



Mid Cambridge Neighborhood Conservation District Commission

Cambridge Historical Commission, 831 Massachusetts Ave., 2nd Fl., Cambridge, MA 02139

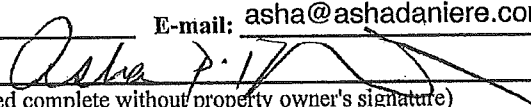
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112

E-mail: histncds@cambridgema.gov URL: www.cambridgema.gov/historic/midcambridgehome.html

APPLICATION FOR CERTIFICATE

Section I:

1. The undersigned hereby applies to the Mid Cambridge Neighborhood Conservation District Commission for a Certificate of (check type of certificate): ☒ Appropriateness, ☐ Nonapplicability, or ☐ Hardship, in accordance with Ch. 2.78 of the Municipal Code and the order establishing the district.
2. Address of property: 18 Clinton Street, Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction, or demolition in the space provided below:
(An additional page can be attached, if necessary).
Please see attached description.

Name of Property Owner of Record: <u>18 Clinton LP c/o Asha Danlere</u>	
Mailing Address: <u>18 Clinton Street Cambridge MA 02139</u>	
Telephone/Fax: <u>416 505 5947</u>	E-mail: <u>asha@ashadaniere.com</u>
Signature of Property Owner of Record*: <u></u>	
(Required field; application will not be considered complete without property owner's signature)	
*I have read the application in full and certify that the information contained herein is true and accurate to the best of my knowledge and belief.	
Name of proponent, if not record owner: _____	
Mailing Address: _____	
Telephone/Fax: _____	E-mail: _____

(for office use only):		
Date Application Received: _____	Case Number: _____	Hearing Date: _____
Type of Certificate Issued: _____	Date Issued: _____	

Section II:

Is property listed on the National Register of Historic Places? no Publicly owned? no
Current Zoning District: C-1 Current Use: two family residential

Section III:

Will this project require: variance no special permit no

If yes, nature of zoning relief sought: setbacks _____ FAR _____ use _____
height _____ parking _____ other (explain) _____

Section IV (Complete any portions that apply to proposed scope of work):

New Construction or Additions:

4450 (see attachment) floor area of existing structures on the lot
630 amount of floor area (gross square feet) of proposed construction
14% percentage increase in total floor area after construction
6042 total area of lot in square feet
84% percentage of total lot area covered after construction

Demolition:

n/a (see attachment) amount of floor area (gross square feet) of proposed demolition
n/a floor area of existing structure
n/a percentage decrease in total floor area after demolition

Alterations:

Does the proposed work include (check all that apply):

yes enclosure or removal of decorative elements (including cornice, fascia, soffit, bay, porch, hood, cornerboard, window sash, or window or door casing);

yes increase or reduction of window or door size;

yes relocation of windows or doors;

yes change in slope, pitch, or configuration of roof;

no (already completed) removal of original or historic roofing material.

Mid Cambridge NCD

Application for Certificate of Appropriateness – 18 Clinton St (Rear)

Response to Question 3:

I am currently in the process of a renovation and conversion of the home I grew up in, pursuant to a special permit and variance previously approved by the Board of Zoning Appeal in 2023 (BZA Case No. 208880).

The 2023 BZA decision allowed for a change of use (from multi-family to a two-family) and renovations to the home, including modest additions and window changes within setbacks. The project received a Certificate of Appropriateness from the Mid-Cambridge NCD in 2022. Pursuant to the recently amended Zoning Ordinance of the City of Cambridge, the structure as proposed is conforming in all respects.

I am seeking an amendment to the previously issued building permit. This change will increase living space and natural light in the second unit (“**Unit B**”), where I intend to reside with my family. The proposed alterations will reposition this section of Unit B to sit farther away from the north and east property lines and add a third story. In addition, the ground level of the basement foundation has been raised to accommodate a very high-water table in the rear of the lot and thereby minimize flood risk. These changes will make this section moderately more visible from the street. We have endeavored to ensure that the design, arrangement, texture, scale and materials chosen align with the neighboring properties.

The pre-existing green spaces on the lot will be preserved, and a new landscaped yard will be added to the space south of Unit B, which was previously paved.

We are also seeking to demolish and rebuild two pre-existing dilapidated exterior walls from the same rear section which have been stored on site during construction. The remainder of the rear section (other than these two walls) was demolished during construction in 2024 in accordance with approvals from ISD and the Mid Cambridge NCD office. During a particularly strong windstorm in November, one of the remaining walls became detached from the front structure (where it was being stored in accordance with building code) and fell over in the driveway, fortunately without harming any life or property. This wall is now severely damaged and ongoing storage/repair is extremely cumbersome and impractical. Continued storage of these walls also poses a risk on site and is hampering the progress of construction of the front Unit (Unit A). We urgently request permission to demolish these two exterior walls which are not and were never visible from the public way (as they formed part of the rear structure) and are not structurally sound.

The specific proposed alterations to the rear section include:

1. repositioning of north elevation to sit farther away (three feet and two inches (3' 2")) from the property line

2. repositioning of east elevation to sit farther away (five feet and three inches (5' 3")) from the property line
3. Addition of a third story consistent with the front structure and neighbouring buildings
4. Change of roof pitch from gable to flat
5. Addition of new windows and relocation of front door
6. Demolition and replacement of two exterior walls

Additional Notes to Section IV

The dimensions provided on the application form include the square footage to be added and demolished pursuant to the current proposed amendment to the existing building permit. Set out below are the dimensions/calculations on a cumulative basis which include the square footage previously demolished and the square footage previously added to Unit A pursuant to the special permit and variance issued in 2023.

New Construction or Additions (cumulative totals):

floor area of existing structures on the lot: 4190
amount of floor area (gross square feet) of proposed construction: 890.63
percentage increase in total floor area after construction: 21%
total area of lot in square feet: 6042
percentage of total lot area covered after construction: 84%

Demolition (cumulative totals):

amount of floor area (gross square feet) of proposed demolition: 1002
floor area of existing structure: 4190
percentage decrease in total floor area after demolition: 23.9%

18 CLINTON RESIDENCE

18 CLINTON LP

18 CLINTON ST / CAMBRIDGE , MA 02138

2025 HISTORICAL COMISSION SUBMISSION SET

2/10/2025



PROJECT DESCRIPTION

NARRATIVE:
THE PROJECT CONSIST ON A FULL NEW DESIGN FOR REAR BUILDING (UNIT B) WITH NEW SET BACKS ON SIDE LEFT AND REAR SIDES OF THE PROPERTY, NEW ADDITIONAL LIVING SPACE IN NEW FOOT PRINT AND NEW LEVEL 3. FRONT UNIT (UNIT A) WILL REMAIN AS PREVIOUSLY APPROVED.

AFFILIATES

ARCHITECT:

SKA INC.
357 HURON AVE.
CAMBRIDGE, MA 02138



GENERAL CONTRACTOR:

MATTHEW ROMAN

LANDSCAPE ARCHITECT:

N / A

STRUCTURAL ENGINEER:

DAN WEBB
WEBB STRUCTURAL SERVICES



CIVIL ENGINEER:

HANCOCK SURVEY

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(p) 617-800-6223

www.SKA-MA.com

357 HURON AVE.

CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR
CONSTRUCTION

CERTIFIED PLOT PLAN

18 CLINTON LP
18 CLINTON RESIDENCE
18 CLINTON ST.
CAMBRIDGE, MA 02138

Project number 2203-0018

Date 2/10/2025

Drawn by SKA

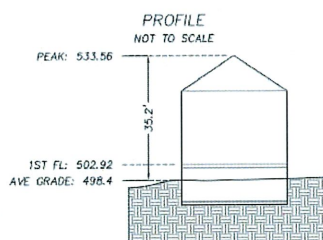
Checked by SKA

A-001

Scale



- LEGEND
- BOUND
 - IRON PIPE/IRON ROD
 - DRILL HOLE
 - BENCHMARK
 - GAS VALVE
 - HYDRANT
 - WATER SHUTOFF
 - WATER VALVE
 - CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - SIGN
 - LIGHT POLE
 - UTILITY POLE
 - DRAIN LINE
 - SEWER LINE
 - GAS LINE
 - WATER LINE
 - STONE WALL
 - CHAIN LINK FENCE
 - INVERT
 - PVC
 - VITRIFIED CLAY
 - REINFORCED CONCRETE PIPE
 - FOUND
 - CONCRETE BOUND
 - STONE BOUND



PREPARED FOR:
OWNER OF RECORD:
ASHA DANIERE
280 SOUTH KINGWAY
TORONTO, ONTARIO, CANADA

REFERENCES:
OWNER OF RECORD:
NORMAN DANIERE
18 CLINTON STREET
CAMBRIDGE, MA 02140

DEED: BK 15003; PG 191
PLAN: No. 609 OF 2015
No. 316 OF 1980
LCC: 4353-A
11056-A
13069-A

NOTES:
MAP/LOT: 118-8

UTILITY SITE PLAN OF LAND
LOCATED AT
18 CLINTON STREET
CAMBRIDGE, MA

DATE: MARCH 8, 2024 SCA. E: 1.0 INCH = 10.0 FEET

0 10 20 30

ZONING:		
DISTRICT:	RES C-1	
	REQUIRED	EXISTING
FAR	(MAX.) 0.75	
LOT SIZE	(MIN.) 5,000 SF	5,042±SF
LOT AREA/DW. UT.	(MIN.) 1,500 SF	
LOT WIDTH	(MIN.) 50'	60.02'
FRONT SETBACK	(MIN.) 15.5'	
SIDE SETBACK	(MIN.) 3.4'	
REAR SETBACK	(MIN.) 0.2'	
HEIGHT	(MAX.) 35'	35.2'
US. OPEN SPACE	(MIN.) 30%	25.8%

* = NON-CONFORMING

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF SEPTEMBER 15, 2023 AND FEBRUARY 27, 2024 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ARE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

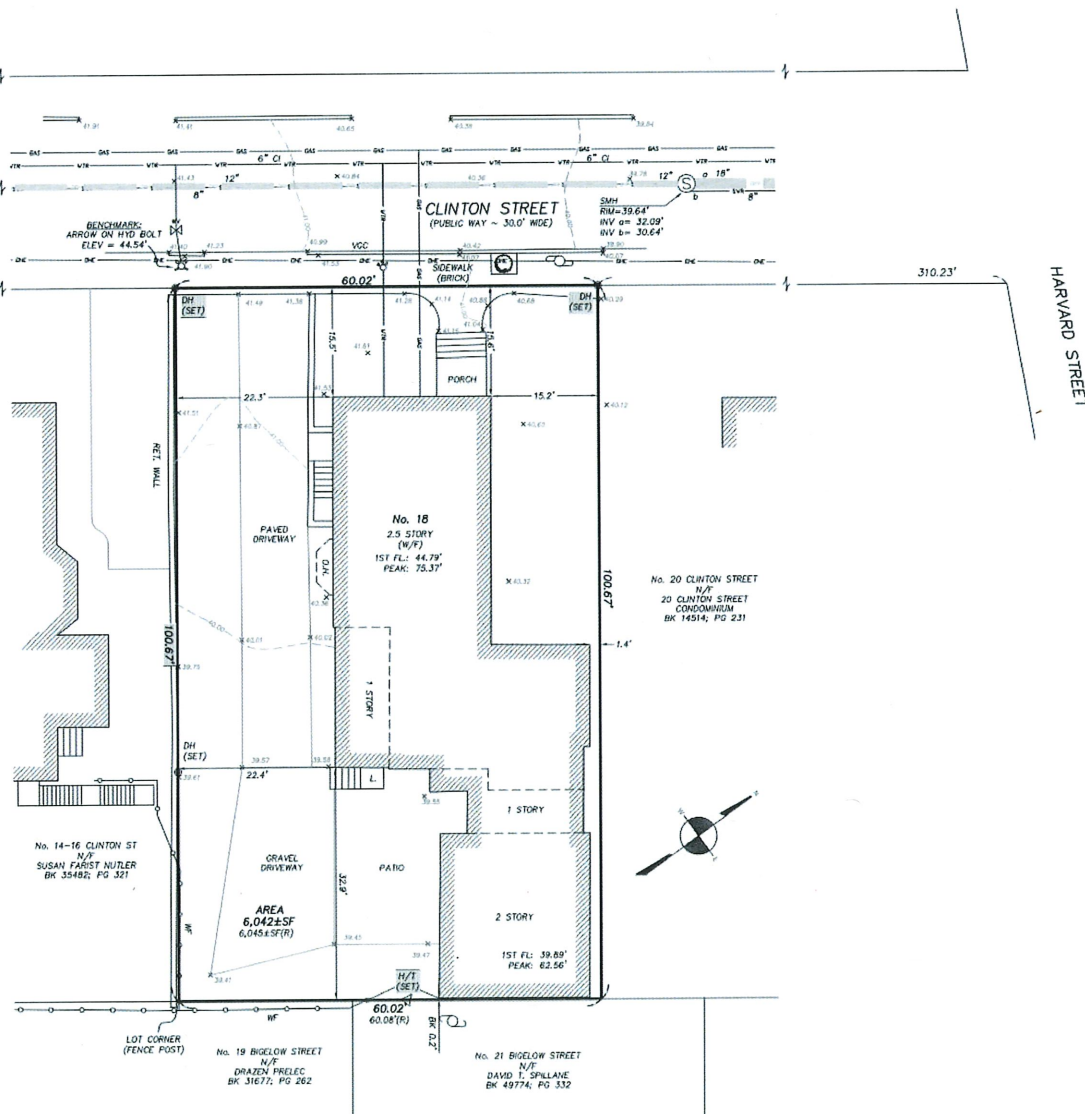
ABUTTERS' NAMES REFER TO CURRENT CITY OF CAMBRIDGE ASSESSOR'S RECORDS AND/OR CURRENT RECORDS AVAILABLE AT THE REGISTRY OF DEEDS.

