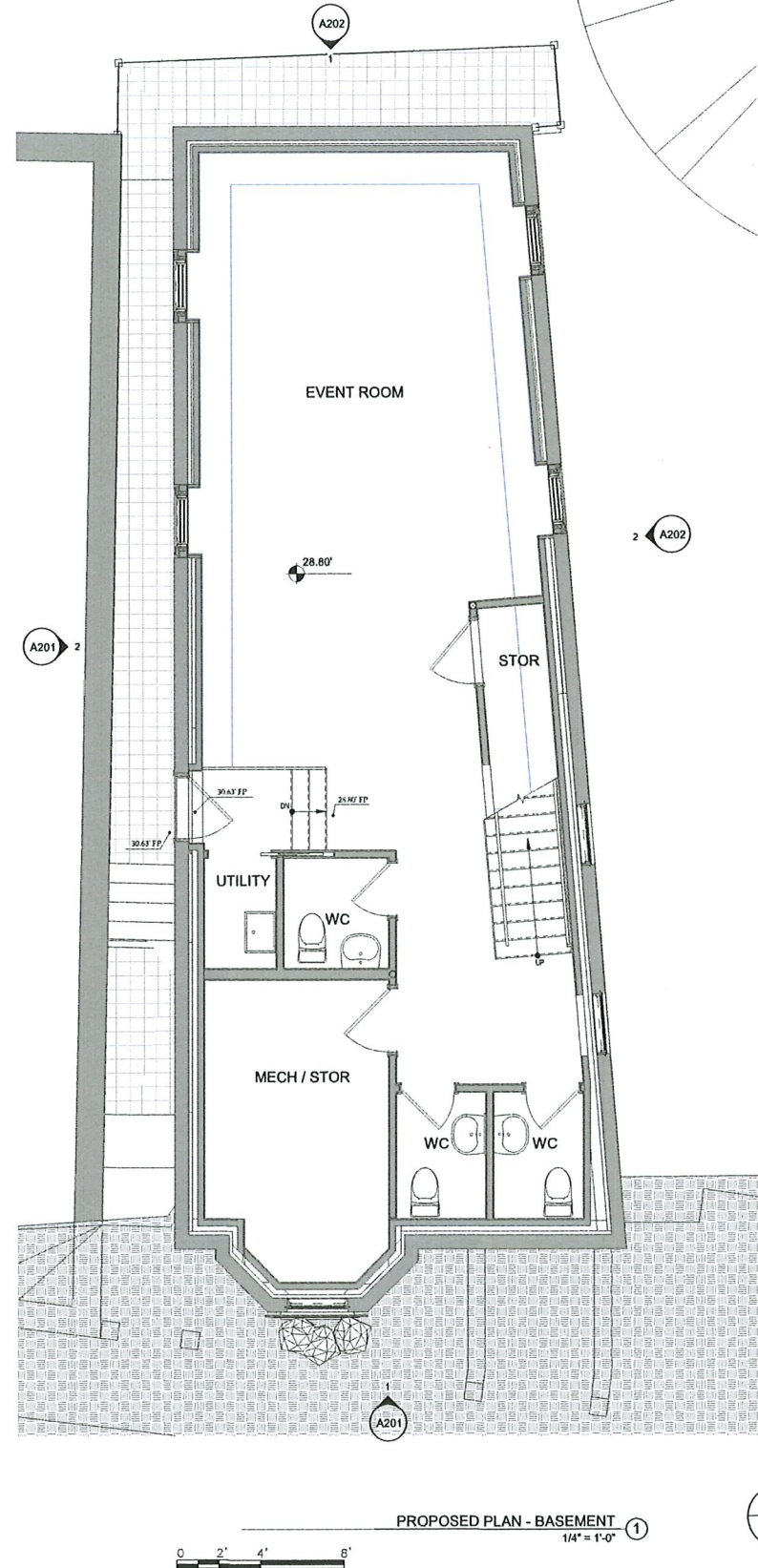
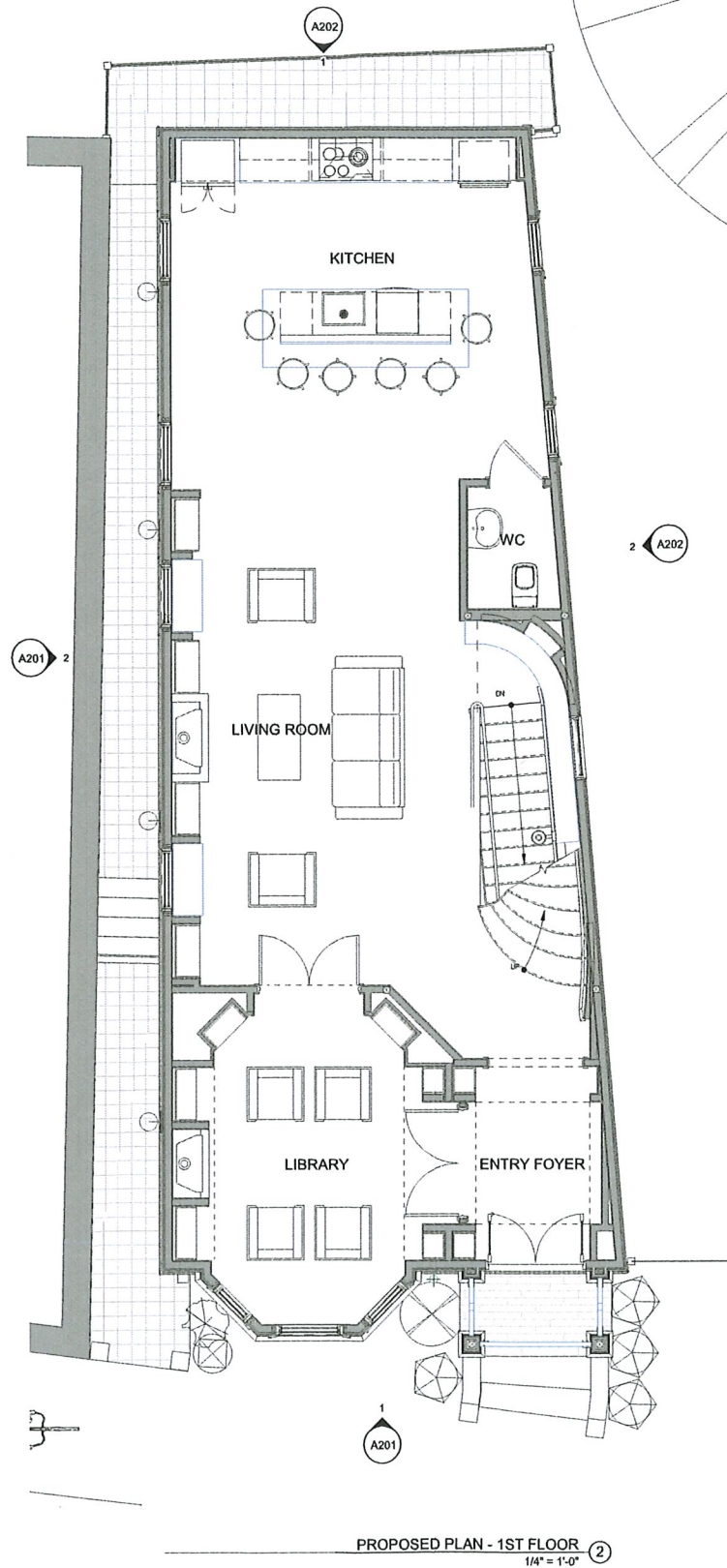
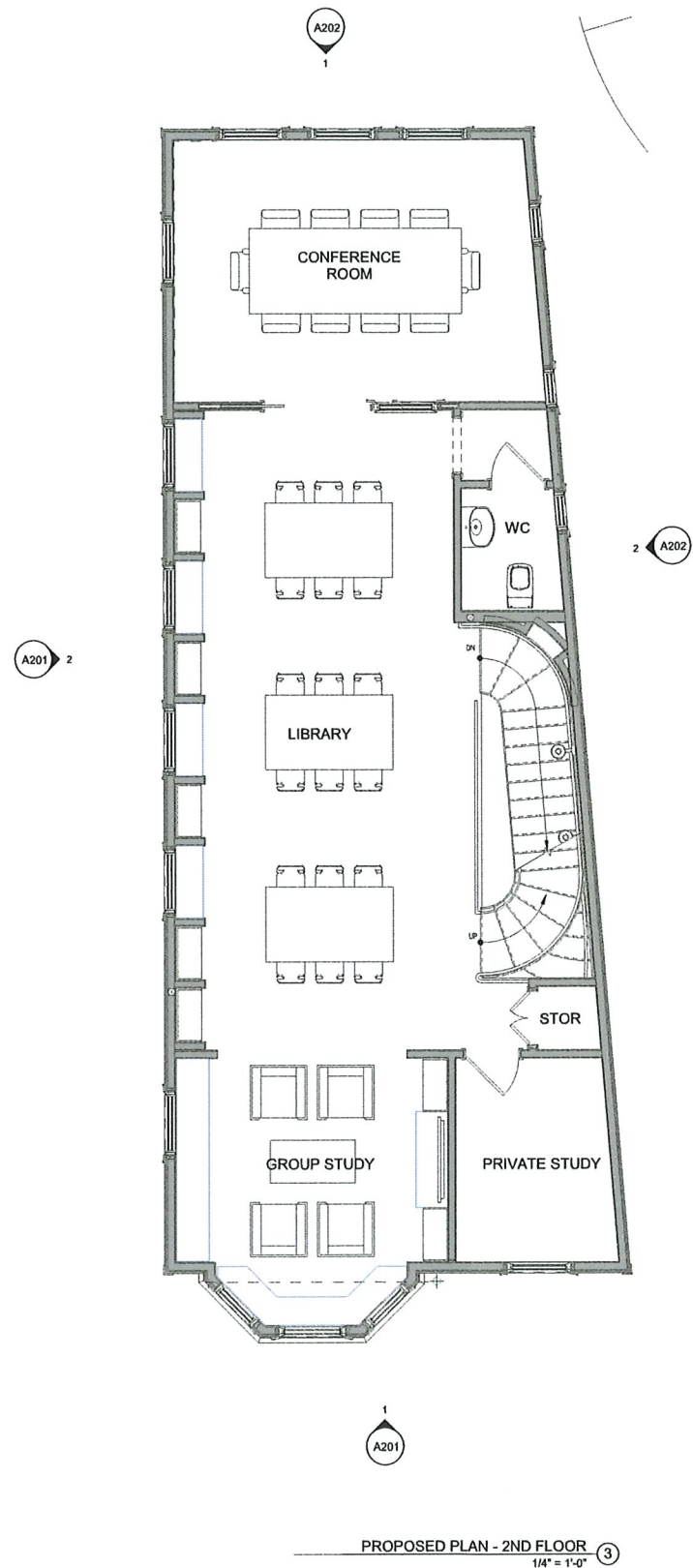
Sheet no.

