

406 BROADWAY DEVELOPMENT



406 Broadway
Cambridge, MA 02139

PROJECT NUMBER: 25049
FOR APPROVAL
DATE: 01/20/2026

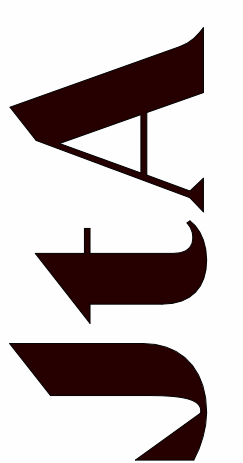
SHEET NUMBER	SHEET NAME
01-GENERAL	
0 0.00	COVER SHEET & SHEET LIST
A 0.01	CODE & ZONING ANALYSIS
A 0.02	GENERAL NOTES, STANDARDS & ABBREVIATIONS
03-DEMOLITION	
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A 1.01	GROUND FLOOR PLAN
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A 3.07	BRICK FACADE DETAILS
A 9.01	3D VISUALIZATION - CONCEPT 1
A 9.02	3D VISUALIZATION - CONCEPT 1
A 9.03	3D VISUALIZATION - CONCEPT 1
A 9.04	3D VISUALIZATION - FACADE DETAILS

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LANDSCAPE ARCHITECT
OFFSHOOTS INC.
547 RUTHERFORD AVENUE
CHARLESTOWN, MA 02129
(617) 500-6530-T

CONTACT: JACK BERESFORD
EMAIL: JACK@OFFSHOOTSINC.COM

CIVIL ENGINEER
R.J. O'CONNELL & ASSOCIATES INC.
80 MONTVALE AVENUE, STE 201
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(781) 764-3593-T

CONTACT: BRIAN TIMM
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ARCHITECT
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(617) 764-3593-T

CONTACT: GEOFFREY FARRELL
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CLIENT
JINSHAN ZUO
406 BROADWAY
CAMBRIDGE, MA 02139

CONTACT: SAM ZUO
EMAIL: SUNNY.ZUO123@GMAIL.COM

PREPARED FOR:
 OWNER OF RECORD:
 S&J BROADWAY RE LLC
 406 BROADWAY
 CAMBRIDGE, MA 02139

REFERENCES:
 DEED: BK 72562, PG 83
 BK 320, PG 38
 PLAN: BK 4597, PG END
 BK 1941, PG 270
 BK 1968, PG 479
 PL 1981 #326
 PL 2003 #1061

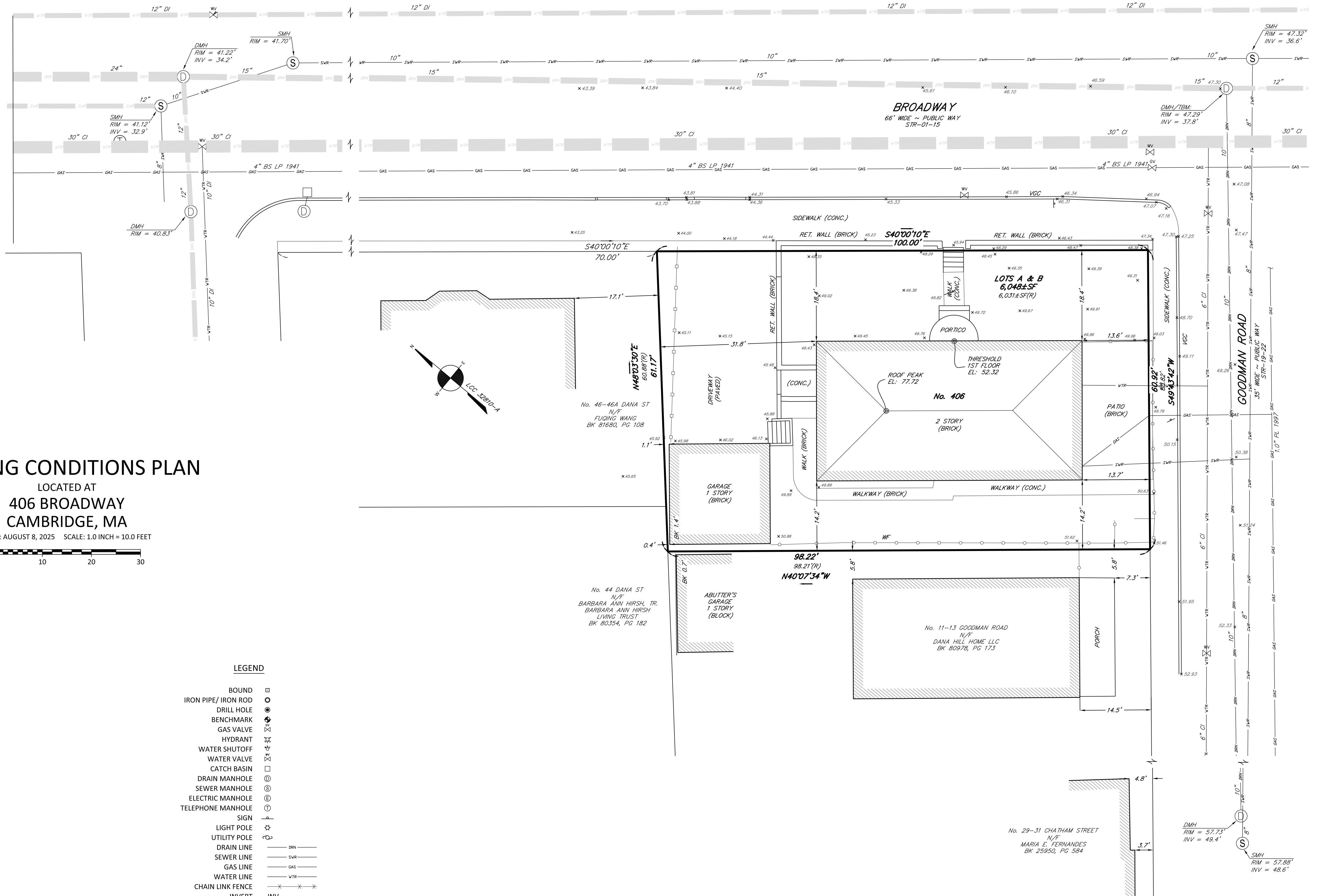
LCC:
 32810-A
 32810-B
 32810-C

CITY OF CAMBRIDGE ENGINEERING RECORDS
 FB 155, PGS 91, 94

NOTES:
 MAP/LOT: 115-86

EXISTING CONDITIONS PLAN
 LOCATED AT
406 BROADWAY
CAMBRIDGE, MA

DATE: AUGUST 8, 2025 SCALE: 1.0 INCH = 10.0 FEET



LEGEND

- | | |
|--------------------------|-----------|
| BOUND | □ |
| IRON PIPE/ IRON ROD | ○ |
| DRILL HOLE | ● |
| BENCHMARK | ⊕ |
| GAS VALVE | ⊗ |
| HYDRANT | ⊗ |
| WATER SHUTOFF | ⊗ |
| WATER VALVE | ⊗ |
| CATCH BASIN | □ |
| DRAIN MANHOLE | ⊕ |
| SEWER MANHOLE | ⊕ |
| ELECTRIC MANHOLE | ⊕ |
| TELEPHONE MANHOLE | ⊕ |
| SIGN | + |
| LIGHT POLE | ☆ |
| UTILITY POLE | ⊕ |
| DRAIN LINE | — DRN — |
| SEWER LINE | — SVR — |
| GAS LINE | — GAS — |
| WATER LINE | — VTR — |
| CHAIN LINK FENCE | — X — X — |
| INVERT | INV |
| POLY VINYL CHLORIDE | PVC |
| VITRIFIED CLAY | VC |
| REINFORCED CONCRETE PIPE | RCP |
| FOUND | FND |
| CONCRETE BOUND | CB |
| STONE BOUND | SB |

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 14, 2025 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ARE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

ABUTTERS' NAMES REFER TO CURRENT CITY OF CAMBRIDGE ASSESSOR'S RECORDS AND/OR CURRENT RECORDS AVAILABLE AT THE REGISTRY OF DEEDS.

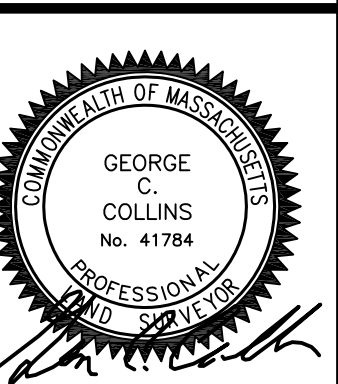
VERTICAL DATUM
 THE ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO CAMBRIDGE DATUM.

BENCHMARK
 1) RIM OF DRAIN MANHOLE
 ELEVATION = 47.29'

UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE PRIOR TO ANY EXCAVATIONS.

FEMA
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
 ZONE: X
 COMMUNITY PANEL: 25017C0576E
 EFFECTIVE DATE: 06/04/2010

FIELD: MO, SM
 DRAFT: RAP, SAP
 CHECK: GCC
 DATE: 08-08-25
 JOB # 25-00403





406 BROADWAY DEVELOPMENT

FOR APPROVAL

4/2/2026 11:09:53 AM

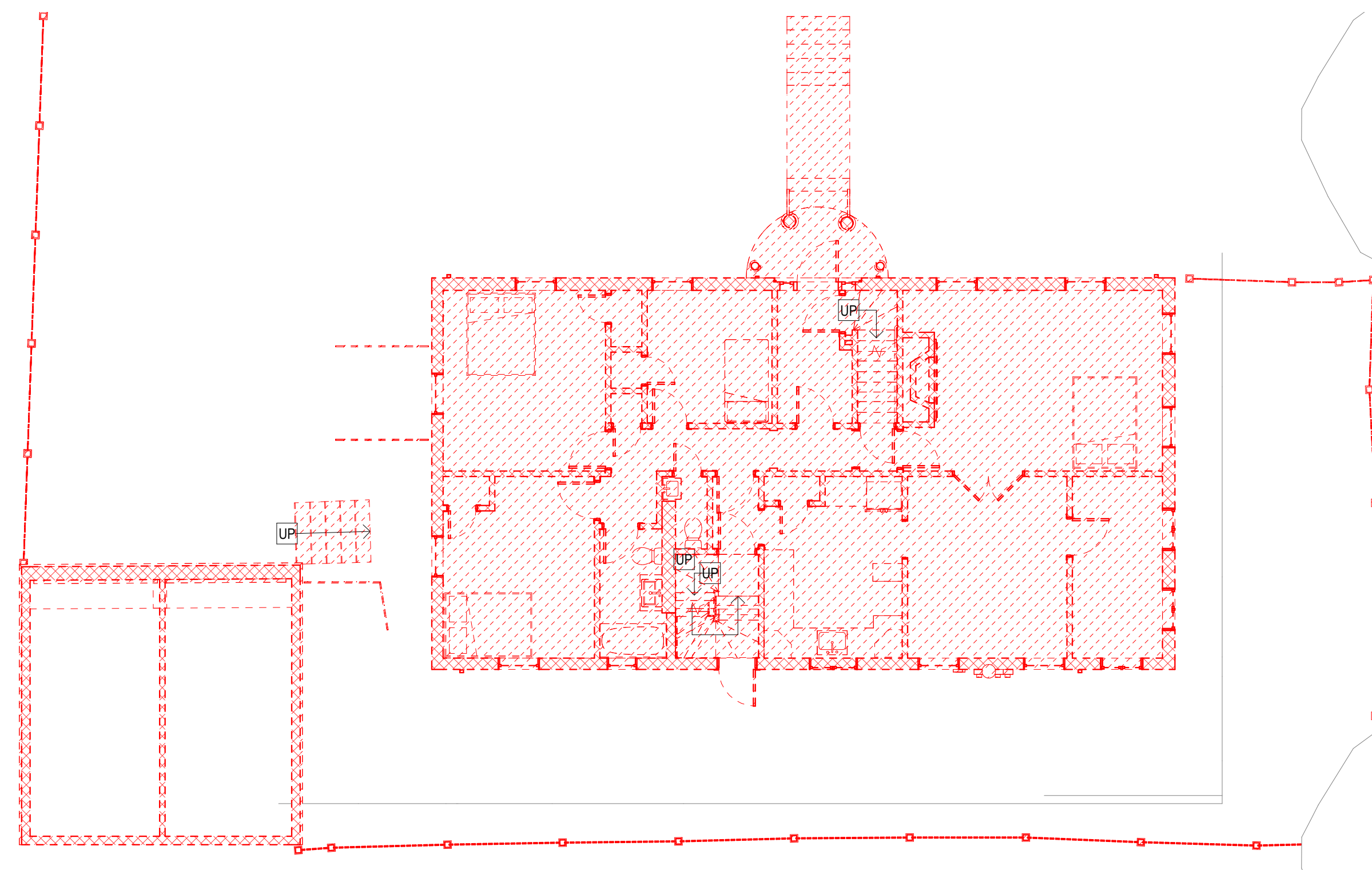
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3	HISTORIC APPROVAL REV2	01/20/26
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1	HISTORIC APPROVAL	10/24/25

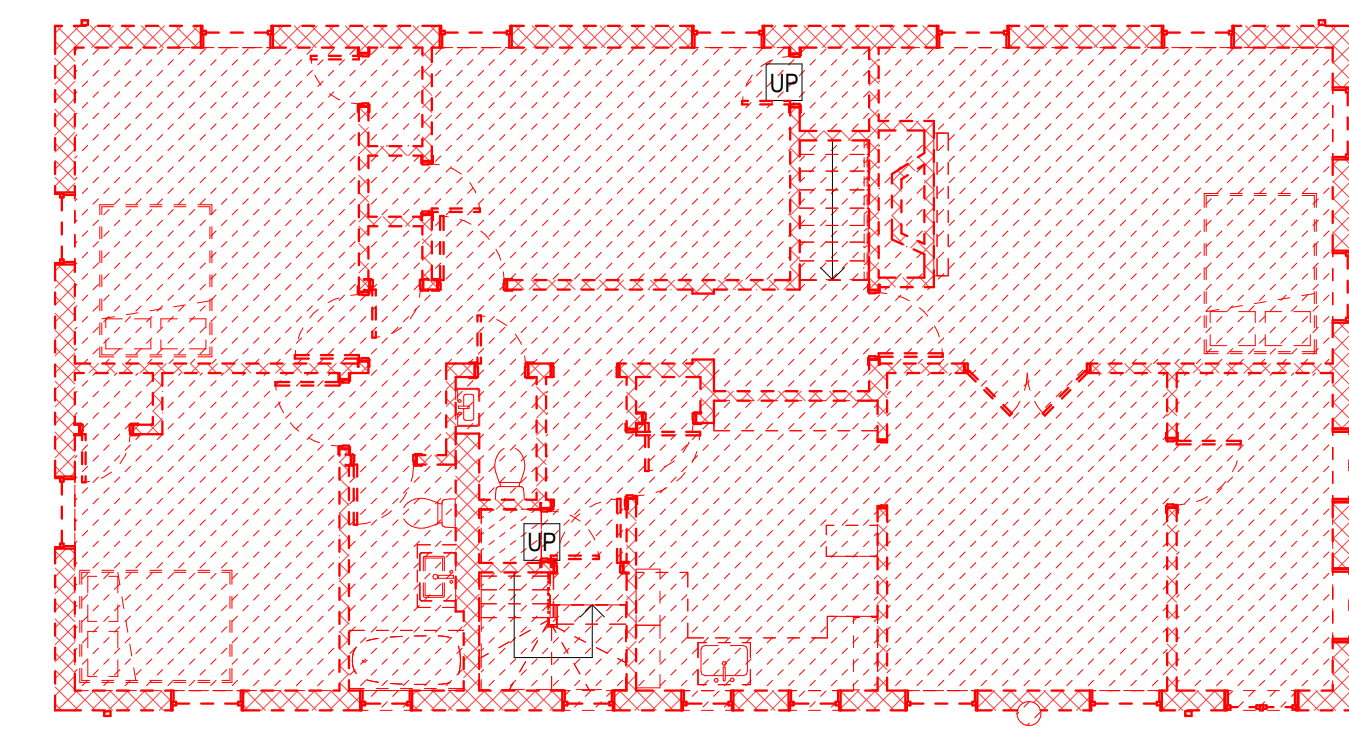
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DEMOLITION PLANS

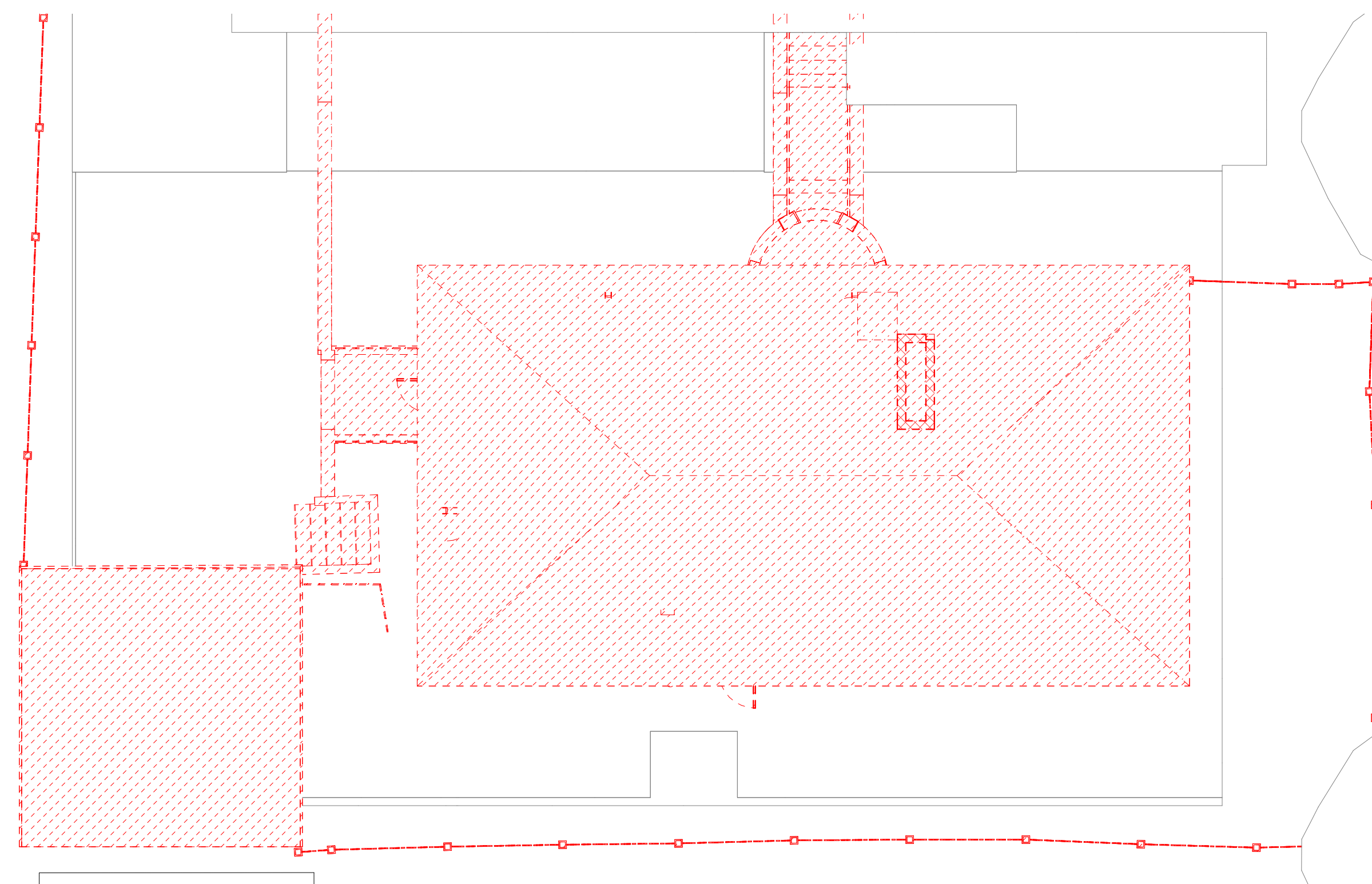
D 1.01



1 Floor 01 Demolition Plan
D 1.01 1/8" = 1'-0"



2 Floor 02 Demolition Plan
D 1.01 1/8" = 1'-0"



3 Original Roof
D 1.01 1/8" = 1'-0"

DEMOLITION LEGEND

- EXISTING SOLID PARTITION TO BE DEMOLISHED
- EXISTING GLAZED OR PARTIALLY GLAZED PARTITION TO BE DEMOLISHED
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING FULL HEIGHT SOLID, GLAZER OR PART GLAZED PARTITION TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - DEMOLITION

- SEE GENERAL CONSTRUCTION NOTES ON SHEET G 0.01.
- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN THIS CONTRACT SET. IN SUCH AN EVENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY.
- SELECTIVELY DEMO WALLS, CEILING, AND FLOOR FINISHES AS SHOWN AND AS REQUIRED FOR NEW LAYOUT AND SYSTEMS.
- G.C. TO COORDINATE CUTTING OF NEW DOOR OPENINGS WITH REQUIRED DIMS FOR UNITS AS SHOWN ON FLOOR PLANS, ELEVATIONS, AND DOOR SCHEDULE. NOTIFY ARCHITECT OF ANY CONFLICTS.
- THE CONTRACTOR SHALL PERFORM DEMO AS REQUIRED FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC, WHETHER SPECIFICALLY SHOWN OR NOT.
- WHERE REMOVAL OF EXISTING CONSTRUCTION IS REQUIRED FOR PERFORMANCE OF ANY WORK UNDER THIS CONTRACT, REMOVAL & REINSTALLATION SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT, WHETHER SPECIFICALLY SHOWN OR NOT, INCLUDING RESTORATION OF UTILITIES AND ANY TEMPORARY SHORING OF STRUCTURAL COMPONENTS.
- PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK INCLUDING SHOP APPLIED FINISHES.
- SEE ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR RELEVANT INFO AND COORDINATION FOR SYSTEMS WORK. CUT PENETRATIONS FOR MEP/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED.
- ALL NEW SPRINKLERS & PIPING SHALL BE INSTALLED PRIOR TO DEMOLISHING THE (E) SYSTEM & MAKING FINAL CONNECTIONS, IN ORDER TO MINIMIZE THE IMPACTS OF SHUTDOWNS, DRAIN DOWN, SYSTEM REFILL, AND FIRE WATCHES.
- IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH NEW WORK WHETHER SHOWN OR NOT. ALL EXISTING NON-STRUCTURAL PARTITIONS, CEILINGS, CASEWORK, MEP/FP ITEMS, FURR-OUTS, FINISH MATERIALS, STAIRS, DOORS, WINDOWS AND INDUSTRIAL EQUIPMENT SHALL BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE START OF ANY WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND SHORING OF STRUCTURAL ELEMENTS.
- REFER TO CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL OF SITE RELATED FIXTURES, EQUIPMENT, AND ASSOCIATED ACCESSORIES.
- ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ROOFING, INCLUDING NON-STRUCTURAL SUBSTRATES, GUTTERS, AND ASSOCIATED FLASHINGS. REMOVED MATERIAL SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- COORDINATE ALL DEMOLITION WITH HAZARDOUS MATERIAL REMOVAL/ABATEMENT REQUIREMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SALVAGED ITEMS NOT USED IN THE PROJECT OR REQUESTED TO BE RETURNED TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
- ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE TO APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO RECLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER'S REQUIREMENTS AND COMPLIANCE WITH SUSTAINABLE PRACTICES. AT THE END OF DEMOLITION, LEAVE THE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- WHERE FLOOR FINISH REMOVAL IS INDICATED, REMOVE FLOORING MATERIALS DOWN TO SUBSTRATE.
- CLEAN ANY RESIDUE FROM CONCRETE SURFACE. PREP SUBSTRATE TO RECEIVE FINISH AS INDICATED ON FINISH SCHEDULE AND PER FLOORING MANUFACTURERS RECOMMENDATIONS.
- WHERE CEILING REMOVAL IS INDICATED, REMOVE ALL COMPONENTS OF EXISTING CEILING SYSTEMS INCLUDING ALL FASTENERS. ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE. PREP SURFACE OF UNDERSIDE OF STRUCTURE FOR NEW FINISH PER FINISH SCHEDULE.
- SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION. CUT, CAP, AND MAKE SAFE ALL PIPING, CONDUIT, AND WIRING AS INDICATED ON RELATED DRAWINGS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SIDE OF ALL EXTERIOR WALLS AND SURFACES WHICH WILL REMAIN AFTER DEMOLITION.
- LOCATIONS OF (E) SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE NOT FIELD DIMENSIONED. G.C. TO VERIFY LOCATIONS WHERE IN PROXIMITY OF WORK.
- SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE EXISTING TO REMAIN U.O.N.
- PROVIDE TEMPORARY ENCLOSURE OF ALL EXTERIOR OPENINGS CREATED AS A RESULT OF DEMOLITION UNTIL PERMANENT ENCLOSURES ARE INSTALLED.
- PROVIDE TEMPORARY SHORING AT ALL DEMOLITION OF NEW OPENINGS TO INSTALL NEW LINTEL AS INDICATED.

S&J BROADWAY REALTY

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Cambridge, MA 02139

DESIGN FIRM



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CONSULTANT

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KEY PLAN

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

FOR APPROVAL

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ISSUE CHART

3	HISTORIC APPROVAL REV2	01/20/26
2	HISTORIC APPROVAL REV1	12/19/25
1	HISTORIC APPROVAL	10/24/25

N	ISSUE	DATE
	25049	PROJECT NUMBER

Checker	CHECKED
Approver	APPROVED
As indicated	SCALE
	SHEET NAME

CODE & ZONING ANALYSIS

SHEET NUMBER

A 0.01

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)

Project Number	25049
Project Title	406 Broadway Development
Project Address	406 Broadway, Cambridge, MA 02139
Client Name	Jinshan Zuo
Client Address	406 Broadway, Cambridge, MA 02139

PROJECT DESCRIPTION

The project consists of a new six-story, 34 residential unit development with a mixture of studio, 1 bedroom, and 2 bedroom dwellings. The ground floor will offer dedicated lobby, mail & package, and amenity spaces. The basement will offer tenants dedicated bicycle parking and rentable storage cages. Residential units are distributed across all six occupiable floors, and an amenity roof deck is proposed for the top level.

APPLICABLE CODES & REGULATIONS (10th EDITION 780 CMR)

Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 10th Edition As a reminder, the new, tenth edition code is based on modified versions of the following 2023 codes as published by the International Code Council (ICC).
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations
Energy	2021 International Energy Conservation Code (IECC 2021) Cambridge, MA Specialized Code Amendments
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Mechanical	2021 International Mechanical Code (IMC 2021)
Electrical	2023 National Electrical Code (NFPA 70) ; 527 CMR Amendments

This report addresses the key features of these codes and standards. The primary intent of this document is to (1) coordinate the fire protection and life safety approach between all design disciplines, (2) demonstrate building, fire, and life safety code compliance to the Authorities Having Jurisdiction, and (3) serve as a recorded document for the building over. This report is intended to address the code requirements as enforced by the Authorities Having Jurisdiction only.