VERTICAL DATUM
THE ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO CAMBRIDGE CITY BASE AND WERE DETERMINED FROM AN INVERT ELEVATION COMPILED FROM PLAN OBTAINED FROM THE CITY OF CAMBRIDGE GIS.

BENCHMARK
1) BOLT ON HYDRANT
ELEVATION = 44.54'

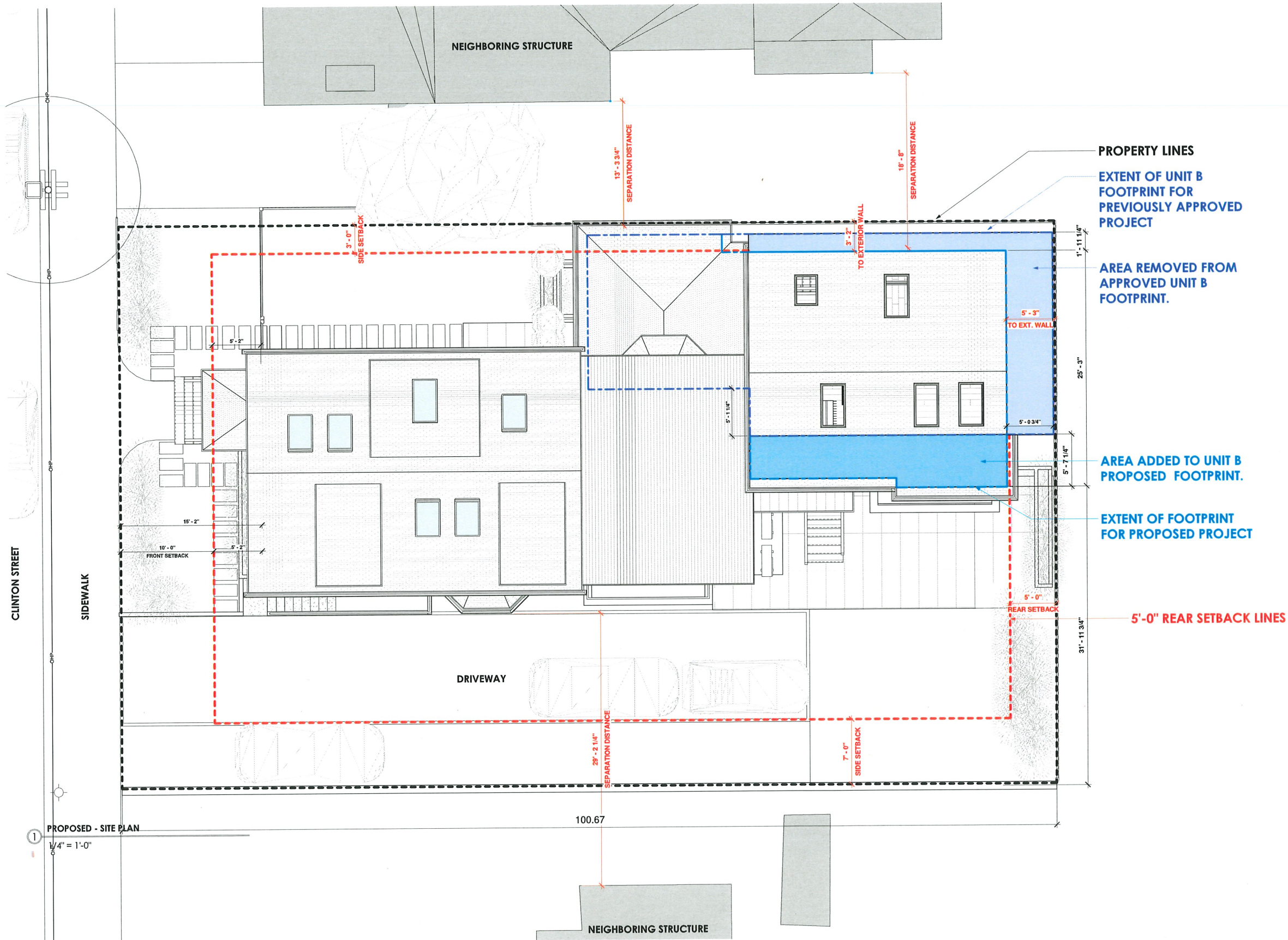
UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE PRIOR TO ANY EXCAVATIONS.

FEMA
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: K
COMMUNITY PANEL: 25017C0576E
EFFECTIVE DATE: JUNE 4, 2010



FIELD:	IHM
DRAFT:	NPP, SAP
CHECK:	GCC
DATE:	03/08/24
JOB #	21-00519

A-002 SITE PLAN



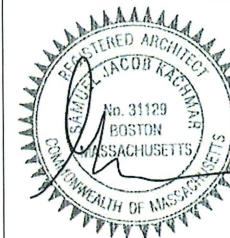
PROPOSED - SITE PLAN

1/4" = 1'-0"



SAM KACHMAR ARCHITECTS

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CAMBRIDGE MA, 02138



No.	Description	Date
	CONSTRUCTION DOCUMENTS	3.22.2023

SITE PLAN

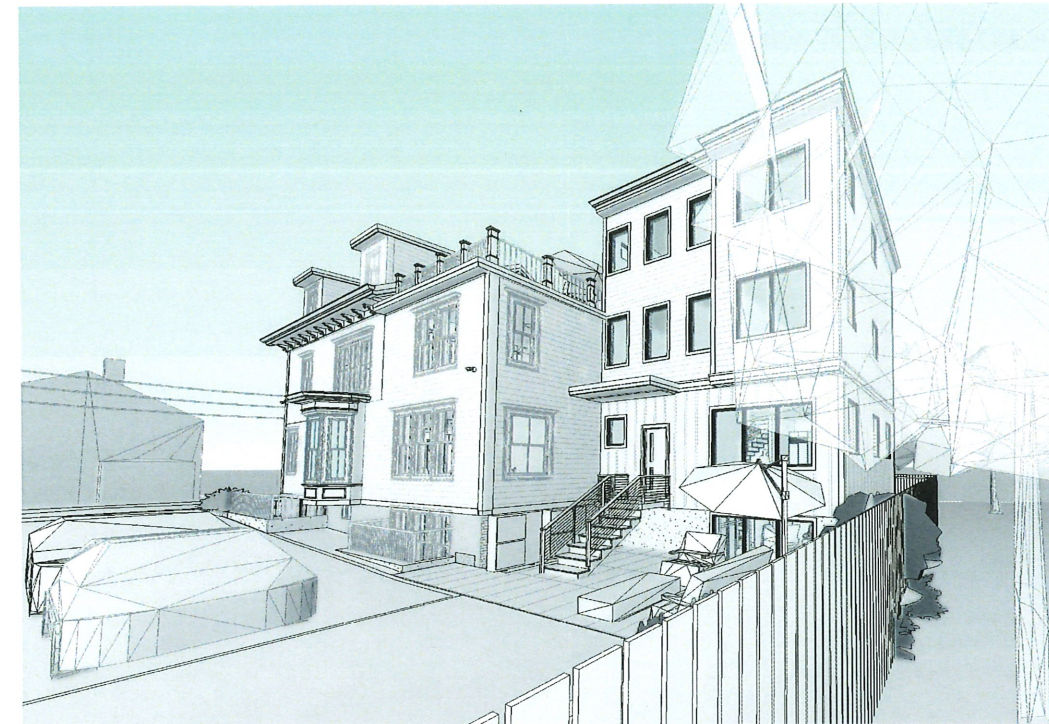
18 CLINTON RESIDENCE
18 CLINTON LP
18 CLINTON ST.
CAMBRIDGE, MA 02138

Project number	2203-0018
Date	2/10/2025
Drawn by	Author
Checked by	Checker

A-002

Scale 1/4" = 1'-0"

2/10/2025 1:26:29 PM



① UNIT B - PROPOSED - MASSING PERSPECTIVE



② UNIT B - PROPOSE - MASSING STREET VIEW



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REGISTRATIONS:

**NOT FOR
 CONSTRUCTION**

EXTERIOR VIEWS

18 CLINTON LP

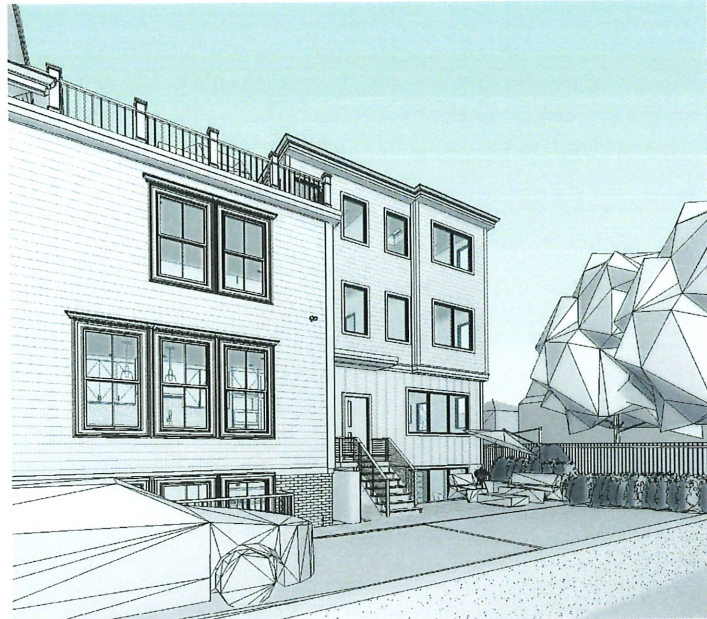
18 CLINTON RESIDENCE

18 CLINTON ST.
 CAMBRIDGE, MA 02138

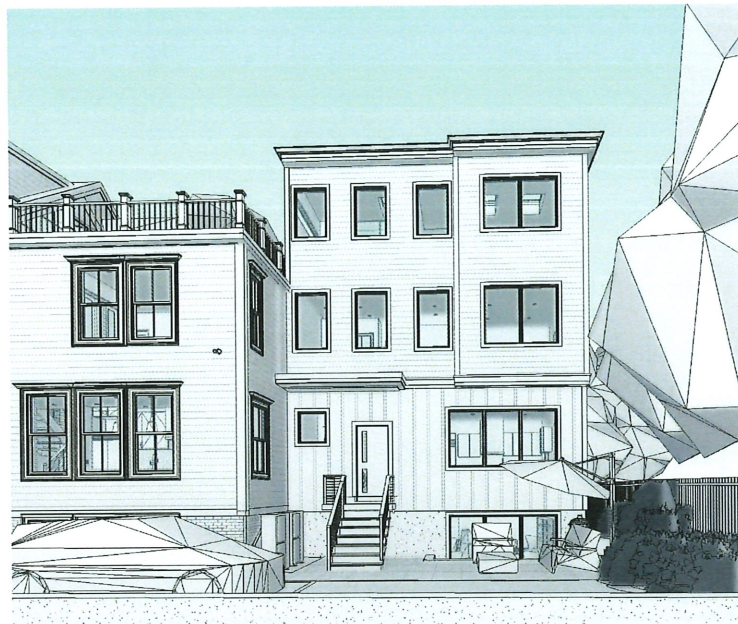
Project number 2203-0018
 Date 2/10/2025
 Drawn by Author
 Checked by Checker

