



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): **Appropriateness**, **Nonapplicability**, or **Hardship**, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.
2. Address of property: _____, Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction or demolition in the space provided below:
(An additional page can be attached, if necessary).

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. **The undersigned also attests that he/she has read the statements printed on the reverse.**

Name of Property Owner of Record:	
Mailing Address:	
Telephone/Fax:	E-mail:
Signature of Property Owner of Record: <u>Gene O'Connor</u>	
<small>(Required field; application will not be considered complete without property owner's signature)</small>	
Name of proponent, if not record owner:	
Mailing Address:	
Telephone/Fax:	E-mail:

<small>(for office use only):</small>	
Date Application Received: _____	Case Number: _____
Hearing Date: _____	
Type of Certificate Issued: _____	Date Issued: _____



26 March 2026

Charles M. Sullivan
Executive Director, Cambridge Historic Commission
831 Massachusetts Ave., 2nd Floor Cambridge, Massachusetts 0213

RE Harvard Law School: Austin Hall Deferred Maintenance Project
Roof Replacement Details

Dear Charlie,

As requested at our meetings 12/3/2025 and 1/29/2026, please find attached the following documents for your review in relation to the roof replacement project.

- **Eleven (11) slides of historic photos and archive images that show:**
 - The original roof was slate and had decorative ridge caps and finials. This roof and decorative details remain in place today but are greatly deteriorated causing leaks that has led to the proposed roof replacement.
 - The original upper roof gutter had a decorative copper scroll, to mimic the stone dentil course below. The archive images clearly show this detail during the design phase and historic photographs show this the decorative gutter was removed sometime between the 1950s and 1970s.
 - The original roof did not have a skylight at the upper roof ridge intersection
- **Fifteen (15) slides of the Construction Drawings for the roof replacement, which show:**
 - The extent and locations of salvaged and new slate anticipated.
 - Details of the replacement copper components: gutters, hip ridge caps and decorative ridge caps and finials.
 - Locations of snow tabs manage to snow build up in lieu of the snow rails that are currently in place
- **One slide (1) of a Preliminary mockup of the decorative gutter proposed to be reinstalled at the upper roofs.**
 - The contractor will be constructing full size mockups of all the replacement copper components (based on field dimensions of the existing) and masonry repointing for review by the Harvard Team and CHC.
 - We would be happy to review the Preliminary Mockup of the decorative gutter at your office or ours.

Thank you in advance for your review; please let me know if you have questions or require additional information.

Sincerely,

Jonathan Austin AIA
Principal

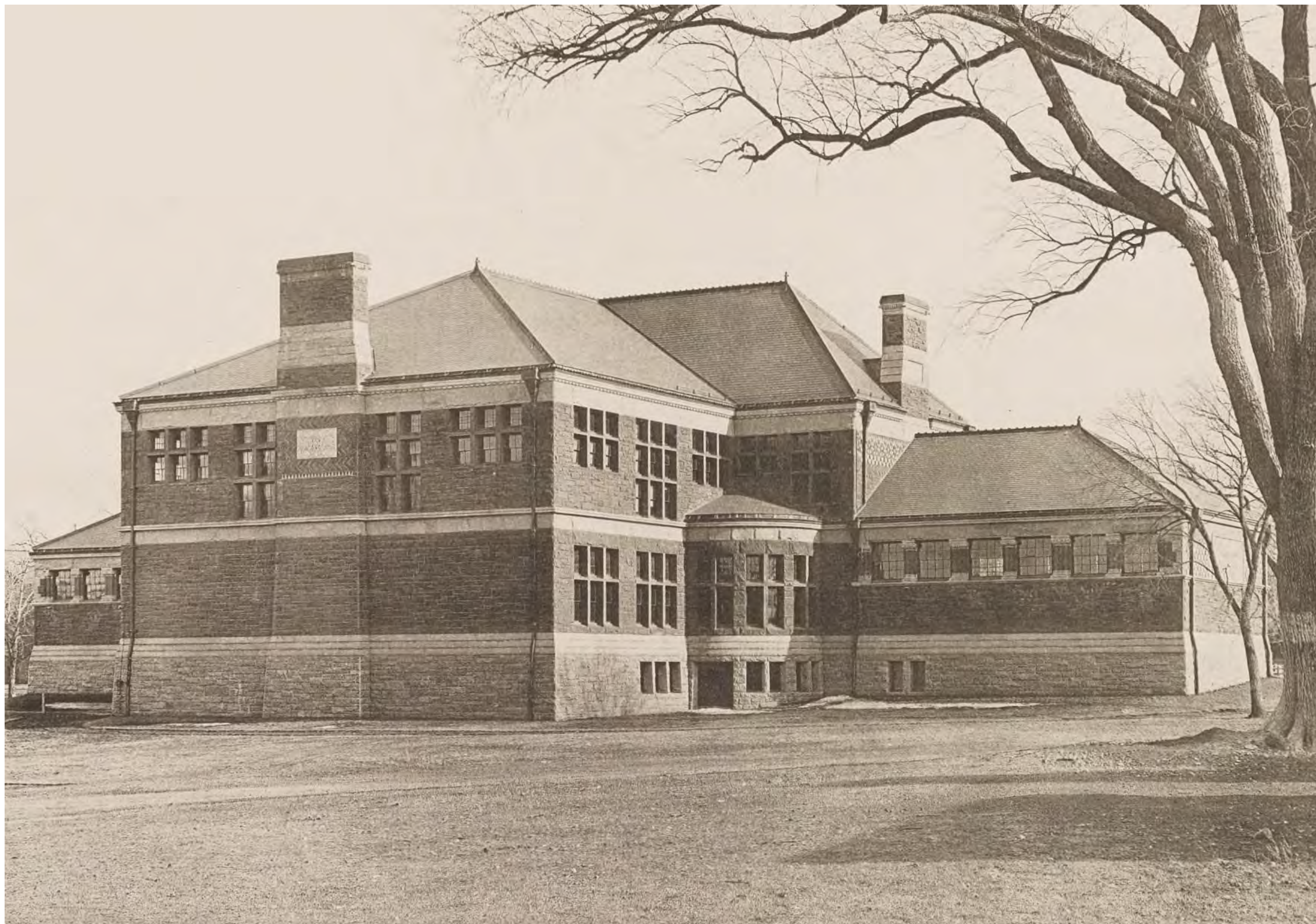
Cc Gene O'Connor, Harvard Law School; Diane Gray, Harvard University Planning and Design
Cynthia LaBonte, Austin Architects.

VIEW FROM NORTHWEST

Date: 1885

Source: Monographs of
American Architecture and
The American Architect and
Building News: Austin Hall,
Harvard Law School,
Cambridge, Mass.”
H. H. Richardson, Architect.
Boston: James R. Osgood &
Company, 1885

Plate XI showing full view
of building



VIEW FROM SOUTHWEST

Date: circa 1883-1895

Source: Unknown



DETAILED VIEW SOUTHEAST
CORNER

Date: 1885

Source: Monographs of
American Architecture and
The American Architect and
Building News: Austin Hall,
Harvard Law School,
Cambridge, Mass.
H. H. Richardson, Architect.
Boston: James R. Osgood &
Company, 1885

Plate XII cropped to show
pronounced hip cap
flashing as well as curl
detail present at upper roof
gutters, but not at lower
roof gutters.



DETAILED VIEW UPPER
ROOF

Date: 1885

Source: Monographs of
American Architecture and
The American Architect and
Building News: Austin Hall,
Harvard Law School,
Cambridge, Mass.
H. H. Richardson, Architect.
Boston: James R. Osgood &
Company, 1885

Plate cropped to focus on
'curl' detail at upper roof

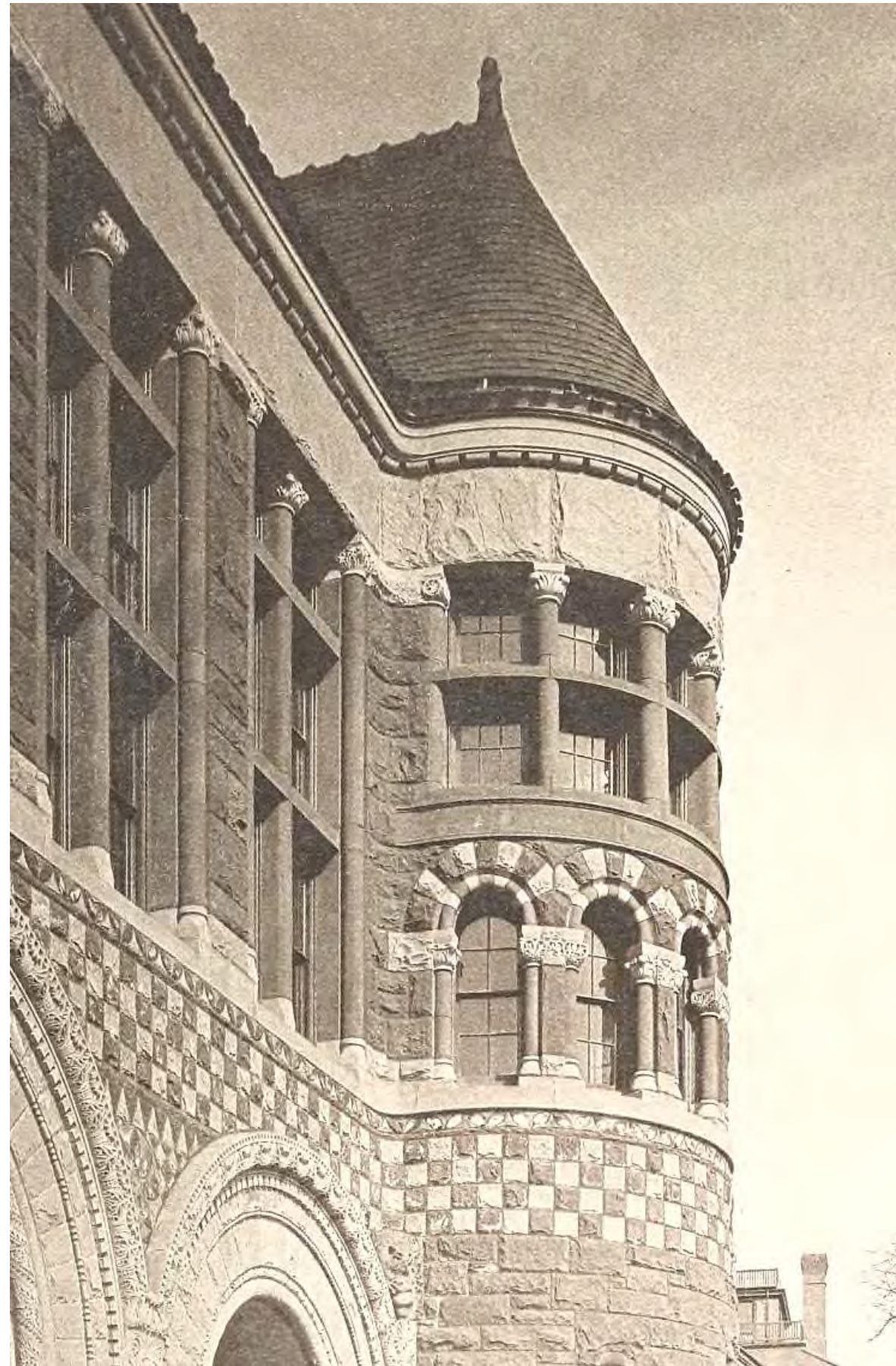


DETAILED VIEW GUTTER
AT UPPER ROOF

Date: 1885

Source: Monographs of
American Architecture
and The American
Architect and Building
News: Austin Hall,
Harvard Law School,
Cambridge, Mass. H. H.
Richardson, Architect.
Boston: James R.
Osgood & Company,
1885

Plate XIV cropped to focus
on **'curl' detail at upper**
roof

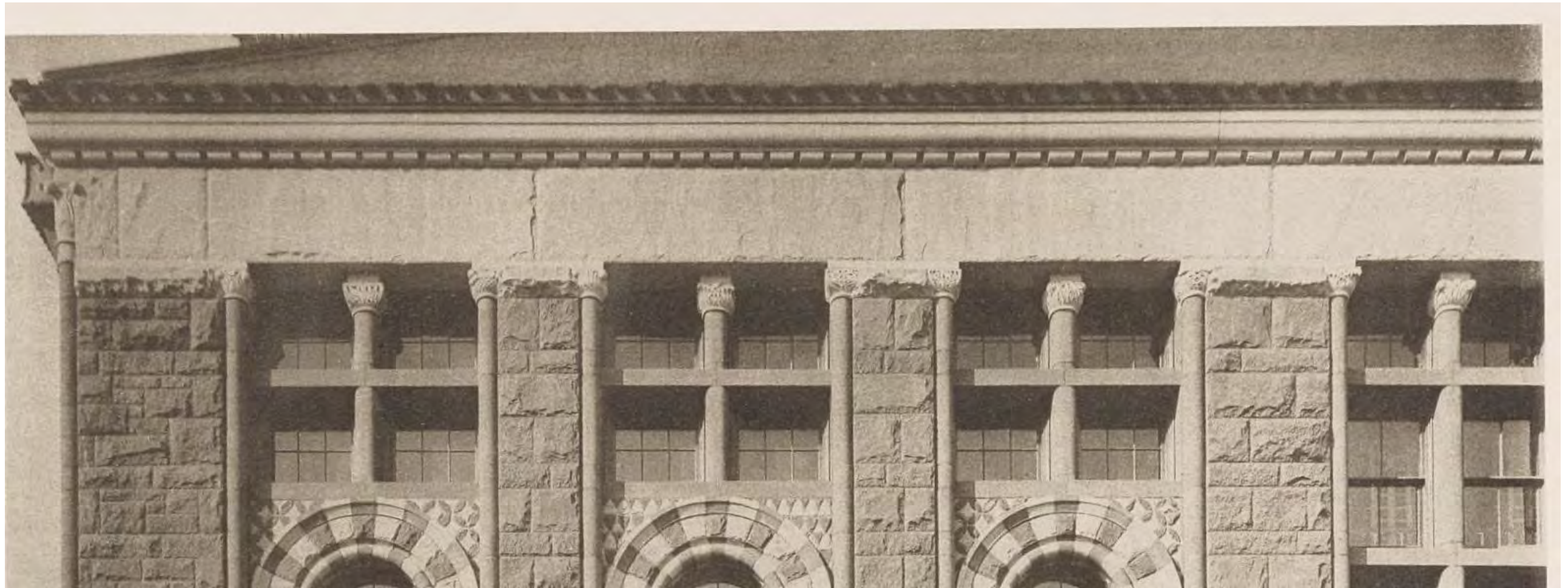


DETAILED VIEW GUTTER
AND FACADE

Date: 1885

Source: Monographs of
American Architecture and
The American Architect and
Building News: Austin Hall,
Harvard Law School,
Cambridge, Mass. H. H.
Richardson, Architect.
Boston: James R. Osgood &
Company, 1885

Plate IX cropped to show
curled elements projecting
from original gutter



VIEW TOWARD ENTRANCE

Date: circa 1945-1953

Source: ESTO



VIEW SOUTH FACADE

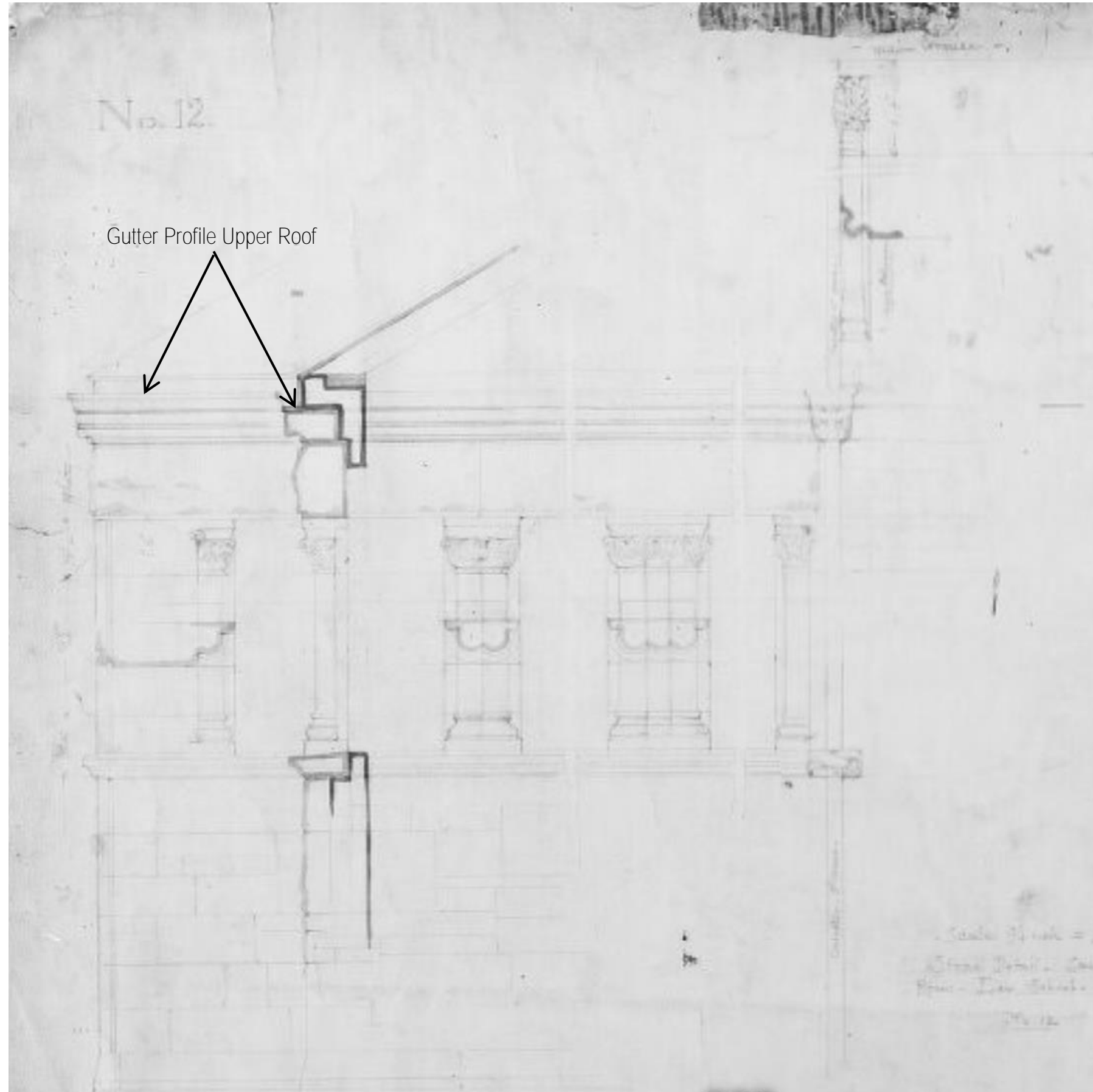
Date: circa 1970s

Source: Unknown

'Curl' detail no longer present at upper roof gutters



UPPER ROOF GUTTER
PROFILE AND RAIN
LEADER COLLECTOR BOX



Rain leader box

Scale 3/4 inch = 1 foot
Street Detail - East Section
Harvard - Des. School - Cambridge -

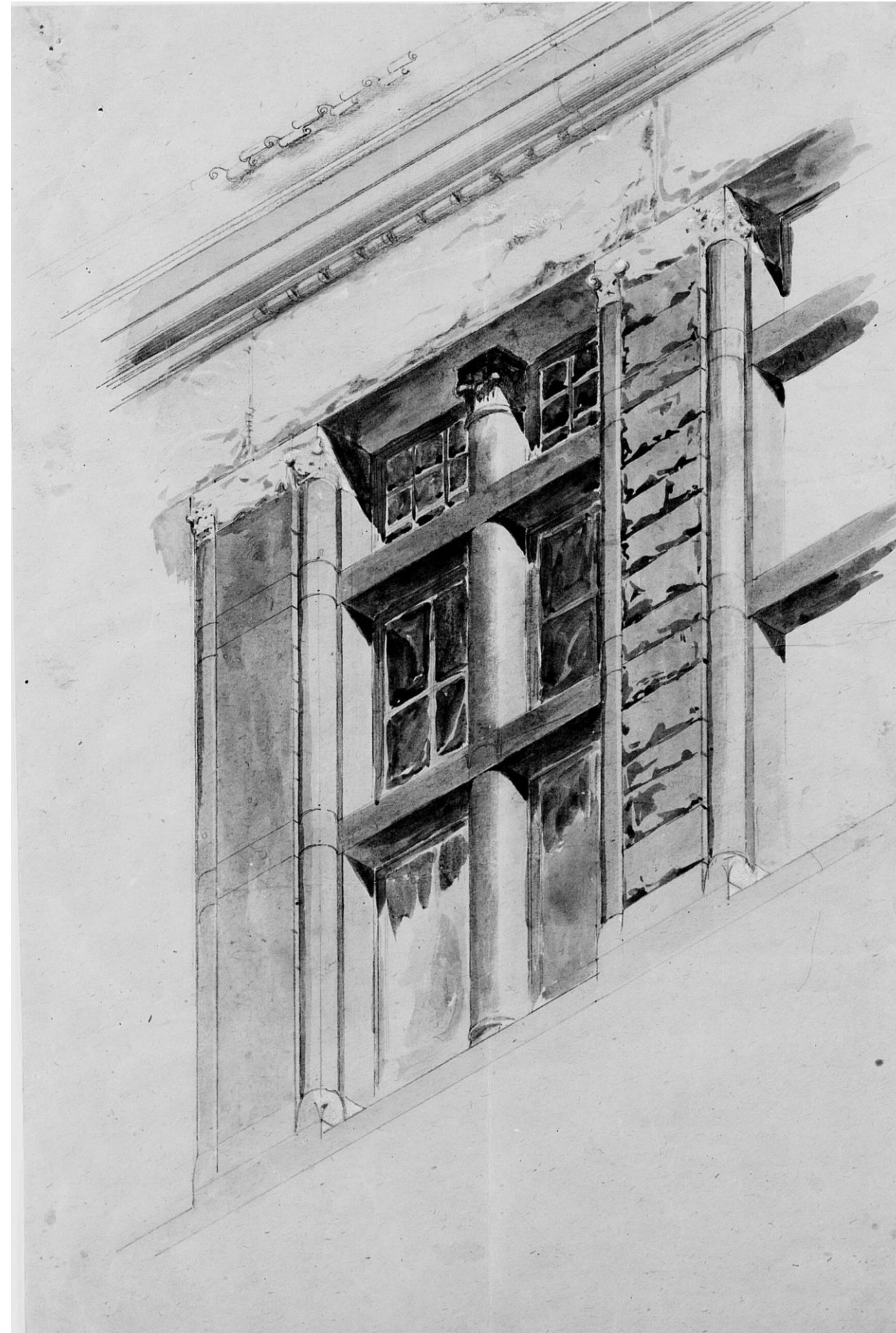
No. 12
for Harvard College
E. Wilson
March 13, 1888

DETAIL SKETCH UPPER
ROOF AND FACADE

Date: 1881-1884

Source: Houghton Library,
Richardson Collection: MS
Typ 1096 (AH) D-85

Uncropped image showing
projection of curl at upper
roof gutter.