A100

PROPOSED SITE PLAN 1
1/4" = 1'-0"



11/20/2025 9:35:47 PM



No.	Description	Date

client **SIGMA CHI
FOUNDATION**

PROPOSED FLOOR PLANS

1124 MASSACHUSETTS AVENUE

dhA

job number 22080

scale 1/4" = 1'-0"

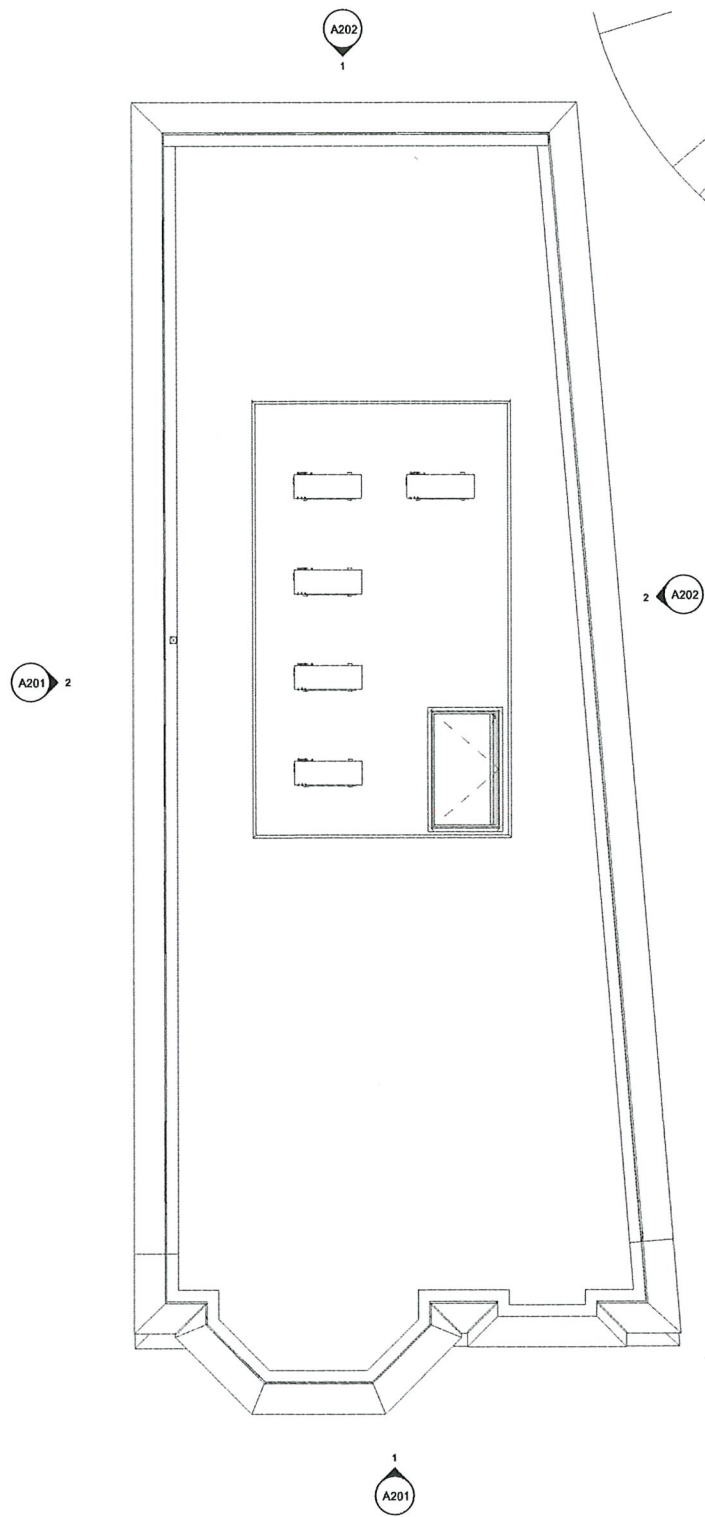
issue date 11.30.25

HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION

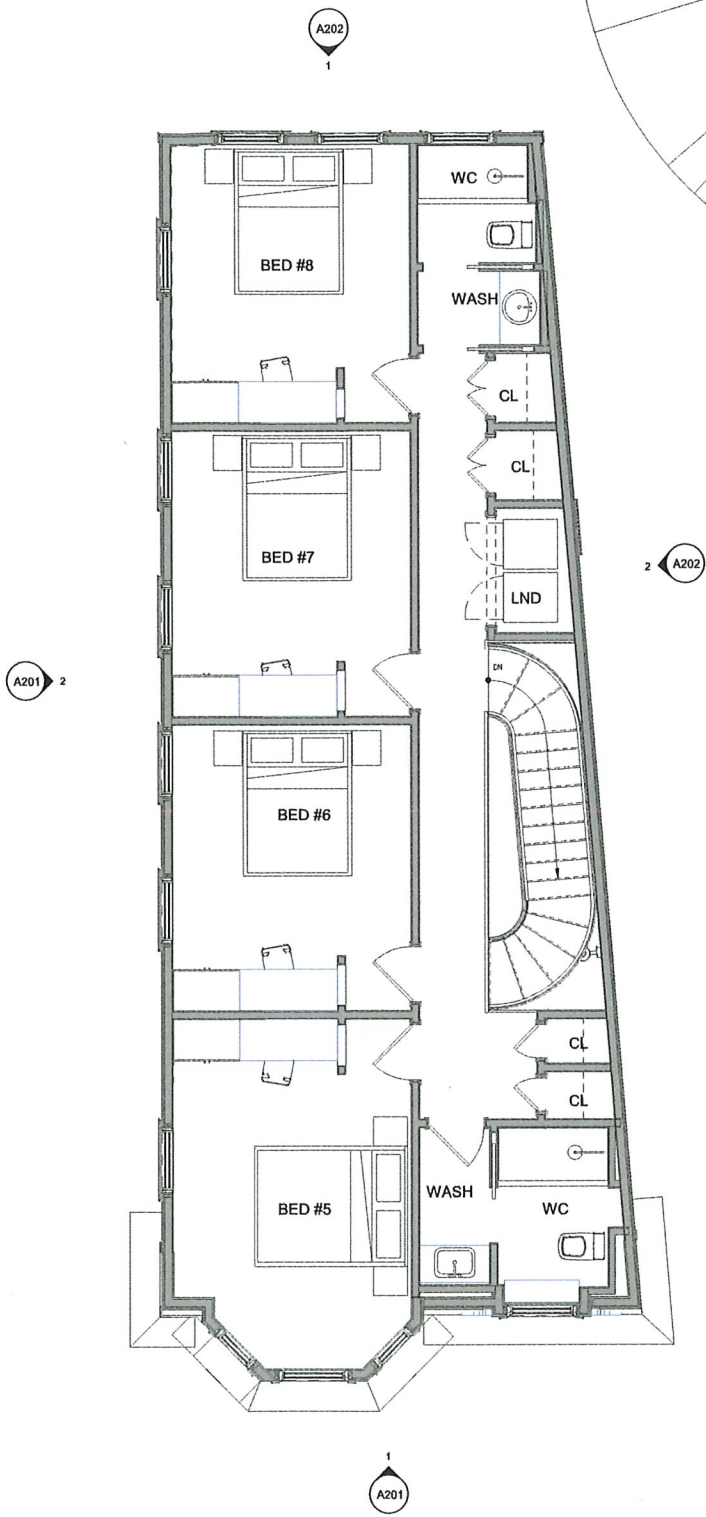
Sheet no.

A101

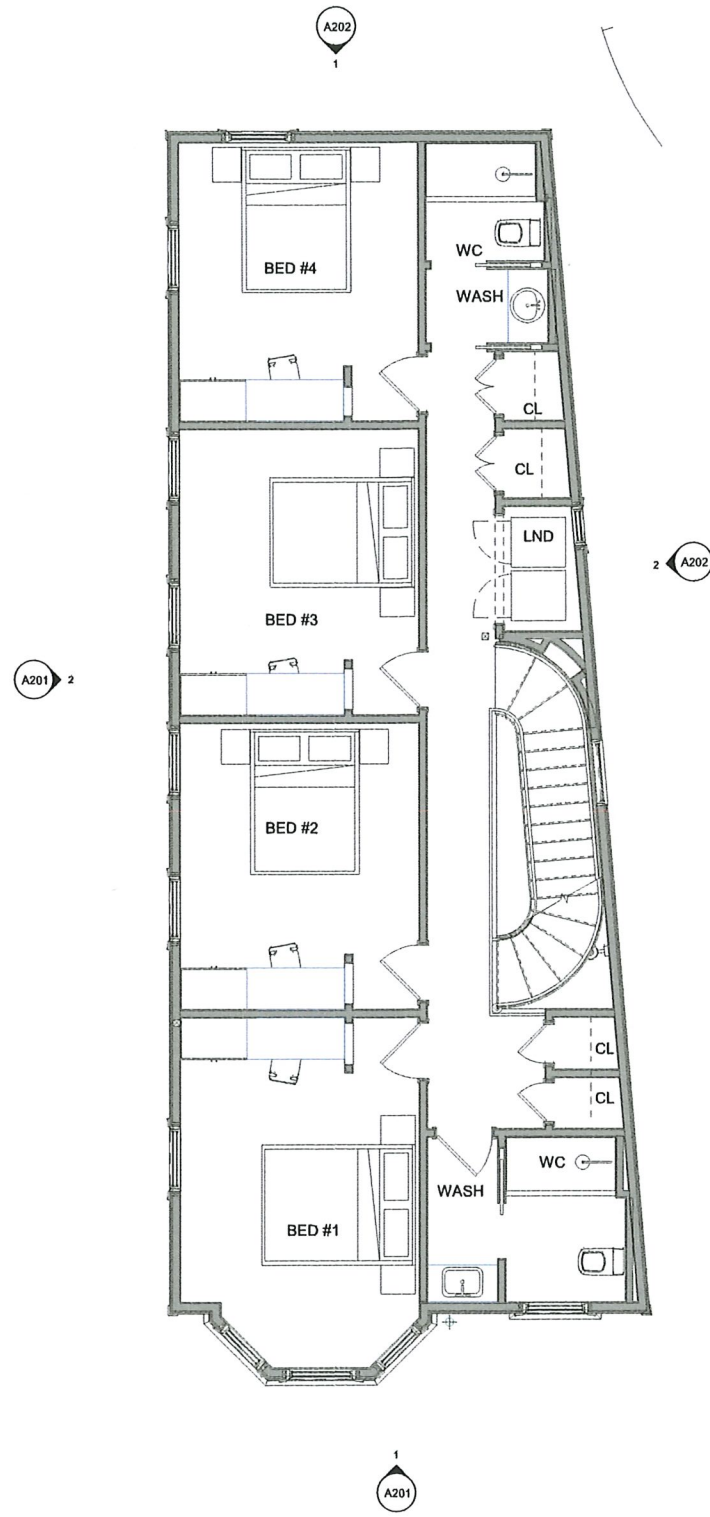
11/30/2025 9:03:09 PM



PROPOSED PLAN - ROOF ③
1/4" = 1'-0"



PROPOSED PLAN - 4TH FLOOR ②
1/4" = 1'-0"



PROPOSED PLAN - 3RD FLOOR ①
1/4" = 1'-0"



No.	Description	Date

client
**SIGMA CHI
FOUNDATION**

PROJECT
**PROPOSED FLOOR PLANS
1124 MASSACHUSETTS AVENUE**

dhA
ARCHITECTS

job number
22080

scale
1/4" = 1'-0"

release date
11.30.25

**HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION**

Sheet no.

