



Mid Cambridge Neighborhood Conservation District Commission

Cambridge Historical Commission, 831 Massachusetts Ave., 2nd Fl., Cambridge, MA 02139
Telephone: 617-349-4683 TTY: 617-349-6112 histncds@cambridgema.gov
www.cambridgema.gov/Historic/DistrictsHistoricProperties/MidCambridgeNCD

APPLICATION FOR CERTIFICATE

Section I:

1. The undersigned hereby applies to the Mid Cambridge Neighborhood Conservation District Commission for a Certificate of (check type of certificate): ☒ Appropriateness, ☐ Nonapplicability, or ☐ Hardship, in accordance with Ch. 2.78 of the Municipal Code and the order establishing the district.
2. Address of property: _____ 406 Broadway _____, Cambridge, Massachusetts
3. Describe the proposed alteration(s), construction, or demolition in the space provided below:
(An additional page can be attached, if necessary).

The development at 406 Broadway consists of a new six-story, 34 residential unit building with a mixture of studio, 1 bedroom, and 2 bedroom dwellings. The ground floor will offer a dedicated lobby, mail & package room, and tenant amenity space. The basement level will offer tenants dedicated, secured bicycle parking and available storage cages. Residential units are distributed across all six occupy-able floors, and an amenity roof deck is proposed for the top level.

The existing three family structure and adjacent garage are planned to be fully removed as part of the site preparation. All new streetscape improvements are planned along Broadway and Goodman Rd. to create pleasing outdoor spaces and positive-impact vegetation throughout the site.

Name of Property Owner of Record: <u>S&J BROADWAY RE LLC</u>	
Mailing Address: <u>34 Sevlard Road Newton Ma 02459</u>	
Telephone/Fax: <u>4253895719</u>	E-mail: <u>Sunny.zuo123@gmail.com</u>
Signature of Property Owner of Record*: <u>Jin Sun</u> (Required field; application will not be considered complete without property owner's signature) *I have read the application in full and certify that the information contained herein is true and accurate to the best of my knowledge and belief.	
Name of proponent, if not record owner: _____	
Mailing Address: _____	
Telephone/Fax: _____	E-mail: _____

<u>(for office use only):</u>			
Date Application Received: _____	Case Number: _____	Hearing Date: _____	
Type of Certificate Issued: _____	Date Issued: _____		

Section II:

Is property listed on the National Register of Historic Places? No Publicly owned? No
Current Zoning District: C-1 Current Use: Residential

Section III:

Will this project require: variance No special permit No

If yes, nature of zoning relief sought: setbacks _____ FAR _____ use _____
height _____ parking _____ other (explain) _____

Section IV (Complete any portions that apply to proposed scope of work):

New Construction or Additions:

3,082 GSF floor area of existing structures on the lot
27,856 GSF amount of floor area (gross square feet) of proposed construction
903% percentage increase in total floor area after construction
6,031 SQFT total area of lot in square feet
62% percentage of total lot area covered after construction

Demolition:

n/a amount of floor area (gross square feet) of proposed demolition
n/a floor area of existing structure
n/a percentage decrease in total floor area after demolition

Alterations:

Does the proposed work include (check all that apply):

n/a enclosure or removal of decorative elements (including cornice, fascia, soffit, bay, porch, hood, cornerboard, window sash, or window or door casing);
n/a increase or reduction of window or door size;
n/a relocation of windows or doors;
n/a change in slope, pitch, or configuration of roof;
n/a removal of original or historic roofing material.

Administration of the Mid Cambridge NCD

The administration of the Mid Cambridge Neighborhood Conservation District Commission is guided by the Article III, Section 2.78 of the Code of the City of Cambridge and by the order establishing the district. Before a building permit can be issued for the proposed work, the Commission must issue one of three types of certificates. A **Certificate of Appropriateness** is issued when the Commission determines that a project is not incongruous with the conservation of the district. A **Certificate of Hardship** is issued when refusal to issue a Certificate of Appropriateness would cause a substantial hardship, financial or otherwise, to the applicant, and when the project can be approved without substantial detriment to the public welfare or substantial derogation of the purpose of the order. A **Certificate of Non-Applicability** is issued for projects that are not subject to review. The last certificate is issued by the staff of the Commission without the Commission's full review.

In making its determinations, the Commission considers the impact of the proposal on the District as a whole and the potential adverse effects of the proposal on the surroundings. The objectives of the District are to 1) avoid excessive infill, 2) encourage new construction that complements existing buildings, 3) encourage the preservation of neighborhood buildings, 4) protect National Register properties, and 5) enhance the economic vitality of the neighborhood.

Instructions for completing this application

This application must be filed at the offices of the Cambridge Historical Commission, under whose auspices the Mid Cambridge Neighborhood Conservation District Commission is staffed, **before** work begins. It must be accompanied by the required materials indicated on this application form and should include any other materials that may assist the Commission in making its decision. Filing deadlines may be obtained by calling the Cambridge Historical Commission office, 617 349 4683 (TTY 617 349 6112). **The Commission welcomes advance inquiries for interpretation of the order; please contact Allison Crosbie (617-349-4686 or acrosbie@cambridgema.gov) at the Cambridge Historical Commission if you have any questions regarding this process.**

On receipt of a completed application, the Commission staff will schedule a public hearing for the next available regularly scheduled meeting of the Commission and send out the necessary public notifications of the hearing.

On receipt of a completed application, the Commission will schedule consideration of the application at a public hearing for the next available regularly scheduled meeting of the Commission. Owners are **strongly urged** to appear before the Commission in person. Though not required, professional consultants such as architects, attorneys, contractors, engineers, or landscape architects, may attend at the owner's invitation.

Applicants should be aware that exterior construction plans and elevations presented to the Inspectional Services Department for issuance of a building permit must conform to exterior construction plans and elevations presented to the Commission for its approval. **Any modifications to plans and elevations made subsequent to the Commission's approval are subject to additional review.** Failure to ensure conformance between Commission-approved plans and elevations and building permit plans and elevations may result in delays and additional appearances before the Commission.

Application Requirements for Binding Review

(Applications will be subject to binding review if they include any of the following: construction involving additions of more than 750 sf of floor area, increase in lot coverage by more than 33%, enlargement of existing floor area by more than 33%, demolition of more than 33% of floor area, any alteration or construction of National Register listed properties, publicly owned structures, or structures containing a non-conforming use)

Plans not larger than 11" x 17" are preferred. The applicant should provide a total of 10 copies of the application and all supporting materials.

The following are required for ALL applications subject to binding review:

1. Completed application form with a **written description** of the work to be done, including any repair or replacement of features as part of related rehabilitation.
2. Assessor's plan of the area showing currently existing structures and the footprint of all proposed construction.
3. Detailed, dimensioned elevations and plans showing all proposed construction, alteration, or demolition.
4. Schedule of materials (may be described on plans and elevations).
5. If windows are proposed to be altered, provided detailed information about existing windows and renderings of the proposed conditions and product details.
6. Any application also needing zoning relief (variance or special permit) must include a copy of the Dimensional Form from Board of Zoning Appeal application.

In addition, the following are also required for all applications for new structures:

7. Plot plan of existing site, including a dimensioned footprint of all existing buildings, parking areas, and driveways.
8. Sun/shadow study (winter and summer solstices, AM and PM).
9. Streetscape elevation at 1/8th scale showing relative heights and distances of the surrounding buildings in comparison with any proposed new construction.

Application Requirements for Non-Binding (Advisory) Review

(Applications will be subject to non-binding review if they include any of the following: new construction of more than 150 and less than 750 sf of floor area, alterations that require a special permit or variance, alteration that removes, encloses, relocates, increases or diminishes aspects of the exterior architectural fabric of the structure)

Plans not larger than 11" x 17" are preferred. The applicant should provide a total of 10 copies of the application and all supporting materials.

1. Completed application form with a **written description** of the work to be done, including any repair or replacement of features as part of related rehabilitation.
2. Assessor's plan of the area showing currently existing structures and the footprint of all proposed construction.
3. Detailed, dimensioned elevations and plans showing all proposed construction, alteration, or demolition.
4. Any application also needing zoning relief (variance or special permit) must include a copy of the Dimensional Form from Board of Zoning Appeal application.

406 BROADWAY DEVELOPMENT



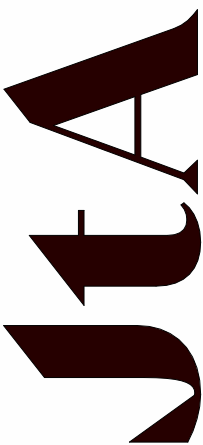
406 Broadway
Cambridge, MA 02139

PROJECT NUMBER: 25049
FOR APPROVAL
DATE: 10/24/2025

SHEET NUMBER	SHEET NAME
01-GENERAL	
0 0.00	COVER SHEET & SHEET LIST
A 0.01	CODE & ZONING ANALYSIS
A 0.02	GENERAL NOTES, STANDARDS & ABBREVIATIONS
02-LANDSCAPE	
L 1.01	PLANTING PLAN AND SCHEDULE
03-DEMOLITION	
D 1.01	DEMOLITION PLANS
04-ARCHITECTURAL	
A 1.00	BASEMENT FLOOR PLAN
A 1.01	GROUND FLOOR PLAN
A 1.02	LEVEL 02 - 05 FLOOR PLAN
A 1.03	LEVEL 06 FLOOR PLAN
A 1.04	ROOF PLAN
A 1.05	EXISTING SHADOWS
A 1.06	PROPOSED SHADOWS
A 1.07	AREA PLANS GFA (PER ZONING)
A 1.08	UNIT AREA PLANS
A 3.00	EXTERIOR ELEVATIONS
A 3.01	EXTERIOR ELEVATIONS
A 3.02	EXTERIOR ELEVATIONS
A 3.03	FULL STREET ELEVATIONS
A 9.01	3D VISUALIZATION
A 9.02	3D VISUALIZATION

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4. any person using or relying on document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.
Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.
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406 BROADWAY DEVELOPMENT
PROJECT NUMBER: 25049
DATE: 10/24/2025

LANDSCAPE ARCHITECT
OFFSHOOTS INC.
547 RUTHERFORD AVENUE
CHARLESTOWN, MA 02129
(617) 500-6530-T

CONTACT: JACK BERESFORD
EMAIL: JACK@OFFSHOOTSINC.COM

CIVIL ENGINEER
R.J. O'CONNELL & ASSOCIATES INC.
80 MONTVALE AVENUE, STE 201
STONEHAM, MA 02180
(781) 279-0180-T

CONTACT: BRIAN TIMM
EMAIL: BRIAN.TIMM@RJOCONNELL.COM

ARCHITECT
JOE THE ARCHITECT
343 MEDFORD STREET, SUITE 4C
SOMERVILLE, MA 02145
(617) 764-3593-T

CONTACT: GEOFFREY FARRELL
EMAIL: GEOFF@JOETHEARCHITECT.COM

CLIENT
JINSHAN ZUO
406 BROADWAY
CAMBRIDGE, MA 02139

CONTACT: SAM ZUO
EMAIL: SUNNY.ZUO123@GMAIL.COM

PREPARED FOR:
OWNER OF RECORD:
S&J BROADWAY RE LLC
406 BROADWAY
CAMBRIDGE, MA 02139

REFERENCES:
DEED: BK 72562, PG 83
BK 320, PG 38
PLAN: BK 4597, PG END
BK 1941, PG 270
BK 1968, PG 479
PL 1981 #326
PL 2003 #1061

LCC:
32810-A
32810-B
32810-C

CITY OF CAMBRIDGE ENGINEERING RECORDS
FB 155, PGS 91, 94

NOTES:
MAP/LOT: 115-86

EXISTING CONDITIONS PLAN

LOCATED AT
406 BROADWAY
CAMBRIDGE, MA

DATE: AUGUST 8, 2025 SCALE: 1.0 INCH = 10.0 FEET

LEGEND

BOUND	□
IRON PIPE/ IRON ROD	○
DRILL HOLE	●
BENCHMARK	⊕
GAS VALVE	⊗
HYDRANT	⊗
WATER SHUTOFF	⊗
WATER VALVE	⊗
CATCH BASIN	□
DRAIN MANHOLE	⊕
SEWER MANHOLE	⊕
ELECTRIC MANHOLE	⊕
TELEPHONE MANHOLE	⊕
SIGN	⊕
LIGHT POLE	⊕
UTILITY POLE	⊕
DRAIN LINE	— DRN —
SEWER LINE	— SVR —
GAS LINE	— GAS —
WATER LINE	— VTR —
CHAIN LINK FENCE	— X — X —
INVERT	INV
POLY VINYL CHLORIDE	PVC
VITRIFIED CLAY	VC
REINFORCED CONCRETE PIPE	RCP
FOUND	FND
CONCRETE BOUND	CB
STONE BOUND	SB

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 14, 2025 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ARE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

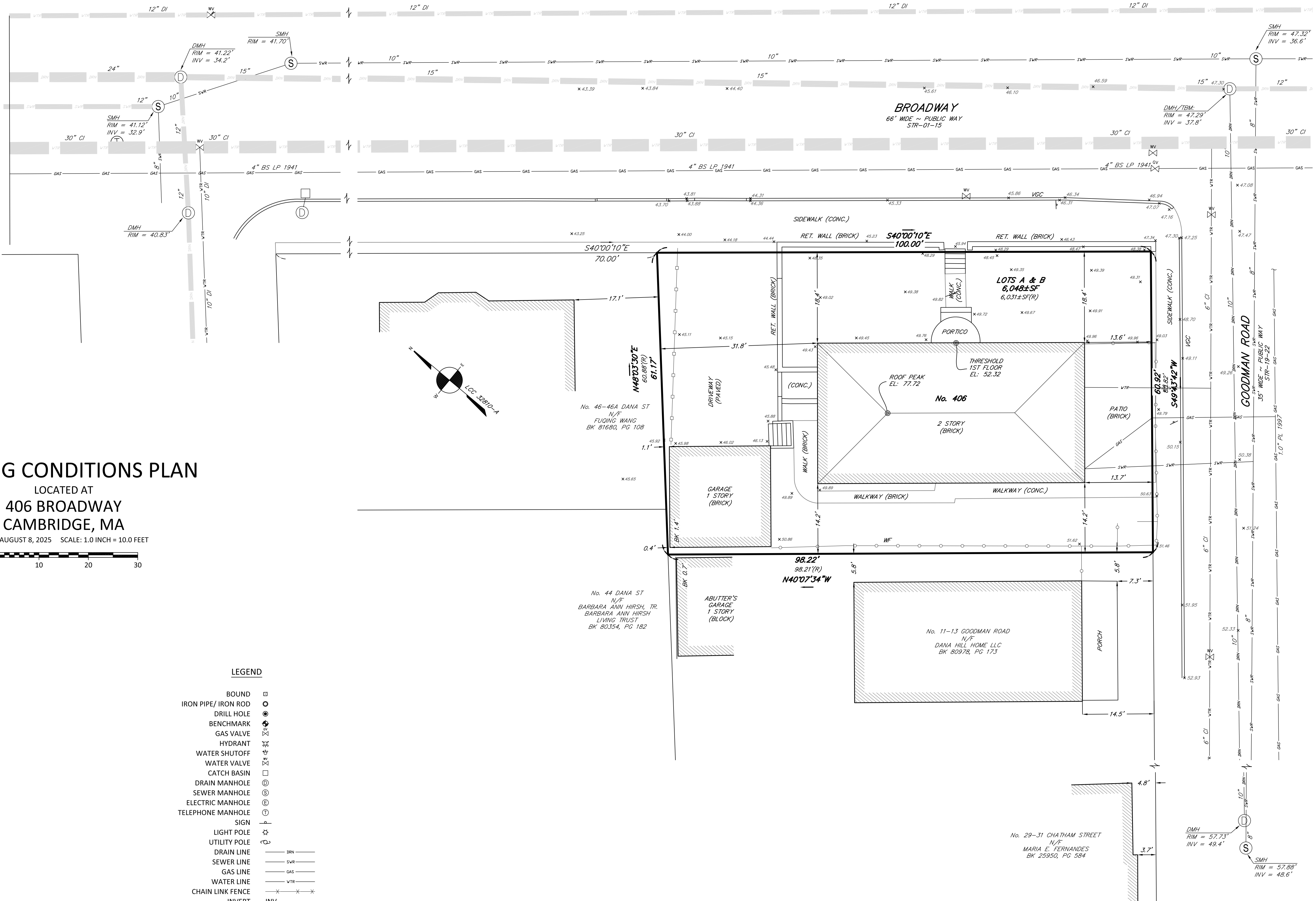
ABUTTERS' NAMES REFER TO CURRENT CITY OF CAMBRIDGE ASSESSOR'S RECORDS AND/OR CURRENT RECORDS AVAILABLE AT THE REGISTRY OF DEEDS.

VERTICAL DATUM
THE ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO CAMBRIDGE DATUM.

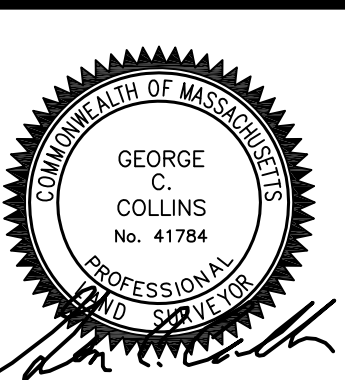
BENCHMARK
1) RIM OF DRAIN MANHOLE
ELEVATION = 47.29'

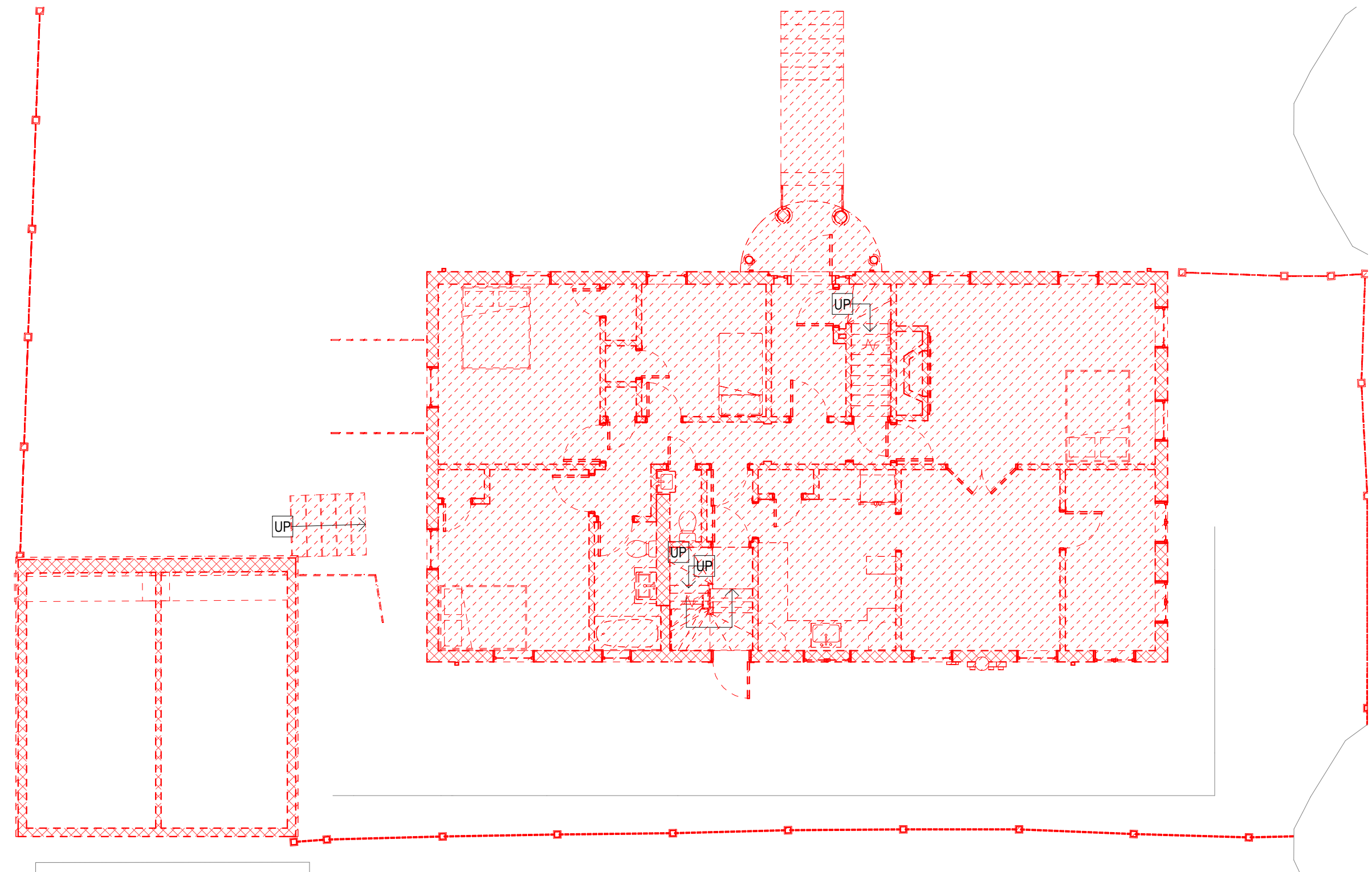
UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE PRIOR TO ANY EXCAVATIONS.