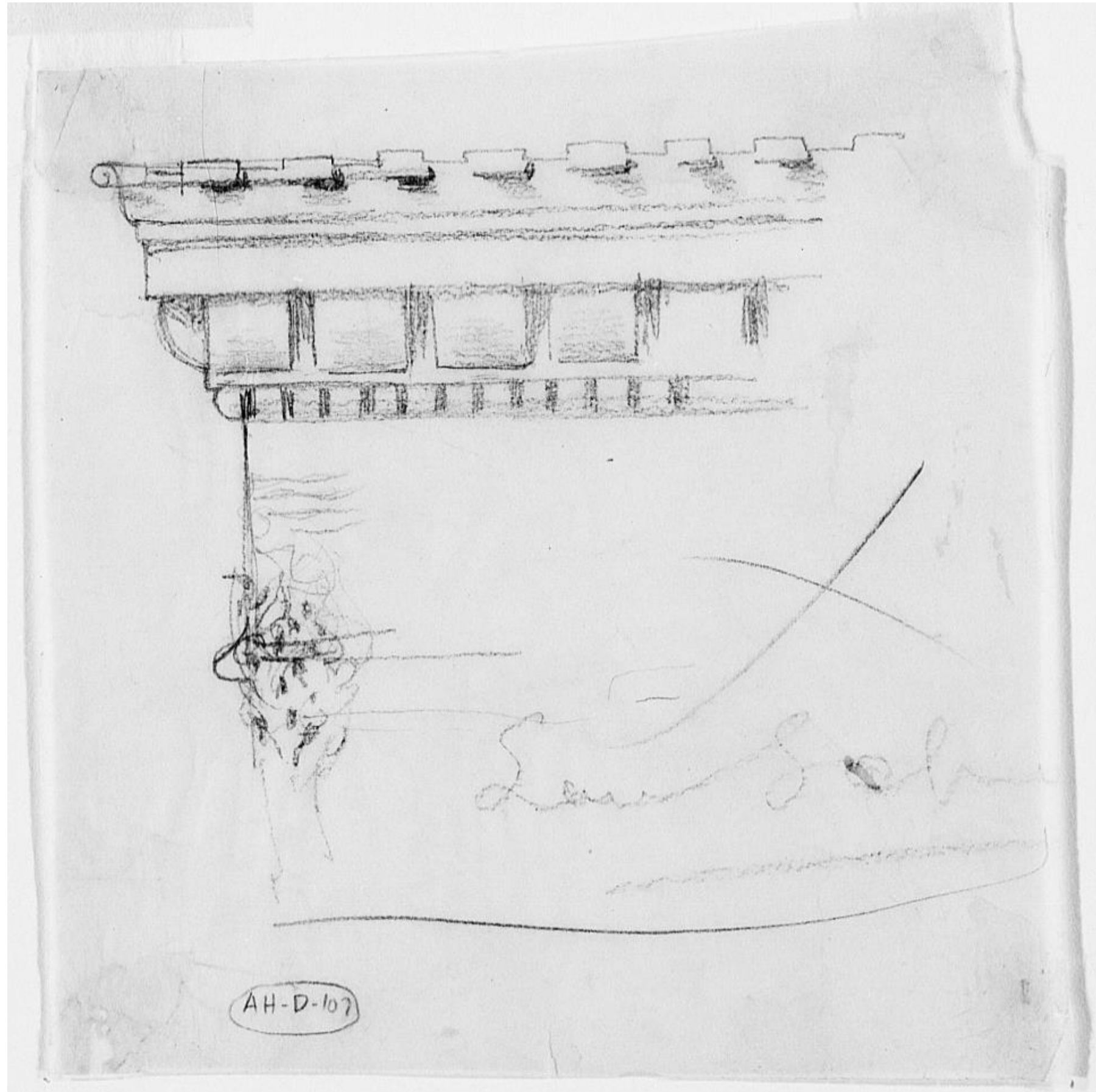


DETAIL SKETCH UPPER
ROOF CORNICE

Date: 1881-1884

Source: Houghton Library,
Richardson Collection: MS
Typ 1096 (AH) D-107

Uncropped image showing
projection of curl at upper
roof gutter.



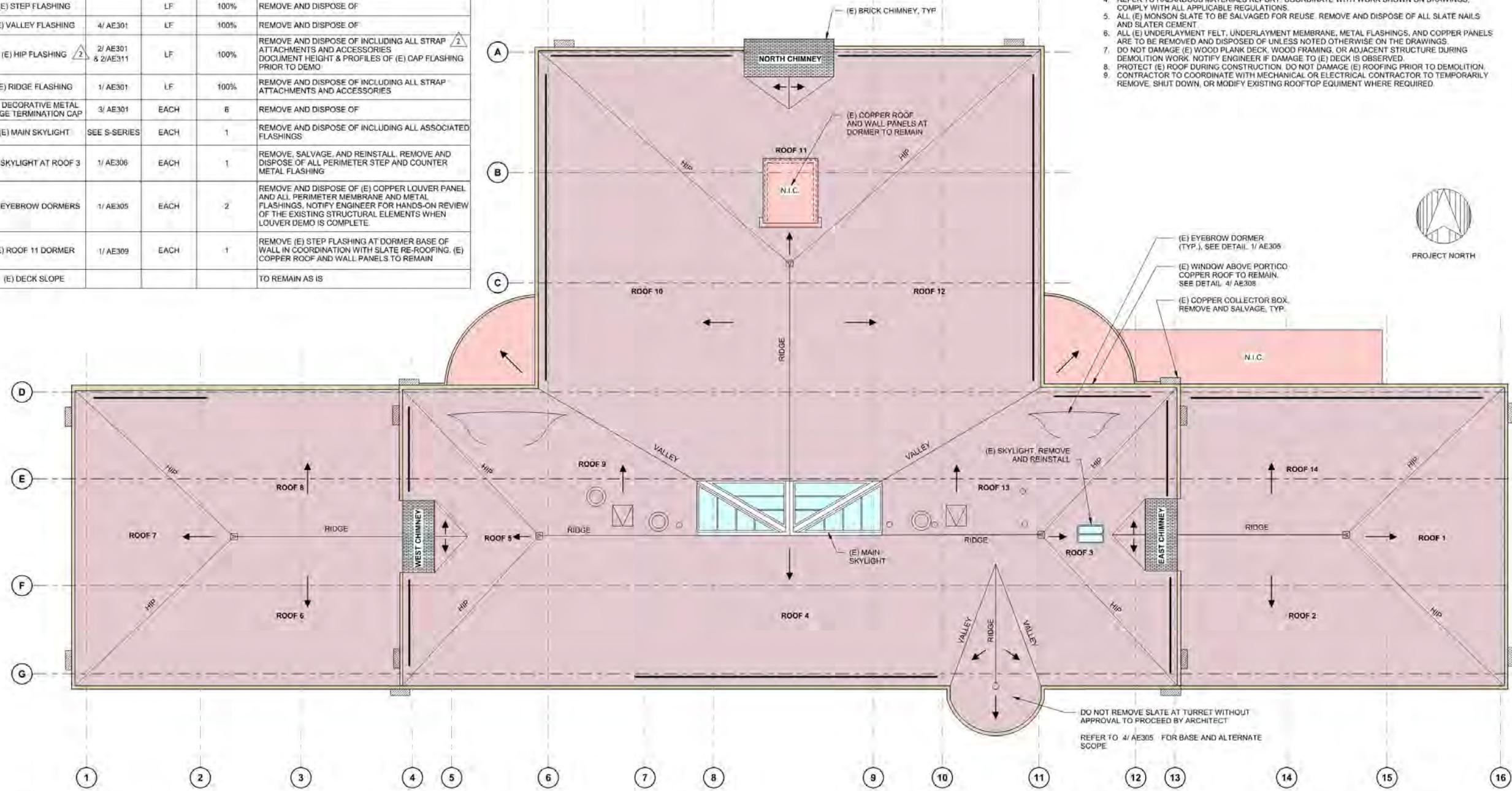
DEMOLITION SCHEDULE						
REPAIR #	SYMBOL	COMPONENT	REF. TYP. DETAIL	UNIT	QUANTITY TO BE INCLUDED IN BASE BID	COMMENTS
1	☒	(E) ROOF HATCH	4/ AE300	EACH	2	REMOVE AND DISPOSE OF (E) ROOF HATCH INCLUDING ALL ASSOCIATED FLASHINGS
2	○	(E) PIPE PENETRATION	5/ AE300	EACH	5	TO REMAIN
3	⊙	(E) ROOF VENT	5/ AE300 SIM	EACH	3	TO REMAIN
4	—	(E) SNOW RETENTION SYSTEM	SEE PLAN	LF	100%	REMOVE AND DISPOSE OF
5	—	(E) COPPER GUTTER	2/ AE303 & 1/ AE308	LF	100%	REMOVE AND DISPOSE OF (E) COPPER GUTTER AND ATTACHMENT ACCESSORIES. REMOVE AND REINSTALL (E) HEAT TRACE WIRES WHERE PRESENT COORDINATE WITH ELECTRICAL CONTRACTOR AS NEEDED
6	▨	(E) COLLECTOR BOX + DOWNLEADER	SEE PLAN	EACH	100%	REMOVE, SALVAGE, REPAIR, AND REINSTALL
7	■	(E) COPPER ROOF PANELS	SEE PLAN	SF	100%	REMOVE AND DISPOSE OF (E) COPPER PANELS AND (E) UNDERLAYMENT DOWN TO THE (E) ROOF DECK
8	■	(E) MONSON SLATE - SLATE TYPE 1	SEE PLAN	SF	100%	REMOVE, SALVAGE, AND REINSTALL. REMOVE AND DISPOSE OF (E) UNDERLAYMENT DOWN TO THE (E) ROOF DECK
9	—	(E) WOOD PLANK DECK		SF	100%	TO REMAIN EXCEPT FOR AREAS THAT ARE DETERIORATED AND REQUIRE REPLACEMENT. REMOVE ALL PROTRUDING NAILS OR POUND FLUSH WITH THE DECK. SURVEY ROOF DECK AND NOTIFY ENGINEER IF (E) WOOD PLANK IS DAMAGED
10	—	(E) STEP FLASHING		LF	100%	REMOVE AND DISPOSE OF
11	—	(E) VALLEY FLASHING	4/ AE301	LF	100%	REMOVE AND DISPOSE OF
12	△	(E) HIP FLASHING	2/ AE301 & 2/AE311	LF	100%	REMOVE AND DISPOSE OF INCLUDING ALL STRAP ATTACHMENTS AND ACCESSORIES. DOCUMENT HEIGHT & PROFILES OF (E) GAP FLASHING PRIOR TO DEMO
13	—	(E) RIDGE FLASHING	1/ AE301	LF	100%	REMOVE AND DISPOSE OF INCLUDING ALL STRAP ATTACHMENTS AND ACCESSORIES
14	□	(E) DECORATIVE METAL RIDGE TERMINATION CAP	3/ AE301	EACH	6	REMOVE AND DISPOSE OF
15	—	(E) MAIN SKYLIGHT	SEE S-SERIES	EACH	1	REMOVE AND DISPOSE OF INCLUDING ALL ASSOCIATED FLASHINGS
16	—	(E) SKYLIGHT AT ROOF 3	1/ AE306	EACH	1	REMOVE, SALVAGE, AND REINSTALL. REMOVE AND DISPOSE OF ALL PERIMETER STEP AND COUNTER METAL FLASHING
17	—	(E) EYEBROW DORMERS	1/ AE305	EACH	2	REMOVE AND DISPOSE OF (E) COPPER LOUVER PANEL AND ALL PERIMETER MEMBRANE AND METAL FLASHINGS. NOTIFY ENGINEER FOR HANDS-ON REVIEW OF THE EXISTING STRUCTURAL ELEMENTS WHEN LOUVER DEMO IS COMPLETE
18	—	(E) ROOF 11 DORMER	1/ AE309	EACH	1	REMOVE (E) STEP FLASHING AT DORMER BASE OF WALL IN COORDINATION WITH SLATE RE-ROOFING. (E) COPPER ROOF AND WALL PANELS TO REMAIN
19	→	(E) DECK SLOPE				TO REMAIN AS IS

CODE REVIEW:
REFER TO CODE REVIEW BY AUSTIN ARCHITECTS. INFORMATION BELOW IS SUPPLEMENTARY.

- APPLICABLE CODES:
2021 IECC WITH 225 CMR 23.00 (MASSACHUSETTS STRETCH ENERGY CODE) AMENDMENTS
2021 IBC WITH MASSACHUSETTS AMENDMENTS
- 2021 IECC C202 GENERAL DEFINITIONS
"ALTERATIONS, ANY CONSTRUCTION, RETROFIT, OR RENOVATION TO AN EXISTING STRUCTURE OTHER THAN REPAIR OR ADDITION, ALSO, A CHANGE IN A BUILDING, ELECTRICAL, GAS, MECHANICAL, OR PLUMBING SYSTEM THAT INVOLVES AN EXTENSION, ADDITION, OR CHANGE TO THE ARRANGEMENT, TYPE, OR PURPOSE OF THE ORIGINAL INSTALLATION."
- 2021 IECC C503.1
"ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF SECTION C503 AND SECTIONS C402, C403, C404, C405 OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NOT LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION. ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE. ALTERATIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS."

GENERAL NOTES:

- ALL MATERIALS ARE TO BE NEW UNLESS NOTED AS (E).
- LOCATIONS OF EXISTING ROOFTOP EQUIPMENT, PENETRATIONS, AND OTHER ITEMS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS IN THE FIELD, PRIOR TO BIDDING, ORDERING MATERIALS, OR STARTING CONSTRUCTION. DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE BASED ON LIMITED SAMPLE MEASUREMENTS AND EXISTING DRAWINGS. ACTUAL DIMENSIONS AND CONSTRUCTION MAY VARY FROM THAT SHOWN.
- NOTIFY ENGINEER IMMEDIATELY IF EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THE DRAWINGS IN A MANNER THAT PRECLUDES EXECUTION OF THE WORK AS SHOWN.
- REFER TO HAZARDOUS MATERIALS REPORT. COORDINATE WITH WORK SHOWN ON DRAWINGS; COMPLY WITH ALL APPLICABLE REGULATIONS.
- ALL (E) MONSON SLATE TO BE SALVAGED FOR REUSE. REMOVE AND DISPOSE OF ALL SLATE NAILS AND SLATER CEMENT.
- ALL (E) UNDERLAYMENT FELT, UNDERLAYMENT MEMBRANE, METAL FLASHINGS, AND COPPER PANELS ARE TO BE REMOVED AND DISPOSED OF UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- DO NOT DAMAGE (E) WOOD PLANK DECK, WOOD FRAMING, OR ADJACENT STRUCTURE DURING DEMOLITION WORK. NOTIFY ENGINEER IF DAMAGE TO (E) DECK IS OBSERVED.
- PROTECT (E) ROOF DURING CONSTRUCTION. DO NOT DAMAGE (E) ROOFING PRIOR TO DEMOLITION.
- CONTRACTOR TO COORDINATE WITH MECHANICAL OR ELECTRICAL CONTRACTOR TO TEMPORARILY REMOVE, SHUT DOWN, OR MODIFY EXISTING ROOFTOP EQUIPMENT WHERE REQUIRED.



1 DEMOLITION ROOF PLAN
1/8" = 1'-0"

PERMIT SET - 3.16.2026

HARVARD LAW SCHOOL
LEX ET JUSTITIA
Facilities Management Office
Holmes Hall 4
18 Everett Street
Cambridge MA, 02138
Tel: 617.495.5521 Fax: 617.495.3008

ARCHITECT:
AUSTIN ARCHITECTS, LLC
214 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.9500

STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
SUSAN GLENN & ASSOCIATES, INC.
480 Essex Street
Boston, MA 02114
Phone: 781.967.6999

FIRE ALARMS, SPRINKLER AND CODE CONSULTANT:
JENSEN ENGINEERS
3 Edward Drive, Suite 105C
Northampton, MA 01061
Phone: 417.251.0001

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
141 Worcester Road, Suite 101
Framingham, MA 01701
Phone: 508.847.9200

ELEVATOR CONSULTANT:
VETS
400 Summer Street, Suite 4000
Boston, MA 02110
Phone: 617.578.9099

SPECIFICATIONS CONSULTANT:
PAUL DRISCOLL SPECIFICATIONS, LLC
100 Hingham Street
Hingham, MA 01930
Phone: 508.625.1000

REVISION HISTORY:

DATE	ISSUANCE
2.11.2025	1.0 (Final)

USE DISCLAIMER:
Notwithstanding to whom this document may be issued, the user of this document shall be responsible for its use. The user of this document shall be responsible for its use. The user of this document shall be responsible for its use. The user of this document shall be responsible for its use.

