



Mid Cambridge Neighborhood Conservation District Commission

Cambridge Historical Commission, 831 Massachusetts Ave., 2nd Fl., Cambridge, MA 02139
Telephone: 617-349-4683 TTY: 617-349-6112 historicdist@cambridgema.gov
www.cambridgema.gov/Historic-Districts/Historic-Properties/MidCambridgeNCD

APPLICATION FOR CERTIFICATE

Section I:

1. The undersigned hereby applies to the Mid Cambridge Neighborhood Conservation District Commission for a Certificate of (check type of certificate): ☐ Appropriateness, ☐ Nonapplicability, or ☐ Hardship, in accordance with Ch. 2.78 of the Municipal Code and the order establishing the district.
2. Address of property: 78 Kirkland St, Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction, or demolition in the space provided below:
(An additional page can be attached, if necessary).

Name of Property Owner of Record: Jaymin Upadhyay and Sunita Iyer

Mailing Address: 76-78 Kirkland Street, Cambridge, MA 02138

Telephone/Fax: (917) 736-1541

E-mail: jupa1980@gmail.com

Signature of Property Owner of Record*: [Signature]

(Required field; application will not be considered complete without property owner's signature)

*I have read the application in full and certify that the information contained herein is true and accurate to the best of my knowledge and belief.

Name of proponent, if not record owner: Michael Parks

Mailing Address: 25 Everett St, Woburn MA

Telephone/Fax: 508-615-5551

E-mail: Michael@stellahomeservices.com

(for office use only):

Date Application Received: _____

Case Number: MC 7636

Hearing Date: 10/5/26

Type of Certificate Issued: _____

Date Issued: _____

Section II:

Is property listed on the National Register of Historic Places? NO Publicly owned? NO
Current Zoning District: _____ Current Use: Two Family

Section III:

Will this project require: variance NO special permit NO

If yes, nature of zoning relief sought: setbacks _____ FAR _____ use _____
height _____ parking _____ other (explain) _____

Section IV (Complete any portions that apply to proposed scope of work):

New Construction or Additions:

_____ floor area of existing structures on the lot
_____ amount of floor area (gross square feet) of proposed construction
_____ percentage increase in total floor area after construction
_____ total area of lot in square feet
_____ percentage of total lot area covered after construction

Demolition:

_____ amount of floor area (gross square feet) of proposed demolition
_____ floor area of existing structure
_____ percentage decrease in total floor area after demolition

Alterations:

Does the proposed work include (check all that apply):

☒ enclosure or removal of decorative elements (including cornice, fascia, soffit, bay, porch, hood, cornerboard, window sash, or window or door casing);
_____ increase or reduction of window or door size;
_____ relocation of windows or doors;
_____ change in slope, pitch, or configuration of roof;
_____ removal of original or historic roofing material.

Description of Work:

The applicant proposes to replace the existing 1st floor front entry porch, which has rotted in places. The intent of this project is to replace the decking with composite material and the railings with new vinyl pvc material. The second story will be braced in place. The concrete steps will remain with new cladding.

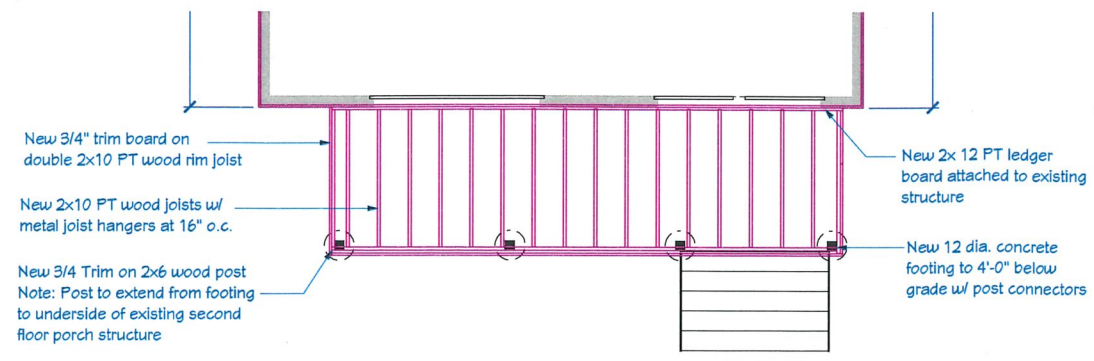
1. **Foundation:** Footings to be removed and repoured to ensure adequate depth. Footing locations to remain the same
2. **Columns:** The four Columns will be removed and replaced and wrapped in white PVC 1x8 boards
3. **Railings and Details:** The existing half wall will be replaced with vinyl railings and ballusters
4. **Paint & Finishes:** Any damaged siding will be repaired/painted to match existing