FEMA
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0576E
EFFECTIVE DATE: 06/04/2010

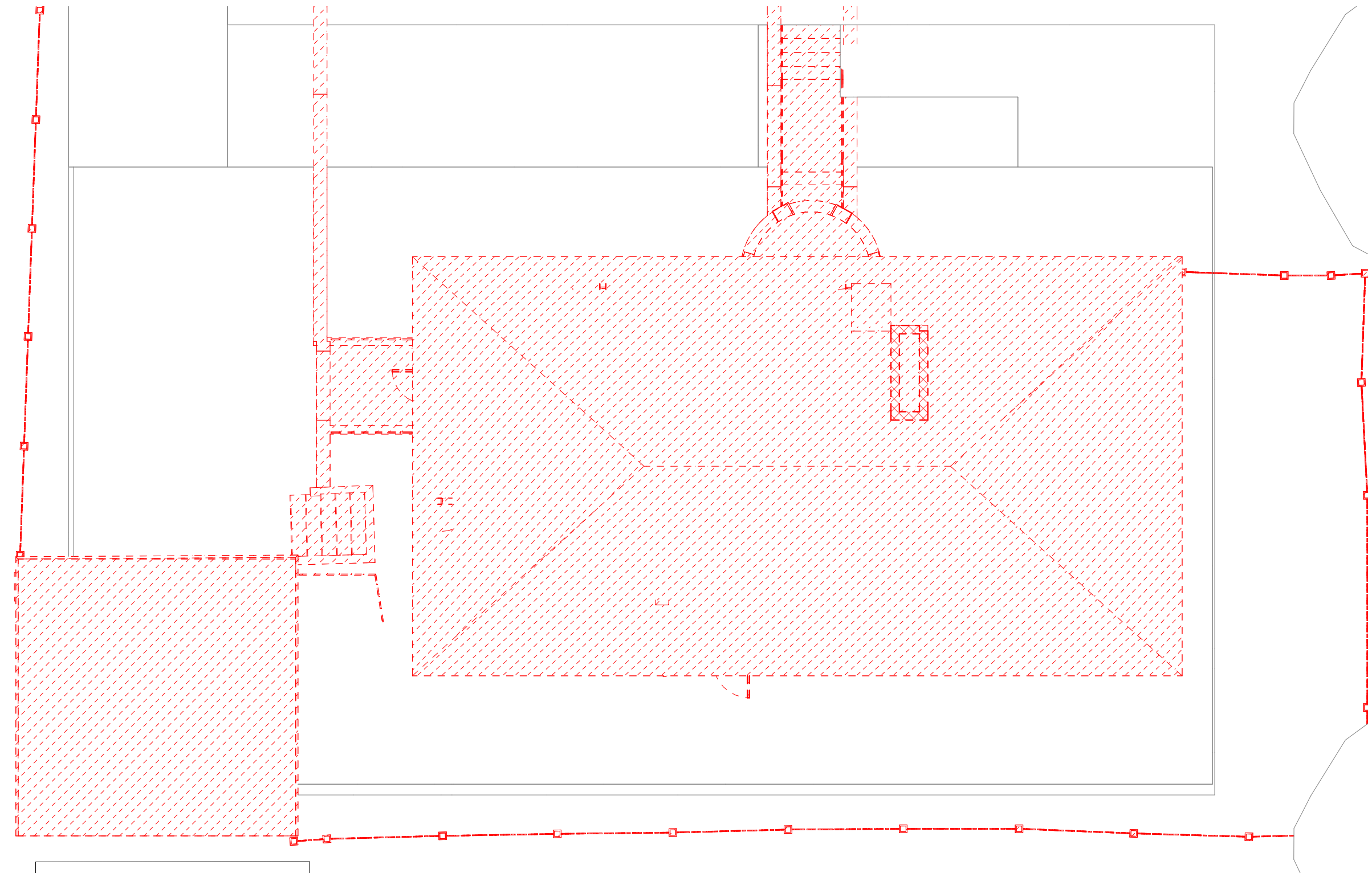


FIELD: MO, SM
DRAFT: RAP, SAP
CHECK: GCC
DATE: 08-08-25
JOB # 25-00403





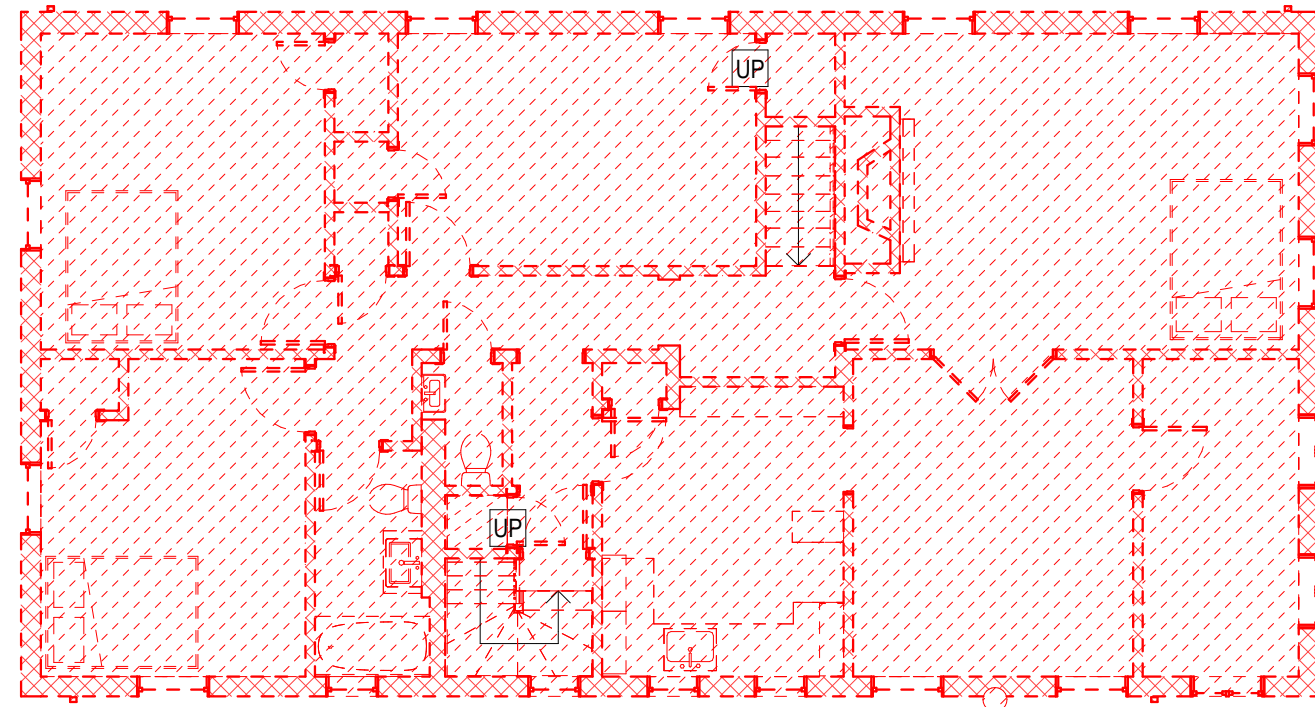
1 Floor 01 Demolition Plan
D 1.01 1/8" = 1'-0"



3 Original Roof
D 1.01 1/8" = 1'-0"



2 Floor 02 Demolition Plan
D 1.01 1/8" = 1'-0"



DEMOLITION LEGEND

EXISTING SOLID PARTITION TO BE DEMOLISHED

EXISTING GLAZED OR PARTIALLY GLAZED PARTITION TO BE DEMOLISHED

EXISTING DOOR AND FRAME TO BE DEMOLISHED

EXISTING FULL HEIGHT SOLID, GLAZER OR PART GLAZED PARTITION TO REMAIN

EXISTING DOOR AND FRAME TO REMAIN

NIC - NOT IN CONTRACT HATCH

KEY NOTES_DEMOLITION

GENERAL NOTES - DEMOLITION

- SEE GENERAL CONSTRUCTION NOTES ON SHEET G 0.01.
- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN THIS CONTRACT SET. IN SUCH AN EVENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY.
- SELECTIVELY DEMO WALLS, CEILING, AND FLOOR FINISHES AS SHOWN AND AS REQUIRED FOR NEW LAYOUT AND SYSTEMS.
- GC TO COORDINATE CUTTING OF NEW DOOR OPENINGS WITH REQUIRED DIMS FOR UNITS AS SHOWN ON FLOOR PLANS, ELEVATIONS, AND DOOR SCHEDULE. NOTIFY ARCHITECT OF ANY CONFLICTS.
- THE CONTRACTOR SHALL PERFORM DEMO AS REQUIRED FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC, WHETHER SPECIFICALLY SHOWN OR NOT.
- WHERE REMOVAL OF EXISTING CONSTRUCTION IS REQUIRED FOR PERFORMANCE OF ANY WORK UNDER THIS CONTRACT, REMOVAL & REINSTALLATION SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT, WHETHER SPECIFICALLY SHOWN OR NOT, INCLUDING RESTORATION OF UTILITIES AND ANY TEMPORARY SHORING OF STRUCTURAL COMPONENTS.
- PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES.
- SEE ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR RELEVANT INFO AND COORDINATION FOR SYSTEMS WORK. CUT PENETRATIONS FOR MEPFP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED.
- ALL NEW SPRINKLERS & PIPING SHALL BE INSTALLED PRIOR TO DEMOLISHING THE (E) SYSTEM & MAKING FINAL CONNECTIONS, IN ORDER TO MINIMIZE THE IMPACTS OF SHUTDOWNS, DRAIN DOWN, SYSTEM RE-FILL, AND FIRE WATCHES.
- IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH NEW WORK WHETHER SHOWN OR NOT. ALL EXISTING NON-STRUCTURAL PARTITIONS, CEILINGS, CASEWORK, MEPFP ITEMS, FURR-OUTS, FINISH MATERIALS, STAIRS, DOORS, WINDOWS AND INDUSTRIAL EQUIPMENT SHALL BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR OF THE START OF ANY WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND SHORING OF STRUCTURAL ELEMENTS.
- REFER TO CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL OF SITE RELATED FIXTURES, EQUIPMENT, AND ASSOCIATED ACCESSORIES.
- ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ROOFING, INCLUDING NON-STRUCTURAL SUBSTRATES, GUTTERS, AND ASSOCIATED FLASHINGS. REMOVED MATERIAL SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- COORDINATE ALL DEMOLITION WITH HAZARDOUS MATERIAL REMOVAL/ABATEMENT REQUIREMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SALVAGED ITEMS NOT USED IN THE PROJECT OR REQUESTED TO BE RETURNED TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
- ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE TO APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO RECLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER'S REQUIREMENTS AND COMPLIANCE WITH SUSTAINABLE PRACTICES. AT THE END OF DEMOLITION, LEAVE THE AREA FREE AND CLEAR. BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- WHERE FLOOR FINISH REMOVAL IS INDICATED, REMOVE FLOORING MATERIALS DOWN TO SUBSTRATE.
- CLEAN ANY RESIDUE FROM CONCRETE SURFACE. PREP SUBSTRATE TO RECEIVE FINISH AS INDICATED ON FINISH SCHEDULE AND PER FLOORING MANUFACTURES RECOMMENDATIONS.
- WHERE CEILING REMOVAL IS INDICATED, REMOVE ALL COMPONENTS OF EXISTING CEILING SYSTEMS INCLUDING ALL FASTENERS. ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE. PREP SURFACE OF UNDERSIDE OF STRUCTURE FOR NEW FINISH PER FINISH SCHEDULE.
- SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION. CUT, CAP, AND MAKE SAFE ALL PIPING, CONDUIT, AND WIRING AS INDICATED ON RELATED DRAWINGS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SIDE OF ALL EXTERIOR WALLS AND SURFACES WHICH WILL REMAIN AFTER DEMOLITION.
- LOCATIONS OF (E) SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE NOT FIELD DIMENSIONED. G.C. TO VERIFY LOCATIONS WHERE IN PROXIMITY OF WORK.
- SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE EXISTING TO REMAIN U.O.N.
- PROVIDE TEMPORARY ENCLOSURE OF ALL EXTERIOR OPENINGS CREATED AS A RESULT OF DEMOLITION UNTIL PERMANENT ENCLOSURES ARE INSTALLED.
- PROVIDE TEMPORARY SHORING AT ALL DEMOLITION OF NEW OPENINGS TO INSTALL NEW LINTEL AS INDICATED.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

29. ALL MEPFP WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

S&J BROADWAY REALTY

406 Broadway
Cambridge, MA 02139

DESIGN FIRM



Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askipoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

SEAL

KEY PLAN

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

FOR APPROVAL

10/24/2025 10:57:20 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
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ISSUE CHART

1	FOR ENTITLEMENT	10/24/25
N	ISSUE	DATE
	25049	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
	As indicated	SCALE
		SHEET NAME