A-004

Scale



① UNIT B - MASSING PERSPECTIVE 1



② UNIT B - MASSING PERSPECTIVE 2



③ UNIT B - MASSING PERSPECTIVE 3



④ STREET MASSING PERSPECTIVE 1

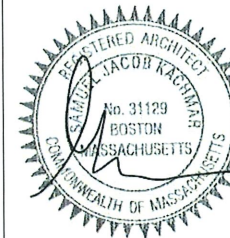


⑤ STREET MASSING PERSPECTIVE 2



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No.	Description	Date

PROPOSED MASSING PERSPECTIVES

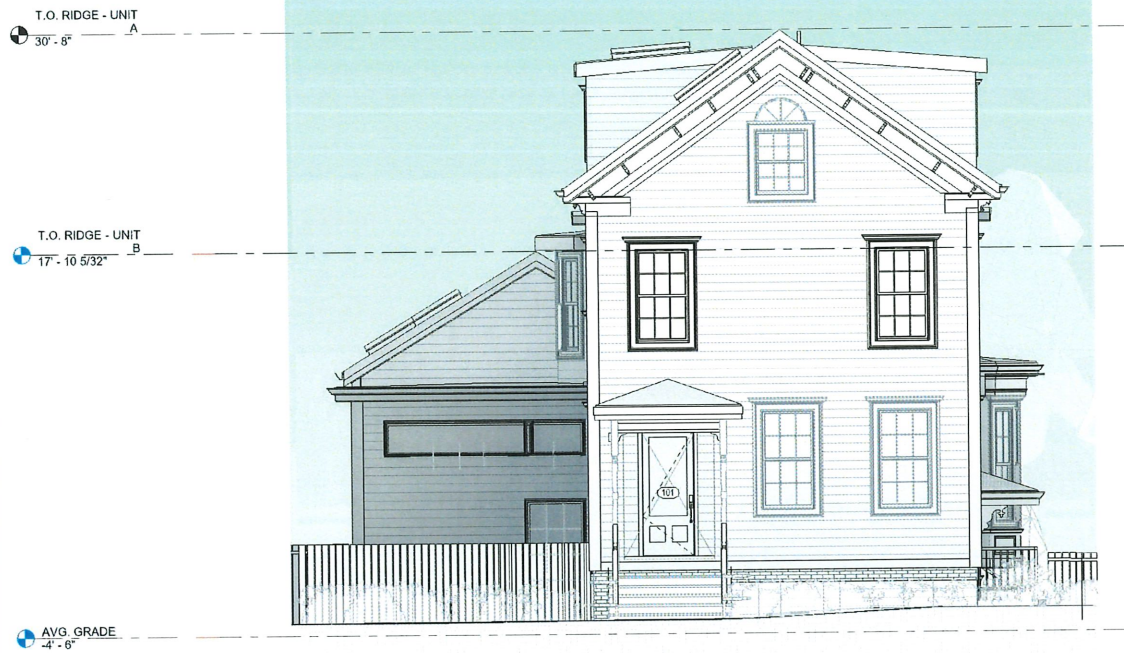
18 CLINTON RESIDENCE
18 CLINTON LP
18 CLINTON ST.
CAMBRIDGE, MA 02138

Project number	2203-0018
Date	2/10/2025
Drawn by	Author
Checked by	Checker

A-005

Scale

A-100 ELEVATION WEST



WATER TABLE ELEVATION 36" (EL.=36.5+-)

LEVEL 0 - UNIT B
-13'-9 3/4"

PREVIOUSLY APPROVED - WEST ELEVATION
1/4" = 1'-0"



NEW PROPOSED UNIT B

NO CHANGES ON UNIT A

NEW LOW SLOPE RUBBER ROOFING

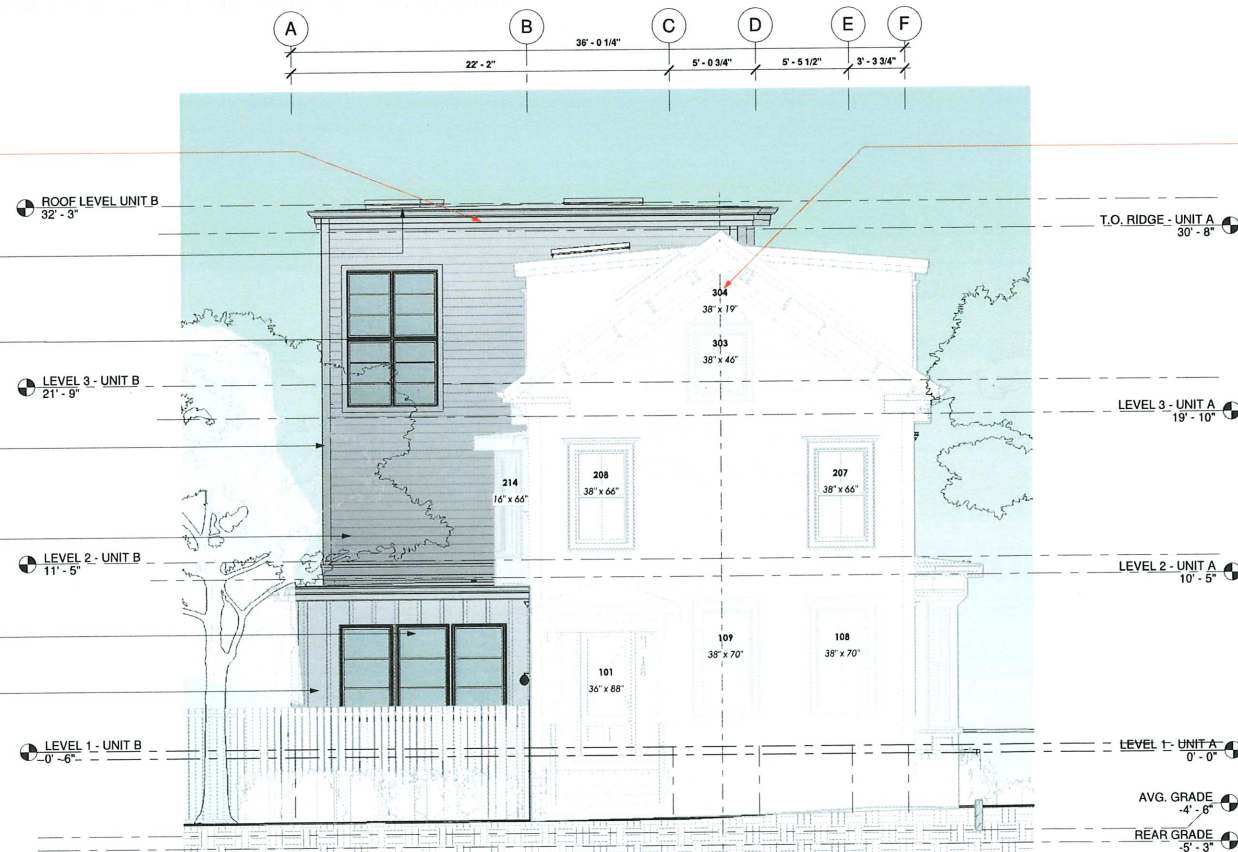
NEW WINDOWS

NEW OUTSIDE CORNER BOARDS, TYP.

NEW HORIZONTAL CLAPBOARD SIDING

NEW FIXED WINDOWS WITH GRILLES BEYOND

VERTICAL BOARD & BATTEN SIDING AT LEVEL 1

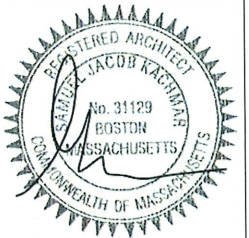


PROPOSED - WEST ELEVATION
1/4" = 1'-0"



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CAMBRIDGE MA, 02138



No.	Description	Date

ELEVATION WEST

18 CLINTON RESIDENCE
18 CLINTON LP

18 CLINTON ST.
CAMBRIDGE, MA 02138

Project number 2203-0018
Date 2/10/2025
Drawn by Author
Checked by Checker

A-100

Scale 1/4" = 1'-0"

T.O. RIDGE - UNIT A
30'-8"

T.O. RIDGE - UNIT B
17'-10 5/32"

AVG. GRADE
-4'-6"

WATER TABLE ELEVATION 36" (EL.=36.5+)

LEVEL 0 - UNIT B
-13'-9 3/4"



Architectural elevation drawing of a building facade, showing units A and B, levels 0 to 3, and various dimensions and annotations.

Horizontal Dimensions (Top):

- 13' - 8 1/4"
- 9' - 0"
- 12' - 6"
- 84' - 11 1/4"
- 2' - 3"
- 3' - 8 3/4"
- 11' - 10 3/4"
- 16' - 11 3/4"

Vertical Dimensions (Right):

- Roof Level Unit B: 32' - 3"
- Level 3 - Unit B: 21' - 9"
- Level 2 - Unit B: 11' - 5"
- Level 1 - Unit B: 0' - 6"
- Avg. Grade: 4' - 6"
- Level 0 - Unit B: -8' - 2"

Annotations and Features:

- NEW SKYLIGHTS
- NEW LOW SLOPE RUBBER ROOF
- NEW WINDOWS
- NEW PROPOSED UNIT B
- HORIZONTAL CLAPBOARD SIDING, TYP.
- NEW CORNERBOARDS, TYP.
- BUMP-OUT AT LEVEL 2 & 3
- FLAT ROOF ABOVE ENTRY PORCH
- VERTICAL BOARD & BATTEN SIDING AT LEVEL 1

Unit Details:

- UNIT A:** Includes units 101, 102, 103, 104, 105, 107, 203, 204, 205, 301, 302, 307. Dimensions include 34" x 40", 38" x 66", 116" x 71", 18" x 80", 32" x 20", 38" x 68", 38" x 74", 38" x 68", 38" x 68", 38" x 68", 38" x 68", 38" x 68.
- UNIT B:** Includes units 101, 102, 103, 104, 105, 107, 203, 204, 205, 301, 302, 307. Dimensions include 34" x 40", 38" x 66", 116" x 71", 18" x 80", 32" x 20", 38" x 68", 38" x 74", 38" x 68", 38" x 68", 38" x 68", 38" x 68.