A102

11/30/2025 9:03:52 PM

KEYNOTES

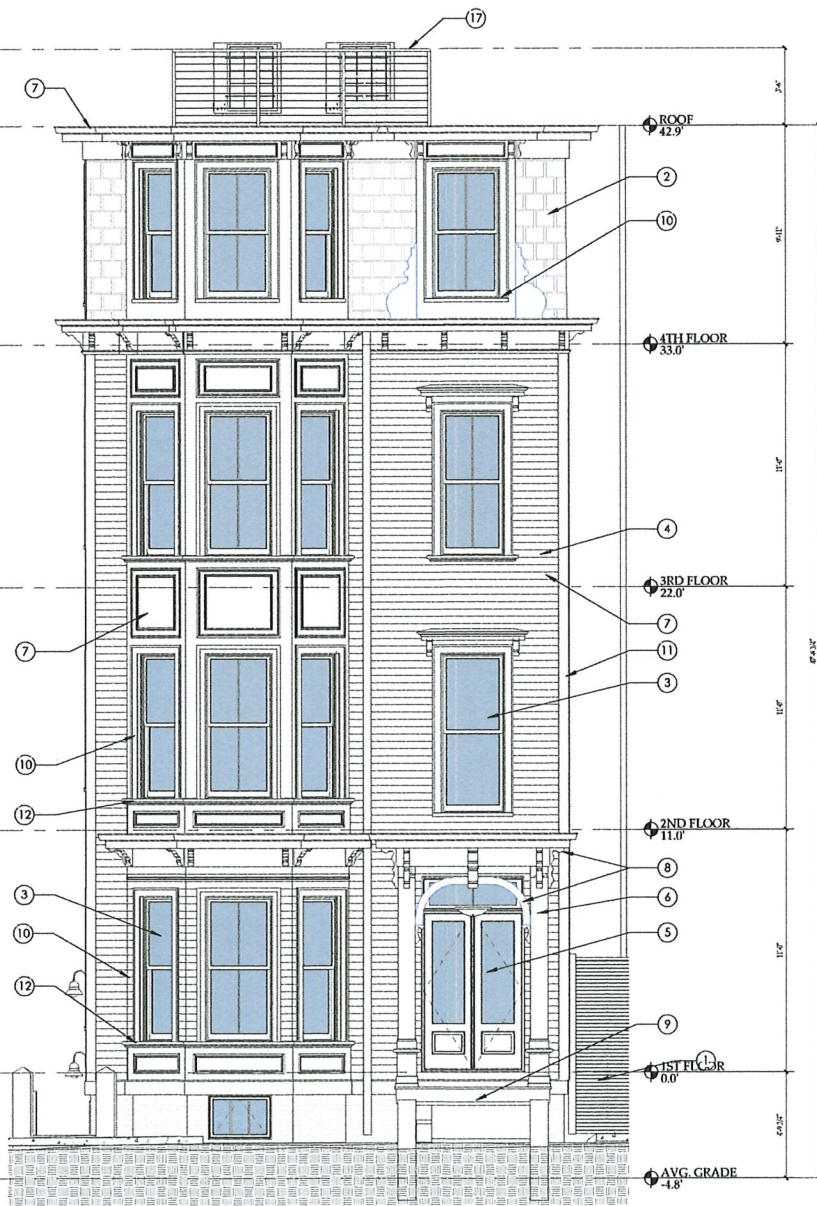
- 1 EXISTING FOUNDATION WALL - CLEAN AND REPOINT PER SPECIFICATION
- 2 REPAIR AND RESTORE EXISTING SLATE ROOFING. PROVIDE NEW SLATE SHINGLES TO MATCH IN AREAS THAT CANNOT BE RESTORED. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
- 3 NEW MARVIN ULTIMATE ALUMINUM CLAD WOOD WINDOW - BLACK EXTERIOR COLOR.
- 4 NEW CEDAR CLAPBOARD SIDING - COURSING AND PROFILE TO MATCH EXISTING.
- 5 EXISTING ENTRY DOOR TO BE RESTORED. C.O.C. BUILDING DEPARTMENT APPROVAL WILL BE REQUIRED.
- 6 EXISTING WOOD COLUMN, BRACKETS AND CORBELS - REPAIR/REPLACE AS REQUIRED.
- 7 NEW EXTERIOR WOOD RUNNING TRIM TO MATCH EXISTING. PROVIDE MOCKUPS FOR HISTORIC APPROVAL PRIOR TO CONSTRUCTION.
- 8 EXISTING CORBELS, BRACKETS, ETC. TO BE RESTORED OR REPLACED TO MATCH. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.

KEYNOTES

- 9 EXISTING GRANITE PORCH STEPS - REPAIR / REPLACE AS REQUIRED.
- 10 NEW WOOD SILL AND CASING TO MATCH EXISTING. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
- 11 NEW WOOD CORNERBOARD TO MATCH ORIGINAL HISTORIC.
- 12 NEW CONTINUOUS WOOD SILL AT BAY TO MATCH EXISTING. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
- 13 NEW HARDIE PLANK CEMENTITIOUS CLAPBOARD SIDING - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY. COURSING TO MATCH FRONT ELEVATION.
- 14 NEW FIBERGLASS GUTTER TO MATCH HISTORIC GUTTERS. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.
- 15 EXISTING GRANITE OBELISK - RESTORE AND RESET AS REQUIRED.
- 16 NEW PVC CORNERBOARD - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY (TYP. U.N.O.).
- 17 SAFETY RAILING FOR MECHANICAL EQUIPMENT. TO BE SETBACK FROM FRONT FACADE TO EXTENT PERMITTED.



REMINGTON ST ELEV ②
1/4" = 1'-0"



PROPOSED FRONT ELEVATION ①
1/4" = 1'-0"

client
**SIGMA CHI
FOUNDATION**

PROPOSED BUILDING ELEVATIONS

1124 MASSACHUSETTS AVENUE

dhA
DESIGN + ARCHITECTURE

job number 22080

scale 1/4" = 1'-0"