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)

Zoning Ordinance	Zoning Ordinance - City of Cambridge, MA
Zone	C-1
Neighborhood	Mid-Cambridge

Use & Lot	Zoning Data	Required		Proposed		Compliance
		Use	Residential	Residential	Residential	
	# of Dwelling Units	no max.	units	34	units	Y
	Lot Area	5,000	sqft	6,031	sqft	Y
	Open Space (min.)	30	%	36	%	Y
	Ground Coverage (max.)	70	%	64	%	Y
	Private Open Space (min.)	15	%	15	%	Y
	Previous Open Space (min.)	15	%	73	%	Y
Building Main Body & Density	Gross Floor Area	no max.	gsf	27,856	gsf	Y
	Floor Area Ratio (FAR)	no max.		4.6		Y
Building Setbacks	Building Height *	74	ft	70.25***	ft	Y
	Front Yard Setback **	10	ft	10	ft	Y
	Rear Yard Setback	5	ft	5	ft	Y
	Side Yard Setback (left)	5	ft	5	ft	Y
	Side Yard Setback (right)	5	ft	n/a	ft	Y
	Street Frontage	none	ft	100	ft	Y
Parking Analysis	# of Parking Spaces	no min.		0		Y
	# of Bicycle Parking Spaces	1 space / du		35		Y

Additional Information

* 6 Stories & 74' Height allowed for buildings on lots greater than 5k sqft and meeting min. inclusionary housing requirements. (5.40 footnote 2)

** Or the average value of adjacent lots (5.40 footnote 3)

*** Average building height to top of roof along Broadway

USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)

Per Massachusetts State Building Code 780 CMR 10th edition / IBC 2021

	Podium (Level 01 & Basement)	Typical Floor (Level 02-06)
Use Group (780 CMR Section 304)	R-2	R-2
Type of construction (780 CMR Section 602)	Type IA	Type VA
Number of stories	1	5
Fire Protection	Building is Fully Sprinklered	Building is Fully Sprinklered
Building Element	Fire Resistance Rating	
primary structural frame	1	1
bearing walls		
exterior walls	1	1
interior walls	1	1
non bearing walls and interior	0	0
floor construction and secondary members	1	1
roof construction and secondary members	1	1

LOCUS MAP



Address: 406 Broadway

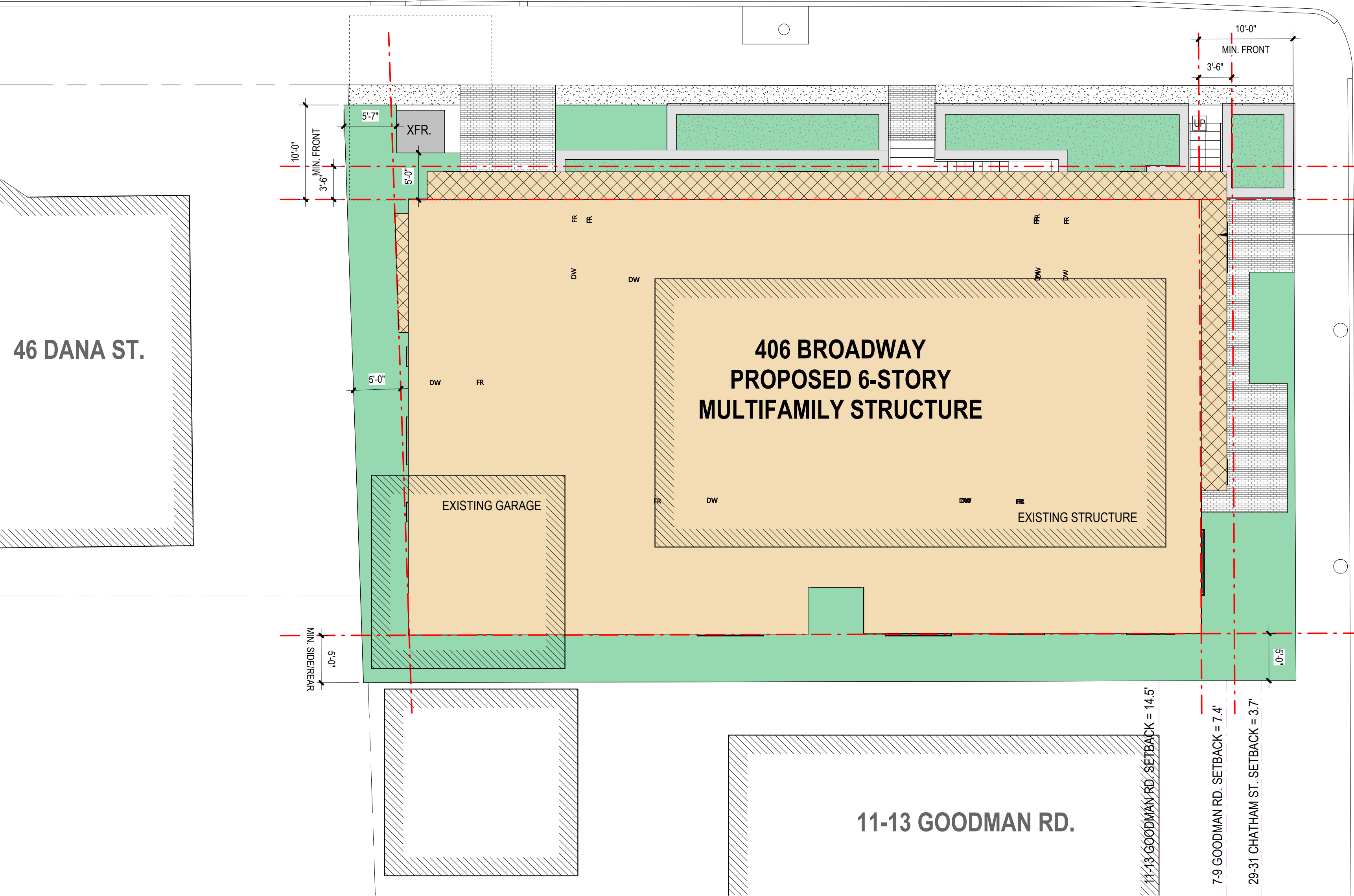
Ground Elevation Min:	43.5 R-CCB
Ground Elevation Max:	51.9 R-CCB
2070 - 1% - SLR/SS	N/A
2070 - 1% - Precip	N/A
2070 - 10% - SLR/SS	N/A
2070 - 10% - Precip	N/A
2030 - 1% - Precip	N/A
2030 - 10% - Precip	N/A
Present Day - 1% - Precip	N/A
Present Day - 10% - Precip	N/A
FEMA 500-Year	N/A
FEMA 100-Year	N/A
1% - LTFE	N/A
10% - LTFE	N/A

Selected Map-Lot: 115-86
Selected Address: 406 Broadway

406 BROADWAY IS NOT SUBJECT TO THE 2070 1% LTFE

SITE PLAN NOT TO SCALE

BROADWAY



5.24.1 (f)
PROJECTING EAVES, CHIMNEYS, BAY WINDOWS, BALCONIES, OPEN FIRE ESCAPES AND LIKE PROJECTIONS WHICH DO NOT PROJECT MORE THAN 3'-6" WHICH ARE PART OF A BUILDING NOT MORE THAN 35' IN HEIGHT, OR MORE THAN 35' IN HEIGHT IF PORTIONS OF THE BUILDING ABOVE THAT HEIGHT CONTAIN RESIDENTIAL USES

GOODMAN ROAD

46 DANA ST.

11-13 GOODMAN RD.

1 SITE PLAN ANALYSIS
A 0.01 1/8" = 1'-0"

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GENERAL NOTES, STANDARDS & ABBREVIATIONS

SHEET NUMBER

A 0.02

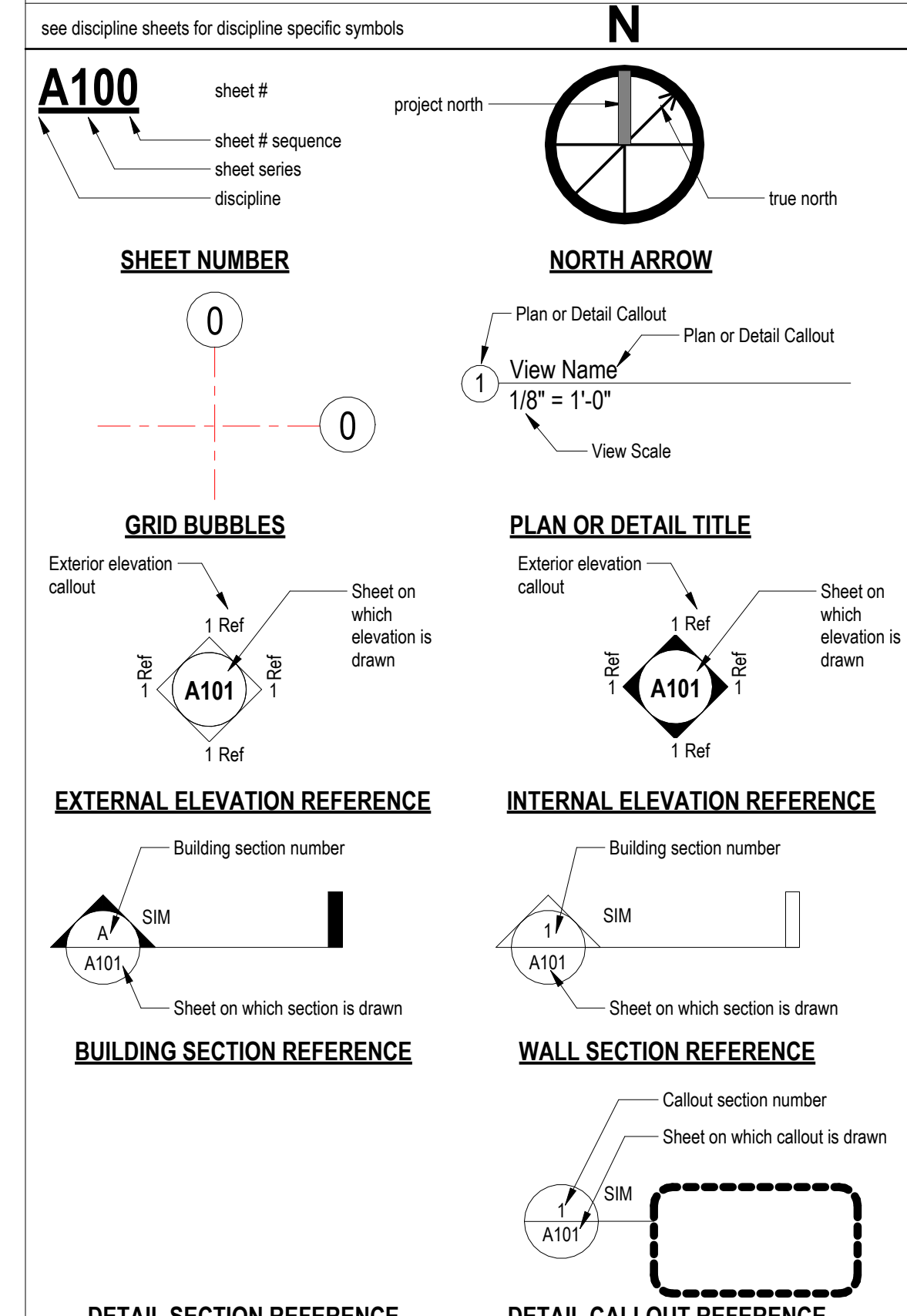
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GENERAL NOTES AND LEGENDS ABBREVIATIONS

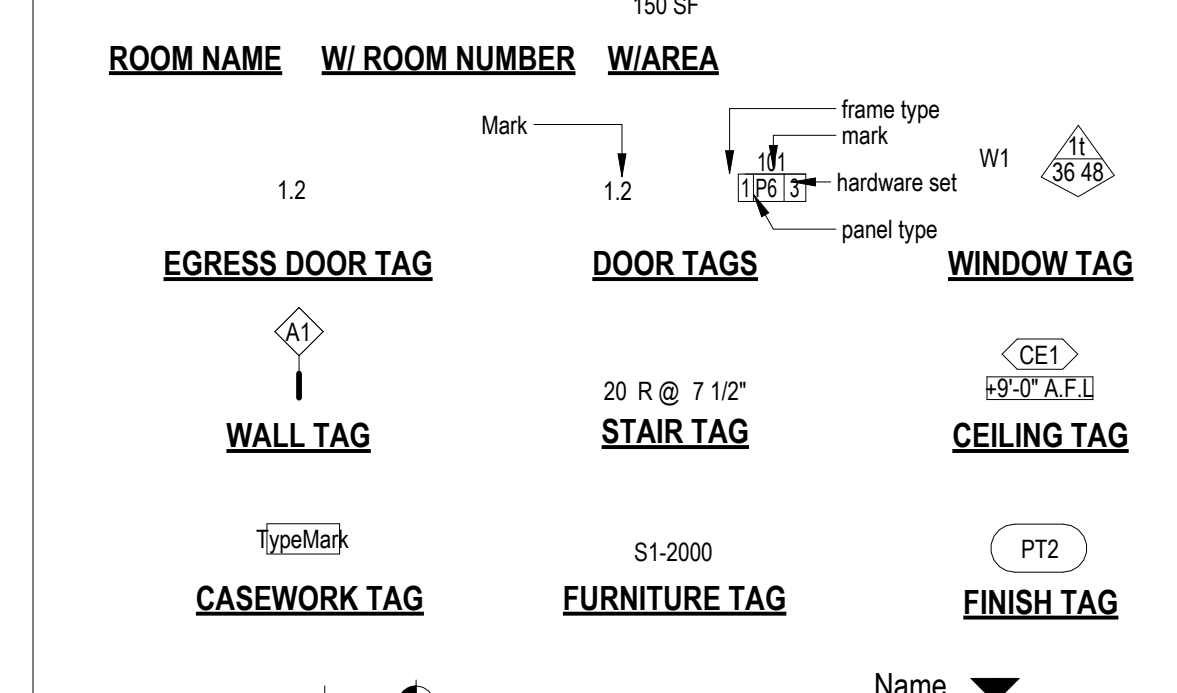
& angle	FPRF fireproof	Q quarry tile
L angle	FRG fiber reinforced gypsum	QTY quantity
@ at	FRP fiber reinforced panel	
AL align	FRT fire retardant treatment	
CL centerline	FS full size	
DIA diameter	FSP fire standpipe	
PERP. perpendicular	FTR fire treated	
C channel	FTG footing	
# number or pound	FURR furring	
/ per or divide	F&I furnish and install	
	FUT future	
A air condition	G gauge	R riser, right
A/C acoustic ceiling tile	GA galvanized	RA return air
AD area drain	GALV galvanized	RAD radius
ADJ adjustable	GB grab bar	RBR resilient base
AFF above finished floor	GC general contractor	RCP reflected ceiling plan
AGGR aggregate	GFRG glass fiber reinforced concrete	RD roof drain
ALUM aluminum	GFRG glass fiber reinforced gypsum	REF reference
AP acoustic panel	GL glass / glazing	REFR refrigerator
APX approximate	GND ground	RELOC relocate
APT apartment	GT grout	REINF reinforced
ARCH architectural	GSF gross square foot	REQD required
ASB asbestos	GWB gypsum wall board	RESL resilient
ASPH asphalt	GYP gypsum	REST restroom
AV average		RCTR register
		RH right hand
		RM room
		RP resilient panel
		RO rough opening
		RST resilient sheet flooring
		RTU rooftop unit
		RWD redwood
		RWL rain water leader
		S supply air
		SA sound attenuation blankets
		SC solid core
		SCD seat cover dispenser
		SCHED schedule
		SD smoke detector
		SECT section
		SF square footage
		SH shelf
		SHR shower
		SHT sheet
		SIM similar
		SKL skylight
		SND sanitary napkin dispenser
		SNR sanitary napkin receptacle
		SNR sealant
		SOB symbol on background
		SOP south
		SPD soap dispenser
		SPEC specification
		SQ square
		SS solid surface
		SSK service sink
		ST stainless steel
		ST stone
		STA station
		STD standard
		STL steel
		STOR storage
		STRL structural
		SUSP suspended
		SYM symmetrical
		I tile
		T towel bar
		TB to be determined
		TC top of curb
		TEL telephone
		TEMP temporary
		TER terrazzo
		TAG tongue and groove
		THK thick
		THC top of concrete
		TOP top of pavement
		TOW top of slab/top of steel
		TWP top of wall
		TPD toilet paper dispenser
		TR tread
		TV television
		TX textile upholstery
		TYP typical
		U underwriters' laboratories
		UNF unfinished
		UON unless otherwise noted
		UR urinal
		V varnish
		VB vapor barrier
		VCT vinyl composition tile
		VERT vertical
		VEST vestibule
		VIF verify in field
		VNR veneer
		W west
		WB with
		WB wall base
		WC wall covering
		WD wood
		W/O without
		WP waterproof
		WSCOT wainscot
		WT weight
		WTC water closet
		WWM welded wire mesh
		P pendant
		PFB prefabricated
		PBL plumbing fixture
		PCC precast concrete
		PCF pounds per cubic foot
		PERF perforated
		PLATE plate
		PLAM plastic laminate
		PLA plaster
		PLF pounds per linear foot
		PLYWD plywood
		POS point of sale
		FD floor drain
		PRCST precast
		PRT partition
		PSF pounds per square foot
		PSI pounds per square inch
		PT paint
		PTD paper towel dispenser
		PTDIR combination paper towel dispenser and receptacle
		PTL pressure treated lumber
		PTR pressure treated
		PVMT pavement

the preceding list of abbreviations is presented as a general guide and does not necessarily show all abbreviations used. other generally accepted abbreviations may be found among the drawings.

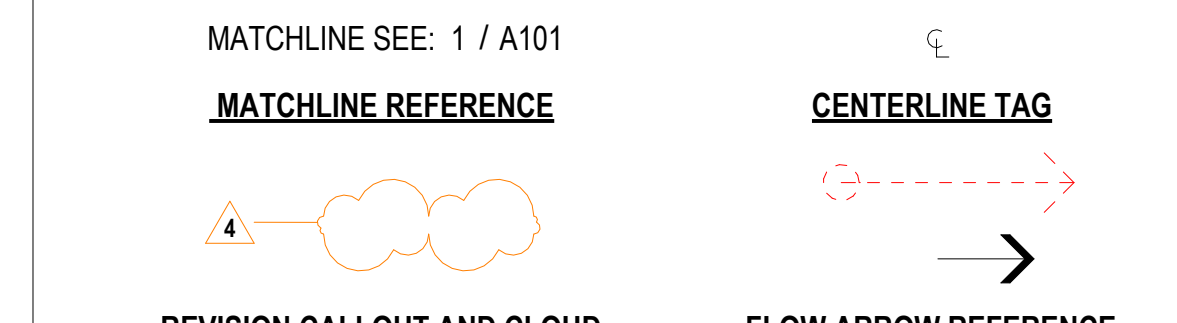
GENERAL NOTES AND LEGENDS SYMBOL LEGEND



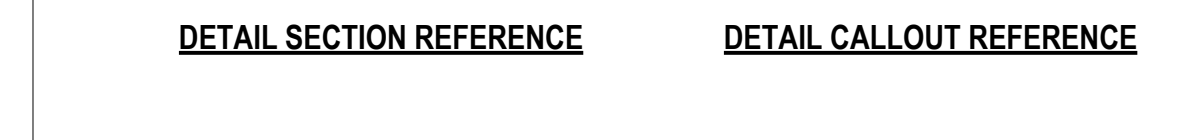
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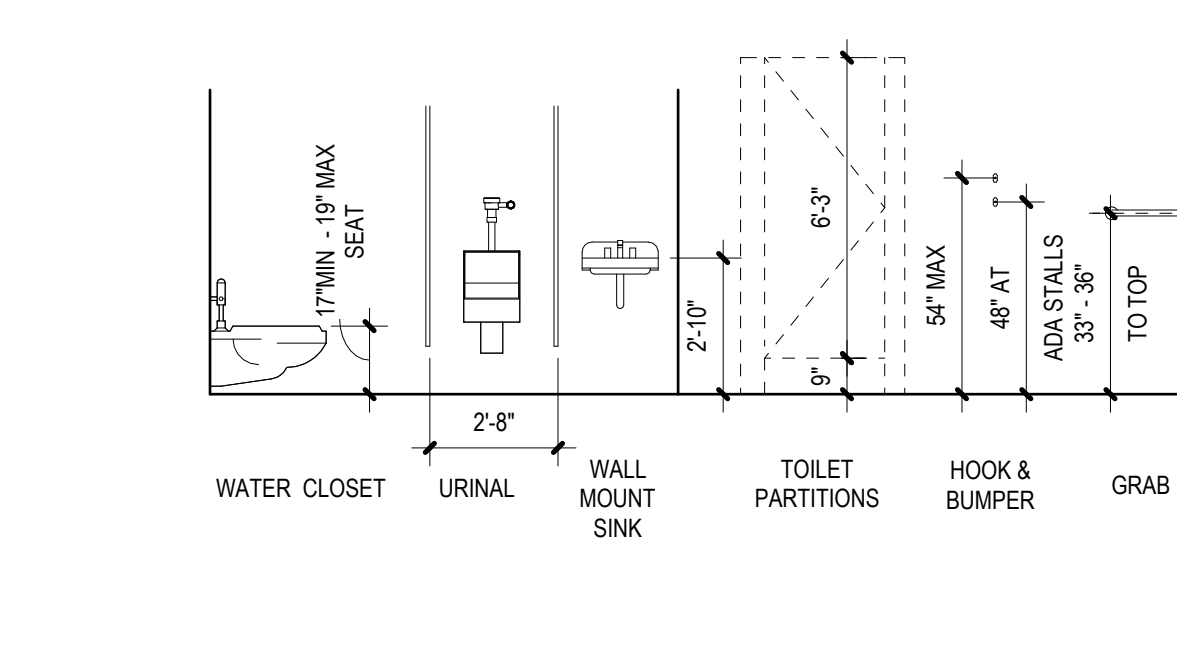
SPOT ELEVATION



REVISION CALLOUT AND CLOUD



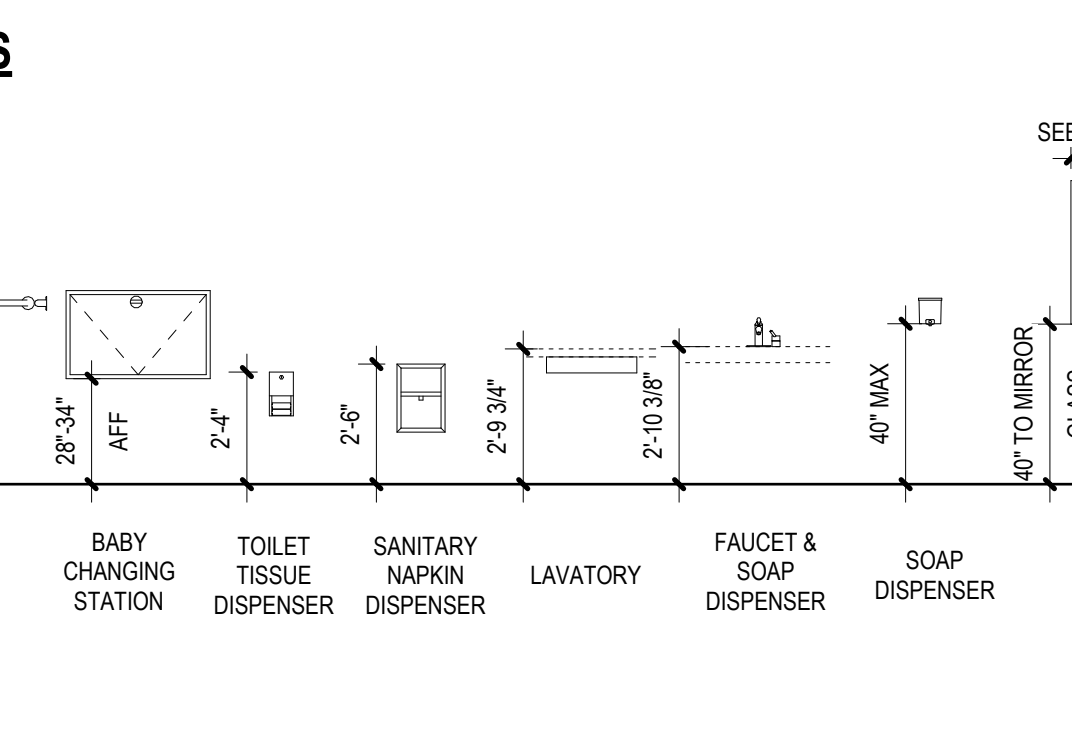
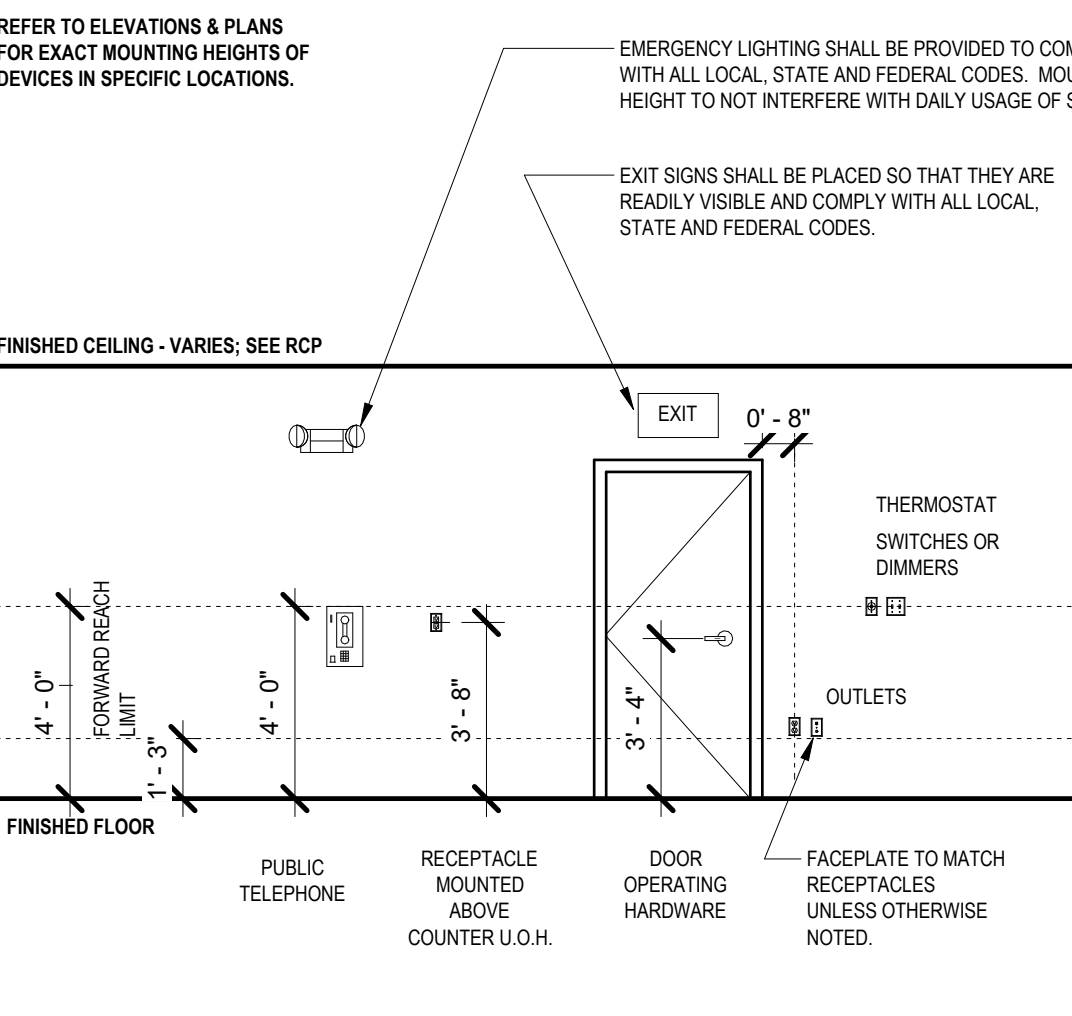
MOUNTING HEIGHTS - RESTROOMS ACCESSORIES



GENERAL NOTES AND LEGENDS

- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN THIS CONTRACT SET.
- THE CONTRACTOR SHALL PERFORM ALL WORK DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL PROVIDE ALL ITEMS REQ'D FOR A COMPLETE FUNCTIONING SYSTEM, INCLUDING APPROPRIATE BLOCKING FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC.
- WORK SHOWN BUT NOT INCLUDED IN THIS CONTRACT IS NOTED "N.I.C.". ITEMS TO BE PROVIDED BY OWNER AND INSTALLED BY G.C. ARE SO NOTED.
- GENERAL CONTRACTOR SHALL MAKE ALL SUB-CONTRACTORS AND SUPPLIERS AWARE OF THE REQUIREMENTS OF THESE NOTES.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL BUILDING, LIFE SAFETY, ELECTRICAL AND PLUMBING CODES HAVING JURISDICTION OVER THIS PROJECT.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS NECESSARY FOR THE COMPLETION OF THE WORK SHOWN THROUGHOUT THE CONTRACT DOCUMENTS.
- GENERAL CONTRACTOR SHALL LAYOUT IN THE FIELD THE ENTIRE WORK TO BE PERFORMED TO VERIFY DIMENSIONAL RELATIONSHIPS BEFORE PROCEEDING WITH THE CONSTRUCTION AND SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATIONS / BENCHMARKS BEFORE PROCEEDING WITH WORK / INSTALLATION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE DIMENSIONAL REQUIREMENTS BETWEEN THE WORK OF THE REQUIRED TRADES AND SUB-CONTRACTORS.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS AND / OR SIZES. DRAWINGS MAY HAVE BEEN REPRODUCED AT A SCALE DIFFERENT THEN THAT ORIGINALLY DRAWN.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS, STRUCTURE, UTILITY LINES, ETC. ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXISTING CONDITIONS OR ANY APPARENT ERROR IN THE CLASSIFYING OF A PRODUCT, MATERIAL OR METHOD OF ASSEMBLY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. SK DRAWINGS WILL BE ISSUED WHEN OR AS REQUIRED.
- G.C. & ALL TRADES, ARE RESPONSIBLE FOR COORDINATION OF THE LOCATIONS OF ALL MECH. ELEC. PLUMB. FIXTURES & EQUIPMENT. IF CONFLICT EXIST BTW DRAWINGS, EXACT LOCATIONS SHALL BE PER ARCHITECTURAL DRAWINGS OR PER FIELD INSTRUCTION OF ARCHITECT.
- G.C. & EA TRADE SUBCONTRACTOR ARE RESPONSIBLE FOR REVIEWING & COORDINATING ALL TRADES' EQUIPMENT AND DISTRIBUTION INCLUDING PIPES, CONDUIT, ETC. TO ENSURE THAT ALL FIT IN THE ALLOCATED SPACE. ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND APPROPRIATE ENGINEER IMMEDIATELY, IN WRITING.
- PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES. EXISTING FINISHES DISTURBED DURING THE COURSE OF THE WORK SHALL BE REPAIRED SUCH THAT PATCHES WILL NOT BE DETECTABLE & THE NEW SURFACE WILL BE CONTINUOUS W/ ADJACENT SURFACES. WALL SURFACES SHALL BE SMOOTH, DURABLE, AND STABLE. FREE OF CRACKS, HOLES, DENTS ETC.
- WHERE NEW WALLS OR CONSTRUCTION ARE TO MEET EXISTING, REPAIR OR REPLACE EXISTING ADJACENT FINISHES AS REQ. SUCH THAT THE JOINT IS SMOOTH, FLUSH AND INVISIBLE WHEN COMPLETED.
- G.C. AND TRADES SHALL CUT PENETRATIONS FOR ME/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED. PATCHING OF ALL SURFACES W/ MATERIALS THAT MATCH AND ALIGN W/ THAT CUT SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT, WHETHER SPECIFICALLY SHOWN OR NOT. EACH TRADE IS RESPONSIBLE FOR PROVIDING APPROPRIATE FIRE RATED, FIRE RATED CALK, ETC. FOR ALL PENETRATIONS IN FIRE RATED SEPARATIONS IN ORDER TO MAINTAIN/RESTORE FIRE RATING.
- DIMENSIONS:
 - ALL PARTITION DIMENSIONS SHOWN ARE TO FACE OF STUD @ NEW WALL CONSTRUCTION U.O.N.
 - DIMENSIONS NOTED AS "CLR." MEAN CLEAR DIM. TO FACE OF FINISH.
 - ALL HORIZ. DIMS ARE SHOWN ON PLANS AND VERT. DIMS ON INTERIOR & EXTERIOR ELEVATIONS WHERE RELEVANT.
 - VERTICAL DIMENSIONS ARE TO T.O. SUBFLOOR, U.O.N.
- ALIGN ELECTRICAL DEVICES INCLUDING SWITCHES, OUTLETS, FIRE ALARM DEVICES, EMERGENCY LIGHTS, ETC. VERTICALLY & HORIZONTALLY, WHEREVER IN CLOSE PROXIMITY TO EACH OTHER, AND UNLESS PREVENTED BY CODE. SEE MOUNTING HEIGHTS SCHEDULE FOR TYP. HEIGHTS. SEE ELEVATIONS FOR SPECIFIC EXCEPTIONS. ALIGN CEILING DEVICES INCLUDING SMOKE DETECTORS, SPRINKLER HEADS, ETC., WITH CEILING MOUNTED LIGHTING FIXTURES UNLESS OTHERWISE NOTED. CENTER ALL BETWEEN ELEMENTS OR WITHIN GRID IN BOTH DIRECTIONS U.O.N.
- EA TRADE IS RESPONSIBLE FOR SEALING AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.
- ALL METAL & MEMBRANE FLASHINGS TO BE LAPPED POSITIVELY TO DRAIN.
- SEPARATE DISSIMILAR METALS.