ARCHITECT/ENGINEER STAMP:
Derek B. Mcowan
No. 47821
Professional Engineer
16 March 2026



PROJECT NAME:
**Austin Hall
Deferred Maintenance**
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
DEMO PLAN

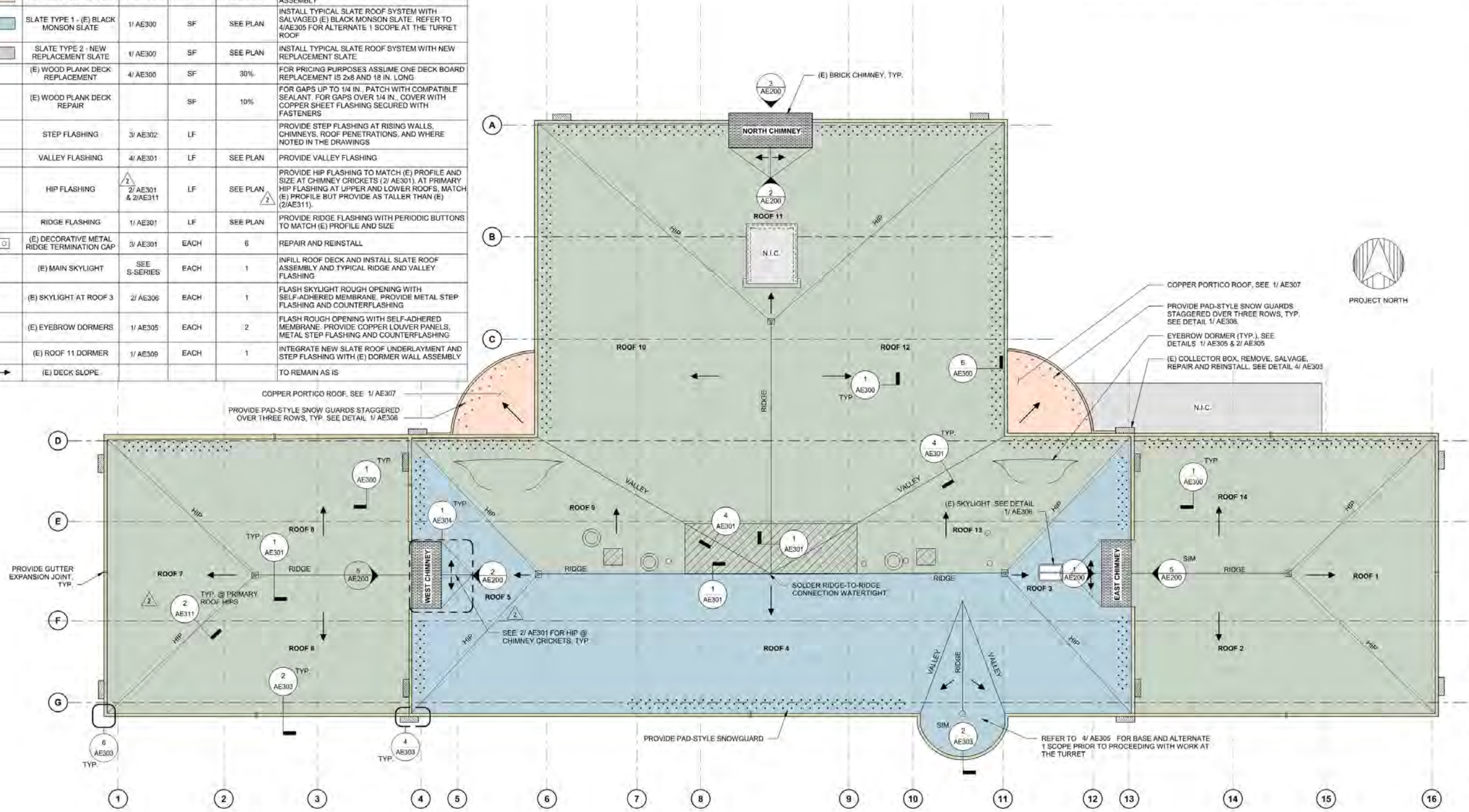
CAD FILE NAME:

DRAWING SCALE: As indicated

DRAWING NUMBER: AE100 AREA: 575 SHEET NUMBER:

ROOF REPLACEMENT SCHEDULE						
REPAIR #	SYMBOL	COMPONENT	REF. TYP. DETAIL	UNIT	QUANTITY TO BE INCLUDED IN BASE BID	COMMENTS
1	□	INFILL ROOF DECK	4/ AE300	EACH	2	INFILL ROOF DECK AND INSTALL SLATE ROOF ASSEMBLY AT PRIOR HATCH OPENING PER DETAILS
2	○	(E) PIPE PENETRATION	5/ AE300	EACH	5	PROVIDE MEMBRANE AND METAL FLASHING PER DETAILS
3	○	(E) ROOF VENT	5/ AE300 SIM.		3	PROVIDE MEMBRANE AND METAL FLASHING PER DETAILS
4	⋯	SNOW RETENTION SYSTEM AT SLATE ROOF	6/ AE300	EACH	SEE PLAN	INSTALL NEW PAD-STYLE SNOW GUARDS STAGGERED OVER THREE ROWS AT LOCATIONS SHOWN
5	⋯	SNOW RETENTION SYSTEM AT COPPER ROOF	1/ AE308	LF	SEE PLAN	INSTALL NEW PAD-STYLE SNOW GUARDS AT 12 IN. O.C. STAGGERED OVER THREE ROWS AT LOCATIONS SHOWN
6	—	COPPER GUTTER	2/ AE303 & 1/ AE308	LF	100%	REINSTALL HEAT TRACE WIRES. INSTALL NEW GUTTER IN KIND. PROFILE TO MATCH EXISTING. PROVIDE BAFFLE EXPANSION JOINTS PER 3/ AE303 AT HIGH POINTS BETWEEN DOWNSPOUTS, WHERE SHOWN ON DRAWINGS
7	□	(E) COLLECTOR BOX + DOWNLEADER	4/ AE303	EACH	100%	SALVAGE, REPAIR, AND REINSTALL
8	□	COPPER ROOF PANELS	4/ AE307	SF	SEE PLAN	INSTALL TYPICAL FLAT SEAM METAL ROOFING ASSEMBLY
9	□	SLATE TYPE 1 - (E) BLACK MONSON SLATE	1/ AE300	SF	SEE PLAN	INSTALL TYPICAL SLATE ROOF SYSTEM WITH SALVAGED (E) BLACK MONSON SLATE. REFER TO 4/AE309 FOR ALTERNATE 1 SCOPE AT THE TURRET ROOF
10	□	SLATE TYPE 2 - NEW REPLACEMENT SLATE	1/ AE300	SF	SEE PLAN	INSTALL TYPICAL SLATE ROOF SYSTEM WITH NEW REPLACEMENT SLATE
11	□	(E) WOOD PLANK DECK REPLACEMENT	4/ AE300	SF	30%	FOR PRICING PURPOSES ASSUME ONE DECK BOARD REPLACEMENT IS 2x8 AND 18 IN. LONG
12	□	(E) WOOD PLANK DECK REPAIR		SF	10%	FOR GAPS UP TO 1/4 IN., PATCH WITH COMPATIBLE SEALANT. FOR GAPS OVER 1/4 IN., COVER WITH COPPER SHEET FLASHING SECURED WITH FASTENERS
13	□	STEP FLASHING	3/ AE302	LF		PROVIDE STEP FLASHING AT RISING WALLS, CHIMNEYS, ROOF PENETRATIONS, AND WHERE NOTED IN THE DRAWINGS
14	□	VALLEY FLASHING	4/ AE301	LF	SEE PLAN	PROVIDE VALLEY FLASHING
15	□	HIP FLASHING	2/ AE301 & 2/AE311	LF	SEE PLAN	PROVIDE HIP FLASHING TO MATCH (E) PROFILE AND SIZE AT CHIMNEY CRICKETS (2/ AE301). AT PRIMARY HIP FLASHING AT UPPER AND LOWER ROOFS, MATCH (E) PROFILE BUT PROVIDE AS TALLER THAN (E) (2/AE311).
16	□	RIDGE FLASHING	1/ AE301	LF	SEE PLAN	PROVIDE RIDGE FLASHING WITH PERIODIC BUTTONS TO MATCH (E) PROFILE AND SIZE
17	□	(E) DECORATIVE METAL RIDGE TERMINATION CAP	3/ AE301	EACH	6	REPAIR AND REINSTALL
18	□	(E) MAIN SKYLIGHT	SEE S-SERIES	EACH	1	INFILL ROOF DECK AND INSTALL SLATE ROOF ASSEMBLY AND TYPICAL RIDGE AND VALLEY FLASHING
19	□	(E) SKYLIGHT AT ROOF 3	2/ AE306	EACH	1	FLASH SKYLIGHT ROUGH OPENING WITH SELF-ADHERED MEMBRANE. PROVIDE METAL STEP FLASHING AND COUNTERFLASHING
20	□	(E) EYEBROW DORMERS	1/ AE305	EACH	2	FLASH ROUGH OPENING WITH SELF-ADHERED MEMBRANE. PROVIDE COPPER LOUVER PANELS, METAL STEP FLASHING AND COUNTERFLASHING
21	□	(E) ROOF 11 DORMER	1/ AE309	EACH	1	INTEGRATE NEW SLATE ROOF UNDERLAYMENT AND STEP FLASHING WITH (E) DORMER WALL ASSEMBLY
22	→	(E) DECK SLOPE				TO REMAIN AS IS

- GENERAL NOTES:**
1. ALL MATERIALS ARE TO BE NEW UNLESS NOTED AS (E).
 2. LOCATIONS OF EXISTING ROOFTOP EQUIPMENT, PENETRATIONS, AND OTHER ITEMS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS IN THE FIELD. PRIOR TO BIDDING, ORDERING MATERIALS, OR STARTING CONSTRUCTION, DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE BASED ON LIMITED SAMPLE MEASUREMENTS AND EXISTING DRAWINGS. ACTUAL DIMENSIONS AND CONSTRUCTION MAY VARY FROM THAT SHOWN.
 3. NOTIFY ENGINEER IMMEDIATELY IF EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THE DRAWINGS IN A MANNER THAT PRECLUDES EXECUTION OF THE WORK AS SHOWN.
 4. REFER TO HAZARDOUS MATERIALS REPORT. COORDINATE WITH WORK SHOWN ON DRAWINGS; COMPLY WITH ALL APPLICABLE REGULATIONS.
 5. ALL (E) MONSON SLATE TO BE SALVAGED FOR REUSE. REMOVE AND DISPOSE OF ALL SLATE NAILS AND SLATER CEMENT.
 6. ALL (E) UNDERLAYMENT FELT, UNDERLAYMENT MEMBRANE, METAL FLASHINGS, AND COPPER PANELS ARE TO BE REMOVED AND DISPOSED OF UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 7. DO NOT DAMAGE (E) WOOD PLANK DECK, WOOD FRAMING, OR ADJACENT STRUCTURE DURING DEMOLITION WORK. NOTIFY ENGINEER IF DAMAGE TO (E) DECK IS OBSERVED.
 8. PROTECT (E) ROOF DURING CONSTRUCTION. DO NOT DAMAGE (E) ROOFING PRIOR TO DEMOLITION. CONTRACTOR TO COORDINATE WITH MECHANICAL OR ELECTRICAL CONTRACTOR TO TEMPORARILY REMOVE, SHUT DOWN, OR MODIFY EXISTING ROOFTOP EQUIPMENT WHERE REQUIRED.



HARVARD LAW SCHOOL
 LEX ET JUSTITIA
 Facilities Management Office
 Holmes Hall 4
 18 Everett Street
 Cambridge MA, 02138
 Tel: 617.495.5571 Fax: 617.495.3008

ARCHITECT:
 AUSTIN ARCHITECTS, LLC
 200 Lowell Avenue
 Cambridge, MA 02138
 Phone: 617.441.9500

STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
 STUBSON GEMPERT & RIGBY, INC.
 480 Essex Street
 Waltham, MA 02451
 Phone: 781.857.5000

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
 JENSEN BRIGGS
 3 Research Drive, Suite 300C
 Waltham, MA 02451
 Phone: 978.251.0500

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
 CMTA
 141 Worcester Road, Suite 101
 Framingham, MA 01701
 Phone: 508.875.9200

ELEVATOR CONSULTANT:
 VES
 400 Summer Street, Suite 600B
 Boston, MA 02110
 Phone: 617.572.5099

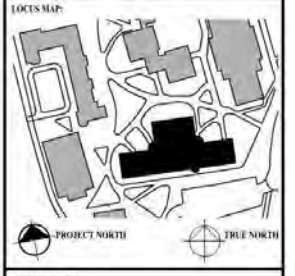
SPECIFICATIONS CONSULTANT:
 PAUL DRISCOLL SPECIFICATIONS, LLC
 100 Ripley Street, Suite 200
 Arlington, MA 01774
 Phone: 978.225.1999

REVISION HISTORY:

DATE	REVISION
3.11.2020	1. Initial Conditions

USE DISCLAIMER:
 Notwithstanding to whom this document is prepared, contractor shall be responsible for verification and compliance with all applicable laws, codes, and regulations. Any reliance on this document is at the user's sole risk. The user shall be responsible for obtaining all necessary permits and approvals. No part of this document shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the user.

ARCHITECT/ENGINEER SEAL:
 DEREK B. MCCOWAN
 No. 47821
 18 March 2026



PROJECT NAME:
**Austin Hall
 Deferred Maintenance**
 1515 Massachusetts Avenue
 Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
OVERALL ROOF PLAN

CAD FILE NAME:

DRAWING SCALE: As indicated

DRAWING NUMBER: AE101 AREA: 575 SHEET NUMBER:

PERMIT SET - 3.16.2026

1 OVERALL ROOF PLAN
 1/8" = 1'-0"

MASONRY REPAIR SCHEDULE						
REPAIR #	SYMBOL	COMPONENT	REF. TYP. DETAIL	UNIT	QUANTITY TO BE INCLUDED IN BASE BID	COMMENTS
1	☒	(E) MASONRY - POINTING	7/ AE200	SF	40%	REPOINT MASONRY AT END WALLS AND CHIMNEYS ABOVE THE SLATE ROOF
2	☒	(E) GUTTER BAND COURSE - POINTING	7/ AE200, SIM	LF	30%	REPOINT JOINTS IN BAND COURSE BELOW GUTTERS WHERE MISSING OR DETRIORATED
3	⚡	(E) MASONRY - SPALL REPAIR		EACH	1	PROVIDE DUTCHMAN REPAIR AT BROKEN STONE WITH SALVAGED STONE
4	☒	(E) MASONRY - BRICK REPLACEMENT		EACH	20	REPLACE MISSING OR BROKEN BRICK AT CHIMNEY CAPS
5	☒	(E) MASONRY ANCHORS	6/ AE200	EACH	20	REMOVE AND REPLACE KERF ANCHORS, SIZE AND THICKNESS TO MATCH EXISTING UNLESS NOTED

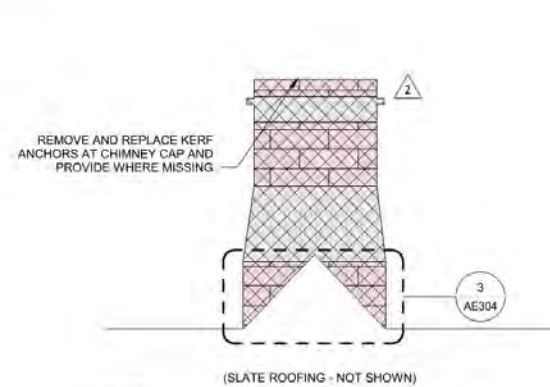


PROVIDE KERF ANCHOR WITH LENGTH AS NEEDED TO MAINTAIN MIN 2" EDGE DISTANCE FROM DUTCHMAN REPAIR

PROVIDE (2) 3/8" DIA. S.S. HELICAL PIS WITH 2" EMBEDMENT INTO (E) SANDSTONE. FULLY BED CRACK INTERFACE WITH EPOXY

3A PHOTO - SPALL
NTS

2



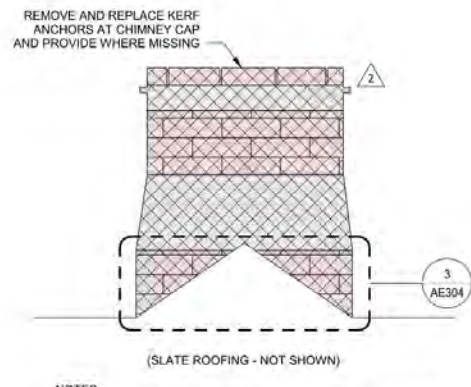
REMOVE AND REPLACE KERF ANCHORS AT CHIMNEY CAP AND PROVIDE WHERE MISSING

(SLATE ROOFING - NOT SHOWN)

3 AE304

NOTES:
1. ELEVATION OF CHIMNEY FACING SLATE ROOF AND CRICKET

1 PARTIAL ELEVATION - EAST AND WEST CHIMNEY
NTS



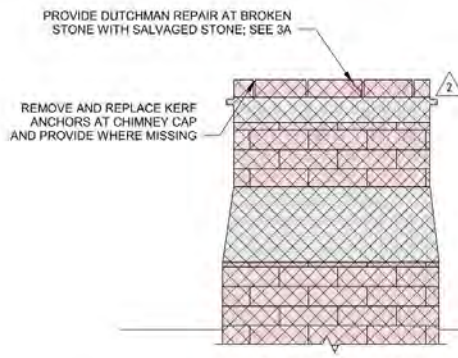
REMOVE AND REPLACE KERF ANCHORS AT CHIMNEY CAP AND PROVIDE WHERE MISSING

(SLATE ROOFING - NOT SHOWN)

3 AE304

NOTES:
1. ELEVATION OF CHIMNEY FACING SLATE ROOF AND CRICKET

2 PARTIAL ELEVATION - NORTH CHIMNEY
NTS



PROVIDE DUTCHMAN REPAIR AT BROKEN STONE WITH SALVAGED STONE; SEE 3A

REMOVE AND REPLACE KERF ANCHORS AT CHIMNEY CAP AND PROVIDE WHERE MISSING

(SLATE ROOFING - NOT SHOWN)

3 AE304

3 PARTIAL ELEVATION - NORTH CHIMNEY
NTS

REMOVE AND REPLACE KERF ANCHOR, TYP. SEE DETAIL 6/ AE200

REMOVE AND REPLACE MISSING OR BROKEN BRICK, TYP.



4 PHOTO - TYPICAL CHIMNEY CAP
NTS



REMOVE AND REPLACE KERF ANCHORS AT CHIMNEY CAP AND PROVIDE WHERE MISSING

(E) VENT PENETRATION TO REMAIN. FLASH PER DETAIL 5/ AE300

(E) SNOW RETENTION SYSTEM, REMOVE AND REPLACE WITH PAD-STYLE SNOW GUARDS

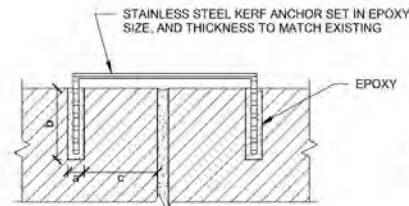
(E) GUTTER, REMOVE AND REPLACE

(E) COPPER COLLECTOR BOX, REMOVE, SALVAGE, REPAIR, AND REINSTALL

(E) DOWNLEADER, REMOVE, SALVAGE, REPAIR, AND REINSTALL

NOTES:
1. APPLICABLE TO BOTH EAST AND WEST END WALLS

5 PARTIAL ELEVATION - CHIMNEY AND END WALLS
NTS



STAINLESS STEEL KERF ANCHOR SET IN EPOXY, SIZE, AND THICKNESS TO MATCH EXISTING

EPOXY

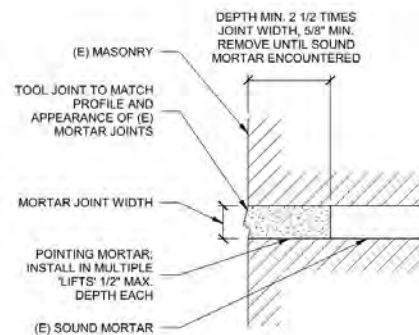
DIMENSION a = ANCHOR THICKNESS + 1/16"

DIMENSION b = ANCHOR EMBEDMENT LENGTH + 1/4" MIN. (1/2" MAX.)

DIMENSION c = EDGE DISTANCE

NOTES:
1. MAINTAIN 2" EDGE DISTANCE. CUT NEW DOWEL IF NEEDED TO MAINTAIN 2" MIN EDGE DISTANCE FROM STONE DUTCHMAN REPAIR

6 TYPICAL ANCHOR KERF
NTS



DEPTH MIN. 2 1/2 TIMES JOINT WIDTH, 5/8" MIN. REMOVE UNTIL SOUND MORTAR ENCOUNTERED

(E) MASONRY

TOOL JOINT TO MATCH PROFILE AND APPEARANCE OF (E) MORTAR JOINTS

MORTAR JOINT WIDTH

POINTING MORTAR: INSTALL IN MULTIPLE 'LIFTS' 1/2" MAX DEPTH EACH

(E) SOUND MORTAR

7 MASONRY POINTING
NTS

8 NOT USED
1 1/2" = 1'-0"

HARVARD LAW SCHOOL



Facilities Management Office
Holmes Hall 4
18 Everett Street
Cambridge MA, 02138

tel: 617.495.5521 fax: 617.496.3838

ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.8500



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
SUSANSON GUMPERTZ & HIGER, INC.
460 Tuttle Park Road
Watboro, MA 02461
Phone: 781.967.6699

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN DRUGHES
8 Kendall Drive, Suite 305C
Worthington, MA 01891
Phone: 978.251.6993

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
161 Worcester Road, Suite 105
Franklin, MA 01701
Phone: 978.647.9250

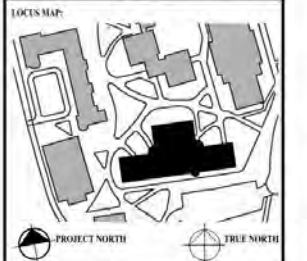
ELEVATOR CONSULTANT:
VDS
100 Summer Street, Suite 060
Boston, MA 02110
Phone: 617.574.5099

SPECIFICATIONS CONSULTANT:
PAUL DIBONA SPECIFICATIONS, LLC
100 Highgate Avenue
Hingham, MA 01904
Phone: 508.425.1195

REVISION HISTORY:	
DATE	ISSUANCE
3.11.2026	1. Initial Construction

USE DISCLAIMER:
"Warning: This document may contain sensitive or proprietary information and therefore must be treated as a confidential document. Acceptance of the document constitutes an agreement that the document and the information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, stored in a retrieval system or distributed in any form or by any means without the prior written permission of Harvard University and any distribution or unauthorized disclosure is prohibited and may be subject to a written confidentiality agreement."