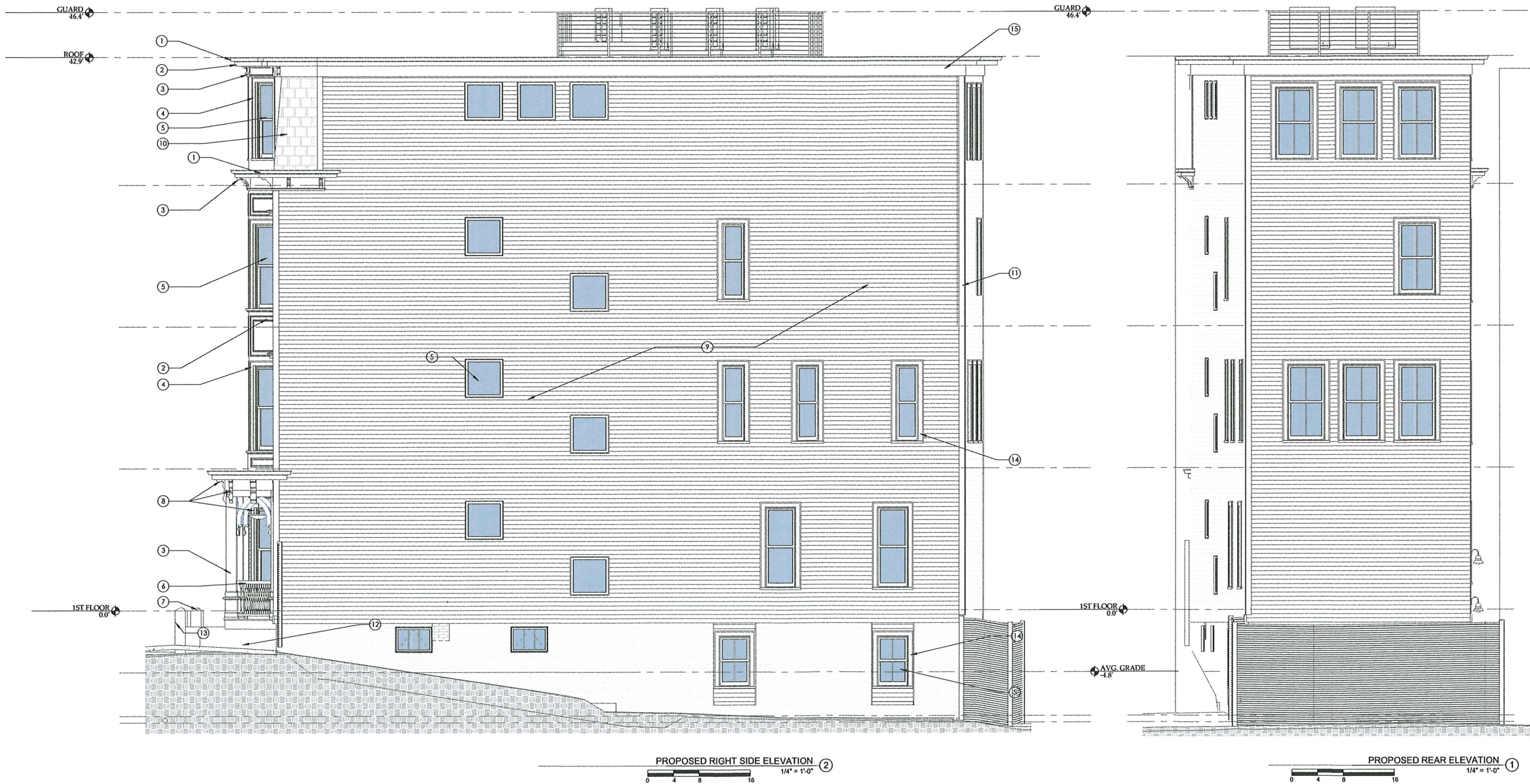
release date 11.30.25

HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION

Sheet no.

A201

11/20/2025 9:03:51 PM



KEYNOTES	
1	NEW FIBERGLASS GUTTER TO MATCH HISTORIC GUTTERS. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.
2	NEW EXTERIOR WOOD RUNNING TRIM TO MATCH EXISTING. PROVIDE MOCKUPS FOR HISTORIC APPROVAL PRIOR TO CONSTRUCTION.
3	EXISTING WOOD COLUMN, BRACKETS AND CORBELS - REPAIR/REPLACE AS REQUIRED.
4	NEW WOOD SILL AND CASING TO MATCH EXISTING. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
5	NEW MARVIN ULTIMATE ALUMINUM CLAD WOOD WINDOW - BLACK EXTERIOR COLOR.
6	PAINTED WOOD GUARD RAIL, AND BALUSTERS TO MATCH ORIGINAL HISTORIC. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
7	EXISTING GRANITE OBELISK - RESTORE AND RESET AS REQUIRED.
8	EXISTING CORBELS, BRACKETS, ETC. TO BE RESTORED OR REPLACED TO MATCH. PROVIDE MATERIAL SAMPLES FOR HISTORIC APPROVAL.

KEYNOTES	
9	NEW HARDIE PLANK CEMENTITIOUS CLAPBOARD SIDING - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY. COURSING TO MATCH FRONT ELEVATION.
10	REPAIR AND RESTORE EXISTING SLATE ROOFING. PROVIDE NEW SLATE SHINGLES TO MATCH IN AREAS THAT CANNOT BE RESTORED. PROVIDE MATERIAL SAMPLES AND LAYOUT DRAWINGS FOR HISTORIC APPROVAL.
11	NEW PVC CORNERBOARD - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY (TYP. U.N.O.).
12	EXISTING FOUNDATION WALL - CLEAN AND REPOINT PER SPECIFICATION.
13	BRICK INFILL AT EXISTING VENT OPENING.
14	NEW PVC SILL, CASING AND BAND MOLDINGS. PVC TO BE USED ON RIGHT SIDE, LEFT SIDE AND REAR ELEVATIONS (TYP. U.N.O.).
15	NEW PVC FASCIA/SOFFIT - AT LEFT, RIGHT AND REAR ELEVATIONS ONLY (TYP. U.N.O.).

Revision	
No.	Description

client
**SIGMA CHI
FOUNDATION**

PROJECT
PROPOSED BUILDING ELEVATIONS
1124 MASSACHUSETTS AVENUE

dhA
ARCHITECTS

job number
22080

scale
1/4" = 1'-0"