MOUNTING HEIGHTS - GENERAL COMPONENTS





CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
	NIC - NOT IN CONTRACT HATCH

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- SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.
- ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.
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- PROVIDE IN-WALL BLOCKING AS REQUIRED.
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- PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.
- AT ALL AREAS OF MEPPFP EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.
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- WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING; DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.
- PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH LEVEL, FLUSH FINISH.
- ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.
- SEE A700 SERIES FOR ALL FINISHES.

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

FOR APPROVAL

4/2/2026 11:09:54 AM

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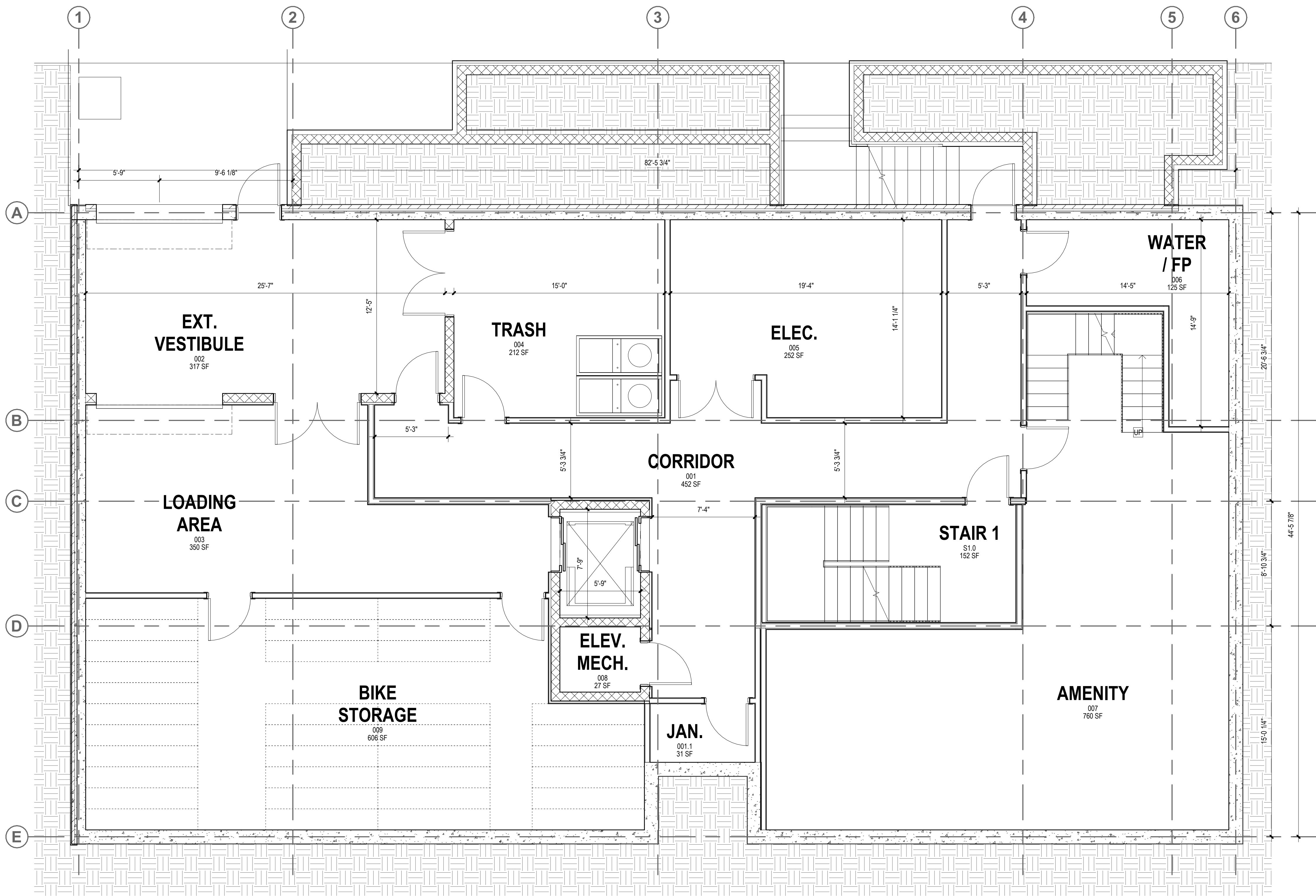
ISSUE CHART

ISSUE	DATE
3	HISTORIC APPROVAL REV2 01/20/26
2	HISTORIC APPROVAL REV1 12/19/25
1	HISTORIC APPROVAL 10/24/25

N	ISSUE	DATE
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	Checker	CHECKED
	Approver	APPROVED
	As indicated	SCALE
		SHEET NAME

BASEMENT FLOOR PLAN

A 1.00



1 BASEMENT FLOOR PLAN
A 1.00 1/4" = 1'-0"



CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
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APPROVER	APPROVED
Approver	APPROVED

SCALE
As indicated

SHEET NAME

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406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

FOR APPROVAL

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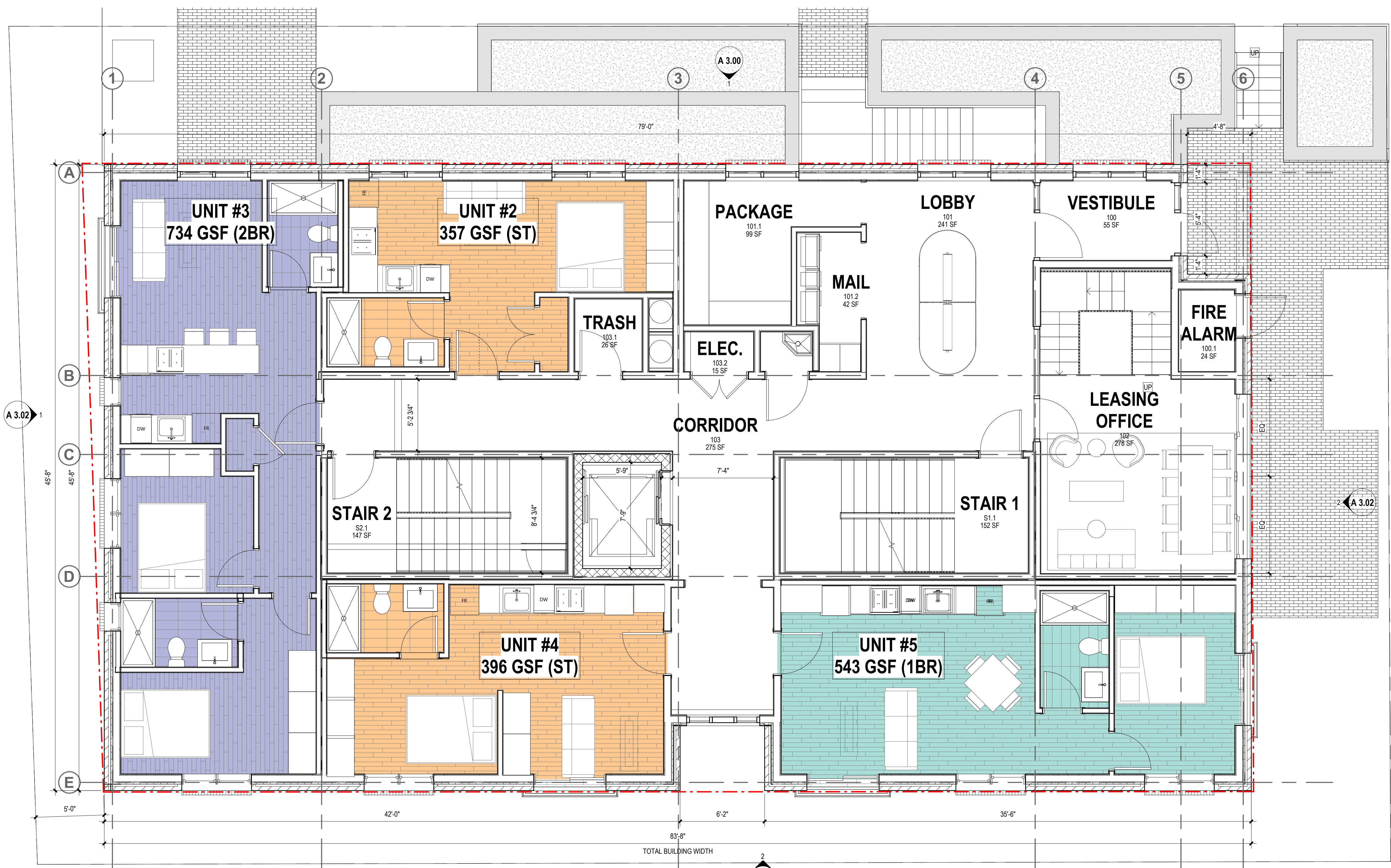
SCALE
As indicated

SHEET NAME

GROUND FLOOR PLAN

SHEET NUMBER

A 1.01



1 GROUND FLOOR PLAN
A 1.01 1/4" = 1'-0"



CONSTRUCTION LEGEND

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FOR APPROVAL

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		SHEET NAME

LEVEL 02 - 06 FLOOR PLAN

SHEET NUMBER

A 1.02



1 LEVEL 02-05 FLOOR PLAN
A 1.02 1/4" = 1'-0"

S&J BROADWAY REALTY

406 Broadway
Cambridge, MA 02139

DESIGN FIRM



Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

CONSTRUCTION LEGEND

SYMBOL	DEFINITION
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	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
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- PROVIDE IN-WALL BLOCKING AS REQUIRED.
- PROVIDE IN-WALL BLOCKING FOR ALL FUTURE BUILT-IN CASEWORK WHERE INDICATED.
- PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.
- AT ALL AREAS OF MEPPF EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.
- SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.
- PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED.
- INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS, U.N.O.
- MEPPF ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE. ONLY REFER TO MEPPF DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.
- EXTERIOR MASONRY DIMENSIONS ARE INDICATED TO CENTERLINE OF JOINTS.
- WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING; DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.
- PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH LEVEL, FLUSH FINISH.
- ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.
- SEE A700 SERIES FOR ALL FINISHES.

KEY NOTES - PROPOSED PLAN

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

FOR APPROVAL

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ISSUE CHART

NO.	ISSUE	DATE
3	HISTORIC APPROVAL REV2	01/20/26
2	HISTORIC APPROVAL REV1	12/19/25
1	HISTORIC APPROVAL	10/24/25

N

ISSUE DATE

25049 PROJECT NUMBER

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Approver APPROVED

As indicated SCALE

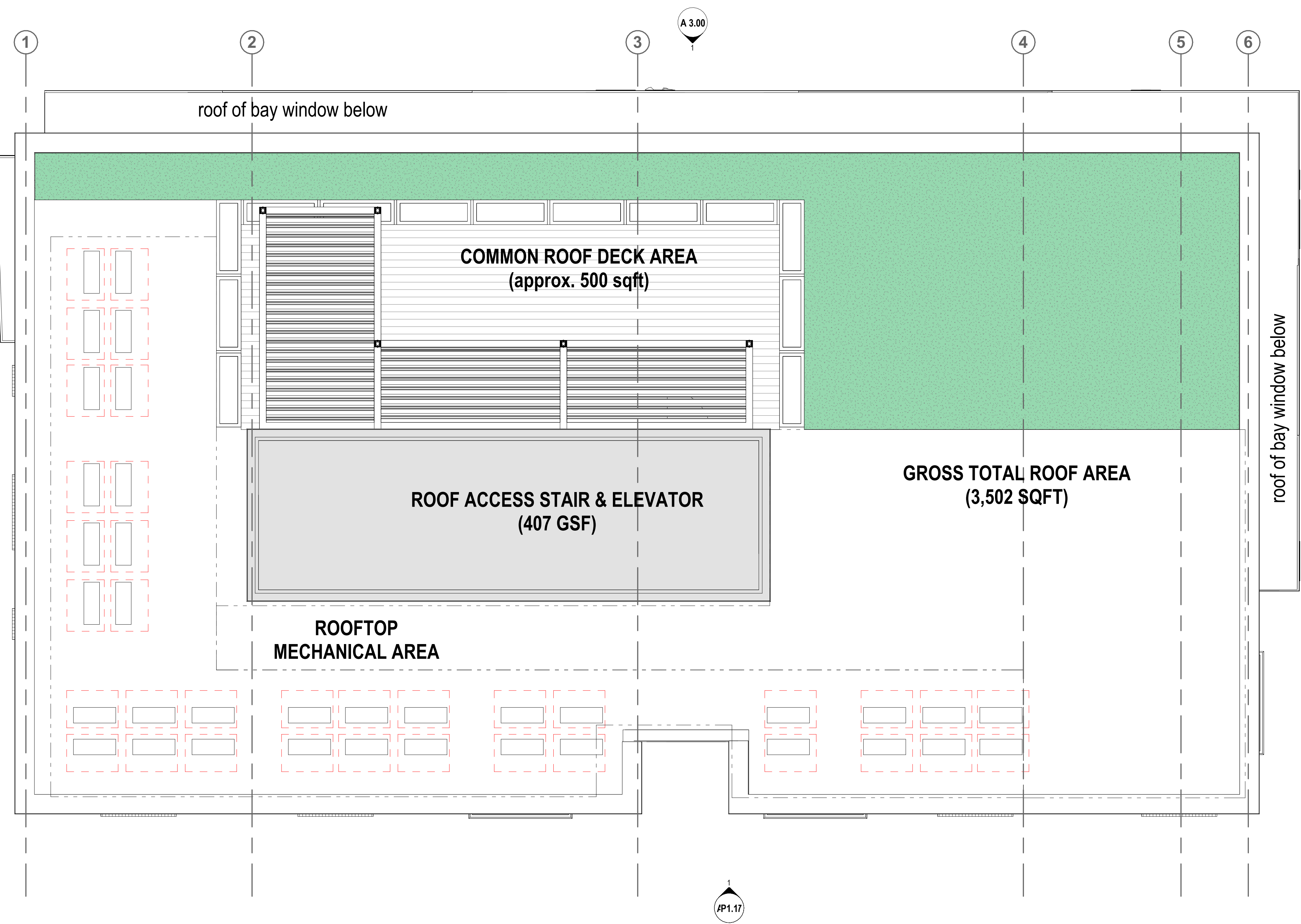
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ROOF PLAN

SHEET NUMBER

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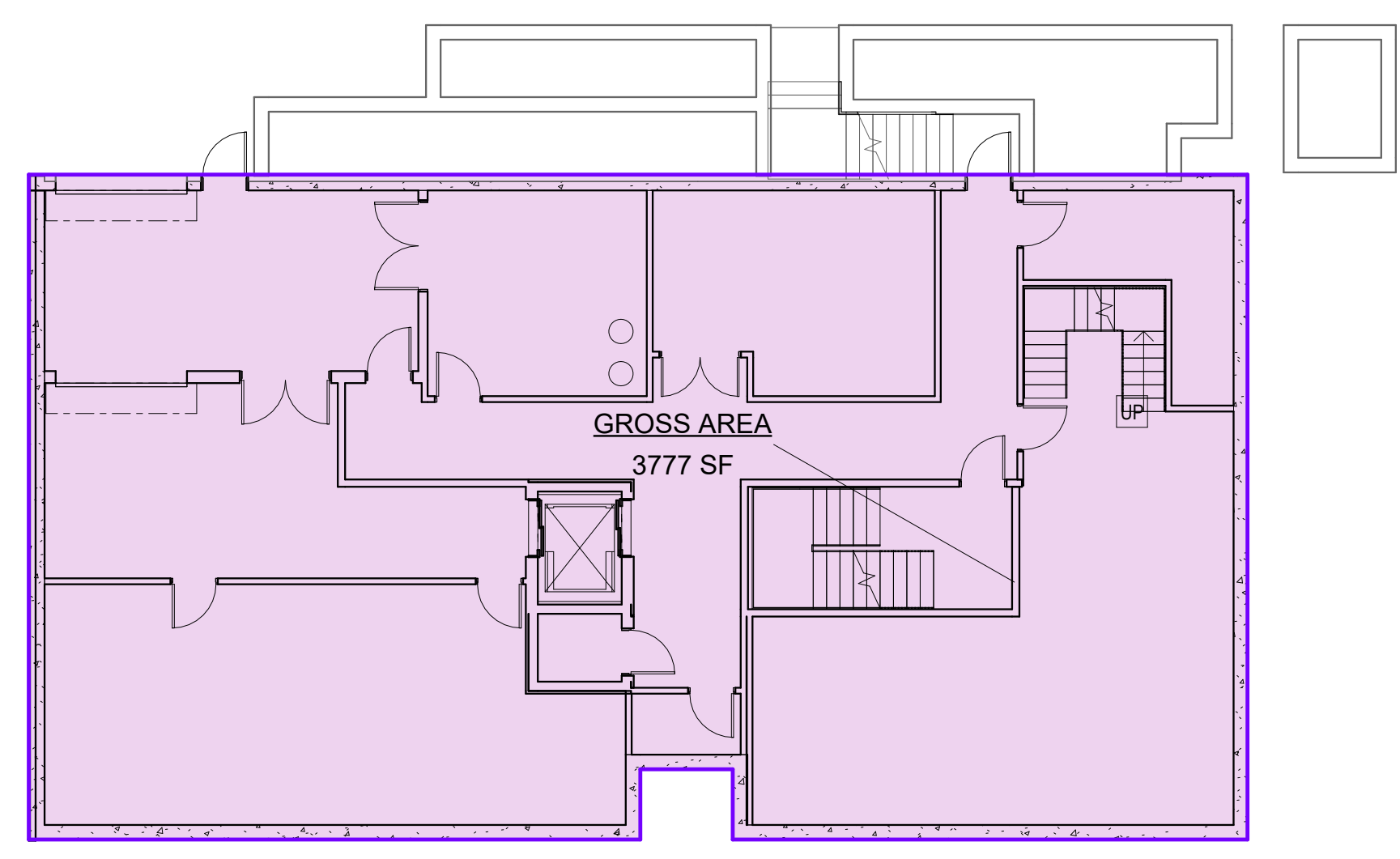


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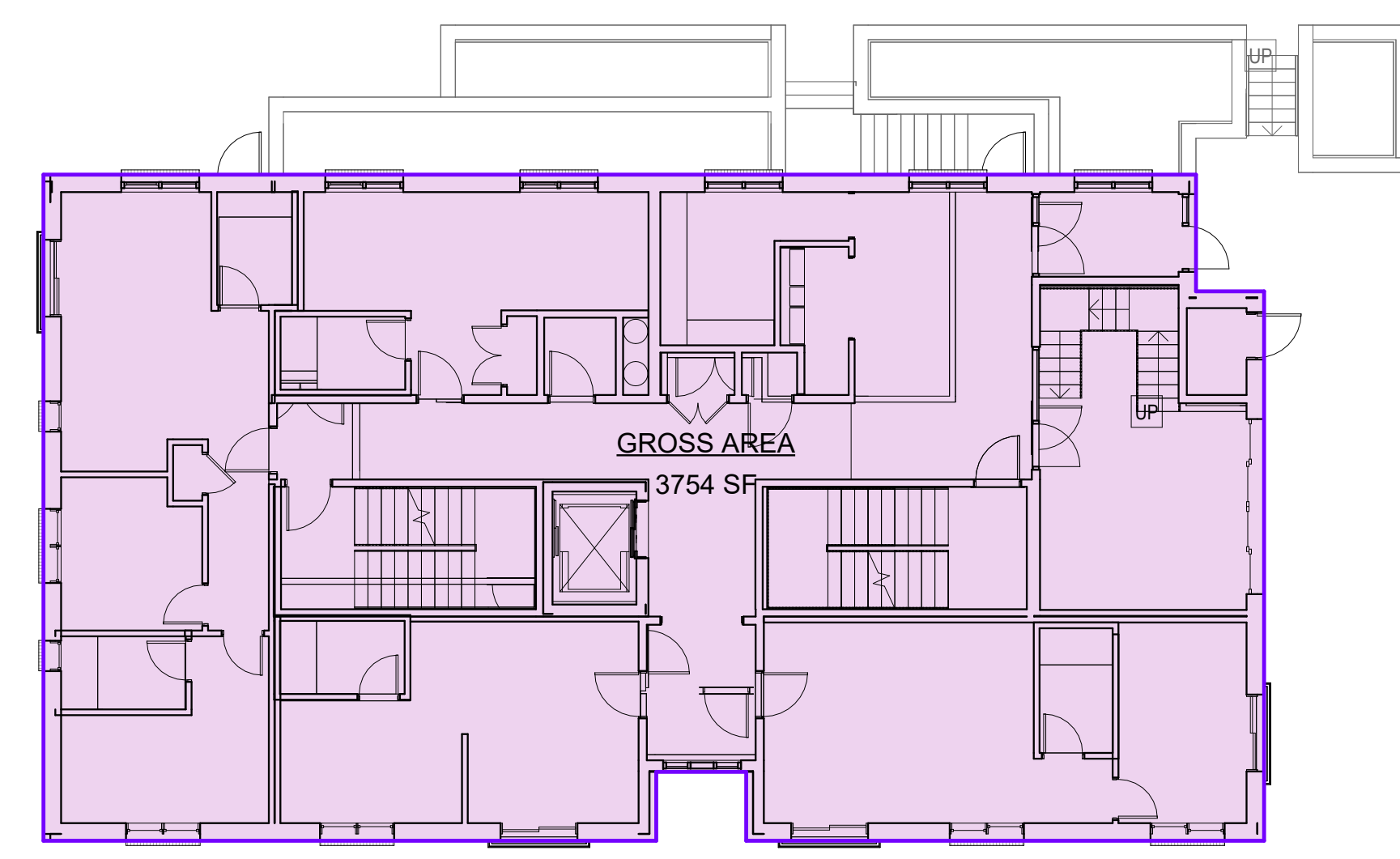
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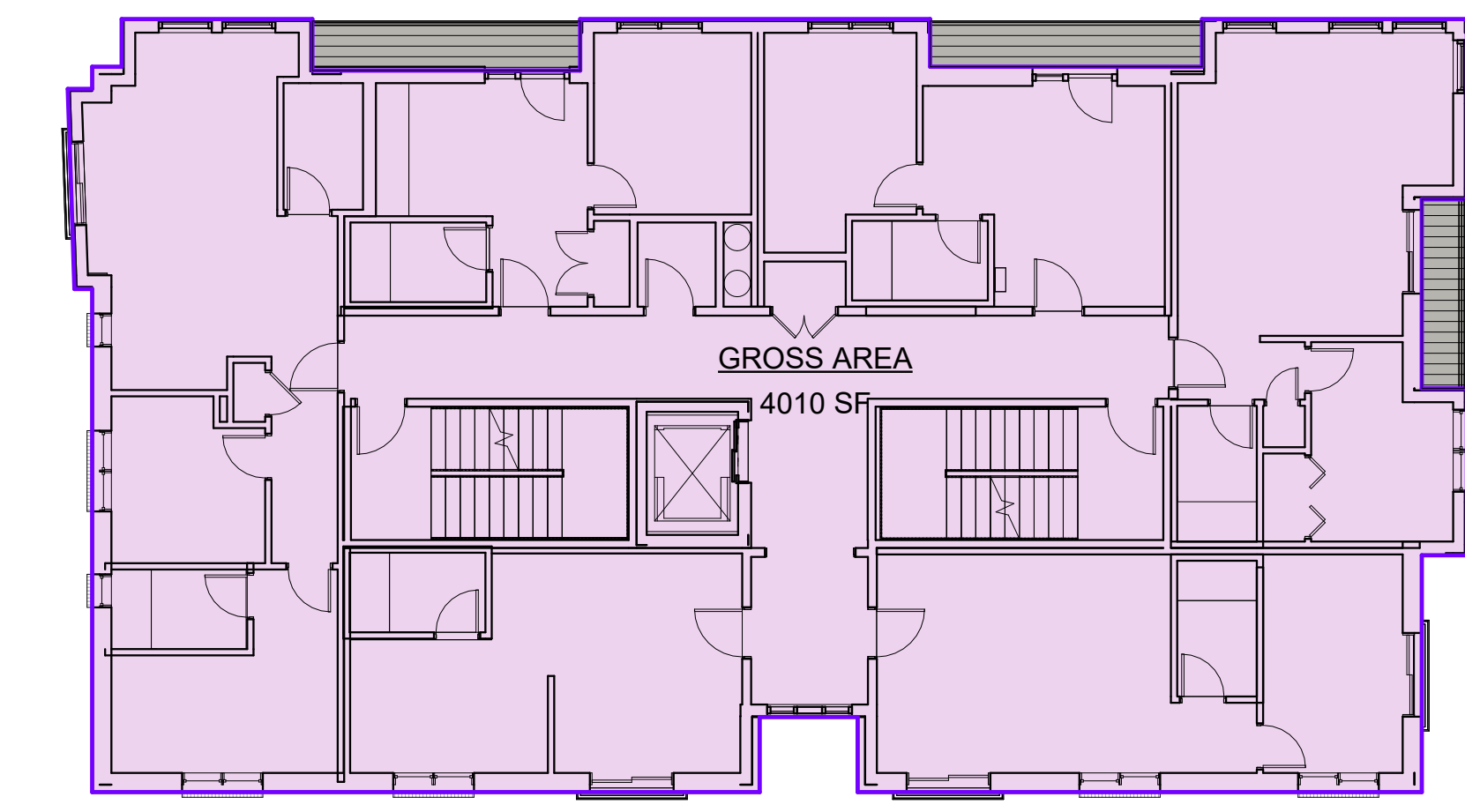
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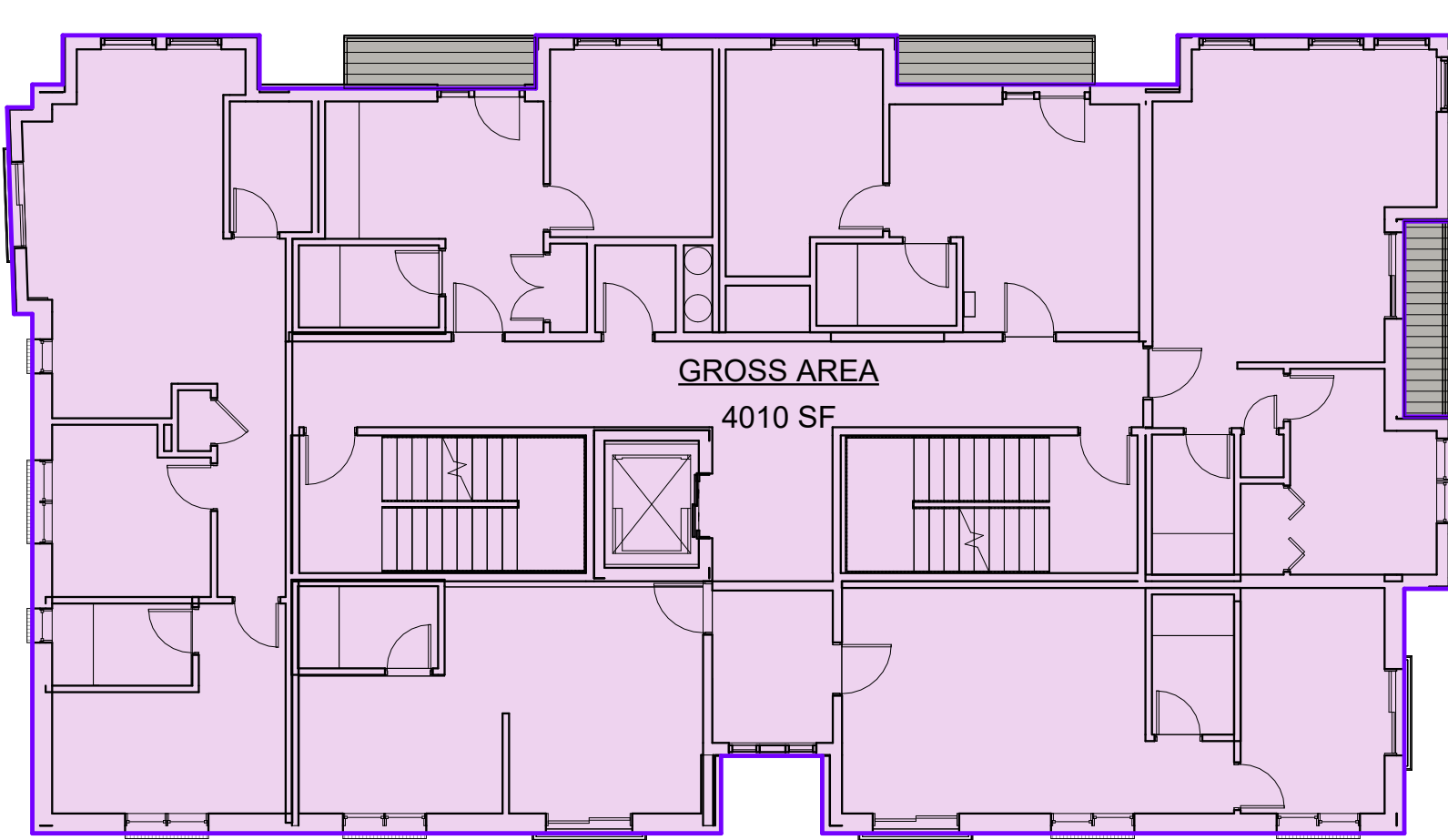
1 BASEMENT
A 1.07 3/32" = 1'-0"