Other Annotations:

- T.O. RIDGE - UNIT A: 30' - 8"
- LEVEL 3 - UNIT A: 19' - 10"
- LEVEL 2 - UNIT A: 10' - 5"
- LEVEL 1 - UNIT A: 0' - 0"
- REAR GRADE: -5' - 3"
- LEVEL 0 - UNIT A: 36.62

2 PROPOSED - SOUTH ELEVATION
1/4" = 1'-0"

[illegible]

ELEVATION SOUTH

18 CLINTON RESIDENCE

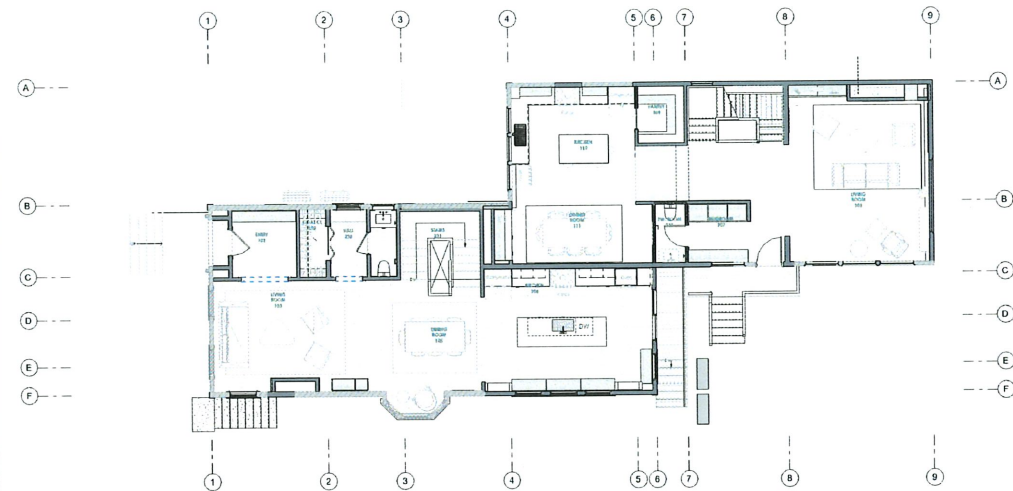
18 CLINTON ST.
CAMBRIDGE, MA 02138

Project number	2203-0018
Date	2/10/2025
Drawn by	Author
Checked by	Checker

A-101

Scale	As indicated
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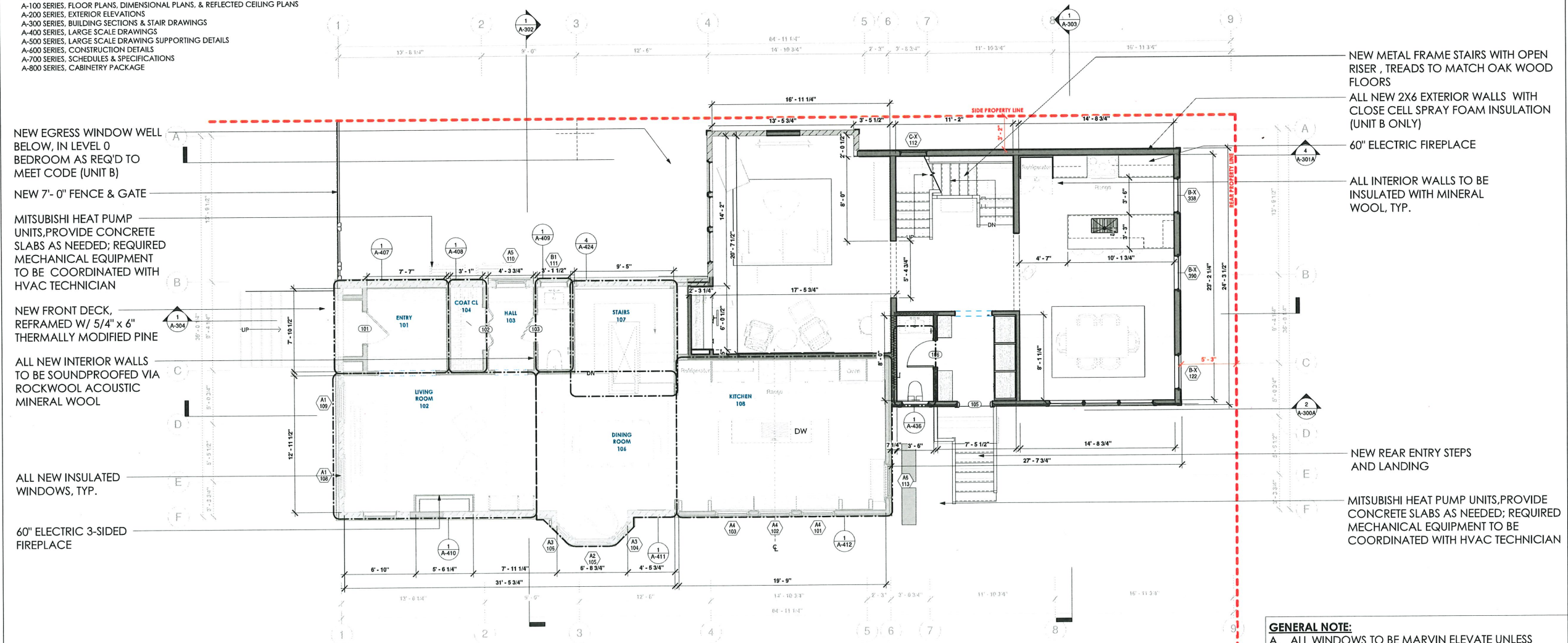
A-201 LEVEL 1



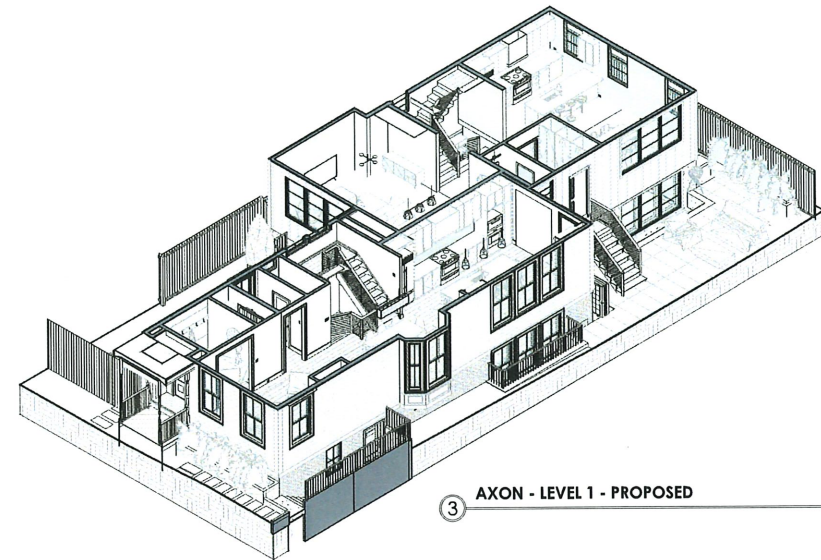
2 PREVIOUSLY APPROVED - LEVEL 1
1/8" = 1'-0"

DRAWING COORDINATION INDEX:

ALL PROJECT DRAWINGS TO BE READ IN CONJUNCTION WITH:
A-100 SERIES, FLOOR PLANS, DIMENSIONAL PLANS, & REFLECTED CEILING PLANS
A-200 SERIES, EXTERIOR ELEVATIONS
A-300 SERIES, BUILDING SECTIONS & STAIR DRAWINGS
A-400 SERIES, LARGE SCALE DRAWINGS
A-500 SERIES, LARGE SCALE DRAWING SUPPORTING DETAILS
A-600 SERIES, CONSTRUCTION DETAILS
A-700 SERIES, SCHEDULES & SPECIFICATIONS
A-800 SERIES, CABINERY PACKAGE



1 PROPOSED - LEVEL 1
1/4" = 1'-0"



3 AXON - LEVEL 1 - PROPOSED

NEW METAL FRAME STAIRS WITH OPEN RISER, TREADS TO MATCH OAK WOOD FLOORS
ALL NEW 2X6 EXTERIOR WALLS WITH CLOSE CELL SPRAY FOAM INSULATION (UNIT B ONLY)
60" ELECTRIC FIREPLACE

ALL INTERIOR WALLS TO BE INSULATED WITH MINERAL WOOL, TYP.

NEW REAR ENTRY STEPS AND LANDING

MITSUBISHI HEAT PUMP UNITS, PROVIDE CONCRETE SLABS AS NEEDED; REQUIRED MECHANICAL EQUIPMENT TO BE COORDINATED WITH HVAC TECHNICIAN

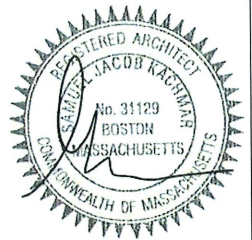
GENERAL NOTE:

- ALL WINDOWS TO BE MARVIN ELEVATE UNLESS NOTED
- 5" ENGINEERED HARDWOOD THROUGHOUT LEVEL 0
- 7" WHITE OAK THROUGHOUT LEVEL 1
- 5" WHITE OAK HARDWOOD FLOOR LEVEL 2 AND 3
- ALL EXTERIOR WALLS TO REMAIN
- BASEBOARD ASSUMED FOR UNIT A & FLUSH BASEBOARD ASSUMED FOR UNIT B