ARCHITECT/ENGINEER STAMP:



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

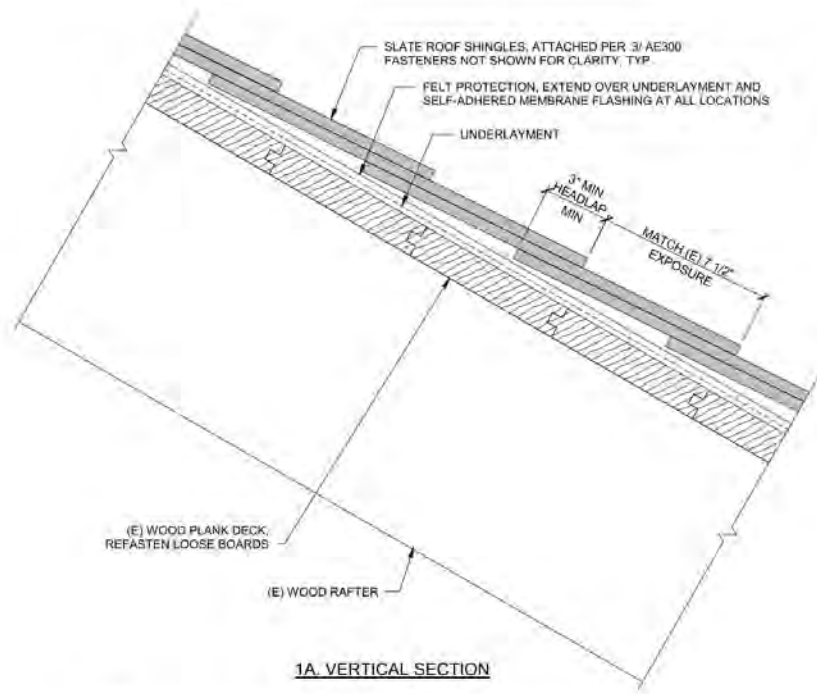
DRAWING TITLE:
PARTIAL ELEVATIONS AND MASONRY DETAILS

CAD FILE NAME:

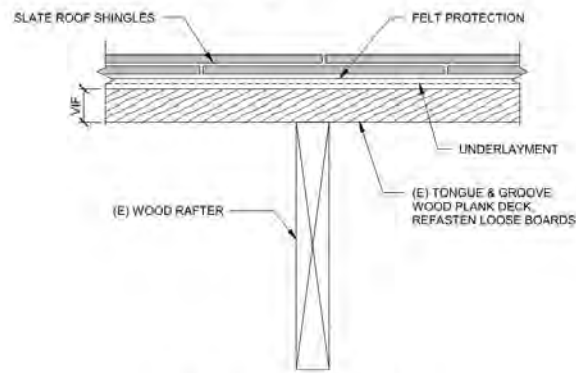
DRAWING SCALE: As indicated

DRAWING NUMBER: AE200 AREA: 575 SHEET NUMBER:

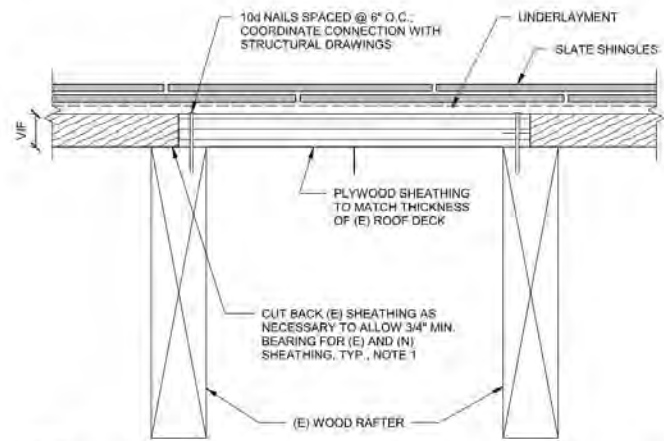
PERMIT SET - 3.16.2026



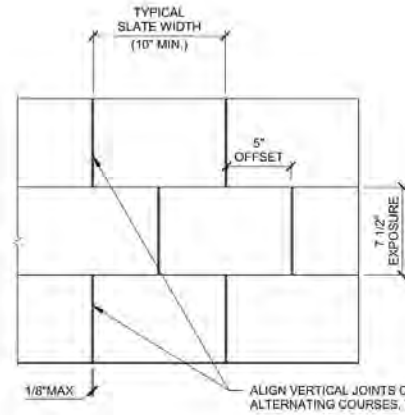
- NOTES:**
1. INFILL ALL GAPS IN (E) DECK WITH COMPATIBLE SEALANT FOR GAPS UP TO 1/4" AND WITH COPPER SHEET FLASHING SECURED WITH FASTENERS FOR GAPS OVER 1/4" TYP.
 2. REPLACE DETERIORATED BOARDS PER 4/ AE300.



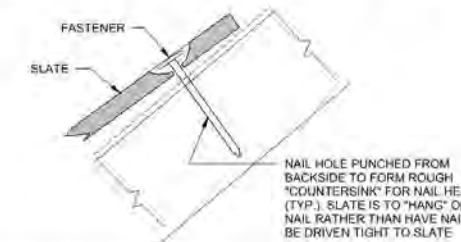
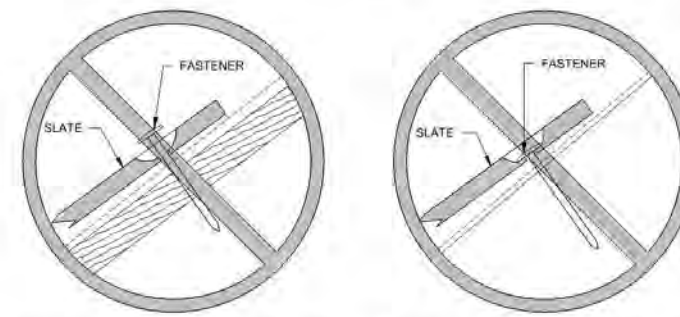
1 TYPICAL SLATE ROOF SYSTEM
NTS



- NOTES:**
1. IF THERE ARE UNSUPPORTED EDGES AT THE OPENING PERIMETER PERPENDICULAR TO THE RAFTERS, PROVIDE 2x8 BLOCKING BETWEEN RAFTERS AND FASTEN (N) AND (E) SHEATHING TO BLOCKING.
 2. FELT PROTECTION NOT SHOWN FOR CLARITY.

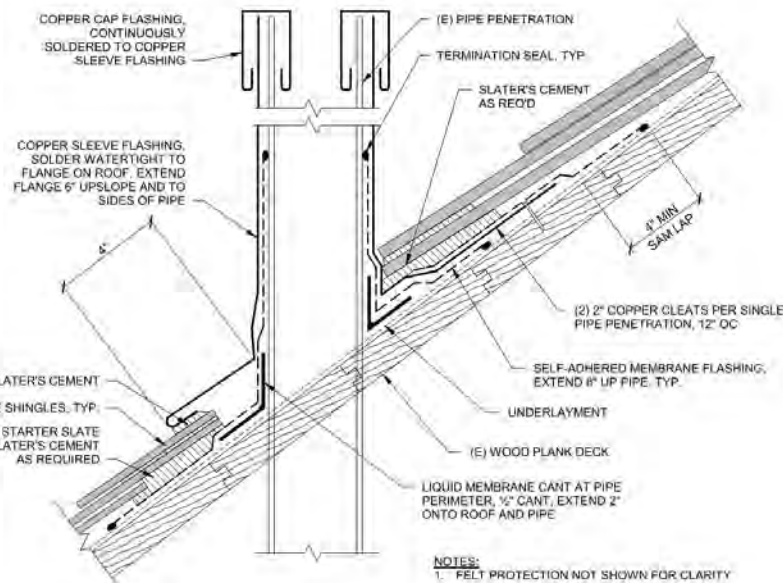


2 TYPICAL SLATE ROOF LAYOUT (PLAN VIEW)
NTS



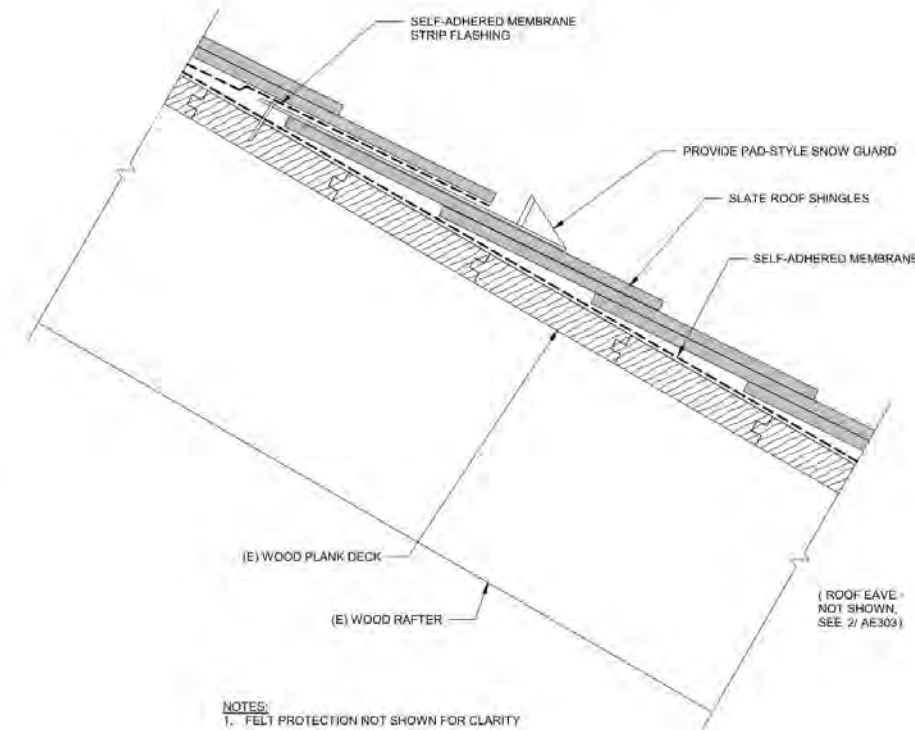
- NOTES:**
1. ALL SLATE SHINGLES SHOULD BE PUNCHED. PUNCHED NAIL HOLES SHOULD BE 1.5" FROM THE OUTER EDGE.
 2. FASTEN EACH SLATE SHINGLE WITH A MINIMUM OF TWO ROOFING NAILS FASTENED ABOVE THE HEAD OF THE UNDERLYING SLATE (I.E. NOT PENETRATING THE UNDERLYING SLATE).
 3. IF A ROOFING NAIL HITS A CRACK, HOLE, OR JOINT IN THE WOOD PLANK DECK, IT SHOULD BE REMOVED AND RENAILED ABOVE THE EXISTING HOLE TO OBTAIN A PROPER BITE.
 4. DO NOT USE PNEUMATIC OR ELECTRIC NAIL GUNS TO ATTACH SLATE SHINGLES.

3 TYPICAL SLATE ATTACHMENT
NTS



- NOTES:**
1. FELT PROTECTION NOT SHOWN FOR CLARITY.

5 ROOF VENT PENETRATION FLASHING
NTS



- NOTES:**
1. FELT PROTECTION NOT SHOWN FOR CLARITY.

6 TYPICAL SNOW GUARD
NTS



ARCHITECT:
AUSTIN ARCHITECTS, LLC
214 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.9530



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
SUSAN GEMPERT & HIGGS, INC.
480 Forest Road
Waltham, MA 02451
Phone: 781.937.6000

FIRE ALARM & SPRINKLER AND CORE CONSULTANT:
JENSEN HUGHES
3 Edward Drive, Suite 1000
Northborough, MA 01551
Phone: 508.451.0900

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
141 Worcester Road, Suite 105
Framingham, MA 01701
Phone: 508.847.0200

ELEVATOR CONSULTANT:
VETS
400 Summer Street, Suite 6000
Boston, MA 02110
Phone: 617.252.9999

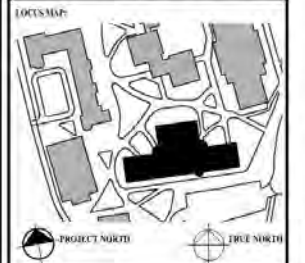
SPECIFICATIONS CONSULTANT:
PAUL DEBINA SPECIFICATIONS, LLC
100 Ripley Street, Suite 200
Northampton, MA 01060
Phone: 508.625.1999

REVISION HISTORY:

DATE	ISSUANCE

USE DISCLAIMER:
Warning: This document may contain contract or proprietary information and therefore must be stored and controlled securely. Acceptance of any document constitutes an agreement that the information contained herein shall be maintained and transmitted in confidence. No part of this document shall be reproduced, stored in a retrieval system or disseminated in any manner without the prior written consent of the Harvard University and any distribution to unauthorized entities is strictly prohibited. Subject to these conditions, approval.

ARCHITECT/ENGINEER STAMP:
Derek B. McCowan
No. 47821
Professional Engineer
16 March 2025



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
TYPICAL SLATE ROOF
GENERAL DETAILS

CAD FILE NAME:
DRAWING SCALE: As indicated

DRAWING NUMBER: AE300 AREA: 575 SHEET NUMBER:

PERMIT SET - 3.16.2026



ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.9500



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
SIXSOSON GILBERT & HIGDON, INC.
480 Essex Park Road
Waltham, MA 02451
Phone: 781.867.6800

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN HUGHES
3 Research Drive, Suite 1000
Waltham, MA 02451
Phone: 978.251.0500

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
141 Worcester Road, Suite 101
Framingham, MA 01701
Phone: 508.879.9200

ELEVATOR CONSULTANT:
VDS
100 Summer Street, Suite 400
Boston, MA 02110
Phone: 617.578.5099

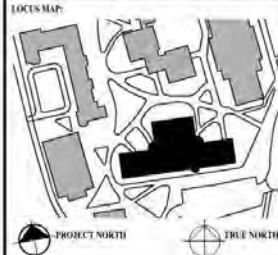
SPECIFICATIONS CONSULTANT:
PAUL DEBONA SPECIFICATIONS, LLC
100 High Street
Arlington, MA 02472
Phone: 508.223.1899

REVISION HISTORY:

DATE	ISSUANCE
2.11.2020	1. Initial Conditions

USE DISCLAIMER:
Warning: This document may contain sensitive data in proprietary and confidential information. Any disclosure of this document, whether in print or electronic form, without the prior written consent of the Architect is strictly prohibited. The user of this document shall be deemed to have agreed to the terms and conditions of this disclaimer. The user of this document shall be deemed to have agreed to the terms and conditions of this disclaimer. The user of this document shall be deemed to have agreed to the terms and conditions of this disclaimer.

ARCHITECT/ENGINEER STAMP:
DEREK B. MCCOWAN
No. 47821
PROFESSIONAL ENGINEER
18 March 2020

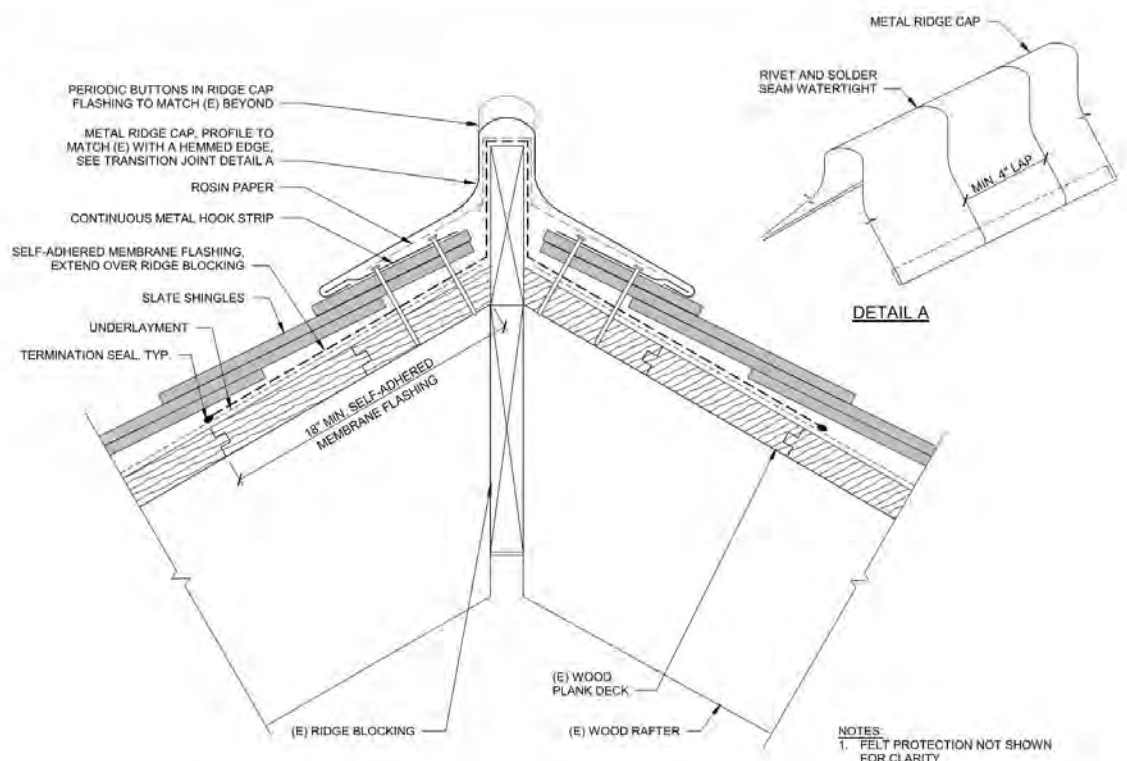


PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

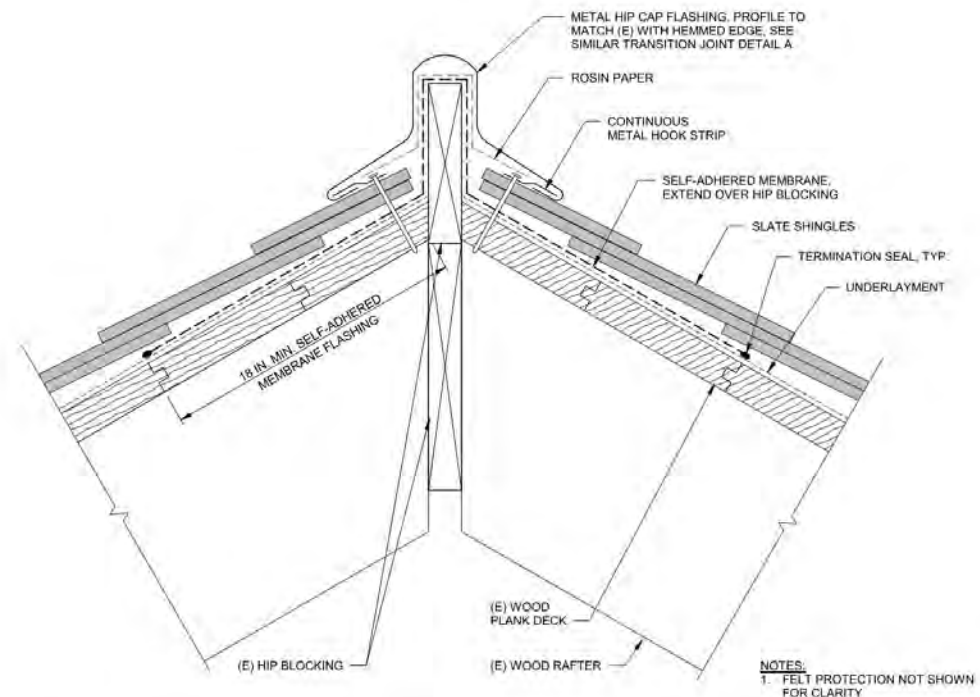
PROJECT NUMBER: 251116.00
DRAWING TITLE:
TYPICAL SLATE ROOF
GENERAL DETAILS

CAD FILE NAME:
DRAWING SCALE: As indicated
DRAWING NUMBER: AE301
AREA: 575
SHEET NUMBER:

PERMIT SET - 3.16.2026



1 TYPICAL RIDGE WITH BUTTONS
NTS



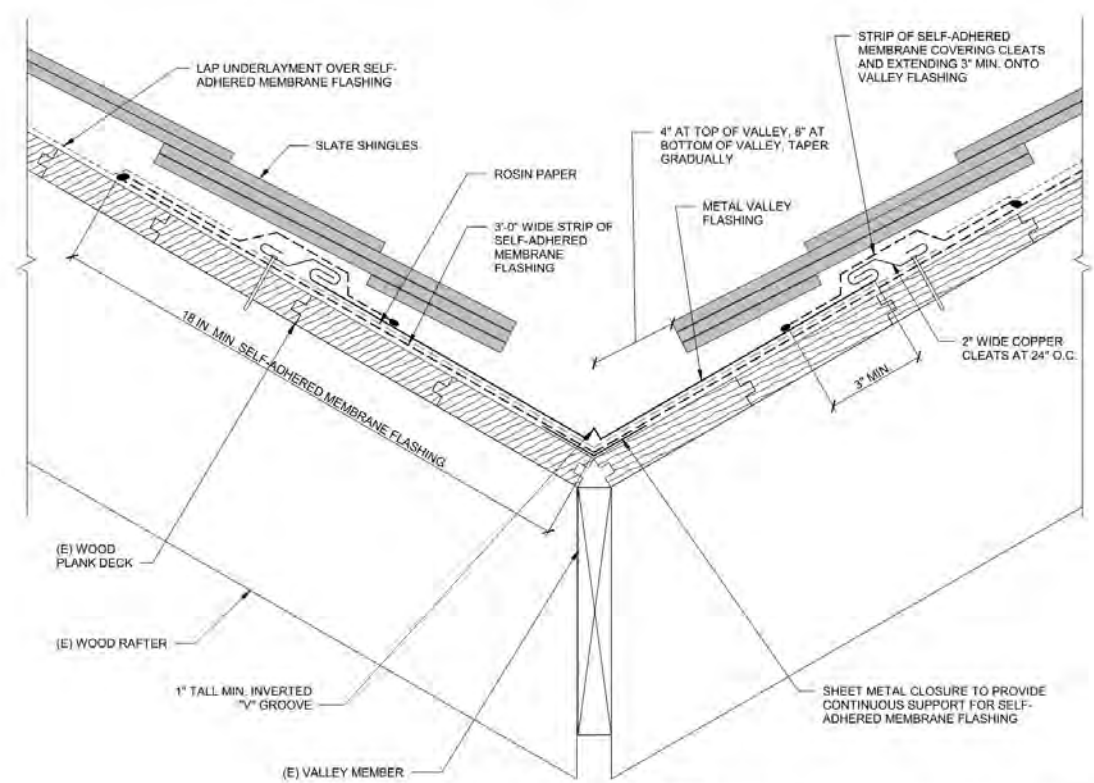
2 TYPICAL HIP @ CHIMNEY CRICKETS
NTS (SEE 2/AE311 FOR PRIMARY HIP AT UPPER AND LOWER ROOFS)

DECORATIVE RIDGE TERMINATION CAP AT HIPS TO MATCH (E). FULLY SOLDER ALL JOINTS WATERTIGHT.
PROVIDE METAL RIDGE CAP WITH BUTTONS TO MATCH (E).