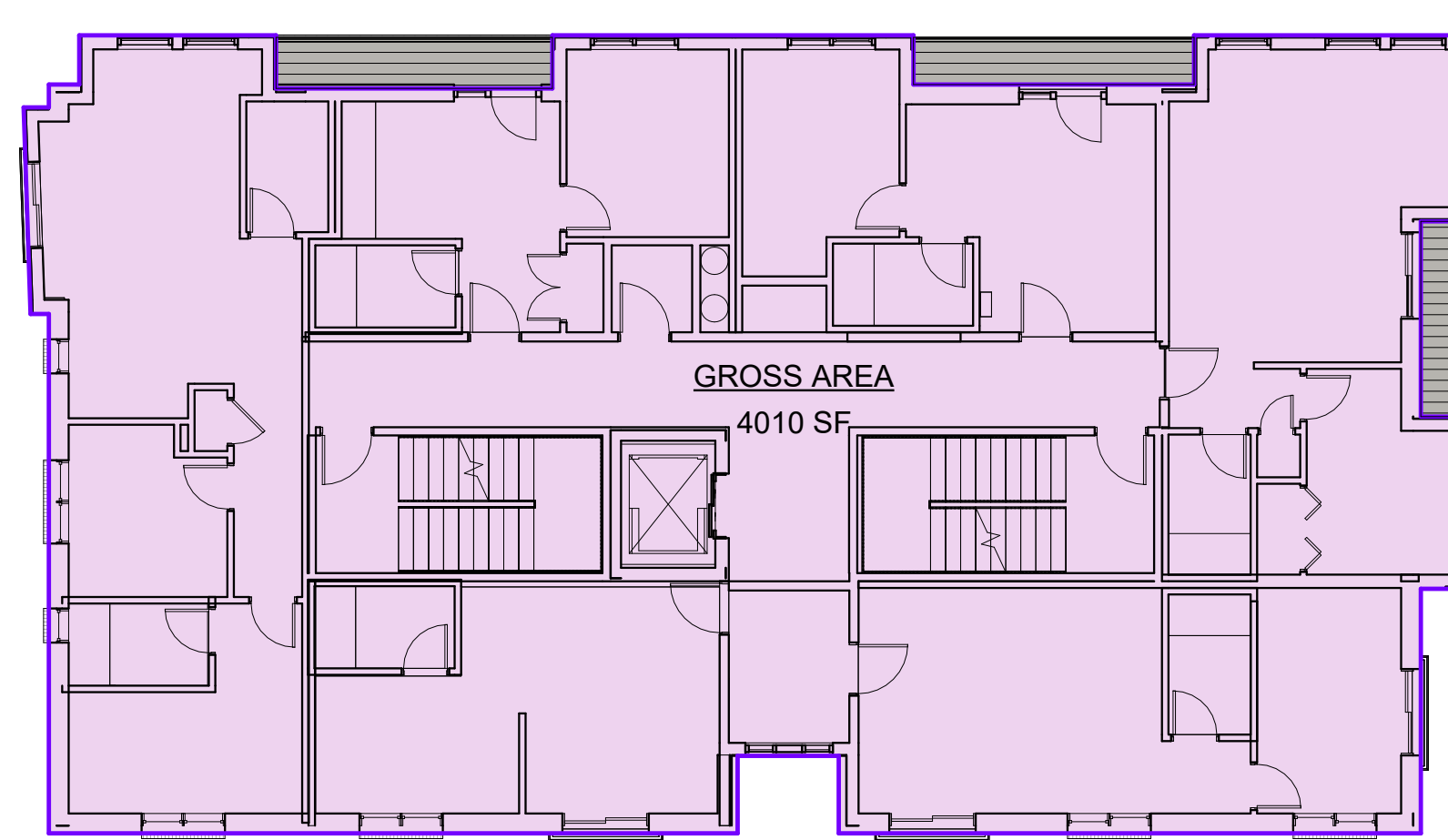
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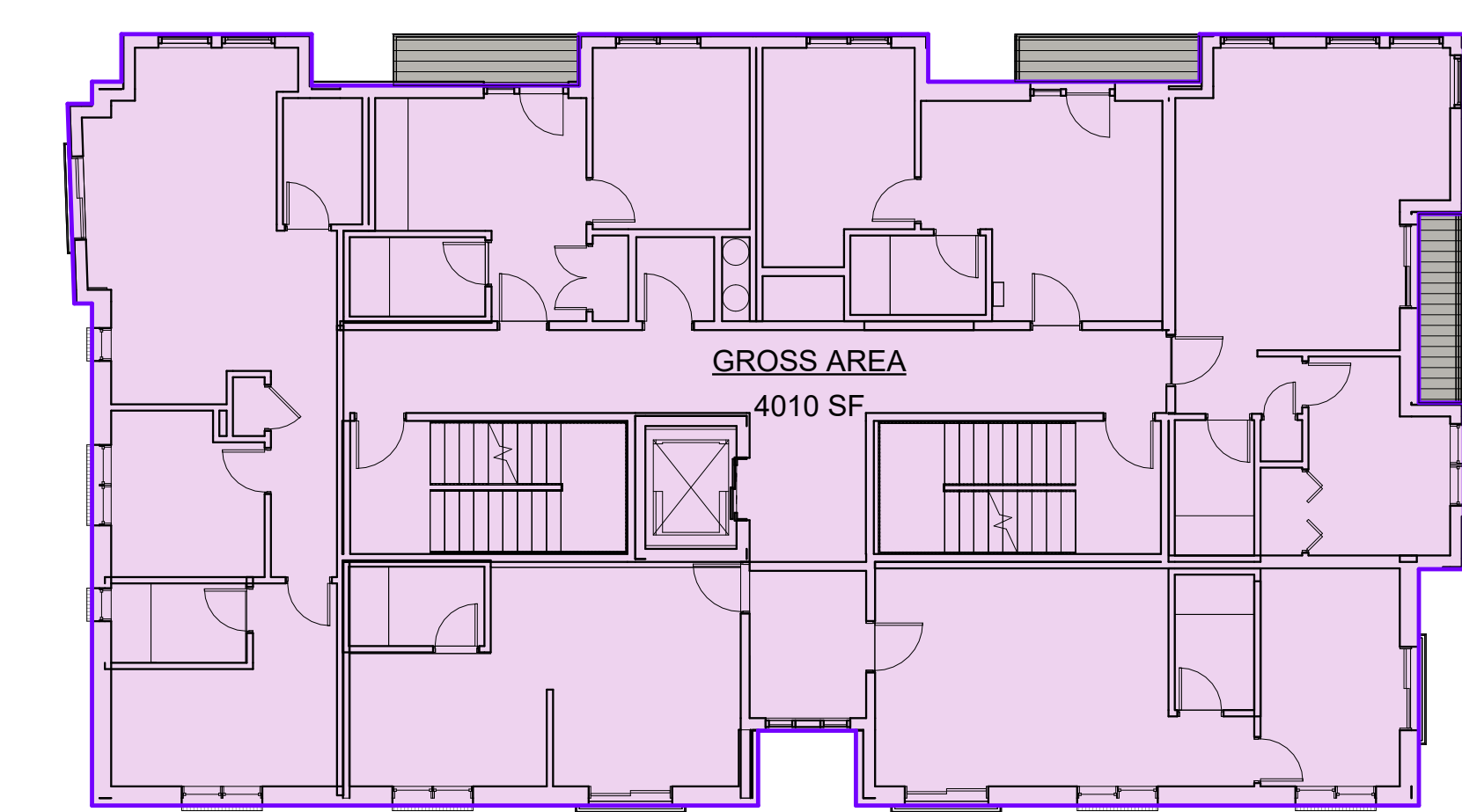
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A 1.07 3/32" = 1'-0"



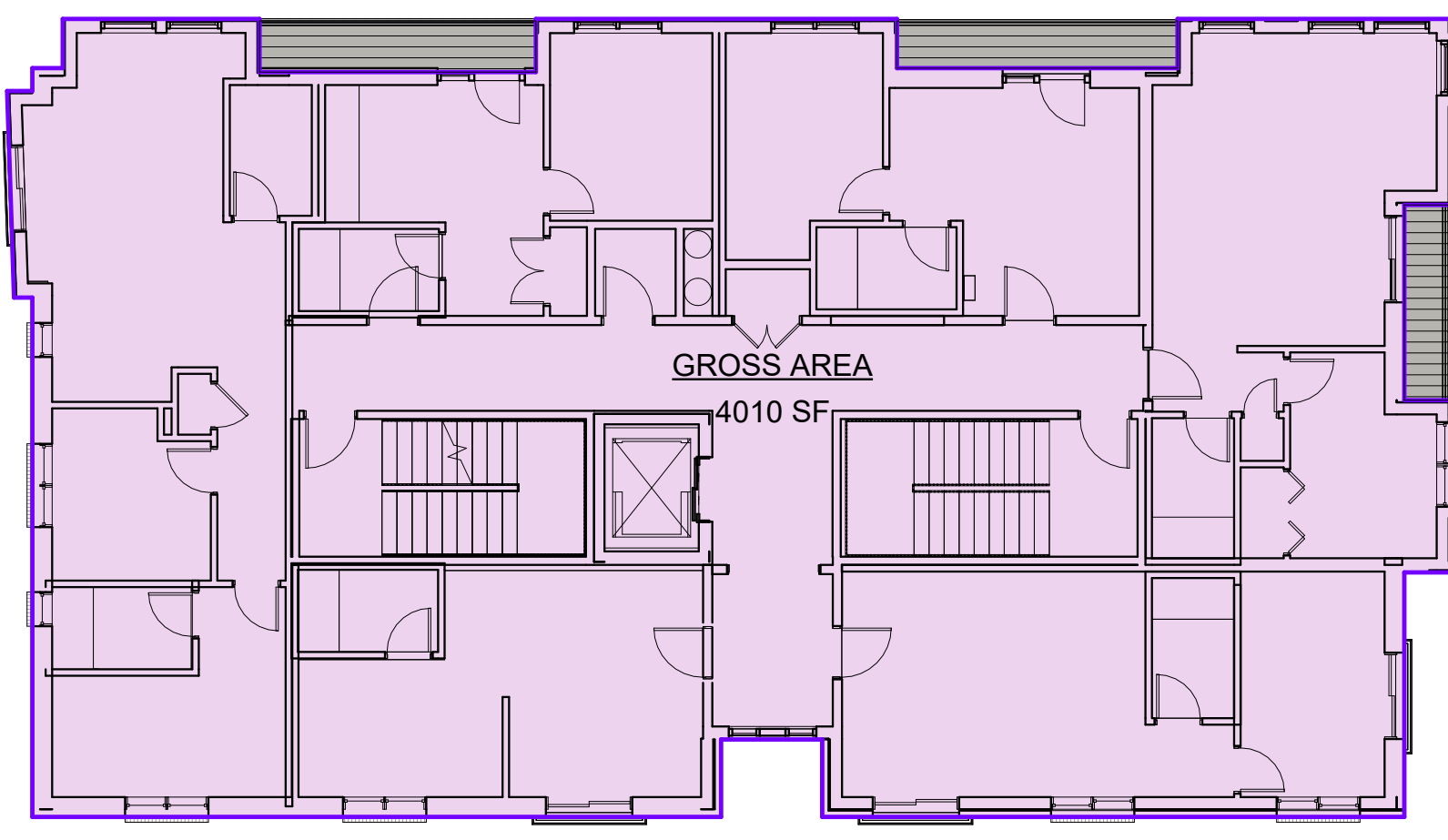
4 3RD FLOOR
A 1.07 3/32" = 1'-0"



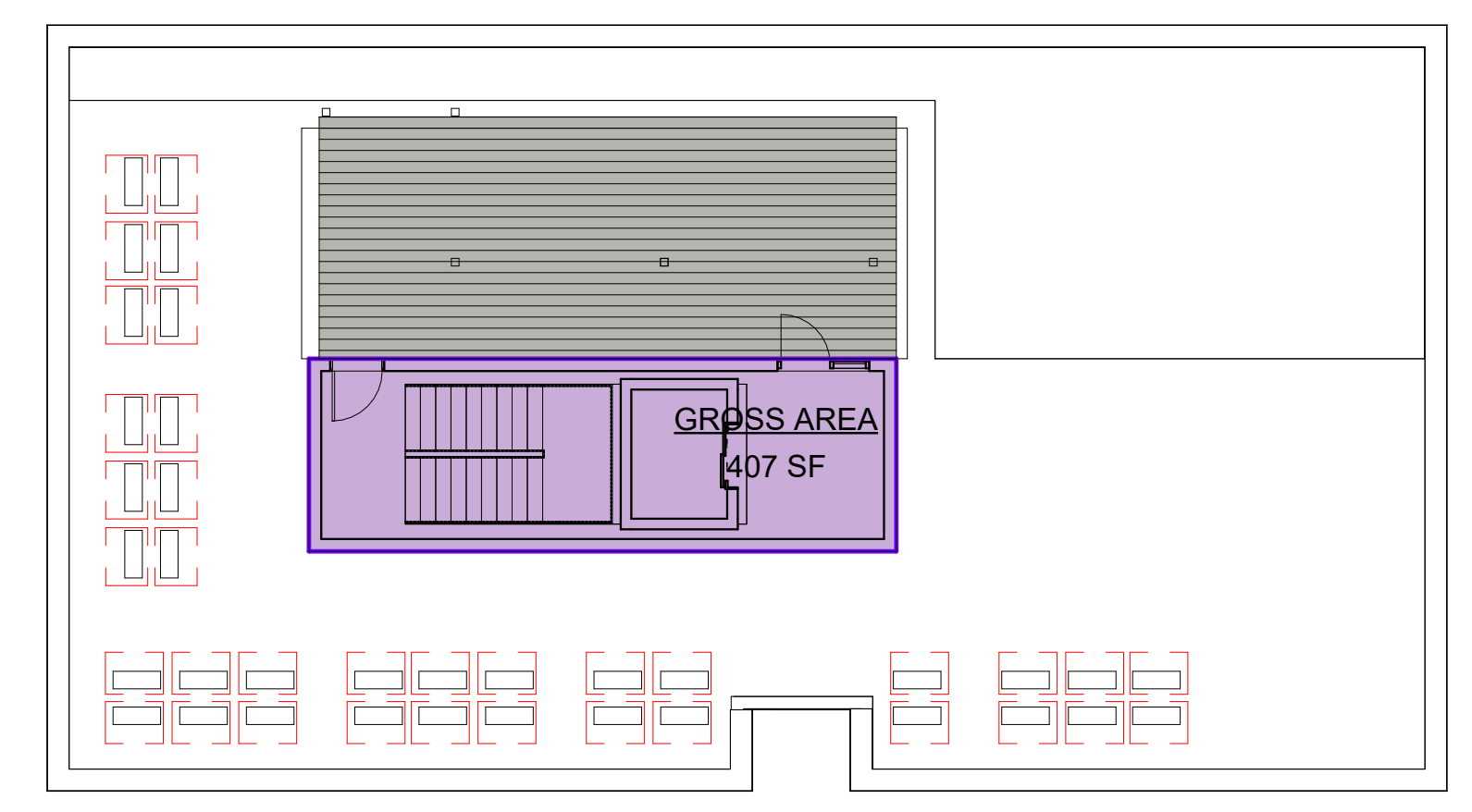
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A 1.07 3/32" = 1'-0"



6 5TH FLOOR
A 1.07 3/32" = 1'-0"



7 6TH FLOOR
A 1.07 3/32" = 1'-0"



8 ROOF
A 1.07 3/32" = 1'-0"

AREA SCHEDULE-GROSS...	
LEVEL	AREA
Basement	3777 SF
Level 01	3754 SF
Level 02	4010 SF
Level 03	4010 SF
Level 04	4010 SF
Level 05	4010 SF
Level 06	4010 SF
T.O. Roof Structure	407 SF
Grand total:	27987 SF

PROJECT INFORMATION
406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

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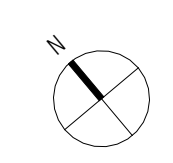
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		SHEET NAME

AREA PLANS GFA
(PER ZONING)



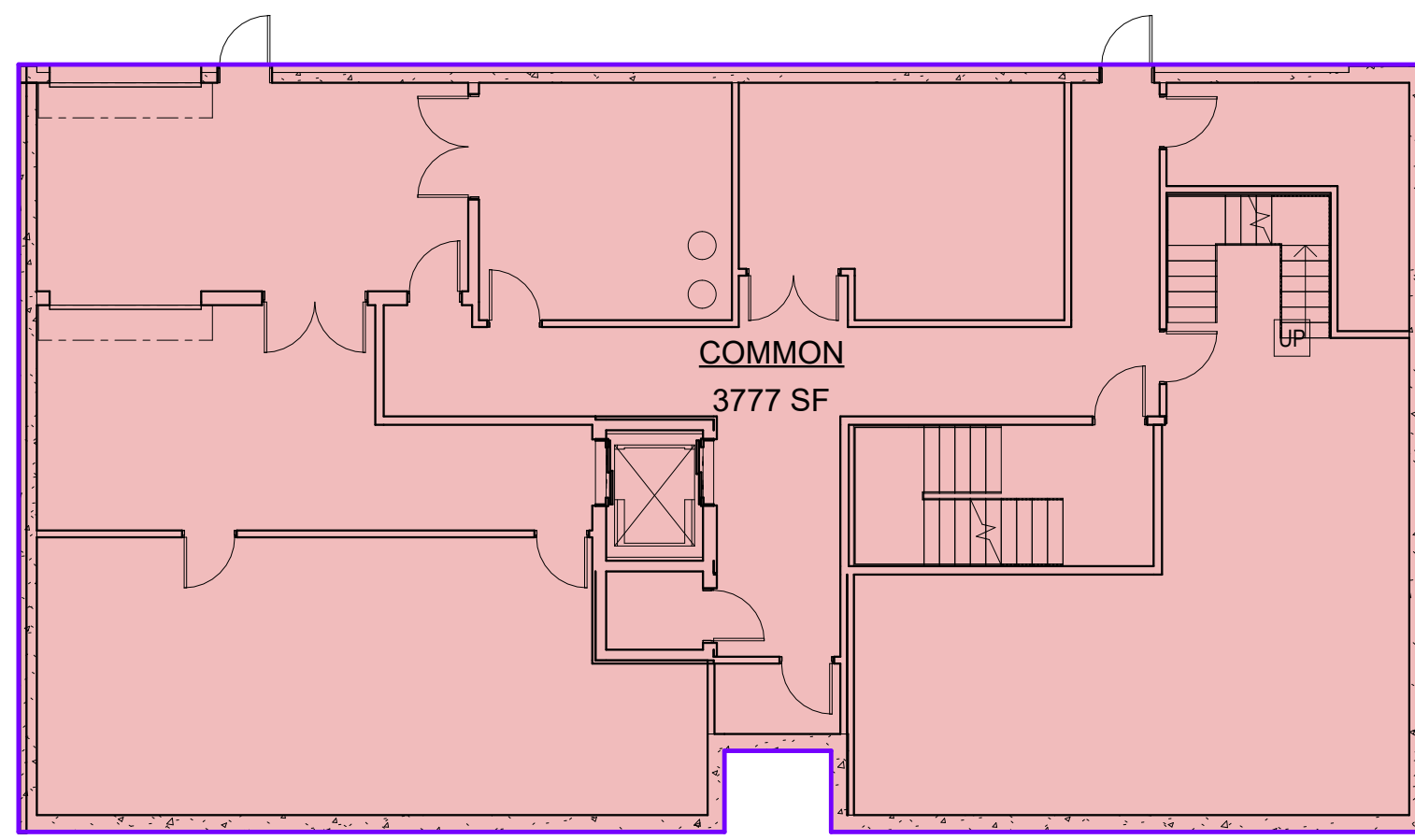


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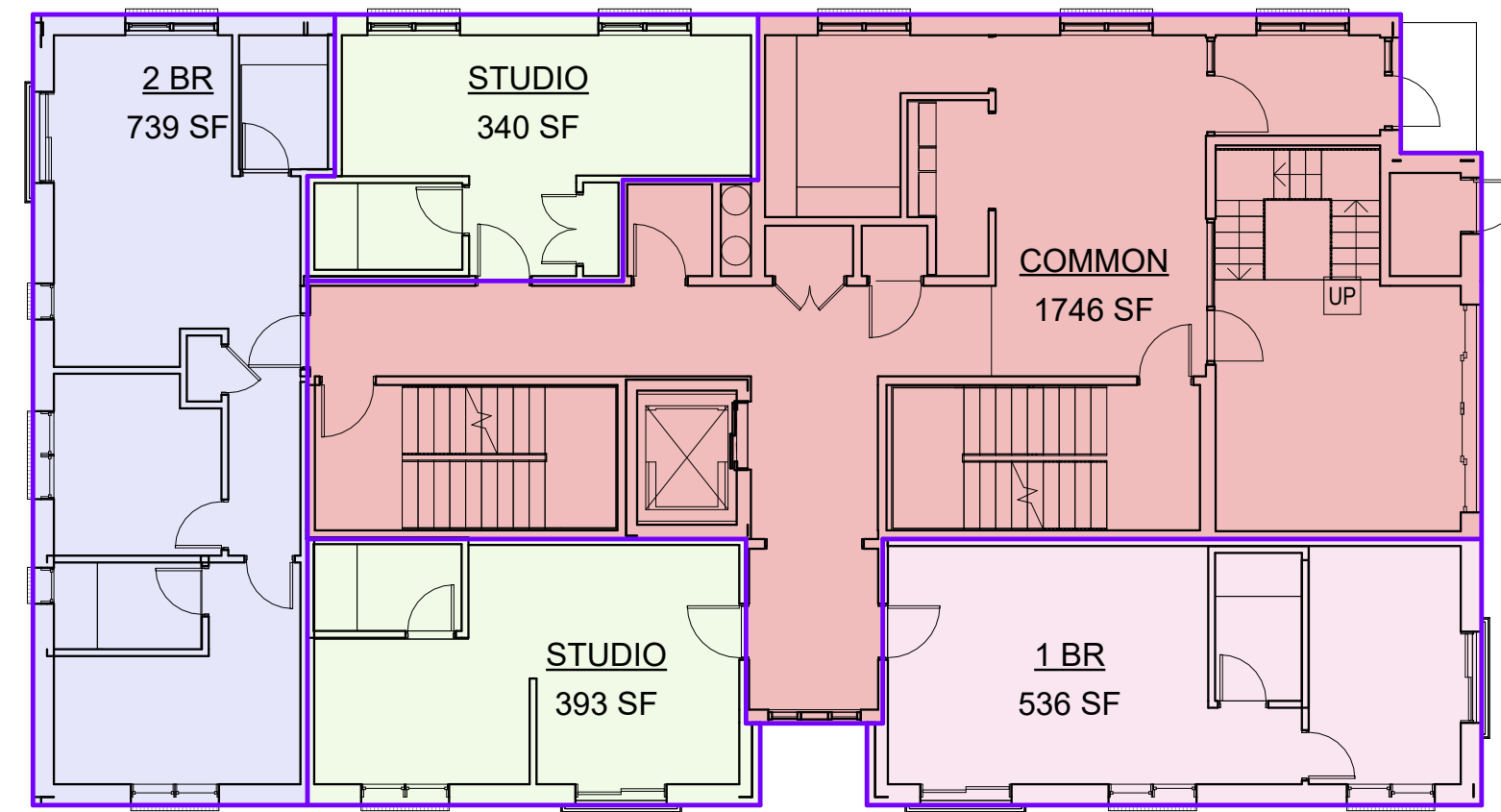
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		SHEET NAME

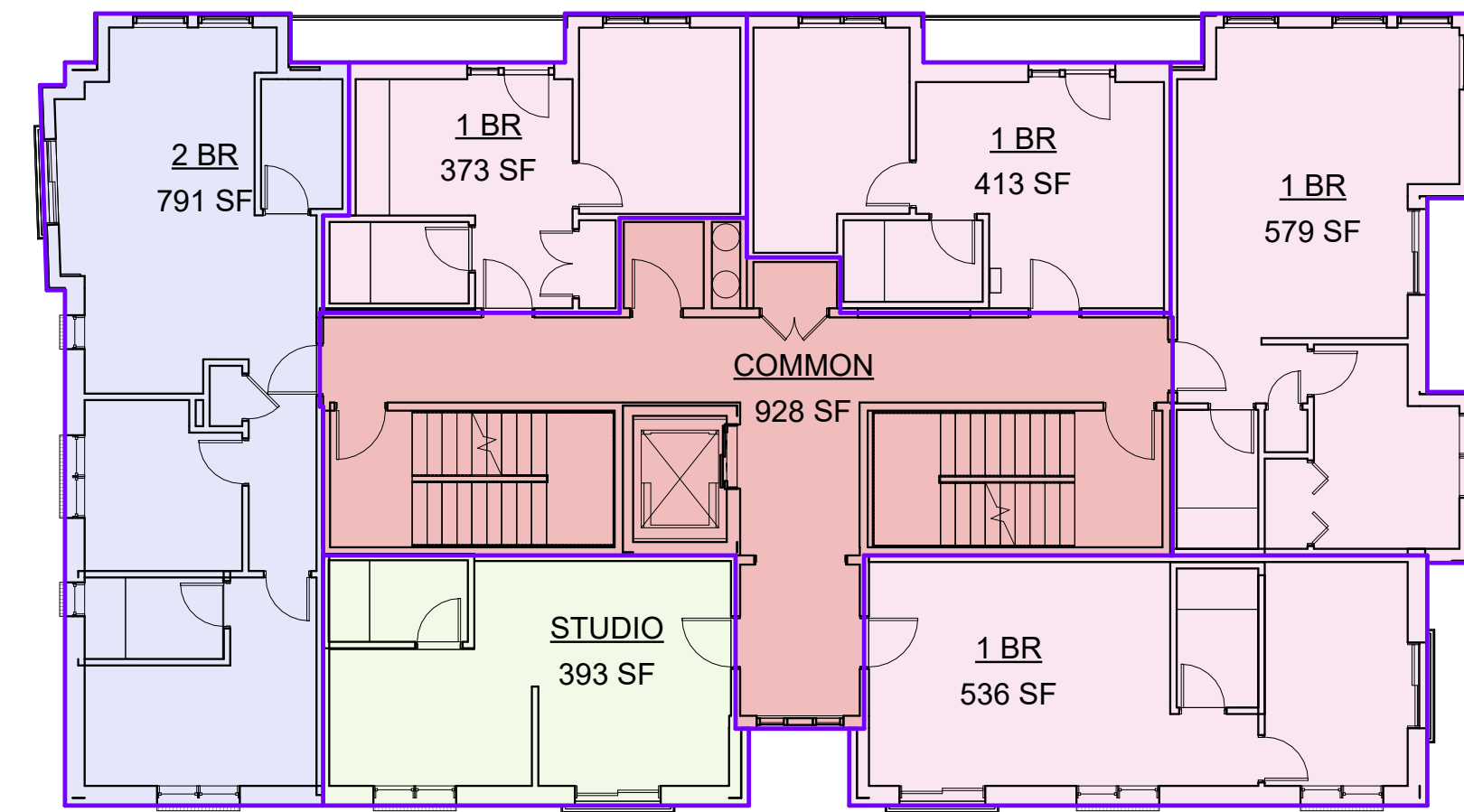
UNIT AREA PLANS



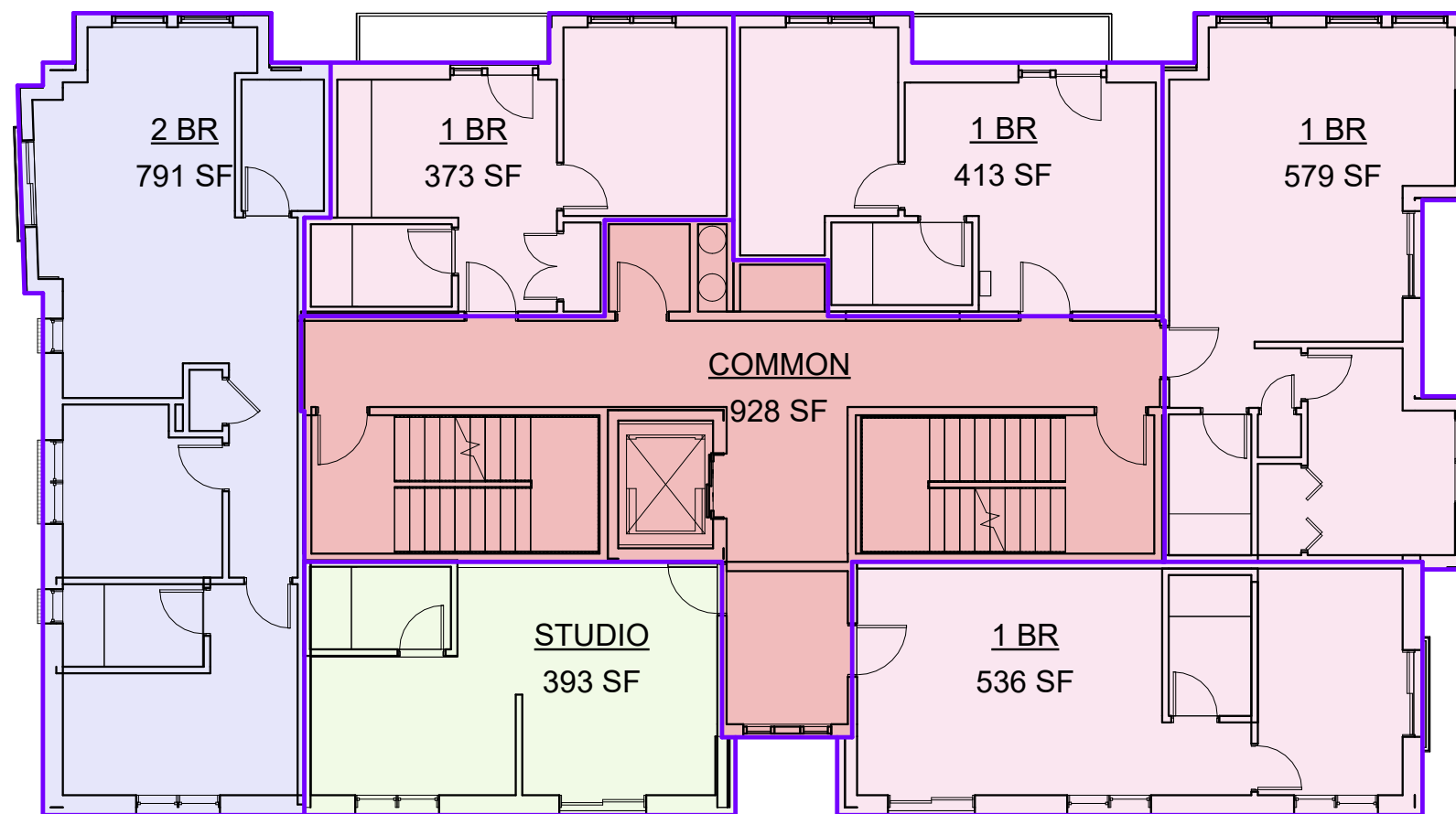
2 BASEMENT
A 1.08 3/32" = 1'-0"