release date
11.30.25

HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION

Sheet no.
A202



VIEW SOUTH FROM MASS AVE



VIEW WEST FROM MASS AVE



VIEW FROM REMINGTON STREET

No.	Description	Date

client
**SIGMA CHI
FOUNDATION**

PROJECT RENDERINGS
1124 MASSACHUSETTS AVENUE

dhA

job number
22080

scale

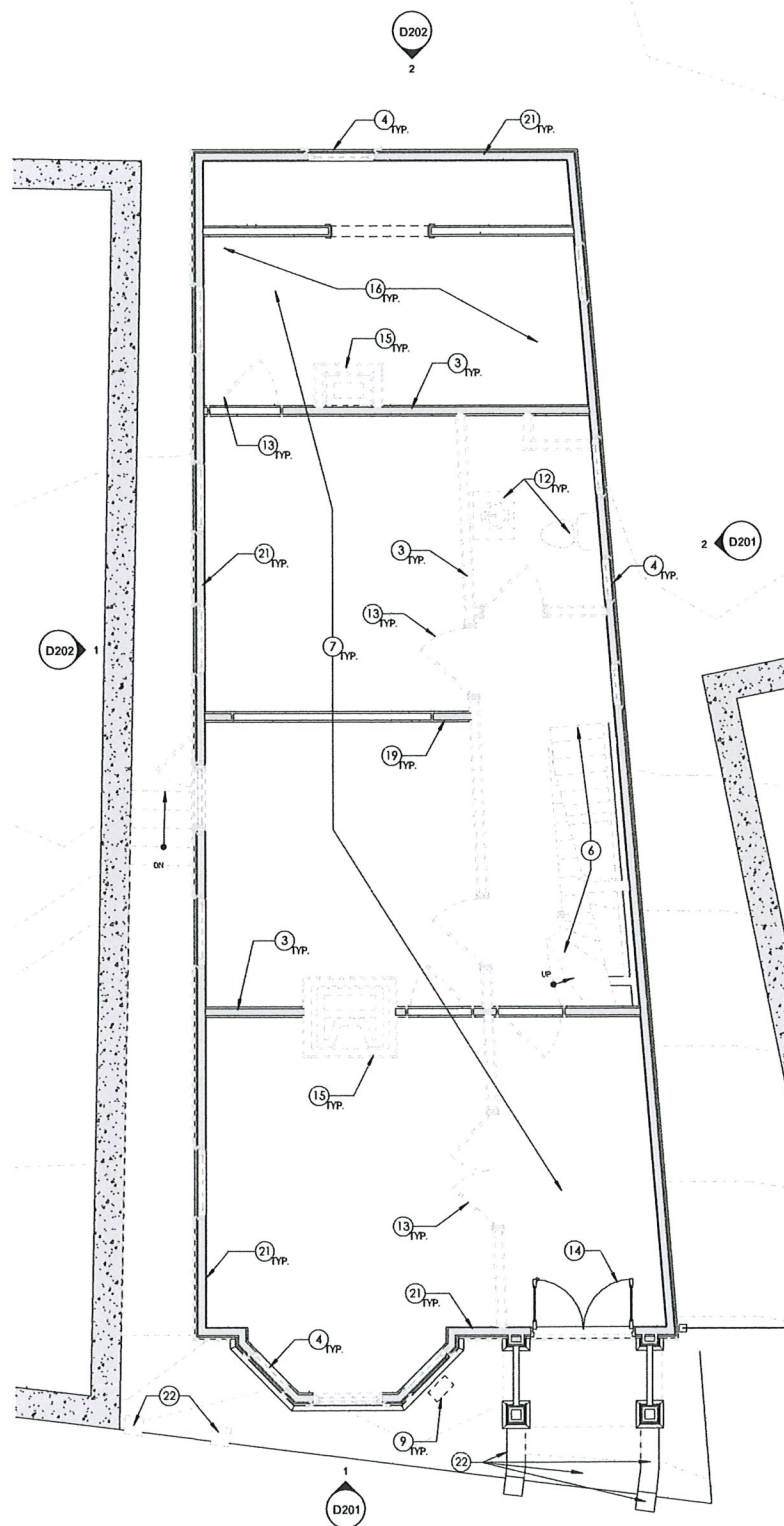
set back date
11.30.25

**HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION**

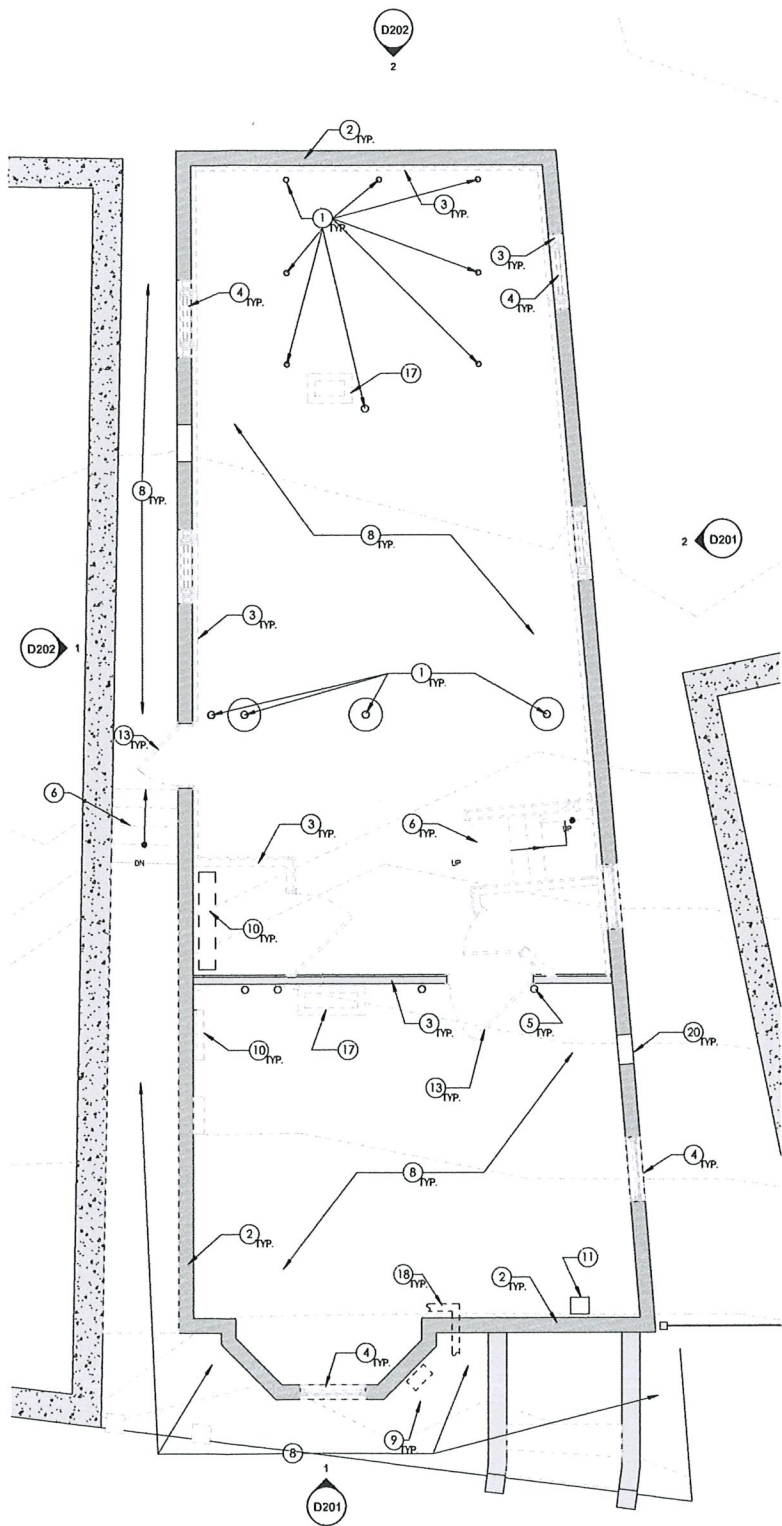
Sheet No.

A901

10/7/2025 2:09:41 PM



EXISTING PLAN - 1ST FLOOR
1/4" = 1'-0" ②



EXISTING PLAN - BASEMENT
1/4" = 1'-0" ①

KEYNOTES

- 1 STRUCTURAL PIERS, COLUMNS, WALLS, BEAMS ETC. TO REMAIN UNTIL THE G.C. HAS PREPARED AND IMPLEMENTED AN ENGINEERED STRUCTURAL SHORING PLAN. G.C. TO SUBMIT THE SHORING PLAN TO THE ARCHITECT FOR REVIEW.
- 2 FOUNDATION WALL TO REMAIN - DO NOT DISTURB - DO NOT UNDERMINE GRADE BELOW.
- 3 REMOVE EXISTING NON LOAD BEARING WALL(S) - INDICATED BY DASH LINE TYP.
- 4 REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING
- 5 EXISTING CORBELS, BRACKETS, ETC TO BE CAREFULLY REMOVED AND STORED IN A SAFE PLACE FOR FUTURE USE.
- 6 REMOVE EXISTING STAIRWAY AND RAILINGS. RETAIN OR CREATE MIN. REQUIRED SAFE MEANS OF EGRESS FROM ALL WORK AREAS DURING DEMOLITION.
- 7 REMOVE EXISTING FINISH FLOORING MATERIALS. SUBFLOOR, AND STRUCTURE TO REMAIN.
- 8 EXISTING CONCRETE SLAB TO BE DEMOLISHED. EXERCISE CAUTION WHEN BREAKING SLAB NEAR EXTERIOR WALLS, BRICK DEMISING WALLS AND INTERIOR LOAD BEARING BRICK PIERS. DO NOT DISTURB COMPACTED GRADE BELOW THESE ELEMENTS.
