



Mid Cambridge Neighborhood Conservation District Commission

Cambridge Historical Commission, 831 Massachusetts Ave., 2nd Fl., Cambridge, MA 02139

Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112

E-mail: histsncds@cambridgema.gov URL: www.cambridgema.gov/historic/midcambridgehome.html

APPLICATION FOR CERTIFICATE

Section I:

1. The undersigned hereby applies to the Mid Cambridge Neighborhood Conservation District Commission for a Certificate of (check type of certificate): Appropriateness, Nonapplicability, or Hardship, in accordance with Ch. 2.78 of the Municipal Code and the order establishing the district.
2. Address of property: _____, Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction, or demolition in the space provided below:
(An additional page can be attached, if necessary).

Name of Property Owner of Record: _____

Mailing Address: _____

Telephone/Fax: _____ E-mail: _____

Signature of Property Owner of Record*: _____

(Required field; application will not be considered complete without property owner's signature)

*I have read the application in full and certify that the information contained herein is true and accurate to the best of my knowledge and belief.

Name of proponent, if not record owner: _____

Mailing Address: _____

Telephone/Fax: _____ E-mail: _____

(for office use only):

Date Application Received: _____ Case Number: _____ Hearing Date: _____

Type of Certificate Issued: _____ Date Issued: _____

Section II:

Is property listed on the National Register of Historic Places? _____ Publicly owned? _____

Current Zoning District: _____ Current Use: _____

Section III:

Will this project require: variance _____ special permit _____

If yes, nature of zoning relief sought: setbacks _____ FAR _____ use _____

height _____ parking _____ other (explain) _____

Section IV (Complete any portions that apply to proposed scope of work):**New Construction or Additions:**

_____ floor area of existing structures on the lot

_____ amount of floor area (gross square feet) of proposed construction

_____ percentage increase in total floor area after construction

_____ total area of lot in square feet

_____ percentage of total lot area covered after construction

Demolition:

_____ amount of floor area (gross square feet) of proposed demolition

_____ floor area of existing structure

_____ percentage decrease in total floor area after demolition

Alterations:

Does the proposed work include (check all that apply):

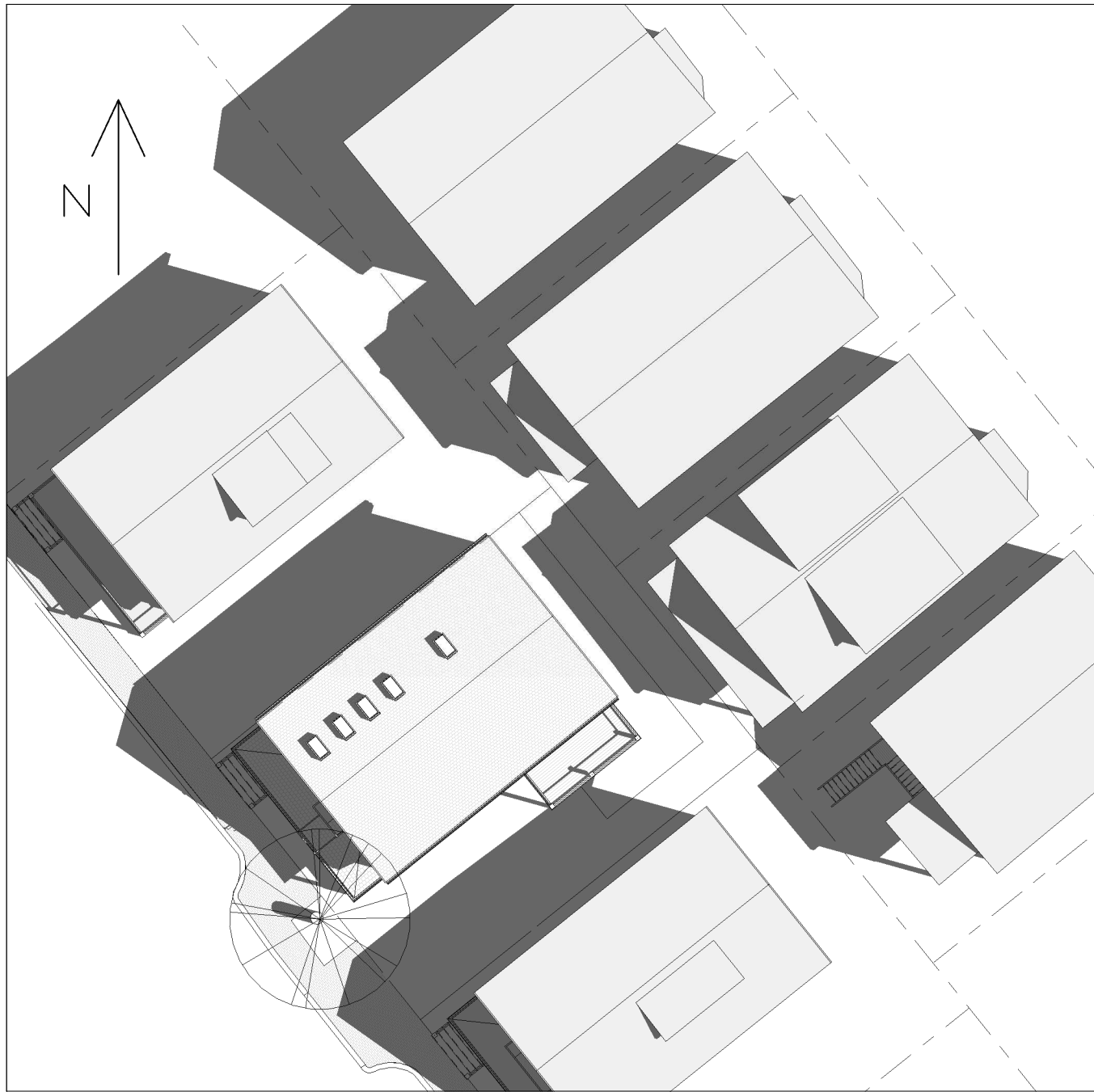
_____ enclosure or removal of decorative elements (including cornice, fascia, soffit, bay, porch, hood, cornerboard, window sash, or window or door casing);

_____ increase or reduction of window or door size;

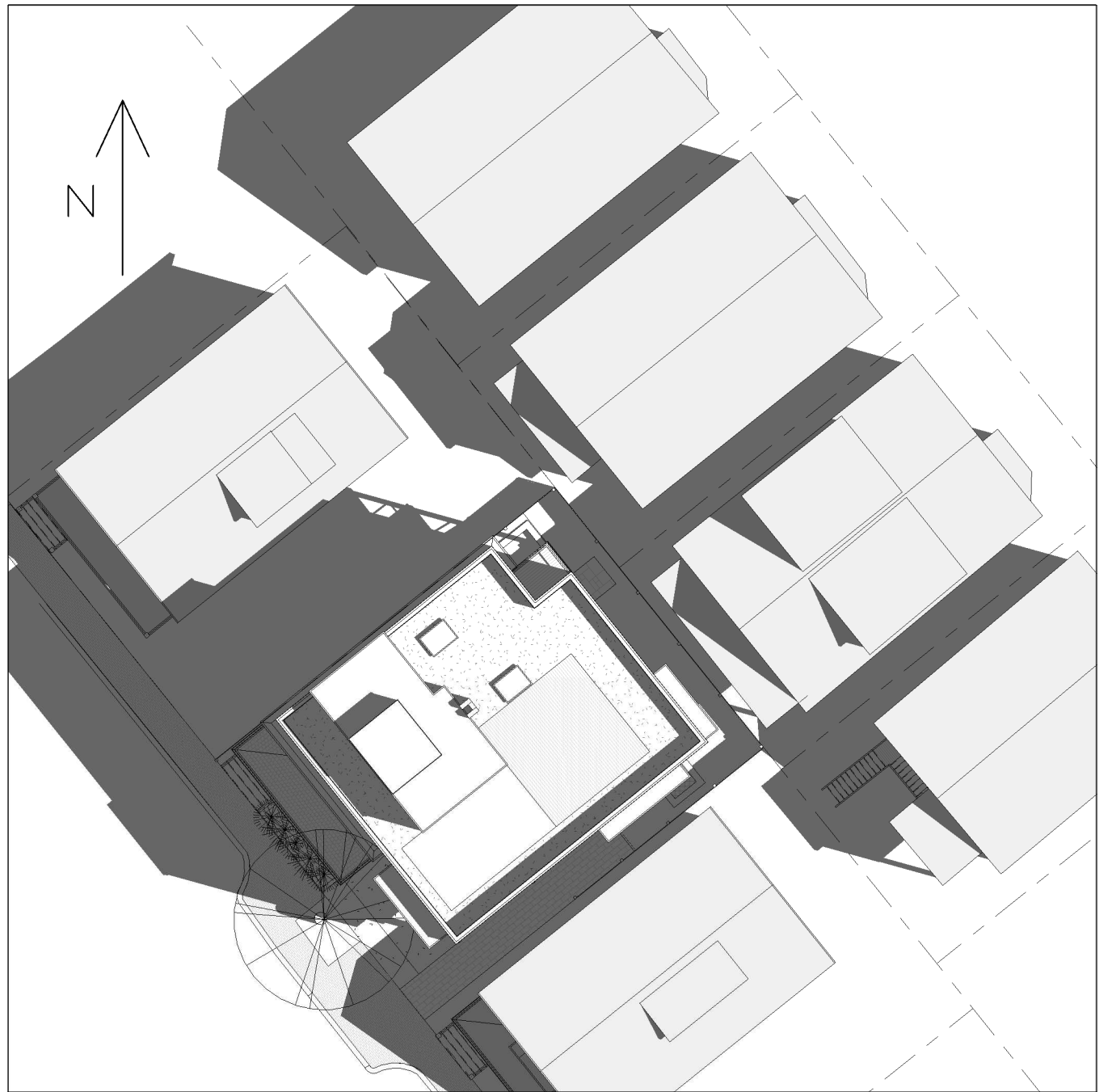
_____ relocation of windows or doors;

_____ change in slope, pitch, or configuration of roof;

_____ removal of original or historic roofing material.



① 1- SUMMER SOLSTICE 9 AM EXTG
1" = 20'-0"



② 1- SUMMER SOLSTICE 9 AM PROP.
1" = 20'-0"

RAZETO ARCHITECTURE

360 Hudson Rd.
Sudbury, MA
Tel. 781-298-1141

elena.razeto@gmail.com
razetoarchitecture.com

DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

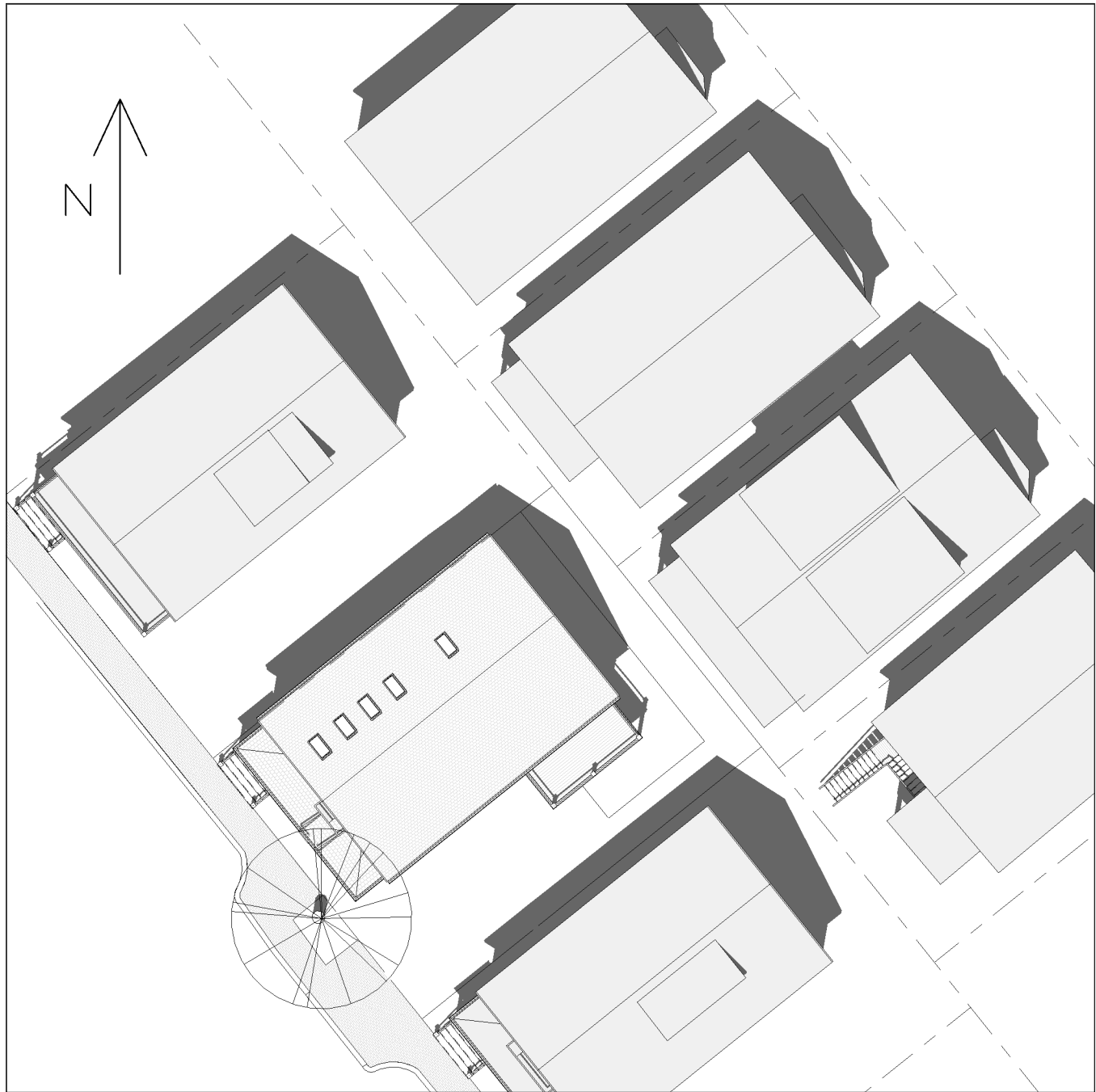
**SUMMER SOLSTICE
JUNE 21th 9 AM**

SCALE

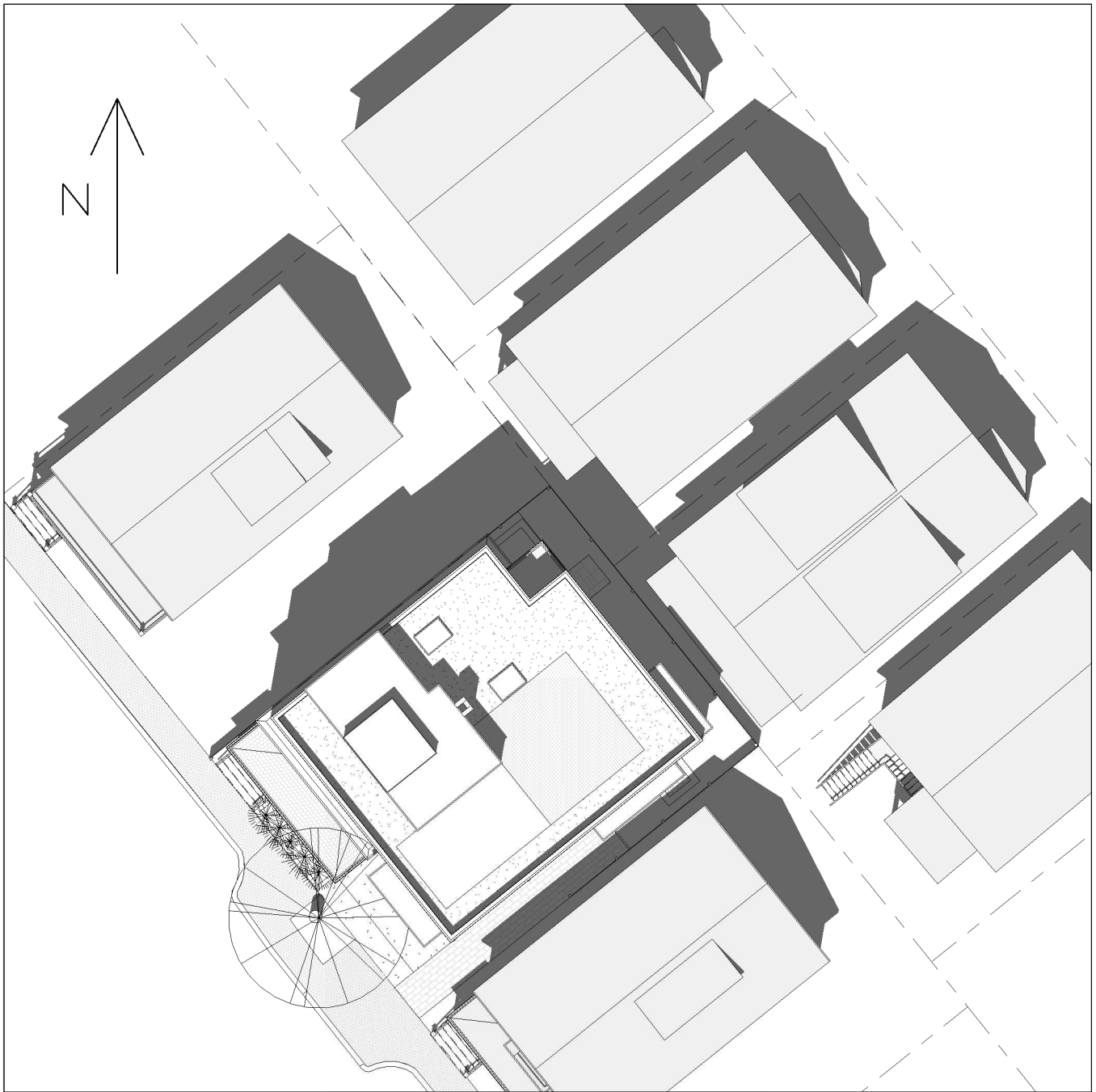
AS NOTED

DRAWING

S-1



1 2- SUMMER SOLSTICE NOON EXTG.
1" = 20'-0"



2 2- SUMMER SOLSTICE NOON PROP.
1" = 20'-0"

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PROJECT

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Proposed Additions

TITLE

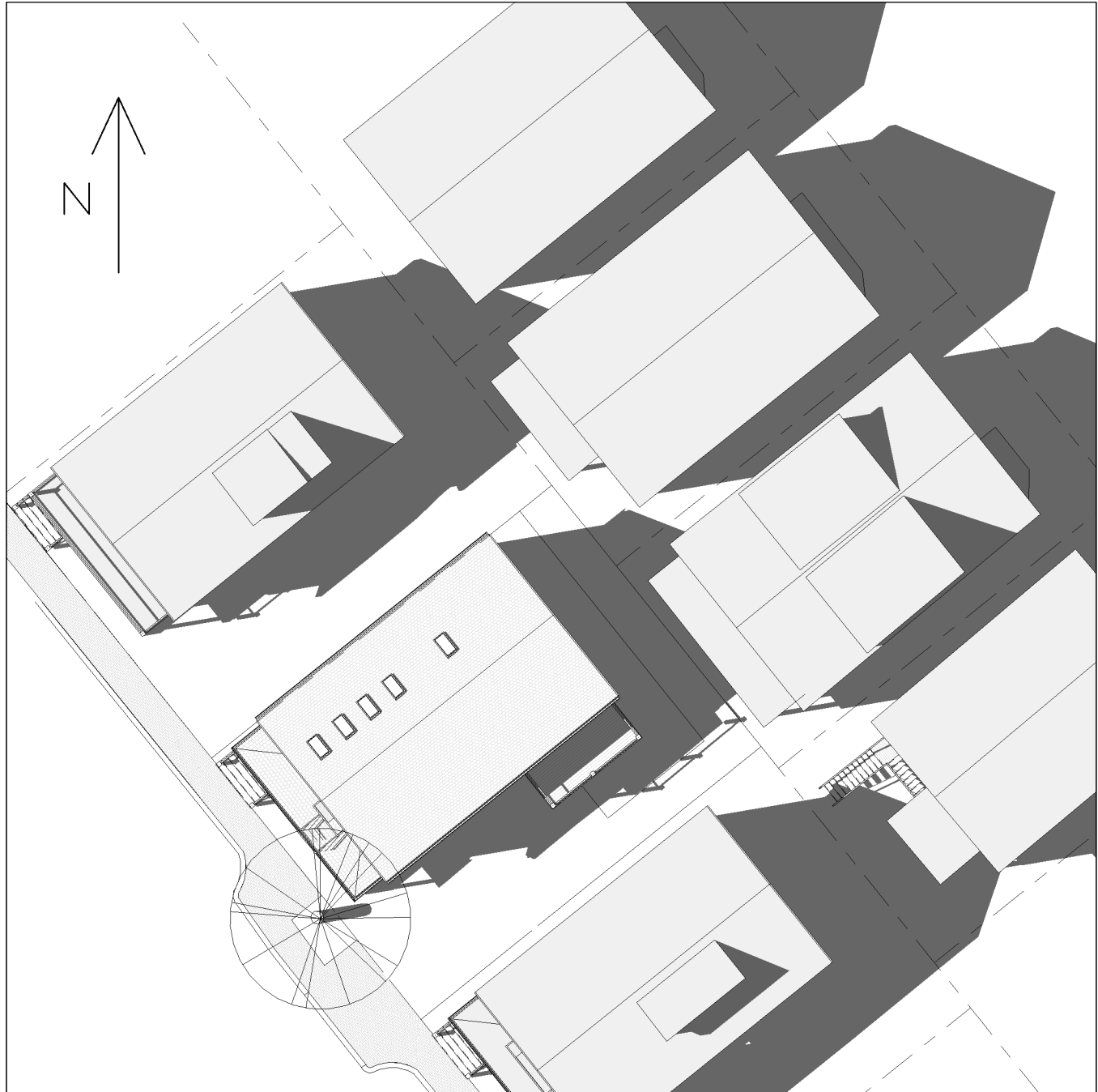
**SUMMER SOLSTICE
JUNE 21th NOON**

SCALE

AS NOTED

DRAWING

S-2



① 3- SUMMER SOLSTICE 3 PM EXTG
1" = 20'-0"



② 3- SUMMER SOLSTICE 3 PM PROP
1" = 20'-0"

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DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

**SUMMER SOLSTICE
JUNE 21th 3 PM**

SCALE

AS NOTED

DRAWING

S-3



① 4- FALL EQUINOX 10 AM EXTG
1" = 20'-0"



② 4- FALL EQUINOX 10 AM PROP
1" = 20'-0"

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DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

**FALL EQUINOX
SEPT. 22nd 10 AM**

SCALE

AS NOTED

DRAWING

S-4



① 5- FALL EQUINOX NOON EXTG
1" = 20'-0"



② 5- FALL EQUINOX NOON PROP
1" = 20'-0"

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DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

**FALL EQUINOX
SEPT. 22nd NOON**

SCALE

AS NOTED

DRAWING

S-5



① 6- FALL EQUINOX 3 PM EXTG
1" = 20'-0"



② 6- FALL EQUINOX 3 PM PROP
1" = 20'-0"

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DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