DEMOLITION PLANS

SHEET NUMBER

D 1.01

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www.joethearchitect.com

CONSULTANT

547 Rutherford Ave. | Charlestown, MA | 02129
T: 617.500.6530 F: 617.500.6531

www.offshootsinc.com

SEAL



PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

FOR INFORMATION

OCTOBER 23, 2025

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

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ISSUE CHART










SHEET NAME

PLANTING PLAN AND SCHEDULE

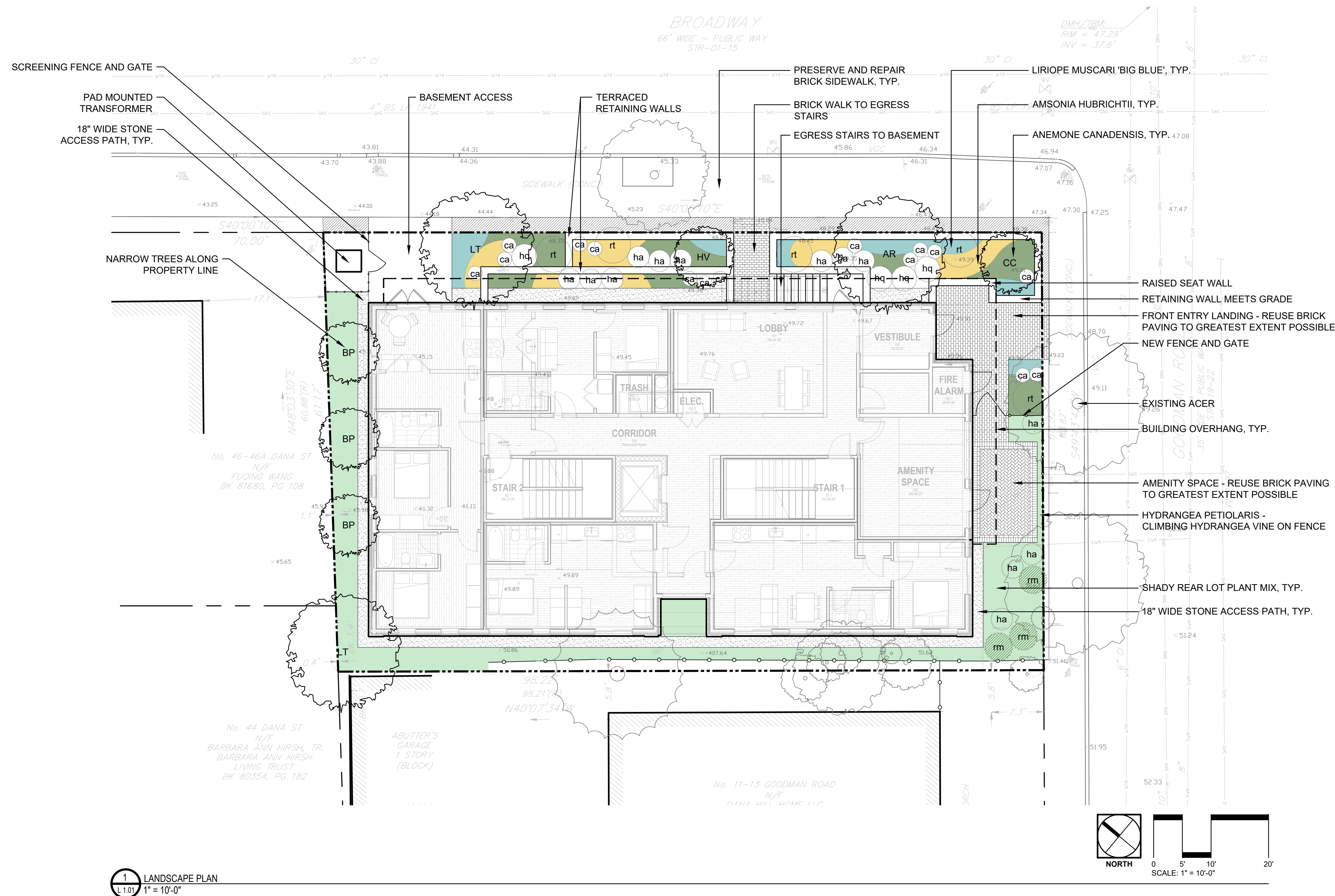
SHEET NUMBER

L 1.01

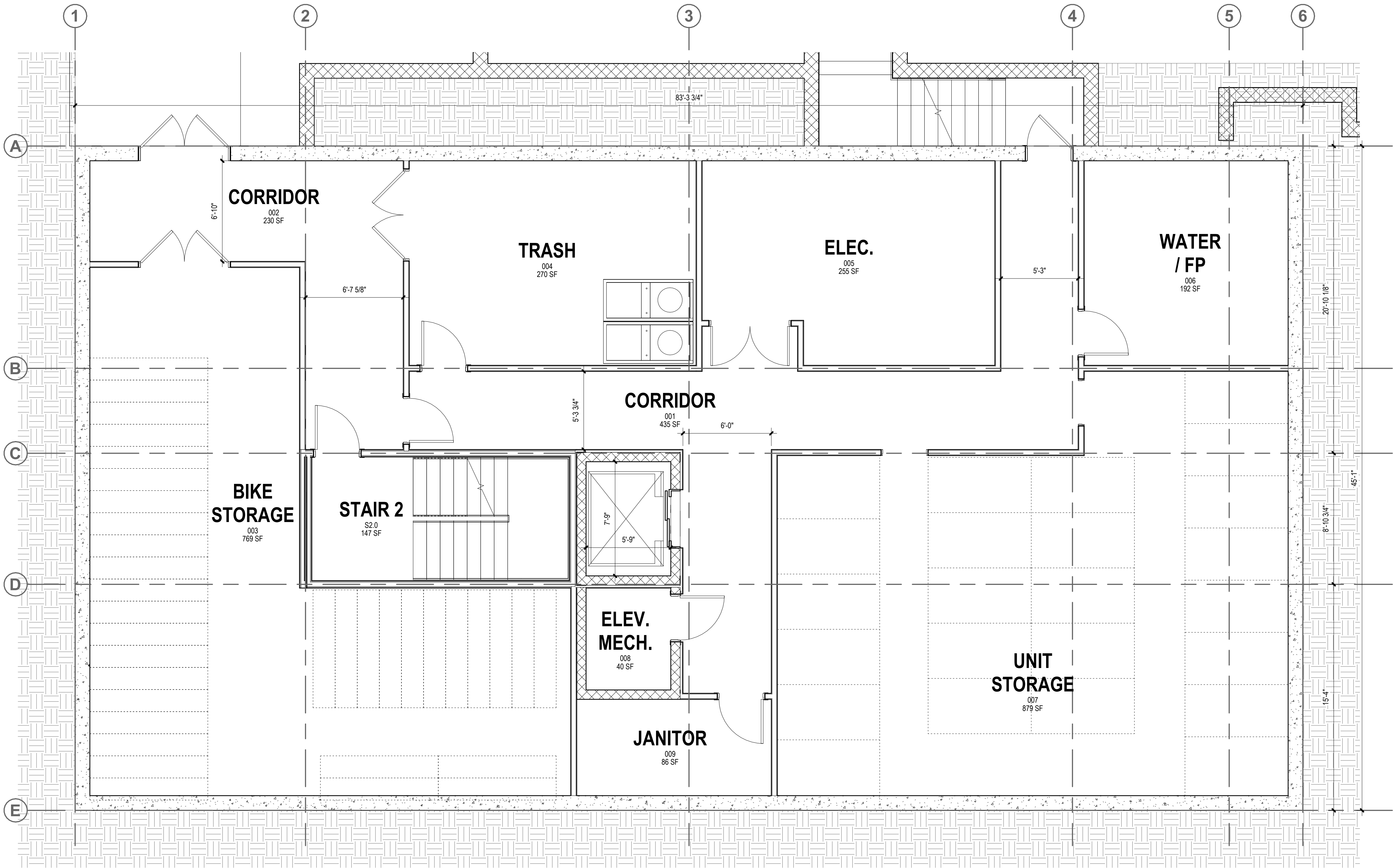
KEY SCIENTIFIC NAME		COMMON NAME
TREES		
AR	ACER RUBRUM 'ARMSTRONG'	RED MAPLE
BP	BETULA POPULIFOLIA	GREY BIRCH
CC	CERCIS CANADENSIS	EASTERN REDBUD
HV	HAMAMELUS VIRGINIANA	WITCH HAZEL
LT	LIPODENDRON TULIPIFERA	TULIP TREE
SHRUBS		
ca	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SWEET PEPPERBUSH
ha	HYDRANGEA ARBORESCENS 'HAAS HALO'	SMOOTH HYDRANGEA
h	HYDRANGEA PETIOLARIS	CLIMBING HYDRANGEA
h	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	OAKLEAF HYDRANGEA
rm	RHODODENDRON MAXIMUM 'ALBUM'	ROSEBAY RHODODENDRON
rt	RHUS TYPHINA 'TIGER EYES'	STAGHORN SUMAC

KEY SCIENTIFIC NAME		COMMON NAME
PERENNIALS		
	AMSONIA HUBRICHTII	BLUESTAR
	ANEMONE CANADENSIS	WINDFLOWER
	LIRIOPE MORROW 'BIG BLUE'	LILYTURF
SPRING BULBS		
	ALLIUM ATROPURPUREUM	ORNAMENTAL ONION
	ALLIUM "PURPLE RAIN"	ORNAMENTAL ONION
	HYACINTHOIDES HISPANICA	SPANISH BLUEBELLS
	MUSCARI ARMENIACUM	GRAPE HYACINTH
	NARCISSUS "PUEBLO"	DAFFODIL
	NARCISSUS "THALIA"	DAFFODIL

KEY SCIENTIFIC NAME		COMMON NAME
FRONT YARD PLANTING MIX		
	PERENNIALS	
	AGERATINA ALTISSIMA	WHITE SNAKEROOT
	DENNSTAEDIA PUNCTILOBULA	HAYSCENTED FERN
	DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN
	EURYBIA DIVARICATA	WHITE WOOD ASTER
	MATILECICIA STRUTHAOPTERIS	OSTRICH FERN
	POLYGONATUM BIFLORUM	SMOOTH SOLOMON'S SEAL
	XANTHORHIZA SIMPLICISSIMA	YELLOWROOT



1 LANDSCAPE PLAN
L 1.01 1" = 10'-0"



1 BASEMENT FLOOR PLAN
A 1.00 1/4" = 1'-0"

CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
	NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - CONSTRUCTION

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- SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.
- ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.
- EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.
- COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS.
- PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS.
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KEY NOTES_PROPOSED PLAN

S&J BROADWAY REALTY

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PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway
Cambridge, MA 02139

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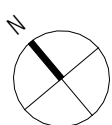
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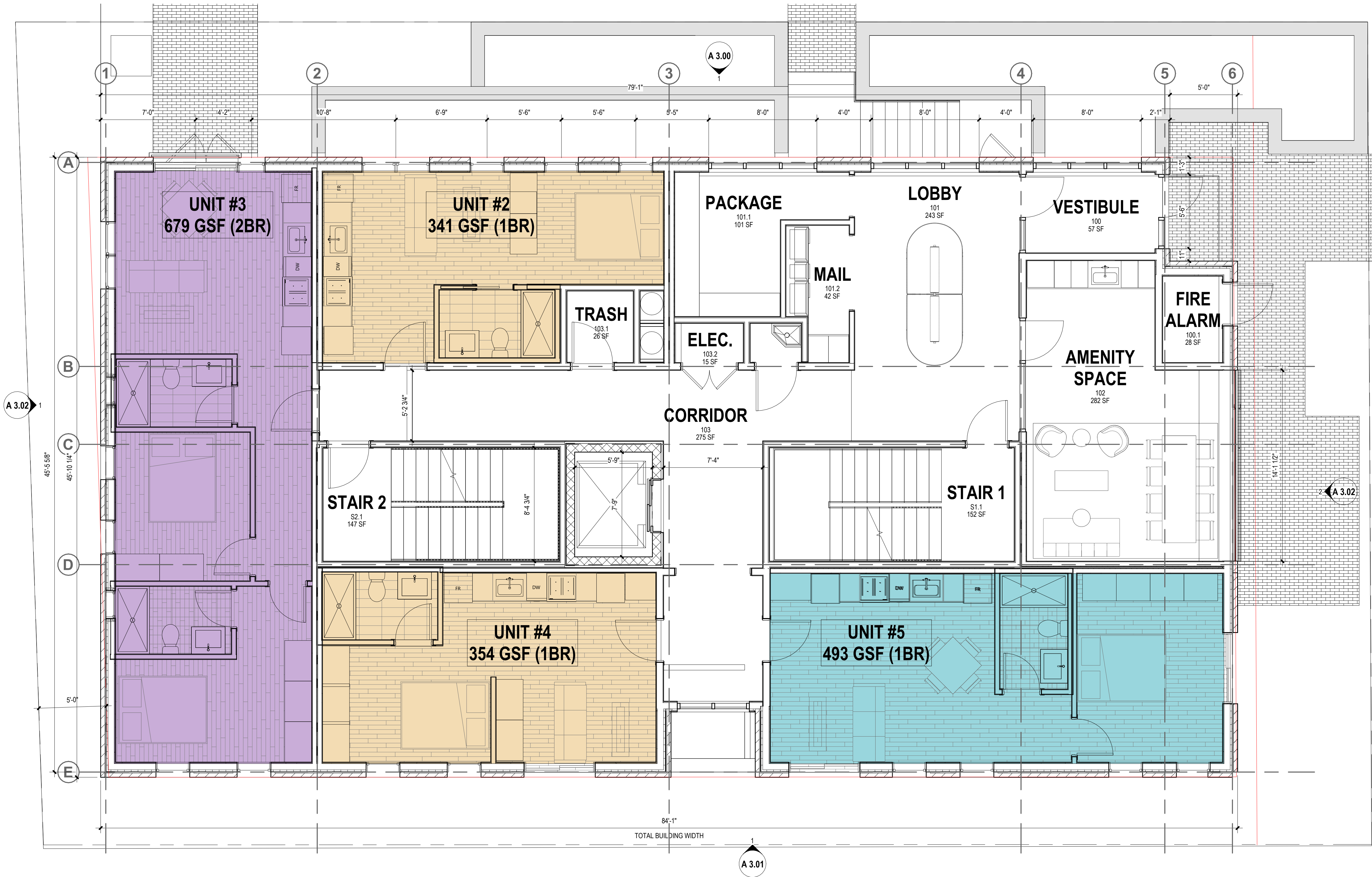
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		SHEET NAME

BASEMENT FLOOR PLAN

SHEET NUMBER

A 1.00





1 GROUND FLOOR PLAN
A 1.01 1/4" = 1'-0"

CONSTRUCTION LEGEND

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GROUND FLOOR PLAN

SHEET NUMBER

A 1.01



1 LEVEL 02-05 FLOOR PLAN
A 1.02 1/4" = 1'-0"

CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
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S&J BROADWAY REALTY

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	As indicated	SCALE
		SHEET NAME

LEVEL 02 - 05
FLOOR PLAN

SHEET NUMBER

A 1.02



1 LEVEL 06 FLOOR PLAN
A 1.03 1/4" = 1'-0"

CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
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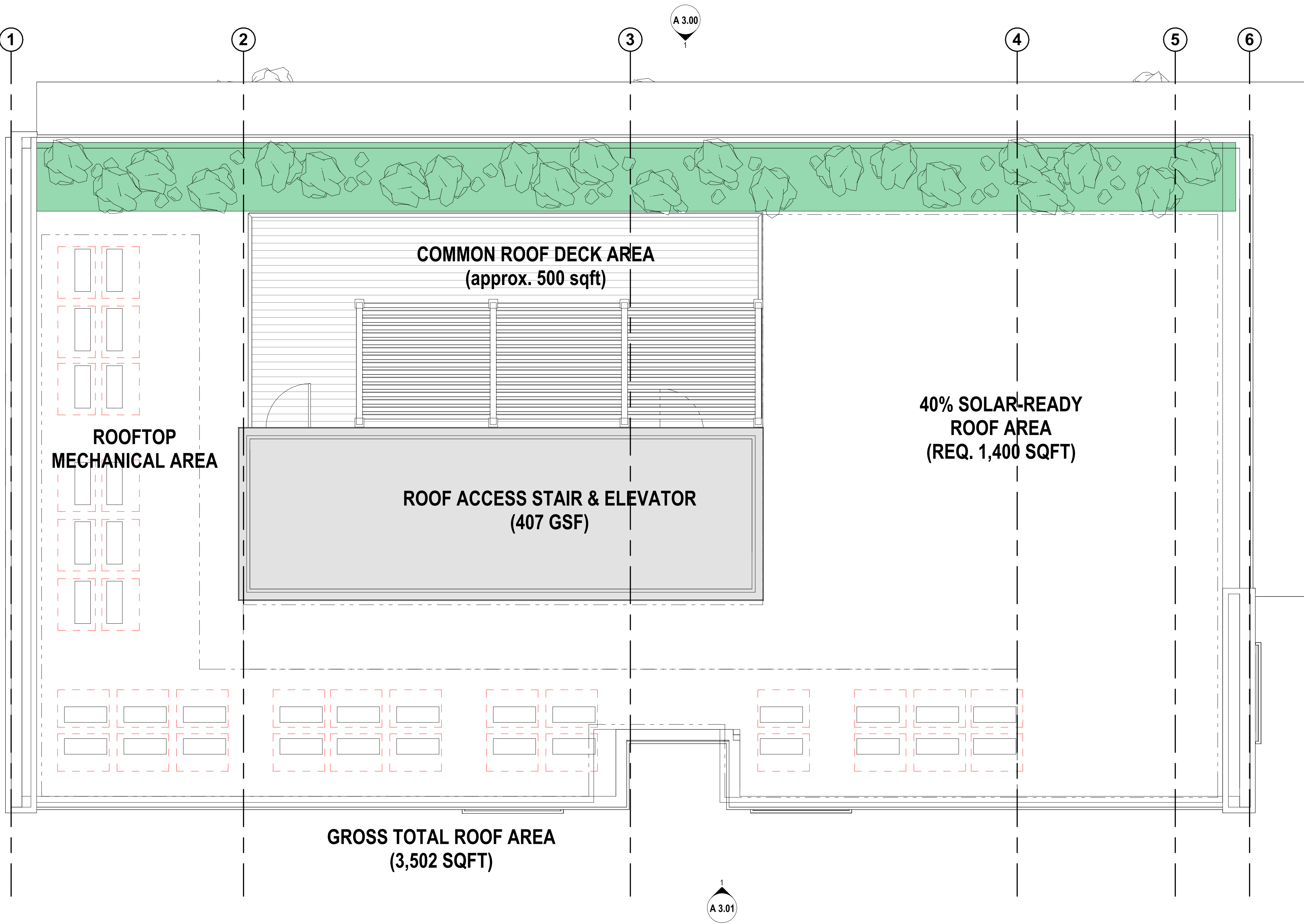
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LEVEL 06 FLOOR PLAN

SHEET NUMBER

A 1.03



1 ROOF PLAN
A 1.04
1/4" = 1'-0"

CONSTRUCTION LEGEND

SYMBOL	DEFINITION
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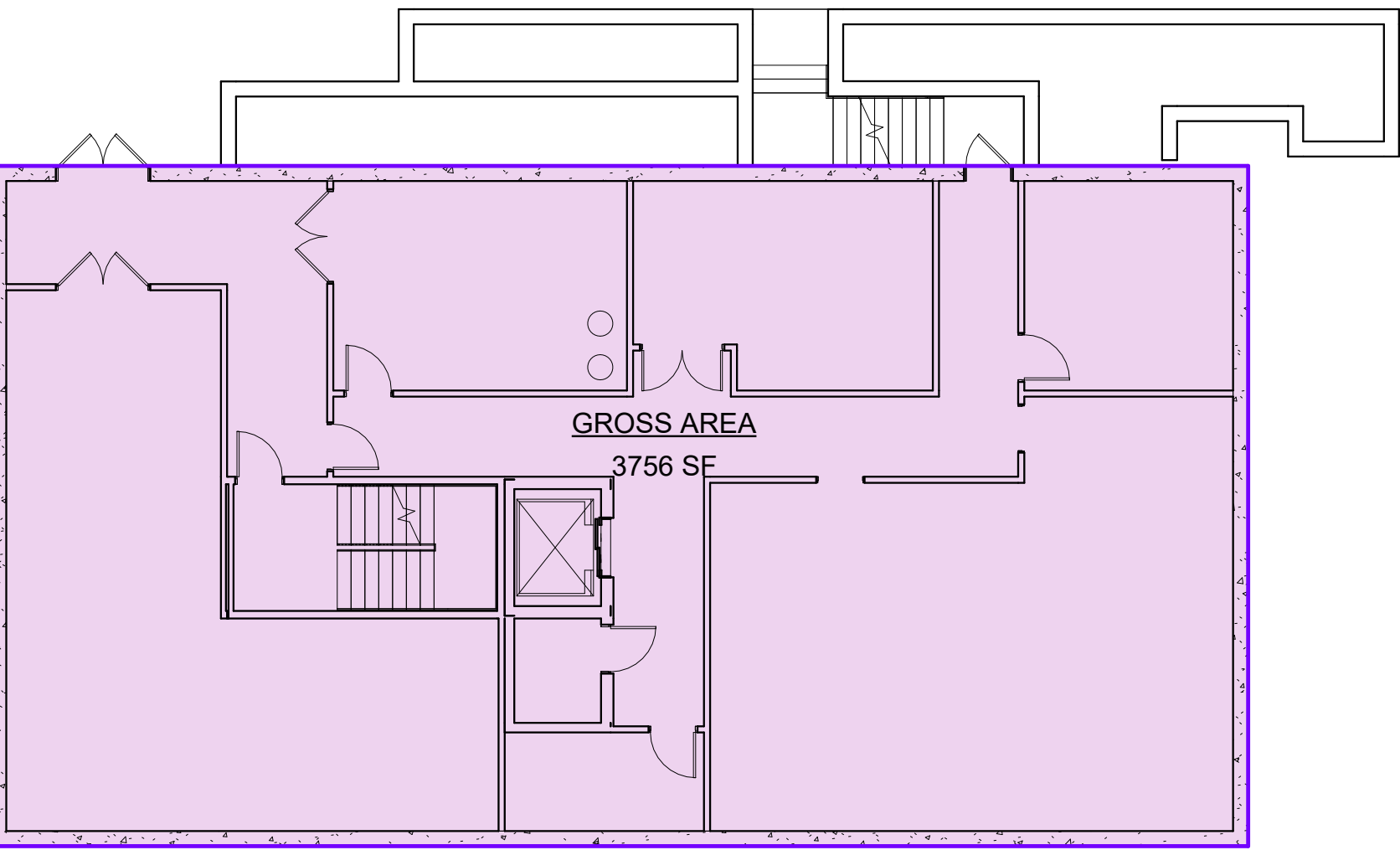
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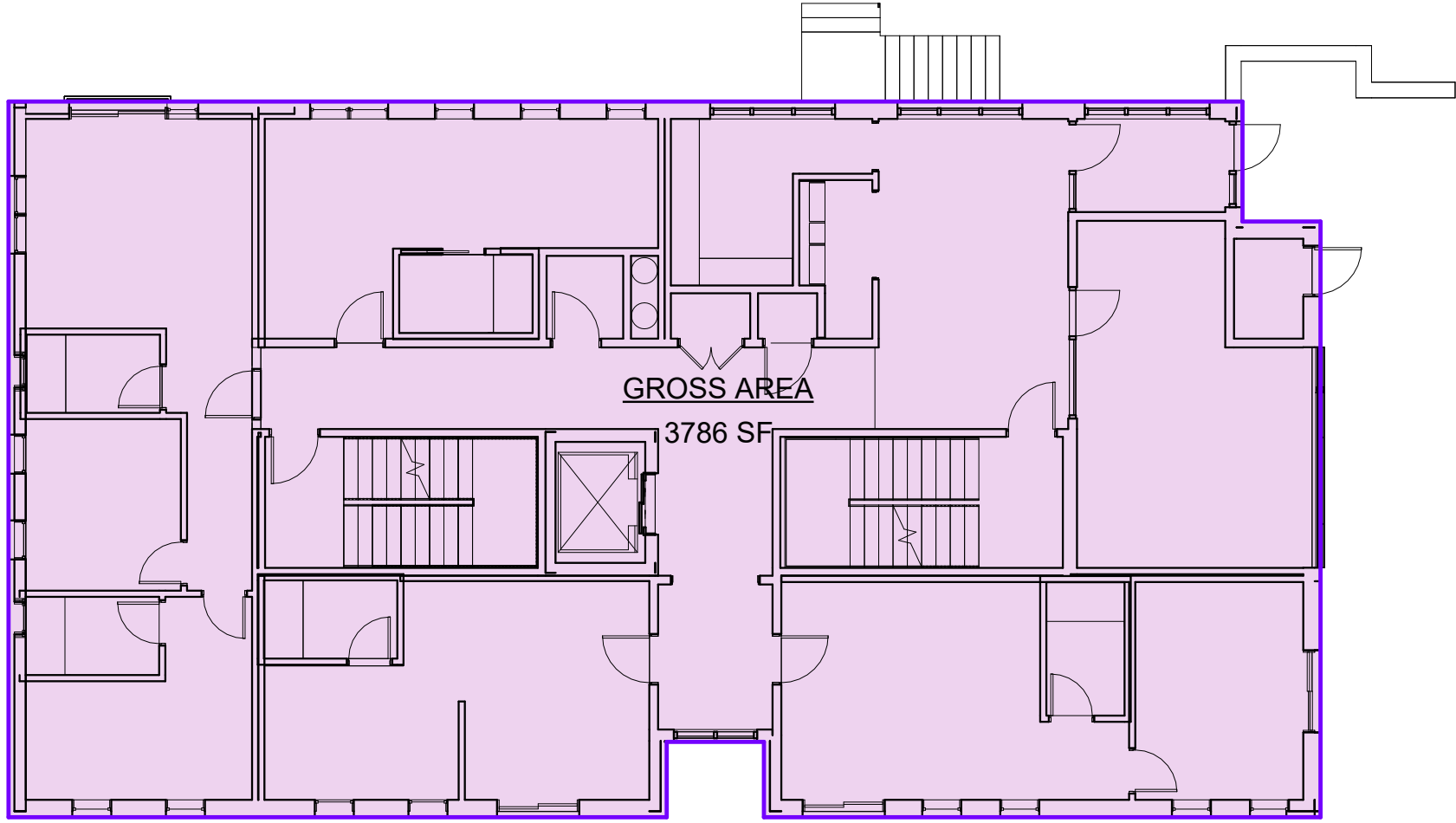
ROOF PLAN