- 9 EXISTING GAS LINE AND METER. REVIEW DISCONNECT REQUIREMENTS WITH C.O.C. I.S.D. AND GAS UTILITY CO.
- 10 REMOVE EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED DISTRIBUTION SYSTEMS, DUCTWORK, ETC.
- 11 EX. 1" WATER LINE AND METER. MAINTAIN AT LEAST ONE HOSE BIB OR OTHER SUPPLY SOURCE FOR USE DURING DEMOLITION AND LATER PHASE CONSTRUCTION OPERATIONS. REVIEW DISCONNECTION AND TEMPORARY USE REQUIREMENTS WITH C.O.C. WATER DEPARTMENT.
- 12 REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED HARDWARE, SUPPLY AND VENT PIPING.
- 13 REMOVE EXISTING DOORS, FRAMES AND BLOCKING DOWN TO ROUGH FRAME OPENING AND/OR MASONRY OPENING.
- 14 EXISTING ENTRY DOOR TO BE REMOVED AND STORED FOR FUTURE USE.
- 15 REMOVE EXISTING MASONRY FIREPLACE/CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
- 16 REMOVE EXISTING APPLIANCES AND OTHER EQUIPMENT.
- 17 SUPPORT PIER FOR FIREPLACE AND CHIMNEY ABOVE. REMOVE AFTER ALL CHIMNEY/FIREPLACE ELEMENTS ABOVE HAVE BEEN DEMOLISHED. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL.
- 18 EXISTING SEWER LINE TO BE REMOVED. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 19 EXISTING LOAD BEARING WALL. REMOVE ALL FINISHES, DOORS, ETC. TO EXPOSED WOOD STUDS. STRUCTURE TO REMAIN UNTIL NEW FLOOR OR ROOF FRAMING OPERATIONS BEGIN UNDER SEPARATE PERMIT.
- 20 EXISTING VENT LOUVER, GRATE OR OTHER OPENING ELEMENT TO BE REMOVED.
- 21 EXISTING EXTERIOR WALL TO REMAIN. REMOVE EXTERIOR SIDING, EXTERIOR WOODWORK AS SHOWN ON SELECTIVE DEMOLITION ELEVATIONS. REMOVE ALL INTERIOR FINISHES TO EXPOSE WALL CAVITY.BBBB
- 22 RETAIN EXISTING GRANITE STEPS, WALLS, PIERS, ETC. STORE AND PROTECT FROM DAMAGE.