PROVIDE METAL HIP CAP @ PRIMARY HIP AT UPPER AND LOWER ROOFS, INTENT TO MATCH PROFILE OF, BUT BE TALLER THAN (E) - SEE 2/AE311
EXTEND UNDERLAYMENT UP AND OVER THE RIDGE AND HIP. PROVIDE A SECOND CONTINUOUS STRIP OF HIGH TEMPERATURE SELF-ADHERED MEMBRANE

3 TYPICAL RIDGE TERMINATION AT HIPS
NTS



4 TYPICAL VALLEY - (E) CONDITION
NTS

- NOTES:
- LAP VALLEY FLASHING 12\"/>



ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge MA 02138
Phone: 617.441.9500

STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANTS:
SMYSON GEMPERTZ & HIGER, INC.
400 Essex Road
Waltham MA 02451
Phone: 781.867.0000

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN DRUGHES
3 Kendall Drive, Suite 305C
Waltham, MA 01951
Phone: 908.251.0000

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
EMTA
141 Worcester Road, Suite 105
Framingham MA 01701
Phone: 508.879.0200

ELEVATOR CONSULTANT:
VDES
100 Summer Street, Suite 400
Boston, MA 02110
Phone: 617.574.5099

SPECIFICATIONS CONSULTANT:
PAUL DEBONA SPECIFICATIONS, LLC
100 Ripley Street
Arlington, MA 01915
Phone: 508.425.1199

REVISION HISTORY:

DATE	REVISION

USE DISCLAIMER:
Warning: This document may contain sensitive data in proprietary and confidential information and is intended for use only by the intended recipient. Any person who receives this document in error should notify the sender immediately. The sender is not responsible for the use of this document by any person who is not an intended recipient. The sender is not responsible for the use of this document by any person who is not an intended recipient.

ARCHITECT/ENGINEER STAMP:
DEREK B. MCCOWAN
No. 47821
PROFESSIONAL ENGINEER
10 March 2026



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
TYPICAL SLATE ROOF
GENERAL DETAILS

DRAWING SCALE:	As indicated
DRAWING NUMBER:	AE302
AREA:	575
SHEET NUMBER:	

PERMIT SET - 3.16.2026



SAWCUT REGLET AS NECESSARY TO INSTALL COUNTERFLASHING OVER GUTTER END FLASHING, TYP.

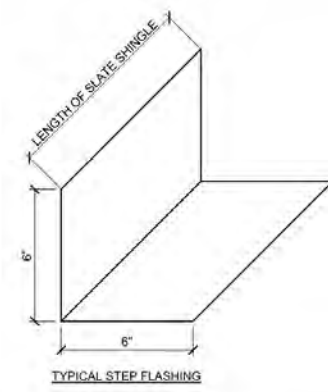
REMOVE AND REPLACE (E) RIDGE CAP FLASHING WITH BUTTONS TO MATCH (E)

(E) STONE MASONRY, SAWCUT REGLETS AS NECESSARY TO INSTALL COPPER COUNTERFLASHING PER DETAIL 4/ AE302

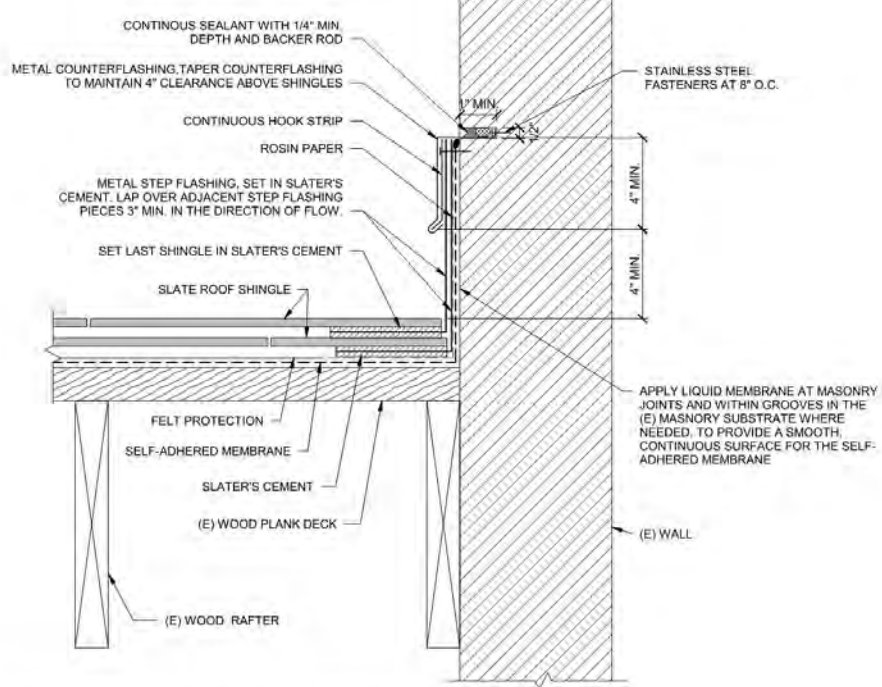
REMOVE AND DISPOSE OF (E) METAL FLASHING AND METAL COUNTERFLASHING AT RISING WALL, TYP.

3
AE302

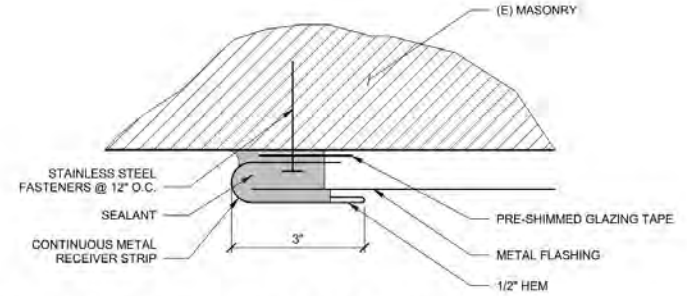
1 TYPICAL (E) RIDGE TERMINATION AT RISING WALL
NTS



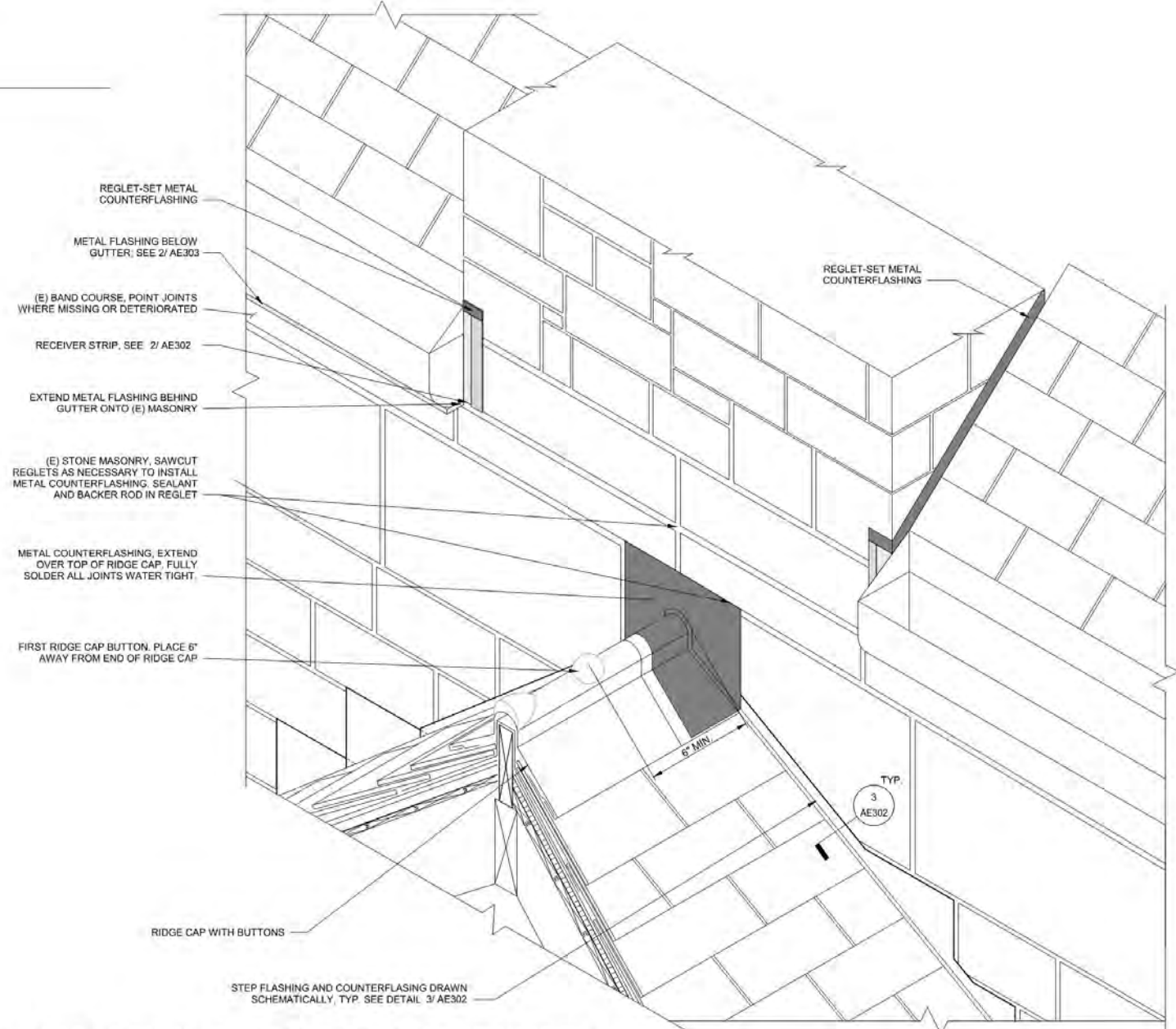
TYPICAL STEP FLASHING



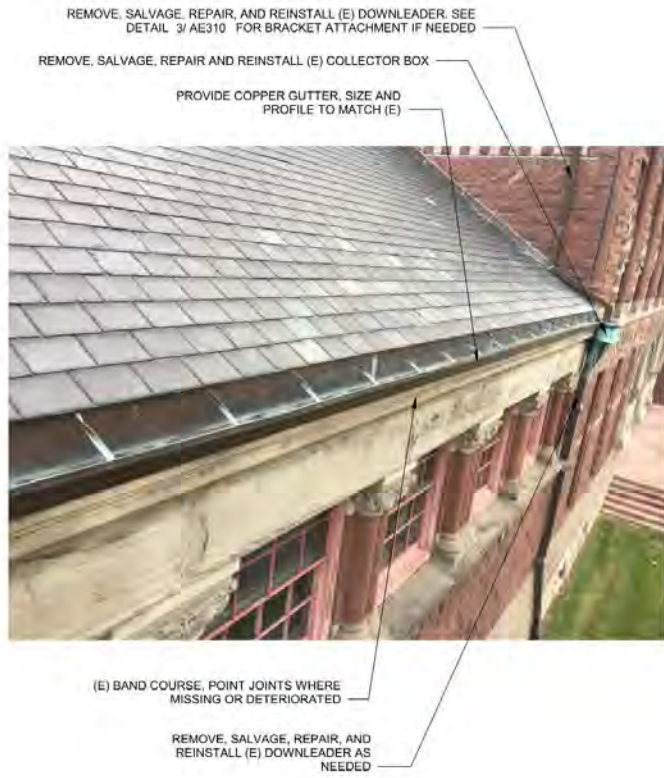
3 TYPICAL BASE OF WALL FLASHING AT MASONRY
NTS



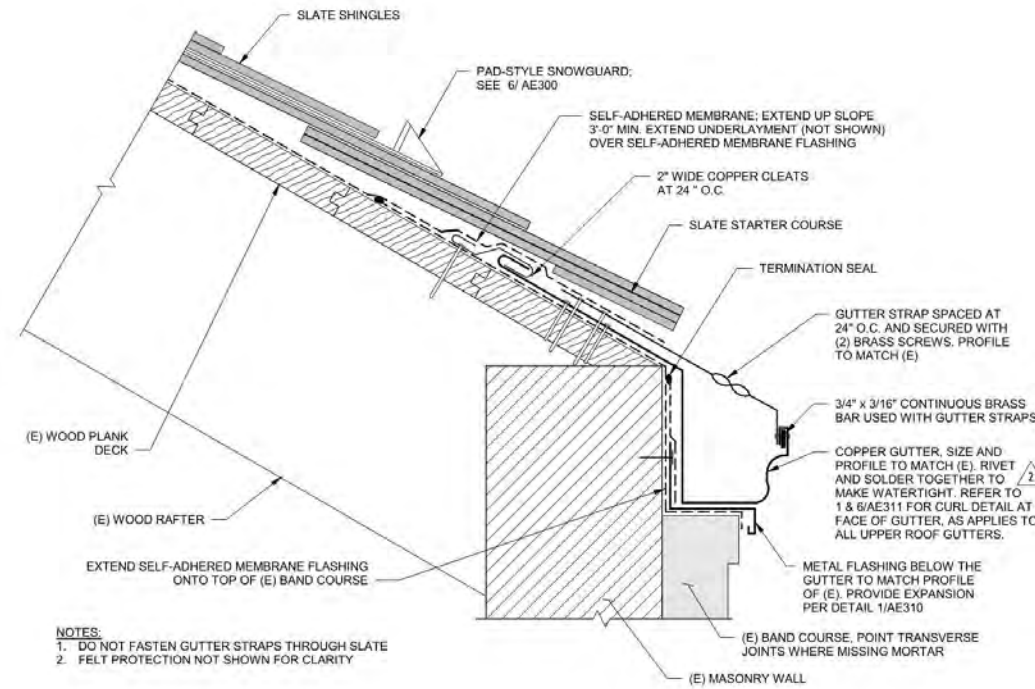
2 METAL FLASHING RECEIVER STRIP
NTS



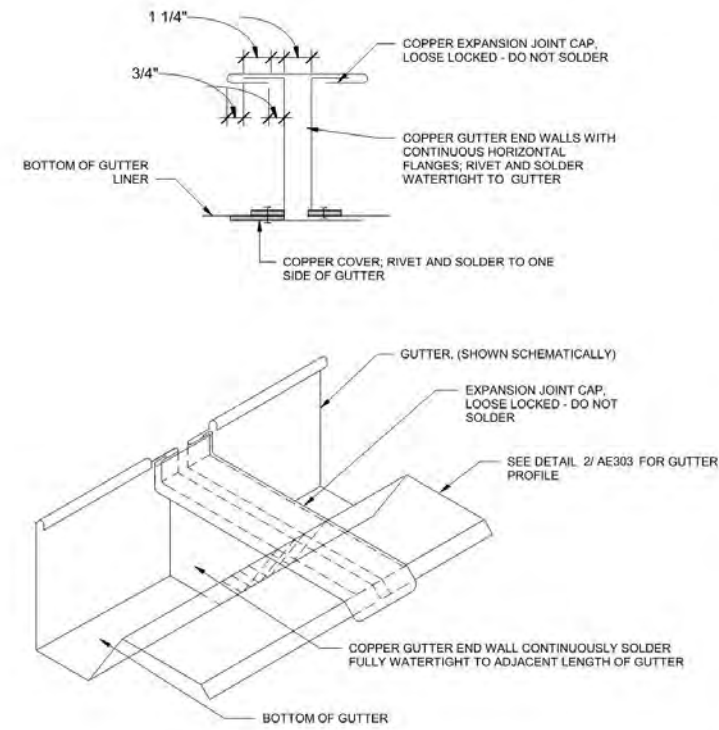
4 RIDGE TERMINATION AND GUTTER TERMINATION AT END WALL
NTS



1 EXISTING GUTTER AT ROOF EAVE
NTS



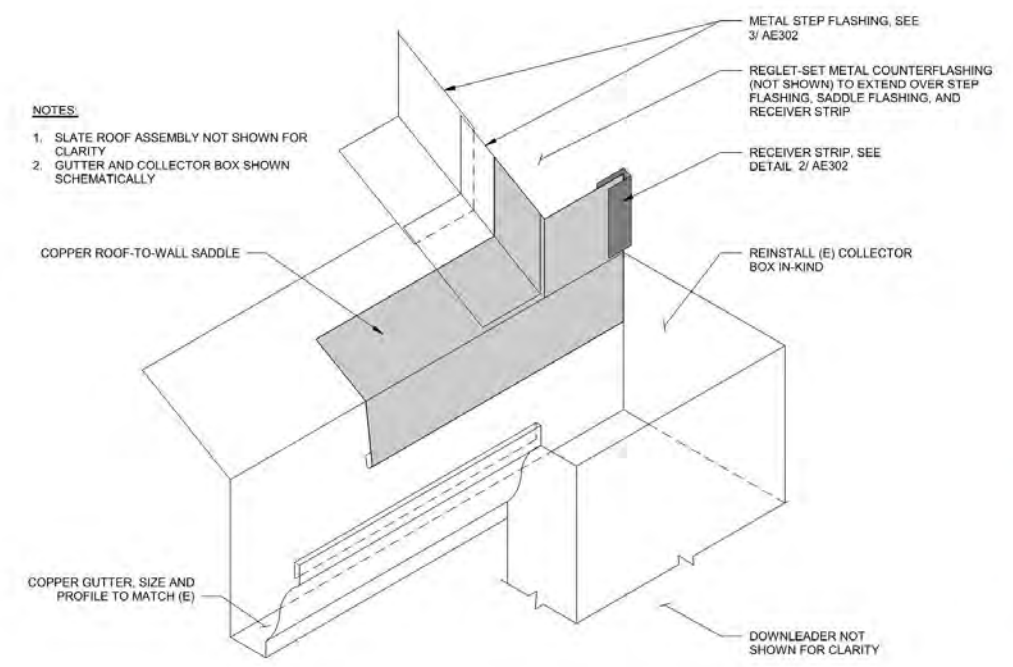
2 TYPICAL ROOF EAVE WITH GUTTER
NTS



3 TYPICAL GUTTER - BAFFLE EXPANSION JOINT - ISOMETRIC
NTS



4 EXISTING COLLECTION BOX
NTS



5 ISO GUTTER BOX
NTS



6 EXISTING HIP TERMINATION
NTS

ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.8500

STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANTS:
SMITHSON GUMPERTZ & REIGER, INC.
400 Essex Road Road
Waltham, MA 02451
Phone: 781.907.9099

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN BURGHESE
8 Roswell Drive, Suite 305C
Weymouth, MA 01978
Phone: 508.621.0593

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
161 Worcester Road, Suite 105
Franklin, MA 01701
Phone: 508.647.9250

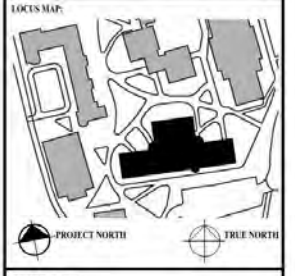
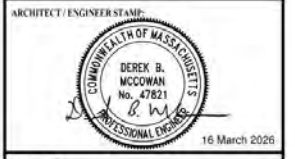
ELEVATOR CONSULTANT:
VDS
100 Summer Street, Suite 1909
Boston, MA 02110
Phone: 617.574.5099

SPECIFICATIONS CONSULTANT:
PAUL DIBONA SPECIFICATIONS, LLC
100 Highgate Avenue, Suite
Highland, MA 01918
Phone: 508.825.1199

REVISION HISTORY:

DATE	ISSUANCE
3.11.2020	1 (Final)

USE DISCLAIMER:
Warning: This document may contain sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of the document constitutes an agreement that this document and the information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, released or distributed without the express written permission of Harvard University and any distribution to non-affiliated entities is prohibited and shall be subject to a written confidentiality agreement.