SHEET NUMBER

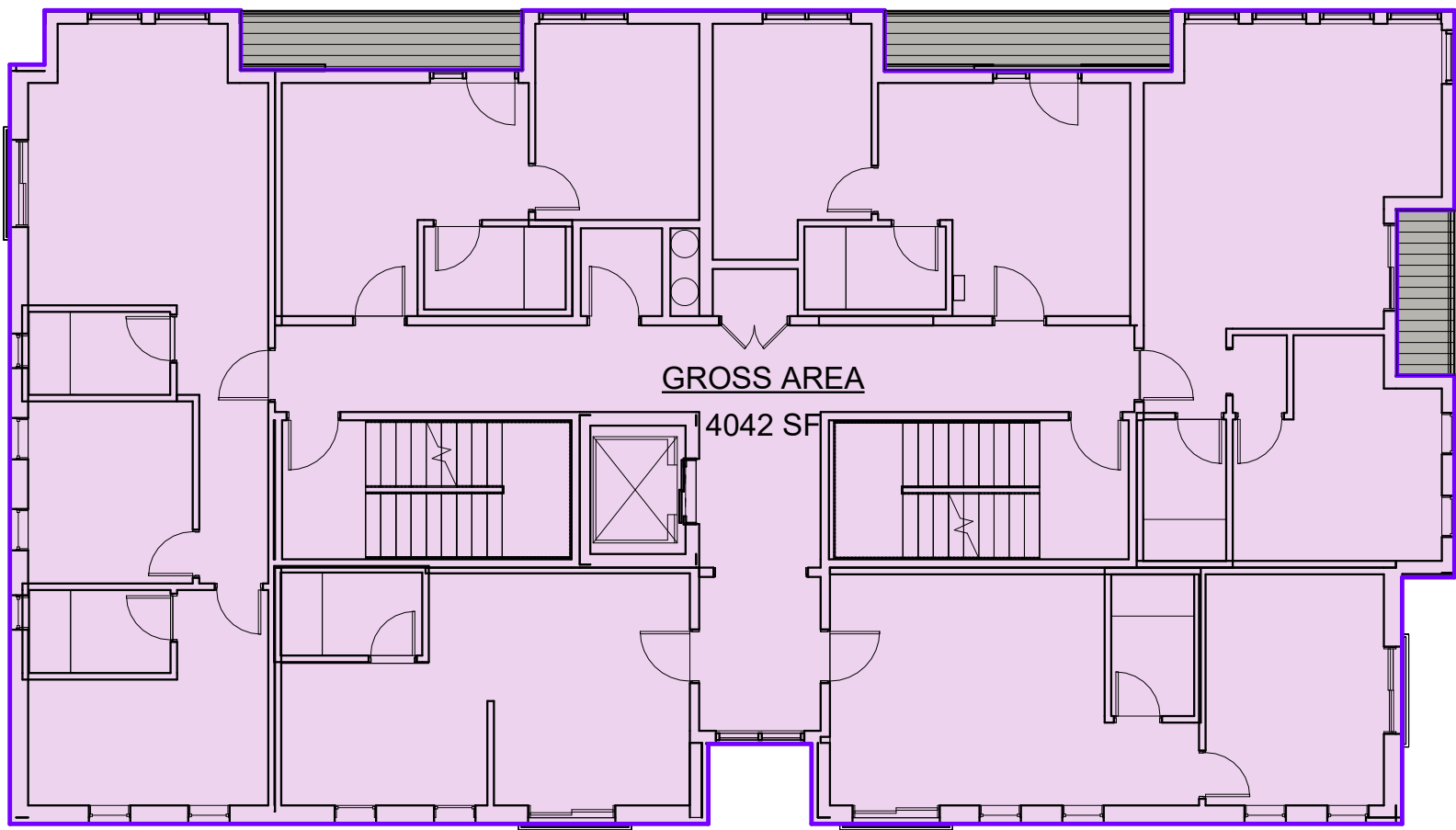
A 1.04



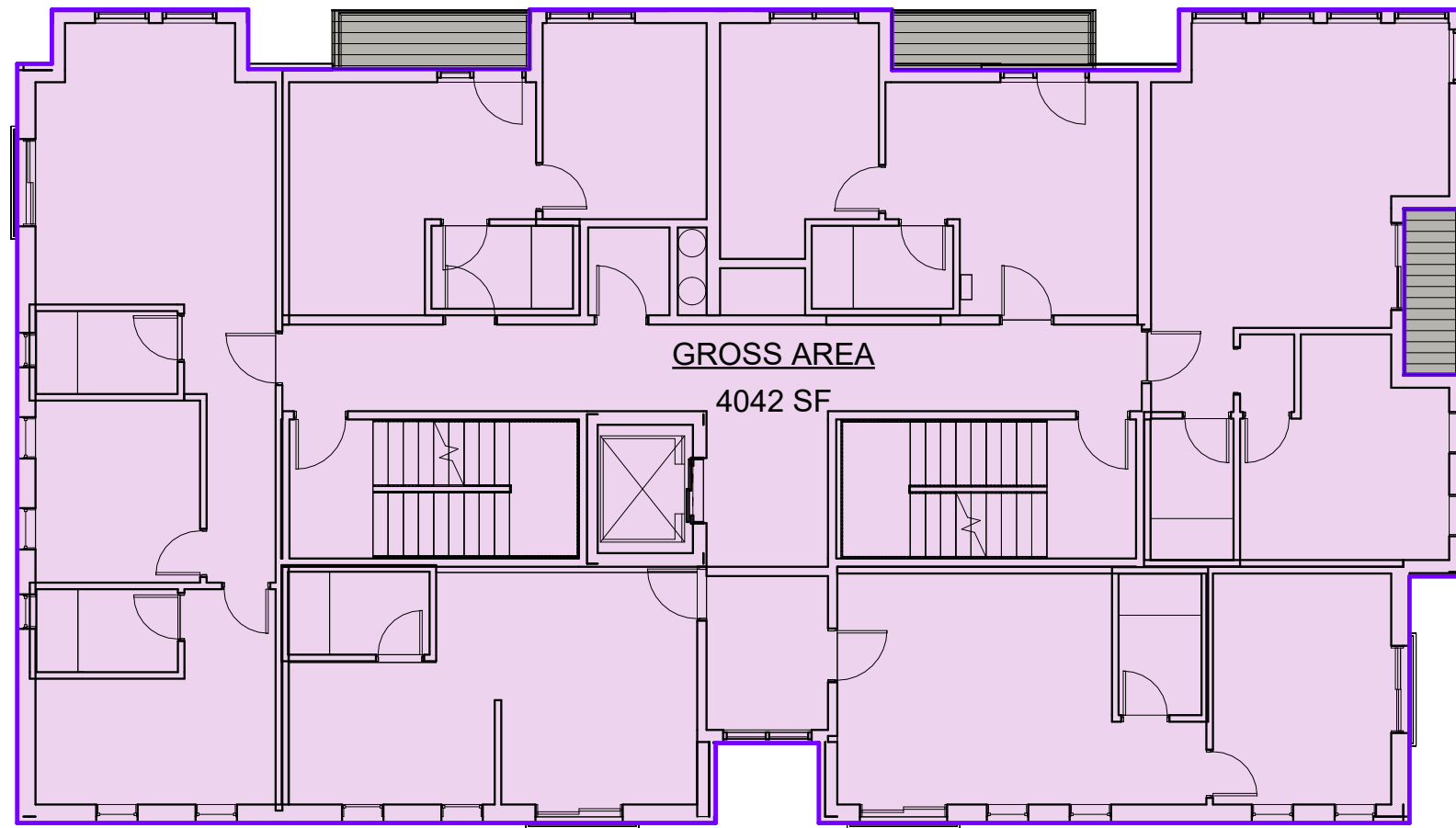
1 BASEMENT
3/32" = 1'-0"



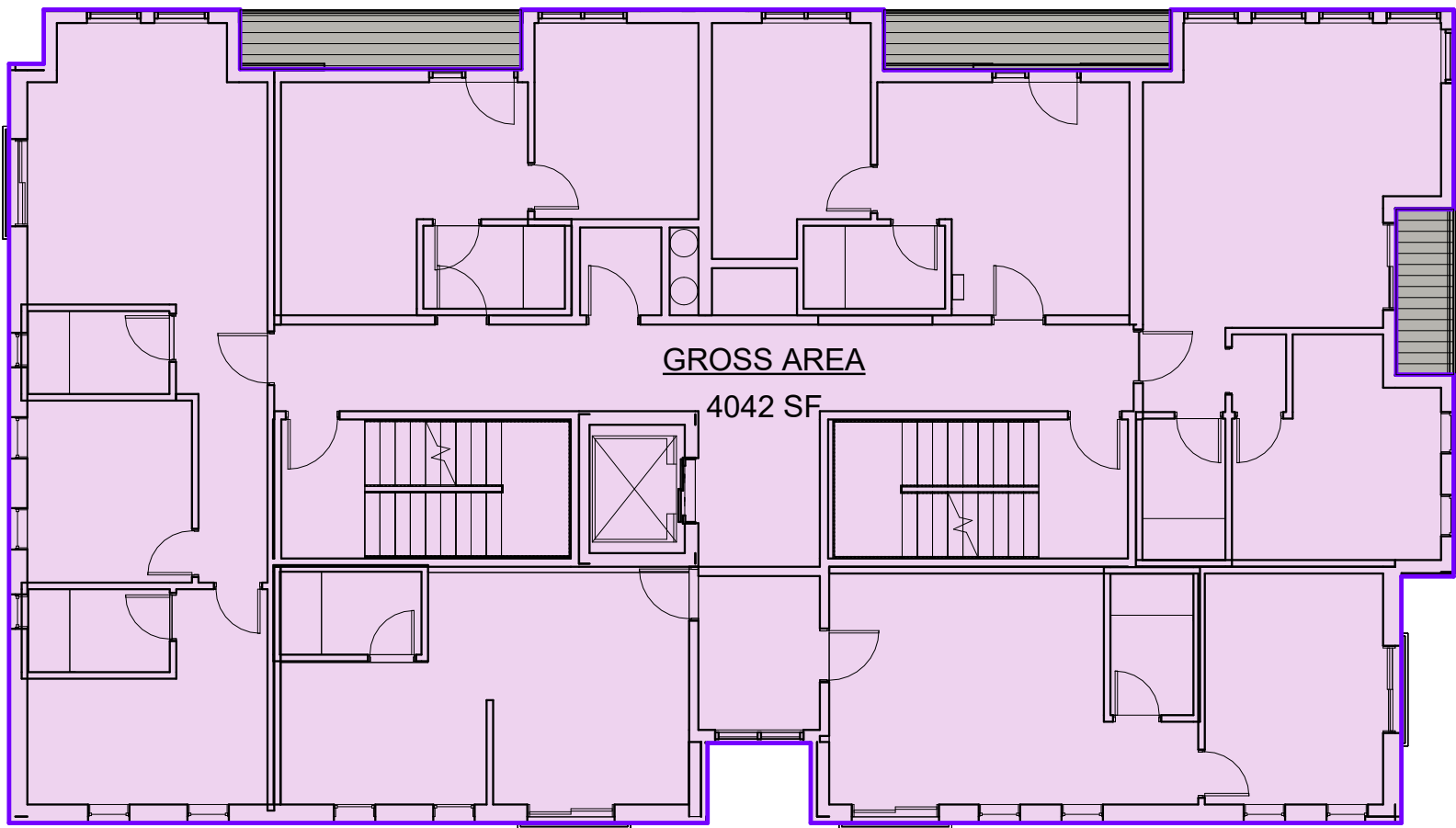
3 1ST FLOOR
3/32" = 1'-0"



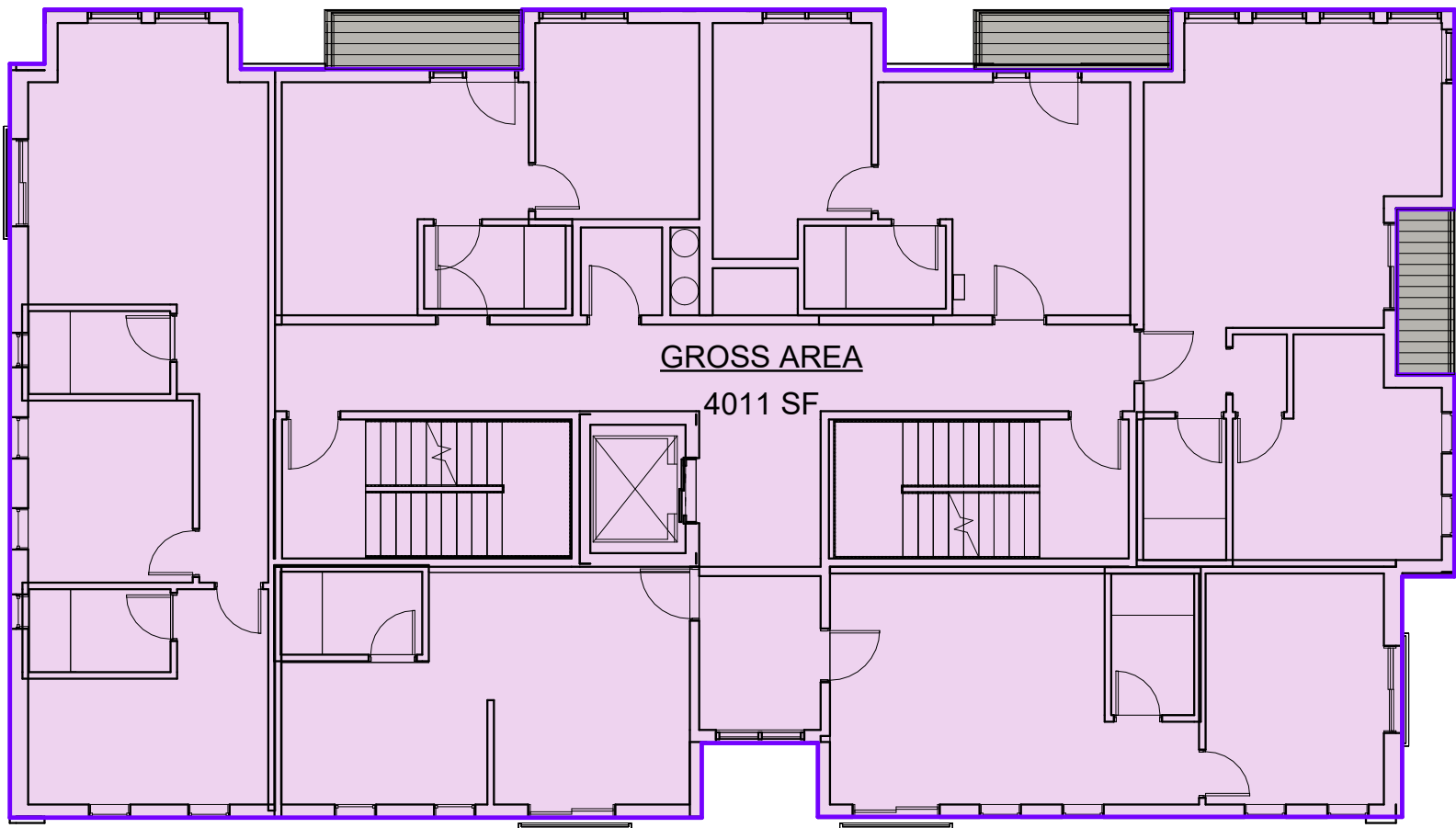
2 2ND FLOOR
3/32" = 1'-0"