Proposed Material:

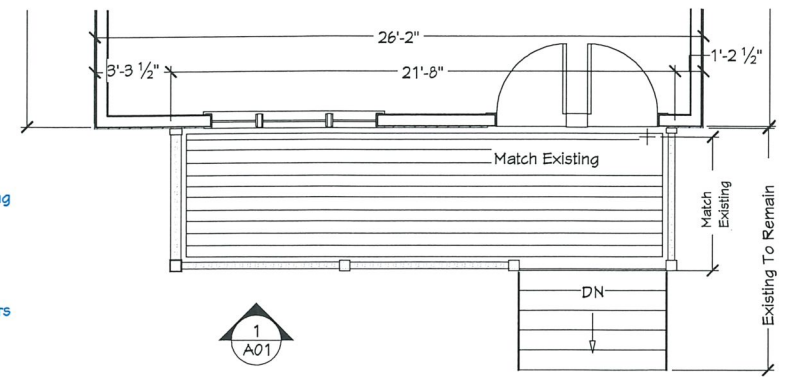
Timber Tech Edge Premier Composite Decking Color: Dark Teak

Timber Tech Radiance Railing System

White pvc trim boards



FRAMING PLAN
1/4 IN = 1 FT

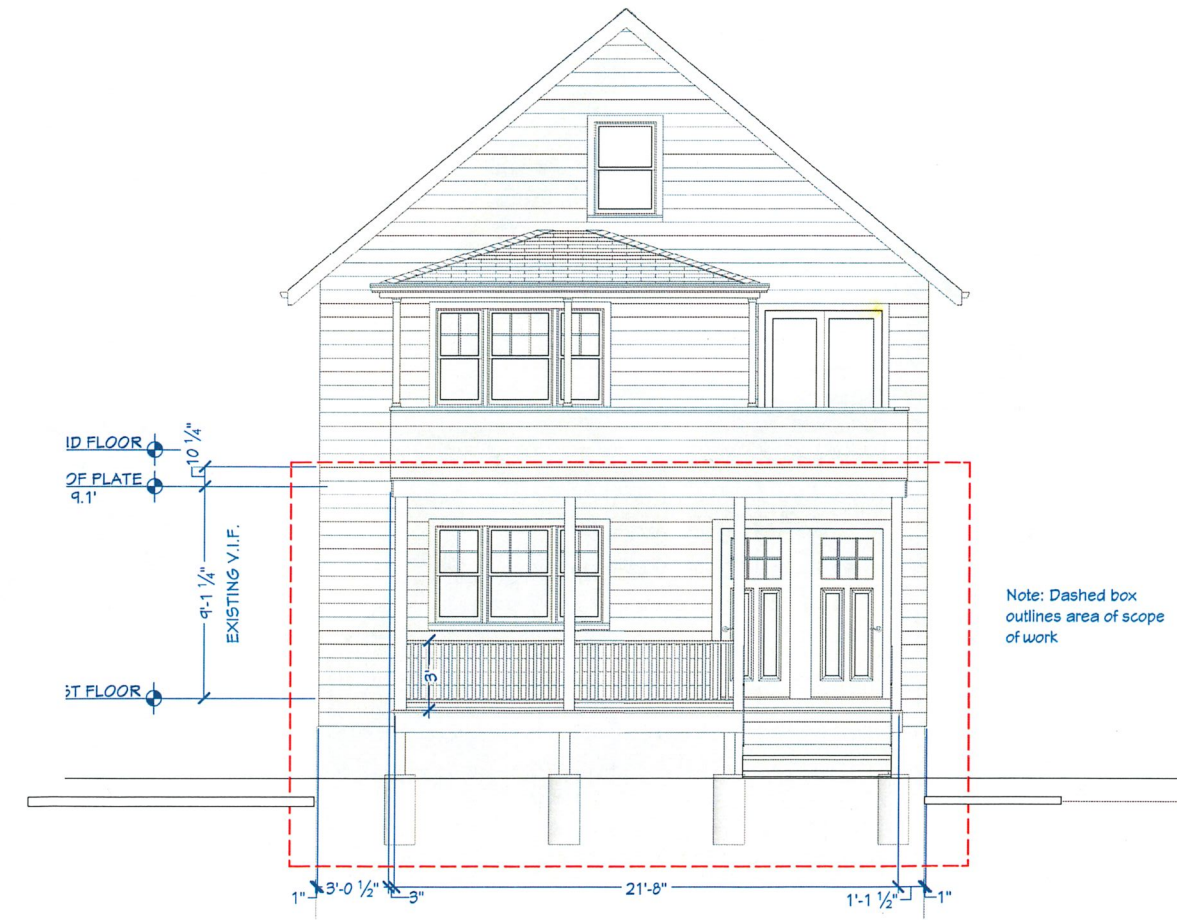


FLOOR PLAN VIEW DIMENSIONED
1/4 IN = 1 FT

- NOTES:
1. COMPOSITE DECKING ON PT FRAMING-TYPICAL
 2. COMPOSITE RAILING AND BALUSTER SYSTEM, WITH 5" POST SLEEVES AND BASE MOLDINGS AND CAPS.
 3. COMPOSITE TRIM BOARDS AT PERIMETER OF DECK AND TO WRAP POSTS
 4. EXISTING CONCRETE STAIR TO REMAIN WITH NEW CLADDING AND PTD STEEL RAILS



View of Porch Reconstruction



① ELEVATION 3
1/4 IN = 1 FT

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION



Iyer Residence
Deck Renovation
78 Kirkland Road, Cambridge Ma

DATE:
9/11/2026

SCALE:

SHEET:
A01



EXISTING FRONT PORCH RENDERING



DEMO FRONT PORCH RENDERING

GENERAL CONSTRUCTION NOTES

- 1 All work shall comply with the Massachusetts State Building Code (780 CMR), applicable provisions of the IRC, local bylaws, and authority having jurisdiction.
- 2 Contractor shall verify all existing dimensions and site conditions prior to commencement of work.
- 3 Coordinate all work with existing construction and maintain weather-tight conditions at all times.
- 4 Provide all labor, materials, hardware, flashing, fasteners, blocking, bracing, and accessories necessary for a complete installation whether specifically noted or not.
- 5 All pressure-treated lumber cuts, notches, and drilled holes shall be field-treated in accordance with manufacturer recommendations.
- 6 All connectors, nails, screws, bolts, washers, and framing hardware shall be hot-dipped galvanized or stainless steel and compatible with preservative-treated lumber.
- 7 Contractor shall obtain all required permits and inspections and comply with all safety regulations during construction.

DEMOLITION NOTES