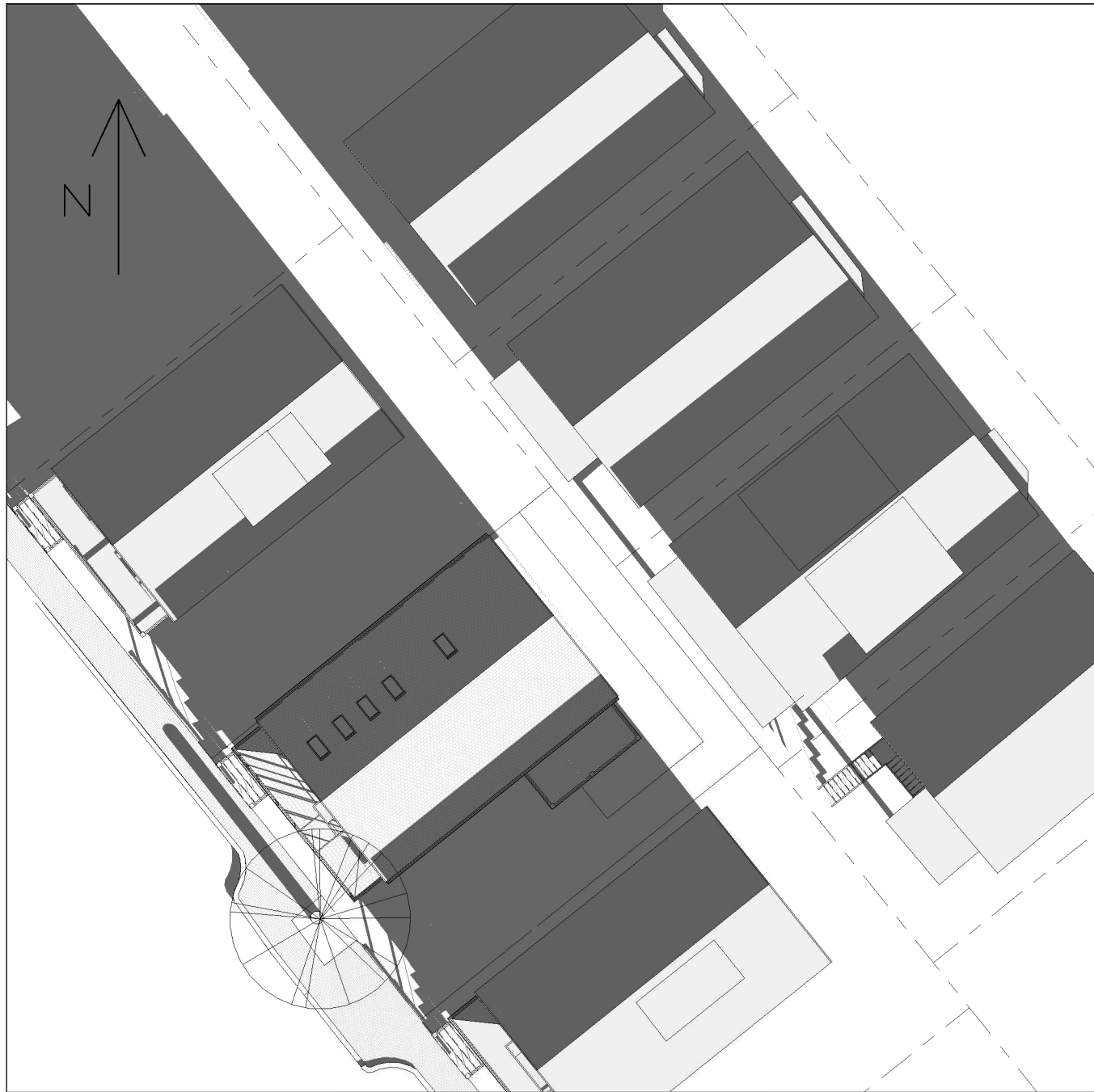
**FALL EQUINOX
SEPT. 22nd 3PM**

SCALE

AS NOTED

DRAWING

S-6



① 7- WINTER SOLSTICE 9 AM EXTG.
1" = 20'-0"

② 7- WINTER SOLSTICE 9 AM PROP.
1" = 20'-0"

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11/12/2025

PROJECT

22-24 Myrtle Ave
Proposed Additions

TITLE

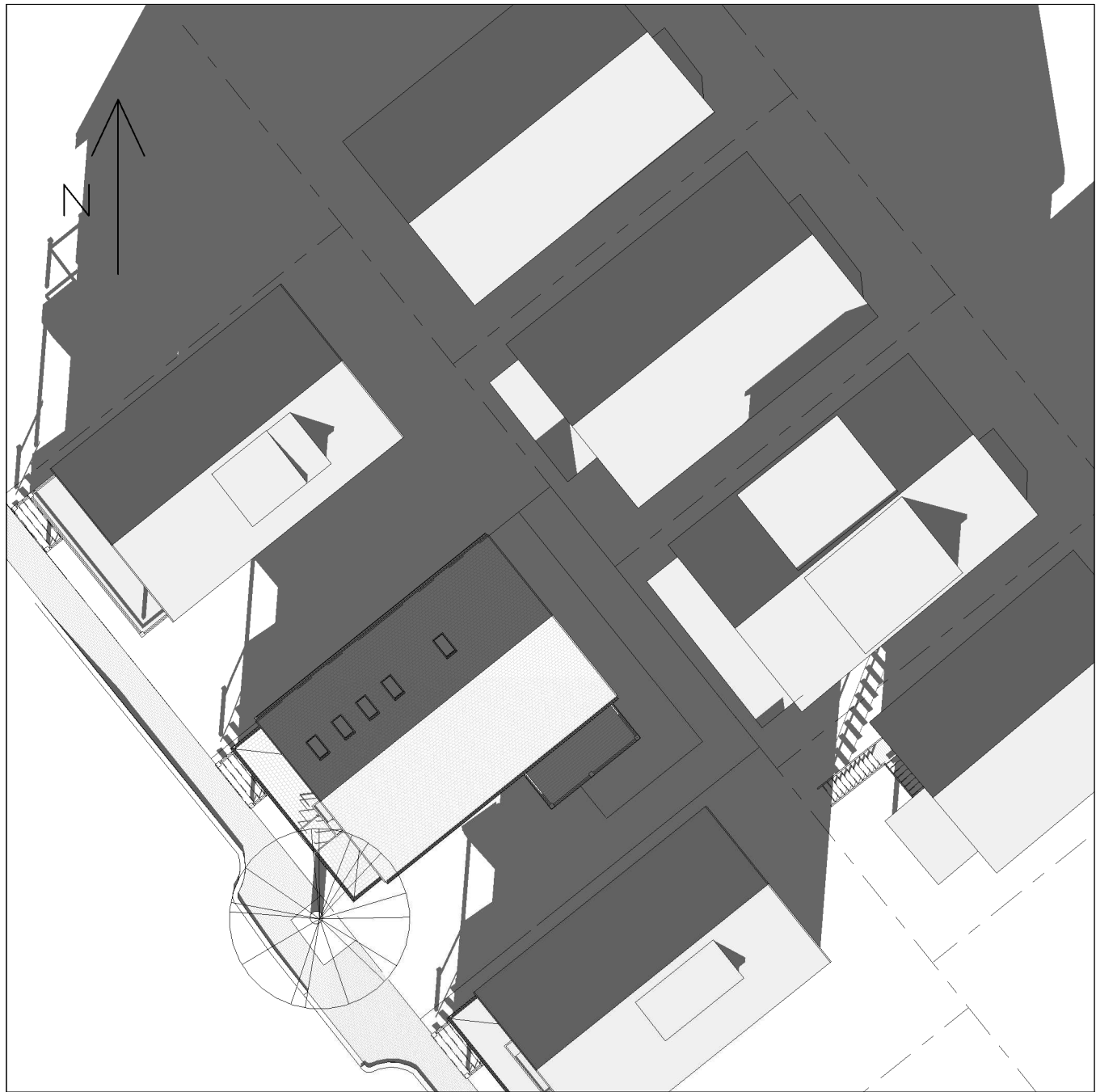
WINTER SOLSTICE
DEC. 21st 9 AM

SCALE

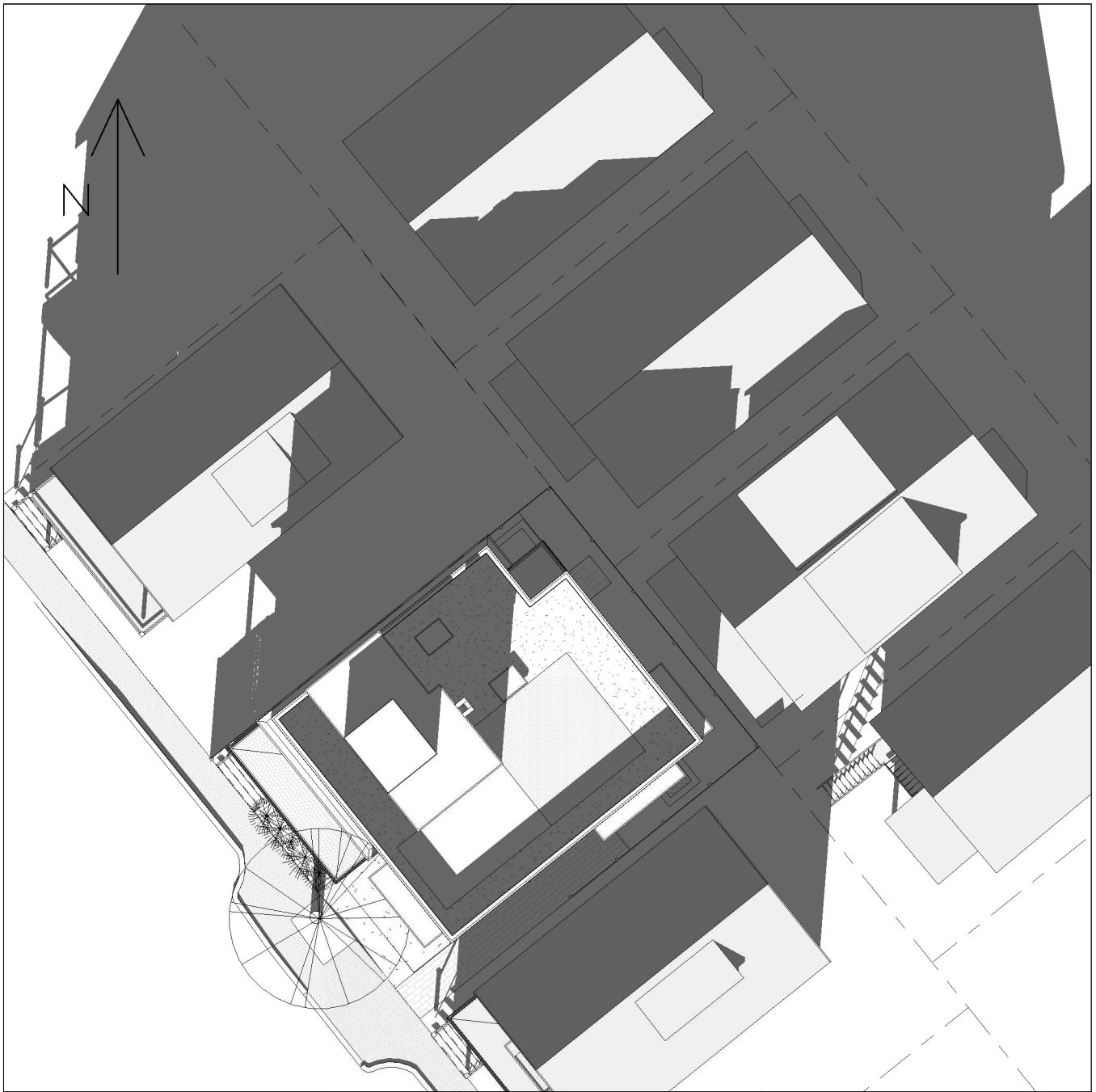
AS NOTED

DRAWING

S-7



① 8- WINTER SOLSTICE NOON EXTG
1" = 20'-0"



② 8- WINTER SOLSTICE NOON PROP.
1" = 20'-0"

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PROJECT

22-24 Myrtle Ave
Proposed Additions

TITLE

**WINTER SOLSTICE
DEC. 21st NOON**

SCALE

AS NOTED

DRAWING

S-8



① 9- WINTER SOLSTICE 3 PM EXTG
1" = 20'-0"



② 9- WINTER SOLSTICE 3 PM PROP
1" = 20'-0"

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DATE

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PROJECT

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Proposed Additions

TITLE

**WINTER SOLSTICE
DEC. 21st 3 PM**

SCALE

AS NOTED

DRAWING

S-9



① 10 - SPRING EQUINOX 10 AM EXTG
1" = 20'-0"



② 10 - SPRING EQUINOX 10 AM PROP
1" = 20'-0"

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DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

**SPRING EQUINOX
MARCH 21st 10 AM**

SCALE

AS NOTED

DRAWING

S-10



① 11- SPRING EQUINOX NOON EXTG
1" = 20'-0"



② 11- SPRING EQUINOX NOON PROP
1" = 20'-0"

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DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

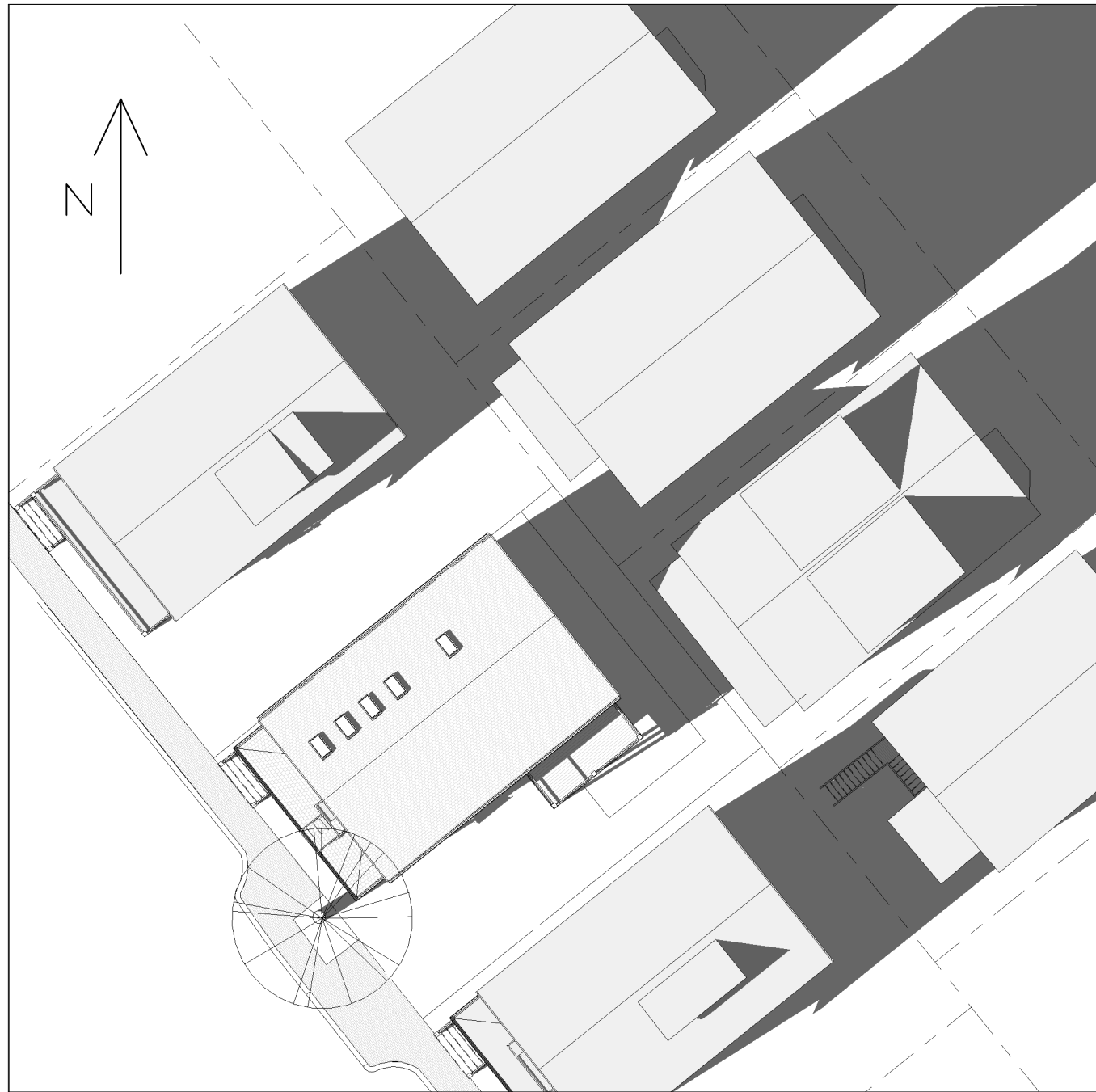
**SPRING EQUINOX
MARCH 21st NOON**

SCALE

AS NOTED

DRAWING

S-11



① 12- SPRING EQUINOX 3 PM EXTG
1" = 20'-0"



② 12 - SPRING EQUINOX 3 PM PROP
1" = 20'-0"

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DATE

11/12/2025

PROJECT

22-24 Myrtle Ave

Proposed Additions

TITLE

**SPRING EQUINOX
MARCH 21st 3 PM**

SCALE

AS NOTED

DRAWING

S-12

PROPOSED ADDITIONS

22-24 Myrtle Ave
Cambridge, MA



EXISTING STREET VIEW

PROPOSED ADDITIONS TO THE EXISTING 2 1/2 STORY HOUSE

22-24 Myrtle Ave is a 2 1/2 stories, 2 family house, built in 1894. The owner is seeking approval from the Mid Cambridge Historical Commission to build an addition to the right and rear of the property and enclose the existing front porch. The addition will be 4 stories high and it will allow him to build 2 additional units. The building will have a Roof deck and a Green Roof with access from the common stairs.

The design intention is to preserve the front plane and basic volume of the existing house, emphasizing its historical significance and making it stand out from the more modern addition. The portion of the existing house will have high energy efficient casement windows that will resemble the historical double hung. For those windows, the trim will be a traditional style. The existing front porch will be partially enclosed, and the roof will be re-built in the same location and with the same slope.

The addition will be treated differently, with with more modern materials, window style and trims.



PROPOSED STREET VIEW

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PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA

Title Sheet		
	Date	11/12/2025
	Scale	1/2" = 1'-0"
C01		



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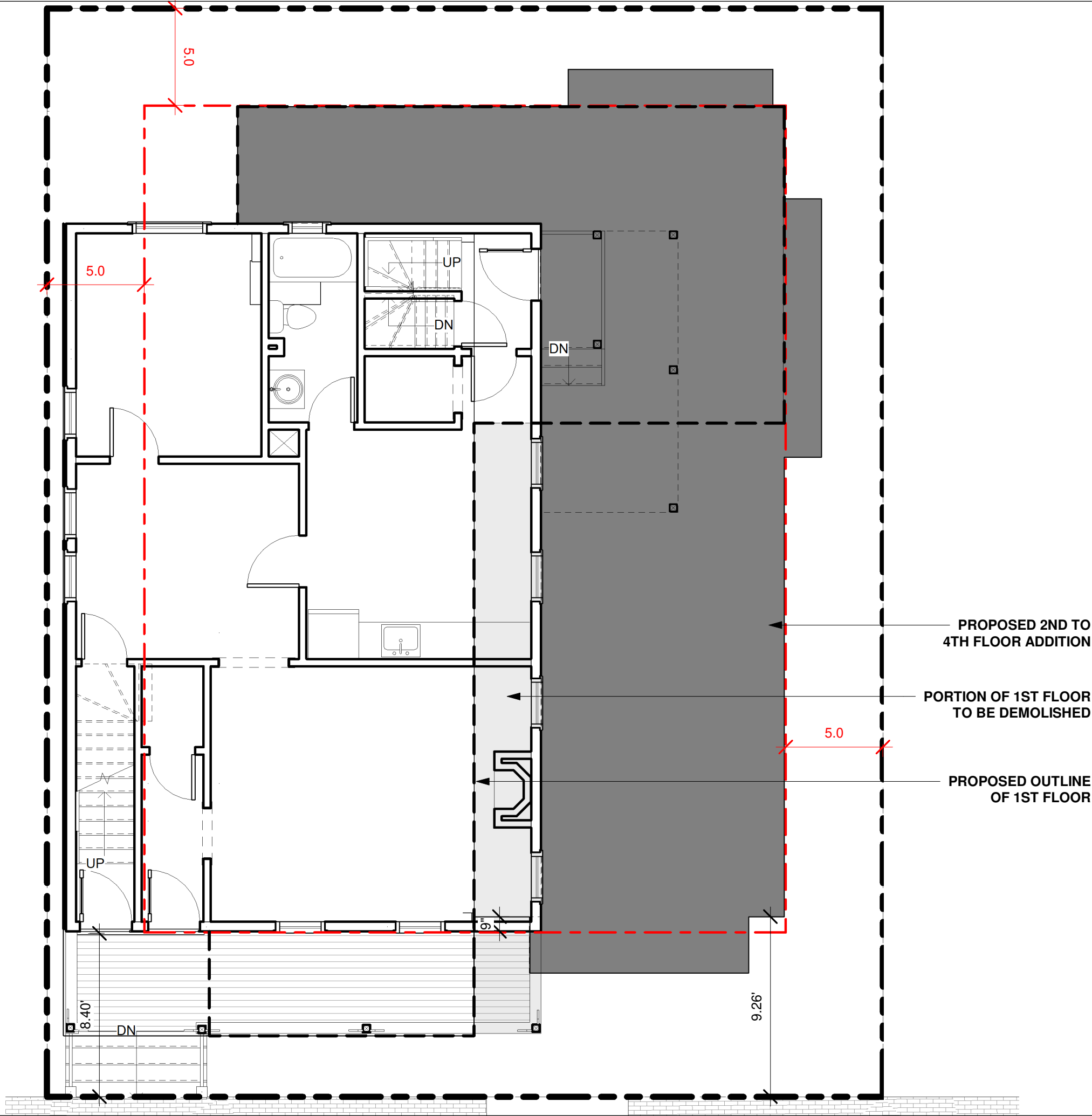
**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Locus Map

C02

Date 11/12/2025

Scale



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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Site Plan		
	Date	11/12/2025
	Scale	3/16" = 1'-0"

C03



① Front View - EXTG.