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER	251116.00	
DRAWING TITLE	TYPICAL ROOF DETAILS	
CAD FILE NAME		
DRAWING SCALE	As indicated	
DRAWING NUMBER	AREA	SHEET NUMBER
AE303	575	

PERMIT SET - 3.16.2026

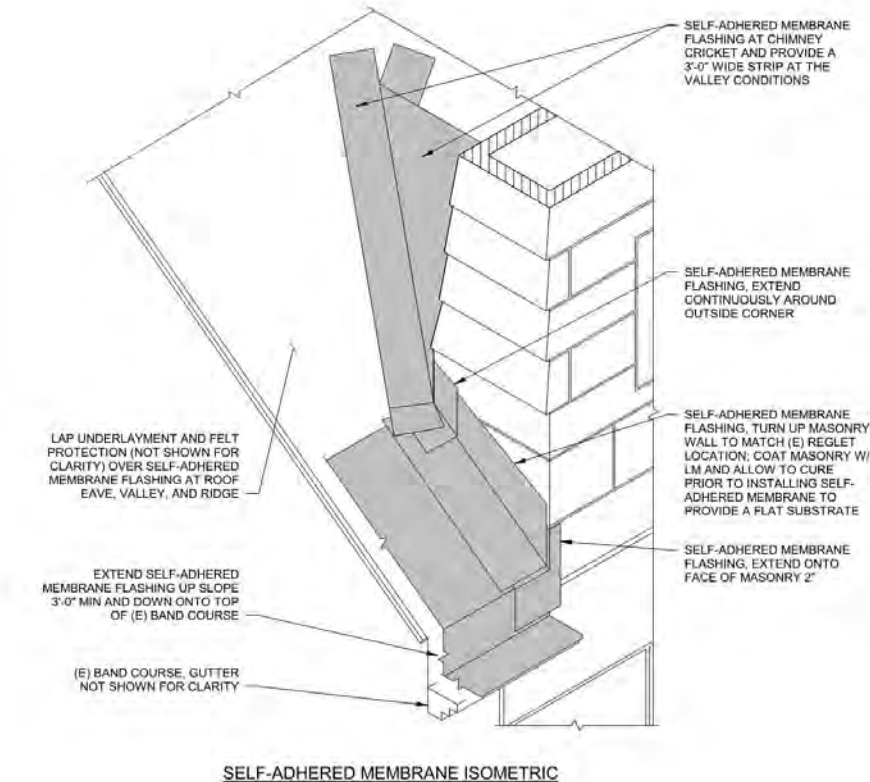


REMOVE ALL EXISTING STEP, VALLEY, AND RIDGE FLASHING AT CHIMNEY. SEE 4/ AE304 FOR MEMBRANE AND METAL FLASHING DETAILING

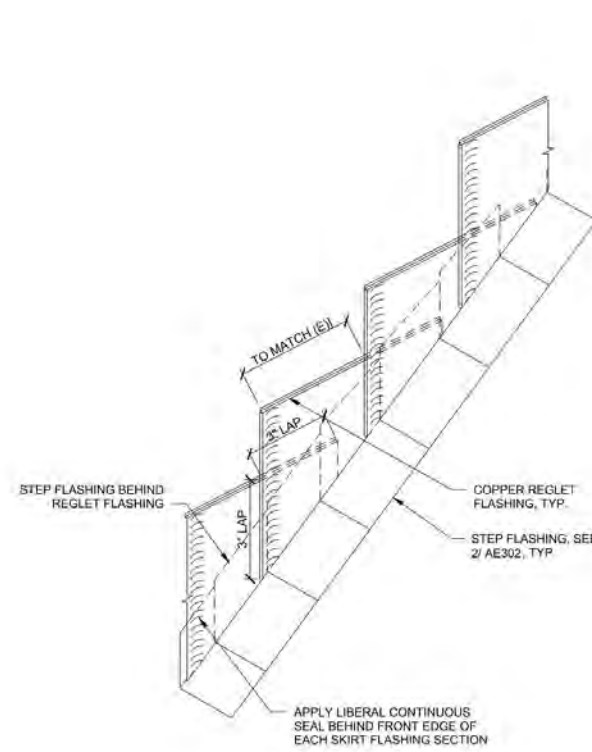


- NOTES:
1. REMOVE AND DISPOSE OF ALL (E) METAL FLASHING, UNDERLAYMENT, AND OTHER ACCESSORY MATERIALS AT THE CHIMNEY CRICKET AREA TO EXPOSE THE (E) ROOF WOOD PLANK DECK. NOTIFY ENGINEER IF (E) WOOD PLANK IS DAMAGED.
 2. SEE DETAILS 3/ AE304 AND 4/ AE304 FOR METAL FLASHING AT CHIMNEY CRICKET.

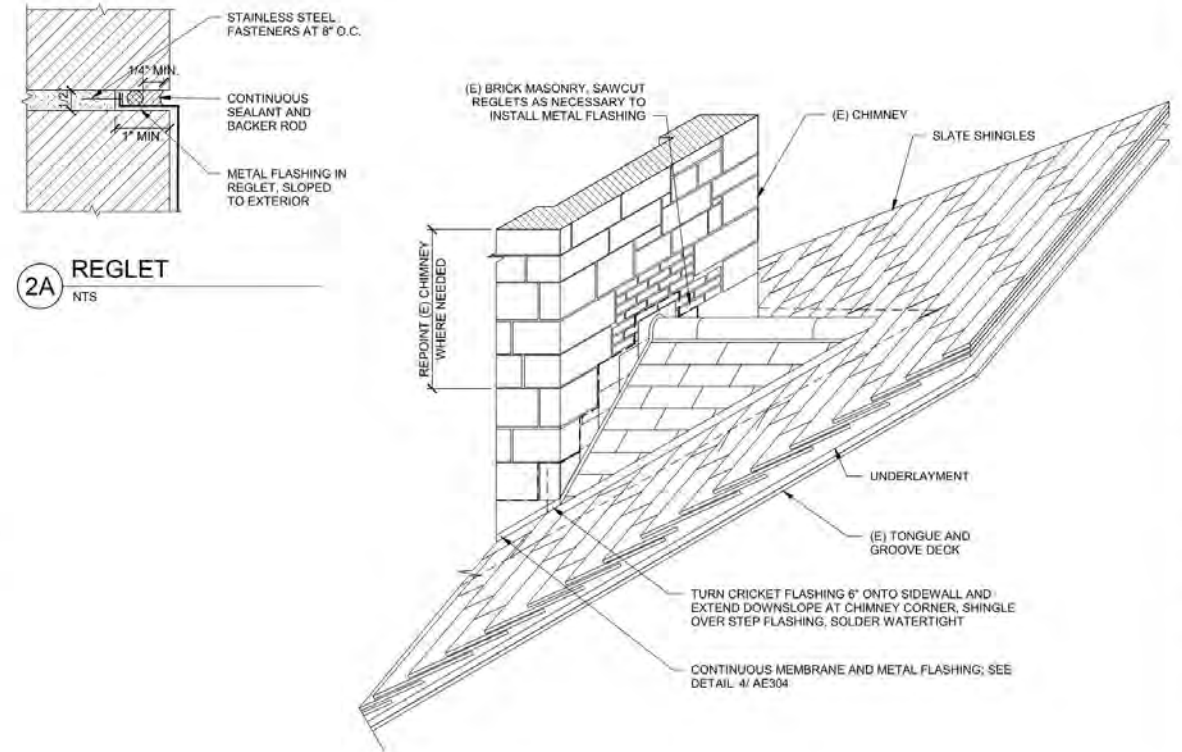
1 EXISTING CHIMNEY
NTS



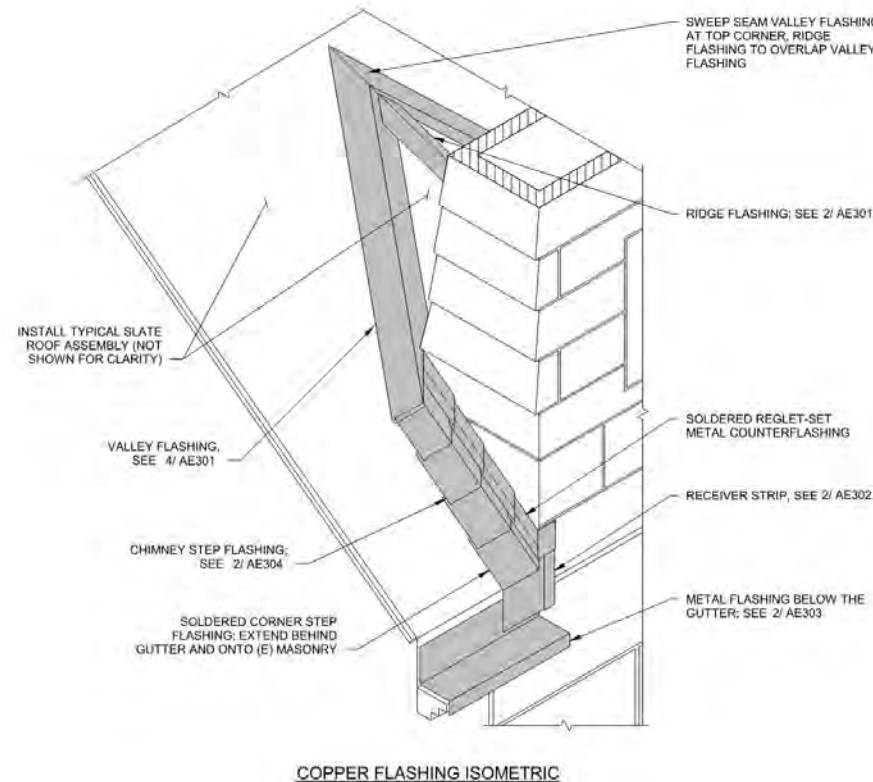
4 TYPICAL FLASHING SEQUENCE AT CHIMNEY
NTS



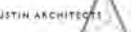
2 TYPICAL STEP FLASHING AND REGLET DETAIL AT CHIMNEY
NTS



3 CHIMNEY CRICKET FLASHING
NTS



ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.9500



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANTS:
STUBBINS GEMPERT & HIGEN, INC.
480 Essex Street, 8th Floor
Waltham, MA 02451
Phone: 781.867.0800

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN DESIGN
2 Riverhill Drive, Suite 100C
Waltham, MA 02451
Phone: 978.251.0900

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
141 Worcester Road, Suite 101
Framingham, MA 01701
Phone: 508.875.9200

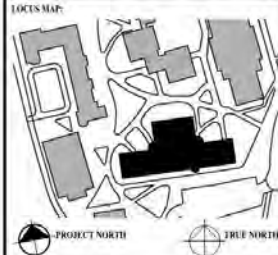
ELEVATOR CONSULTANT:
VETS
100 Summer Street, Suite 400
Boston, MA 02110
Phone: 617.578.5999

SPECIFICATIONS CONSULTANT:
PAUL DIBONA SPECIFICATIONS, LLC
100 Highgate Street
Arlington, MA 01775
Phone: 508.225.1899

REVISION HISTORY:

DATE	ISSUANCE

USE DISCLAIMER:
Warning: This document may contain sensitive data in proprietary and confidential information and is intended for use only by the named addressee. Any person in possession of this document is requested to agree to the following conditions: (a) this document and its information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, stored in a retrieval system, or distributed in any form or by any means without the prior written consent of the named addressee. If you are not the named addressee, you should not disseminate or distribute this information to any other person.



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
TYPICAL CRICKET DETAILS

CAD FILE NAME:

DRAWING SCALE: As indicated

DRAWING NUMBER: AE304 AREA: 575 SHEET NUMBER:

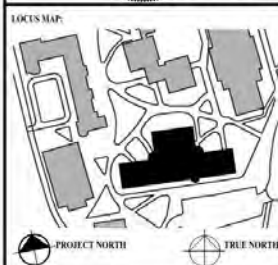
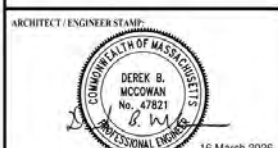
PERMIT SET - 3.16.2026



REVISION HISTORY:

DATE	ISSUANCE

USE DISCLAIMER:
Warning: This document may contain sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of this document constitutes an agreement that this document and the information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, stored in a retrieval system, or distributed without the express written permission of Austin Architects, LLC. Any distribution or use of this document in a manner not intended by Austin Architects, LLC is strictly prohibited.



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00
DRAWING TITLE: DORMER FLASHING

CAD FILE NAME:

DRAWING SCALE	AREA	SHEET NUMBER
As indicated	575	

PERMIT SET - 3.16.2026



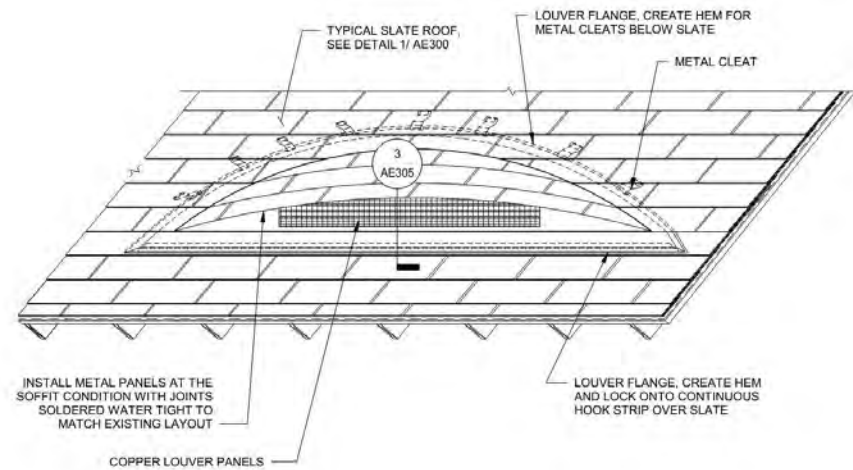
REMOVE AND REPLACE (E) SOFFIT METAL PANELS AS NEEDED TO PERFORM THE WORK

REMOVE AND REPLACE COPPER LOUVER PANELS INCLUDING ALL ASSOCIATED METAL AND MEMBRANE FLASHINGS. COPPER LOUVER PANELS TO MATCH EXISTING.

NOTES:

1. THE EAST SIDE EYEBROW DORMER (NOT SHOWN) IS SMALLER THAN THE WEST SIDE EYEBROW DORMER (SHOWN). ASSUME SIMILAR SCOPE OF WORK FOR THE EAST SIDE EYEBROW DORMER AND THAT BOTH DORMERS CONSIST OF SIMILAR CONSTRUCTION AND STRUCTURE.
2. NOTIFY ENGINEER OF ANY DAMAGE OR DETERIORATION TO THE WOOD FRAMING AT AND AROUND THE EYEBROW DORMER.
3. NOTIFY ENGINEER OF RECORD FOR HANDS-ON REVIEW OF THE EXISTING STRUCTURAL ELEMENTS WHEN LOUVER DEMO IS COMPLETE.

1 (E) EYEBROW DORMER - DEMO
NTS



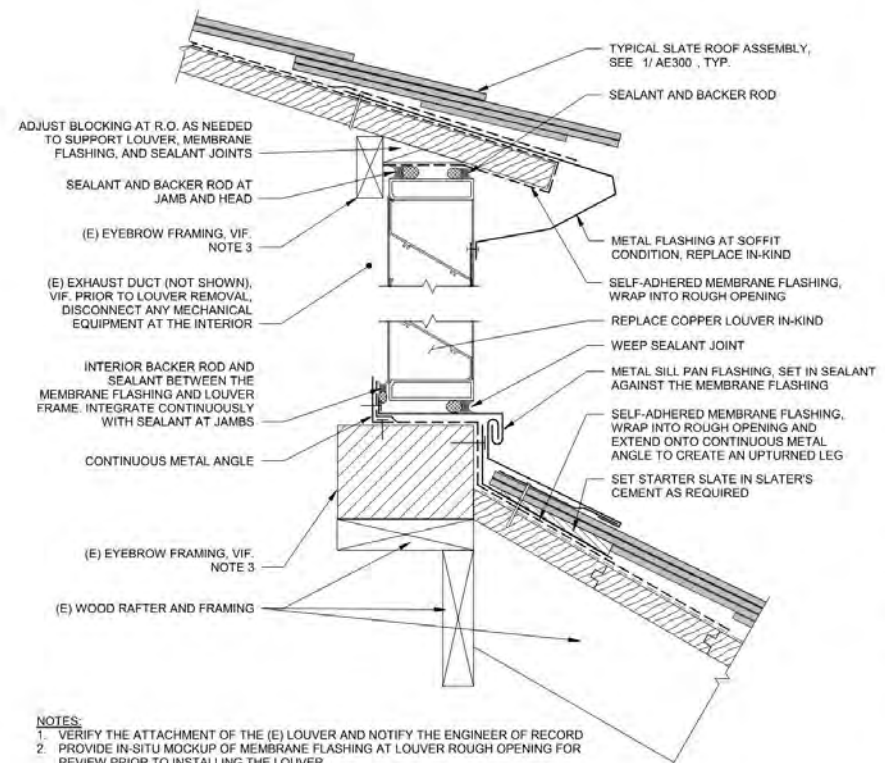
INSTALL METAL PANELS AT THE SOFFIT CONDITION WITH JOINTS SOLDERED WATER TIGHT TO MATCH EXISTING LAYOUT

COPPER LOUVER PANELS

NOTES:

1. THE FLASHING STRATEGY IN THIS DETAIL IS SHOWN SCHEMATICALLY

2 EYEBROW DORMER FLASHING
NTS



ADJUST BLOCKING AT R.O. AS NEEDED TO SUPPORT LOUVER, MEMBRANE FLASHING, AND SEALANT JOINTS

SEALANT AND BACKER ROD AT JAMB AND HEAD

(E) EYEBROW FRAMING, VIF, NOTE 3

(E) EXHAUST DUCT (NOT SHOWN), VIF. PRIOR TO LOUVER REMOVAL, DISCONNECT ANY MECHANICAL EQUIPMENT AT THE INTERIOR

INTERIOR BACKER ROD AND SEALANT BETWEEN THE MEMBRANE FLASHING AND LOUVER FRAME. INTEGRATE CONTINUOUSLY WITH SEALANT AT JAMBS

CONTINUOUS METAL ANGLE

(E) EYEBROW FRAMING, VIF, NOTE 3

(E) WOOD RAFTER AND FRAMING

TYPICAL SLATE ROOF ASSEMBLY, SEE 1/AE300, TYP.