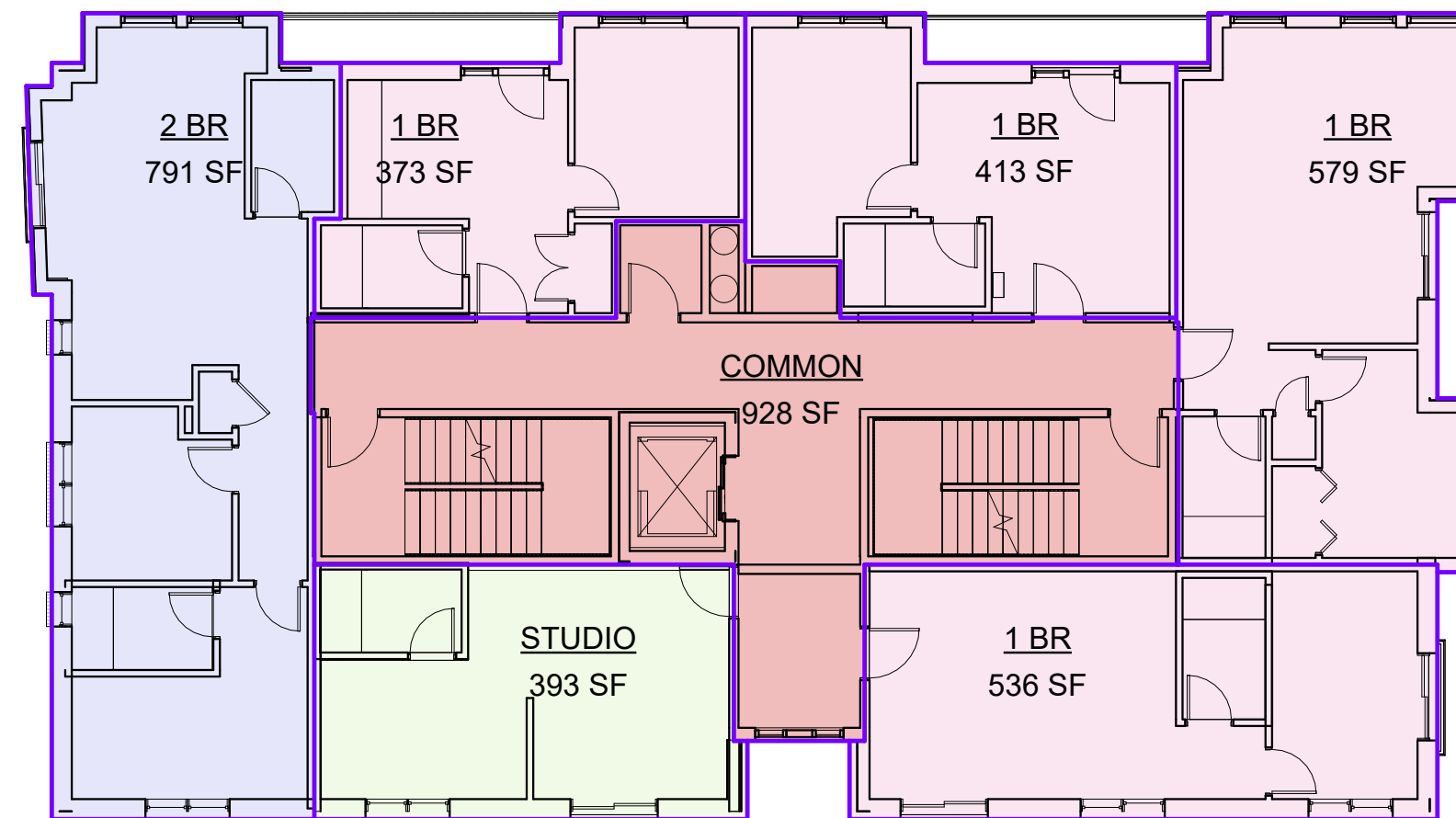
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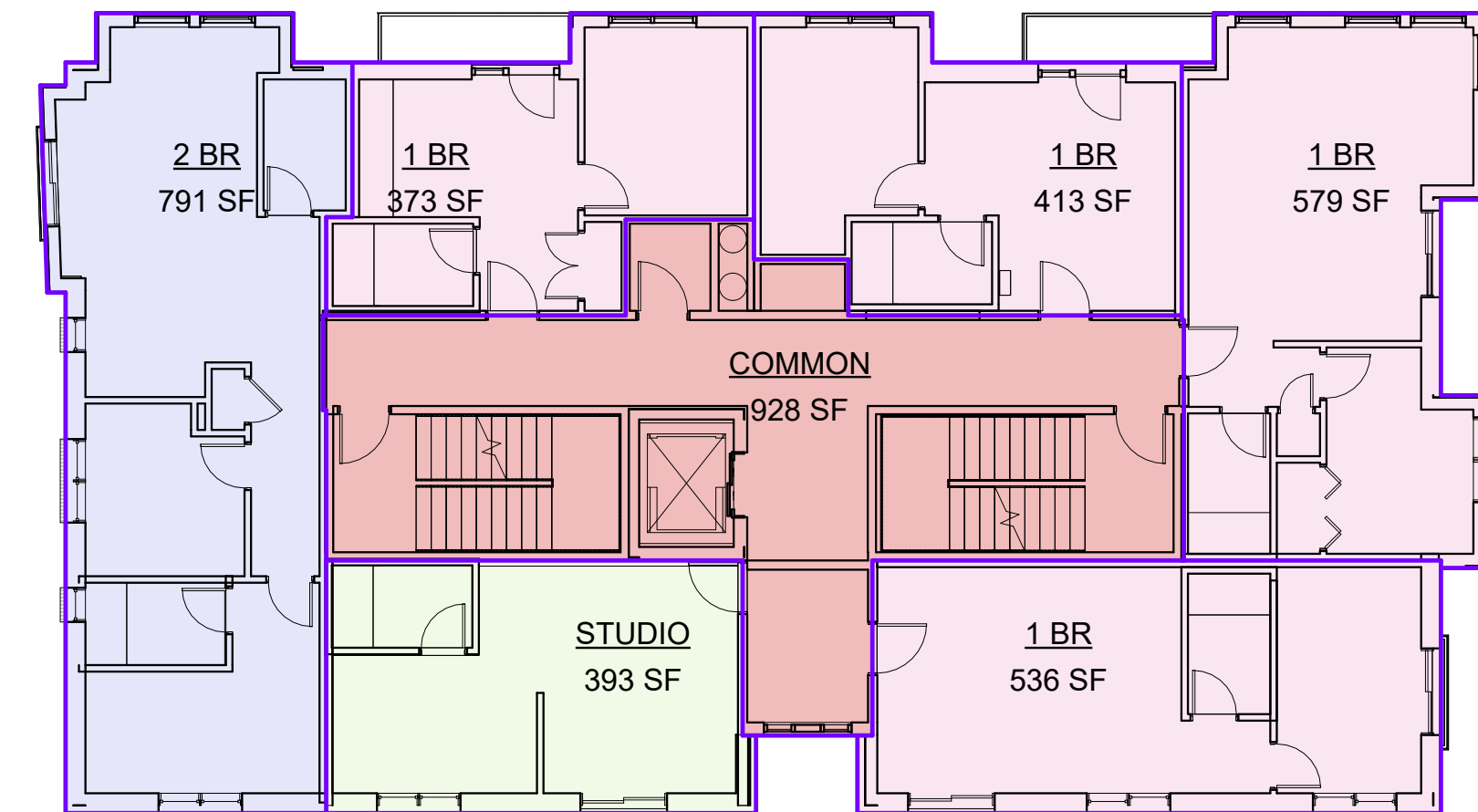
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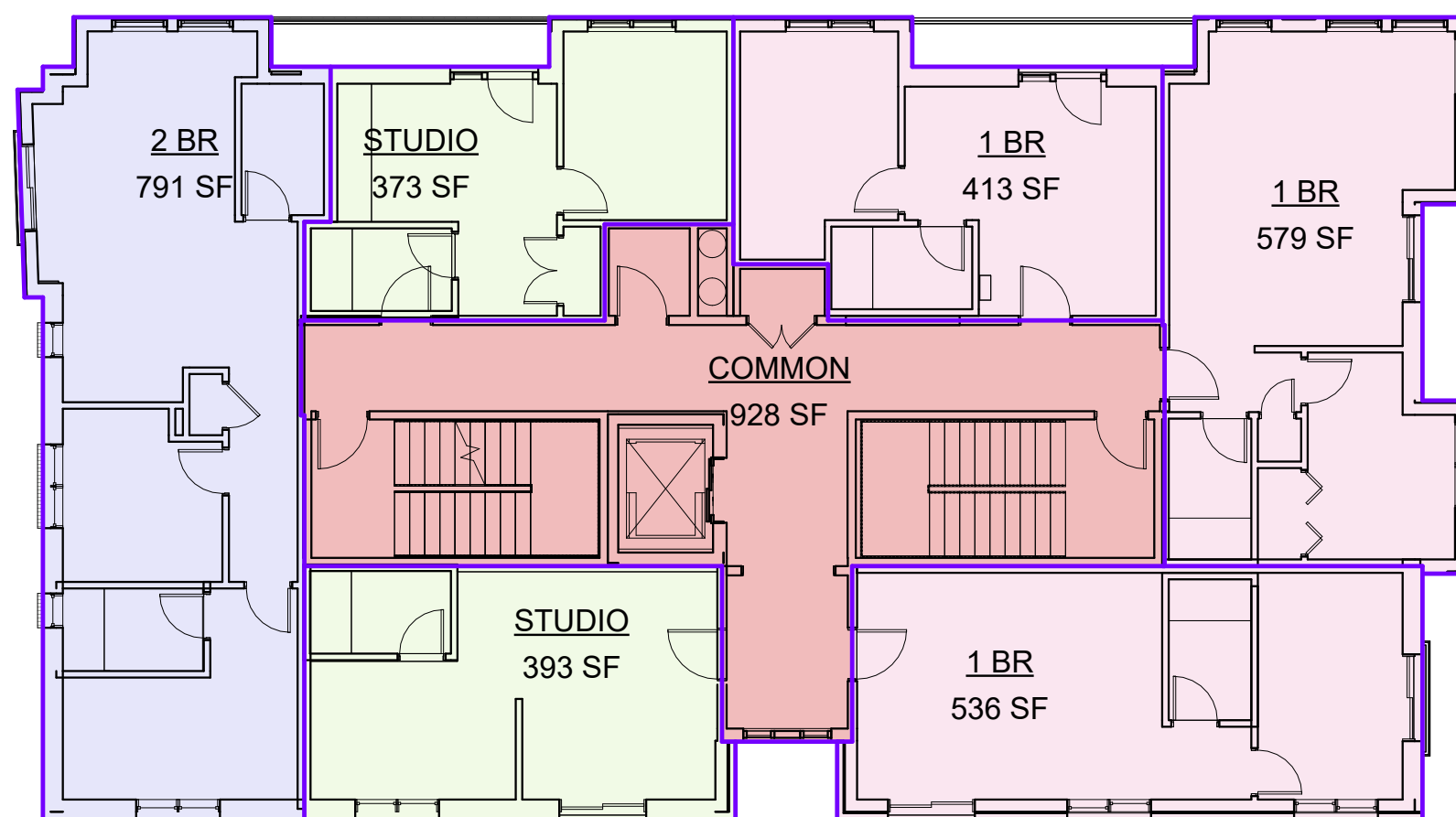
4 3RD FLOOR
A 1.08 3/32" = 1'-0"



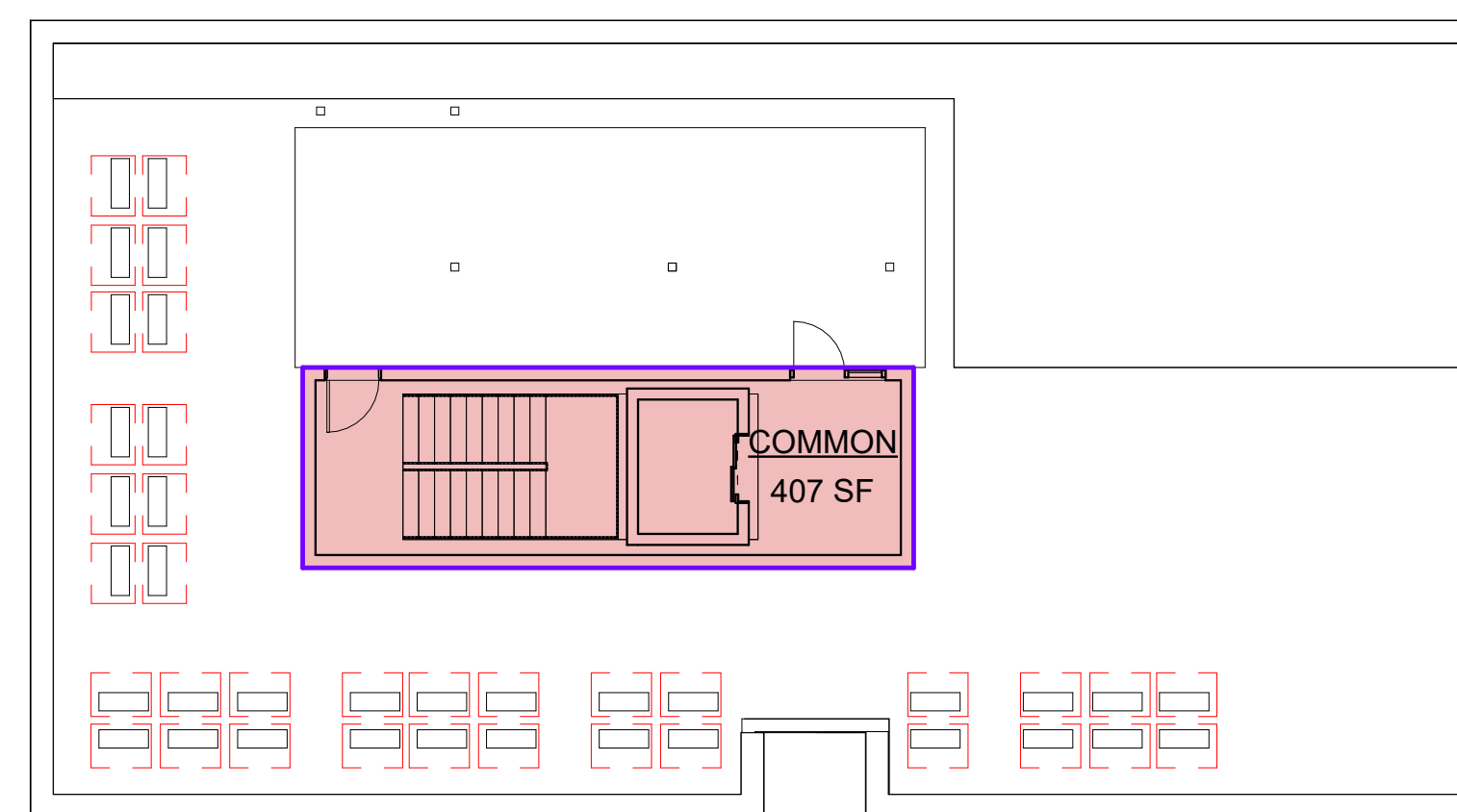
5 4TH FLOOR
A 1.08 3/32" = 1'-0"



6 5TH FLOOR
A 1.08 3/32" = 1'-0"



7 6TH FLOOR
A 1.08 3/32" = 1'-0"



8 ROOF
A 1.08 3/32" = 1'-0"

UNIT GROSS AREA SCHEDULE

Level	Name	Area
Basement	COMMON	3777 SF
Level 01	1 BR	536 SF
Level 01	2 BR	739 SF
Level 01	COMMON	1746 SF
Level 01	STUDIO	340 SF
Level 01	STUDIO	393 SF
Level 02	1 BR	373 SF
Level 02	1 BR	413 SF
Level 02	1 BR	579 SF
Level 02	1 BR	536 SF
Level 02	2 BR	791 SF
Level 02	COMMON	928 SF
Level 02	STUDIO	393 SF
Level 03	1 BR	373 SF
Level 03	1 BR	413 SF
Level 03	1 BR	579 SF
Level 03	1 BR	536 SF
Level 03	2 BR	791 SF
Level 03	COMMON	928 SF
Level 03	STUDIO	393 SF

UNIT GROSS AREA SCHEDULE

Level	Name	Area
Level 04	1 BR	373 SF
Level 04	1 BR	413 SF
Level 04	1 BR	579 SF
Level 04	1 BR	536 SF
Level 04	2 BR	791 SF
Level 04	COMMON	928 SF
Level 04	STUDIO	393 SF
Level 05	1 BR	373 SF
Level 05	1 BR	413 SF
Level 05	1 BR	579 SF
Level 05	1 BR	536 SF
Level 05	2 BR	791 SF
Level 05	COMMON	928 SF
Level 05	STUDIO	393 SF
Level 06	1 BR	413 SF
Level 06	1 BR	579 SF
Level 06	1 BR	536 SF
Level 06	2 BR	791 SF
Level 06	COMMON	928 SF
Level 06	STUDIO	373 SF
Level 06	STUDIO	393 SF
T.O. Roof Structure	COMMON	407 SF

S&J BROADWAY REALTY

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406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

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	25049	PROJECT NUMBER
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	Approver	APPROVED
	As indicated	SCALE
		SHEET NAME

EXTERIOR ELEVATIONS - CONCEPT 1

SHEET NUMBER

A 3.00

EXTERIOR MATERIAL LEGEND

- BRICK - RUNNING BOND
- BRICK - OFFSET PATTERN
- BRICK - SOLDIER COURSE
- LIGHT BRICK - RUNNING BOND
- LIGHT BRICK - VERTICAL BOND
- PORCELAIN TILE CLADDING - DARK STONE
- SIDING - COMPOSITE LAP SIDING - GRAY (HORIZONTAL)
- EXTERIOR LANDSCAPING STONE - RETAINING WALL
- ALUMINUM FRAME GLAZING
- BLACK METAL RAILING



1 BROADWAY ELEVATION - NORTH
A 3.00 1/4" = 1'-0"

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4/2/2026 11:10:38 AM

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	PROJECT NUMBER	25049
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	APPROVED	Approver
	SCALE	As indicated
	SHEET NAME	

EXTERIOR ELEVATIONS - CONCEPT 1

SHEET NUMBER

A 3.01

EXTERIOR MATERIAL LEGEND

- BRICK - RUNNING BOND
- BRICK - OFFSET PATTERN
- BRICK - SOLDIER CORSE
- LIGHT BRICK - RUNNING BOND
- LIGHT BRICK - VERTICAL BOND
- PORCELAIN TILE CLADDING - DARK STONE
- SIDING - COMPOSITE LAP SIDING - GRAY (HORIZONTAL)
- EXTERIOR LANDSCAPING STONE - RETAINING WALL
- ALUMINUM FRAME GLAZING
- BLACK METAL RAILING



1 REAR ELEVATION - SOUTH
A 3.01 1/4" = 1'-0"

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406 BROADWAY DEVELOPMENT

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	Approver	APPROVED
	1/4" = 1'-0"	SCALE
		SHEET NAME

EXTERIOR ELEVATIONS - CONCEPT 1

SHEET NUMBER

A 3.02



1 SIDE ELEVATION - WEST
1/4" = 1'-0"

2 GOODMAN RD ELEVATION - EAST
1/4" = 1'-0"

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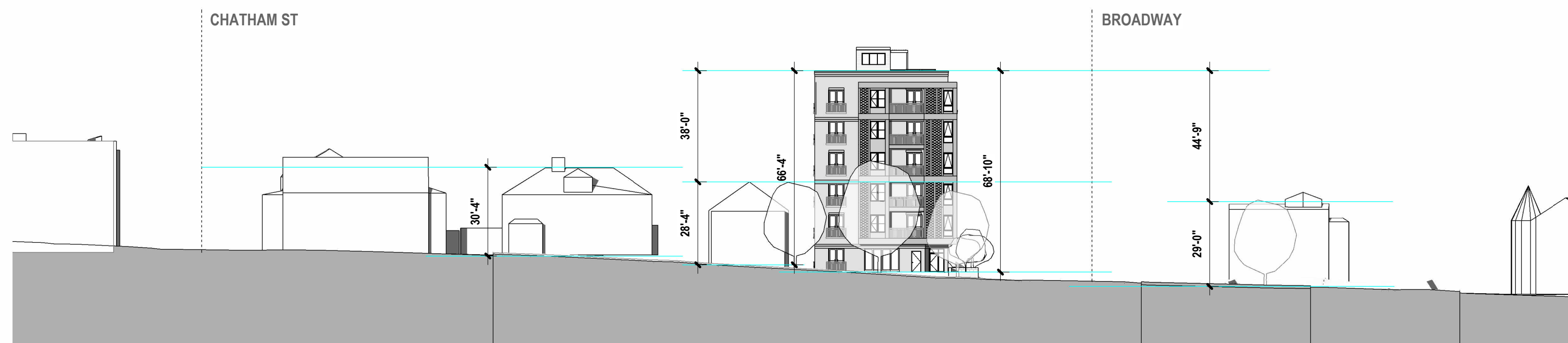
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	Approver	APPROVED
	1/32" = 1'-0"	SCALE
		SHEET NAME