② Front View - PROPOSED

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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

**3D Views
COMPARISON**

Date 11/12/2025

Scale

C3.1



1 Front Right View - EXTG



2 Front Right View - PROP.

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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

3D views
COMPARISON

Date 11/12/2025

Scale

C3.2



① Front/Left side view- EXTG



② Front/Left side view- PROPOSED

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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

3D Views
COMPARISON

Date 11/12/2025

Scale

C3.3

- BAY WINDOWS ADDITION:**
- HARDIE PANELS WITH VERTICAL BOARD AND BATTEN
 - CASEMENT WINDOWS NO DIVIDERS

- MAIN BODY ADDITION:**
- HARDIE SHIP LAP SIDING (7" EXPOSURE)
 - CASEMENT WINDOWS NO DIVIDERS

- OLD HOUSE AND PORCH ENCLOSURE:**
- HARDIE CLAPBOARD (4" EXPOSURE) SMOOTH FACE OUT
 - CASEMENT WINDOWS W/DIVIDER TO RESEMBLE DOUBLE HUNG

- STEPS, DECK & RAILING:**
- METAL RAILING PTD BLACK WITH WOOD HANDRAIL
 - WOOD TREADS



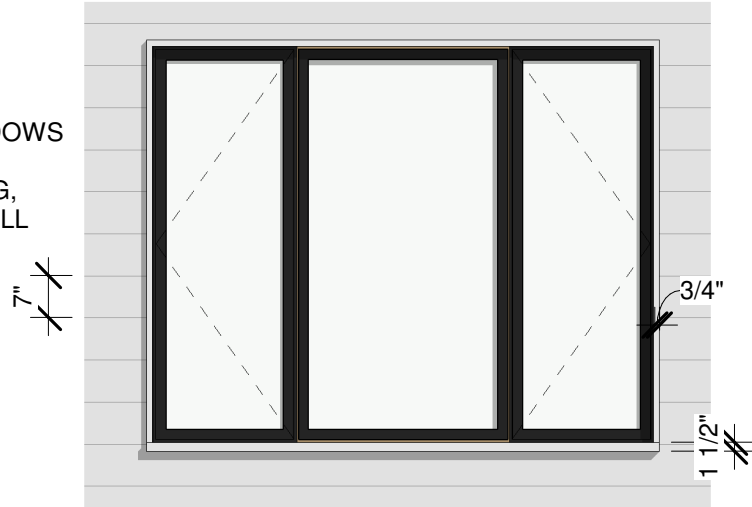
1 Front View - MATERIALS

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PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA

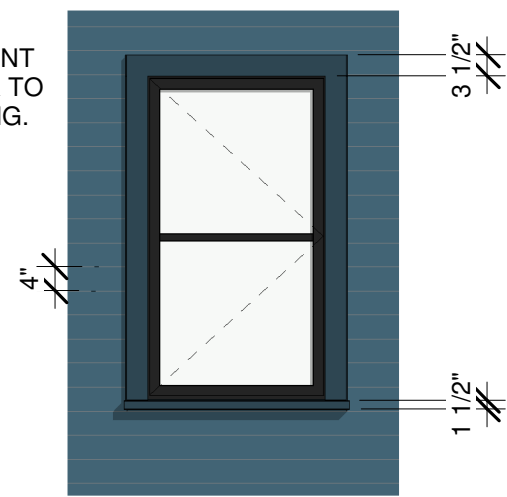
Material Study		
	Date	11/12/2025
		Scale
C04		

BRONZE / BLACK
CASEMENT WINDOWS
3/4" TRIM, SAME
COLOR AS SIDING,
1 1/2" WINDOW SILL



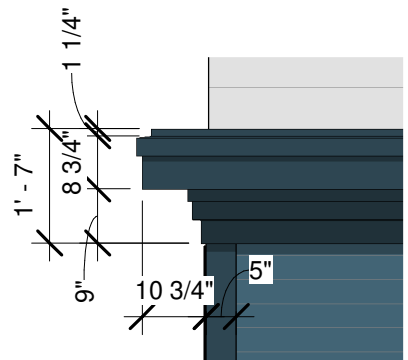
2 Modern Windows
3/8" = 1'-0"

BRONZE/BLACK CASEMENT
WINDOWS WITH DIVIDER TO
RESEMBLE DOUBLE HUNG.
3/12" WINDOW TRIM,
DARKER COLOR THEN
SIDING
1 1/2" WINDOW SILL



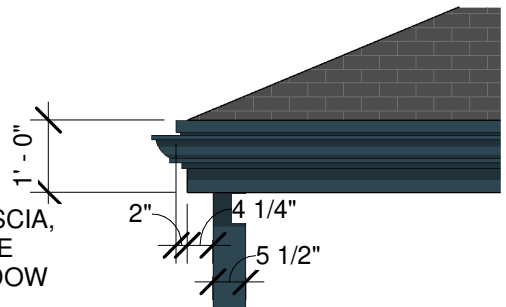
3 Traditional Windows
3/8" = 1'-0"

COMPOSITE ROOF
EAVE AND CORNER
BOARDS
SAME COLOR AS
WINDOW TRIM.

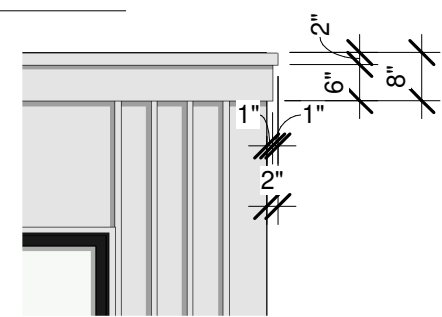


4 Traditional Roof Eave
3/8" = 1'-0"

COMPOSITE FASCIA,
AND POST, SAME
COLOR AS WINDOW
TRIM



5 Enclosed Porch Roof Eave
3/8" = 1'-0"



6 Bay Window Roof Edge
3/8" = 1'-0"



1 Front Elevation- Details Key
1/8" = 1'-0"

	Elevator Over run	56' - 5"
	Head House Roof	51' - 11"
	Roof Parapet	45' - 5"
	Roof Deck	41' - 11"
	Top Roof Sheathing	40' - 9"
	4th Floor	31' - 0"
	Propsd 3rd floor	21' - 0"
	Extg. 3rd Floor	18' - 4"
	Propsd 2nd Floor	11' - 0"
	Extg. 2nd Floor	9' - 4"
	1st Floor (28.7')	0' - 0"
	Average Grade (extg.)	-2' - 8 1/2"

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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Front Elevation Details

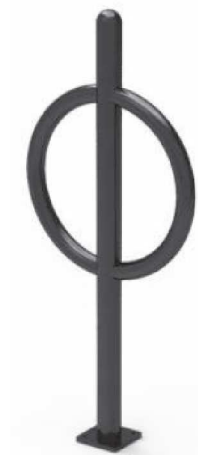
Date
11/12/2025

Scale
As indicated

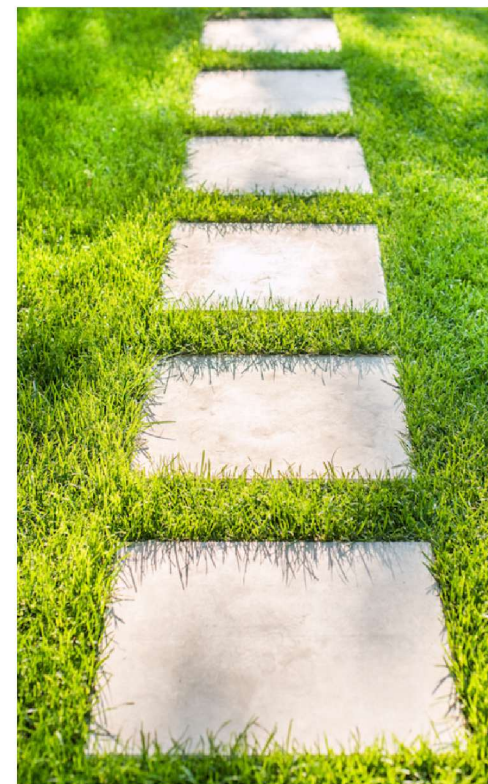
C05



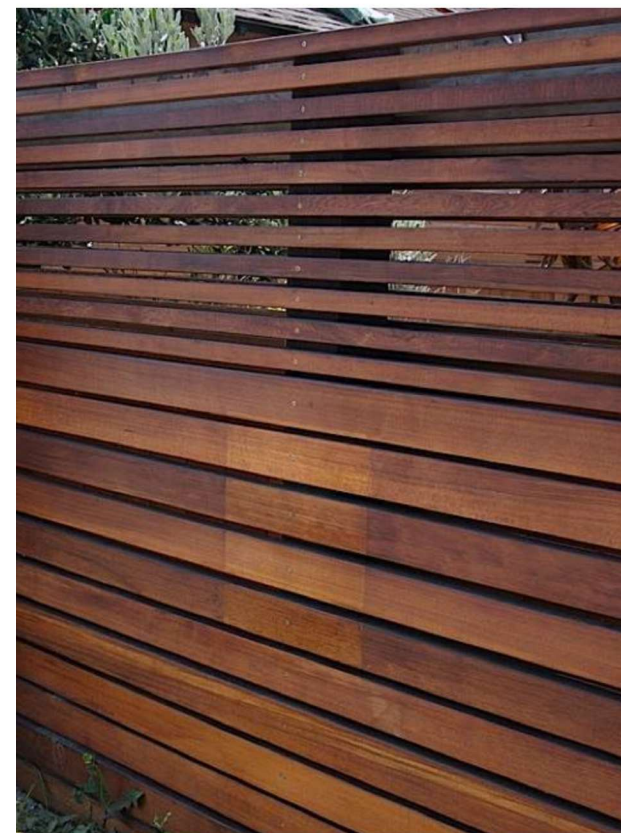
PERMEABLE CERAMIC BRICK PAVER
JUMBO PERMEABLE PAVER BY BELDEN BRICK OR SIMILAR



BIKE RACK



STEPPING STONES



EXAMPLE OF 6' HT. WOOD PRIVACY FENCE, ALONG
SIDES + REAR PROPERTY LINES

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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Landscape Materials

C06

Date 11/12/2025

Scale 1/8" = 1'-0"



28-30 MYRTLE

22-24 MYRTLE

18-20 MYRTLE

① Street Elevation
1/8" = 1'-0"

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**PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA**

Street Elevation

Date 11/12/2025

Scale 1/8" = 1'-0"

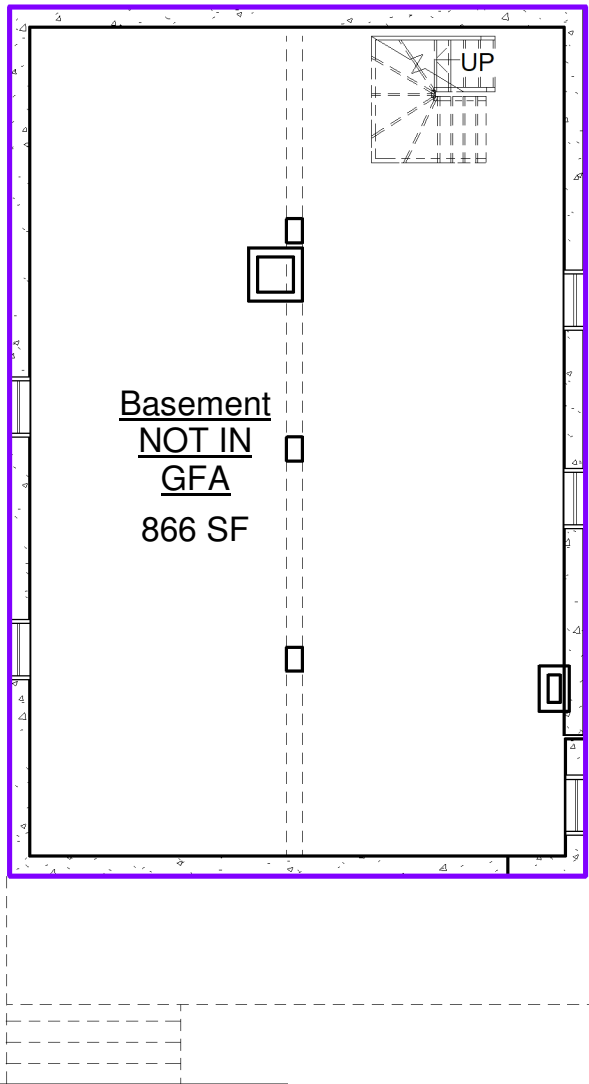
C07

Dimension Regulation - C1				
	.EXISTING	.PROPOSED	.REQUIRED	.CONFORMING
LOT AREA	2,408 S.F.	2,408 S.F.	N/A	YES
FRONT YARD	3.2'	3.2' - ADDITION @ 9.2'	8.4'	YES
RIGHT YARD	10.4'	5'-1"	5'	YES
REAR YARD	11'	5'-1"	5'	YES
LEFT YARD	0.8'	0.8'	5'	Existing NON conforming
USE	2 FAMILY	MULTI FAMILY (4 UNITS)	MULTIFAMILY (9 units max)	YES
STORIES ABOVE GRADE	4	4	4 max	YES
BUILDING HEIGHT	33.1'(*)	44'	45' max	YES
PERMEABLE OPEN SPACE	15.8%	21%	15% min	YES
PRIVATE OPEN SPACE	4%	16.8%	15% min	Existing NON conforming, CONFORMING PROPOSED
TOTAL OPEN SPACE	15.8%	37.9%	30% min	Existing NON conforming, CONFORMING PROPOSED
GFA	2,208 S.F.	5,904 S.F.	9,999 S.F. max	YES
UNITS	2	4	9 max	YES
AFFORDABLE UNITS	0	0	none required	YES
NON AFF. UNITS	2	4	N/A	
CAR PARKING	2	1	none required	YES
BIKE PARKING - LONG TERM	0	4	4	YES
BIKE PARKING - SHORT TERM	0	1	1	YES

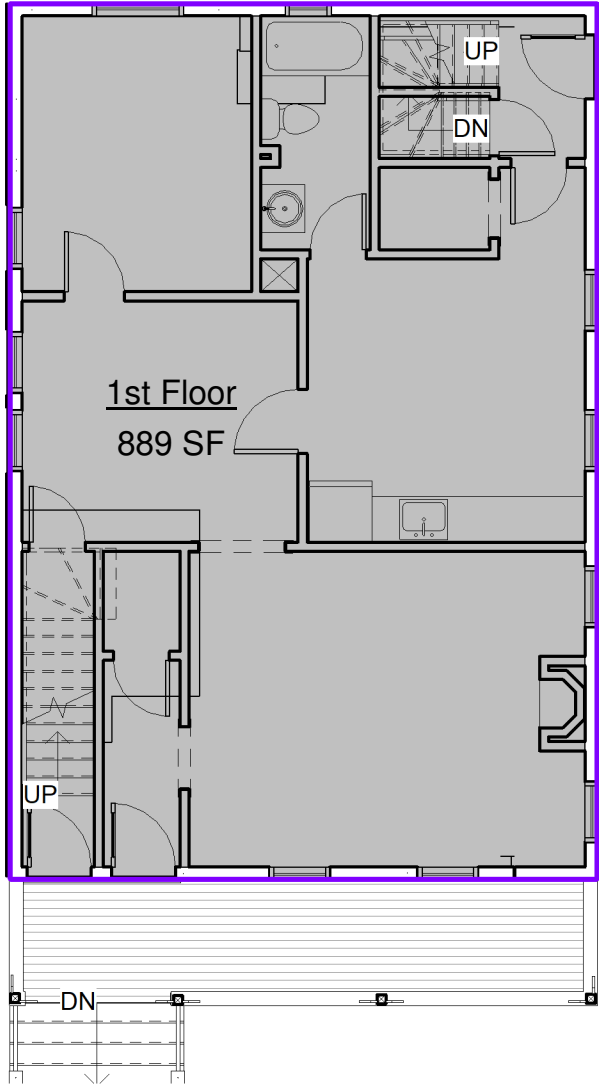
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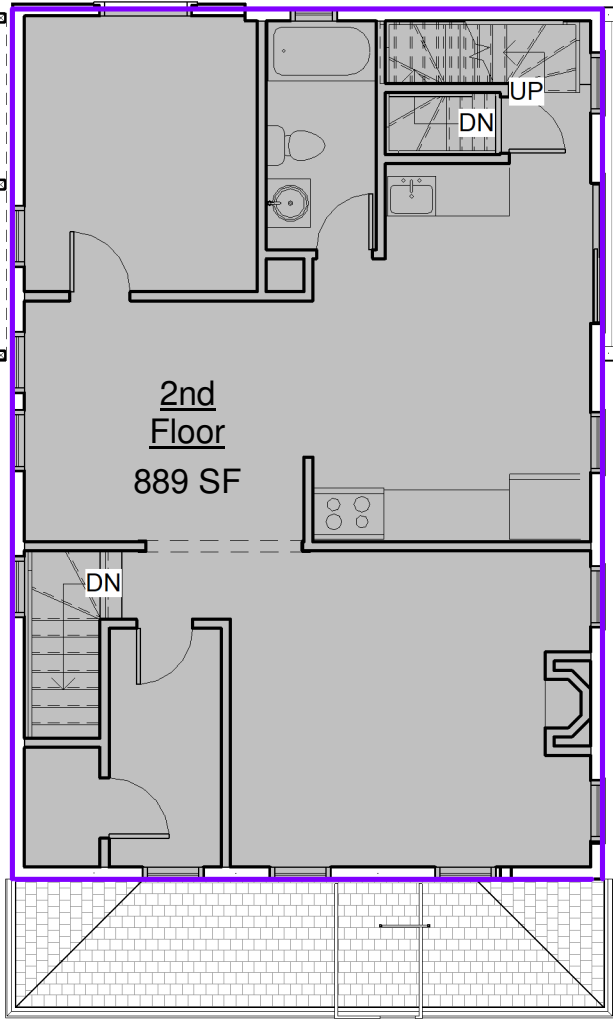
Zoning		
	Date	11/12/2025
		Scale
Z0		



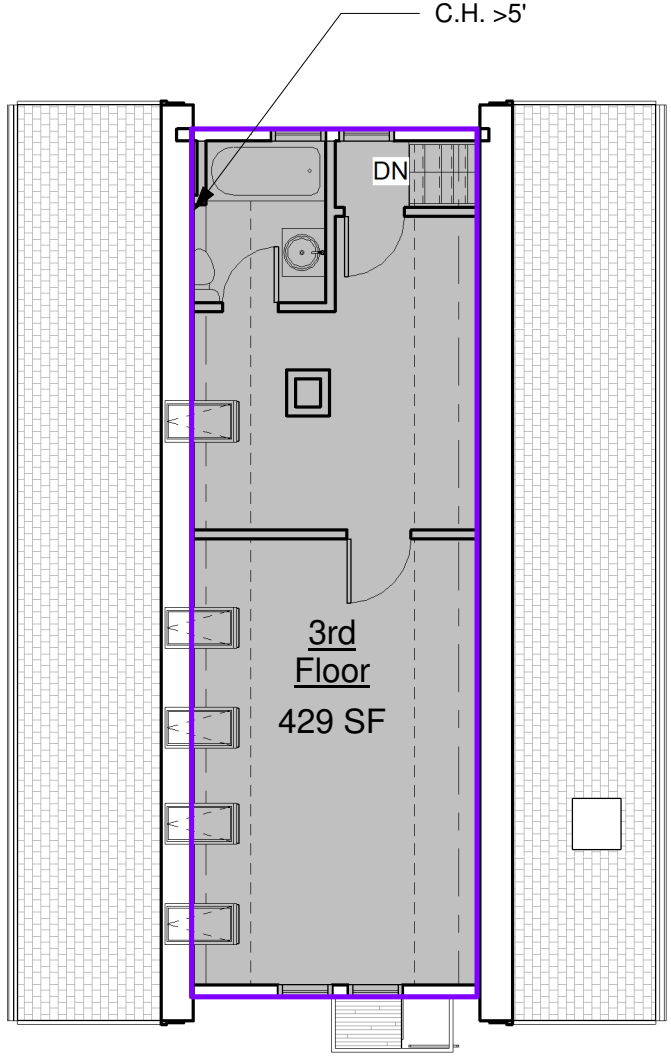
① Extg. Basement GFA
1/8" = 1'-0"



② EXTG. 1st Floor GFA
1/8" = 1'-0"



③ EXTG. 2nd Floor GFA
1/8" = 1'-0"



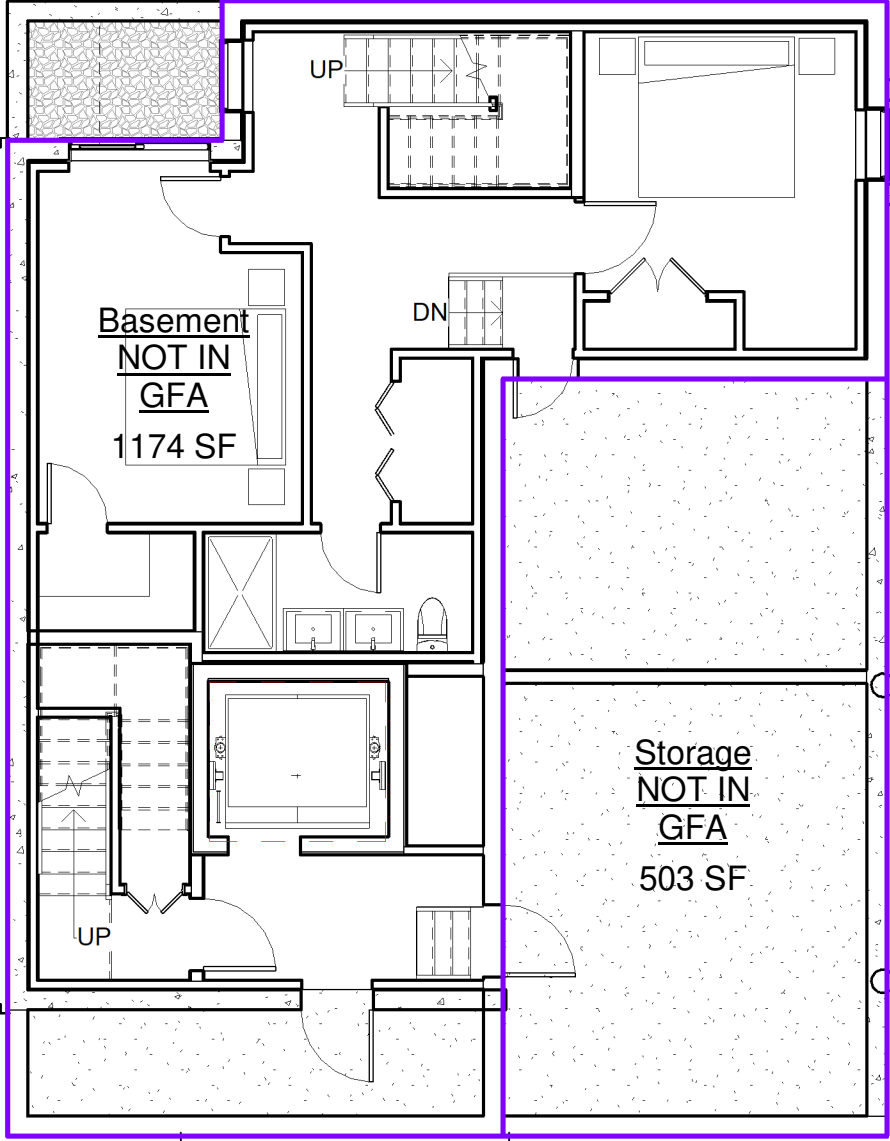
④ EXTG. 3rd floor GFA
1/8" = 1'-0"

EXISTING GFA	
Name	Gross Floor Area
1st Floor	889 SF
2nd Floor	889 SF
3rd Floor	429 SF
2208 SF	