SEALANT AND BACKER ROD

METAL FLASHING AT SOFFIT CONDITION, REPLACE IN-KIND

SELF-ADHERED MEMBRANE FLASHING, WRAP INTO ROUGH OPENING

REPLACE COPPER LOUVER IN-KIND

WEEP SEALANT JOINT

METAL SILL PAN FLASHING, SET IN SEALANT AGAINST THE MEMBRANE FLASHING

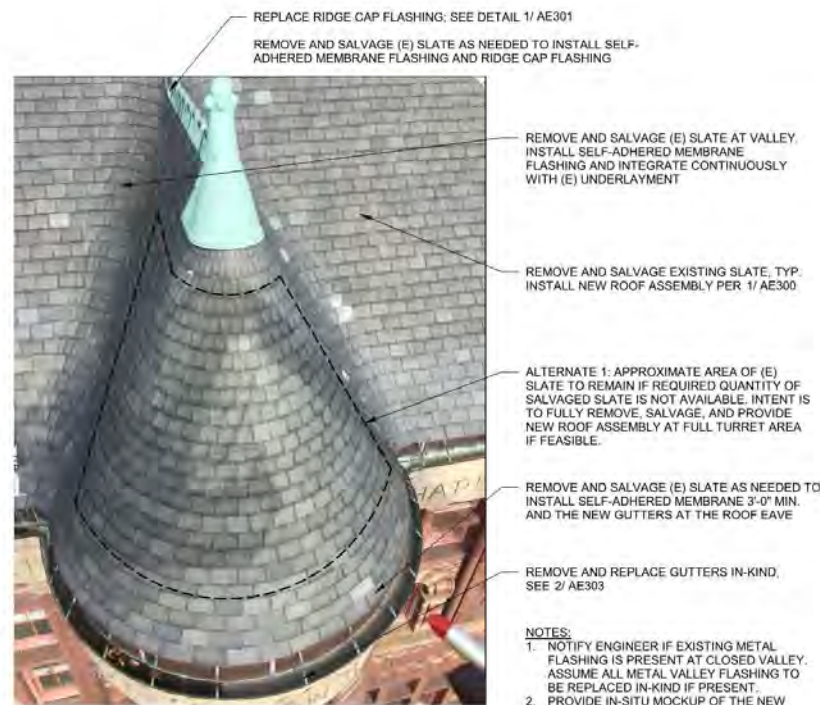
SELF-ADHERED MEMBRANE FLASHING, WRAP INTO ROUGH OPENING AND EXTEND ONTO CONTINUOUS METAL ANGLE TO CREATE AN UPTURNED LEG

SET STARTER SLATE IN SLATER'S CEMENT AS REQUIRED

NOTES:

1. VERIFY THE ATTACHMENT OF THE (E) LOUVER AND NOTIFY THE ENGINEER OF RECORD
2. PROVIDE IN-SITU MOCKUP OF MEMBRANE FLASHING AT LOUVER ROUGH OPENING FOR REVIEW PRIOR TO INSTALLING THE LOUVER
3. NOTIFY ENGINEER OF RECORD FOR HANDS-ON REVIEW OF THE EXISTING STRUCTURAL ELEMENTS WHEN LOUVER DEMO IS COMPLETE

3 SECTION AT DORMER LOUVER
NTS



REPLACE RIDGE CAP FLASHING. SEE DETAIL 1/AE301

REMOVE AND SALVAGE (E) SLATE AS NEEDED TO INSTALL SELF-ADHERED MEMBRANE FLASHING AND RIDGE CAP FLASHING

REMOVE AND SALVAGE (E) SLATE AT VALLEY, INSTALL SELF-ADHERED MEMBRANE FLASHING AND INTEGRATE CONTINUOUSLY WITH (E) UNDERLAYMENT

REMOVE AND SALVAGE EXISTING SLATE, TYP. INSTALL NEW ROOF ASSEMBLY PER 1/AE300

ALTERNATE 1: APPROXIMATE AREA OF (E) SLATE TO REMAIN IF REQUIRED QUANTITY OF SALVAGED SLATE IS NOT AVAILABLE. INTENT IS TO FULLY REMOVE, SALVAGE, AND PROVIDE NEW ROOF ASSEMBLY AT FULL TURRET AREA IF FEASIBLE.

REMOVE AND SALVAGE (E) SLATE AS NEEDED TO INSTALL SELF-ADHERED MEMBRANE 3'-0" MIN. AND THE NEW GUTTERS AT THE ROOF EAVE

REMOVE AND REPLACE GUTTERS IN-KIND, SEE 2/AE303

NOTES:

1. NOTIFY ENGINEER IF EXISTING METAL FLASHING IS PRESENT AT CLOSED VALLEY. ASSUME ALL METAL VALLEY FLASHING TO BE REPLACED IN-KIND IF PRESENT.
2. PROVIDE IN-SITU MOCKUP OF THE NEW SELF-ADHERED MEMBRANE INTEGRATED WITH THE (E) UNDERLAYMENT

4 (E) FRONT ENTRANCE DORMER
NTS



REPLACE METAL COUNTER FLASHING IN-KIND

REMOVE AND REPLACE RIDGE CAP FLASHING AND ASSOCIATED METAL FLASHING. PROVIDE RIDGE CAP WITH PERIODIC BUTTONS TO MATCH (E).

DECORATIVE METAL RIDGE TERMINATION CAP, PROFILE TO MATCH (E). FULLY SOLDER ALL JOINTS WATERTIGHT.

PROVIDE SELF-ADHERED MEMBRANE FLASHING AT VALLEY CONDITION AND AT RIDGE, TYP.

ALTERNATE 1: APPROXIMATE AREA OF (E) SLATE TO REMAIN IF REQUIRED QUANTITY OF SALVAGED SLATE IS NOT AVAILABLE. INTENT IS TO FULLY REMOVE, SALVAGE, AND PROVIDE NEW ROOF ASSEMBLY AT FULL TURRET AREA IF FEASIBLE.

5 FRONT ENTRANCE DORMER CAP FLASHING
NTS



ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.9500



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
STUDIOSHIPPERTZ & HIGER, INC.
480 Essex Park Road
Waltham, MA 02451
Phone: 781.867.0000

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN DRAGHS
2 Rowland Drive, Suite 105C
Waltham, MA 02451
Phone: 908.251.0001

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
141 Worcester Road, Suite 101
Framingham, MA 01701
Phone: 508.847.9200

ELEVATOR CONSULTANT:
VDES
100 Summer Street, Suite 400
Boston, MA 02110
Phone: 617.578.5000

SPECIFICATIONS CONSULTANT:
PAUL DIBONA SPECIFICATIONS, LLC
100 Ryeview Drive, Suite
Auripiscus, MA 01974
Phone: 508.623.1000

REVISION HISTORY:

DATE	REVISION

USE DISCLAIMER:
This document may contain sensitive data in proprietary and confidential information and is intended for use only by the person or persons named herein. Any use of this document without the written consent of the person or persons named herein is strictly prohibited. The user of this document shall be held responsible for any and all consequences of any use of this document that is not intended or authorized. The user of this document shall be held responsible for any and all consequences of any use of this document that is not intended or authorized. The user of this document shall be held responsible for any and all consequences of any use of this document that is not intended or authorized.

ARCHITECT/ENGINEER SEAL:
Derek B. McCowan
No. 47821
Professional Engineer
16 March 2026



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
SKYLIGHT DETAILS

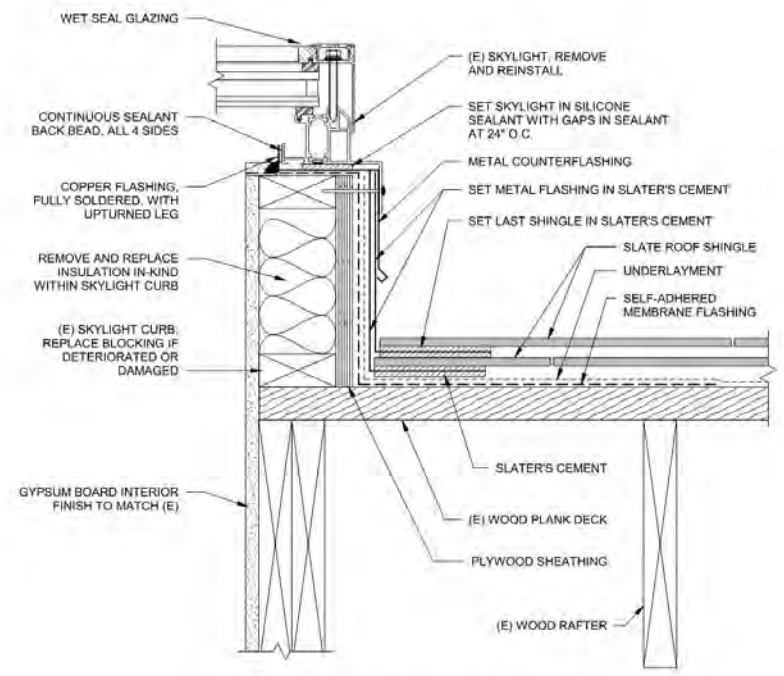
CAD FILE NAME:
DRAWING SCALE: As indicated

DRAWING NUMBER: AE306 AREA: 575 SHEET NUMBER:

PERMIT SET - 3.16.2026

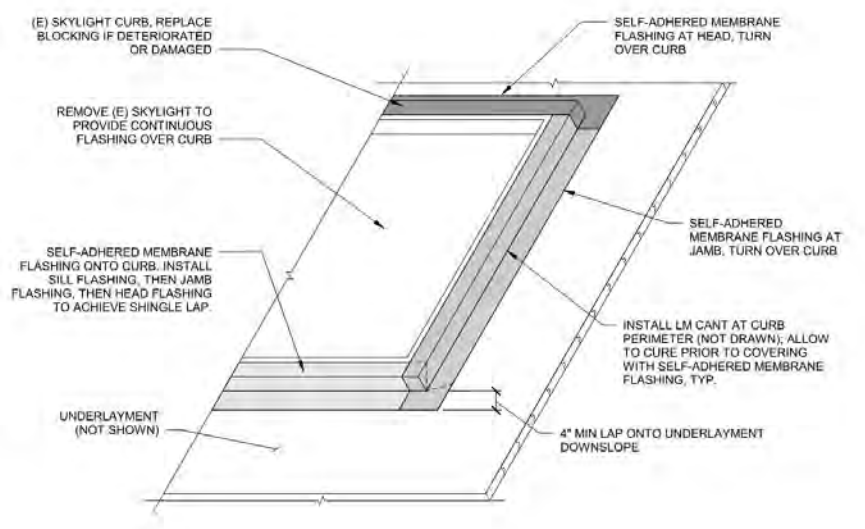


1 (E) SKYLIGHT AT ROOF 3
NTS



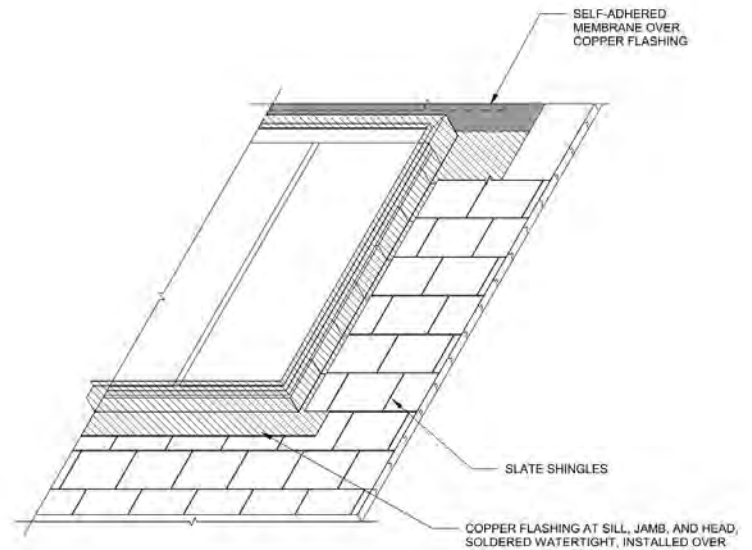
NOTES:
1. SKYLIGHT AND FASTENING SHOWN SCHEMATICALLY.

2 TYPICAL SKYLIGHT CURB
NTS



NOTES:
1. ROOF COMPONENTS BELOW ROOF DECK AND SKYLIGHT NOT SHOWN FOR CLARITY

3 ISO SKYLIGHT FLASHING DETAILS
NTS

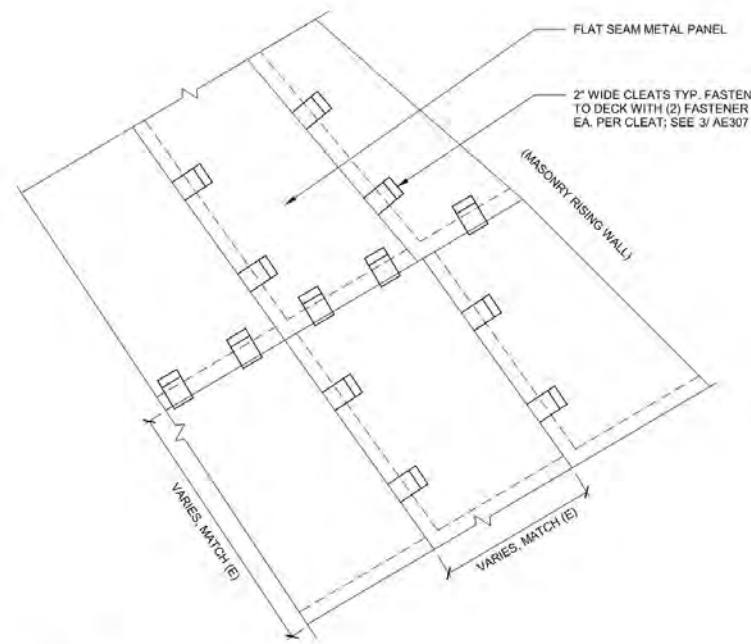


NOTES:
1. UNDERLAYMENT AND SELF-ADHERED MEMBRANE FLASHING UNDERNEATH METAL FLASHING NOT SHOWN FOR CLARITY

4 TYPICAL SKYLIGHT FLASHING DETAILS
NTS

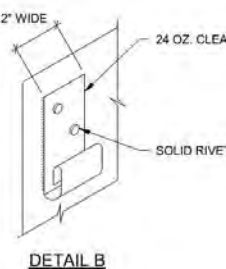
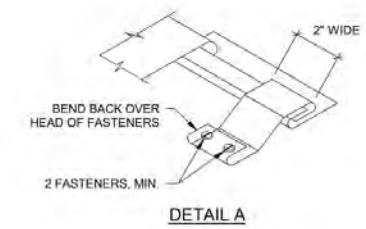


1 (E) COPPER PORTICO ROOF
NTS

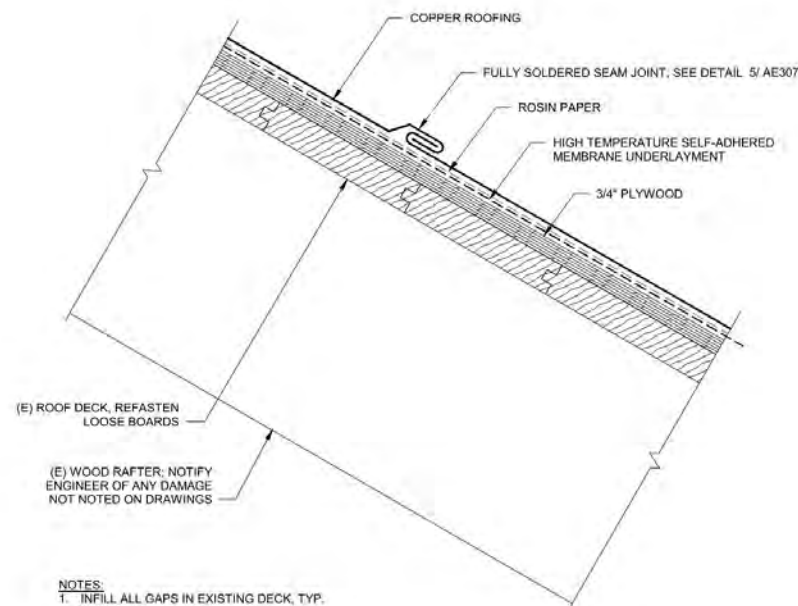


NOTES:
1. LAYOUT OF NEW PANELS TO MATCH (E). PART PLAN IS SHOWN SCHEMATICALLY.
2. SOLDER ALL JOINTS BETWEEN FLAT SEAM PANELS, EXCEPT AT EXPANSION JOINTS OR ON SLOPES ≥ 3 IN/FT

2 FLAT SEAM PANEL PART PLAN
3/4" = 1'-0"

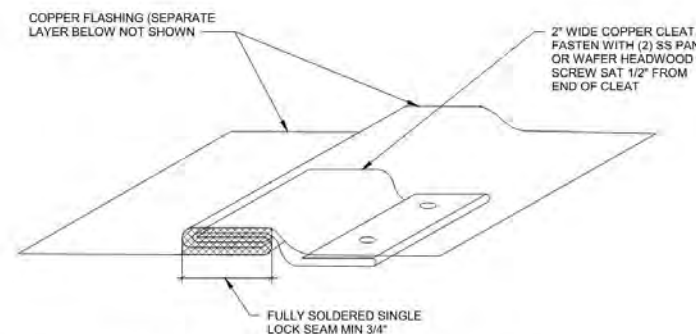


3 METAL CLEAT
NTS

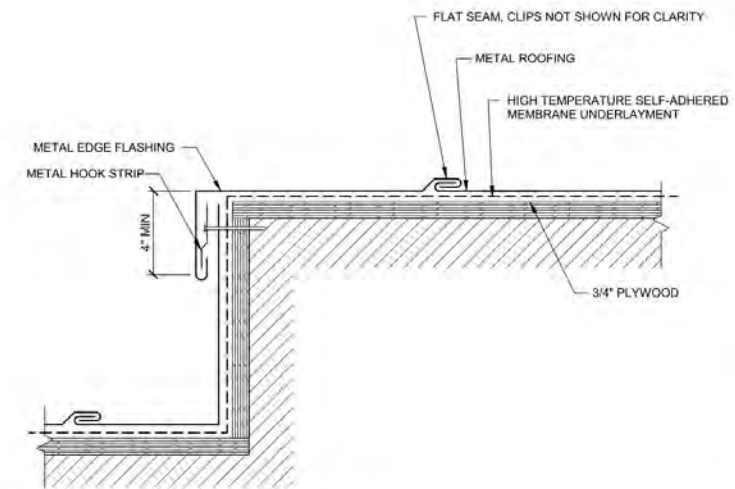


NOTES:
1. INFILL ALL GAPS IN EXISTING DECK, TYP. SEE DETAIL 4/AE300 SIM.

4 TYPICAL FLAT SEAM METAL ROOFING ASSEMBLY
NTS



5 FULLY SOLDERED SINGLE LOCK SEAM
NTS



6 RAISED METAL ROOF CURB
NTS

HARVARD LAW SCHOOL



Facilities Management Office
Holmes Hall 4
18 Everett Street
Cambridge MA, 02138

tel: 617.495.5521 fax: 617.495.3838

ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.8500



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANTS:
SMYTHSON GILBERTZ & HIGER, INC.
460 Essex Park Road
Waltham, MA 02451
Phone: 781.907.6600

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN DUGHERS
8 Roswell Drive, Suite 305C
Worcester, MA 01691
Phone: 508.851.8893

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
161 Worcester Road, Suite 105
Franklin, MA 01751
Phone: 508.879.0200

ELEVATOR CONSULTANT:
VDS
100 Summer Street, Suite 400
Boston, MA 02110
Phone: 617.574.5099

SPECIFICATIONS CONSULTANT:
PAUL DIBONA SPECIFICATIONS, LLC
100 Highgate Street
Hingham, MA 01904
Phone: 508.425.1995

REVISION HISTORY:

DATE	REVISION

USE DISCLAIMER:
Warning: This document may contain sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of the document constitutes an agreement that the document and the information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, stored in a retrieval system, or distributed in any form or by any means without the prior written permission of Harvard University and any distribution or reproduction of this document is prohibited without the prior written consent of the architect/engineer.