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No.	Description	Date

LEVEL 1

18 CLINTON RESIDENCE
18 CLINTON LP

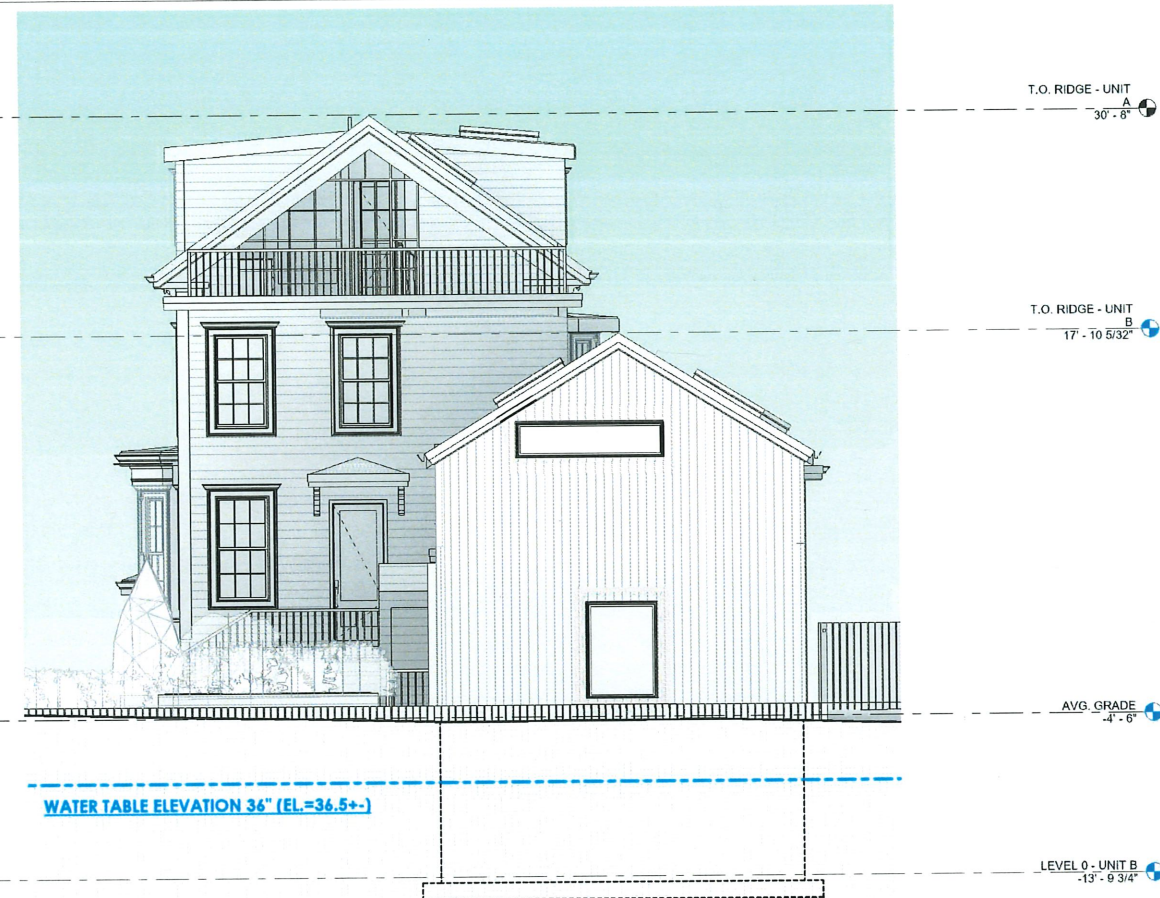
18 CLINTON ST.
CAMBRIDGE, MA 02138

Project number	2203-0018
Date	2/10/2025
Drawn by	Author
Checked by	Checker

A-201

Scale As indicated

A-102 ELEVATION EAST



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CAMBRIDGE MA, 02138



No.	Description	Date

ELEVATION EAST

18 CLINTON RESIDENCE

18 CLINTON LP

18 CLINTON ST.
CAMBRIDGE, MA 02138

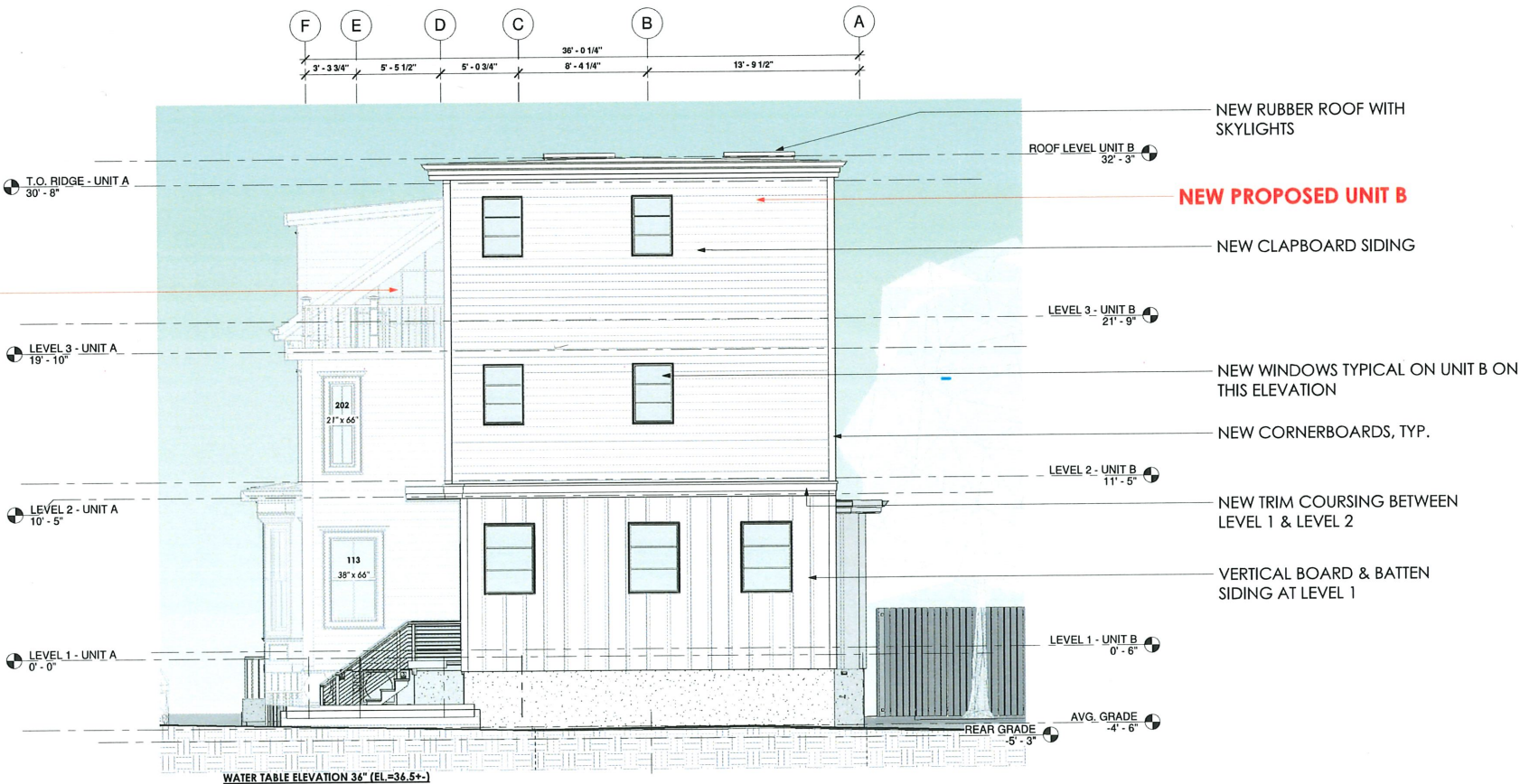
Project number	2203-0018
Date	2/10/2025
Drawn by	Author
Checked by	Checker

A-102

Scale 1/4" = 1'-0"

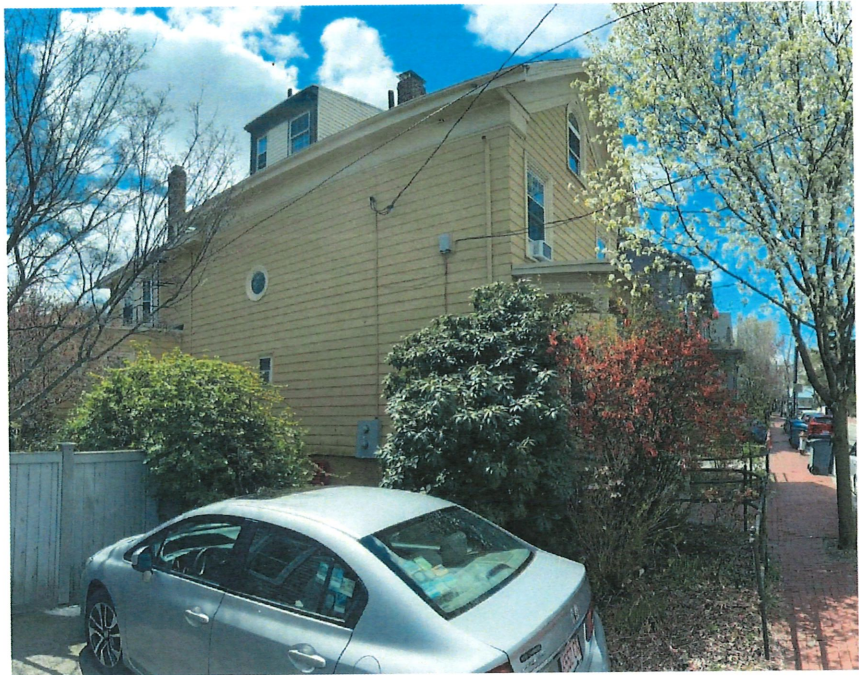
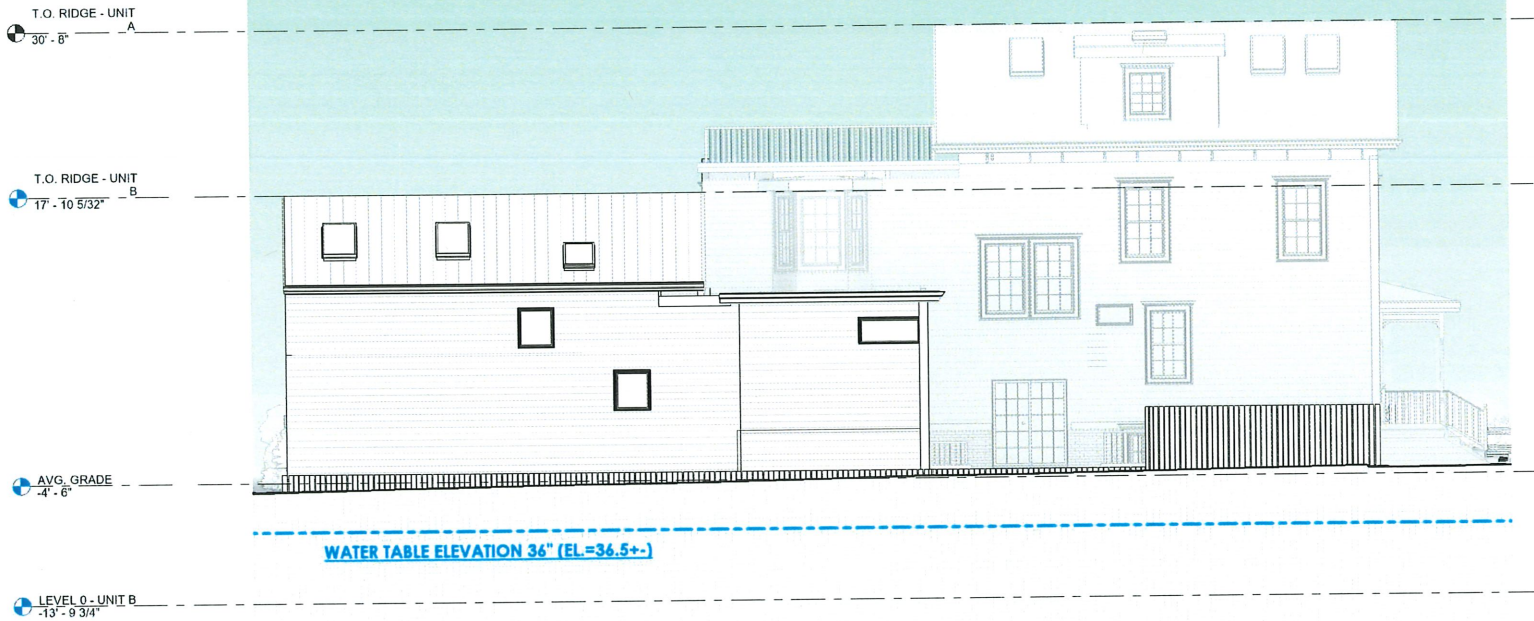
1 PREVIOUSLY APPROVED - EAST ELEVATION
1/4" = 1'-0"

NO CHANGES ON UNIT A

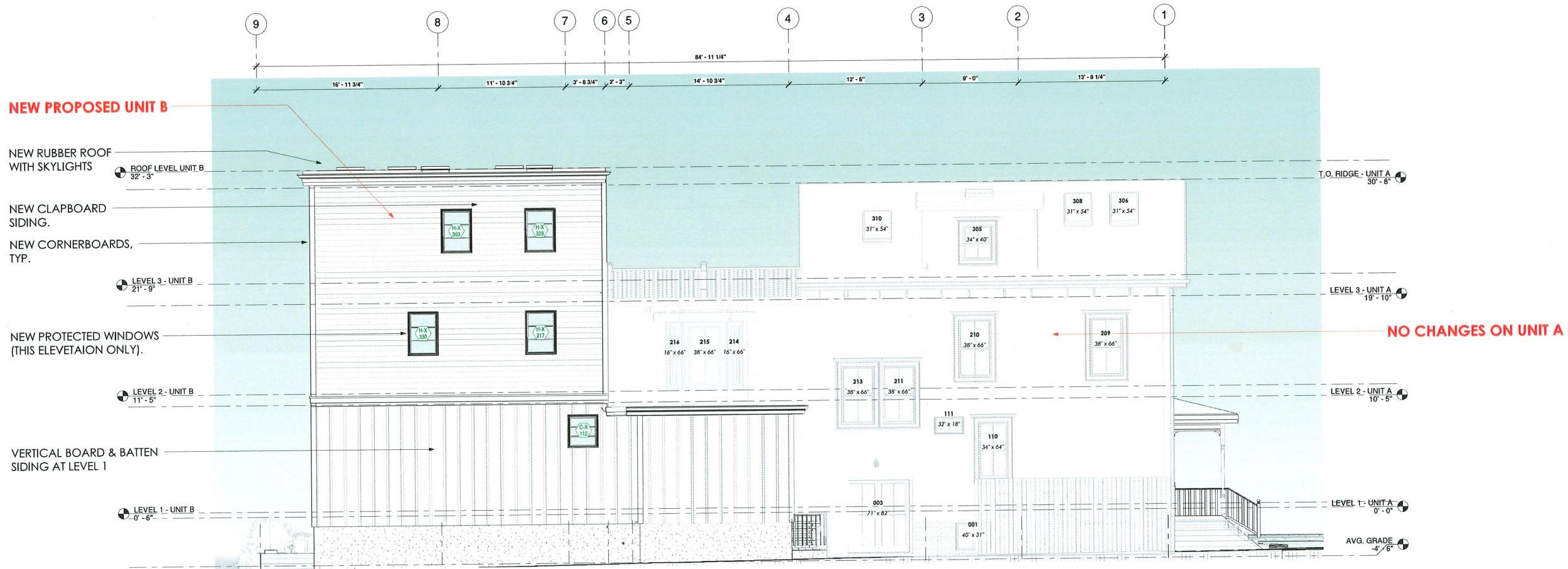


2 PROPOSED - EAST ELEVATION
1/4" = 1'-0"

A-103 ELEVATION NORTH



1 PREVIOUSLY APPROVED - NORTH ELEVATION
3/16" = 1'-0"

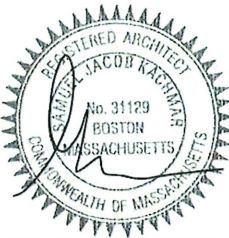


2 PROPOSED - NORTH ELEVATION
1/4" = 1'-0"



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No.	Description	Date

ELEVATION NORTH

18 CLINTON RESIDENCE
18 CLINTON LP
18 CLINTON ST.
CAMBRIDGE, MA 02138

Project number	2203-0018
Date	2/10/2025
Drawn by	Author
Checked by	Checker

A-103

Scale As Indicated

A-200 LEVEL 0



4 PREVIOUSLY APPROVED - LEVEL 0

1/8" = 1'-0"