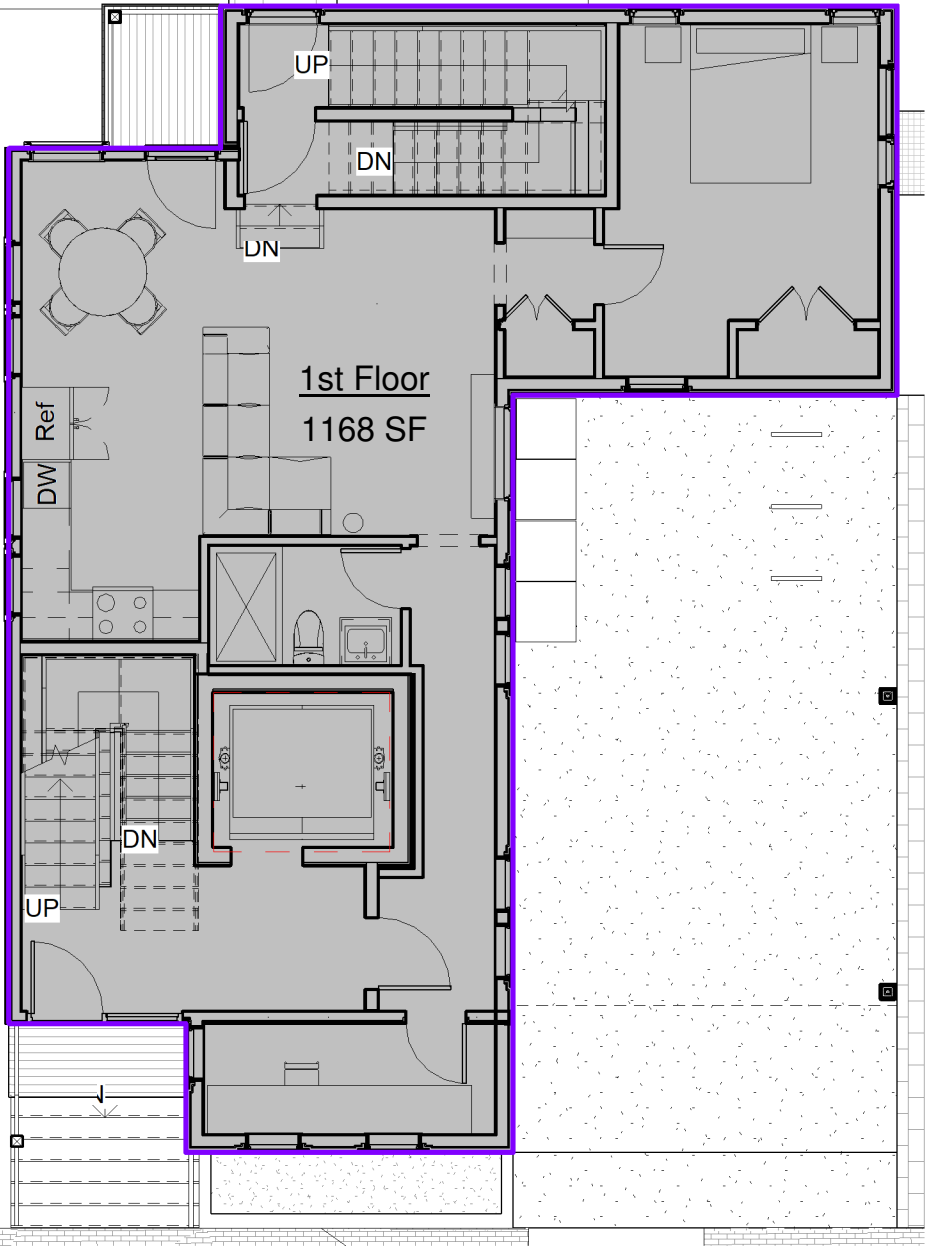
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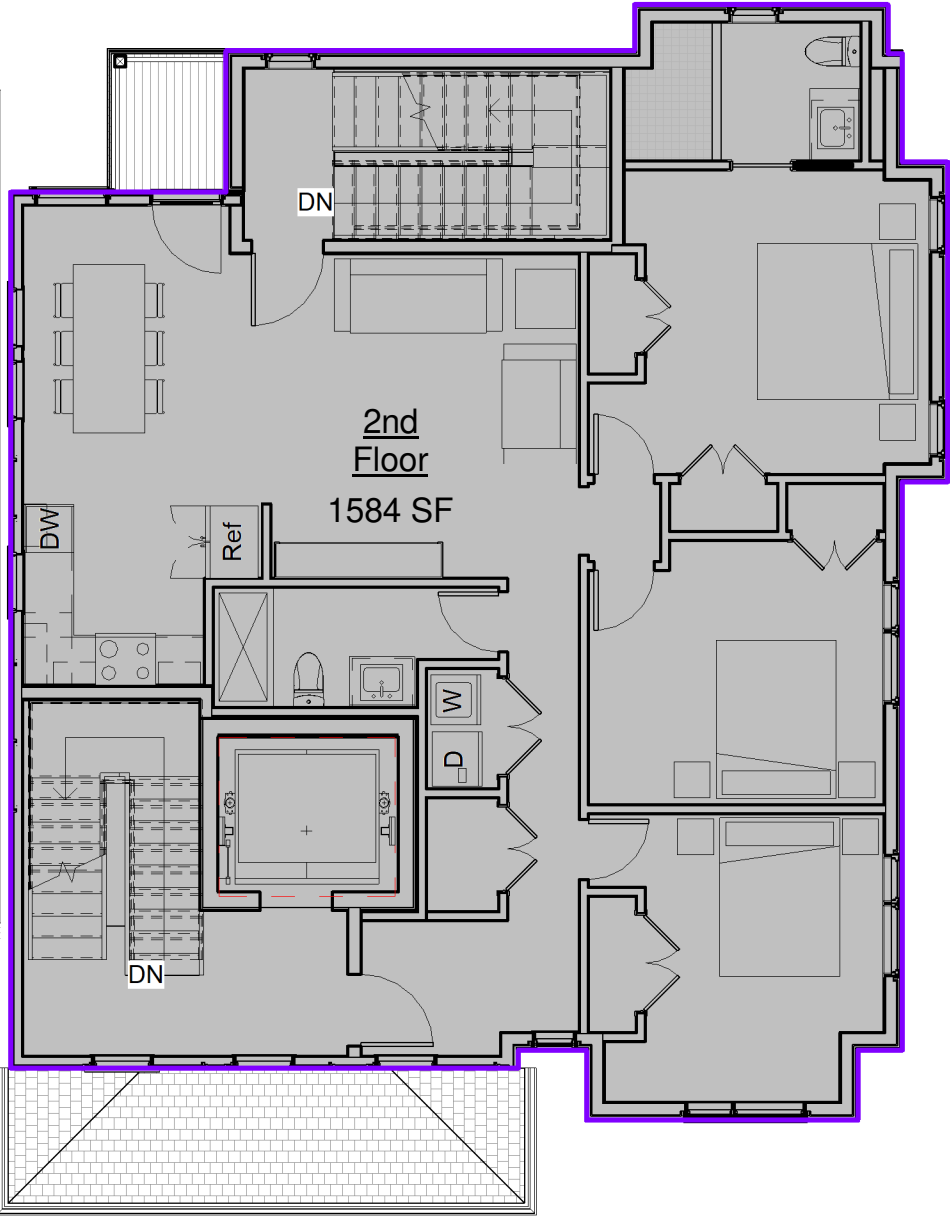
Extg. GFA		
	Date	11/12/2025
Z.3.1	Scale	1/8" = 1'-0"



1 Proposed Basement
1/8" = 1'-0"



2 Proposed 1st Floor
1/8" = 1'-0"



3 2nd Floor
1/8" = 1'-0"

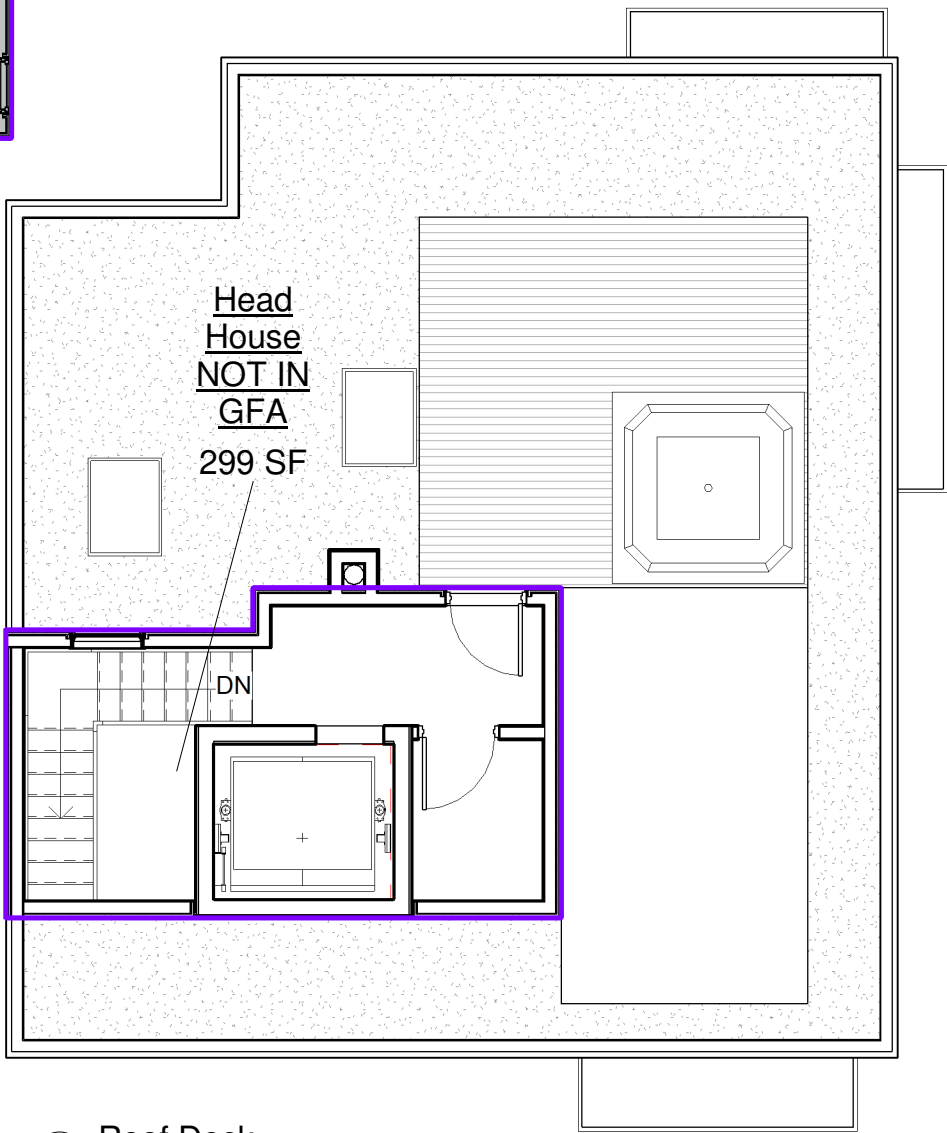
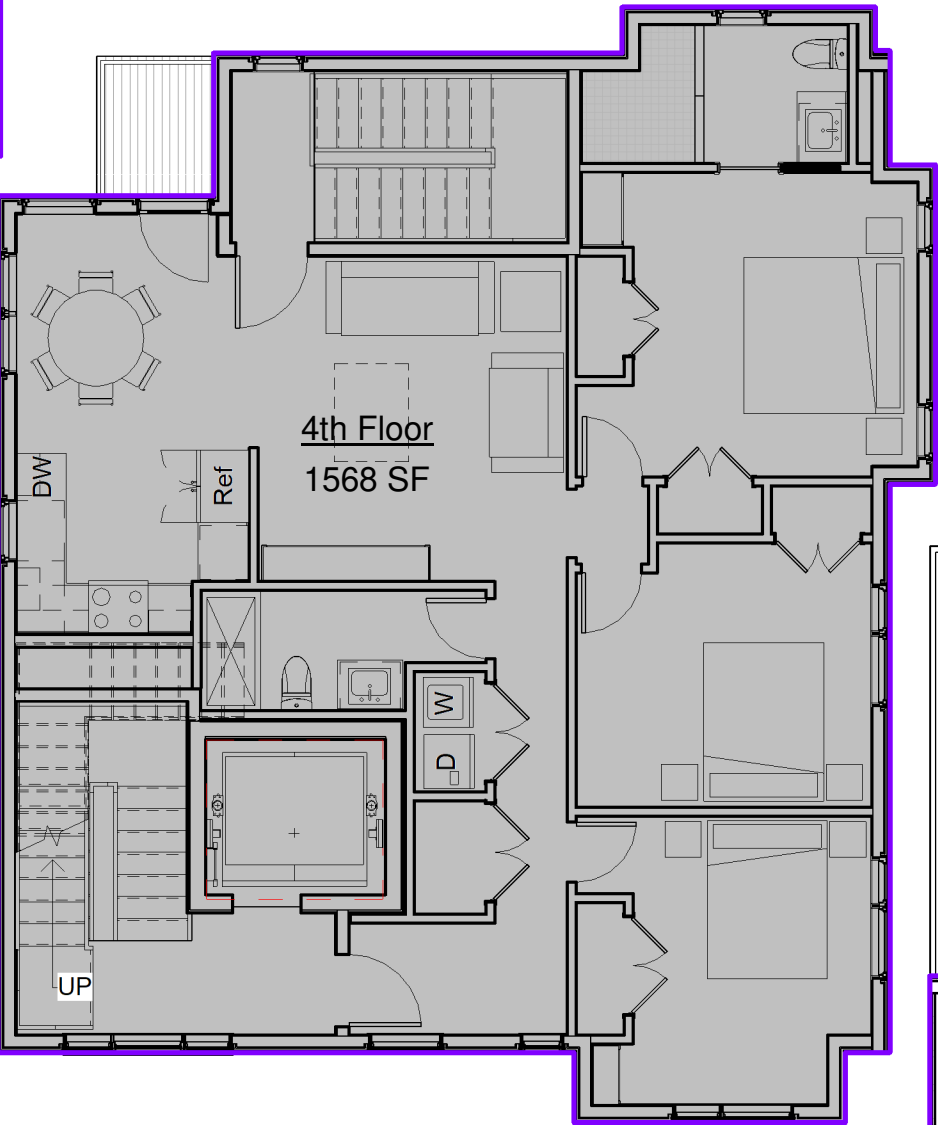
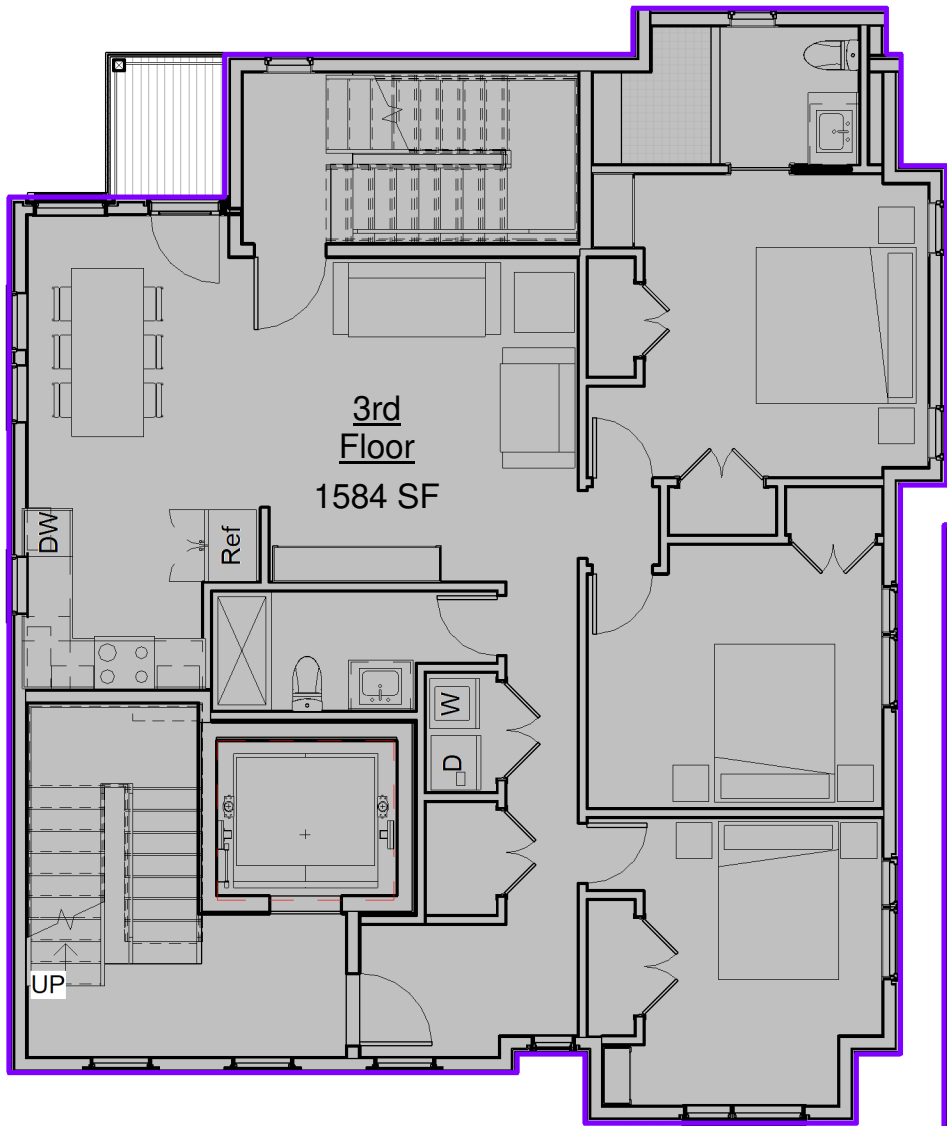
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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Proposed GFA

Date 11/12/2025
Scale 1/8" = 1'-0"

Z.3.2



1 3rd floor
1/8" = 1'-0"

2 4th Floor
1/8" = 1'-0"

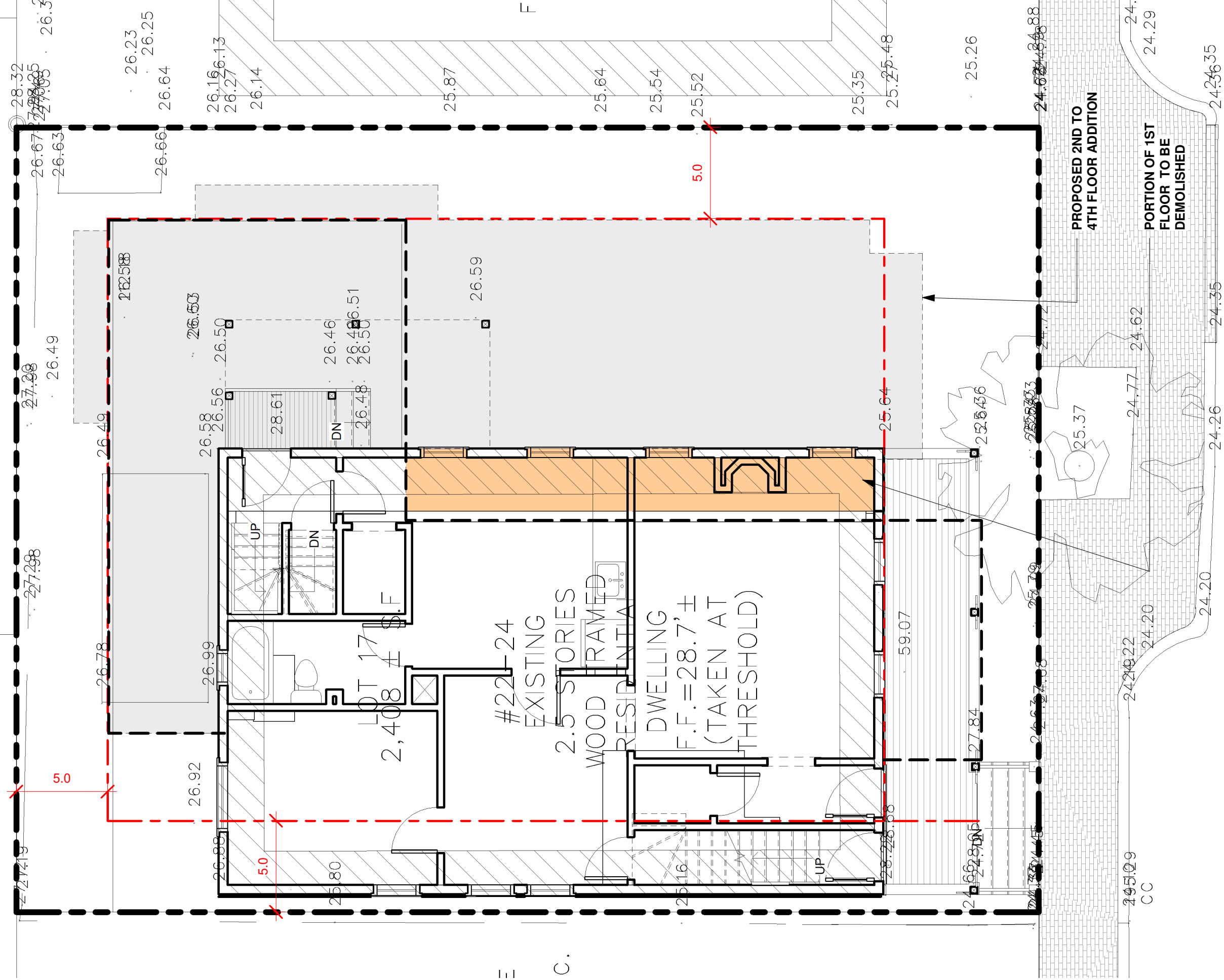
3 Roof Deck
1/8" = 1'-0"

PROPOSED GFA	
Name	GFA
1st Floor	1168 SF
2nd Floor	1584 SF
3rd Floor	1584 SF
4th Floor	1568 SF
5904 SF	

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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Proposed GFA		
Z.3.3	Date	11/12/2025
	Scale	1/8" = 1'-0"