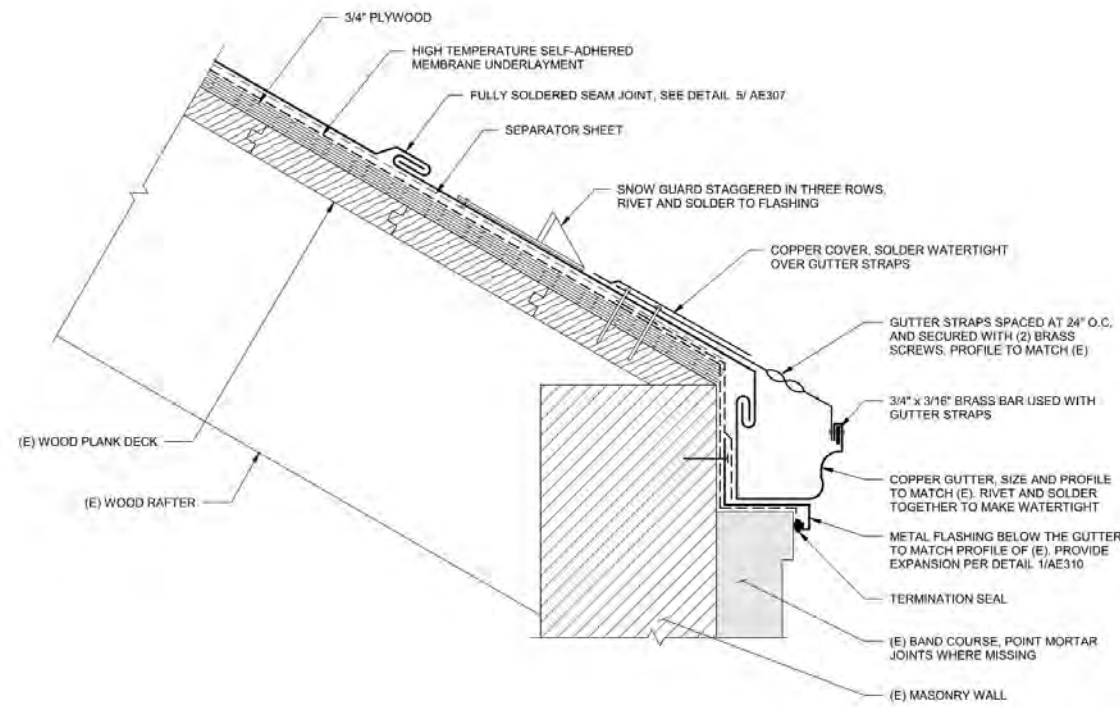


PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

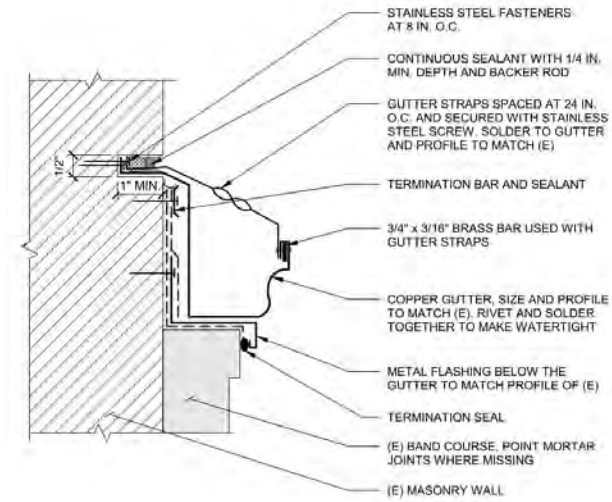
PROJECT NUMBER: 251116.00
DRAWING TITLE:
TYPICAL COPPER ROOF DETAILS

CAD FILE NAME:
DRAWING SCALE: As indicated
DRAWING NUMBER: AE307
AREA: 575
SHEET NUMBER:

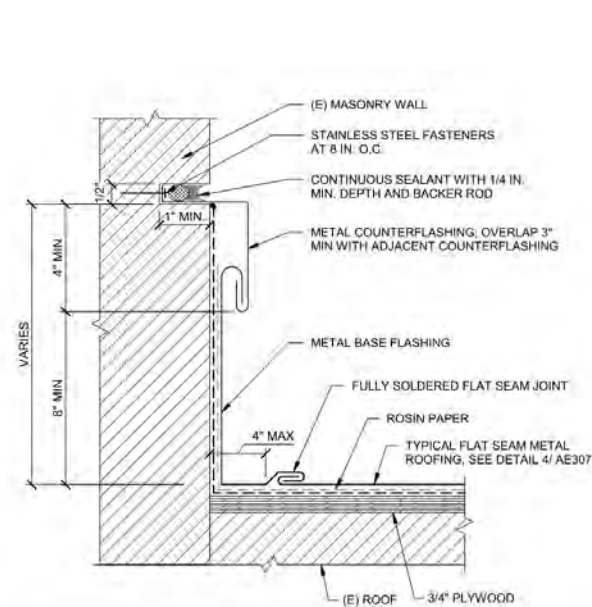
PERMIT SET - 3.16.2026



1 TYPICAL METAL ROOF EAVE WITH GUTTER
NTS



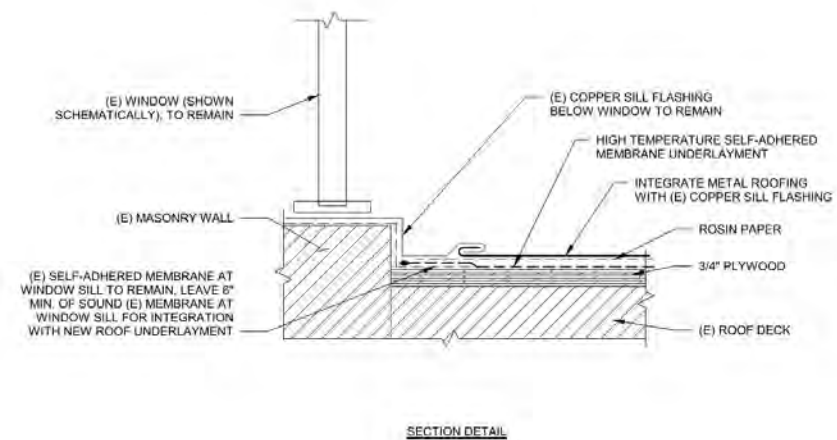
2 GUTTER AT MASONRY WALL
NTS



3 METAL ROOF AT RISING WALL
NTS



4 TYPICAL RISING WALL AT WINDOW
NTS



ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge, MA 02138
Phone: 617.441.9500



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANTS:
STANISLAW GEMPERT & HIGER, INC.
460 Essex Park Road
Waltham, MA 02451
Phone: 781.867.0000

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN HUGHES
2 Roswell Drive, Suite 105C
Waltham, MA 01975
Phone: 978.251.0000

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
141 Worcester Road, Suite 101
Framingham, MA 01701
Phone: 508.879.9200

ELEVATOR CONSULTANT:
VDS
400 Summer Street, Suite 400
Boston, MA 02110
Phone: 617.578.5000

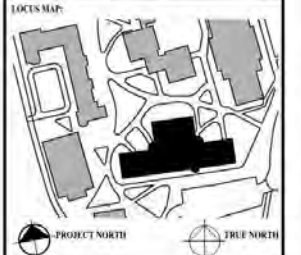
SPECIFICATIONS CONSULTANT:
PAUL DEBONA SPECIFICATIONS, LLC
100 Ripley Street, Suite 200
Arlington, MA 01775
Phone: 508.223.1000

REVISION HISTORY:

DATE	REVISION

USE DISCLAIMER:
Warning: This document may contain sensitive data in proprietary information and therefore must be treated as a confidential document. Acceptance of this document constitutes an agreement that the document and the information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, stored in a retrieval system or disseminated in any manner without the prior written consent of Harvard University and any distribution to third parties is prohibited unless authorized by the author and under confidentiality agreement.

ARCHITECT/ENGINEER SEAL:



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
TYPICAL COPPER ROOF DETAILS

CAD FILE NAME:

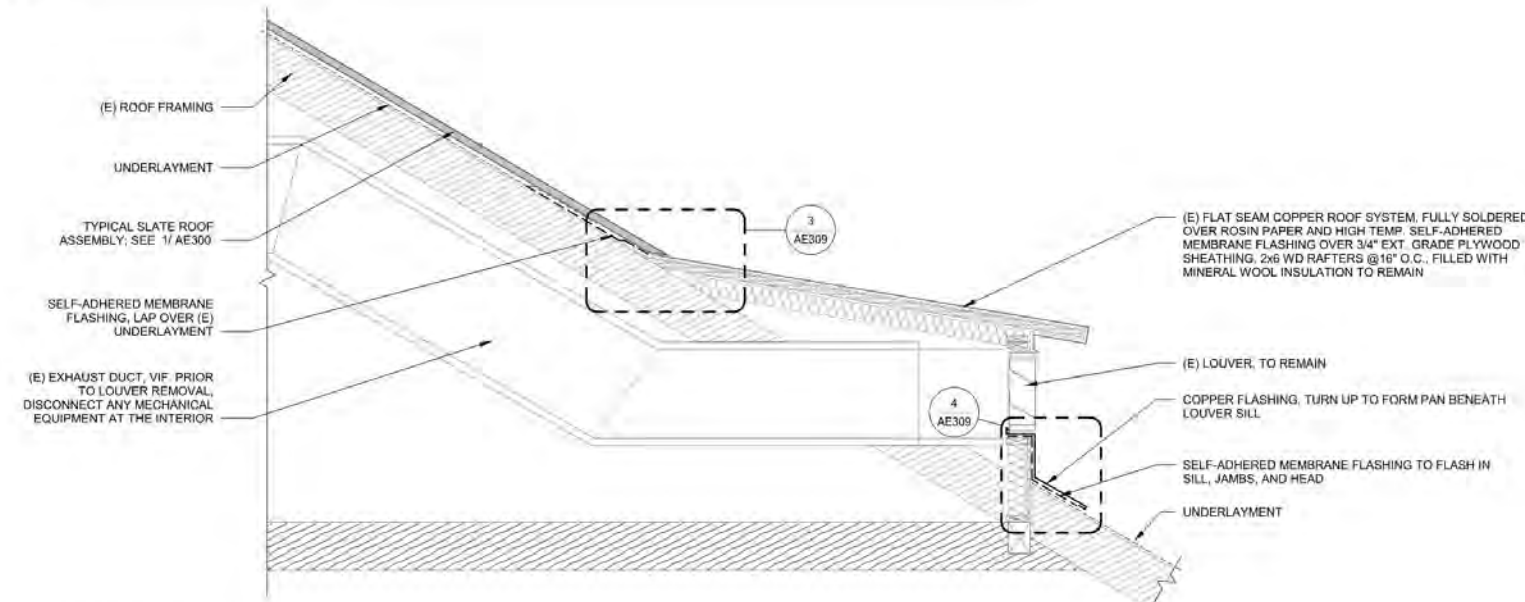
DRAWING SCALE: 3" = 1'-0"

DRAWING NUMBER: AE308 AREA: 575 SHEET NUMBER:

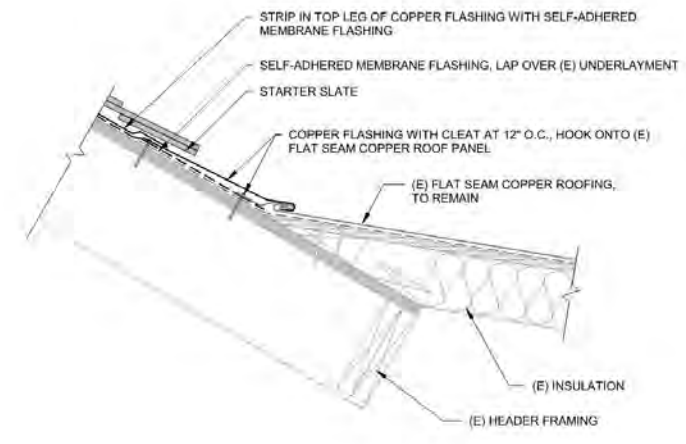
PERMIT SET - 3.16.2026



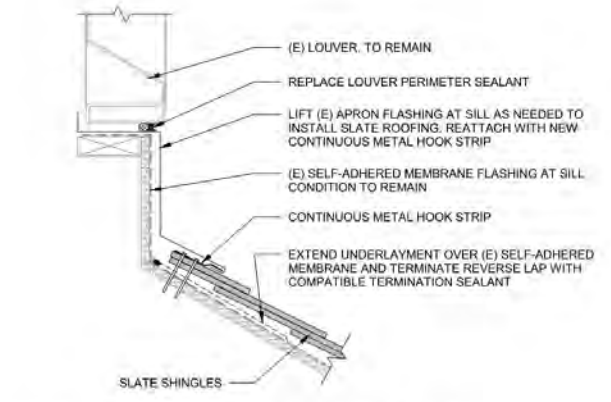
1 (E) NORTH DORMER
NTS



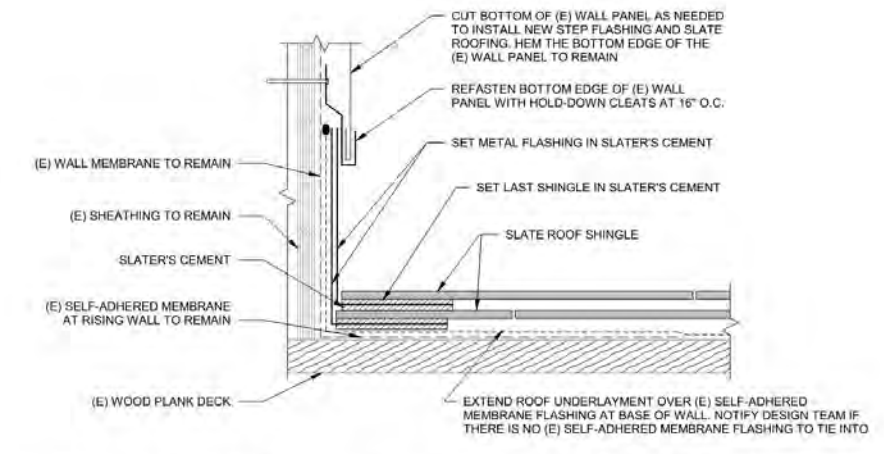
2 SECTION THROUGH LOUVER CONSTRUCTION
NTS



3 DORMER ROOF INTERSECTION FRAMING DETAIL
NTS



4 SILL SECTION DETAIL AT LOUVER
NTS



5 TYPICAL BASE OF WALL FLASHING AT METAL CLAD DORMER
NTS

ARCHITECT:
AUSTIN ARCHITECTS, LLC
274 Concord Avenue
Cambridge MA 02138
Phone: 617.441.9500

STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
STUDIOSINTEGRITY & RIGER, INC.
480 Essex Park Road
Waltham MA 02451
Phone: 781.867.0800

FIRE ALARM & SPRINKLER AND CODE CONSULTANT:
JENSEN DESIGN
3 Rowland Drive, Suite 100C
Waltham, MA 01974
Phone: 978.251.0993

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
CMTA
141 Worcester Road, Suite 101
Framingham MA 01701
Phone: 508.879.9200

ELEVATOR CONSULTANT:
VDS
100 Summer Street, Suite 400
Boston, MA 02110
Phone: 617.578.9099

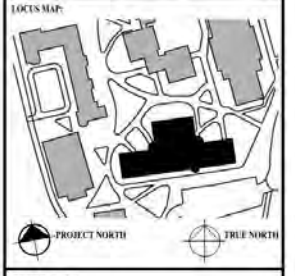
SPECIFICATIONS CONSULTANT:
PAUL DEBONA SPECIFICATIONS, LLC
100 High Street
Aurora, MA 01801
Phone: 508.825.1199

REVISION HISTORY:

DATE	ISSUANCE

USE DISCLAIMER:
"Warning: This document may contain sensitive or proprietary information and disclosure could be detrimental to the University. Any person who has been granted access to this document is authorized to use the information contained herein only for the purposes intended and to maintain the confidentiality of the information. No part of this document shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Harvard University and any distribution to third parties is prohibited. This document is the property of the University and shall remain the property of the University. All rights reserved."

ARCHITECT/ENGINEER STAMP:
DEREK B. MCCOWAN
No. 47821
PROFESSIONAL ENGINEER
19 March 2026



PROJECT NAME:
Austin Hall
Deferred Maintenance
1515 Massachusetts Avenue
Cambridge MA 02138

PROJECT NUMBER: 251116.00

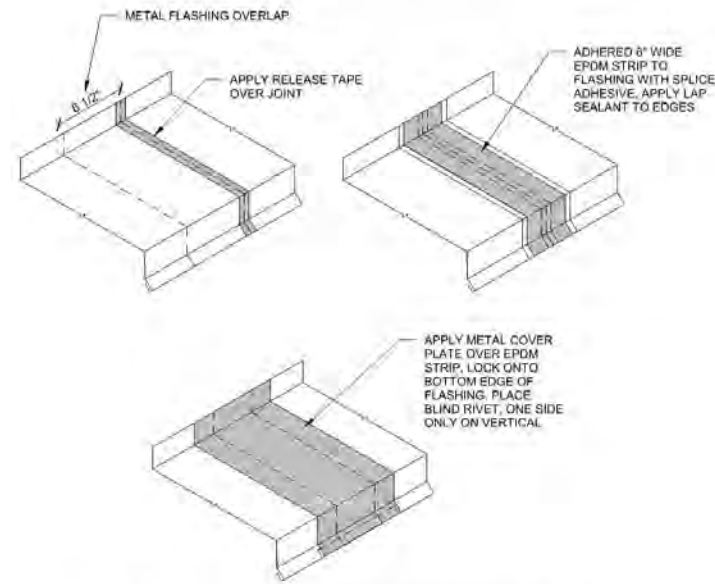
DRAWING TITLE:
DORMER DETAILS

CAD FILE NAME:

DRAWING SCALE: As indicated

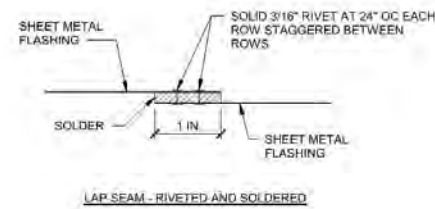
DRAWING NUMBER	AREA	SHEET NUMBER
AE309	575	

PERMIT SET - 3.16.2026

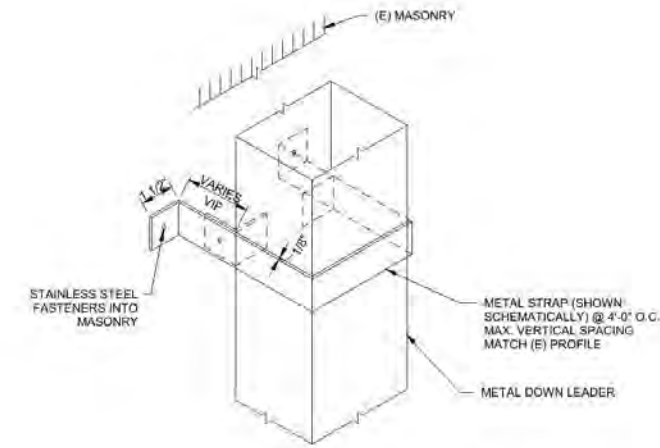


NOTES:
 1. PROVIDE EXPANSION JOINTS AT INTERVALS NO GREATER THAN 24 FT AND AT 2 FT AWAY FROM ALL CHANGES IN FLASHING DIRECTION (EACH SIDE) AND ALL TERMINATIONS OF FLASHING

1 TYPICAL FLASHING EXPANSION JOINT
 NTS



2 TYPICAL METAL FLASHING/GUTTER SOLDER JOINTS
 NTS



3 TYPICAL DOWNLEADER BRACKET
 NTS

HARVARD LAW SCHOOL



Facilities Management Office
 Holmes Hall 4
 18 Everett Street
 Cambridge MA, 02138

tel: 617.495.5571 fax: 617.495.0308

ARCHITECT:
 AUSTIN ARCHITECTS, LLC
 274 Cabot Avenue
 Cambridge, MA 02138
 Phone: 617.441.9530



STRUCTURAL ENGINEER & BUILDING ENVELOPE CONSULTANT:
 S33 DESIGN PARTNERS, INC.
 480 Essex Street, Suite 200
 Waltham, MA 02451
 Phone: 781.937.5000

FIRE ALARM & SMOKE DETECTOR CONSULTANT:
 JENSEN DESIGN
 2 Kendall Drive, Suite 100
 Northampton, MA 01061
 Phone: 413.253.0800

MECHANICAL, ELECTRICAL & PLUMBING CONSULTANT:
 CMFA
 141 Worcester Road, Suite 101
 Framingham, MA 01701
 Phone: 508.847.9284

ELEVATOR CONSULTANT:
 VES
 100 Summer Street, Suite 2000
 Boston, MA 02109
 Phone: 617.478.5099

SPECIFICATIONS CONSULTANT:
 PAUL DEBONO SPECIFICATIONS, LLC
 100 Ripley Street, Suite 200
 Haverhill, MA 01830
 Phone: 978.325.1899

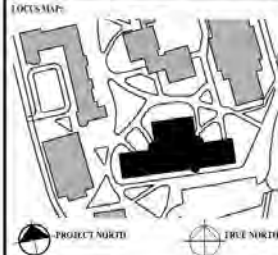
REVISION HISTORY:

DATE	DESCRIPTION
03/15/2026	

USE DISCLAIMER:
 Warning: This document may contain confidential information. Acceptance of any document constitutes an agreement that the information contained herein shall be maintained and transmitted in confidence. Any person who discloses this information, in whole or in part, to any other person without the express written permission of the Harvard University and any distribution to any third party shall constitute a breach of the confidentiality agreement.

ARCHITECT/ENGINEER SEAL:

 10 March 2026



PROJECT NAME:
 Austin Hall
 Deferred Maintenance
 1515 Massachusetts Avenue
 Cambridge MA 02138

PROJECT NUMBER: 251116.00

DRAWING TITLE:
 TYPICAL SLATE ROOF
 DETAILS

CAD FILE NAME:

DRAWING SCALE: As indicated

DRAWING NUMBER	AREA	SHEET NUMBER
AE310	575	

PERMIT SET - 3.16.2026