FULL STREET ELEVATIONS

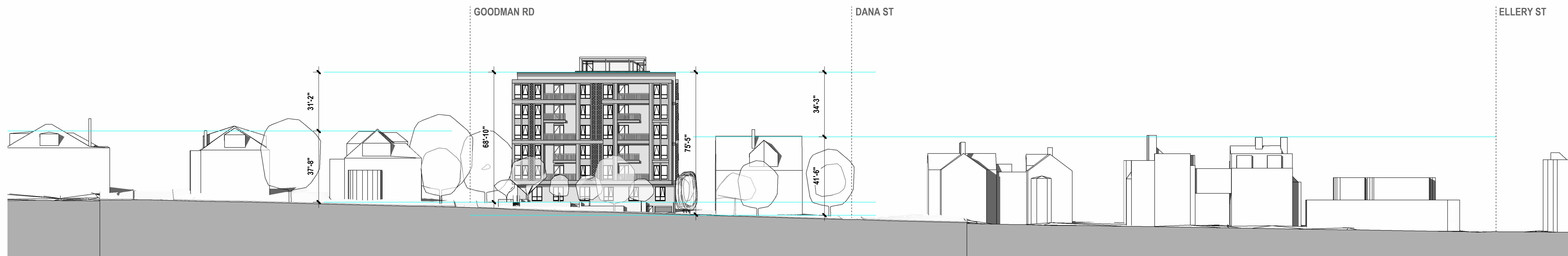
SHEET NUMBER

A 3.03

4/2/2026 11:12:01 AM



2 FULL STREET ELEVATION - GOODMAN RD
A 3.03 1/32" = 1'-0"



1 FULL STREET ELEVATION - BROADWAY
A 3.03 1/32" = 1'-0"

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	1/8" = 1'-0"	SCALE

SHEET NAME

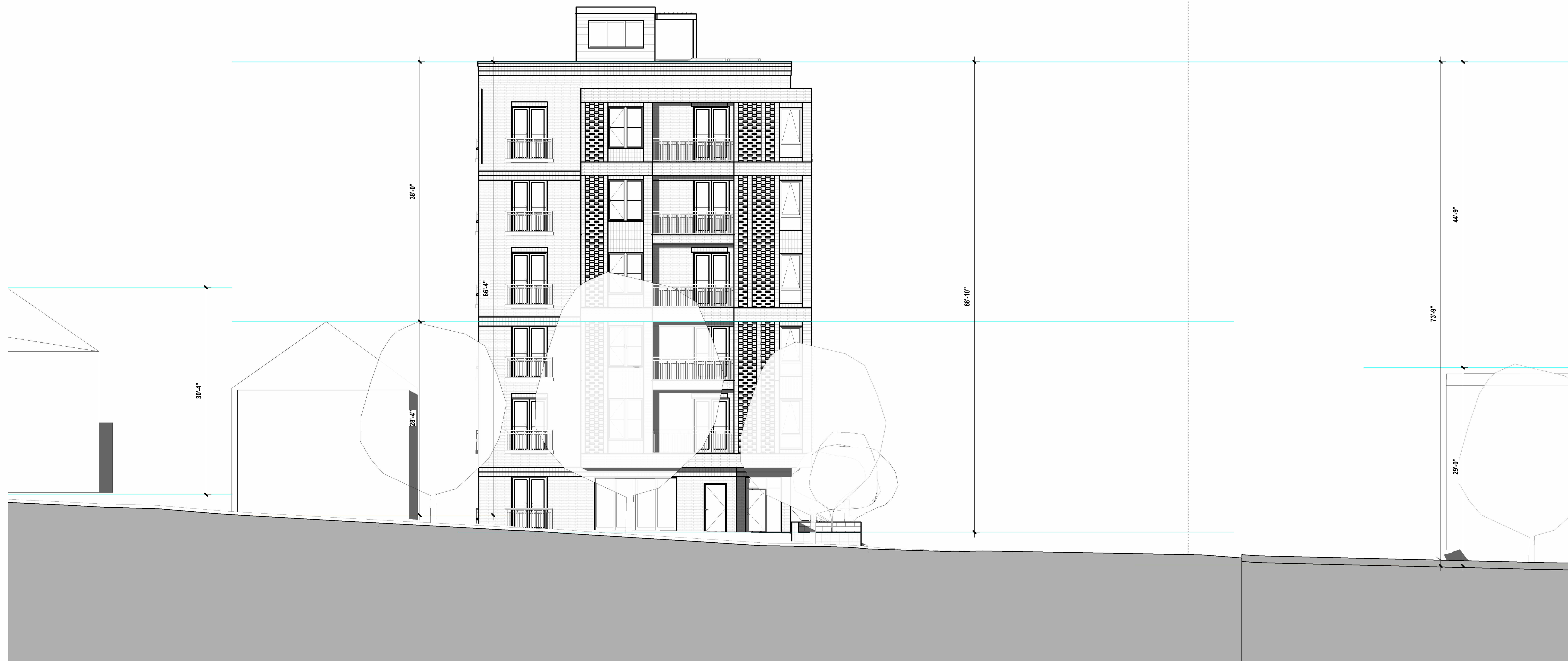
ENLARGED STREET ELEVATIONS

SHEET NUMBER

A 3.04

4/2/2026 11:12:15 AM

BROADWAY



2 FULL STREET ELEVATION - GOODMAN RD
A 3.04 1/8" = 1'-0"

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SHEET NAME

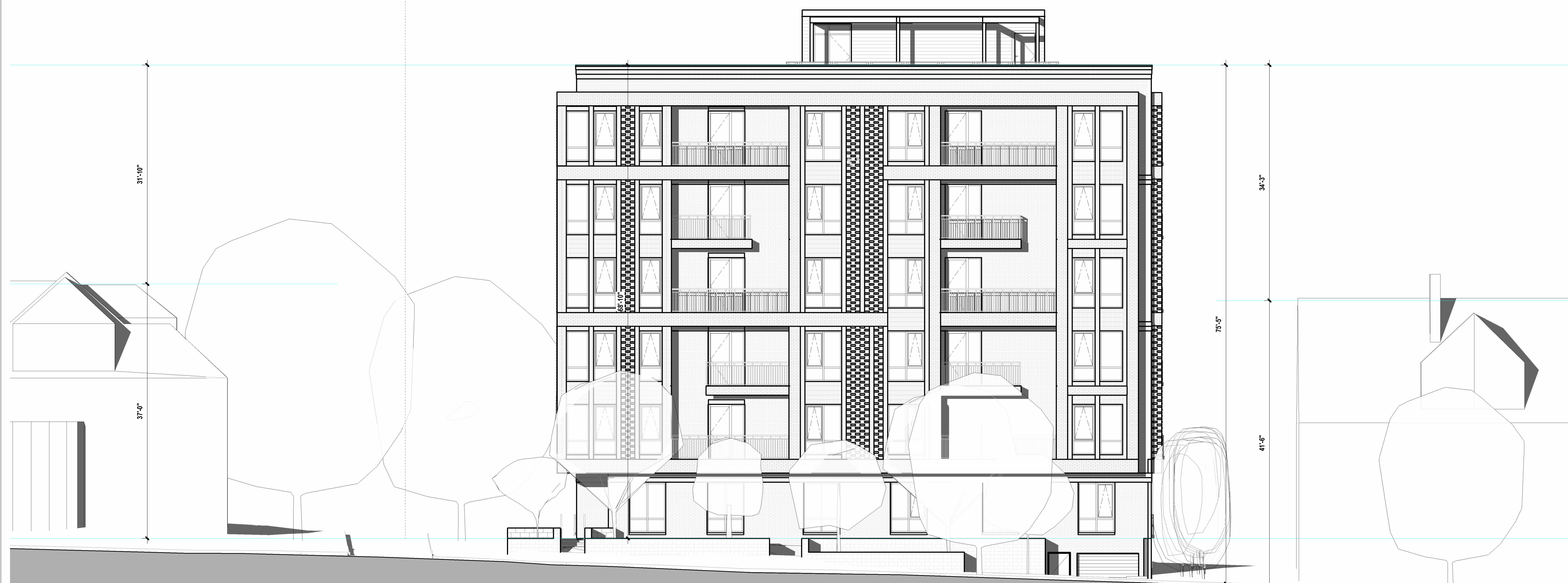
ENLARGED
STREET
ELEVATIONS

SHEET NUMBER

A 3.05

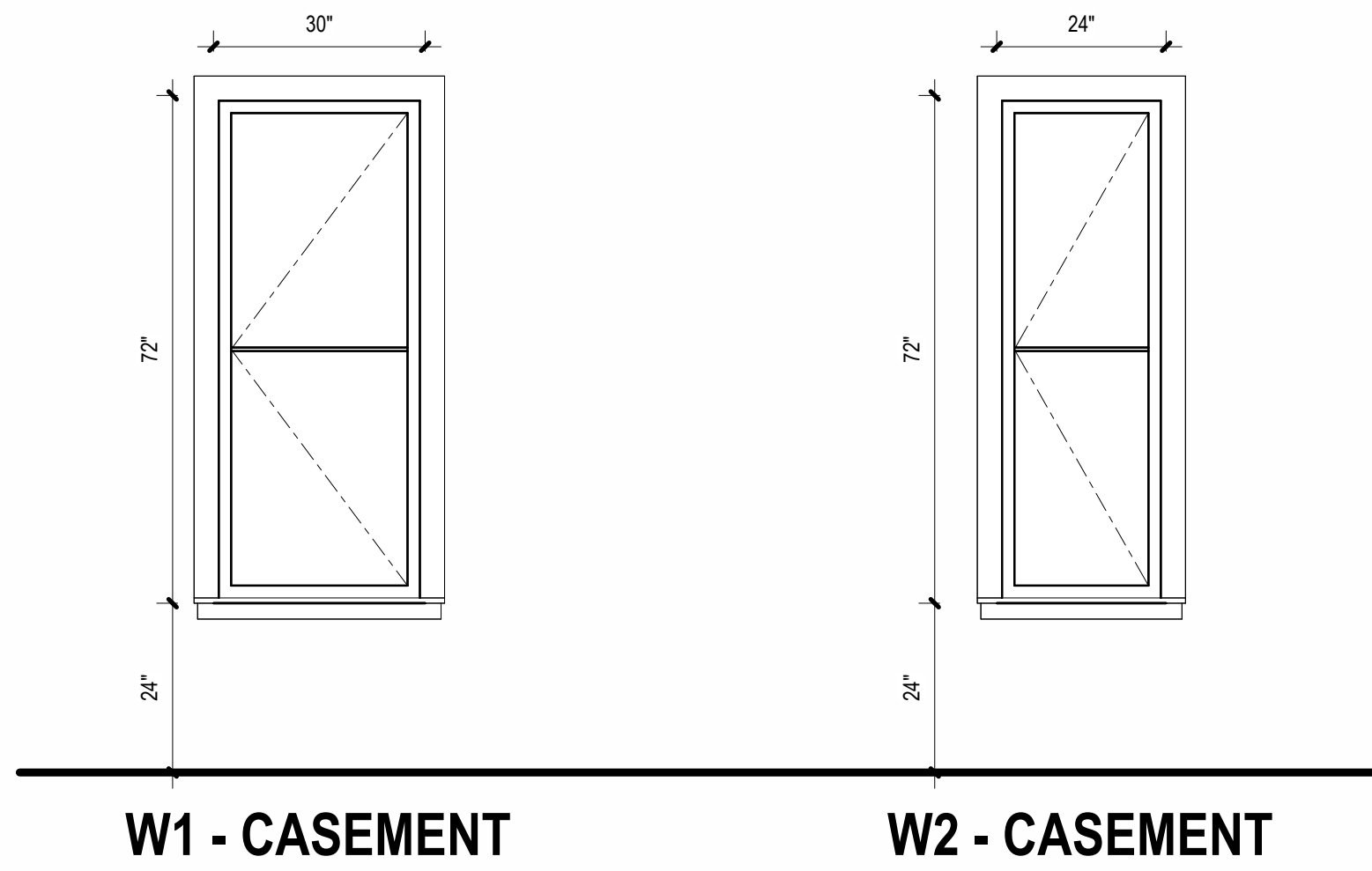
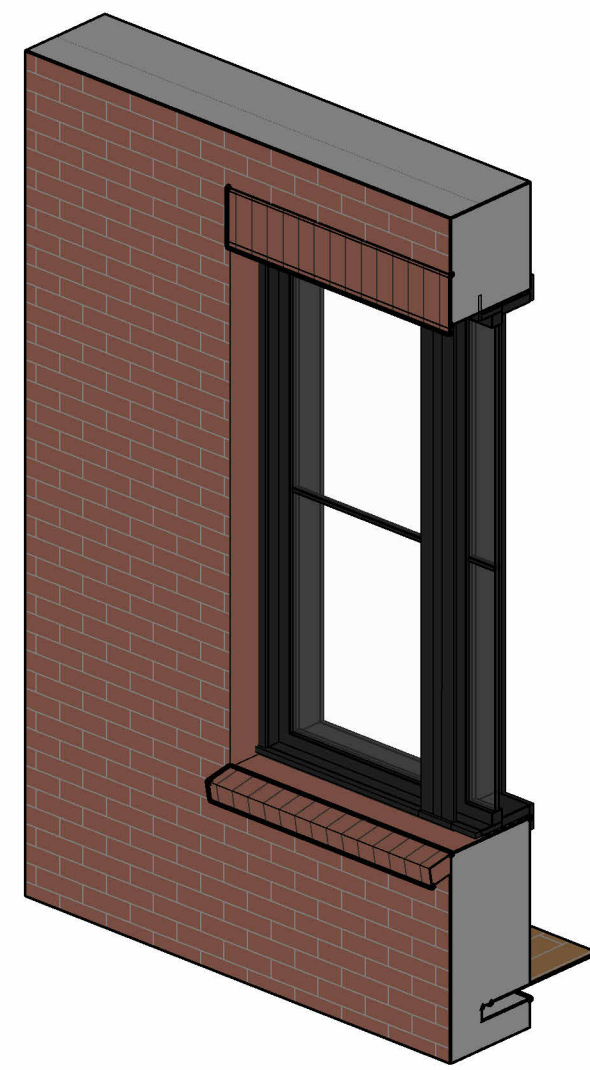
4/2/2026 11:12:37 AM

GOODMAN RD



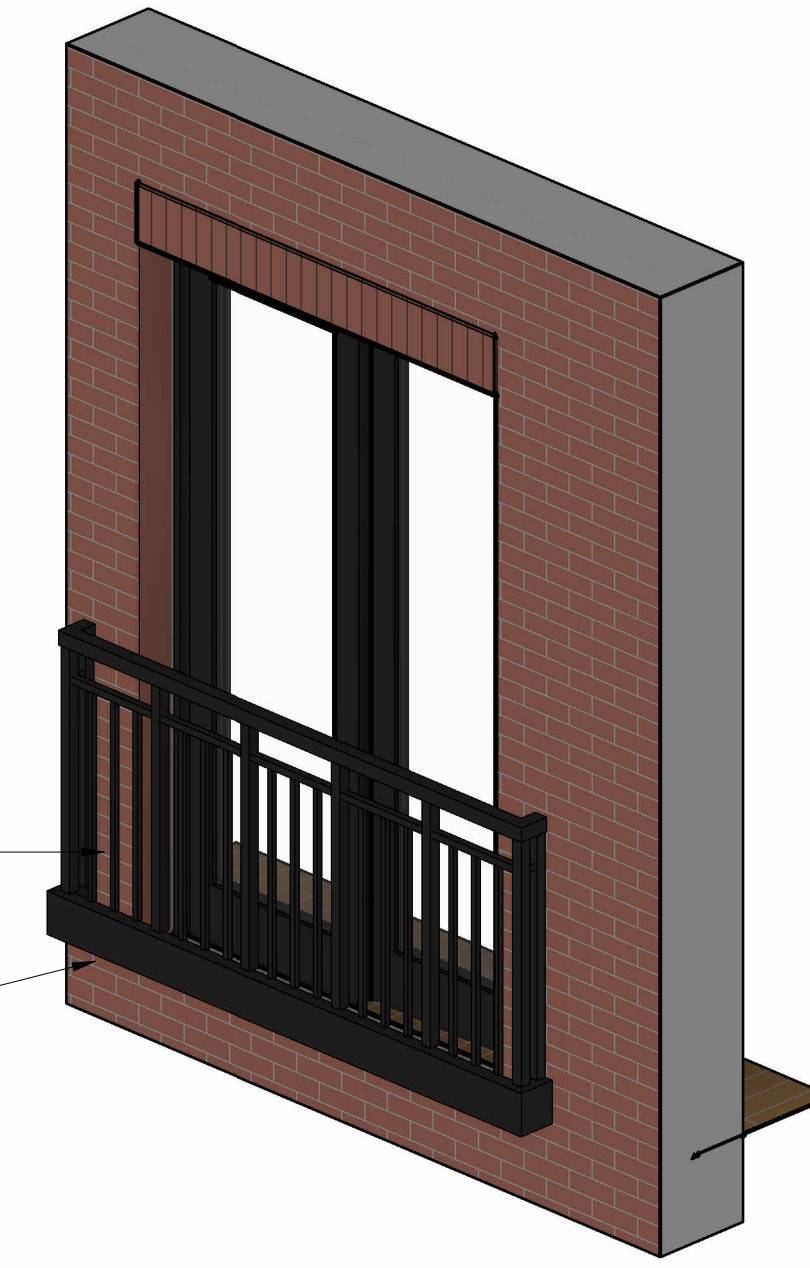
1 FULL STREET ELEVATION - BROADWAY
A 3.05 1/8" = 1'-0"

INTUS WINDOWS - SUPERA CW CASEMENT



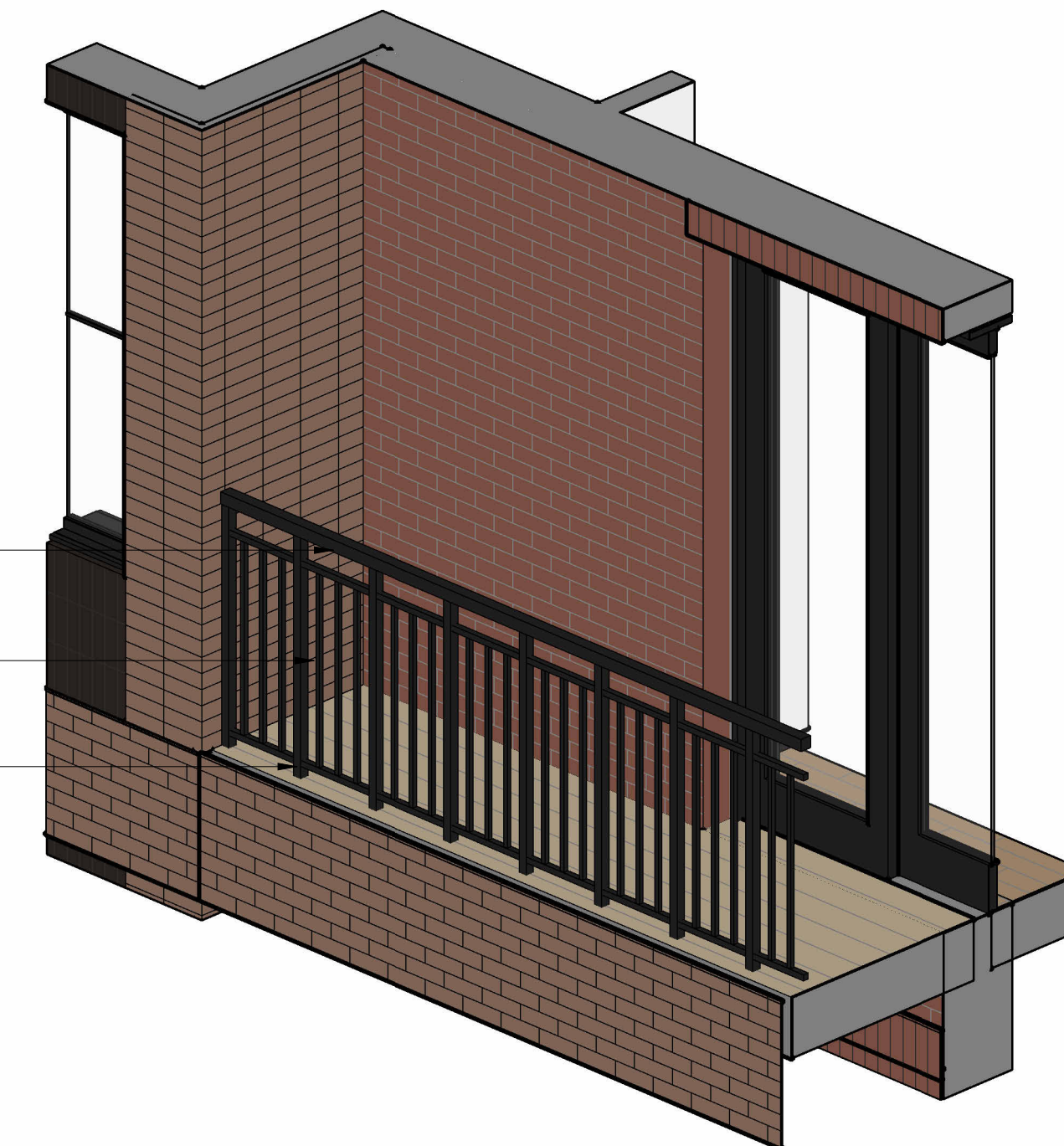
JULIET BALCONY

42" high juliet railing; matte black metal
 facade mounting brackets offset
 from window opening



BALCONY RAILING

42" high top rail
 matte black metal rails & balusters
 surface mounting to balcony structure



CLIENT

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406 BROADWAY DEVELOPMENT

406 Broadway
 Cambridge, MA 02139

FOR APPROVAL

4/2/2026 11:12:45 AM

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ISSUE CHART

3	HISTORIC APPROVAL REV2	01/20/26
2	HISTORIC APPROVAL REV1	12/19/25
1	HISTORIC APPROVAL	10/24/25

N	ISSUE	DATE
	25049	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
	1/2" = 1'-0"	SCALE

SHEET NAME

**WINDOW & RAILING
 DETAILS**

SHEET NUMBER

A 3.06

S&J BROADWAY REALTY

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PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

FOR APPROVAL

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**3D VISUALIZATION
- CONCEPT 1**

SHEET NUMBER

A 9.01



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	25049	PROJECT NUMBER
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**3D VISUALIZATION
- CONCEPT 1**

SHEET NUMBER

A 9.02

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406 BROADWAY DEVELOPMENT

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	25049	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
		SCALE
		SHEET NAME

**3D VISUALIZATION
- CONCEPT 1**

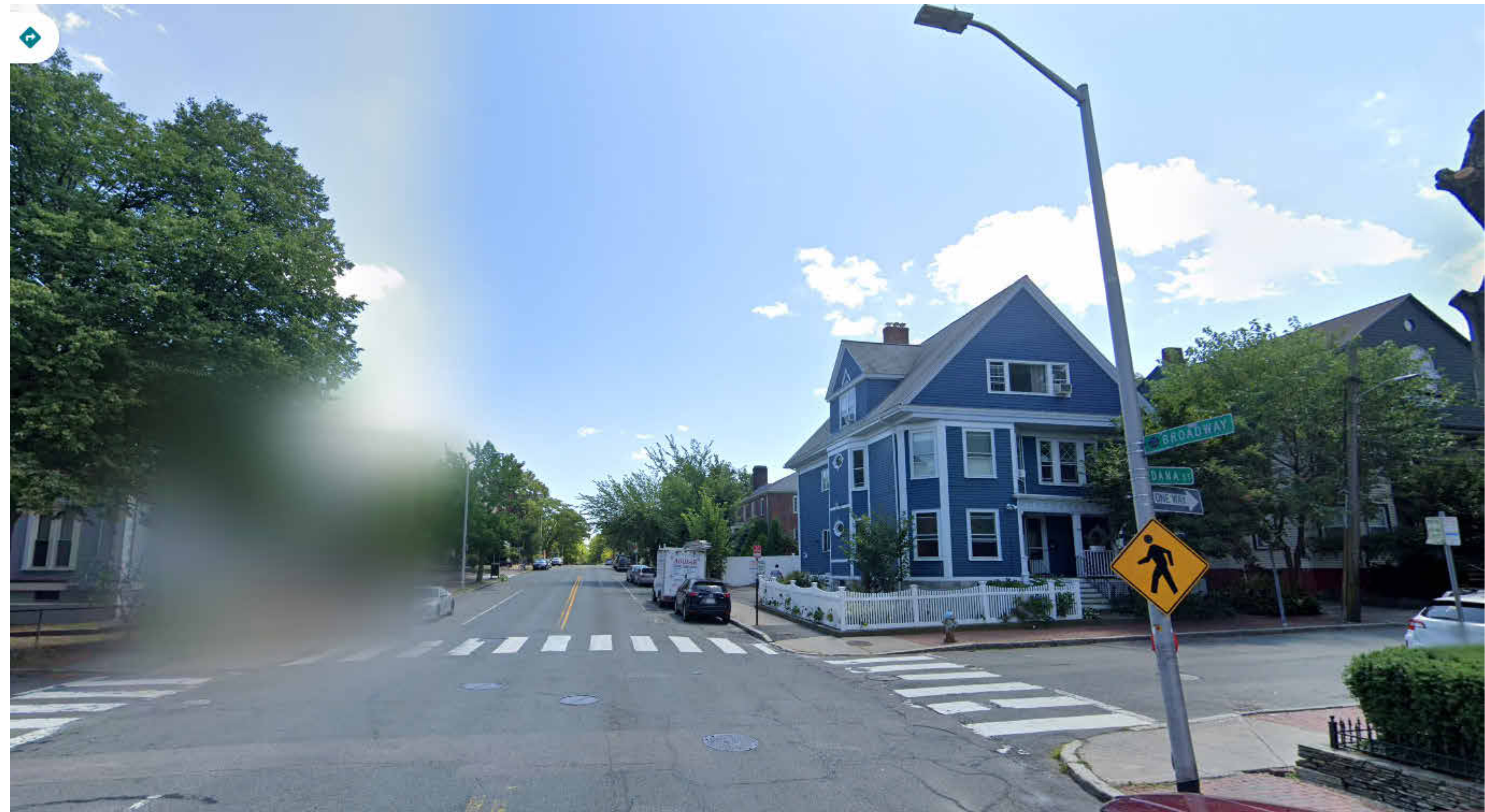
SHEET NUMBER

A 9.03



PROPOSED

EXISTING





BRICK CORNICE & RECESS DETAIL



GROUND FLOOR @ BAY WINDOW OVERHANG



BAY WINDOW BRICK PATTERN DETAILS

CLIENT

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406 BROADWAY DEVELOPMENT

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1	HISTORIC APPROVAL	10/24/25

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	25049	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
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		SHEET NAME

**3D VISUALIZATION
- FACADE DETAILS**

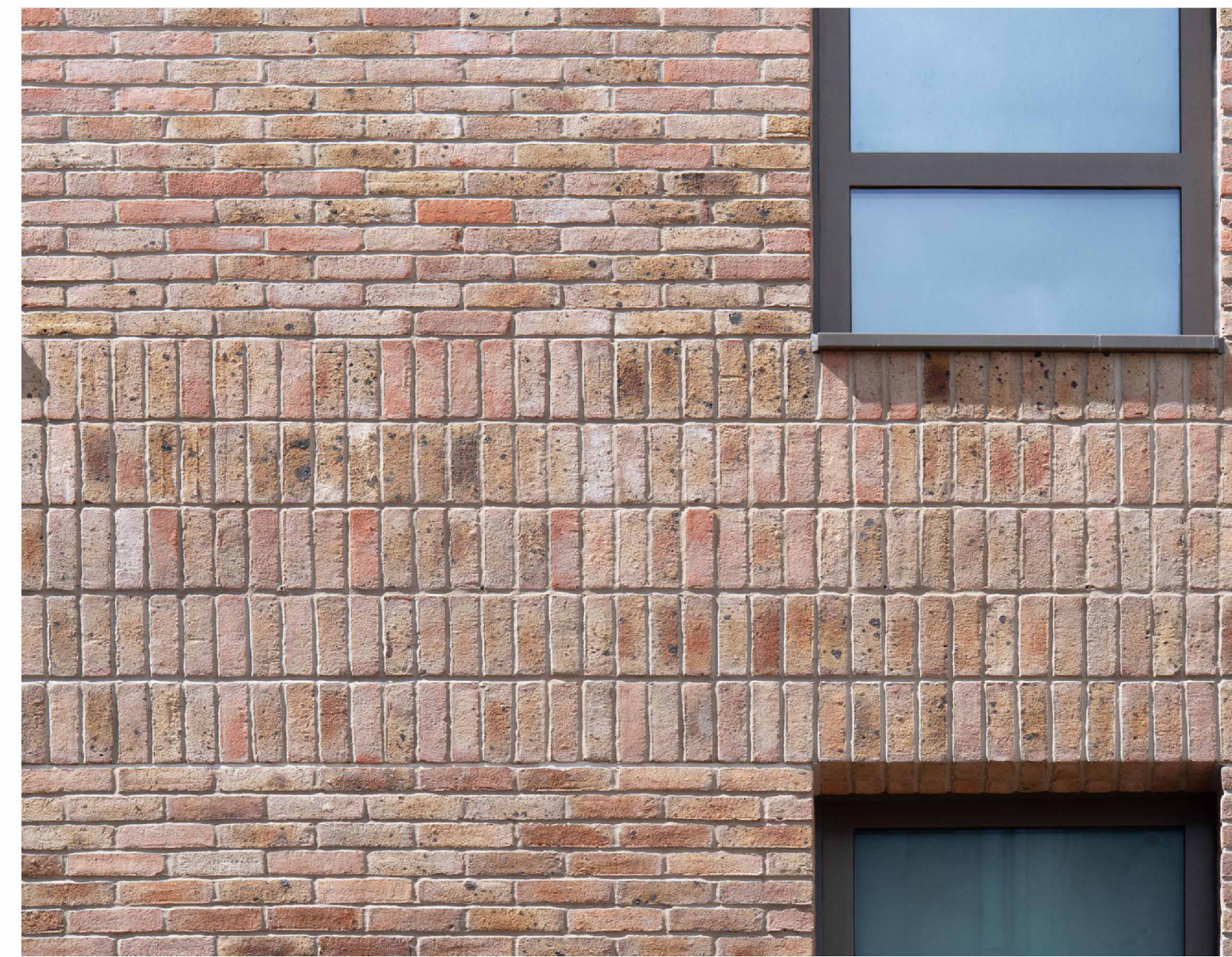
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4/2/2026 11:18:21 AM
C:\Users\jared\Documents\25049_406 Broadway Cambridge Redevelopment_Lock copy.dwg_gjeff/04/21/24



2 REAR ELEVATION - SOUTH
P1.0 1/8" = 1'-0"



EXAMPLE INSTALLATION IMAGE



1 ENLARGED DETAIL - BRICK BAND
P1.0 1" = 1'-0"

P1.0
Horizontal Banding

PROJECT NUMBER: 25049
406 BROADWAY DEVELOPMENT

SCALE: As Shown

DATE:

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e. askjoe@jthearchitect.com
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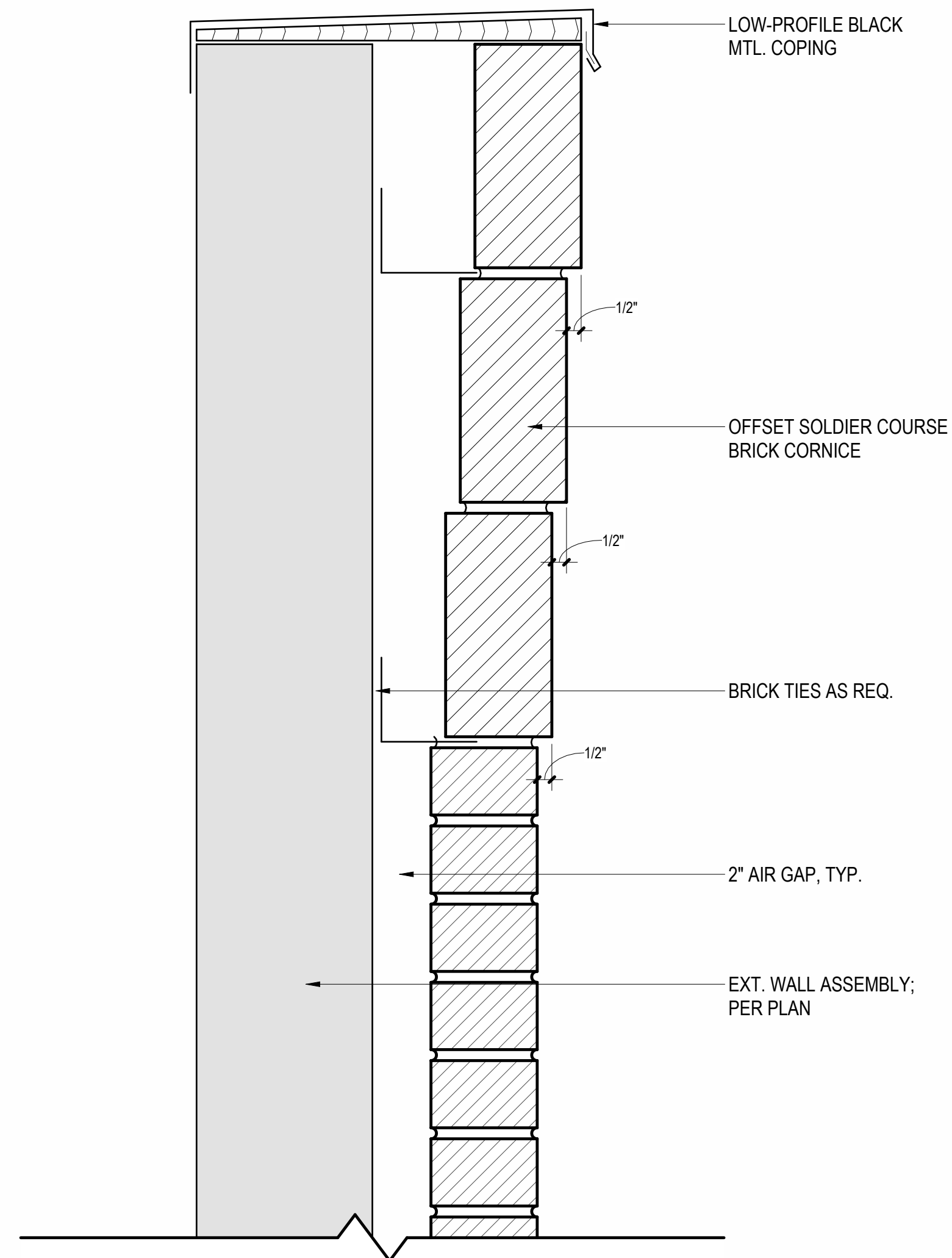
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Cambridge, MA 02139

NOT FOR CONSTRUCTION

4/2/2026 11:18:26 AM C:\Users\jared\Documents\25049_406 Broadway Cambridge Redevelopment_brick coping_gaefr\0421.rvt

P1.1
Building Cornice
PROJECT NUMBER: 25049 SCALE: As
406 BROADWAY DEVELOPMENT

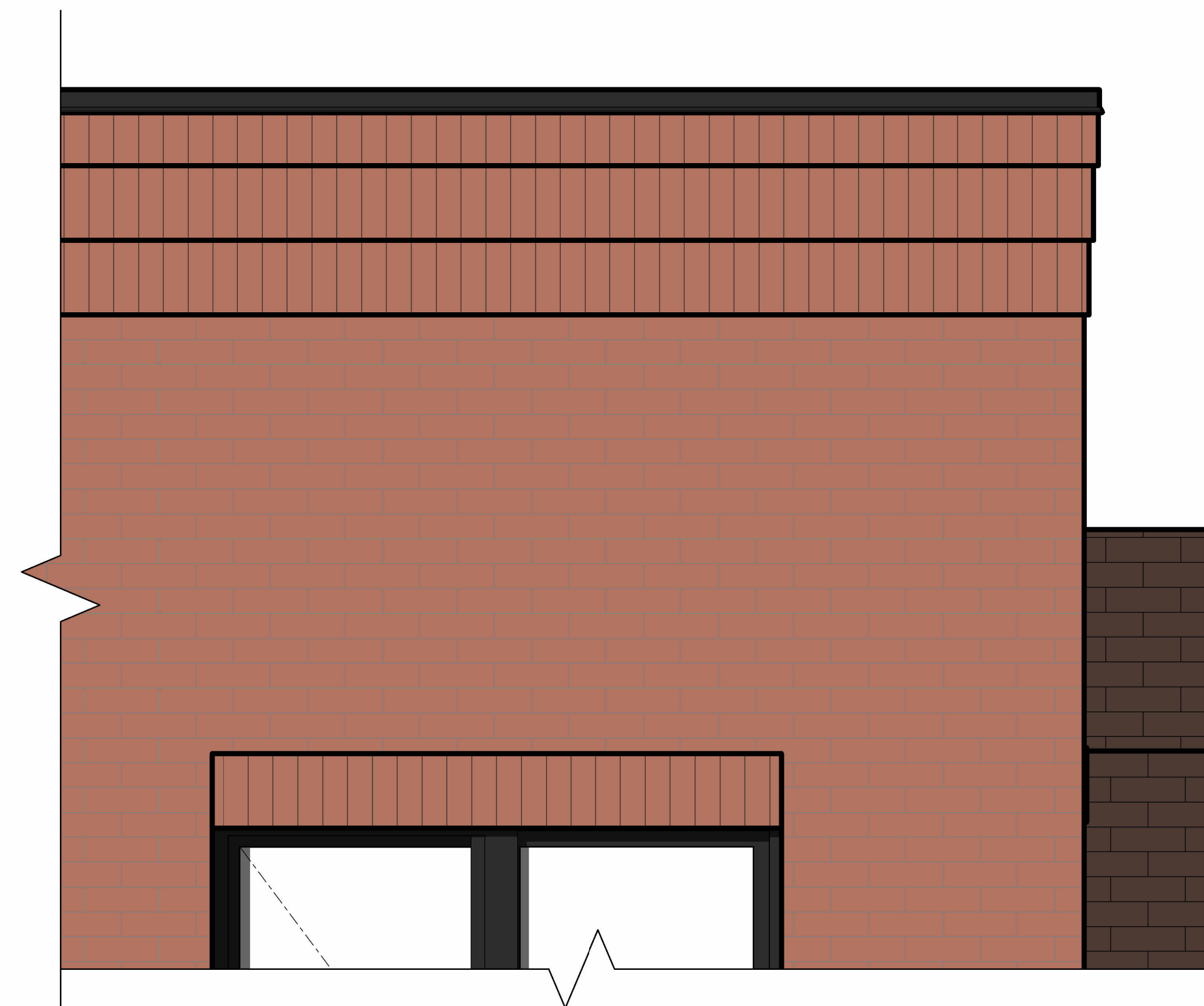
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2 BRICK CORNICE ENLARGED DETAIL
P1.1 3" = 1'-0"