1 Site plan - DEMO
3/16" = 1'-0"

Site Plan - Demo

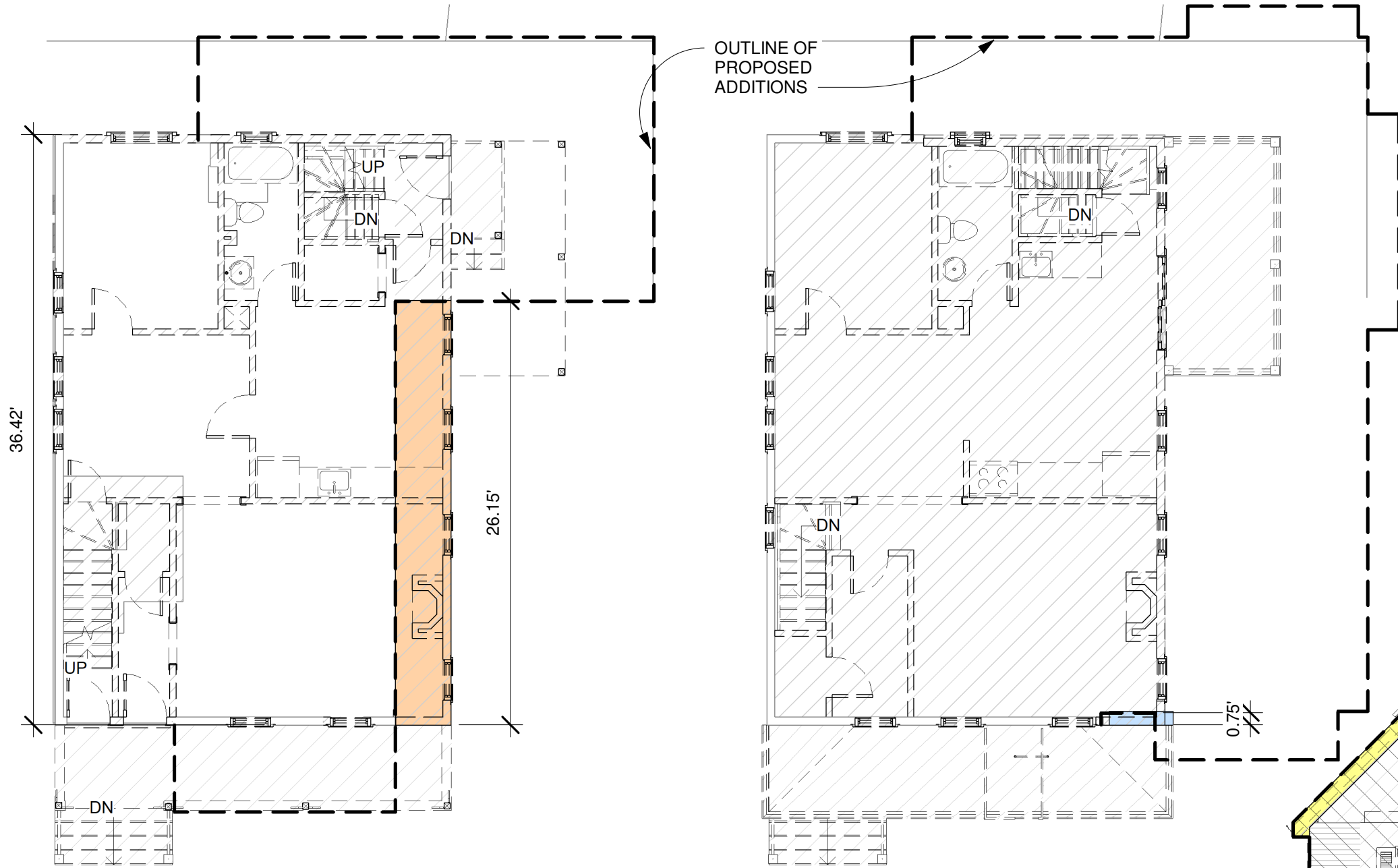
ZD.0

Date 11/12/2025

Scale 3/16" = 1'-0"

PROP. RENOVATIONS AND
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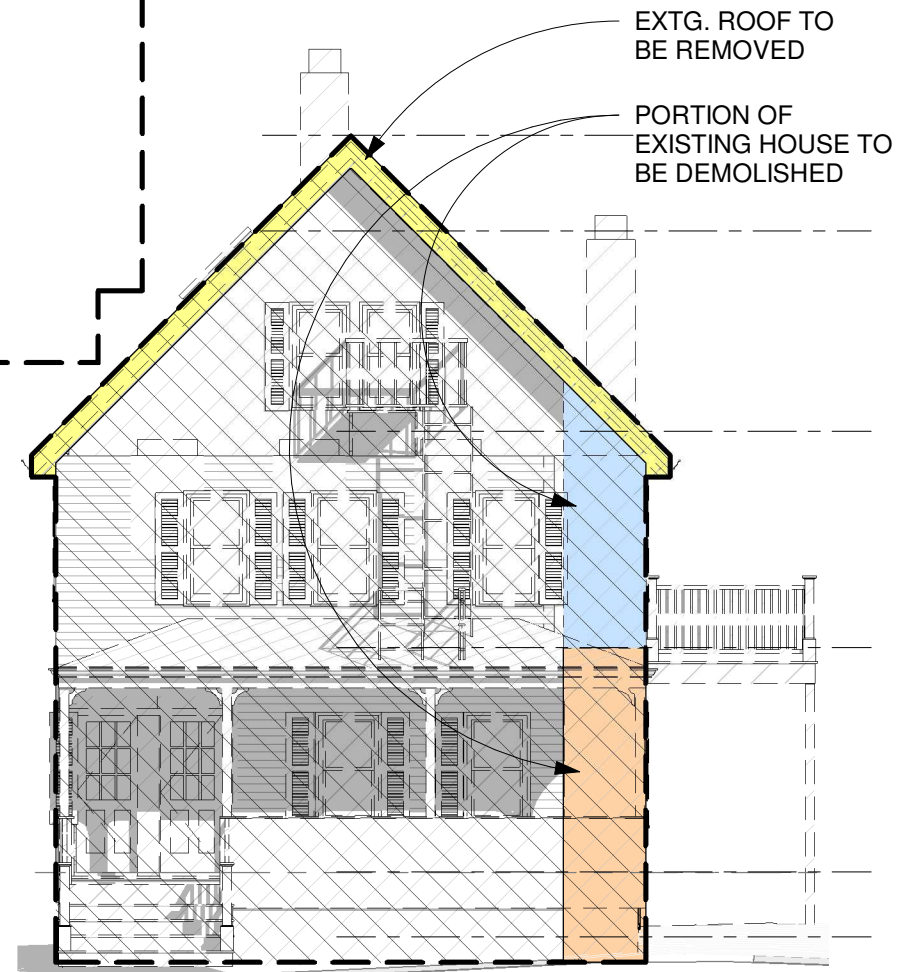
2 1st Floor VOLUME DEMO
1/8" = 1'-0"

EXTG. VOLUME CALCULATION			
	S.F.	L	EXTG. VOLUME
EXTG. MAIN HOUSE	696.00	36.42	25,348.32
TOT EXTG.			25,348.32

DEMO VOLUME CALCULATION			
	S.F.	L	DEMO VOLUME
DEMO 1ST FLOOR	55.00	26.15	1,438.25
DEMO UPPER FLOOR	37.00	0.75	27.75
DEMO ROOF	35.00	36.42	1,274.70
TOT DEMO			2,740.70

Percentage of DEMO =	10.81%	< 25%
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3 2nd Floor VOLUME DEMO
1/8" = 1'-0"



- EXTG. MAIN HOUSE AREA (696 S.F.)
- PORTION OF 1st FLOOR TO BE DEMOLISHED (55 S.F.)
- PORTION OF UPPER FLOORS TO BE DEMO (37 S.F.)
- ROOF TO BE DEMOLISHED (35 S.F.)

1 Front Elevation VOLUME CALC
1/8" = 1'-0"

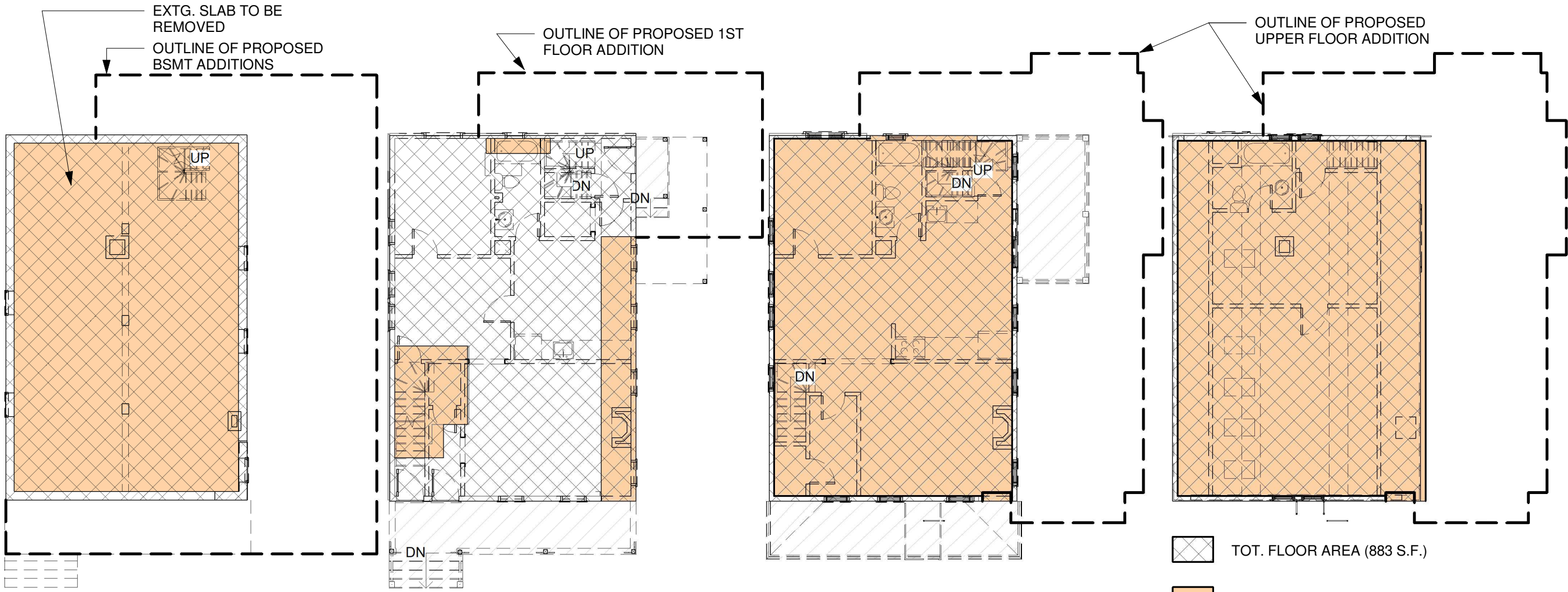
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PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
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VOLUME DEMO
CALCS

Date 11/12/2025
Scale 1/8" = 1'-0"

ZD.1



- TOT. FLOOR AREA (848 S.F.)

FLOOR AREA TO BE DEMOLISHED (752 S.F.)

1 FLOOR DEMO Basement
3/32" = 1'-0"
- TOT. FLOOR AREA (883 S.F.)

FLOOR AREA TO BE DEMOLISHED (171 S.F.)

2 FLOOR DEMO 1st Floor
3/32" = 1'-0"
- TOT. FLOOR AREA (883 S.F.)

FLOOR AREA TO BE DEMOLISHED (883 S.F.)

3 FLOOR DEMO 2nd Floor
3/32" = 1'-0"
- TOT. FLOOR AREA (883 S.F.)

FLOOR AREA TO BE DEMOLISHED (883 S.F.)

4 FLOOR DEMO 3rd floor
3/32" = 1'-0"

FLOOR DEMO PERCENTAGE CALCULATION					
	BSMNT	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOT
EXTG. (S.F.)	848	883	883	883	3,497
DEMO (S.F.)	848	171	883	883	2,785
Percentage of DEMO = 79.64% >50%					

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PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA

FLOOR DEMO CALCS

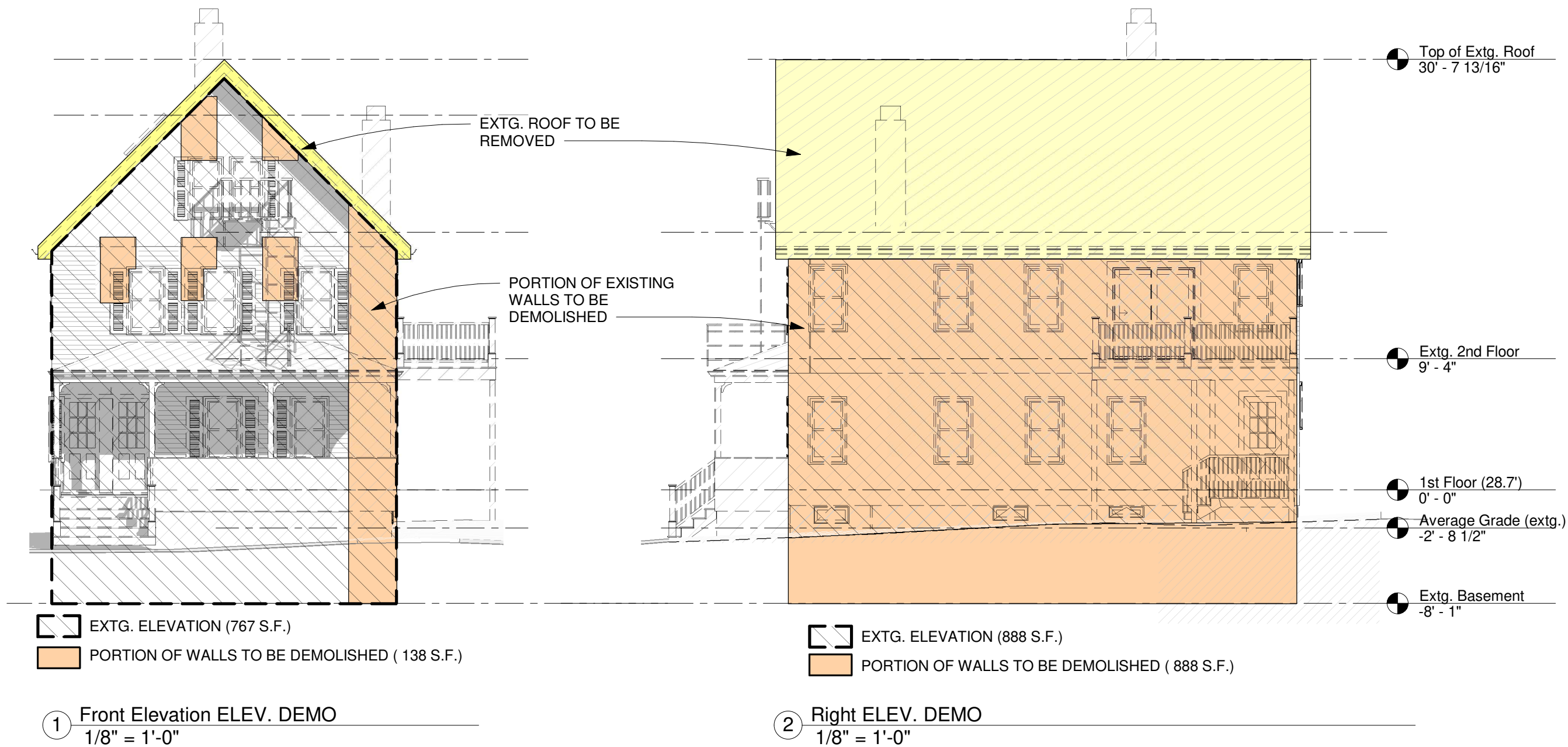
11/12/2025

Date

3/32" = 1'-0"

Scale

ZD.2



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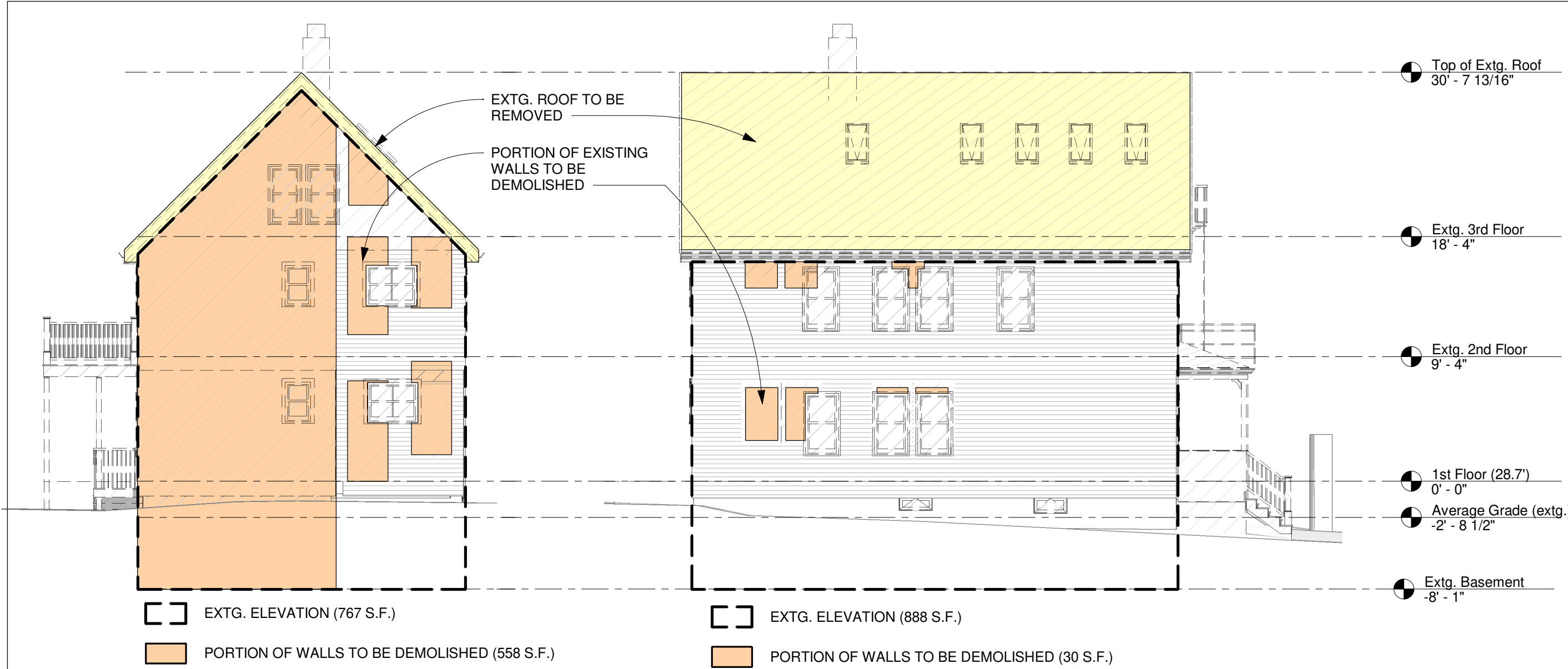
**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

**EXTERIOR WALLS
DEMO CALC**

Date 11/12/2025

Scale 1/8" = 1'-0"

ZD.3



1 Rear Elev. DEMO
1/8" = 1'-0"

2 Left Elevation WALLS DEMO
1/8" = 1'-0"

PERCENTAGE of EXTERIOR WALLS TO BE DEMOLISHED					
	FRONT ELEV.	RIGHT SIDE	REAR ELEV.	LEFT SIDE	TOT
TOT. (S.F.)	767	888	767	888	3,310
DEMO (S.F.)	138	888	558	30	1,614

Ext. walls to be demoed = 48.76% < 50%

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PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA

EXTERIOR WALLS
DEMO CALC.

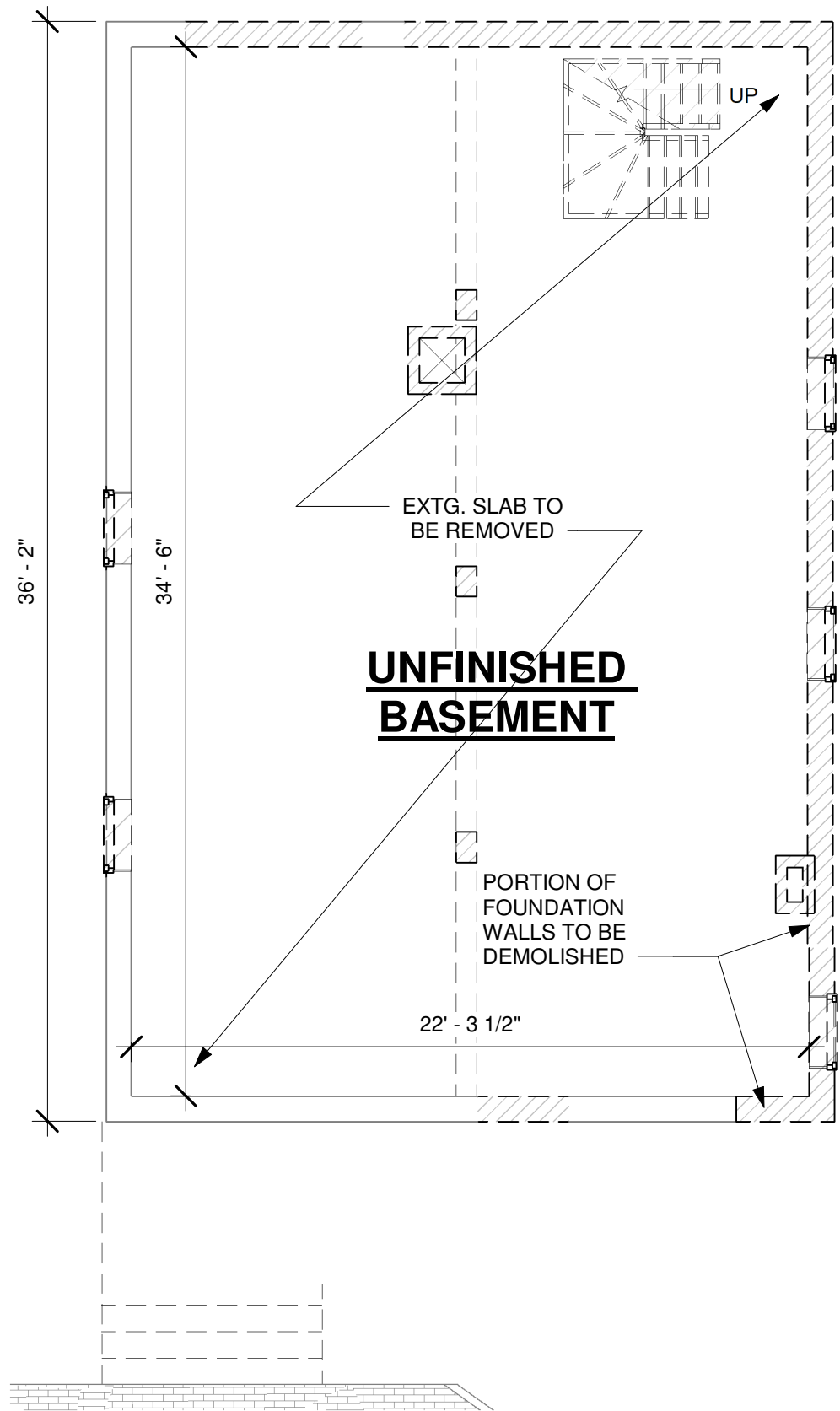
11/12/2025

Date

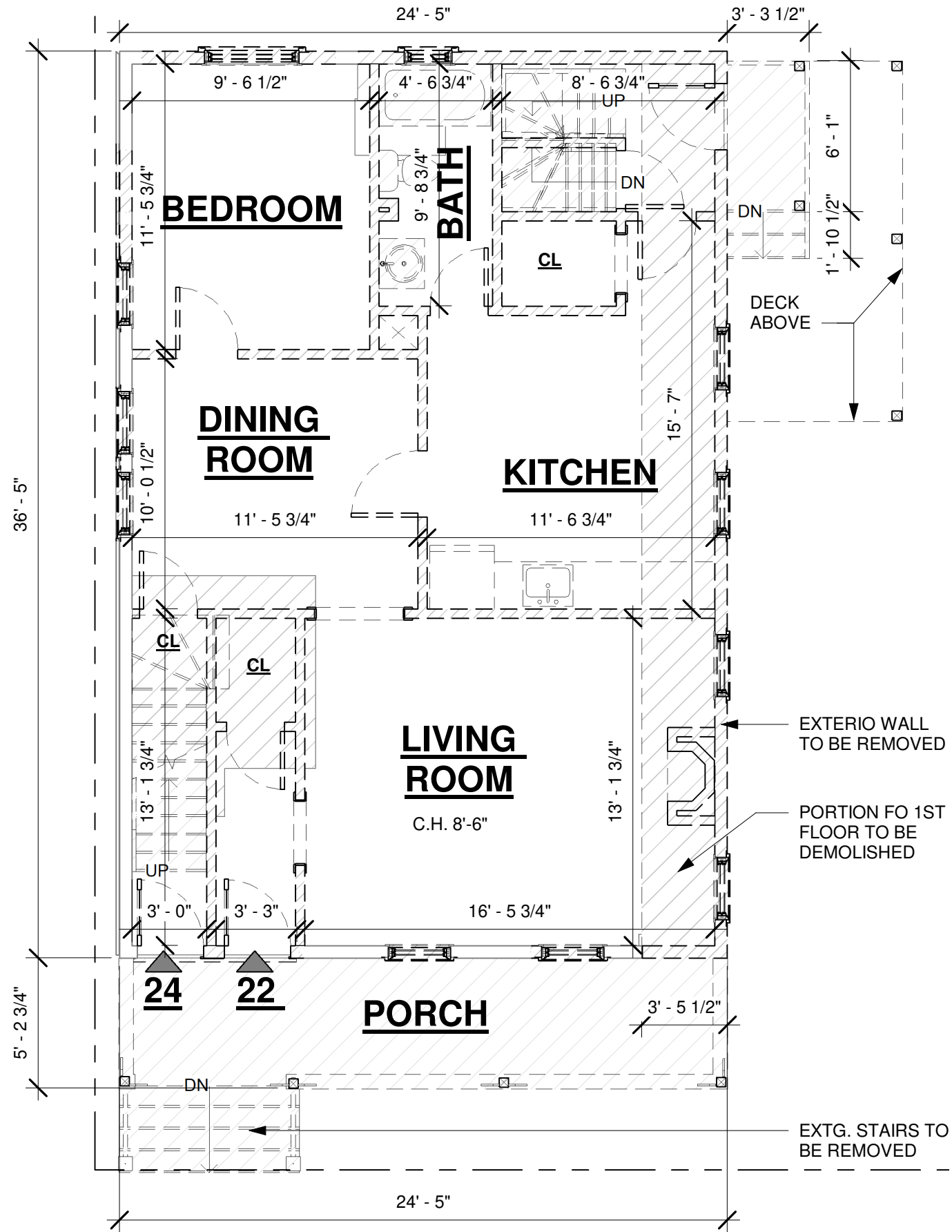
1/8" = 1'-0"