DRAWING COORDINATION INDEX:

ALL PROJECT DRAWINGS TO BE READ IN CONJUNCTION WITH:
A-100 SERIES, FLOOR PLANS, DIMENSIONAL PLANS, & REFLECTED CEILING PLANS
A-200 SERIES, EXTERIOR ELEVATIONS
A-300 SERIES, BUILDING SECTIONS & STAIR DRAWINGS
A-400 SERIES, LARGE SCALE DRAWINGS
A-500 SERIES, LARGE SCALE DRAWING SUPPORTING DETAILS
A-600 SERIES, CONSTRUCTION DETAILS
A-700 SERIES, SCHEDULES & SPECIFICATIONS
A-800 SERIES, CABINERY PACKAGE

EGRESS WINDOW WELL IN BEDROOM ACCORDING TO CODE (UNIT B)

PERIMETERS OF FINISHED ROOMS TO HAVE 2X4 FINISHED WALLS FILLED WITH CLOSED CELL INSULATION

NEW SUMP PUMP LOCATION (UNIT B)

NEW STAIRS; TREAD TO MATCH OAK WOOD FLOORS

ALL INTERIOR WALLS TO BE INSULATED WITH MINERAL WOOL

NEW INSULATED CONCRETE SLAB (UNIT A)

ALL NEW MEP EQUIPMENT (UNIT A)

NEW SUMP PUMP LOCATION (UNIT A)

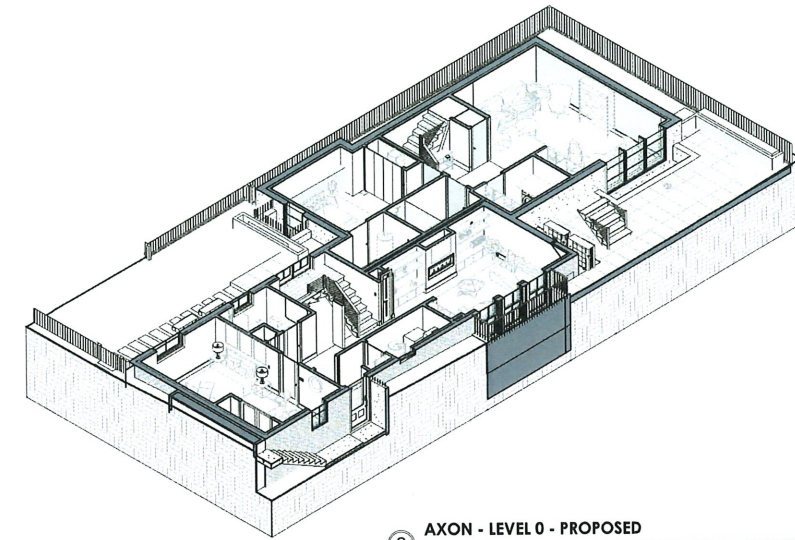
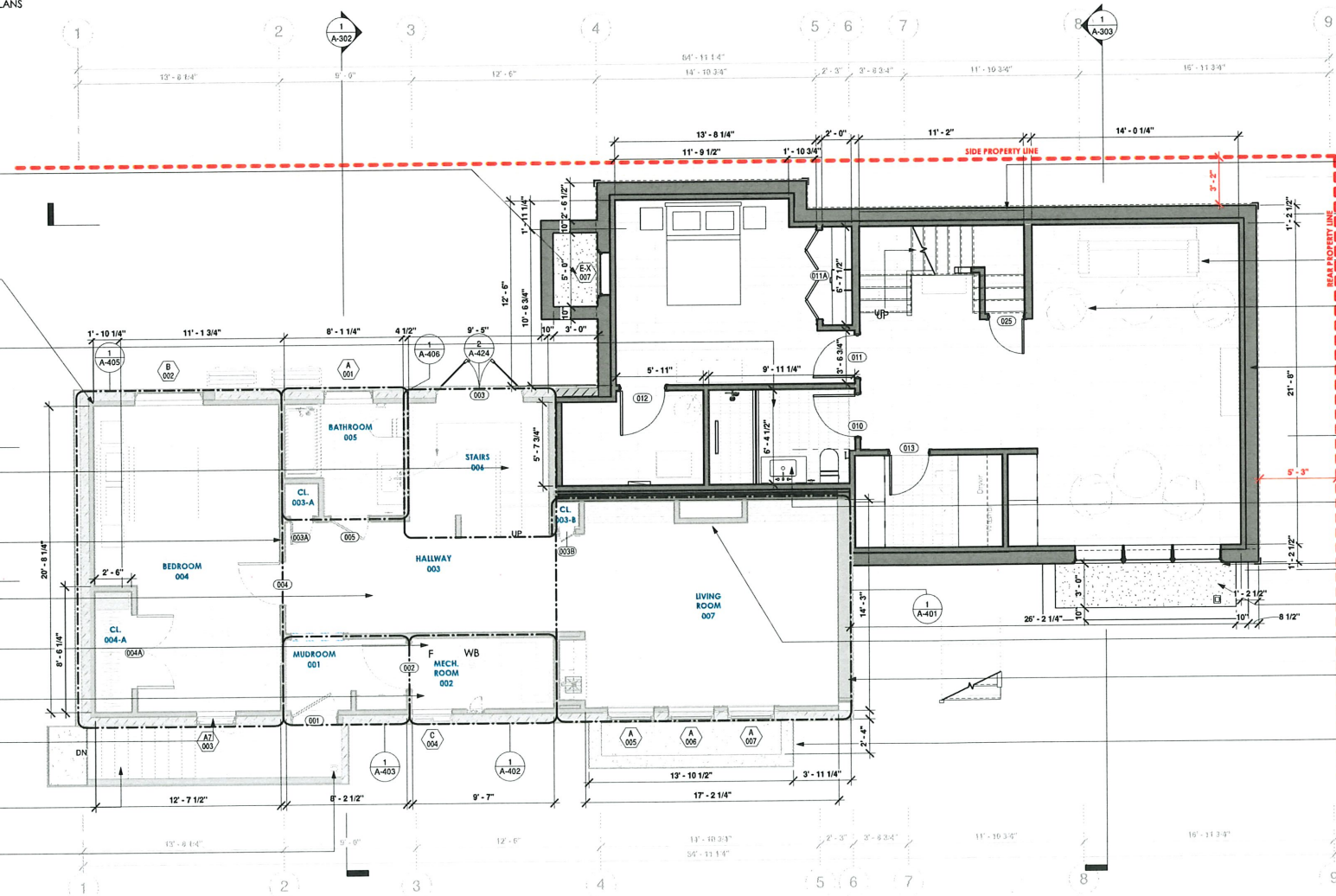
NEW EGRESS WINDOW

EXISTING EXTERIOR STAIR WELL TO BE REPAIR AND EXTENDED AS NEEDED

NEW DRAINAGE TO DRY WELL

1 PROPOSED - LEVEL 0

1/4" = 1'-0"



3 AXON - LEVEL 0 - PROPOSED

NEW WOOD STAIRS; TREADS TO MATCH OAK WOOD FLOORS

NEW INSULATED CONCRETE SLAB (UNIT B)

ALL INTERIOR WALLS TO BE INSULATED CLOSED CELL INSULATION

NEW CONCRETE FOUNDATION WALLS AND FOOTINGS THROUGHOUT; SEE FOUNDATION PLAN, FRAMING PLAN, AND COORDINATE WITH STRUCTURAL DRAWINGS

ALL NEW MEP EQUIPMENT (UNIT B)

EGRESS WINDOW WELL (UNIT B)

NEW DRAINAGE TO DRY WELL

48" ELECTRIC FIREPLACE

NEW FOUNDATION WALL; SEE STRUCTURAL DRAWINGS FOR DETAILS

UNIT A WINDOW WELL (NO EGRESS)

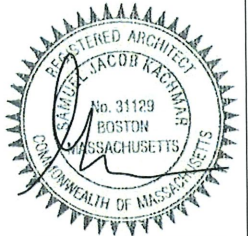
GENERAL NOTE:

- ALL WINDOWS TO BE MARVIN ELEVATE UNLESS NOTED
- 5" ENGINEERED HARDWOOD THROUGHOUT LEVEL 0
- 7" WHITE OAK THROUGHOUT LEVEL 1
- 5" WHITE OAK HARDWOOD FLOOR LEVEL 2 AND 3
- ALL EXTERIOR WALLS TO REMAIN
- BASEBOARD ASSUMED FOR UNIT A & FLUSH BASEBOARD ASSUMED FOR UNIT B



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No.	Description	Date

LEVEL 0

18 CLINTON RESIDENCE

18 CLINTON LP

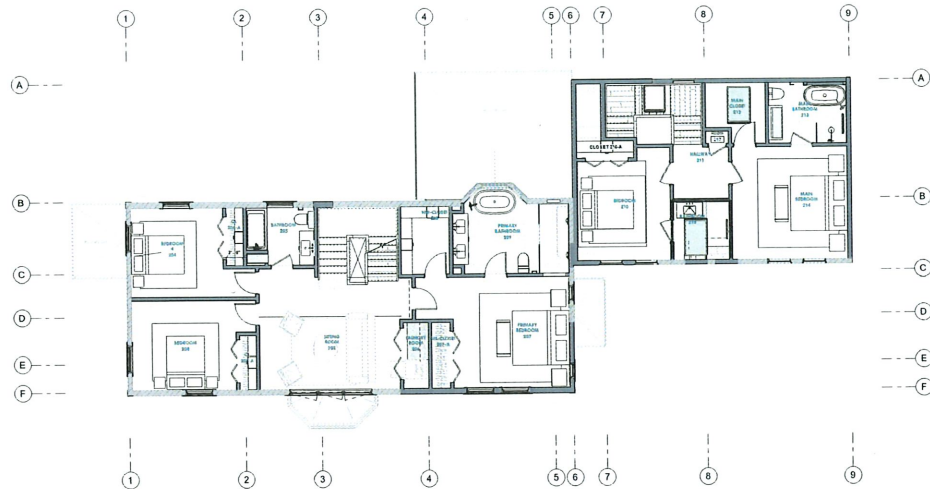
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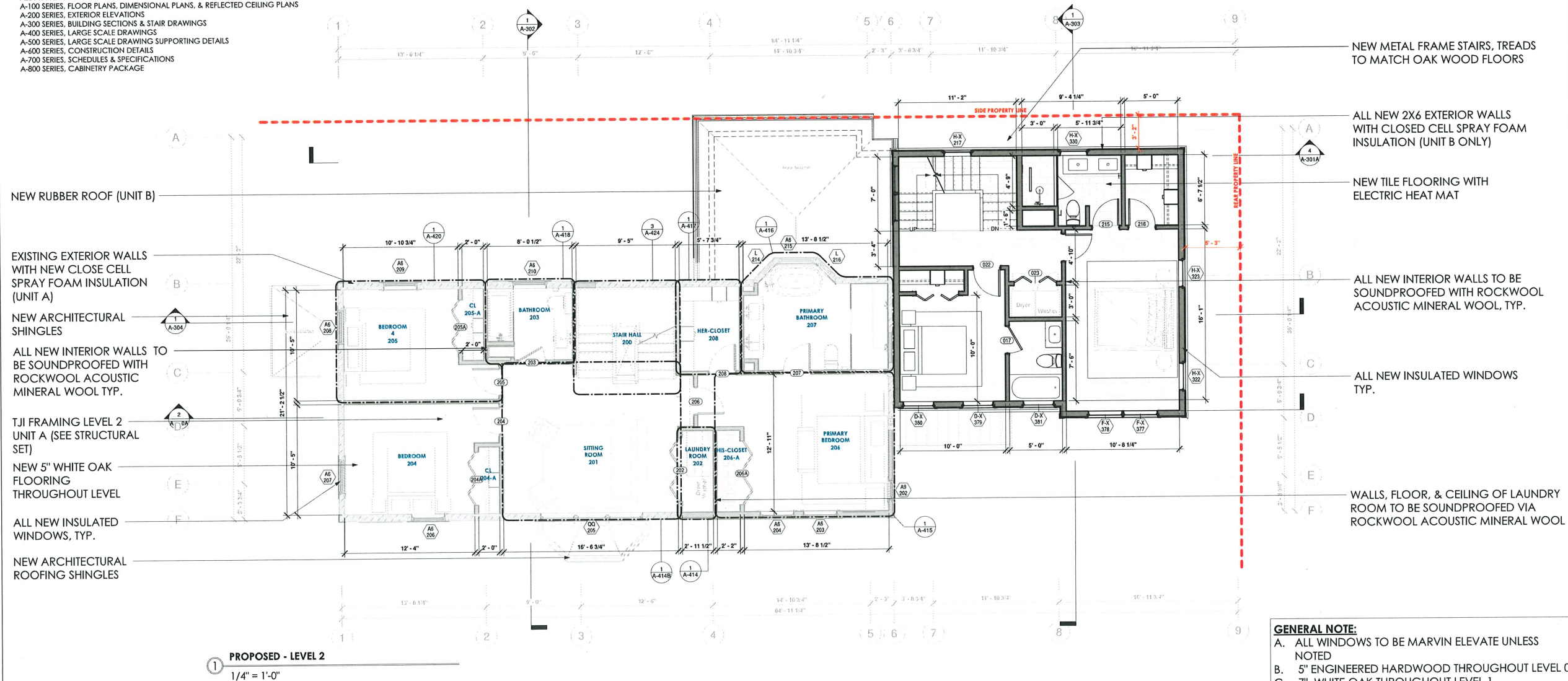
A-202 LEVEL 2