EXAMPLE INSTALLATION IMAGE

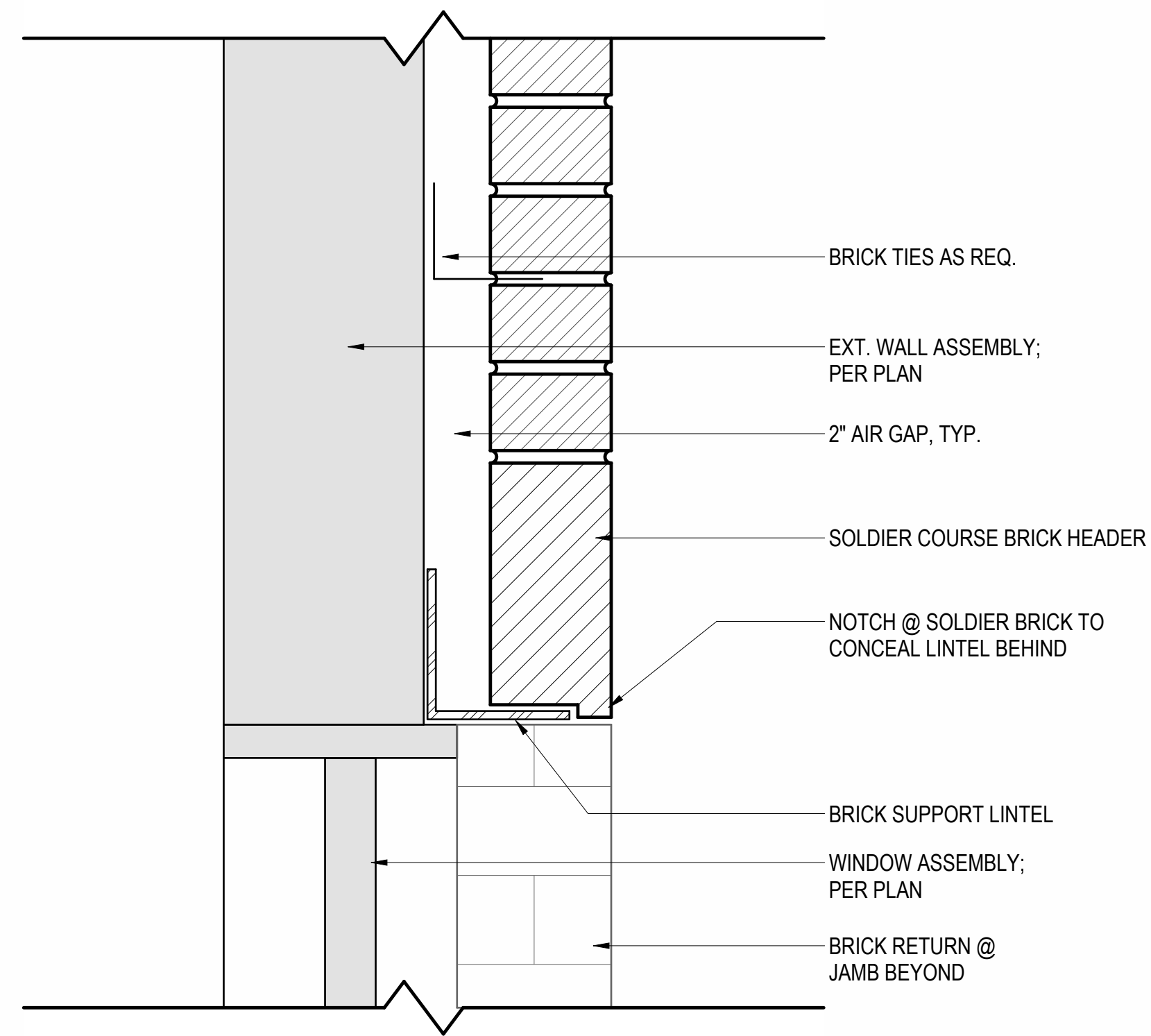


1 ENLARGED DETAIL - BRICK CORNICE
P1.1 1" = 1'-0"

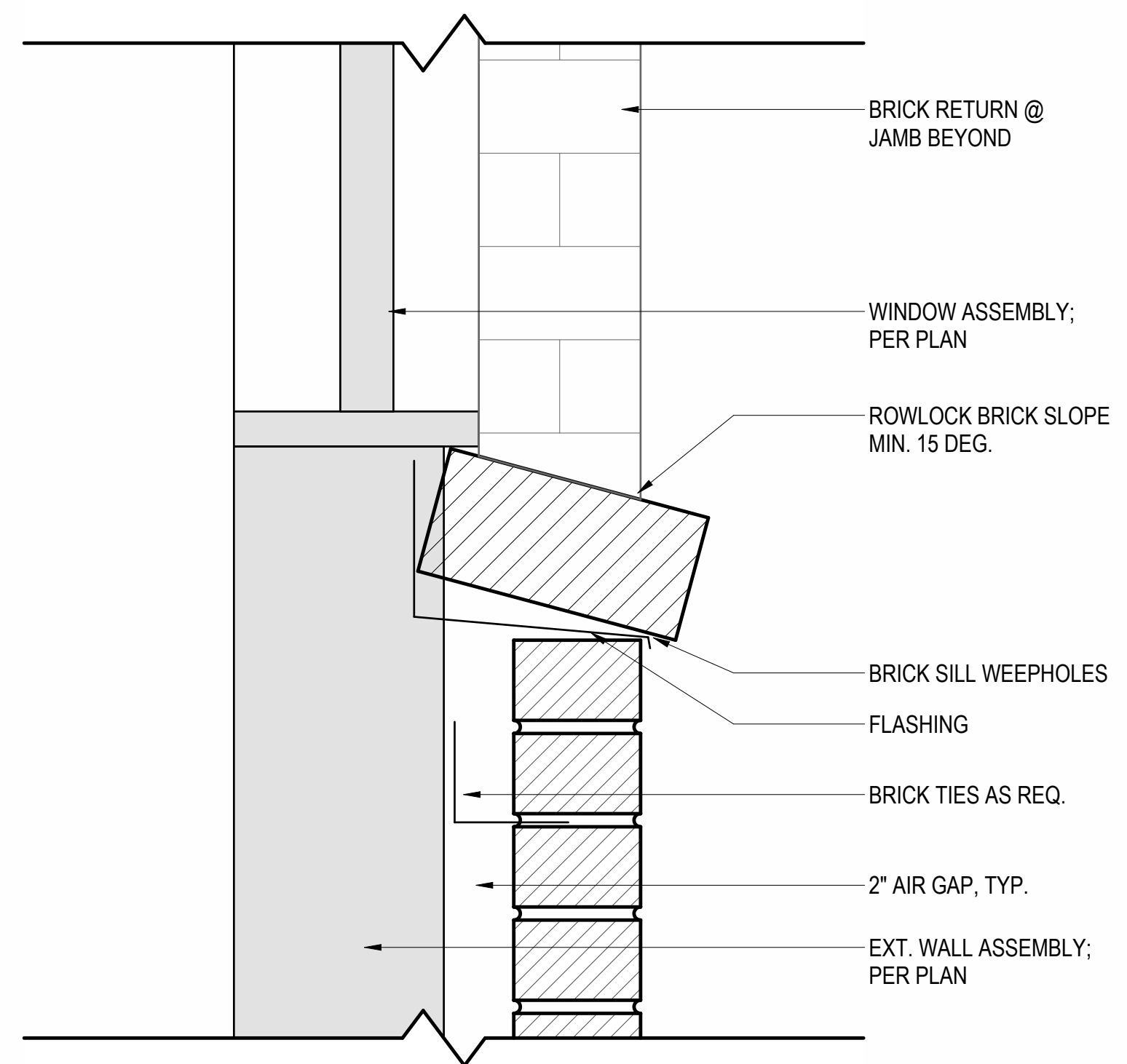
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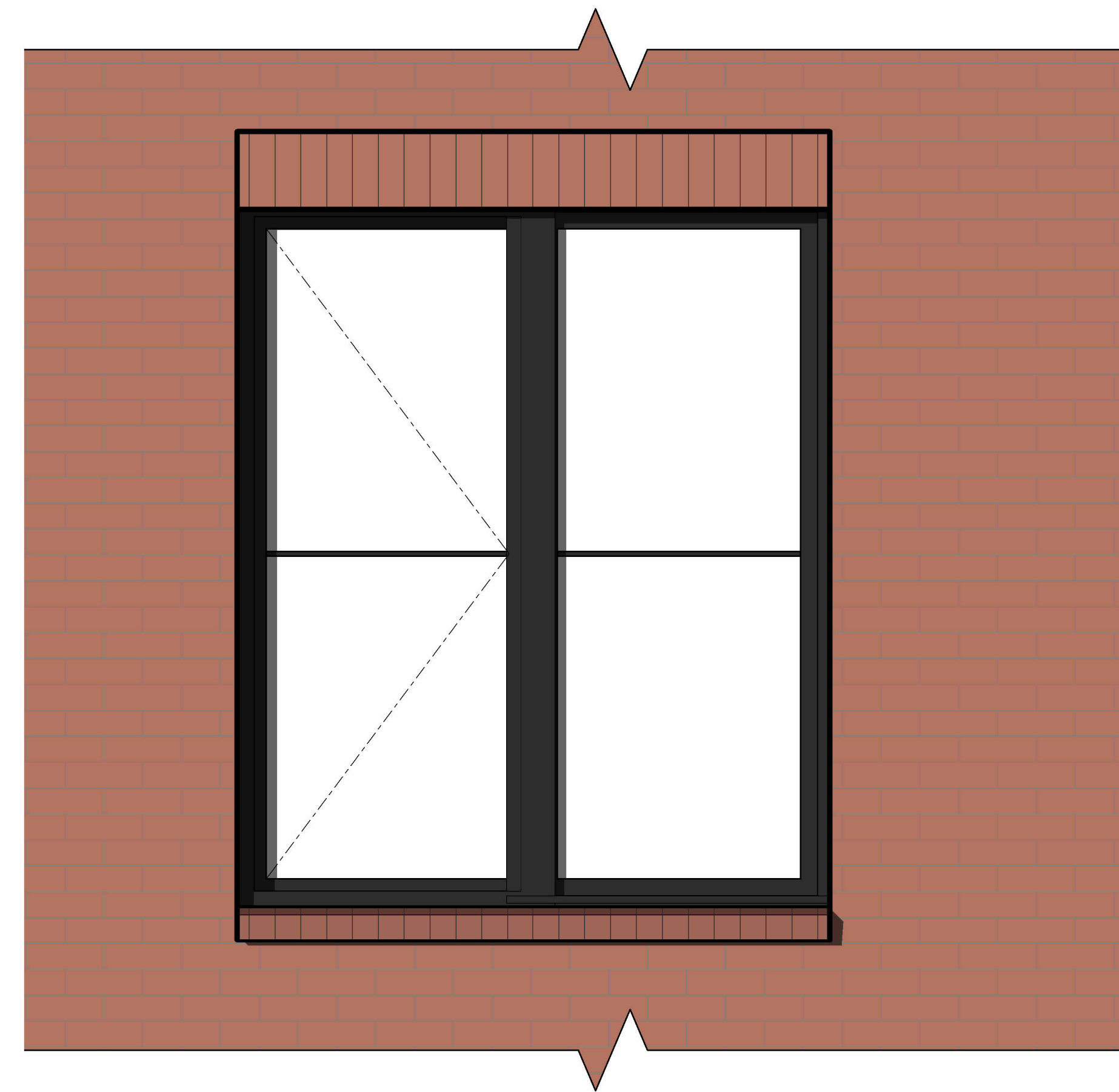
3 BRICK HEADER DETAIL
3" = 1'-0"



2 BRICK ROWLOCK DETAIL
3" = 1'-0"



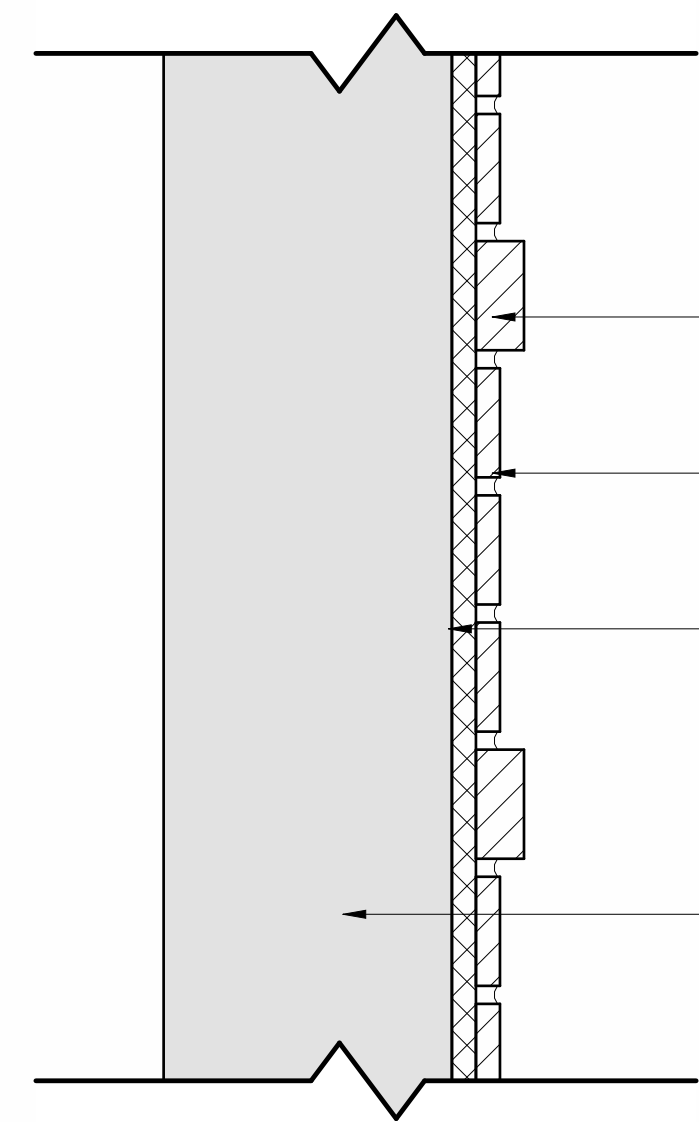
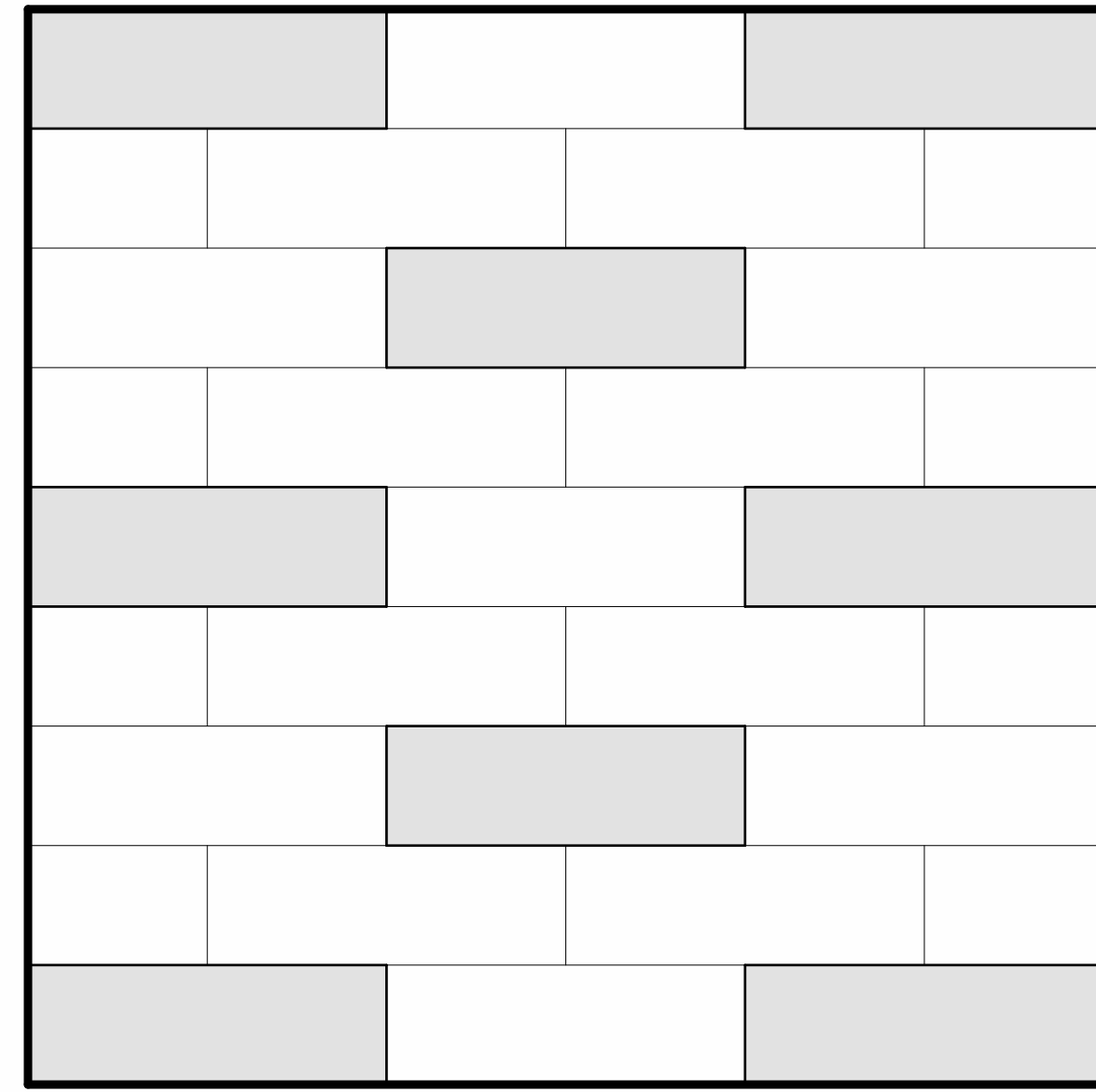
EXAMPLE INSTALLATION IMAGE



1 ENLARGED DETAIL - BRICK HEADER & ROWLOCK SILL
1" = 1'-0"



EXAMPLE INSTALLATION IMAGE



OFFSET DIMENSION THIN-BRICK MASONRY UNIT (1.5" DEPTH)

STD. DIMENSION THIN-BRICK MASONRY UNIT (1" DEPTH)

THIN-BRICK MOUNTING ASSEMBLY - TRUBRIX OR SIMILAR

EXT. WALL ASSEMBLY; PER PLAN

2 DIMENSIONAL BRICK OFFSET PATTERN
P1.3 3" = 1'-0"

RUNNING BOND PATTERN

STANDARD RUNNING BOND PATTERN IN A LIGHTER TONE BRICK COMPARED TO THE PRIMARY BUILDING MASS

VERTICAL STACK PATTERN

VERTICAL STACK FRAMES WINDOW OPENINGS & BAY-WINDOW CORNERS

DIMENSIONAL OFFSET PATTERN

RUNNING BOND PATTERN WITH REPEATED OFFSET BRICK DIMENSION

SOLDIER COURSE PATTERN

STANDARD SOLDIER COURSE ABOVE & BELOW WINDOW OPENINGS IN THE SAME TONE BRICK AS THE PRIMARY BUILDING MASS



1 BROADWAY ELEVATION - NORTH
P1.3 1" = 1'-0"

P1.3 Offset Brick Pattern

PROJECT NUMBER: 25049 SCALE: As DATE:

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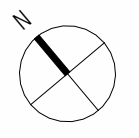
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	Approver	APPROVED
	1" = 50'-0"	SCALE
		SHEET NAME

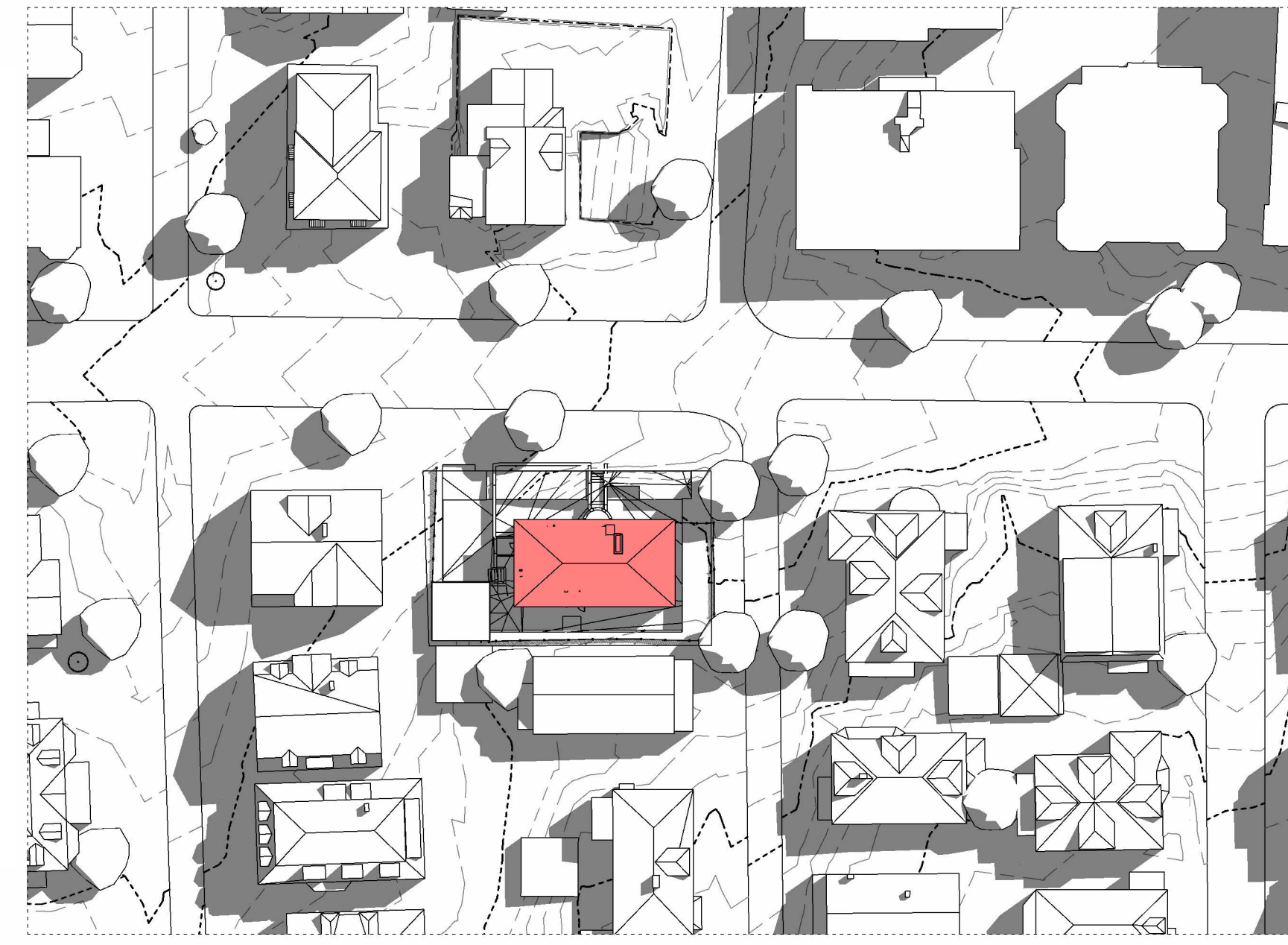
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SHEET NUMBER

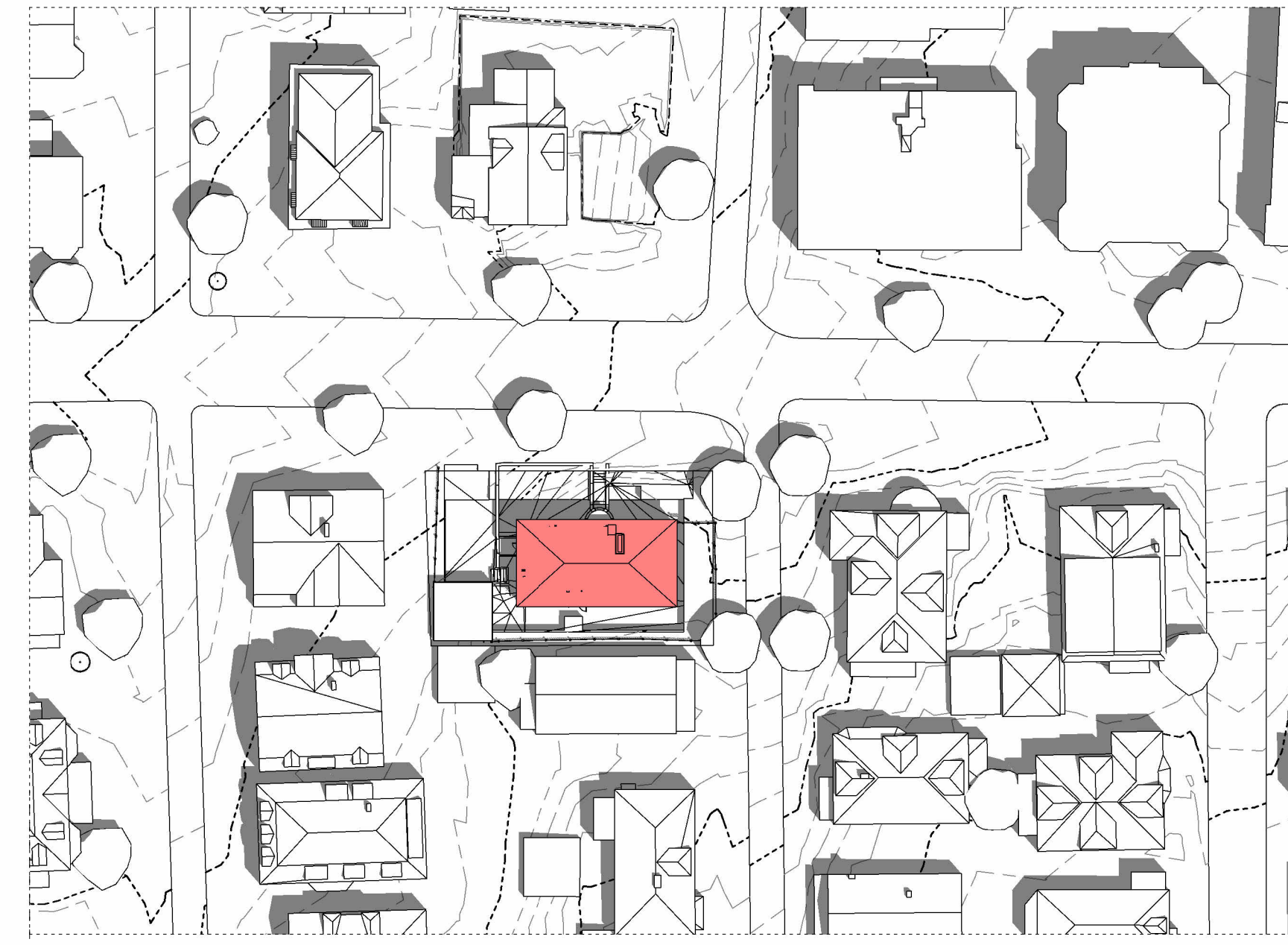
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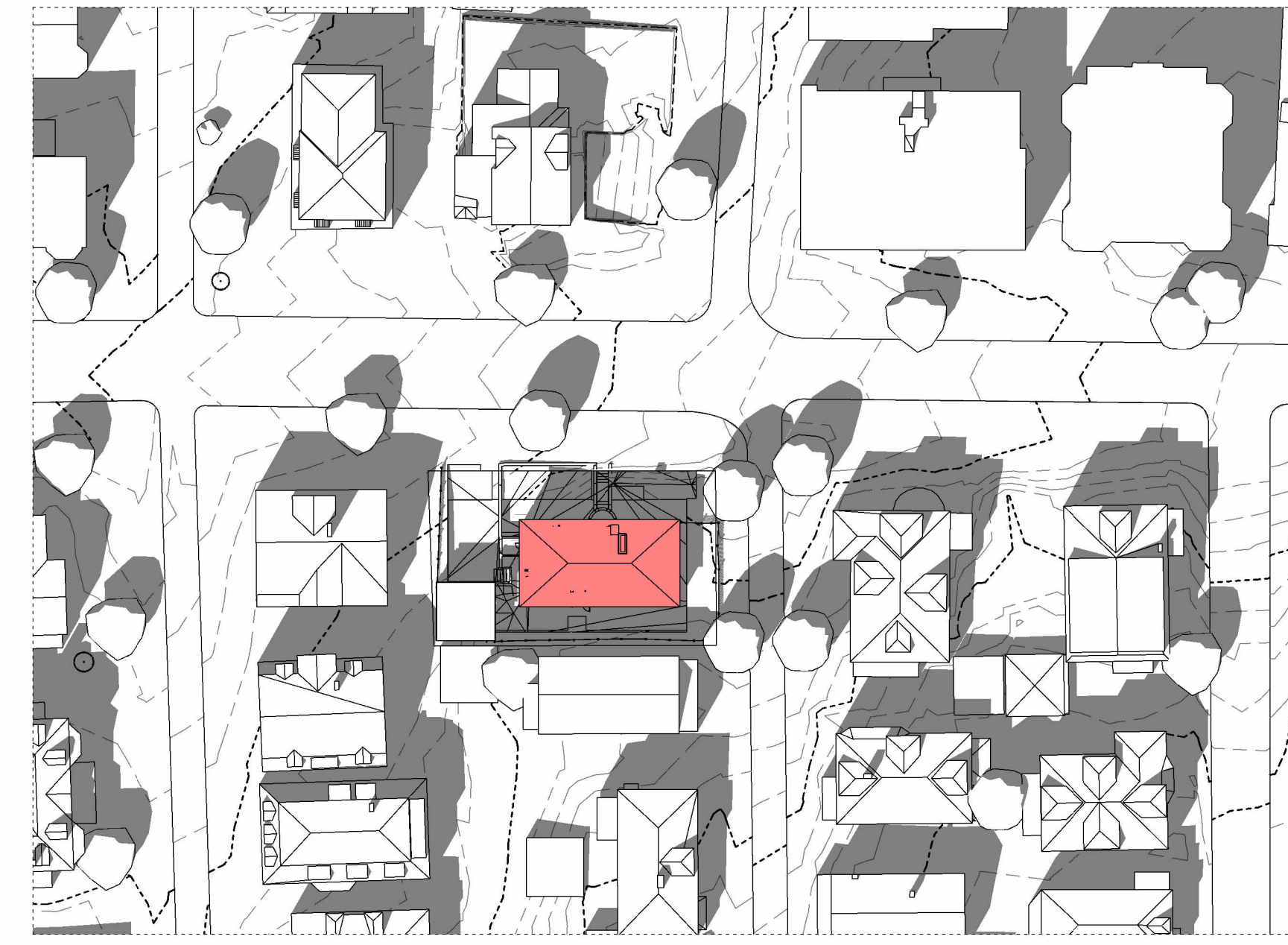
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NOON - 12.00 PM