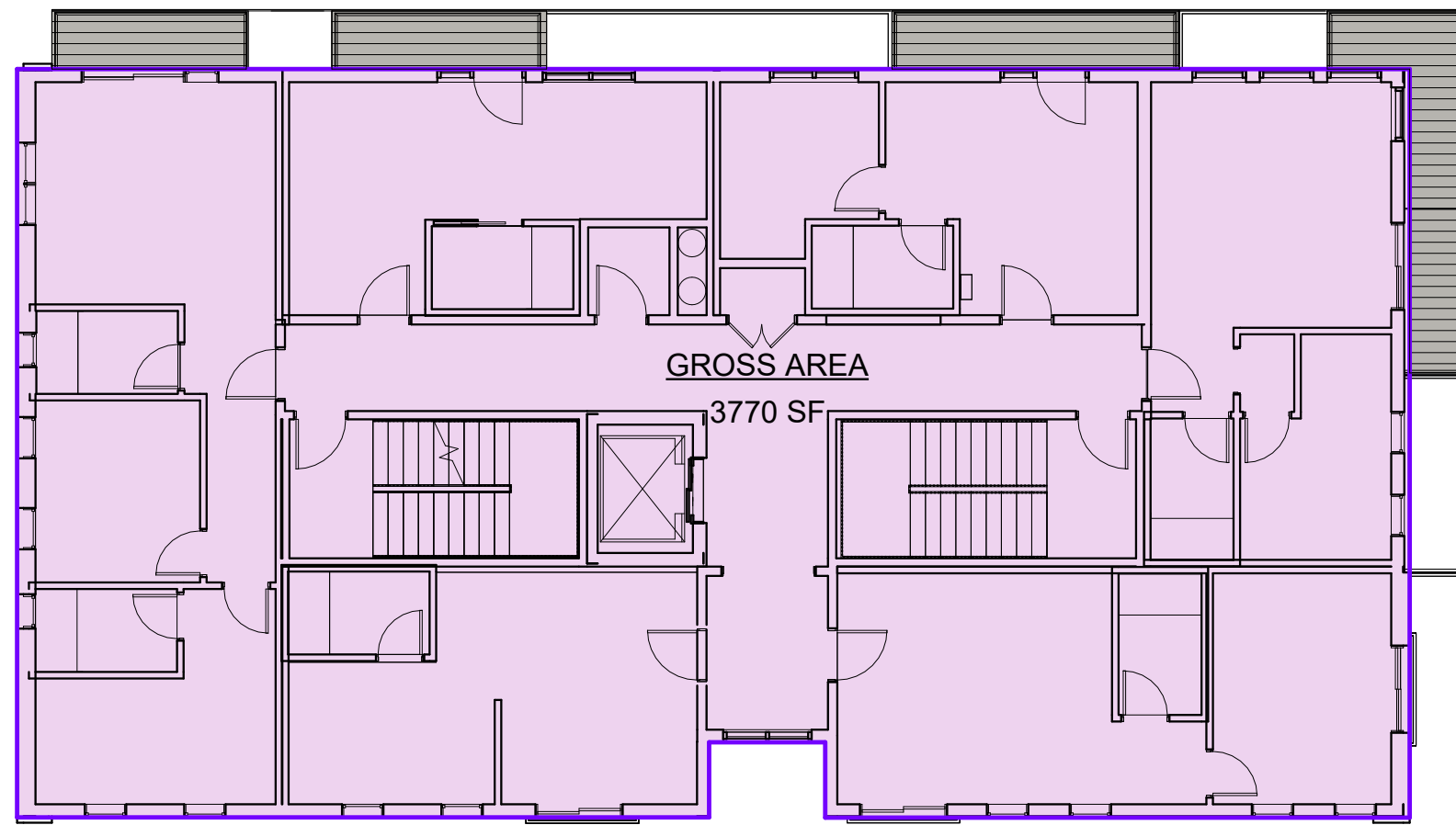
4 3RD FLOOR
3/32" = 1'-0"



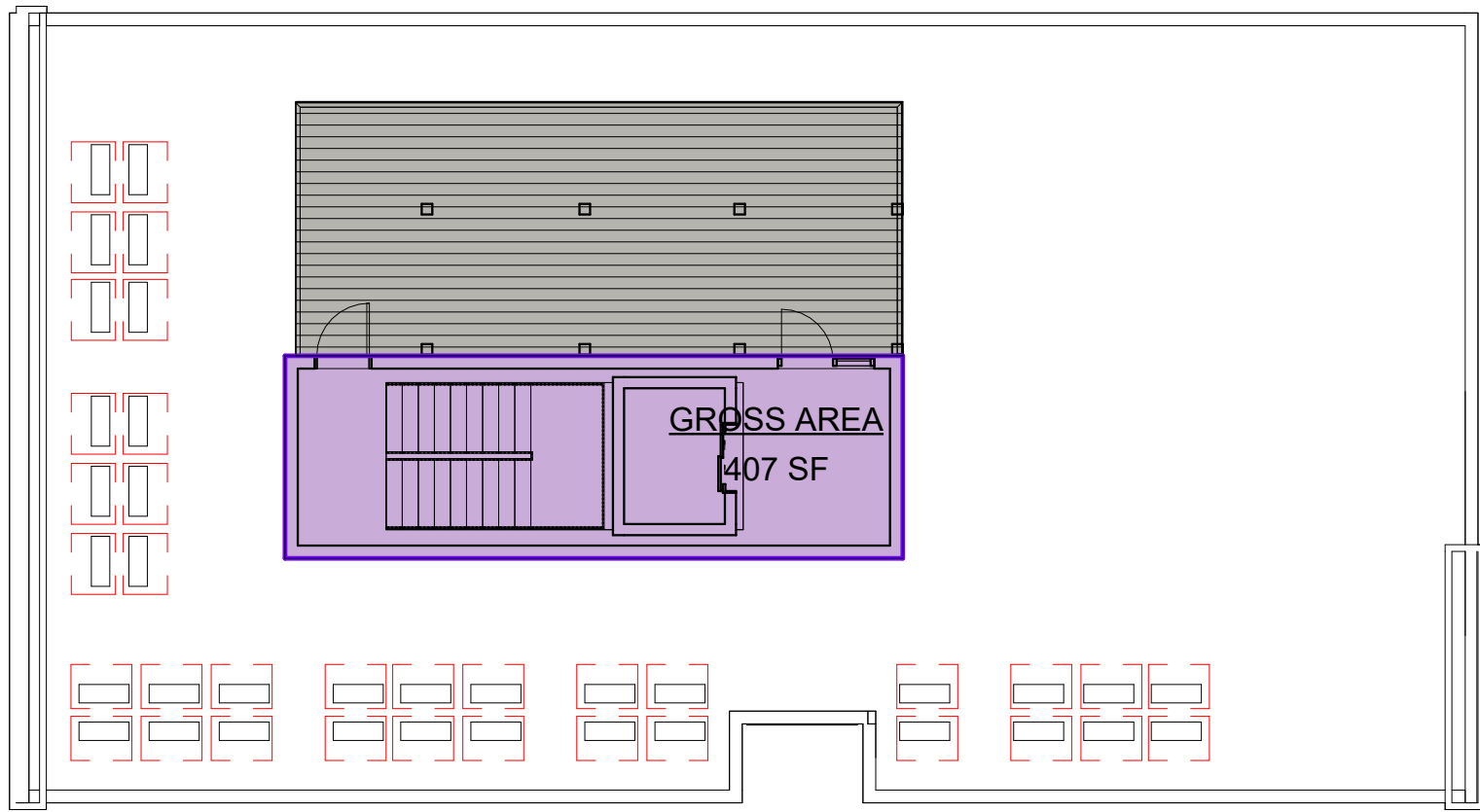
5 4TH FLOOR
3/32" = 1'-0"



6 5TH FLOOR
3/32" = 1'-0"



7 6TH FLOOR
3/32" = 1'-0"



8 ROOF
3/32" = 1'-0"

AREA SCHEDULE-GROSS...	
LEVEL	AREA
Basement	3756 SF
Level 01	3786 SF
Level 02	4042 SF
Level 03	4042 SF
Level 04	4042 SF
Level 05	4011 SF
Level 06	3770 SF
T.O. Roof Structure	407 SF
Grand total:	27856 SF

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406 BROADWAY DEVELOPMENT

406 Broadway
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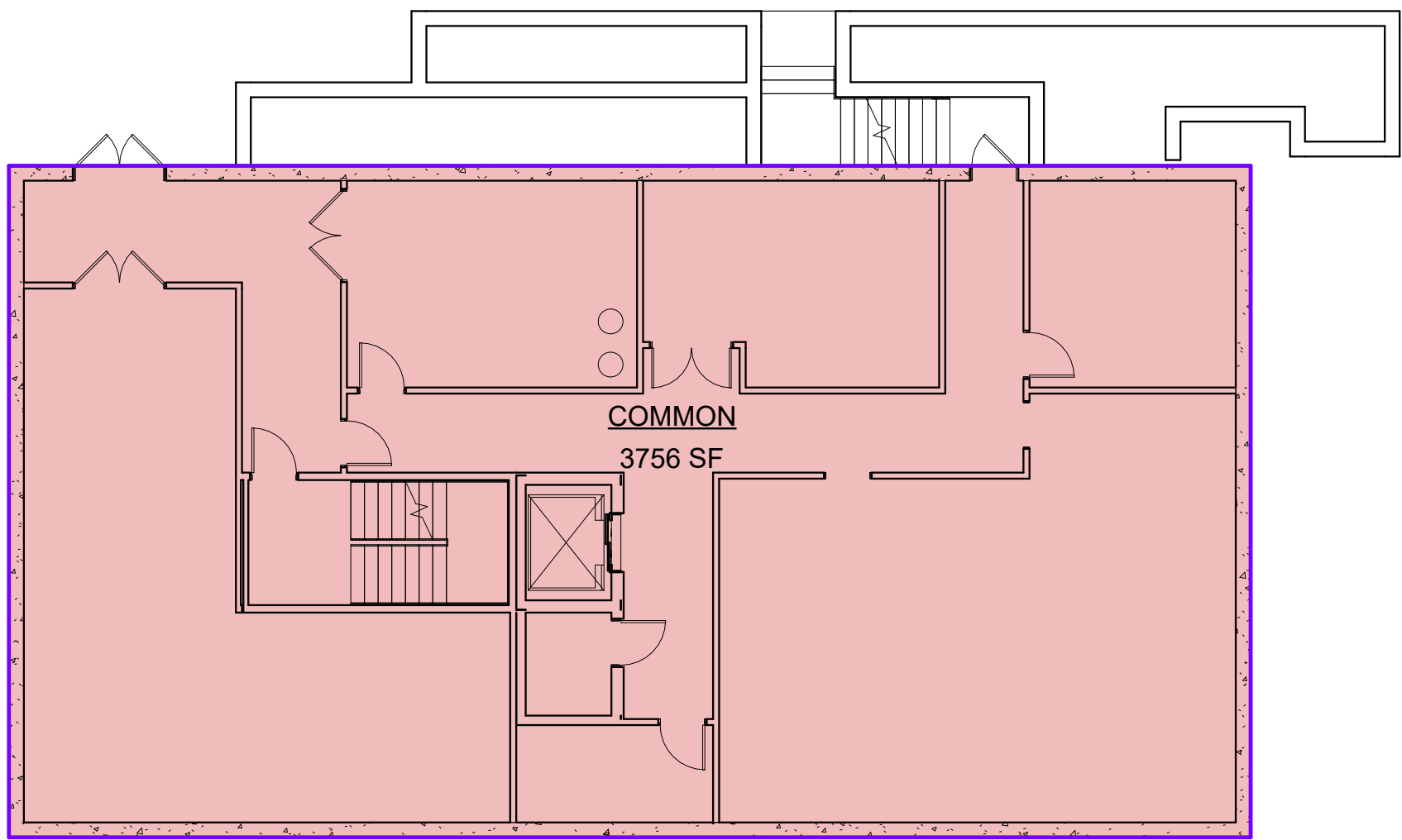
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3/32" = 1'-0"	SCALE	
	SHEET NAME	

AREA PLANS GFA
(PER ZONING)

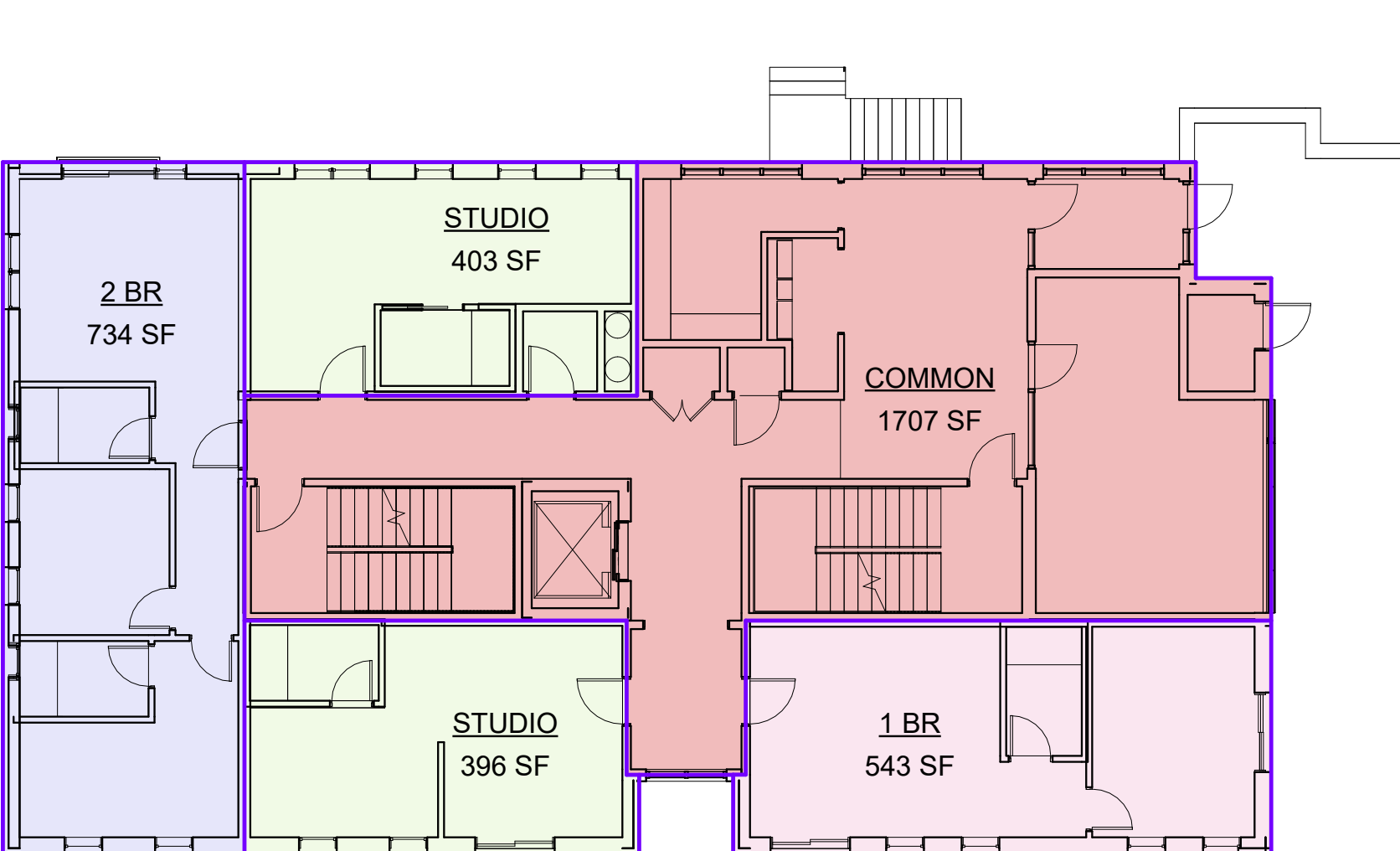
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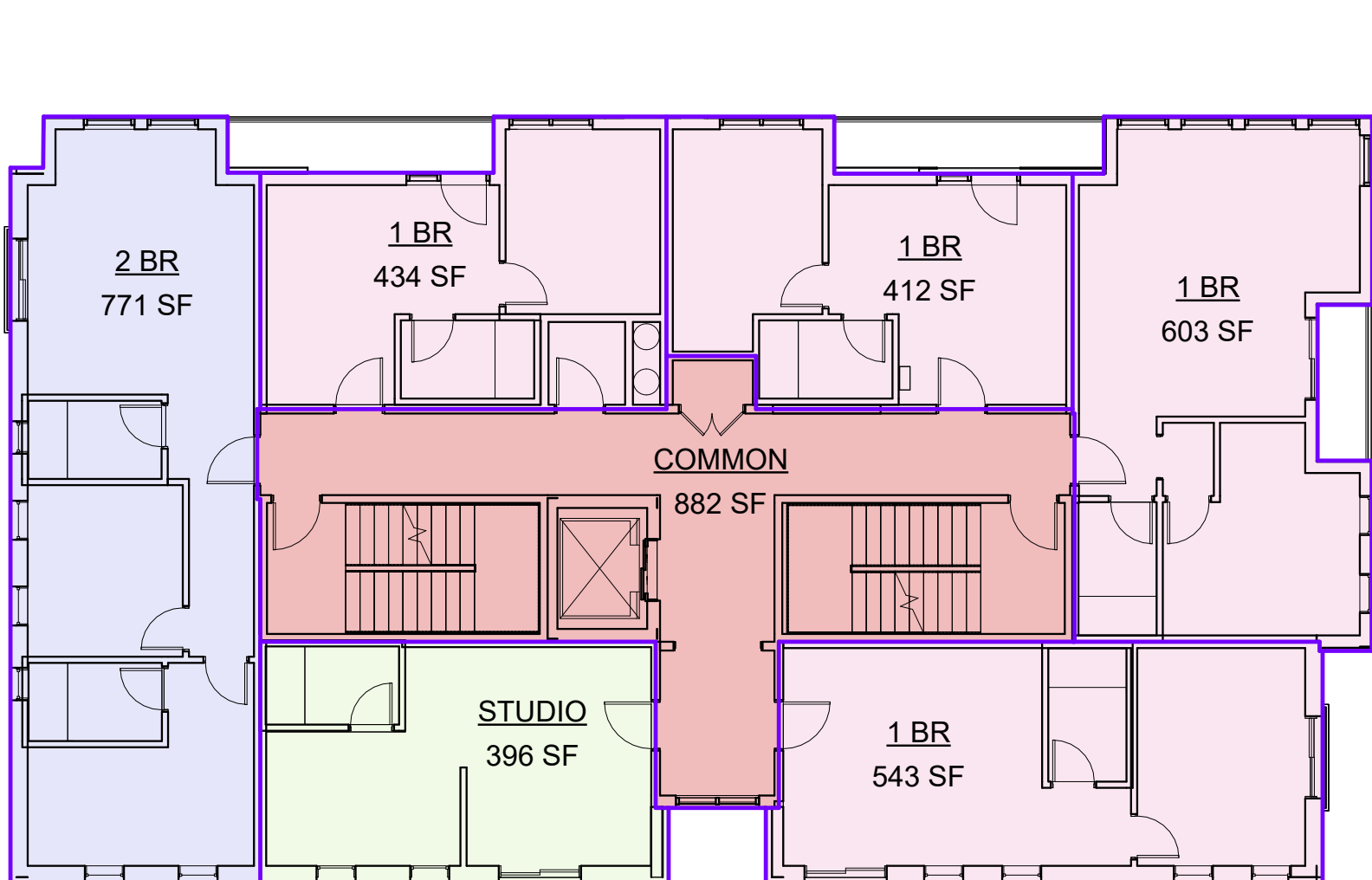
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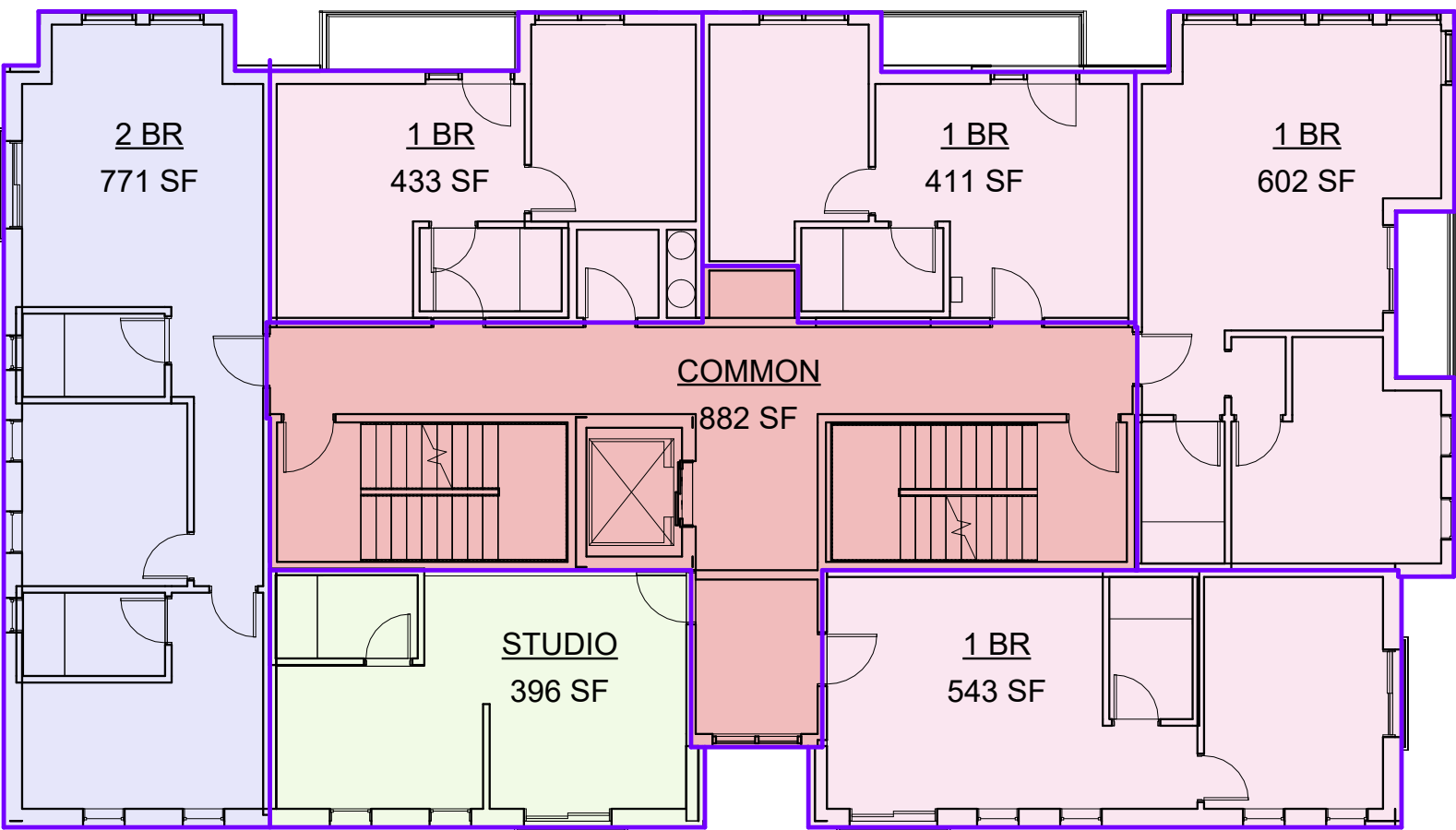
2 BASEMENT
A 1.08 3/32" = 1'-0"