Scale

ZD.4



1 Extg.0 Basement
3/16" = 1'-0"



2 Extg. 1st Floor
3/16" = 1'-0"

EXISTING WALLS
TO REMAIN
EXISTING WALLS TO
BE DEMOLISHED

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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Extg. Demo Plans

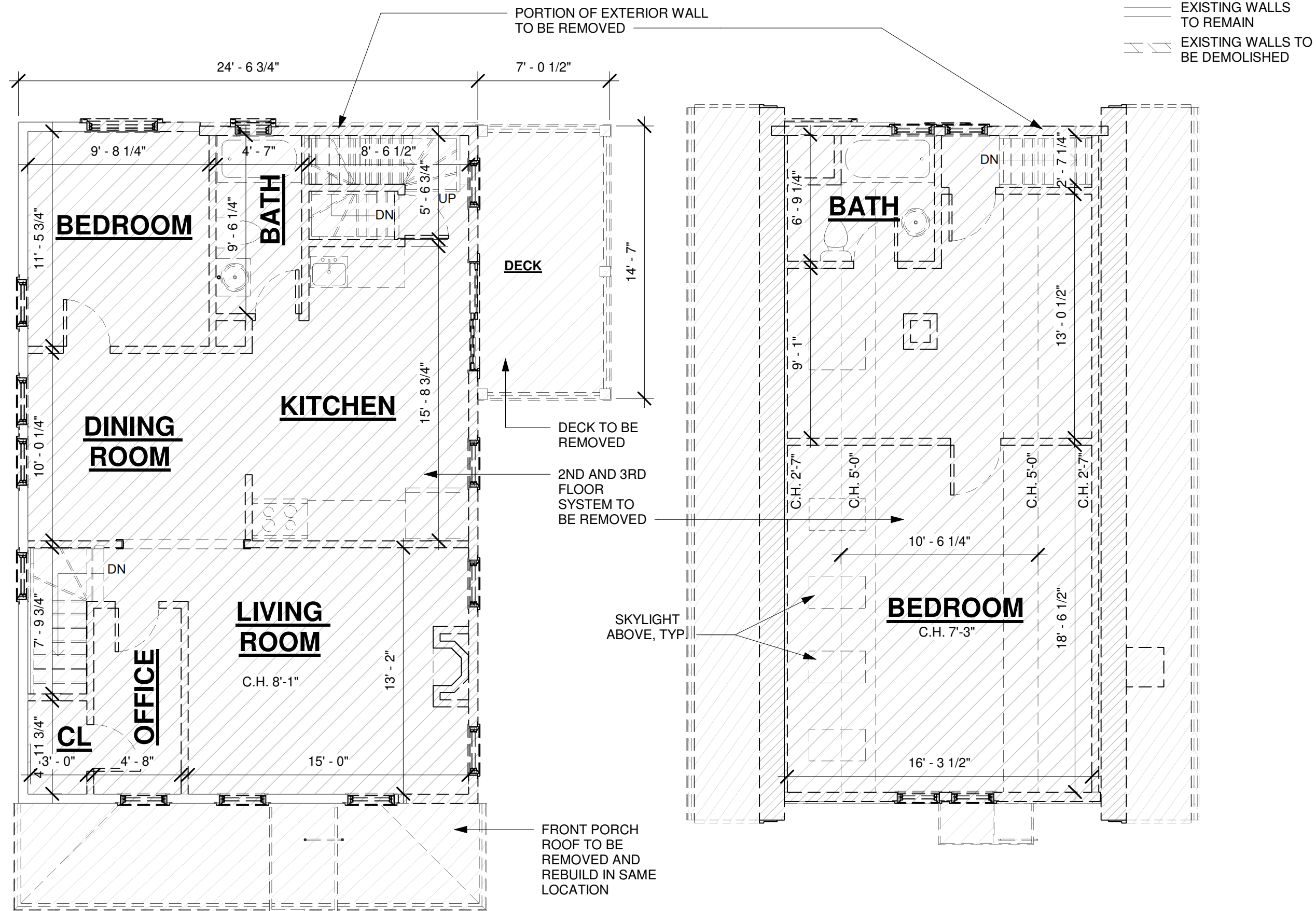
11/12/2025

Date

3/16" = 1'-0"

Scale

D1.1



1 Extg. 2nd Floor
3/16" = 1'-0"

2 Extg. 3rd floor
3/16" = 1'-0"

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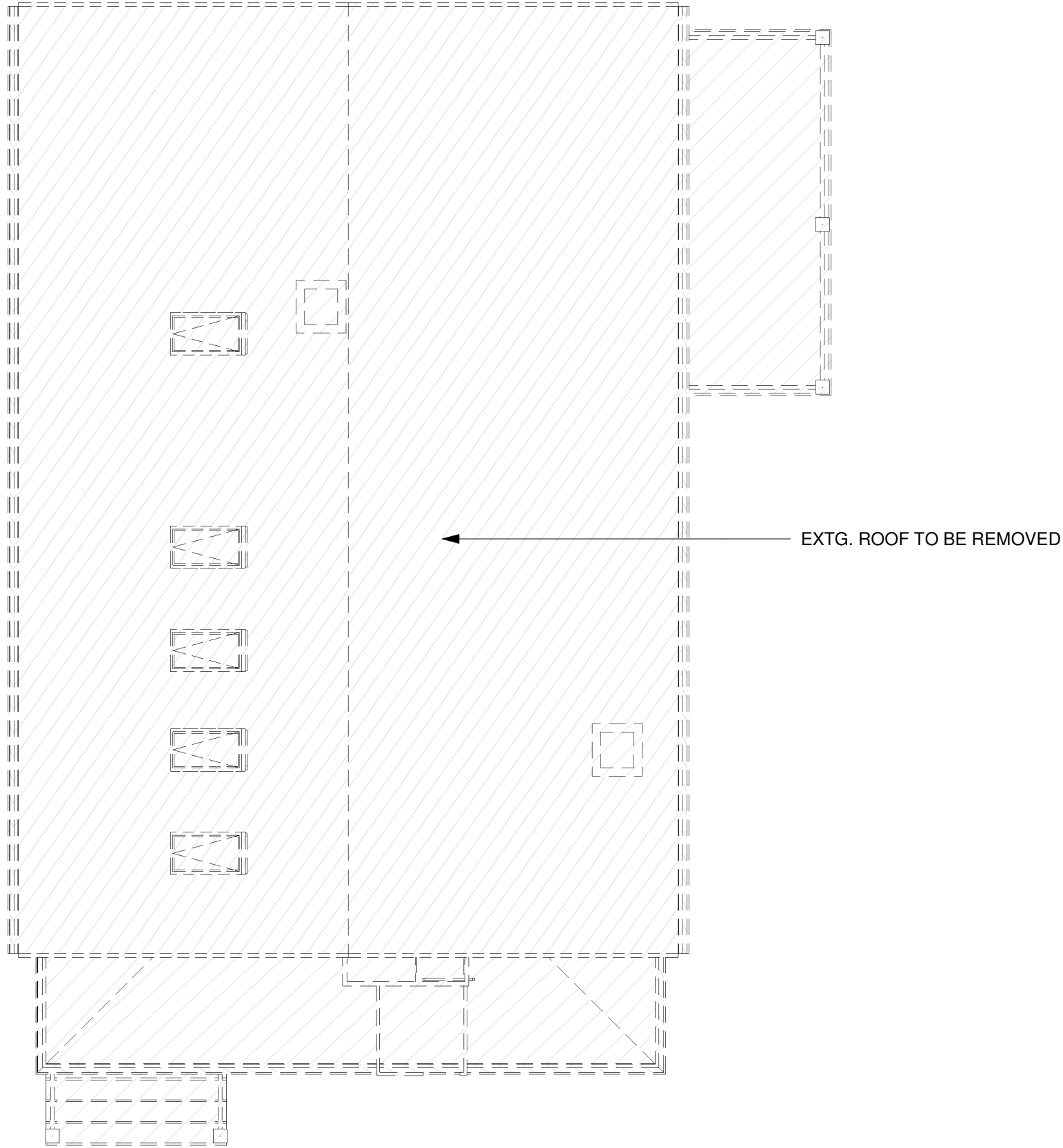
PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA

Extg. Demo Plans

Date
11/12/2025

Scale
3/16" = 1'-0"

D1.2



1 Extg. Roof
3/16" = 1'-0"

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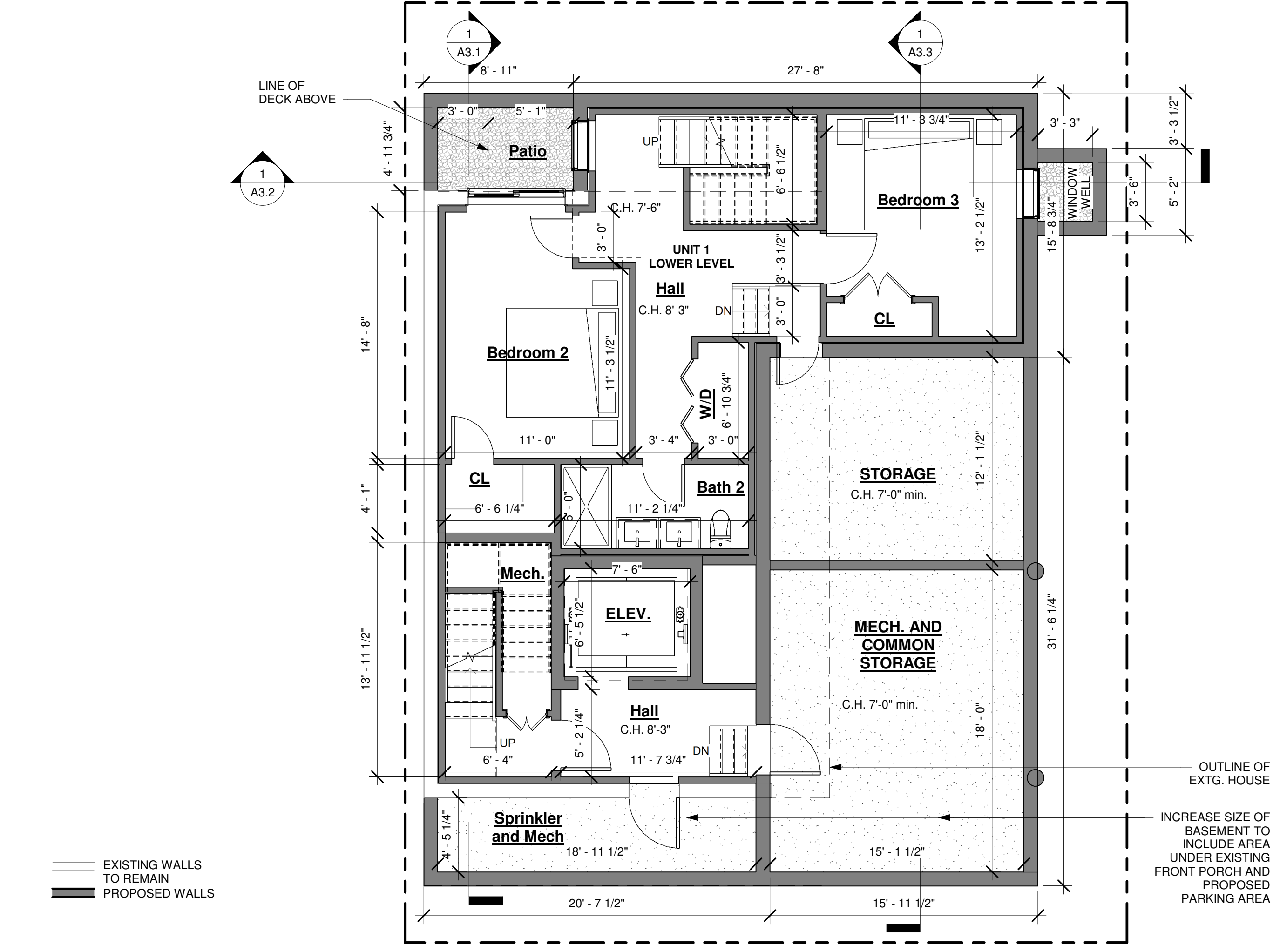
**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Extg. Demo Plans

D1.3

Date
11/12/2025

Scale
3/16" = 1'-0"



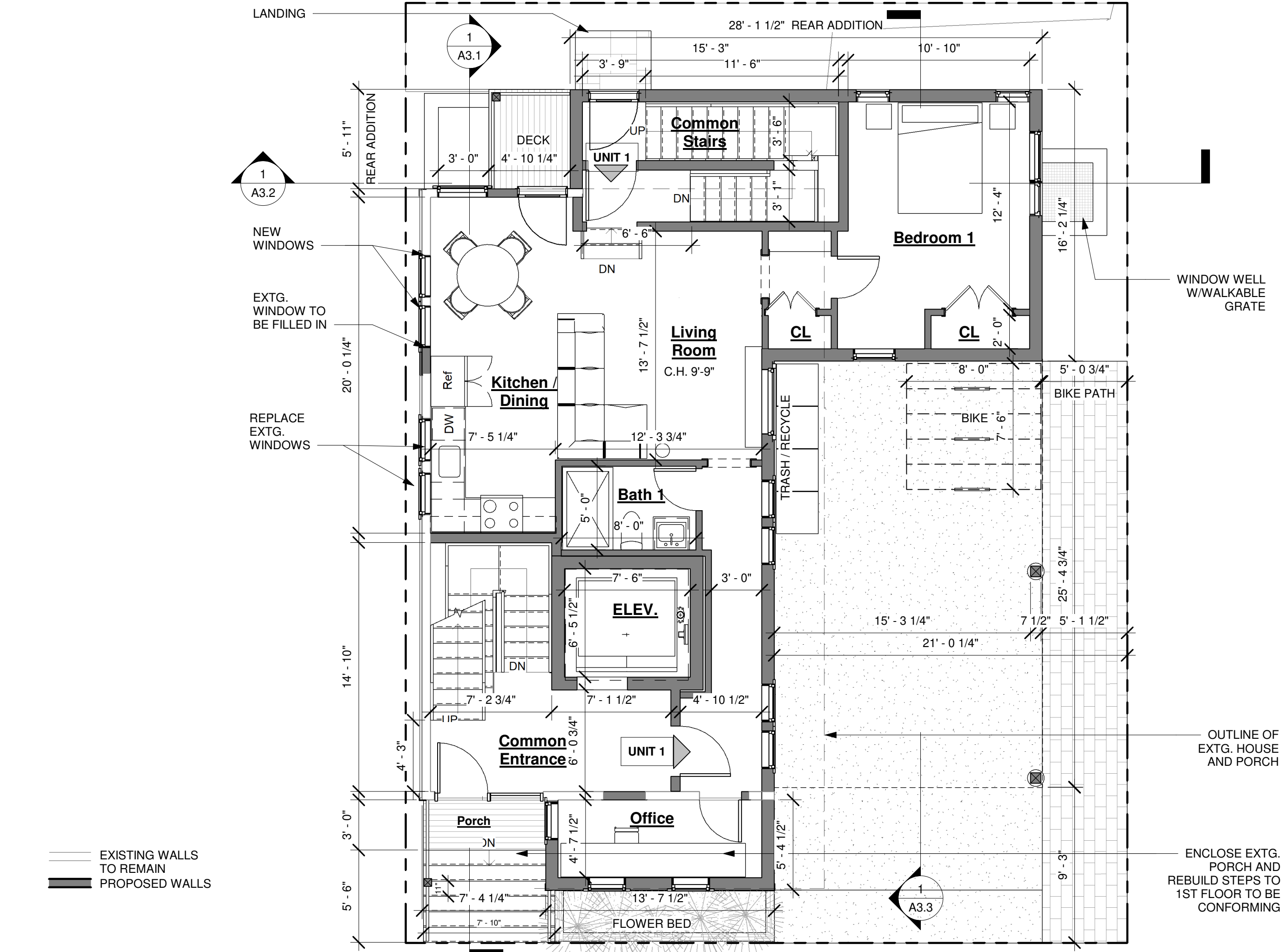
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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
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Prop. Basement Plan

Date 11/12/2025
Scale 3/16" = 1'-0"

A1.1

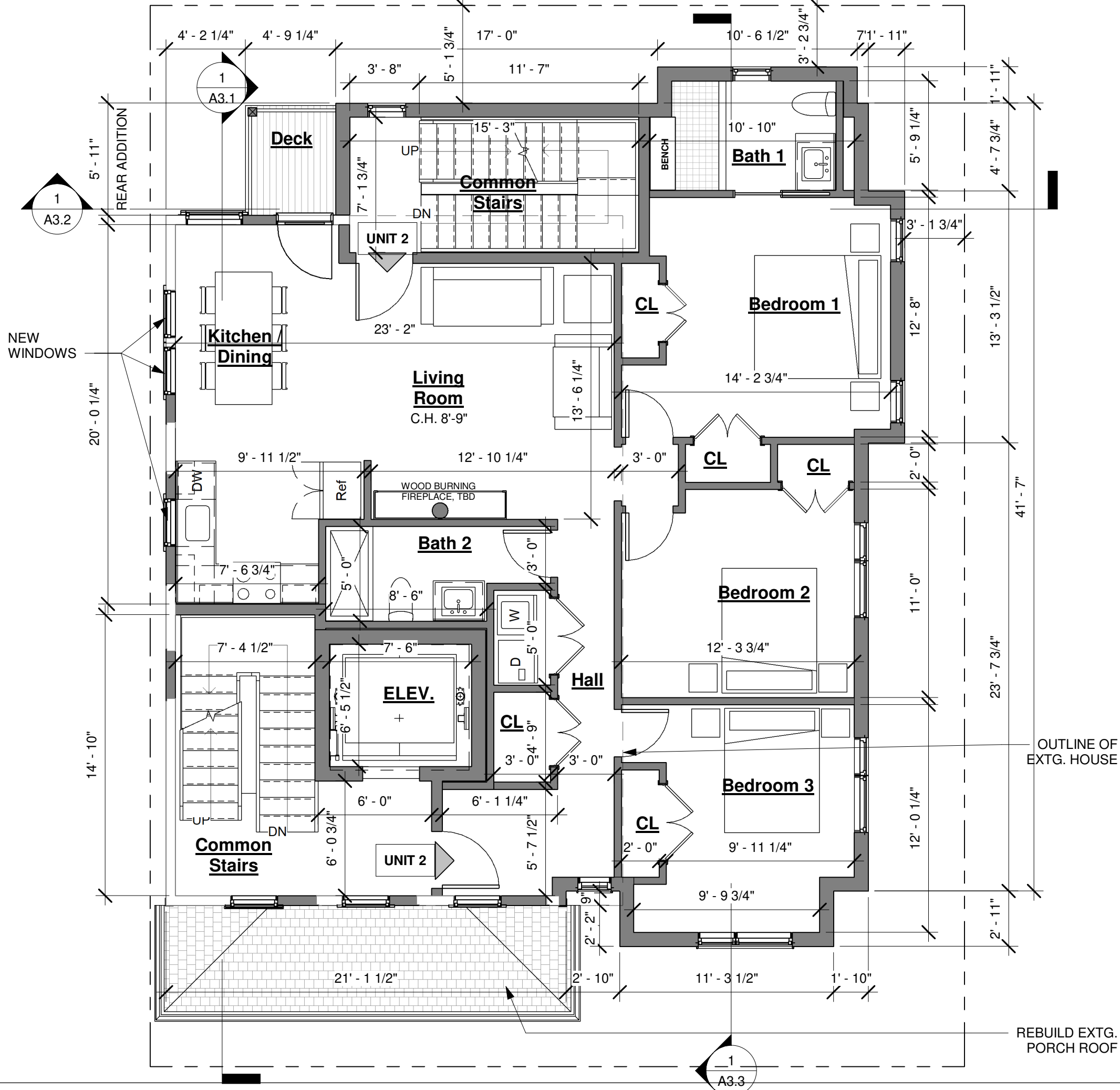


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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Proposed First Floor Plan	A1.2	
	Date	11/12/2025
	Scale	3/16" = 1'-0"