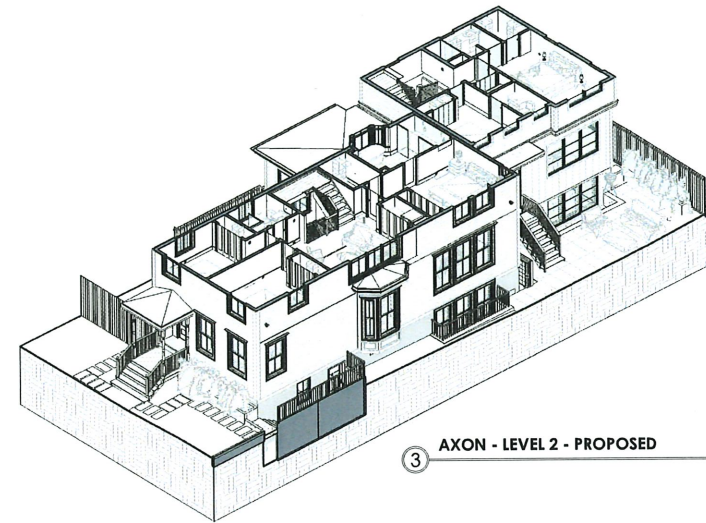
4 PREVIOUSLY APPROVED - LEVEL 2
1/8" = 1'-0"

DRAWING COORDINATION INDEX :

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A-500 SERIES, LARGE SCALE DRAWING SUPPORTING DETAILS
A-600 SERIES, CONSTRUCTION DETAILS
A-700 SERIES, SCHEDULES & SPECIFICATIONS
A-800 SERIES, CABINERY PACKAGE



1 PROPOSED - LEVEL 2
1/4" = 1'-0"

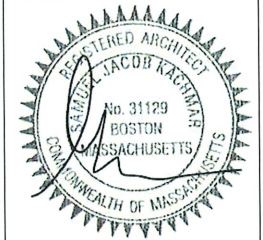


3 AXON - LEVEL 2 - PROPOSED



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LEVEL 2

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18 CLINTON LP

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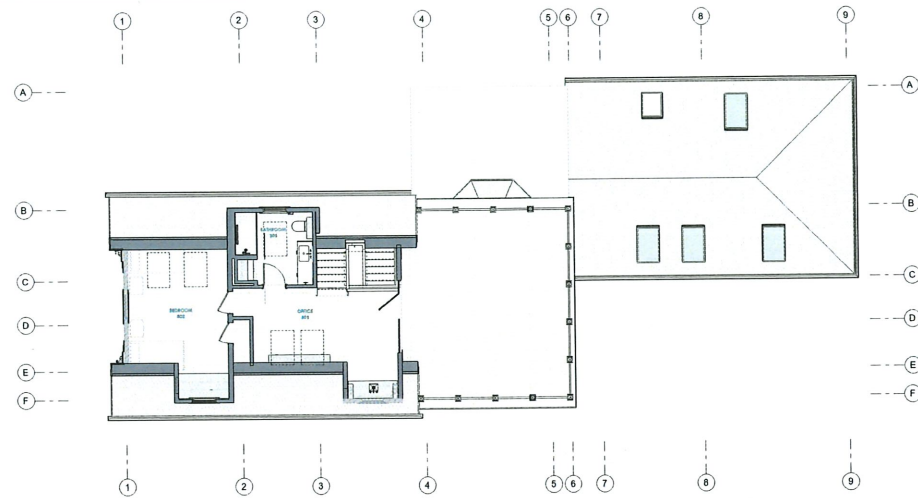
A-202

Scale As indicated

GENERAL NOTE:

- ALL WINDOWS TO BE MARVIN ELEVATE UNLESS NOTED
- 5" ENGINEERED HARDWOOD THROUGHOUT LEVEL 0
- 7" WHITE OAK THROUGHOUT LEVEL 1
- 5" WHITE OAK HARDWOOD FLOOR LEVEL 2 AND 3
- ALL EXTERIOR WALLS TO REMAIN
- BASEBOARD ASSUMED FOR UNIT A & FLUSH BASEBOARD ASSUMED FOR UNIT B

A-203 LEVEL 3

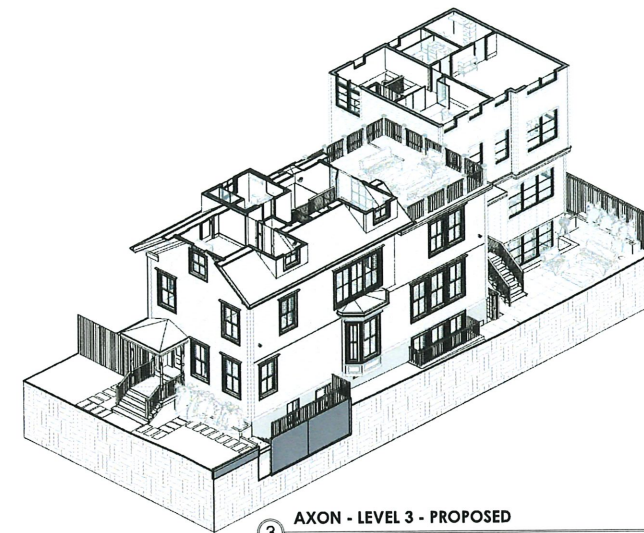


2 PREVIOUSLY APPROVED - LEVEL 3

1/8" = 1'-0"

DRAWING COORDINATION INDEX:

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 A-100 SERIES, FLOOR PLANS, DIMENSIONAL PLANS, & REFLECTED CEILING PLANS
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 A-700 SERIES, SCHEDULES & SPECIFICATIONS
 A-800 SERIES, CABINERY PACKAGE



3 AXON - LEVEL 3 - PROPOSED

NEW WOOD RAILING

NEW THERMALLY MODIFIED
CEDAR 5/4" DECKING

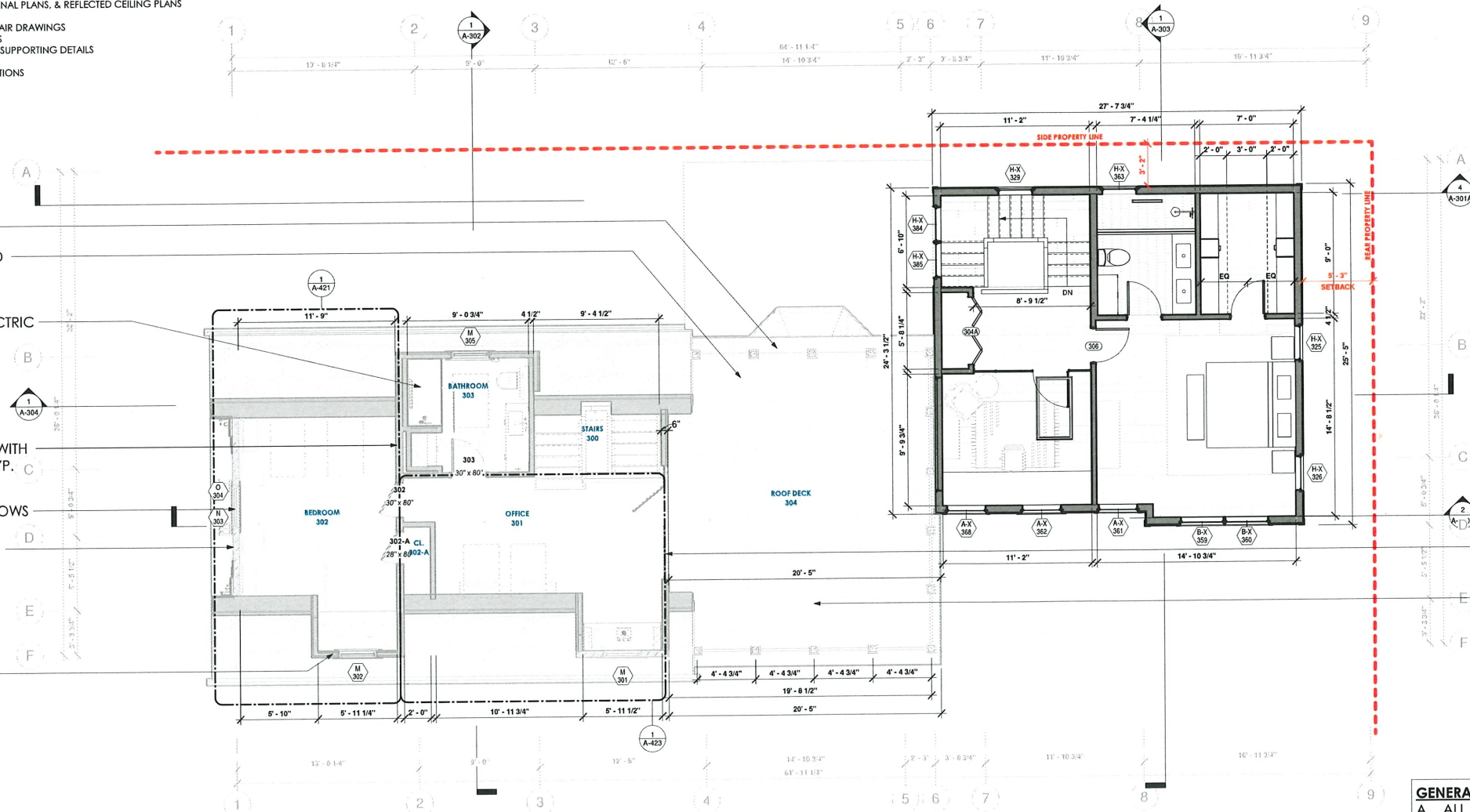
NEW TILE FLOOR WITH ELECTRIC
HEAT MAT

ALL NEW INTERIOR WALLS WITH
ROCKWOOL INSULATION, TYP.

ALL NEW INSULATED WINDOWS
TYP.

EXISTING EXTERIOR WALLS
WITH NEW CLOSE CELL
SPRAY FOAM INSULATION
(TYP, UNIT A)

EXISTING DORMER
TO BE REPAIR AS NEEDED.