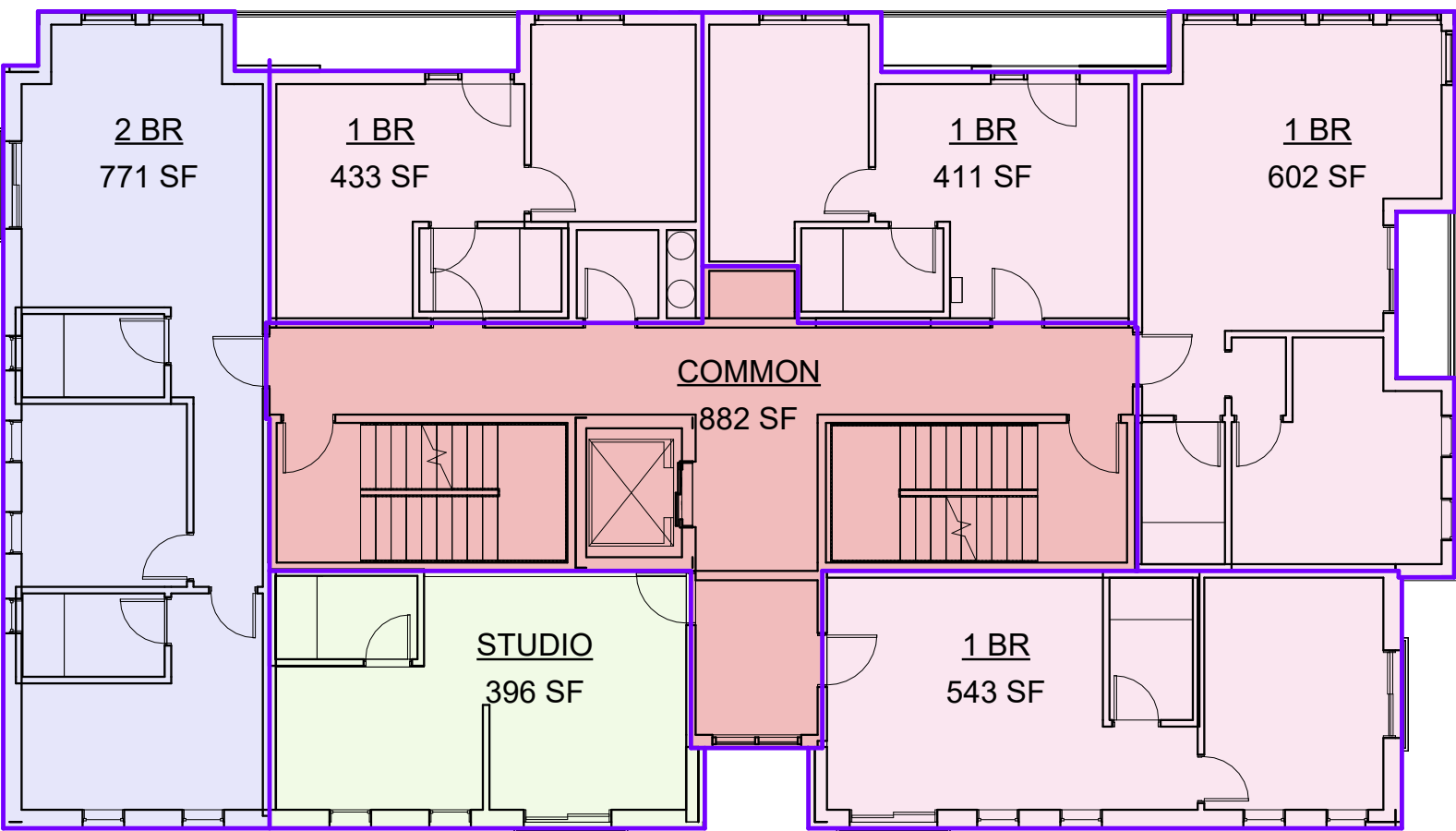
1 1ST FLOOR
A 1.08 3/32" = 1'-0"



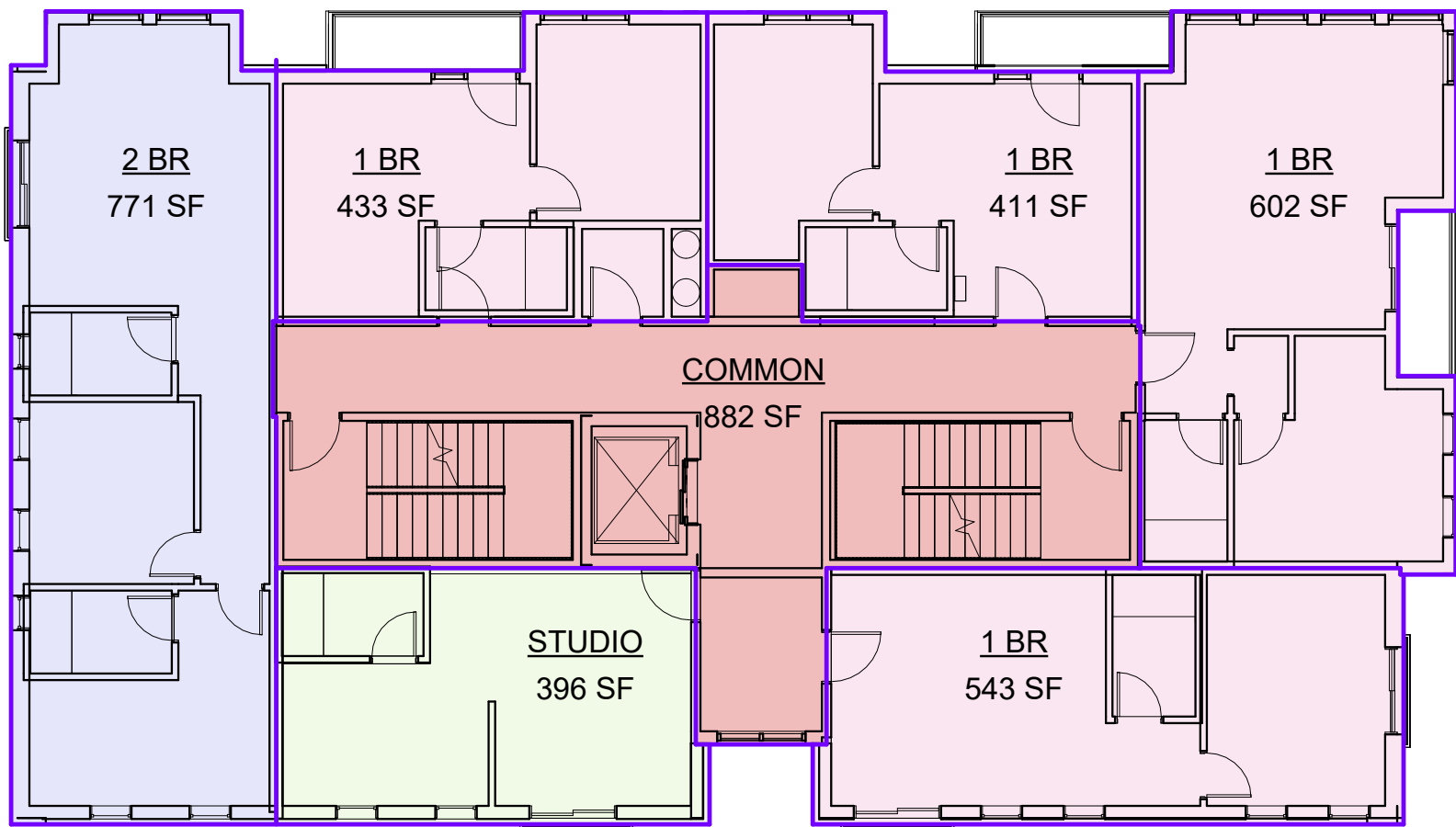
3 2ND FLOOR
A 1.08 3/32" = 1'-0"



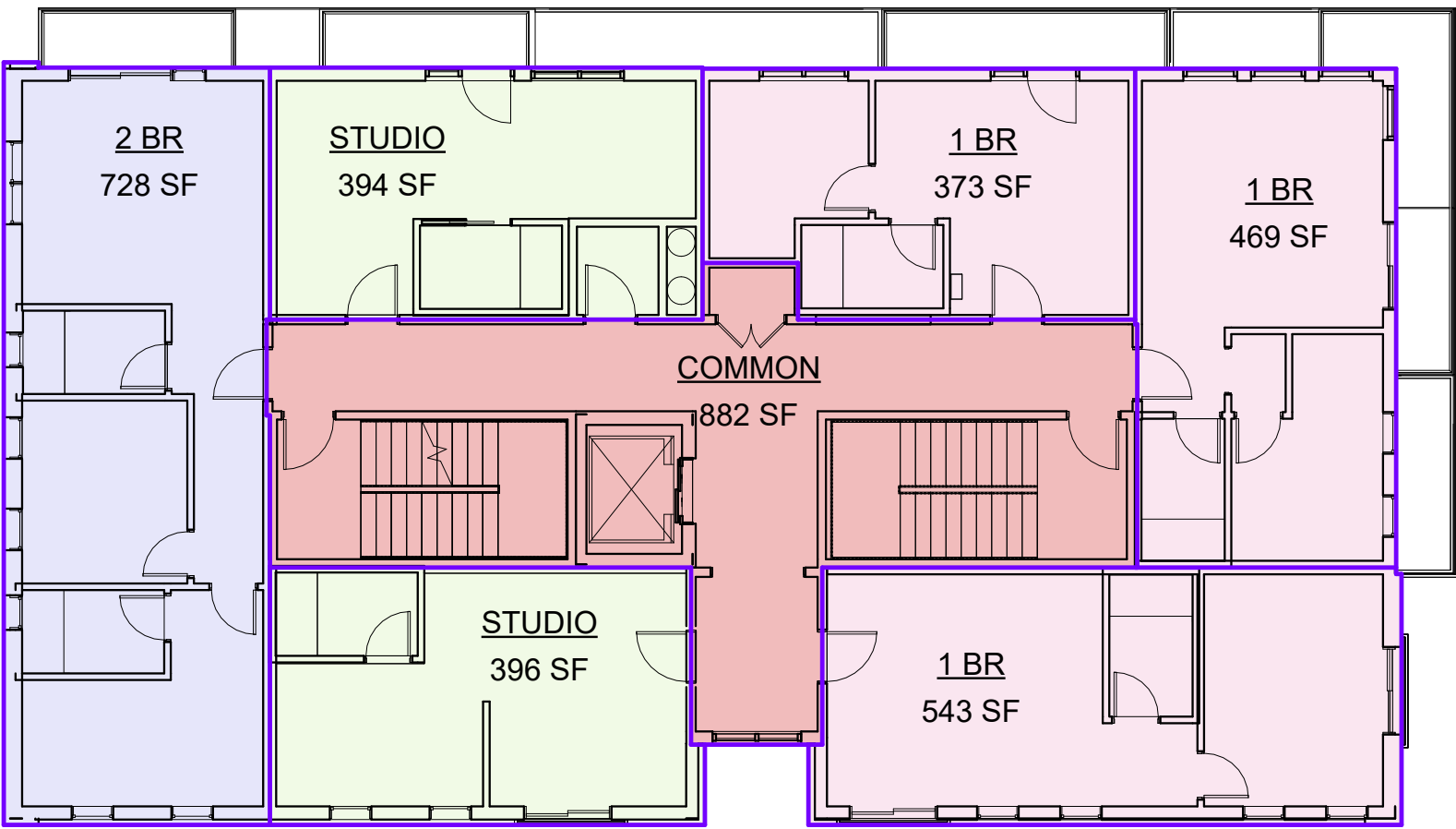
4 3RD FLOOR
A 1.08 3/32" = 1'-0"



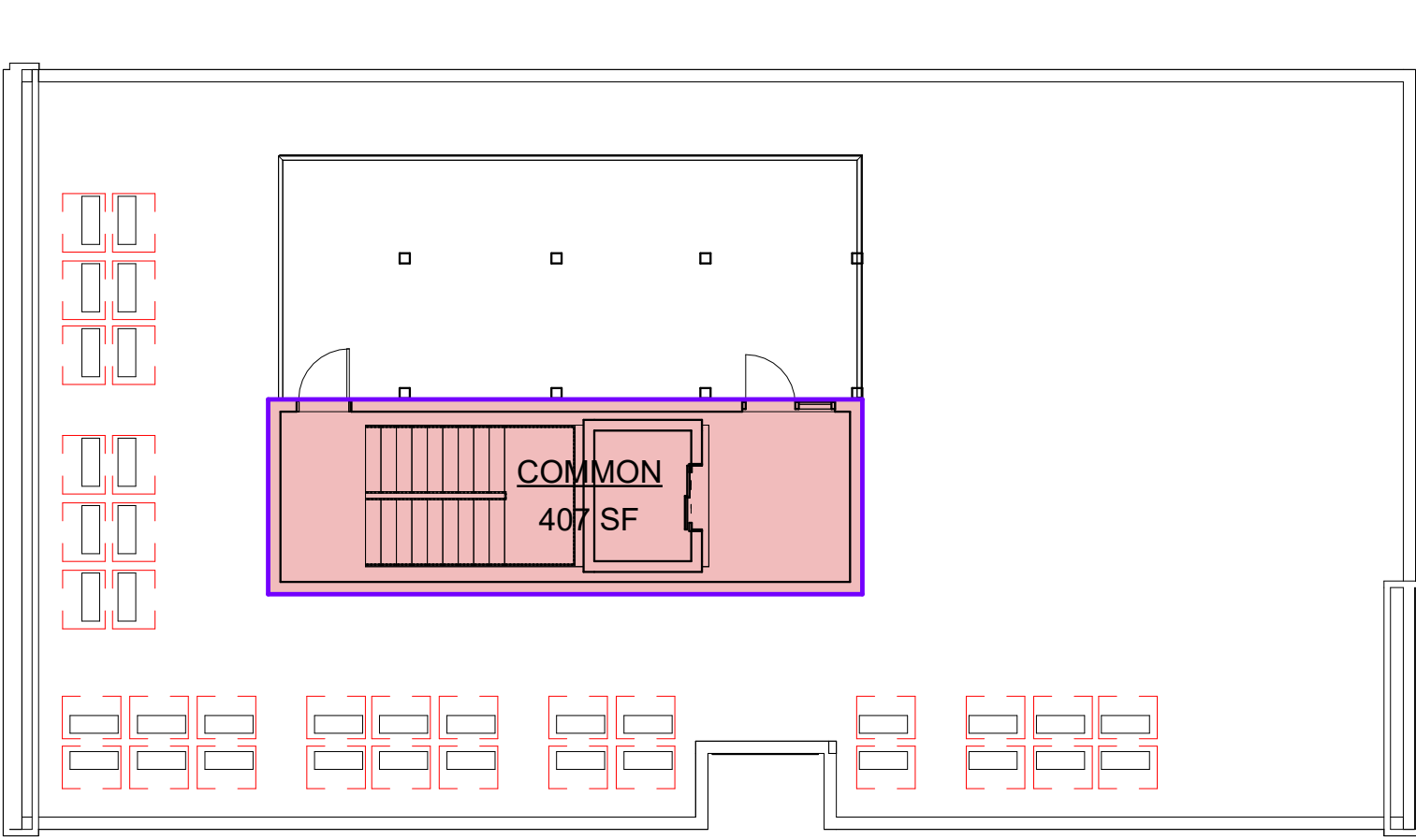
5 4TH FLOOR
A 1.08 3/32" = 1'-0"