0 2 4 8



No.	Description	Date

client
**SIGMA CHI
FOUNDATION**

PROJECT
SELECTIVE DEMOLITION PLANS
1124 MASSACHUSETTS AVENUE

dhA
DESIGN + ARCHITECTURE

job number
22080

scale
1/4" = 1'-0"

set issue date
10.21.25

**HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION**

Sheet no.

D101

client
SIGMA CHI
FOUNDATION

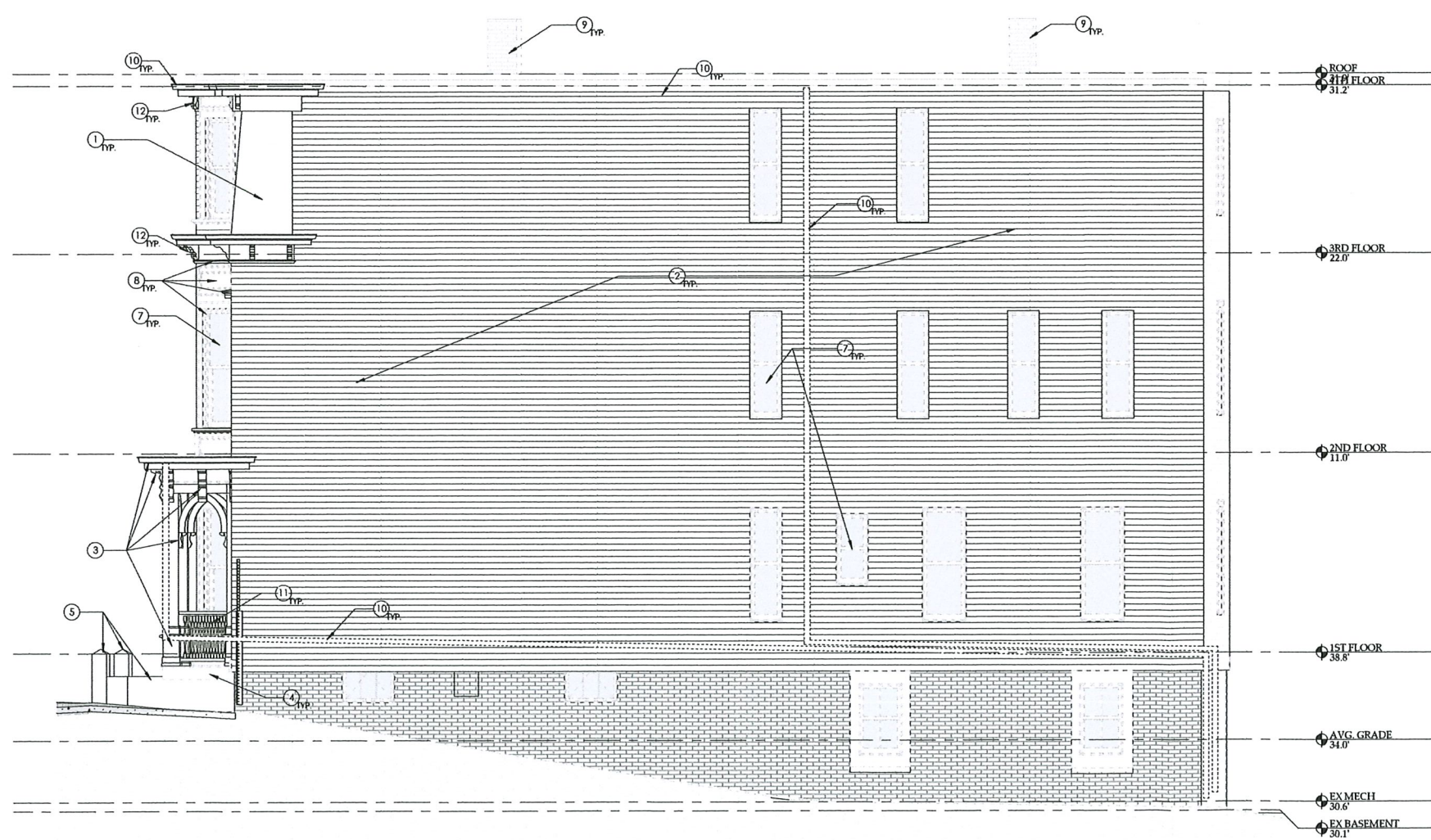
dhA

Sheet no. _____

1	REMOVE EXISTING NON LOAD BEARING WALL(S) - INDICATED BY DASH LINE 1P
2	REMOVE EXISTING STAIRWAY AND RAILINGS. RETAIN OR CREATE MIN. REQUIRED SAFE MEANS OF EGRESS FROM ALL WORK AREAS DURING DEMOLITION.
3	REMOVE EXISTING FINISH FLOORING MATERIALS. SUBFLOOR, AND STRUCTURE TO REMAIN.
4	REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED HARDWARE, SUPPLY AND VENT FITTING
5	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING
6	REMOVE EXISTING DOORS, FRAMES AND BLOCKING DOWN TO ROUGH FRAME OPENING AND/OR MASONRY OPENING
7	REMOVE EXISTING MASONRY FIREPLACE/CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
8	REMOVE EXISTING APPLIANCES AND OTHER EQUIPMENT.
9	EXISTING EXTERIOR WALL TO REMAIN. REMOVE EXTERIOR SIDING, EXTERIOR WOODWORK AS SHOWN ON SELECTIVE DEMOLITION ELEVATIONS. REMOVE ALL INTERIOR FINISHES TO EXPOSE WALL CAVITY BBBBB
10	EXISTING LOAD BEARING WALL. REMOVE ALL FINISHES, DOORS, ETC. TO EXPOSE WOOD STUDS. STRUCTURE TO REMAIN UNTIL NEW FLOOR OR ROOF FRAMING OPERATIONS BEGIN UNDER SEPARATE PERMIT.