EXISTING WALLS
TO REMAIN
PROPOSED WALLS



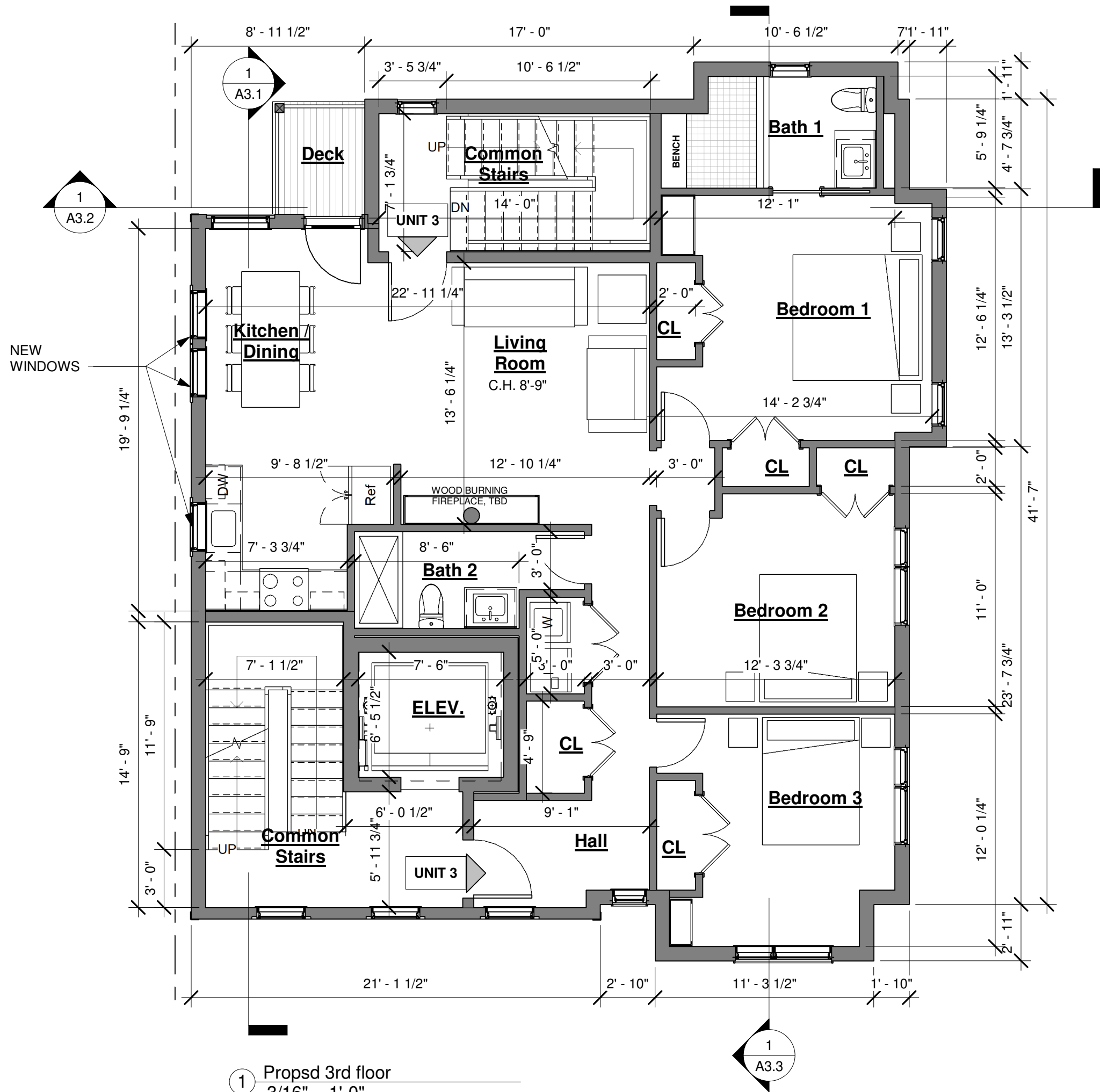
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PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
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Proposed Second Floor
Plan

A1.3

Date
11/12/2025
Scale
3/16" = 1'-0"



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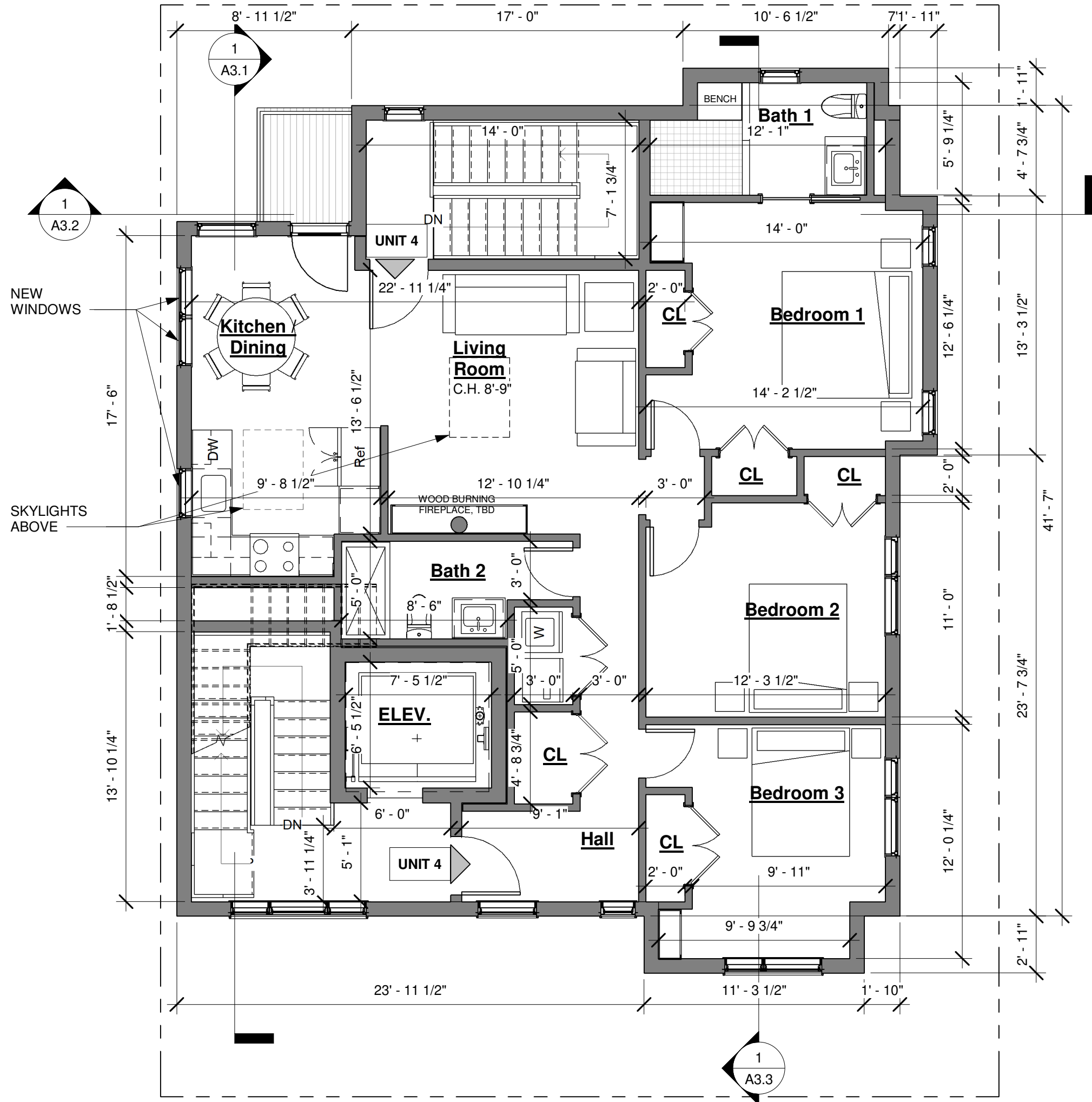
PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA

Proposed Third Floor plan

Date	11/12/2025
Scale	3/16" = 1'-0"

A1.4

EXISTING WALLS
TO REMAIN
PROPOSED WALLS



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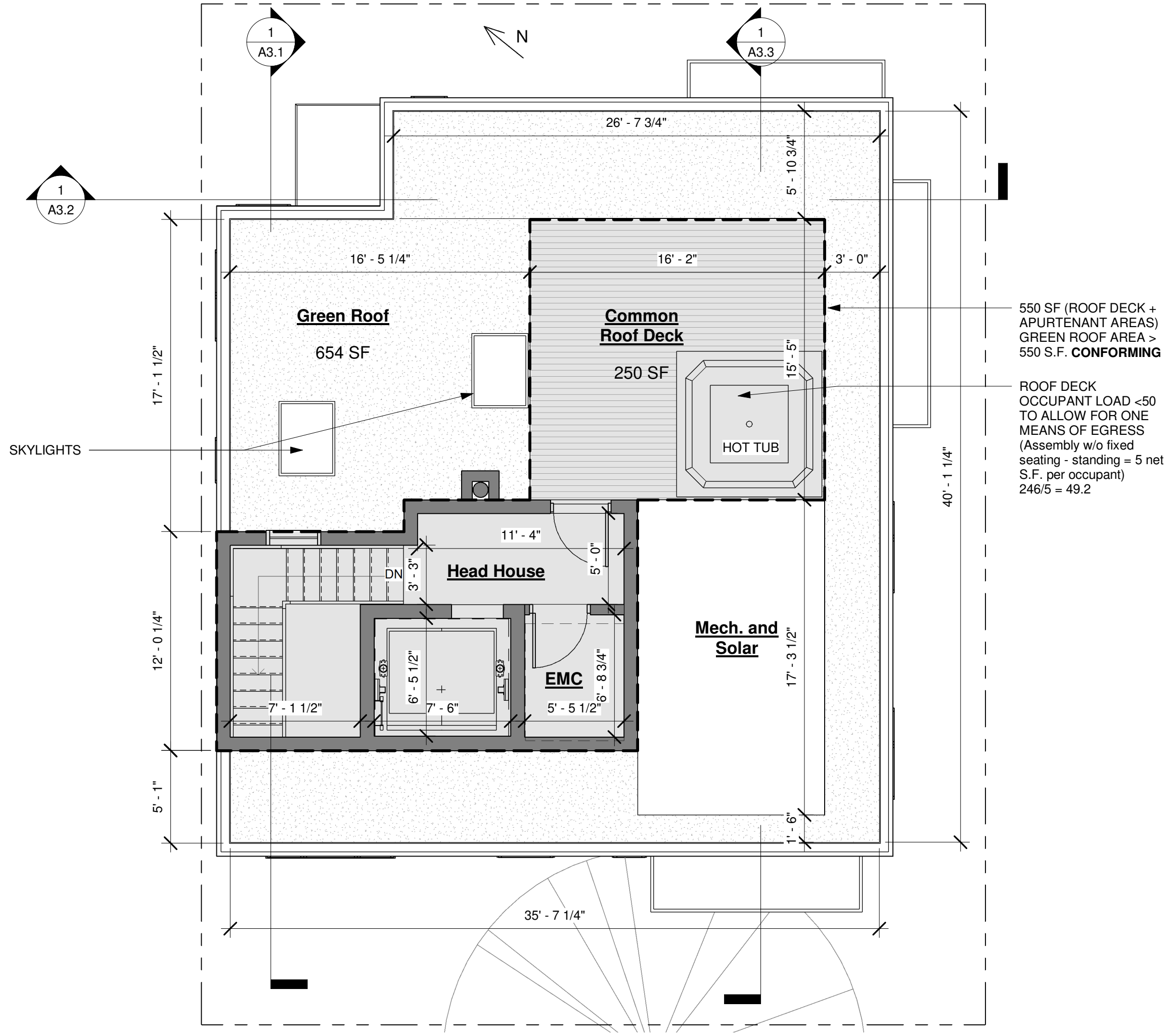
PROP. RENOVATIONS AND
ADDITIONS
22-24 Myrtle Ave
Cambridge, MA

Proposed Fourth Floor

A1.5

Date 11/12/2025

Scale 3/16" = 1'-0"



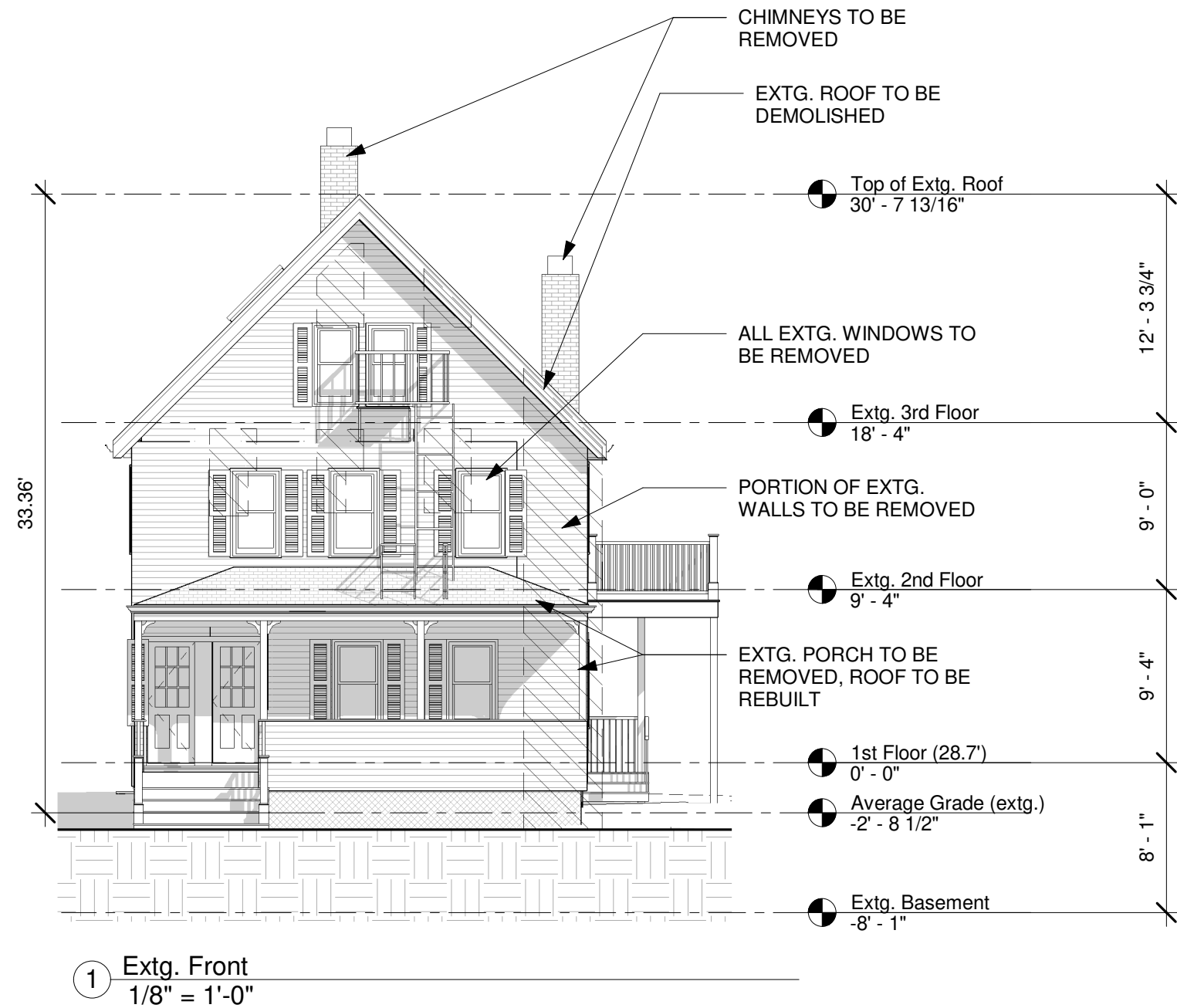
550 SF (ROOF DECK + APURTENANT AREAS)
GREEN ROOF AREA > 550 S.F. **CONFORMING**

ROOF DECK
OCCUPANT LOAD <50
TO ALLOW FOR ONE
MEANS OF EGRESS
(Assembly w/o fixed
seating - standing = 5 net
S.F. per occupant)
246/5 = 49.2

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**PROP. RENOVATIONS AND
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22-24 Myrtle Ave
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Proposed Roof Plan		
	Date	11/12/2025
	Scale	3/16" = 1'-0"
A1.6		



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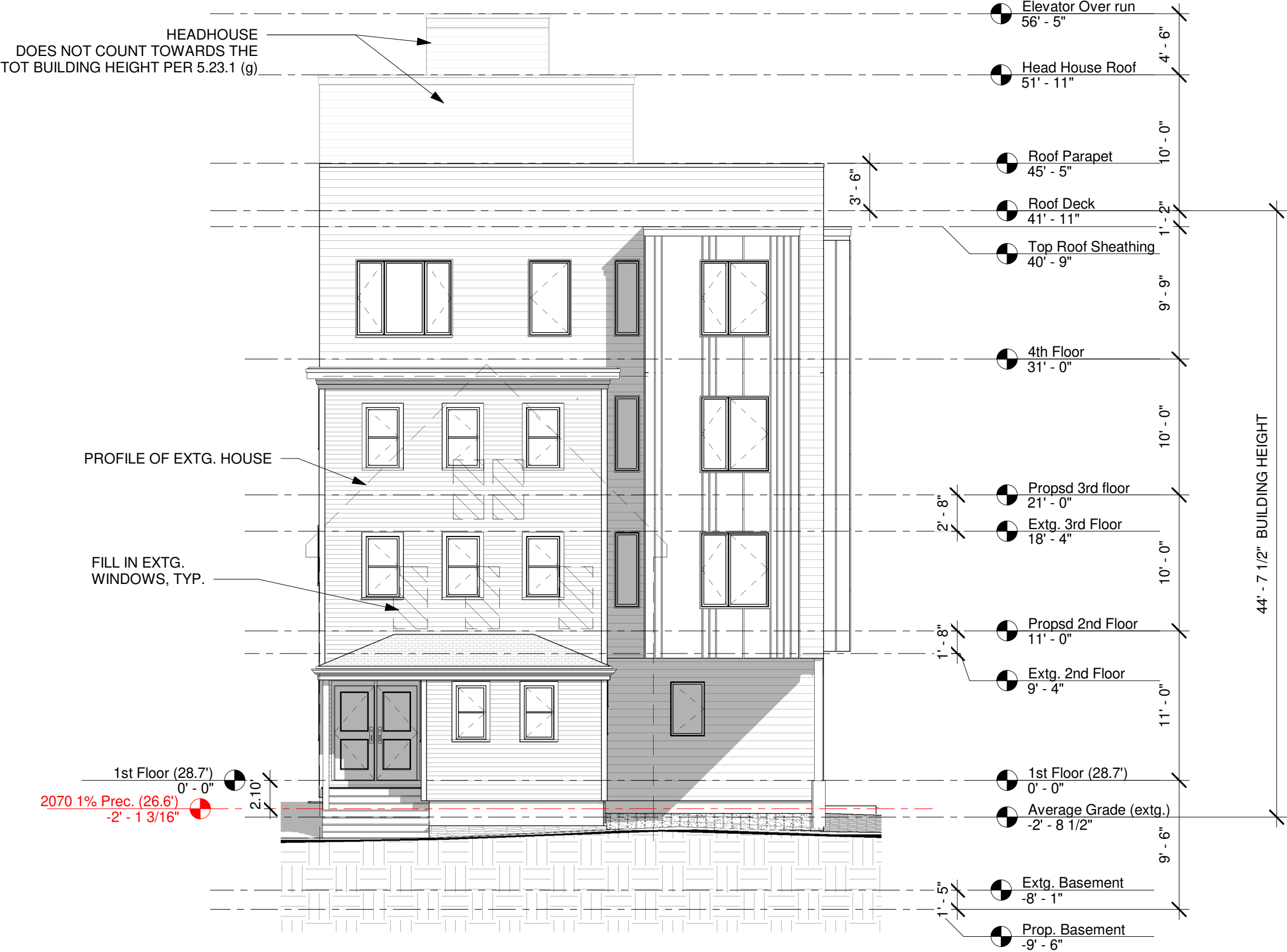
**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

Extg. Front Elevation

Date
11/12/2025

Scale
1/8" = 1'-0"

D2.1



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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
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Prop. Front Elevation

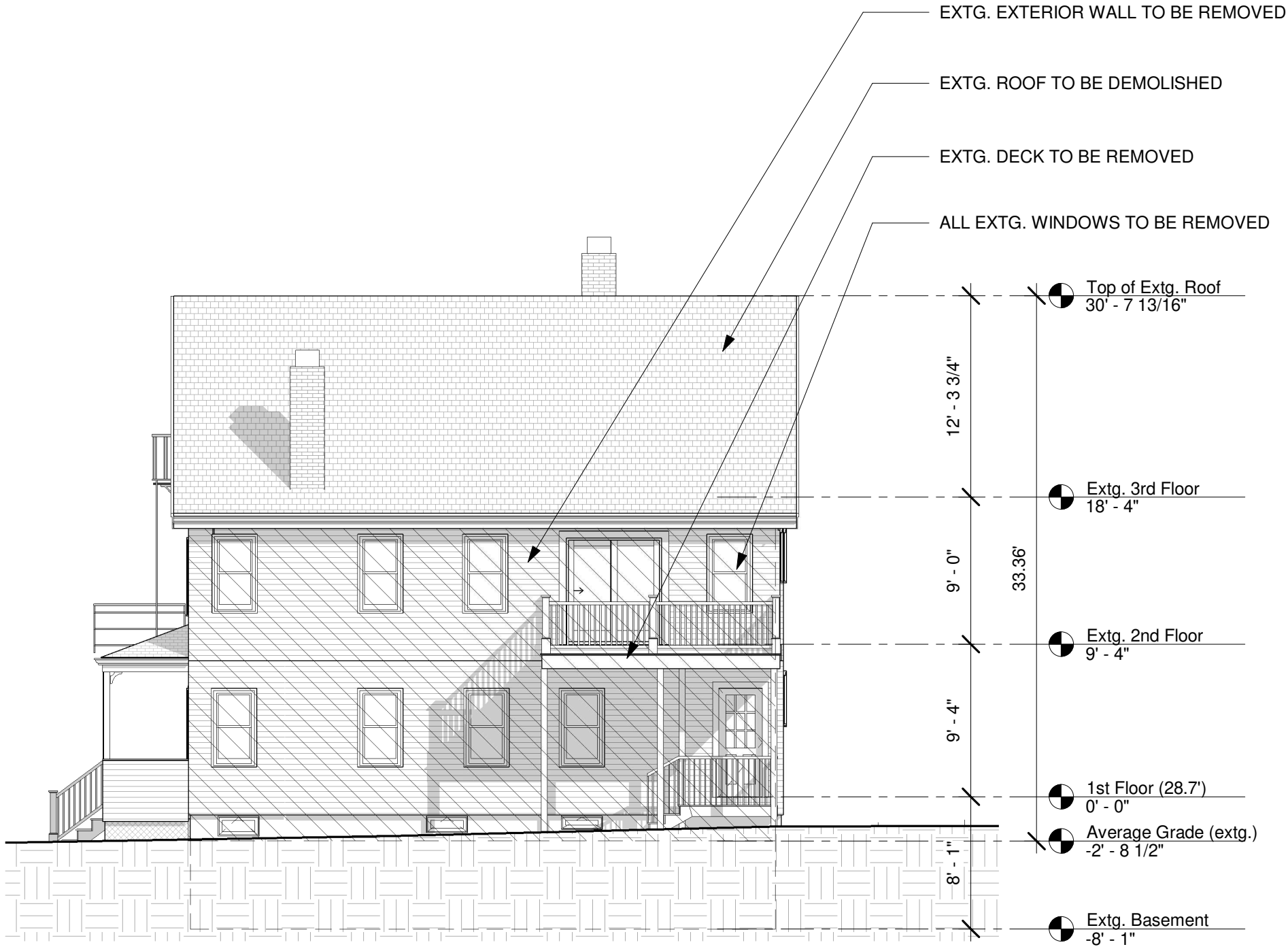
11/12/2025

Date

1/8" = 1'-0"

Scale

A2.1



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**PROP. RENOVATIONS AND
ADDITIONS**
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**Extg. Right Side
Elevation**

11/12/2025

Date

1/8" = 1'-0"

Scale

D2.2



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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