6 5TH FLOOR
A 1.08 3/32" = 1'-0"



7 6TH FLOOR
A 1.08 3/32" = 1'-0"



8 ROOF
A 1.08 3/32" = 1'-0"

UNIT GROSS AREA SCHEDULE		
Level	Name	Area

Basement	COMMON	3756 SF
----------	--------	---------

Level 01	1 BR	543 SF
Level 01	2 BR	734 SF
Level 01	COMMON	1707 SF
Level 01	STUDIO	403 SF
Level 01	STUDIO	396 SF

Level 02	1 BR	434 SF
Level 02	1 BR	412 SF
Level 02	1 BR	603 SF
Level 02	1 BR	543 SF
Level 02	2 BR	771 SF
Level 02	COMMON	882 SF
Level 02	STUDIO	396 SF

Level 03	1 BR	433 SF
Level 03	1 BR	411 SF
Level 03	1 BR	602 SF
Level 03	1 BR	543 SF
Level 03	2 BR	771 SF
Level 03	COMMON	882 SF
Level 03	STUDIO	396 SF

UNIT GROSS AREA SCHEDULE		
Level	Name	Area

Level 04	1 BR	433 SF
----------	------	--------

Level 04	1 BR	411 SF
Level 04	1 BR	602 SF
Level 04	1 BR	543 SF
Level 04	2 BR	771 SF
Level 04	COMMON	882 SF
Level 04	STUDIO	396 SF

Level 05	1 BR	433 SF
Level 05	1 BR	411 SF
Level 05	1 BR	602 SF
Level 05	1 BR	543 SF
Level 05	2 BR	771 SF
Level 05	COMMON	882 SF
Level 05	STUDIO	396 SF

Level 06	1 BR	373 SF
Level 06	1 BR	469 SF
Level 06	1 BR	543 SF
Level 06	2 BR	728 SF
Level 06	COMMON	882 SF
Level 06	STUDIO	394 SF
Level 06	STUDIO	396 SF

T.O. Roof Structure	COMMON	407 SF
---------------------	--------	--------

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		SHEET NAME

UNIT AREA PLANS

SHEET NUMBER

A 1.08



T.O. Roof Structure
65' - 10"

11'-3"

Level 06
54' - 2"

10'-8"

Level 05
43' - 6"

10'-8"

Level 04
32' - 10"

10'-8"

Level 03
22' - 2"

10'-8"

Level 02
11' - 6"

11'-6"

Level 01
0' - 0"

1 REAR ELEVATION - SOUTH
A 3.01 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND

- BRICK - BLACK
- BRICK - NATURAL
- WOOD - ALUM. PLANK CLADDING (VERTICAL)
- METAL - ALUM. TRIM (MATTE)
- SIDING - COMPOSITE LAP SIDING - GRAY (HORIZONTAL)
- SIDING - COMPOSITE LAP SIDING - CHARCOAL (HORIZONTAL)
- GLAZING - STOREFRONT & GLASS RAILING

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	As indicated	SCALE
		SHEET NAME

EXTERIOR ELEVATIONS

SHEET NUMBER

A 3.01



EXTERIOR MATERIAL LEGEND

- BRICK - BLACK
- BRICK - NATURAL
- WOOD - ALUM. PLANK CLADDING (VERTICAL)
- METAL - ALUM. TRIM (MATTE)
- SIDING - COMPOSITE LAP SIDING - GRAY (HORIZONTAL)
- SIDING - COMPOSITE LAP SIDING - CHARCOAL (HORIZONTAL)
- GLAZING - STOREFRONT & GLASS RAILING

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EXTERIOR ELEVATIONS

SHEET NUMBER

A 3.00



1 SIDE ELEVATION - WEST
1/4" = 1'-0"

2 GOODMAN RD ELEVATION - EAST
1/4" = 1'-0"

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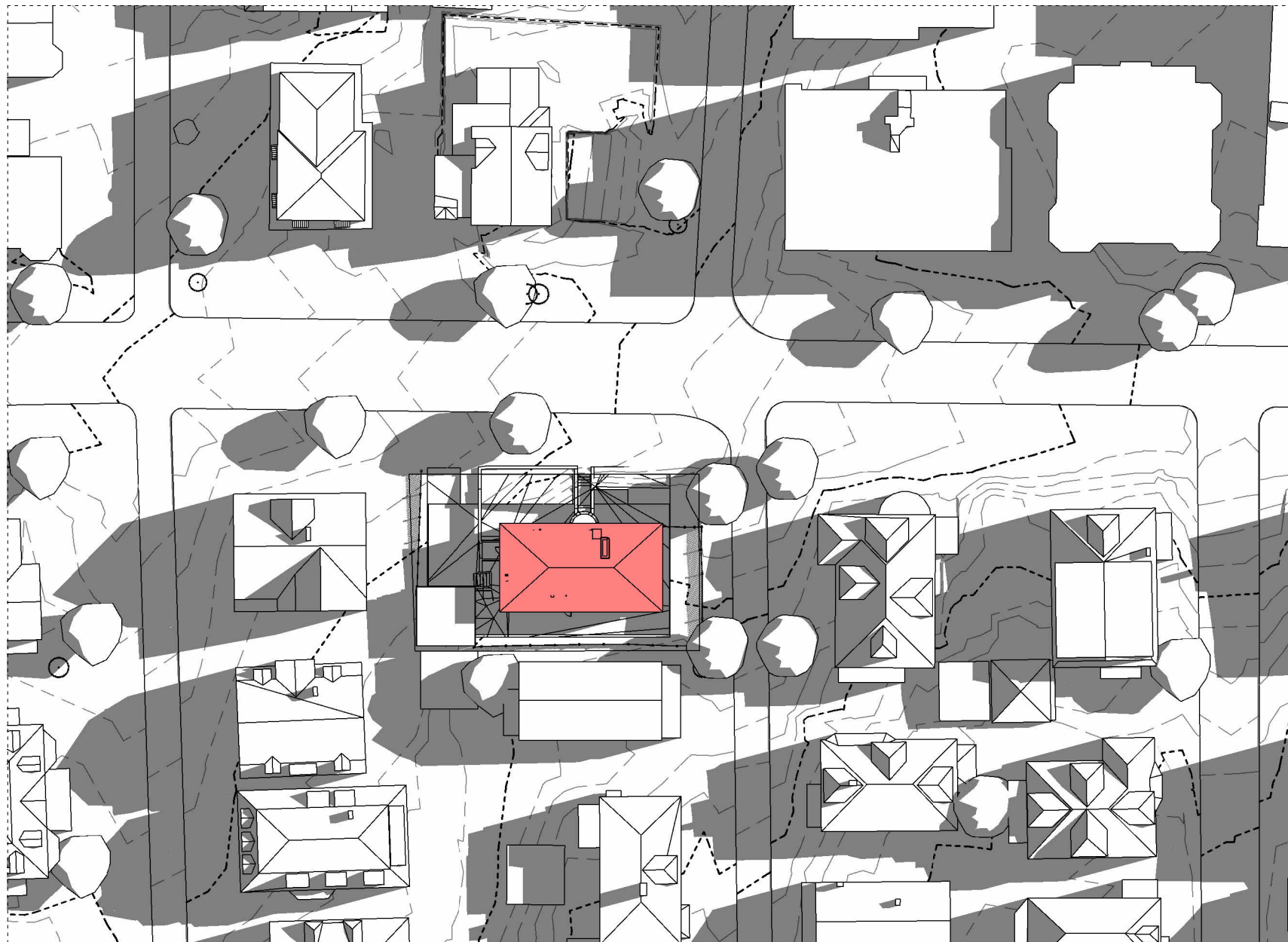
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	Approver	APPROVED
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	SHEET NAME	

EXTERIOR
ELEVATIONS

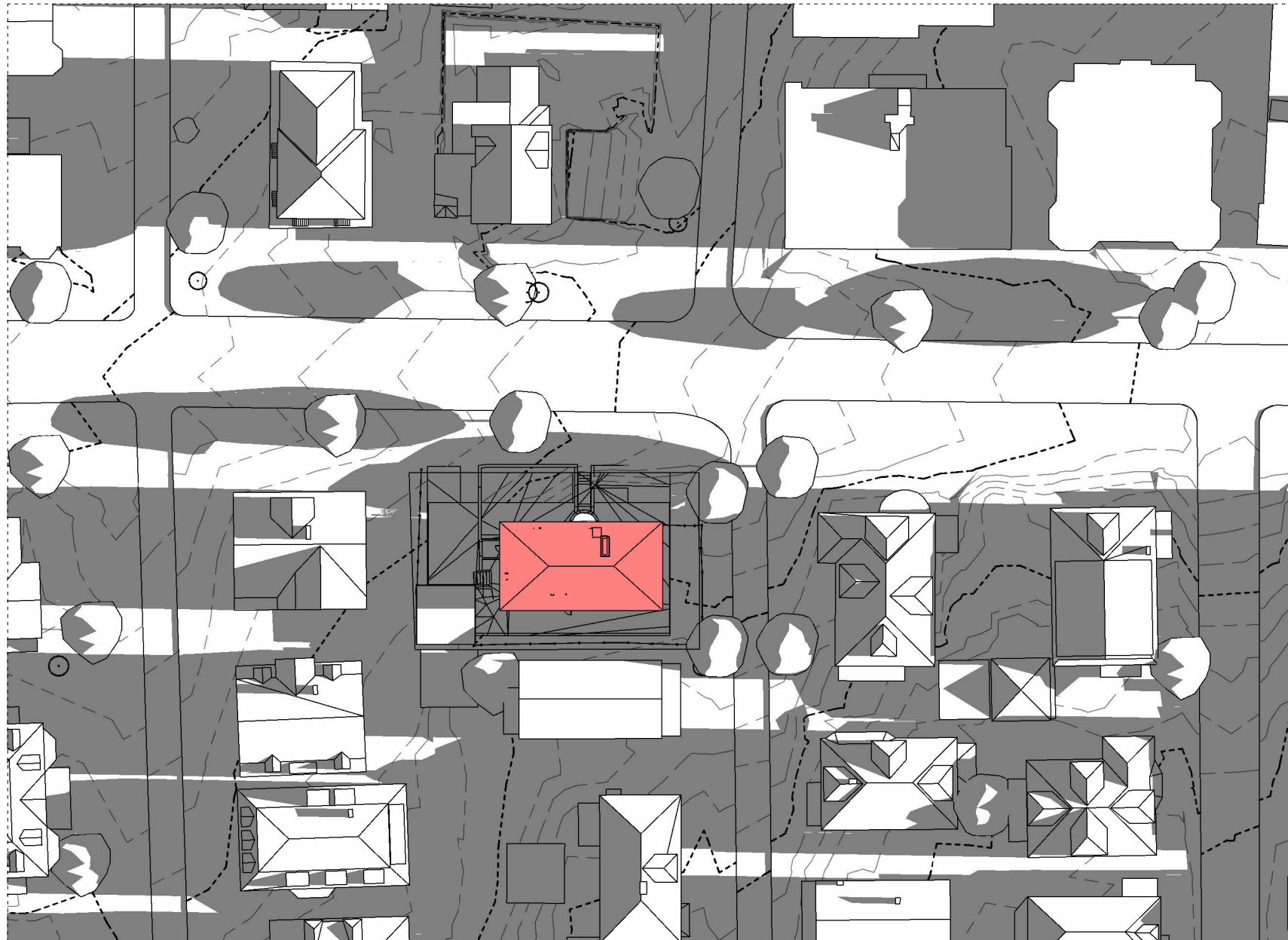
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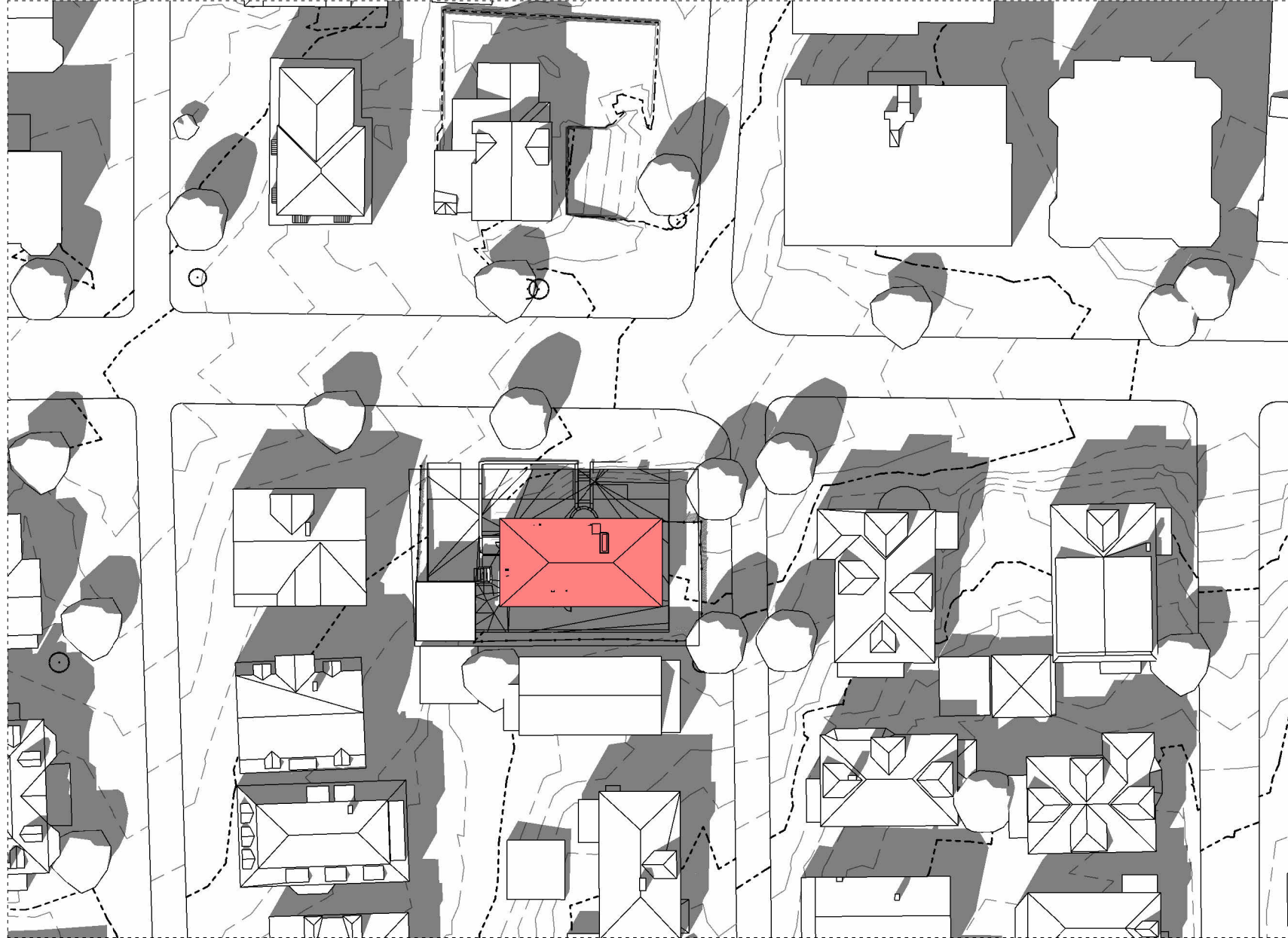
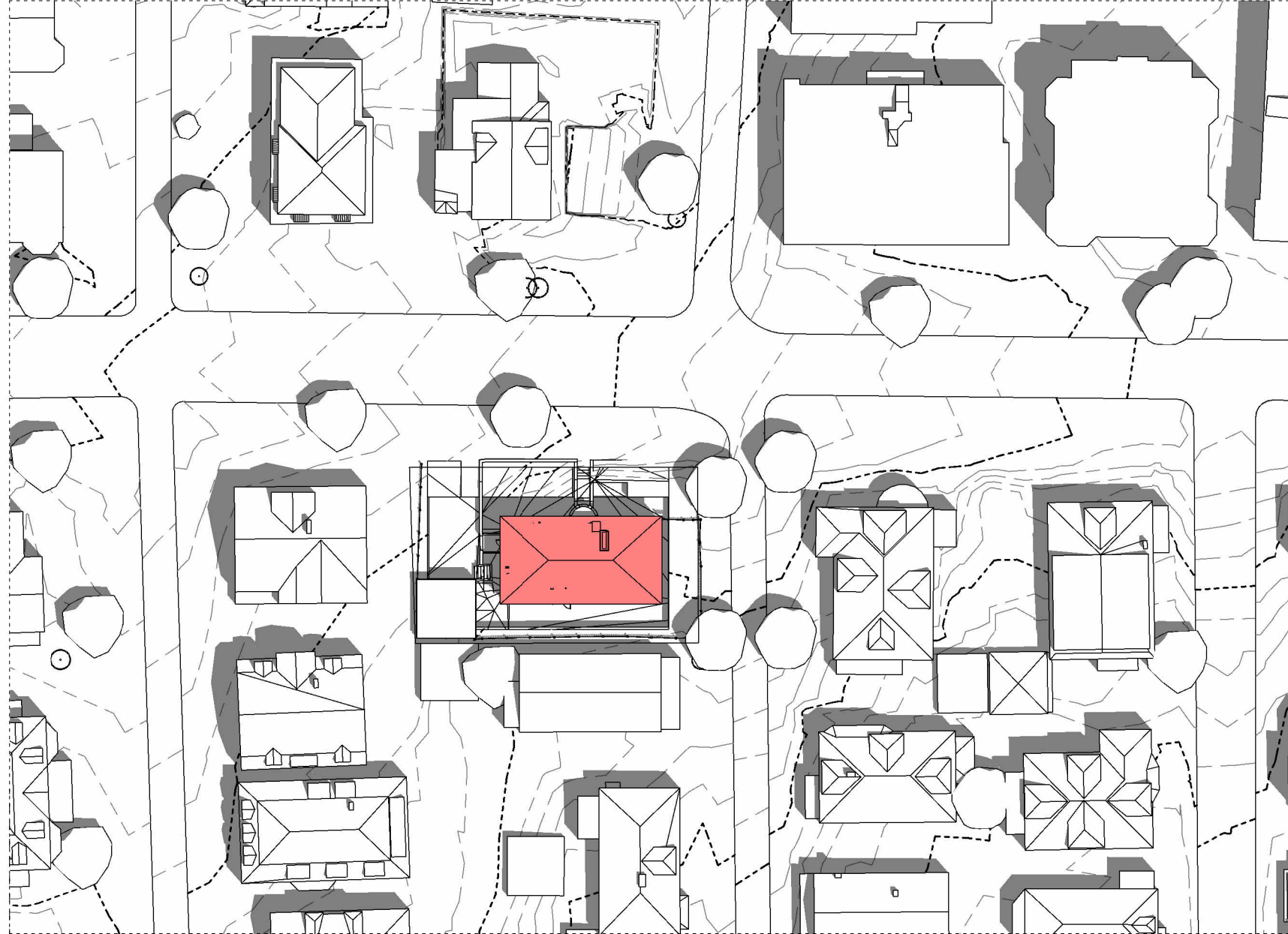
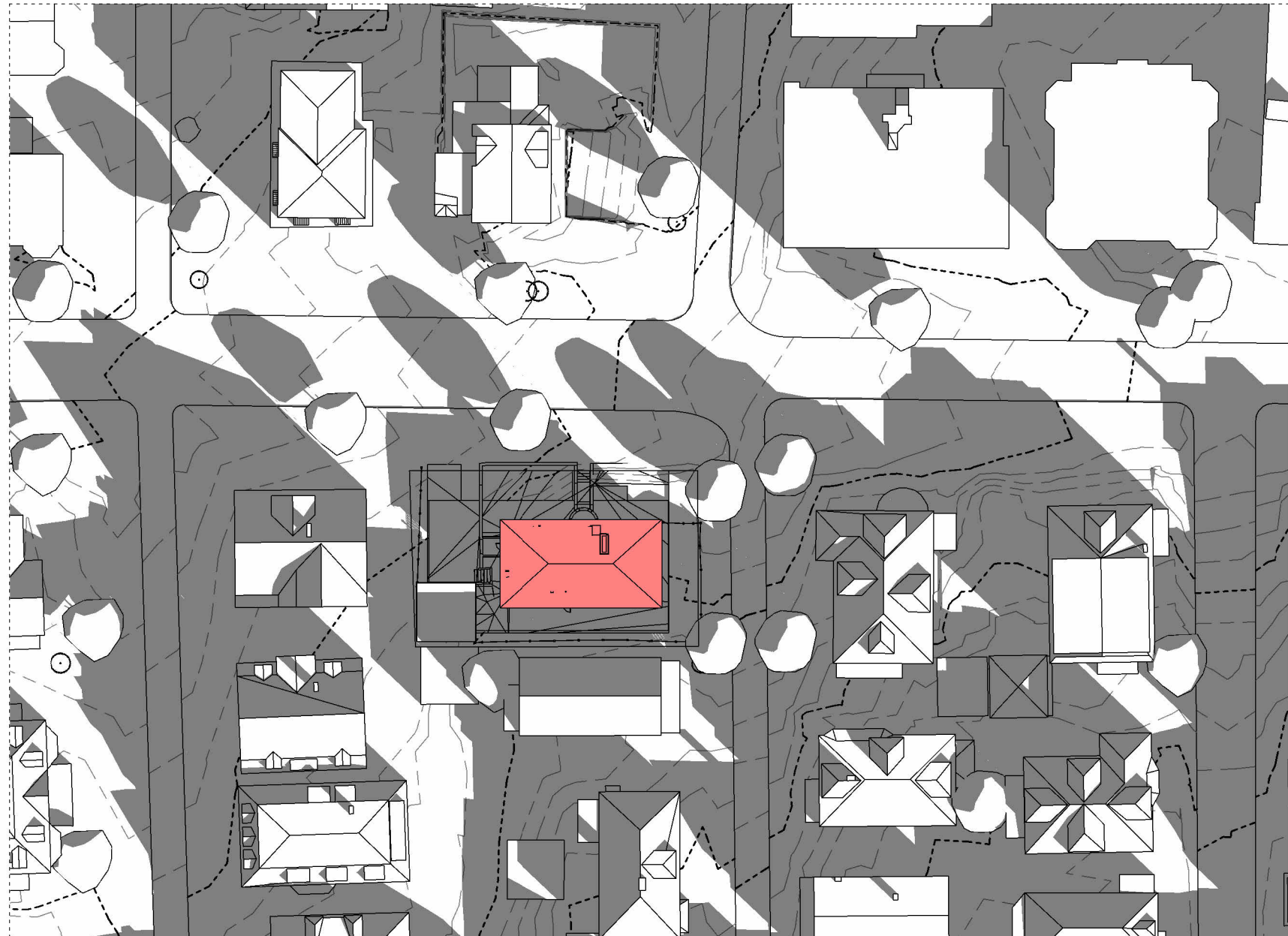
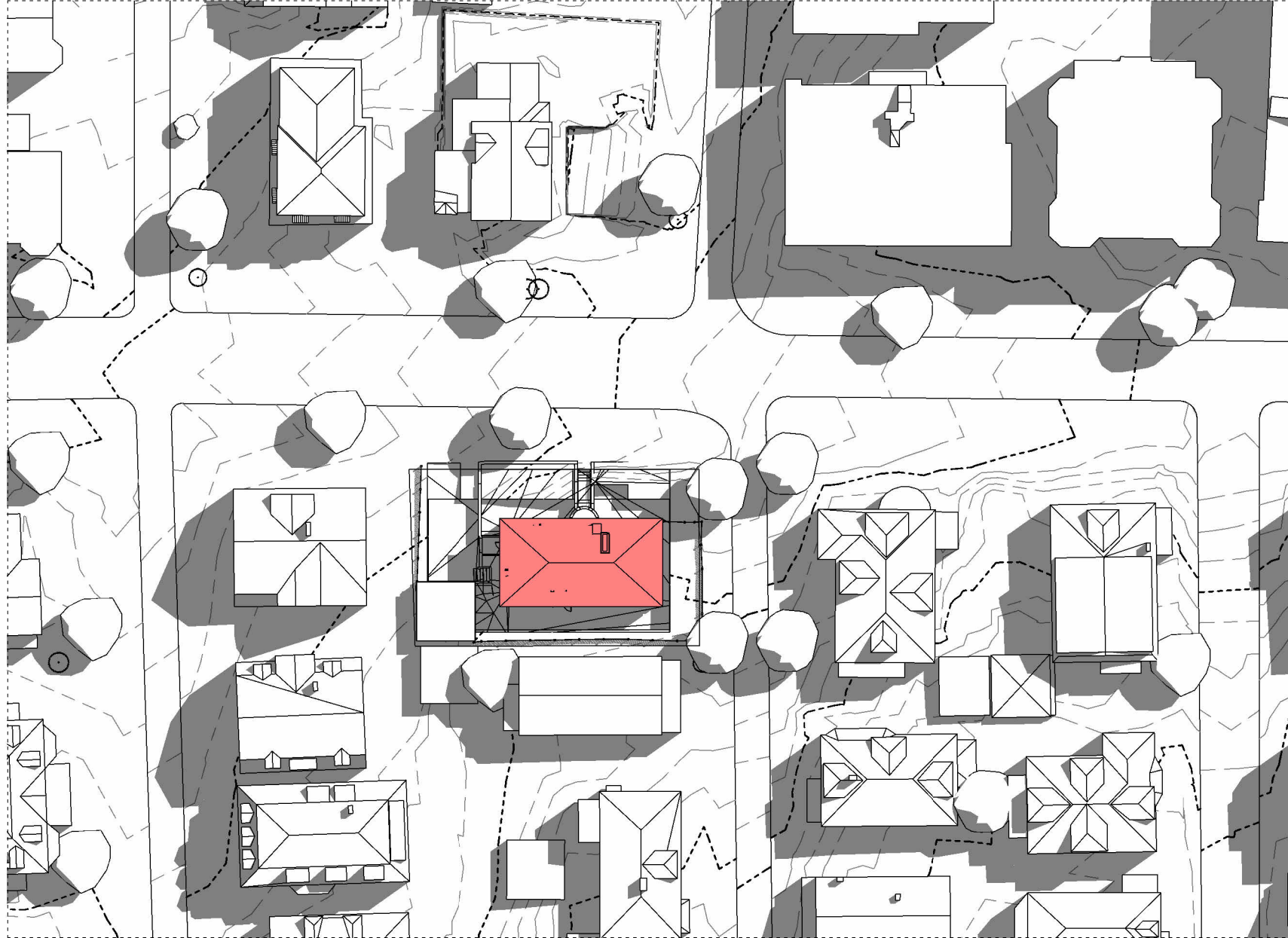
SPRING SOLSTICE