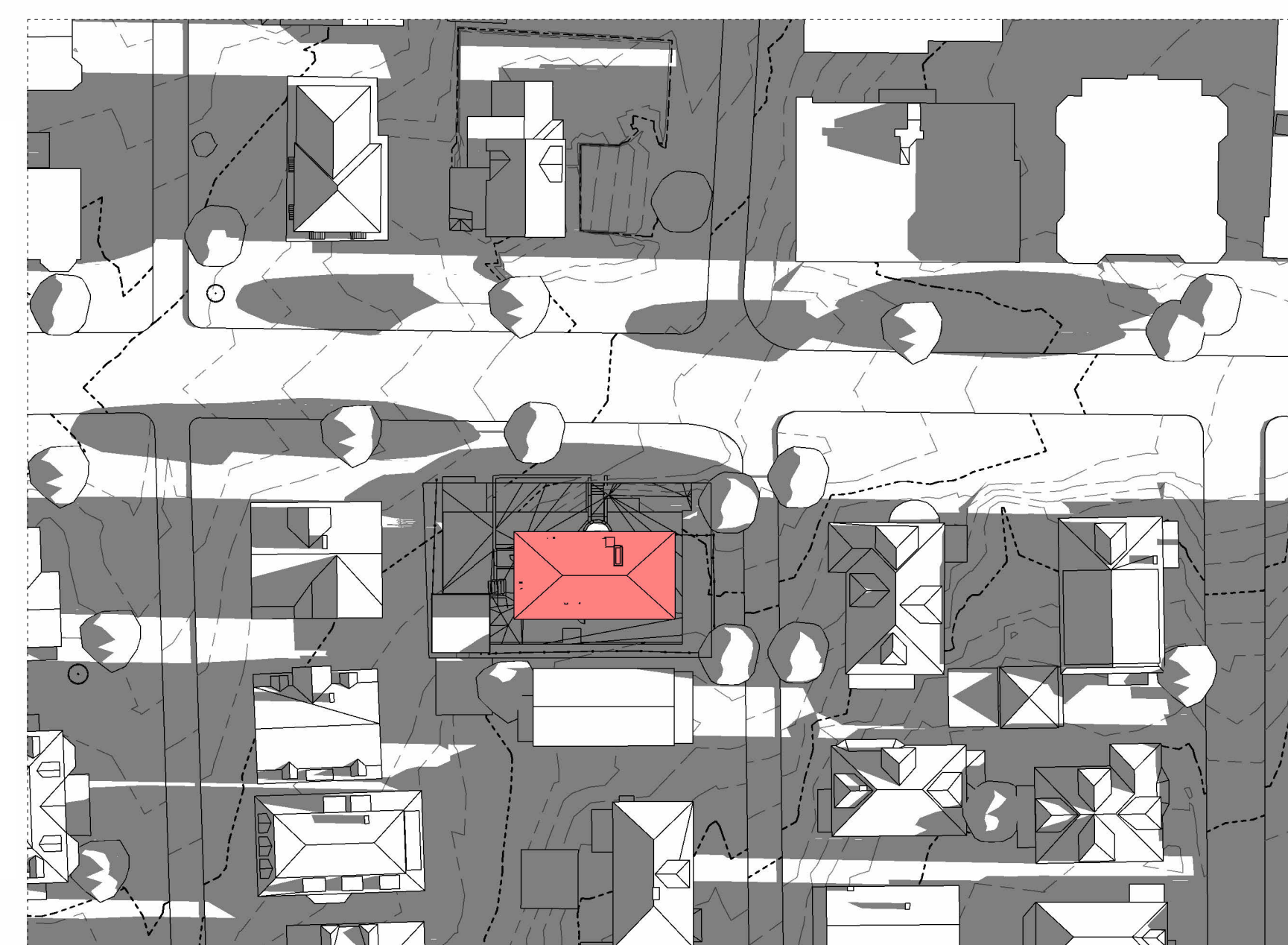


AFTERNOON - 3.00 PM

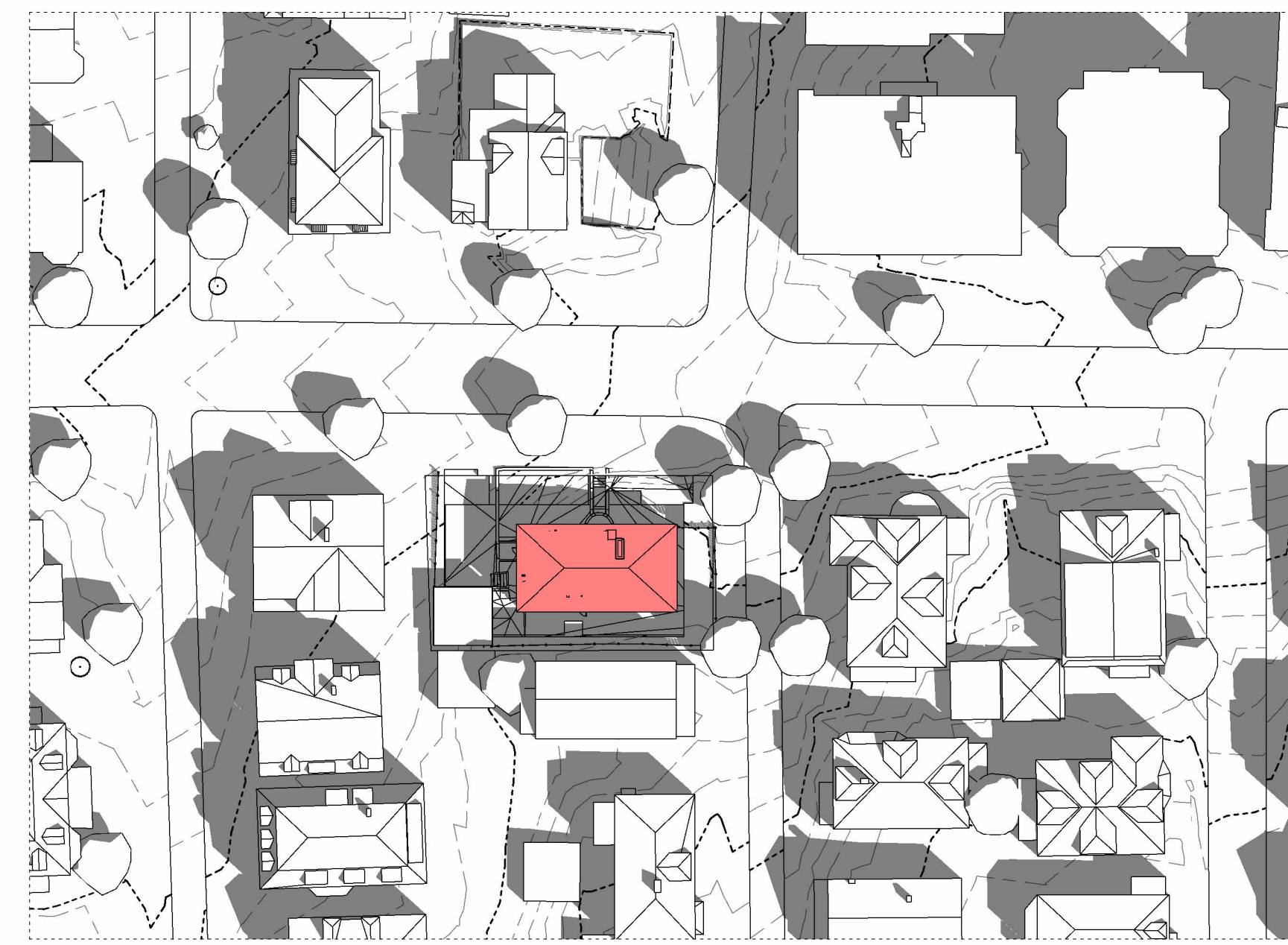
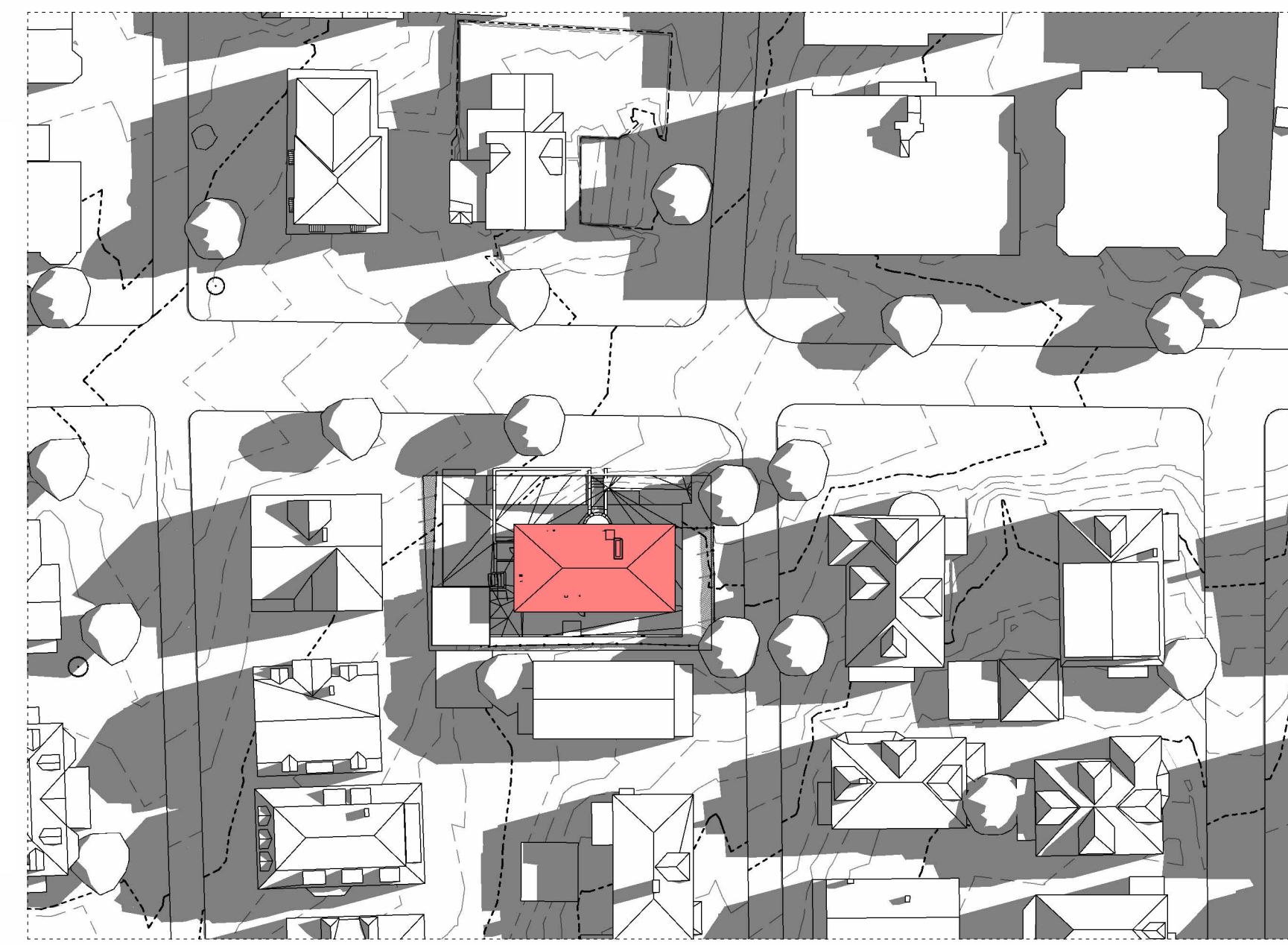


SUMMER SOLSTICE

WINTER SOLSTICE



SPRING SOLSTICE



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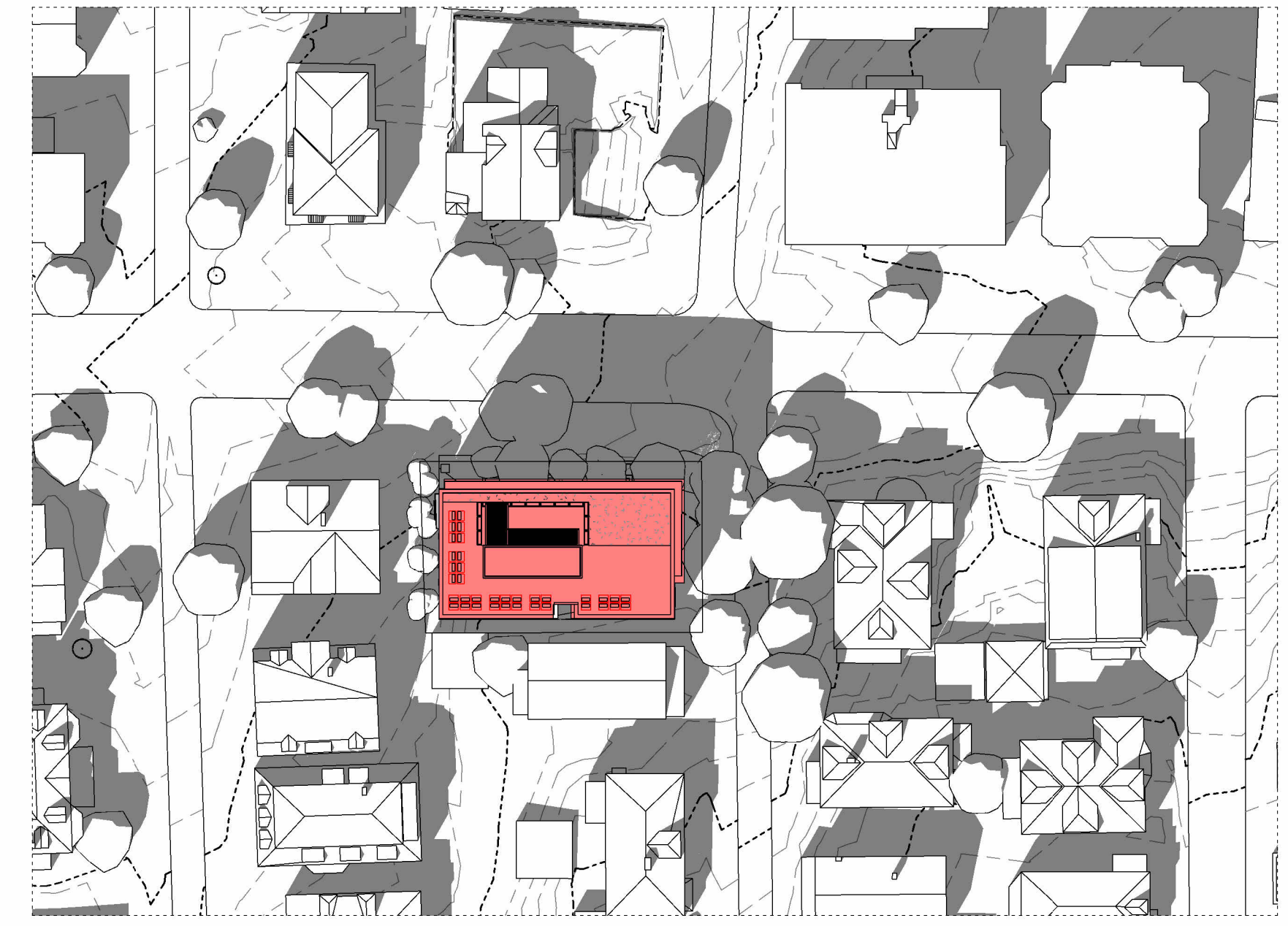
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	1" = 50'-0"	SCALE
	SHEET NAME	

PROPOSED SHADOWS

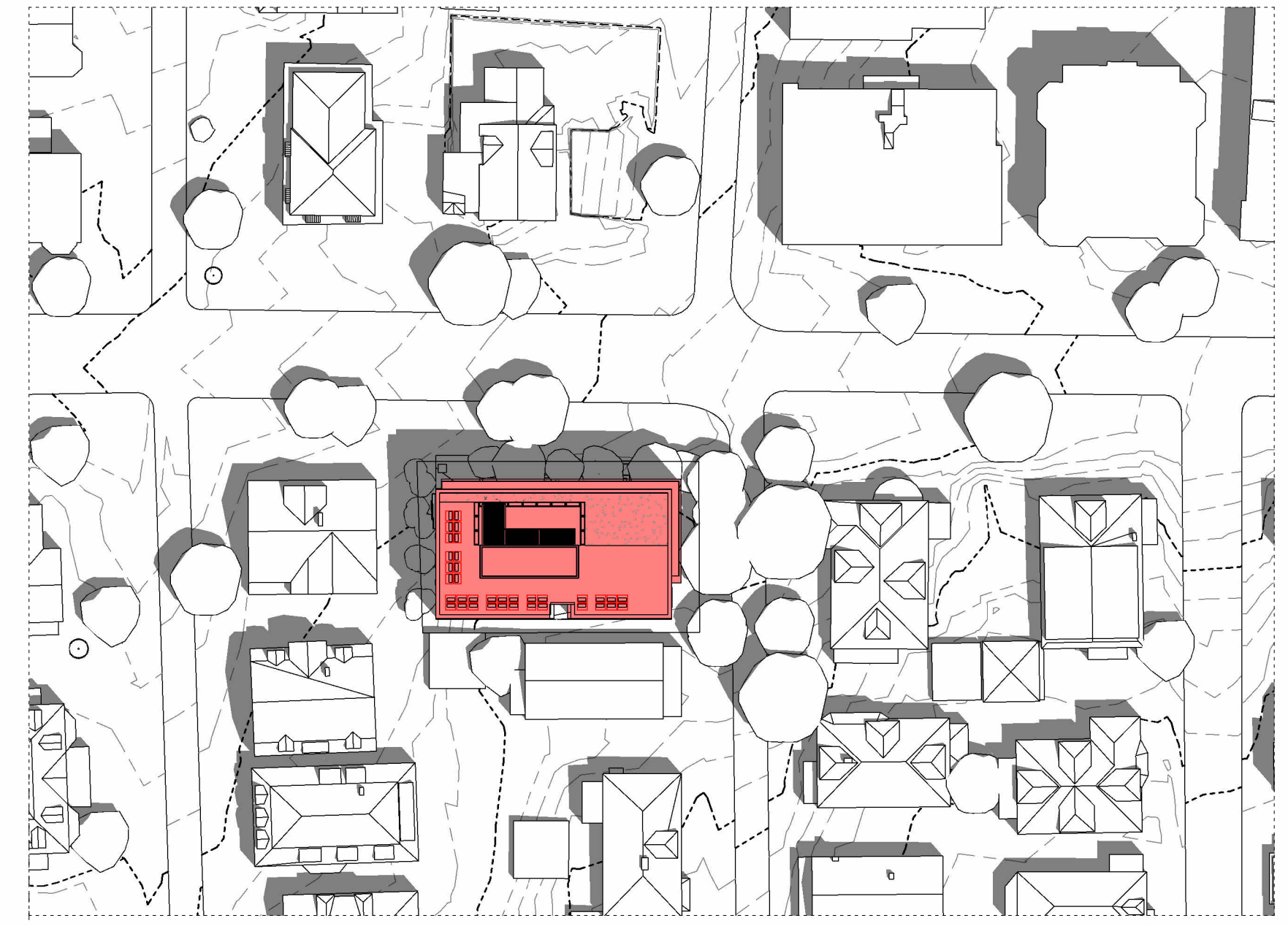
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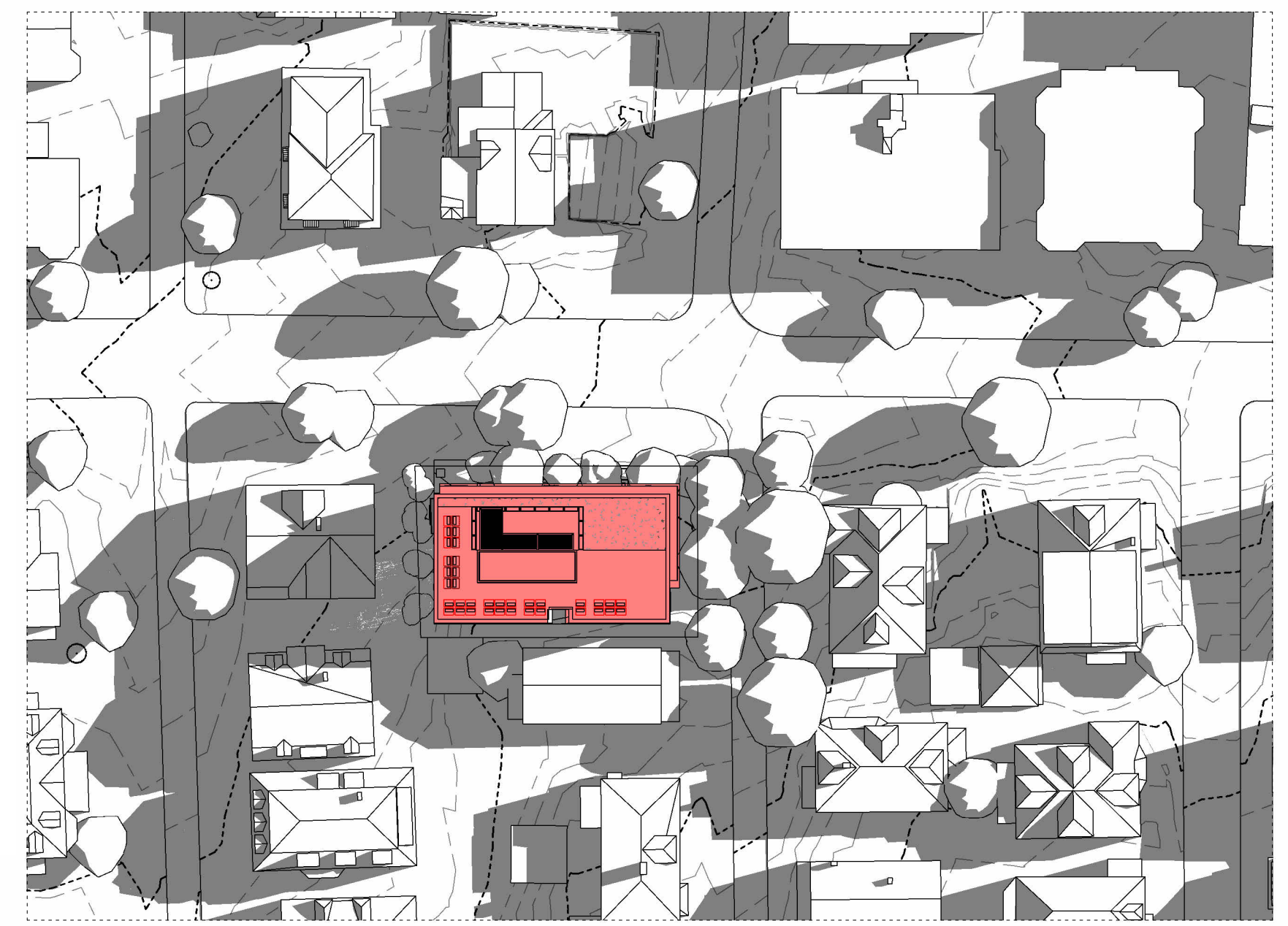
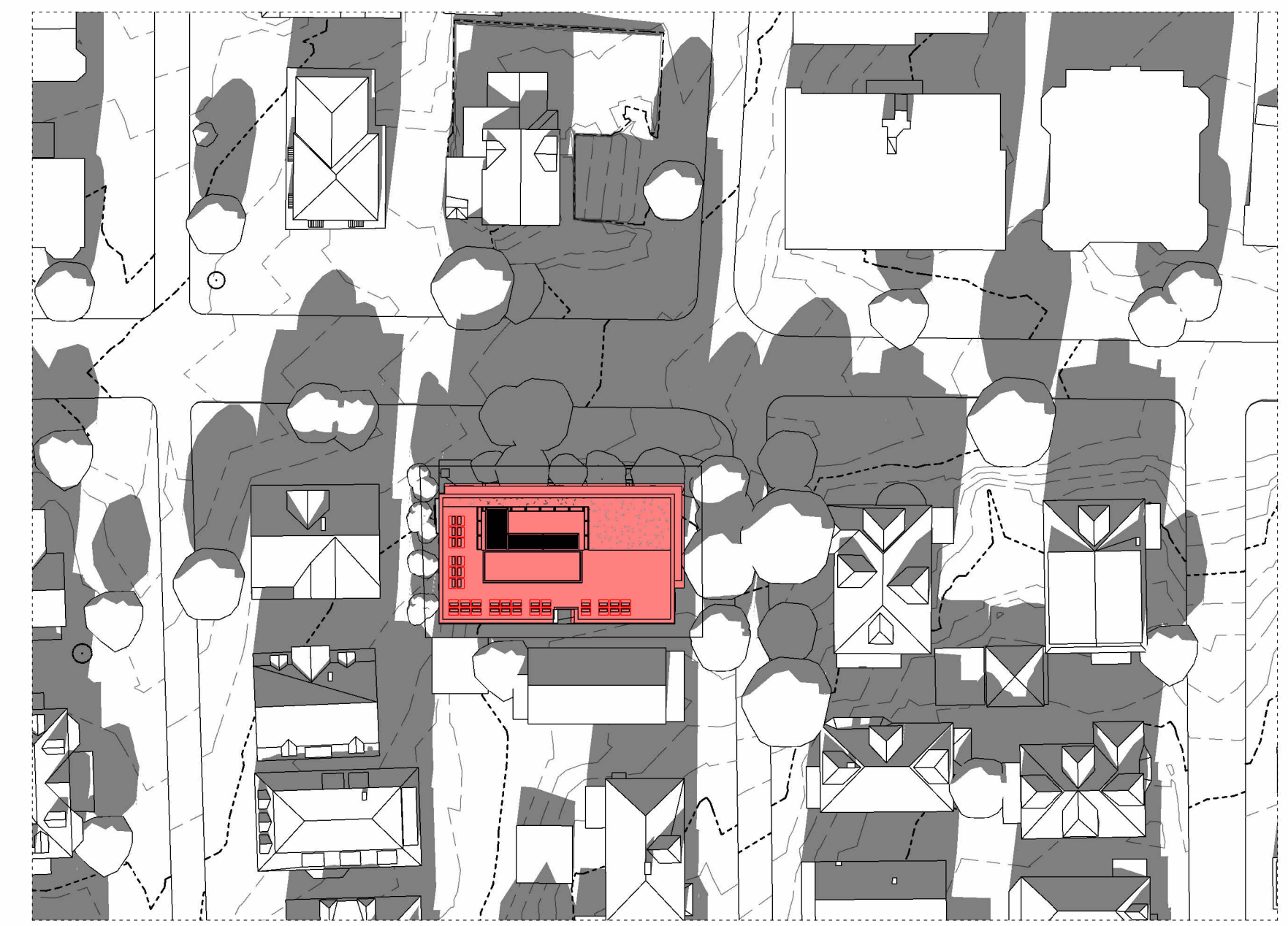
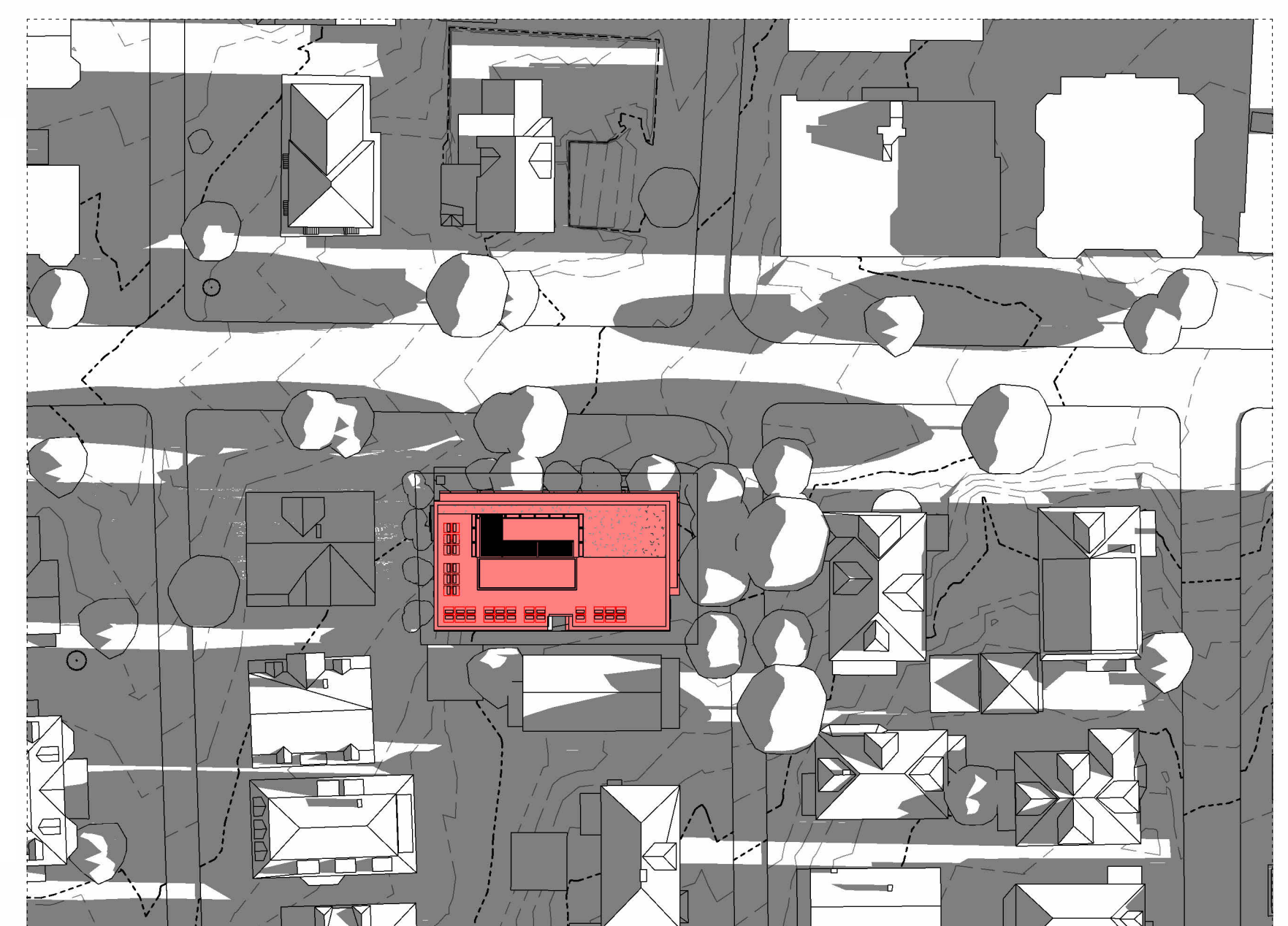
AFTERNOON - 3.00 PM



NOON - 12.00 PM



MORNING - 9.00 AM



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