**Prop. Right Side
Elevation**

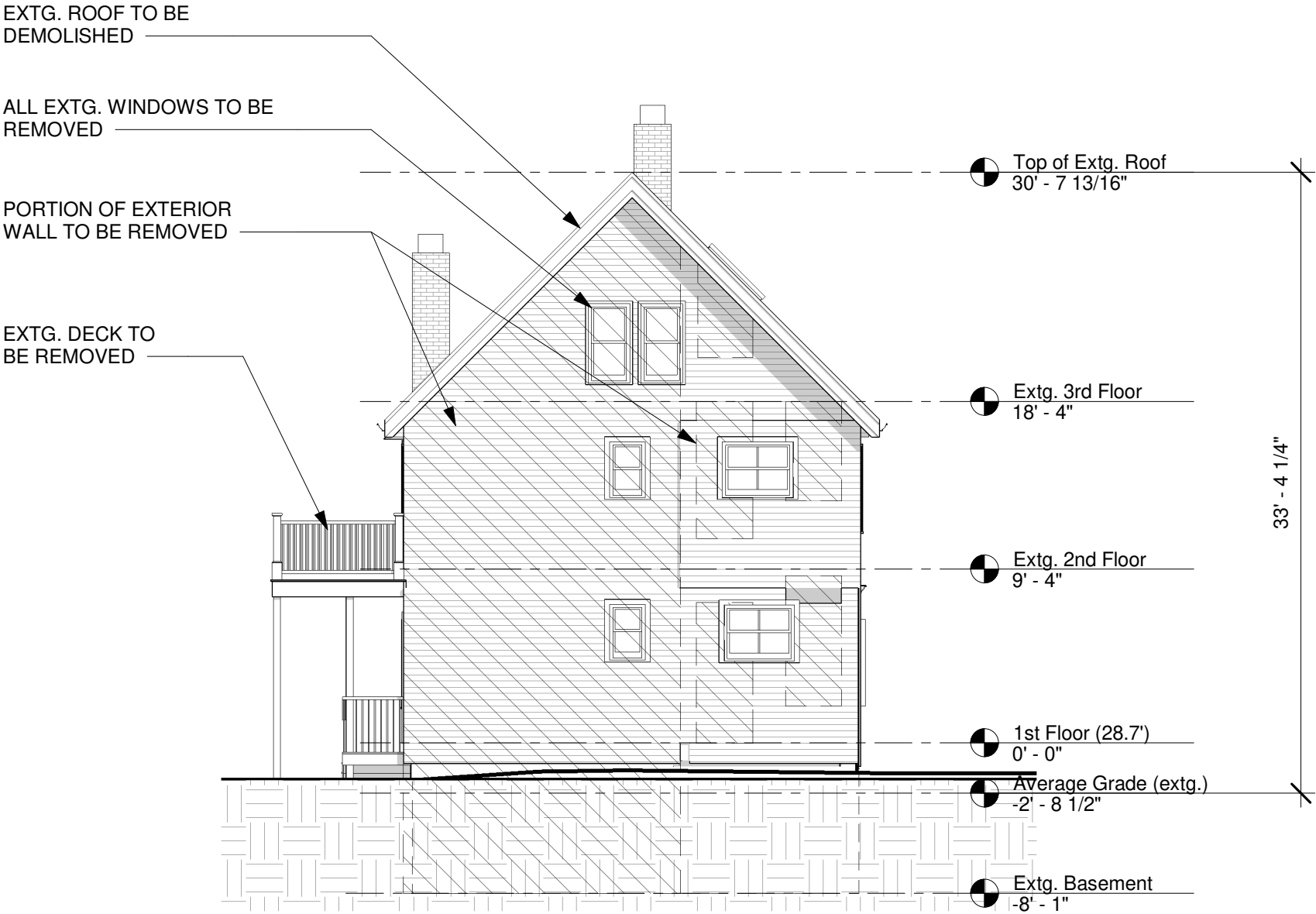
11/12/2025

Date

1/8" = 1'-0"

Scale

A2.2



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**PROP. RENOVATIONS AND
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22-24 Myrtle Ave
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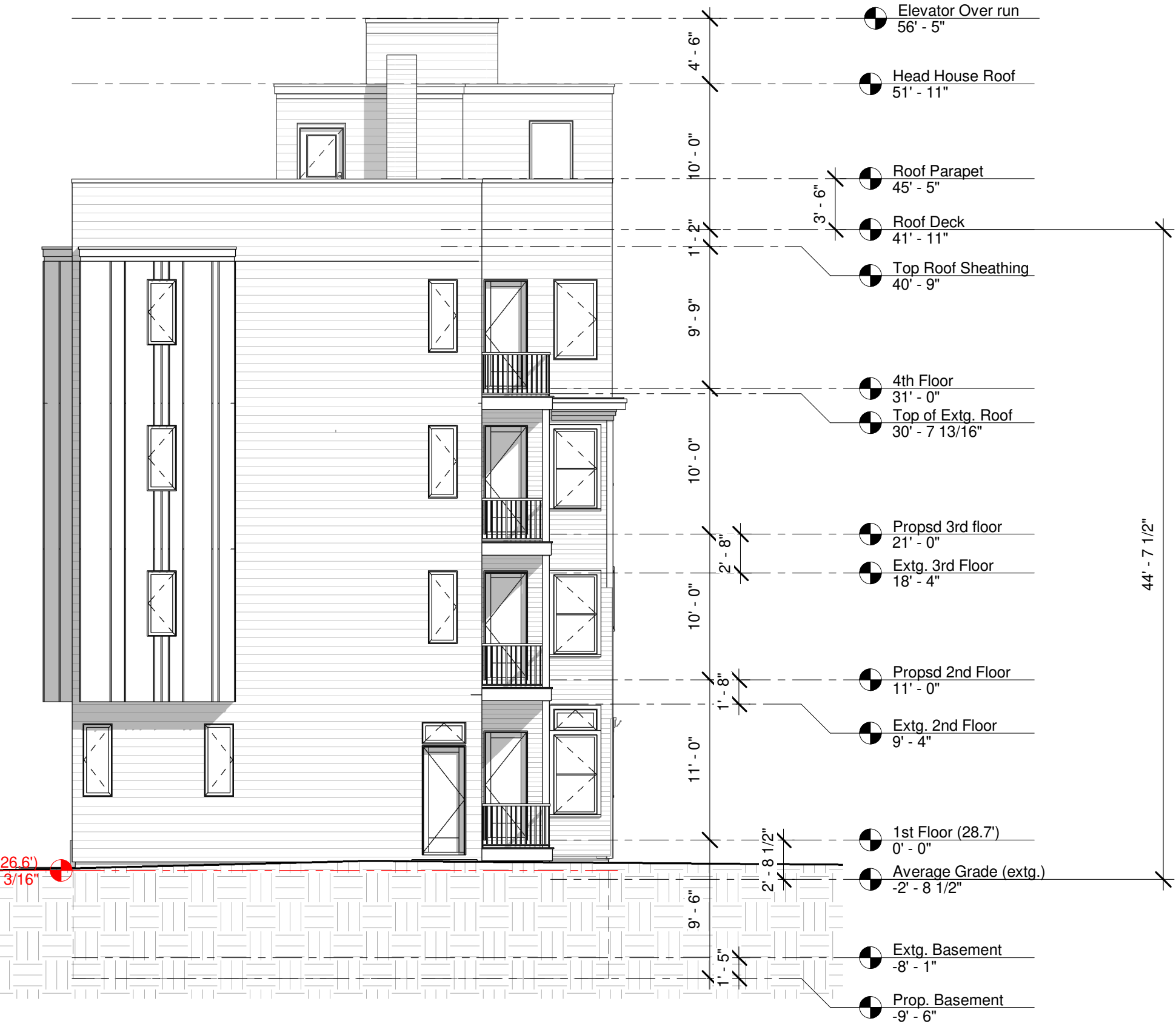
Extg. Rear Elevation

Date
11/12/2025

Scale
1/8" = 1'-0"

D2.3

2070 1% Prec. (26.6')
-2' - 1 3/16"



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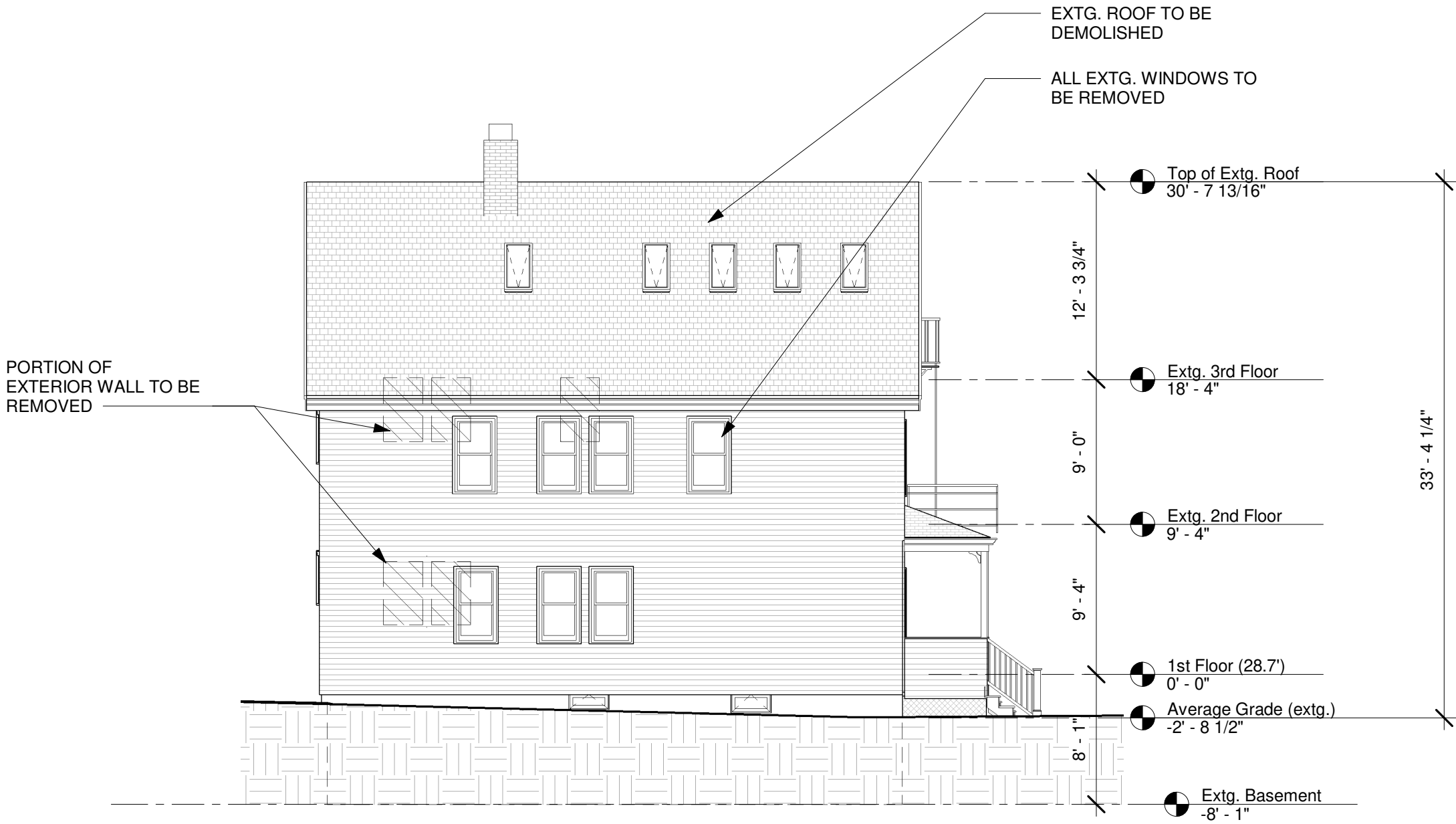
**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
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Prop. Rear Elevation

Date
11/12/2025

Scale
1/8" = 1'-0"

A2.3



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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
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**Extg. Left Side
Elevation**

Date
11/12/2025

Scale
1/8" = 1'-0"

D2.4



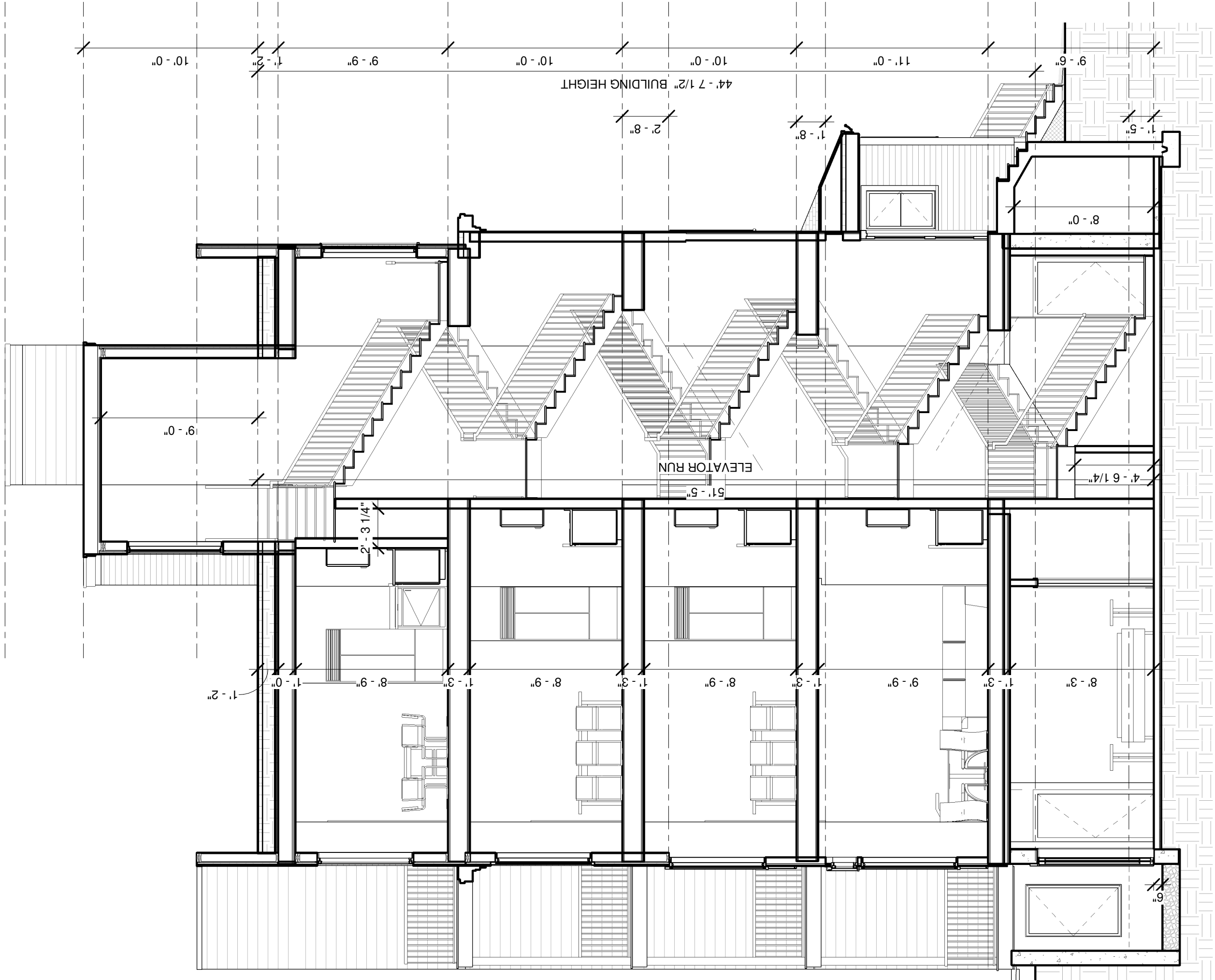
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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
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**Proposed left Side
Elevation**

Date	11/12/2025
Scale	1/8" = 1'-0"

A2.4



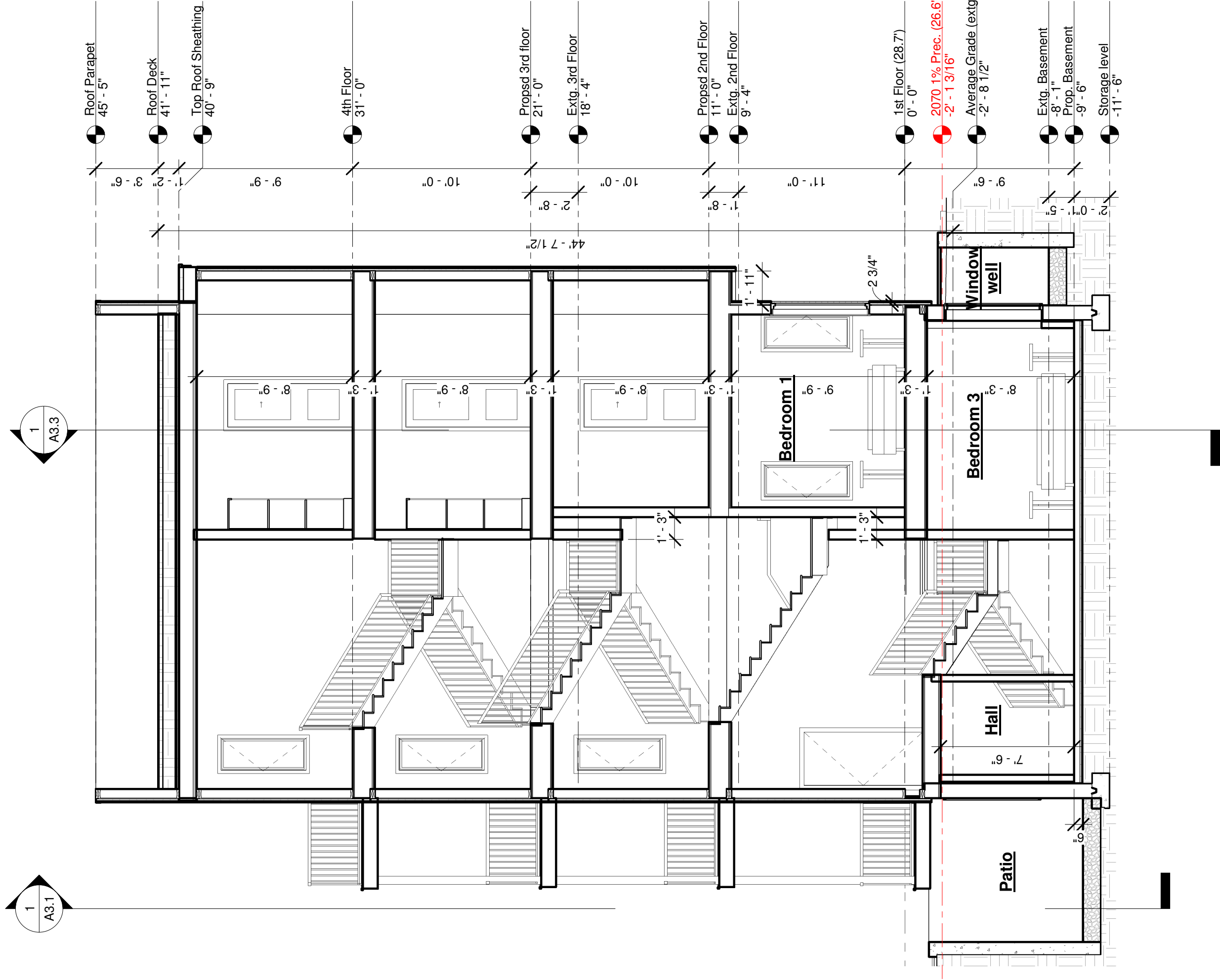
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**PROP. RENOVATIONS AND
ADDITIONS**
22-24 Myrtle Ave
Cambridge, MA

**Section Through front
stairs**

Date	11/12/2025
Scale	3/16" = 1'-0"

A3.1



1 Cross Section @ rear Stairs
3/16" = 1'-0"

Section through rear
stairs

A3.2

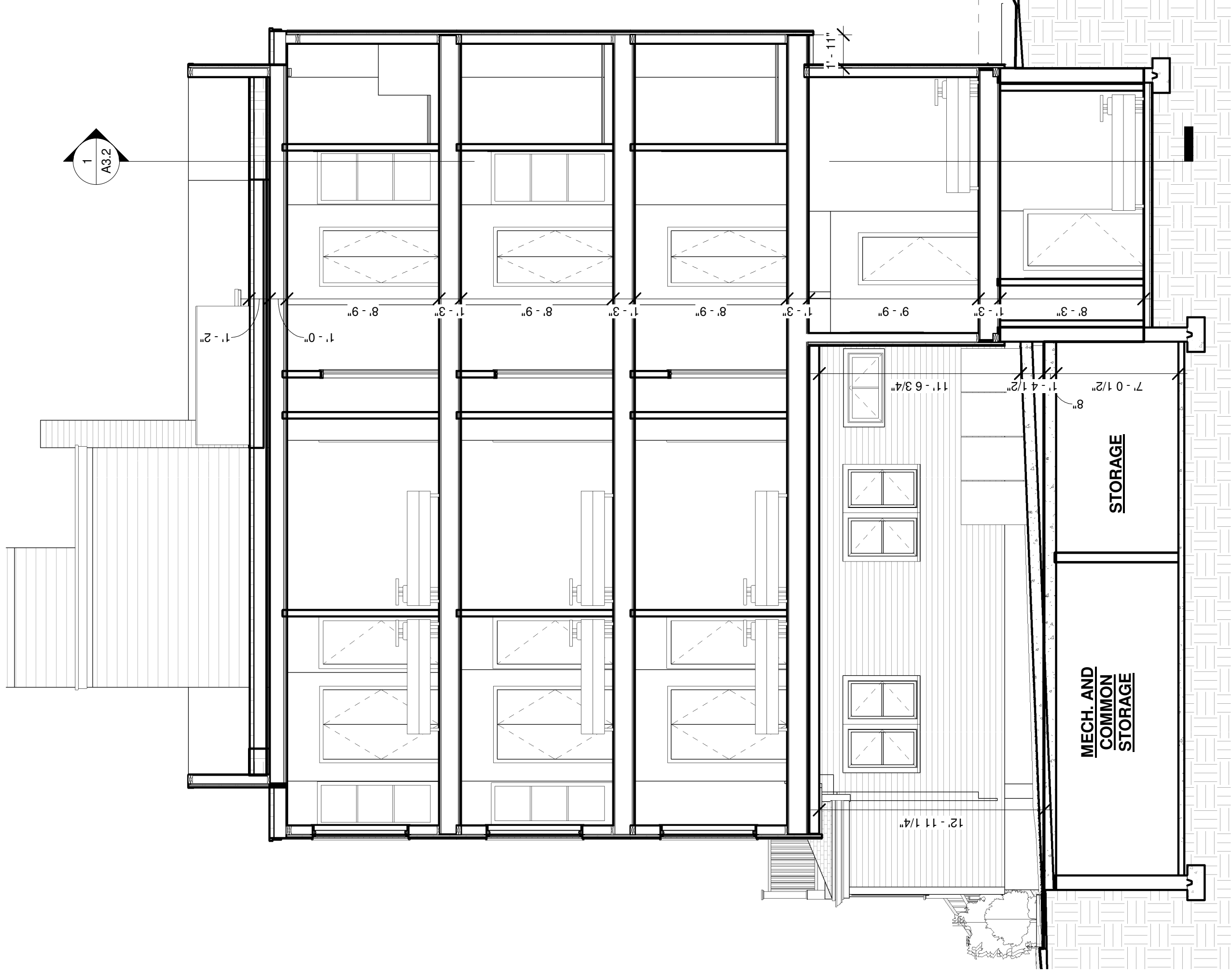
Date 11/12/2025

Scale 3/16" = 1'-0"

PROP. RENOVATIONS AND
ADDITIONS
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1 Section Through parking
3/16" = 1'-0"

A3.3

Section Through
Parking

Date	11/12/2025
Scale	3/16" = 1'-0"

PROP. RENOVATIONS AND
ADDITIONS
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