- 1 Remove only those existing elements indicated on the drawings or as required for installation of the new deck.
- 2 Protect adjacent structures, siding, foundations, walks, utilities, and landscaping to remain.
- 3 Contractor shall verify location of underground and overhead utilities prior to excavation.
- 4 Any damage caused by demolition or construction activities shall be repaired to match existing conditions.
- 5 Remove demolition debris from site and dispose of materials in accordance with applicable regulations.
- 6 Notify Owner and Designer of concealed or unforeseen conditions prior to proceeding with related work.

STRUCTURAL / FRAMING NOTES

- 1 Deck construction shall conform to IRC Section R507 and approved construction documents.
- 2 All framing members shall be pressure-treated No. 2 grade lumber or better unless otherwise noted.
- 3 Deck ledger attachment shall be installed with approved fasteners and continuous flashing to prevent water intrusion.
- 4 Provide approved joist hangers, hold-downs, post bases, post caps, and framing connectors in accordance with manufacturer requirements.
- 5 Footings shall bear on undisturbed soil and extend a minimum of 48 inches below finished grade for frost protection.
- 6 Deck posts shall be minimum 6x6 nominal unless otherwise indicated on the drawings.
- 7 Joist spans, beam spans, bearing lengths, and cantilevers shall not exceed limits established by code or approved plans.
- 8 Provide solid blocking, rim joists, and lateral restraint as required to prevent rotation and lateral displacement of framing members.
- 9 All beams and posts shall be securely connected and positively anchored against uplift and lateral movement.
- 10 Field modifications affecting structural members shall not be made without approval from the Designer and Building Department.

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