1 PROPOSED - LEVEL 3

1/4" = 1'-0"

NEW INSULATED ASSEMBLY GLASS
WALL AND DOOR (UNIT A)

NEW ROOF DECK
WITH COMPOSITE DECK MATERIALS

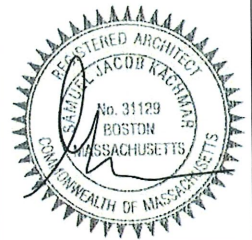
GENERAL NOTE:

- ALL WINDOWS TO BE MARVIN ELEVATE UNLESS NOTED
- 5" ENGINEERED HARDWOOD THROUGHOUT LEVEL 0
- 7" WHITE OAK THROUGHOUT LEVEL 1
- 5" WHITE OAK HARDWOOD FLOOR LEVEL 2 AND 3
- ALL EXTERIOR WALLS TO REMAIN
- BASEBOARD ASSUMED FOR UNIT A & FLUSH BASEBOARD ASSUMED FOR UNIT B



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LEVEL 3

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18 CLINTON LP

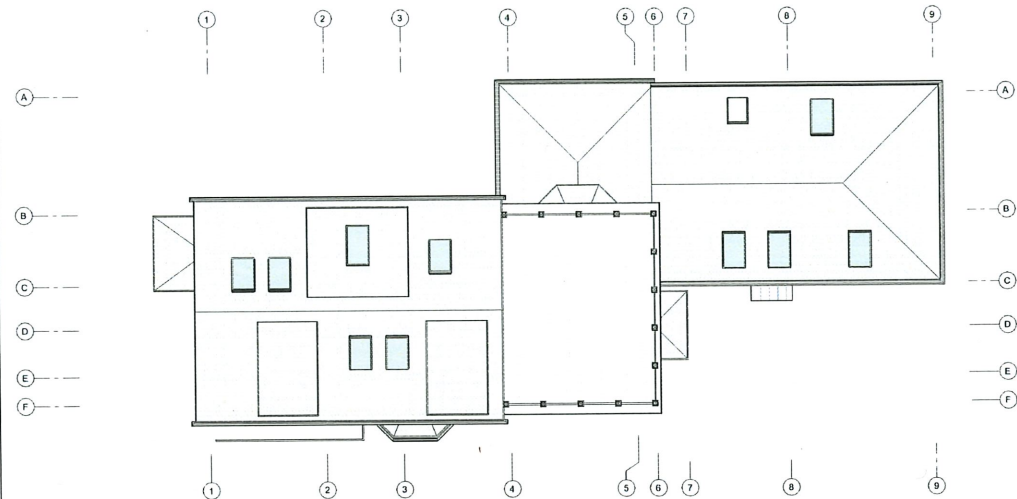
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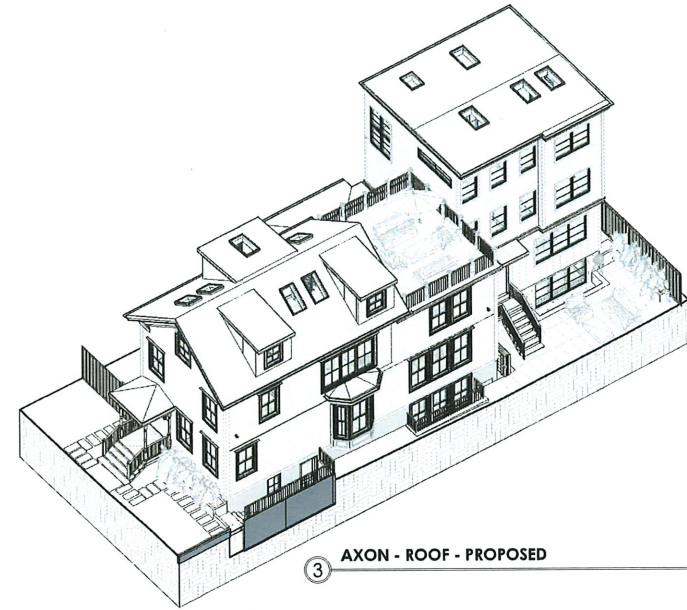
A-203

Scale As indicated

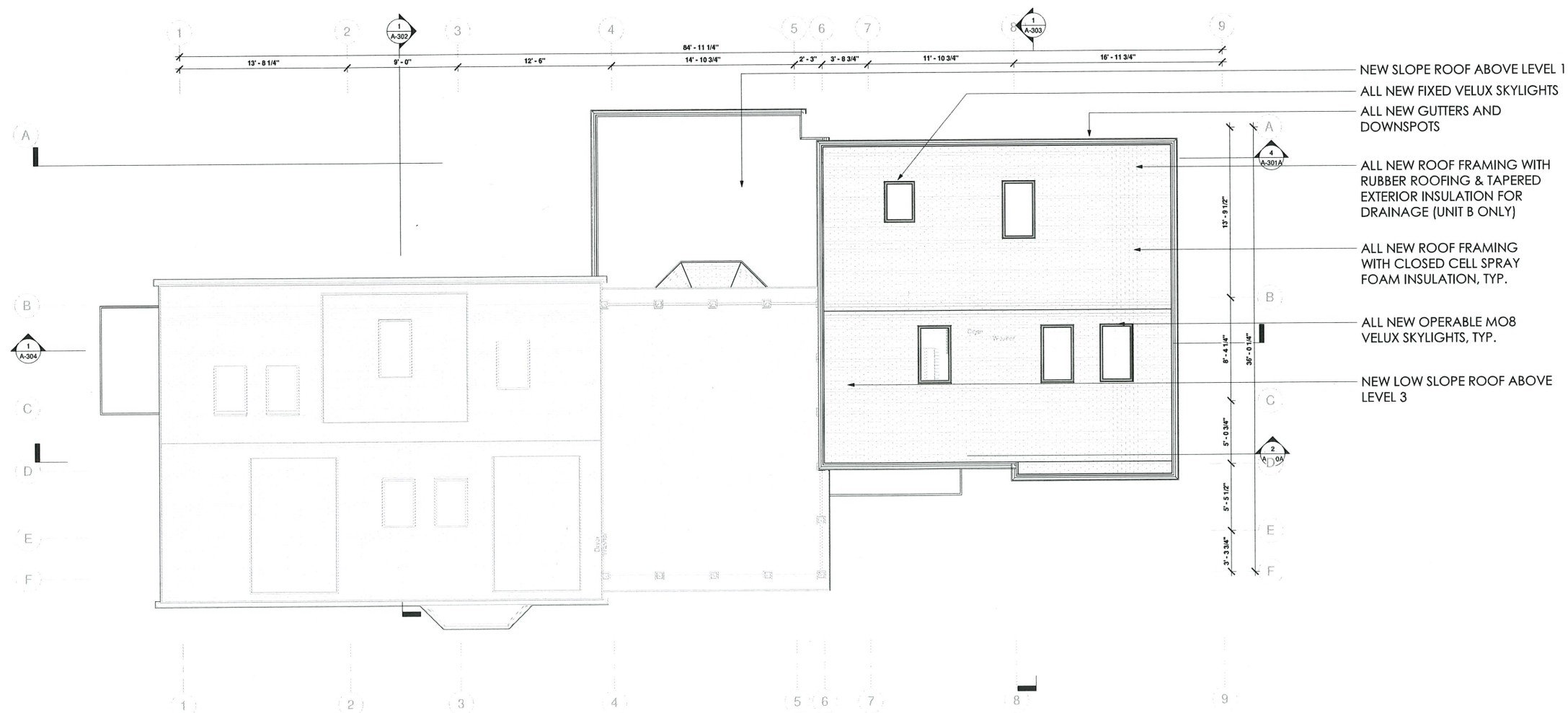
A-204 ROOF PLAN



2 PREVIOUSLY APPROVED - ROOF PLAN
1/8" = 1'-0"



3 AXON - ROOF - PROPOSED

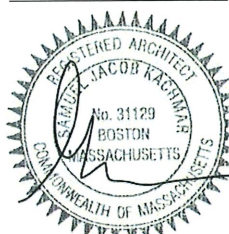


1 PROPOSED - ROOF LEVEL
1/4" = 1'-0"



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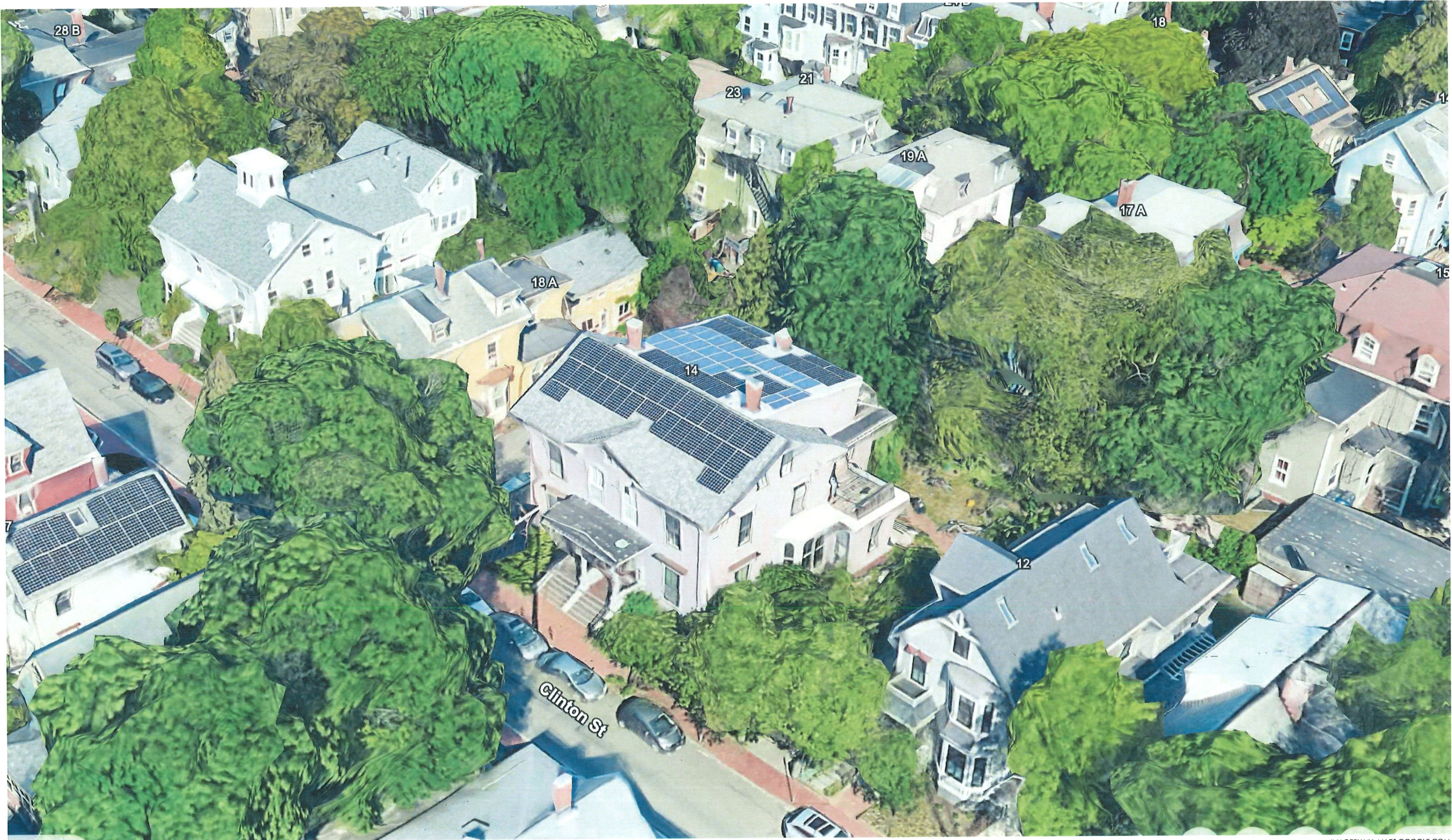
ROOF PLAN

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A-204

Scale As indicated



AERIAL VIEW FROM WESTERN CORNER OF SITE

IMAGERY VIA MAPS.GOOGLE.COM



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No.	Description	Date

EXISTING SITE AERIAL VIEWS

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18 CLINTON LP
18 CLINTON ST.
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A-300

Scale

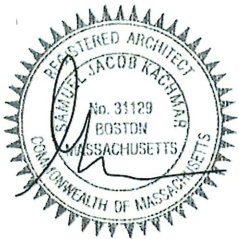


AERIAL VIEW FROM NORTHERN CORNER OF SITE



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No.	Description	Date

EXISTING SITE AERIAL VIEWS

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18 CLINTON ST.
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