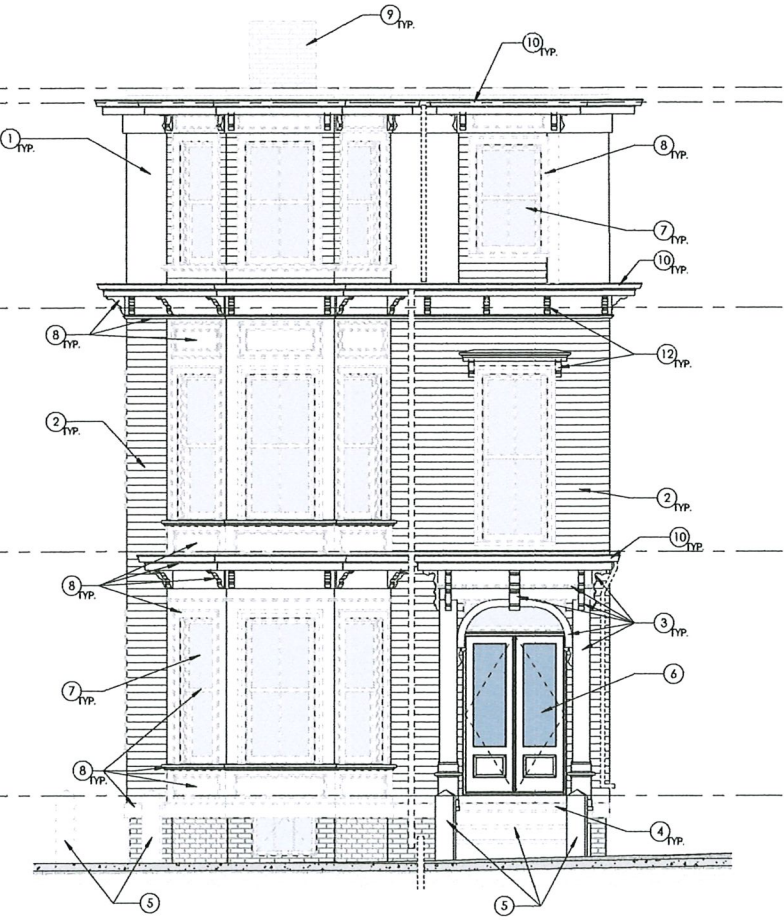


10/27/2025 2:09:46 PM



RIGHT SIDE ELEVATION ②
0 4 8 16 1/4" = 1'-0"

KEYNOTES	
1	CAREFULLY REMOVE EXISTING ROOF SLATE SHINGLES AND STORE IN A SAFE LOCATION. MATERIALS TO BE RESTORED AND REUSED. ANY DAMAGED MATERIALS TO BE REPLACED TO MATCH THE EXISTING.
2	REMOVE EXISTING SIDING AND ANY BACKING MEMBRANES TO EXPOSED PLANK OR PLYWOOD SHEATHING. RETAIN AND STORE AT LEAST THREE EXAMPLES OF EACH TYPE FOR RECORD. DOCUMENT SIDING TYPES AND PATTERNS IN ALL LOCATIONS FOR RECORD.
3	EXISTING PORCH COLUMNS AND CORBELS TO BE CAREFULLY REMOVED, STORED AND PROTECTED FROM DAMAGE.
4	EXTERIOR PORCH DECKING AND SUPPORTING STRUCTURE TO DEMOLISHED. SALVAGE SAMPLES OF EXISTING DECKING FOR FUTURE REFERENCE.
5	RETAIN EXISTING GRANITE STEPS, WALLS, PIERS, ETC. STORE AND PROTECT FROM DAMAGE.
6	EXISTING ENTRY DOOR TO BE REMOVED AND STORED FOR FUTURE USE.
7	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING.
8	DEMOLISH EXISTING EXTERIOR CASINGS, SOFFITS, WATERTABLES AND ALL OTHER RUNNING TRIM. SALVAGE THREE EXAMPLES OF EACH TYPE AS ASSEMBLED AND RETAIN FOR RECORD.
9	REMOVE EXISTING MASONRY FIREPLACE/CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
10	REMOVE EXISTING ALUMINUM GUTTER ASSEMBLIES, LEADERS AND ALL ASSOCIATED HARDWARE. SALVAGE SAMPLES OF EXISTING WOOD GUTTERS FOR REPRODUCTION.
11	EXISTING PORCH RAILING TO BE DEMOLISHED. RETAIN AND STORE AT LEAST THREE EXAMPLES OF EACH RAILING ELEMENT FOR USE IN REPRODUCTION.
12	EXISTING CORBELS, BRACKETS, ETC TO BE CAREFULLY REMOVED AND STORED IN A SAFE PLACE FOR FUTURE USE.



FRONT ELEVATION ①
0 4 8 16 1/4" = 1'-0"

No.	Description	Date

client
**SIGMA CHI
FOUNDATION**

EXISTING ELEVATIONS
1124 MASSACHUSETTS AVENUE

dhA
DESIGN + ARCHITECTURE

job number 22080

scale 1/4" = 1'-0"

release date 10.21.25

HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION

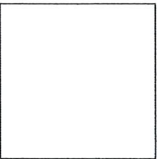
sheet no.

D201

10/21/2025 2:59:46 PM

KEYNOTES	
1	CAREFULLY REMOVE EXISTING ROOF SLATE SHINGLES AND STORE IN A SAFE LOCATION. MATERIALS TO BE RESTORED AND REUSED. ANY DAMAGED MATERIALS TO BE REPLACED TO MATCH THE EXISTING.
2	REMOVE EXISTING SIDING AND ANY BACKING MEMBRANES TO EXPOSED PLANK OR PLYWOOD SHEATHING. RETAIN AND STORE AT LEAST THREE EXAMPLES OF EACH TYPE FOR RECORD. DOCUMENT SIDING TYPES AND PATTERNS IN ALL LOCATIONS FOR RECORD.
3	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH FRAME OPENING AND/OR MASONRY OPENING.
4	REMOVE EXISTING ALUMINUM GUTTER ASSEMBLIES, LEADERS AND ALL ASSOCIATED HARDWARE. SALVAGE SAMPLES OF EXISTING WOOD GUTTERS FOR REPRODUCTION.
5	REMOVE EXISTING MASONRY FIREPLACE/CHIMNEY. CONFIRM THAT NO PART OF THE STRUCTURE SUPPORTS ANY OTHER BUILDING ELEMENTS PRIOR TO REMOVAL. SALVAGE AND STORE EXISTING MANTELS, STOVES, ETC. FOR RESTORATION AND REUSE.
6	RETAIN EXISTING GRANITE STEPS, WALLS, PIERS, ETC. STORE AND PROTECT FROM DAMAGE.
7	DEMOLISH EXISTING EXTERIOR CASINGS, SOFFITS, WATERTABLES AND ALL OTHER RUNNING TRIM. SALVAGE THREE EXAMPLES OF EACH TYPE AS ASSEMBLED AND RETAIN FOR RECORD.
8	EXISTING CORBELS, BRACKETS, ETC TO BE CAREFULLY REMOVED AND STORED IN A SAFE PLACE FOR FUTURE USE.
9	FOUNDATION WALL TO REMAIN - DO NOT DISTURB - DO NOT UNDERMINE GRADE BELOW.
10	EXISTING VENT LOUVER, GRATE OR OTHER OPENING ELEMENT TO BE REMOVED.

Revision	
No.	Description



client
**SIGMA CHI
FOUNDATION**



EXISTING ELEVATIONS
1124 MASSACHUSETTS AVENUE

dhA
ARCHITECTS

job number 22080
scale 1/4" = 1'-0"
release date 10.21.25

HARVARD SQUARE
CONSERVATION
DISTRICT
APPLICATION

Sheet no.
D202