WINTER SOLSTICE



SUMMER SOLSTICE



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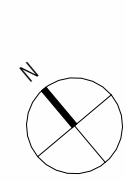
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1" = 50'-0"	SCALE	
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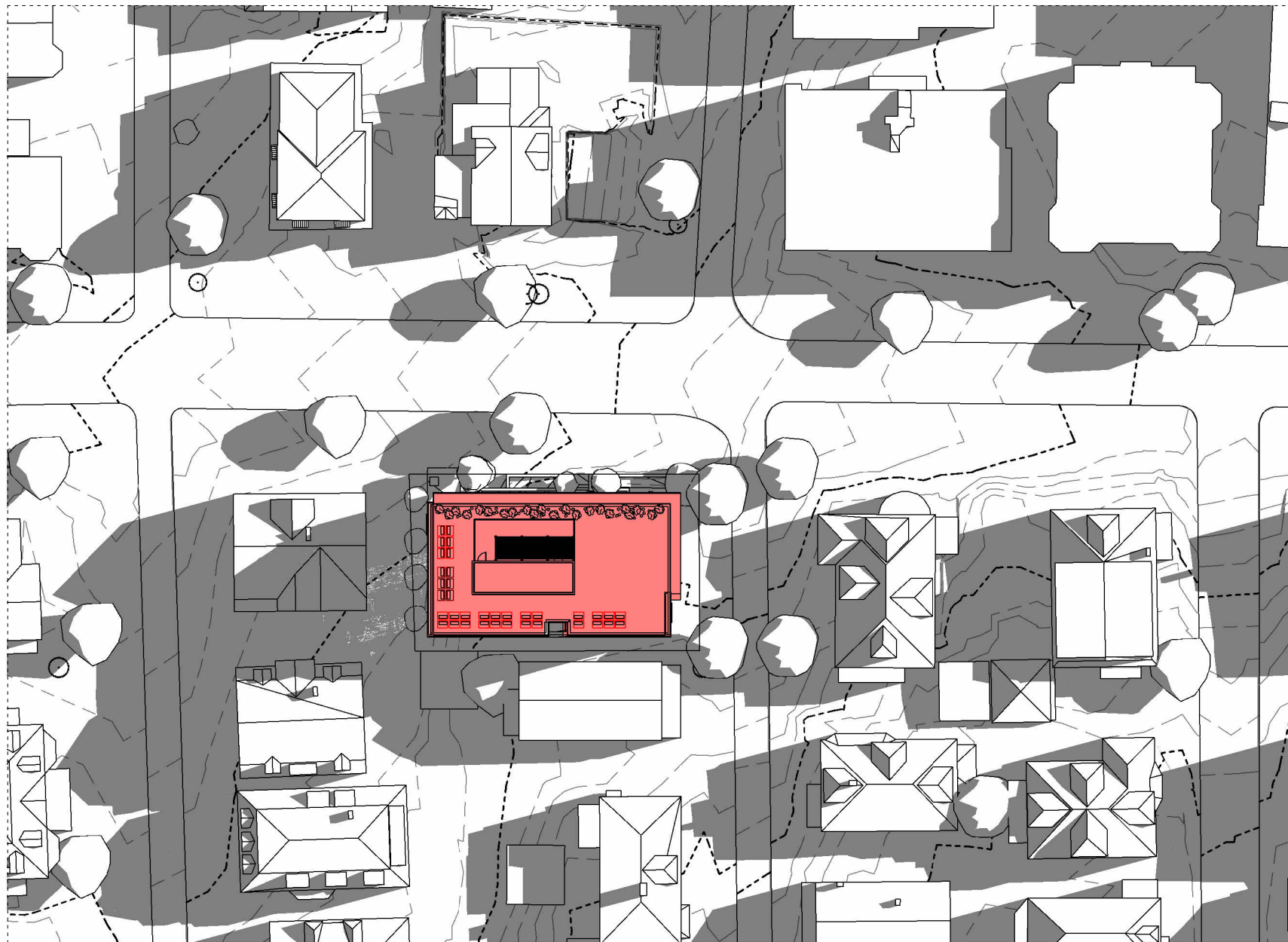
EXISTING
SHADOWS

SHEET NUMBER

A 1.05



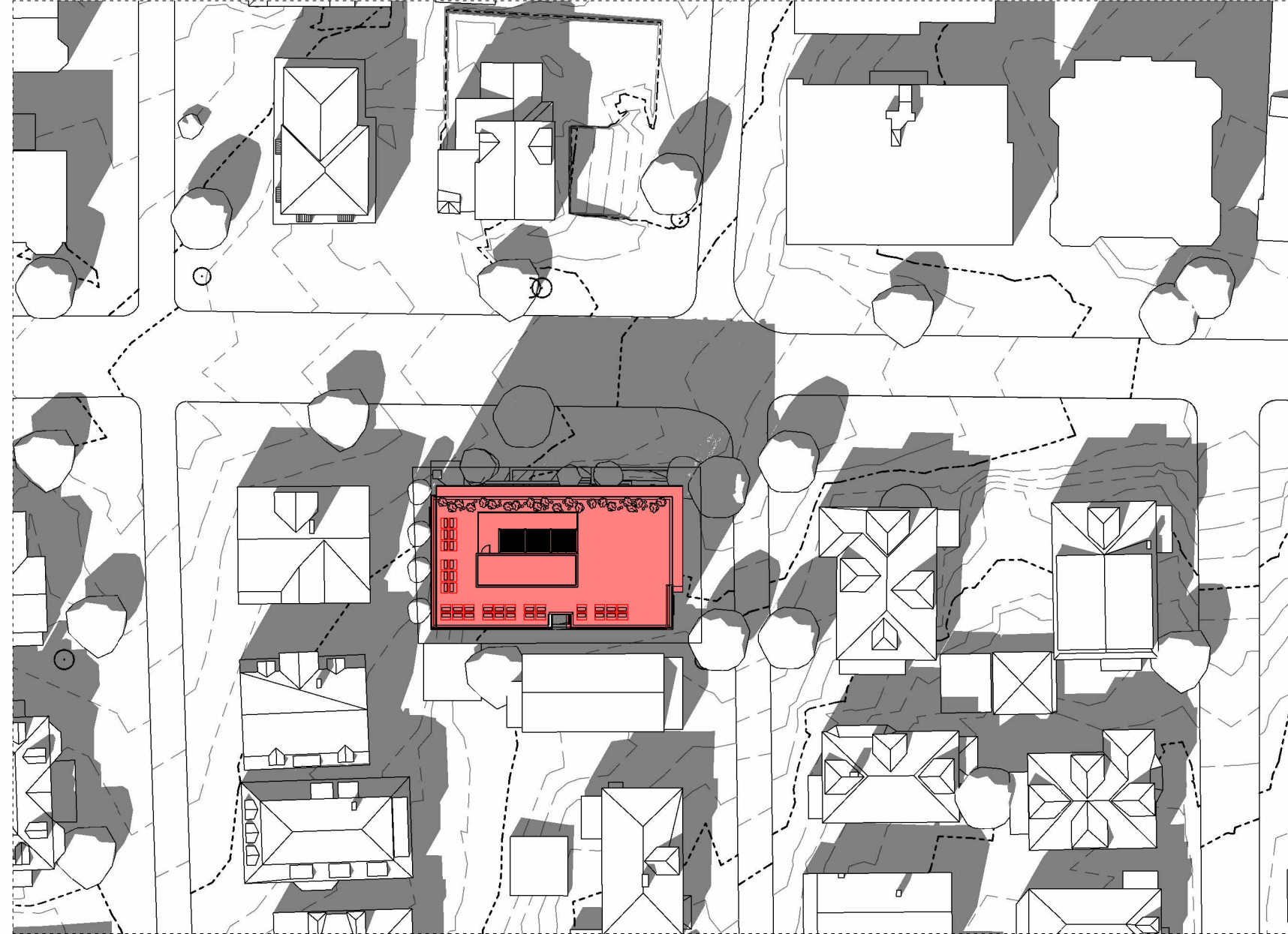
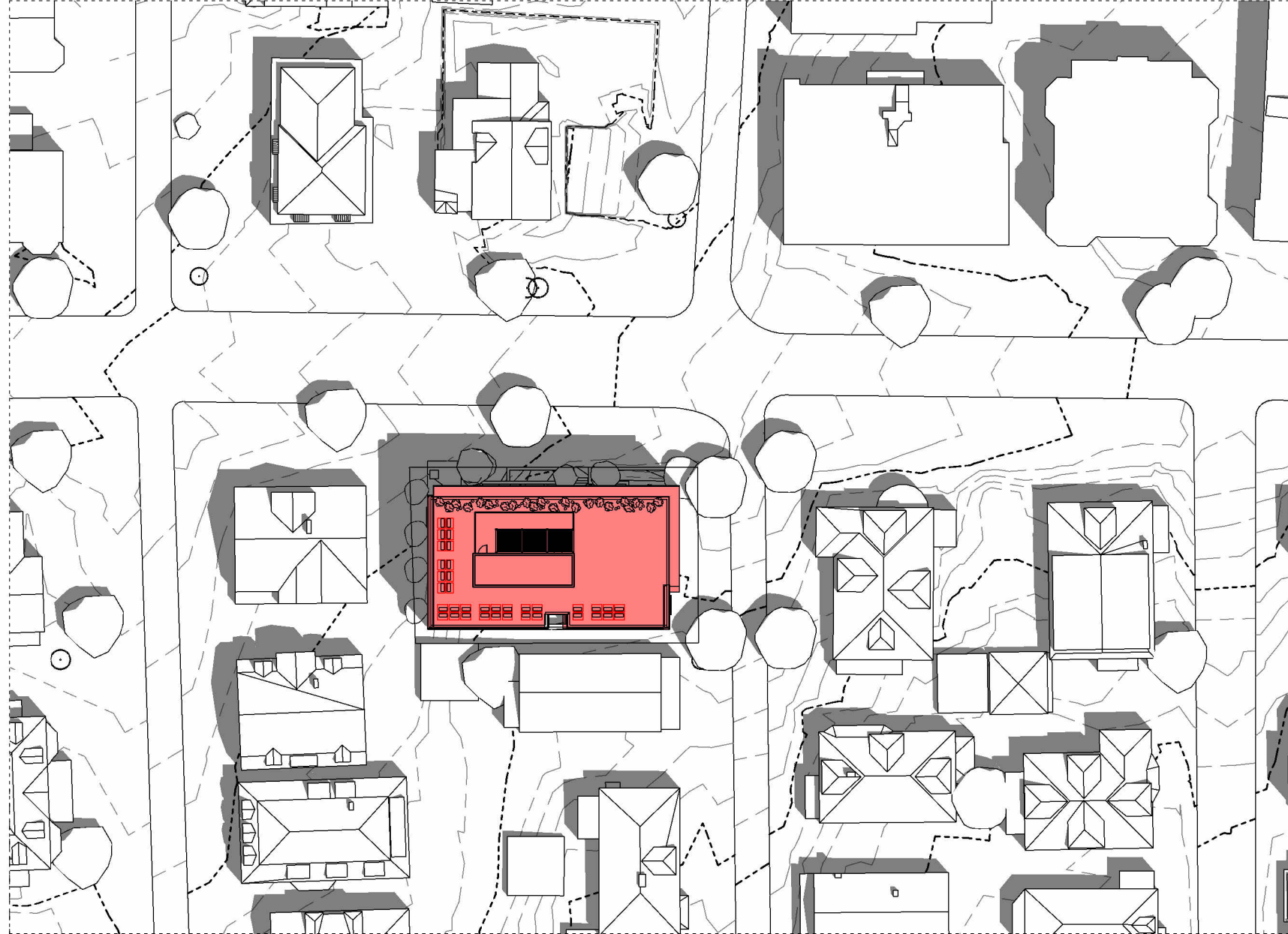
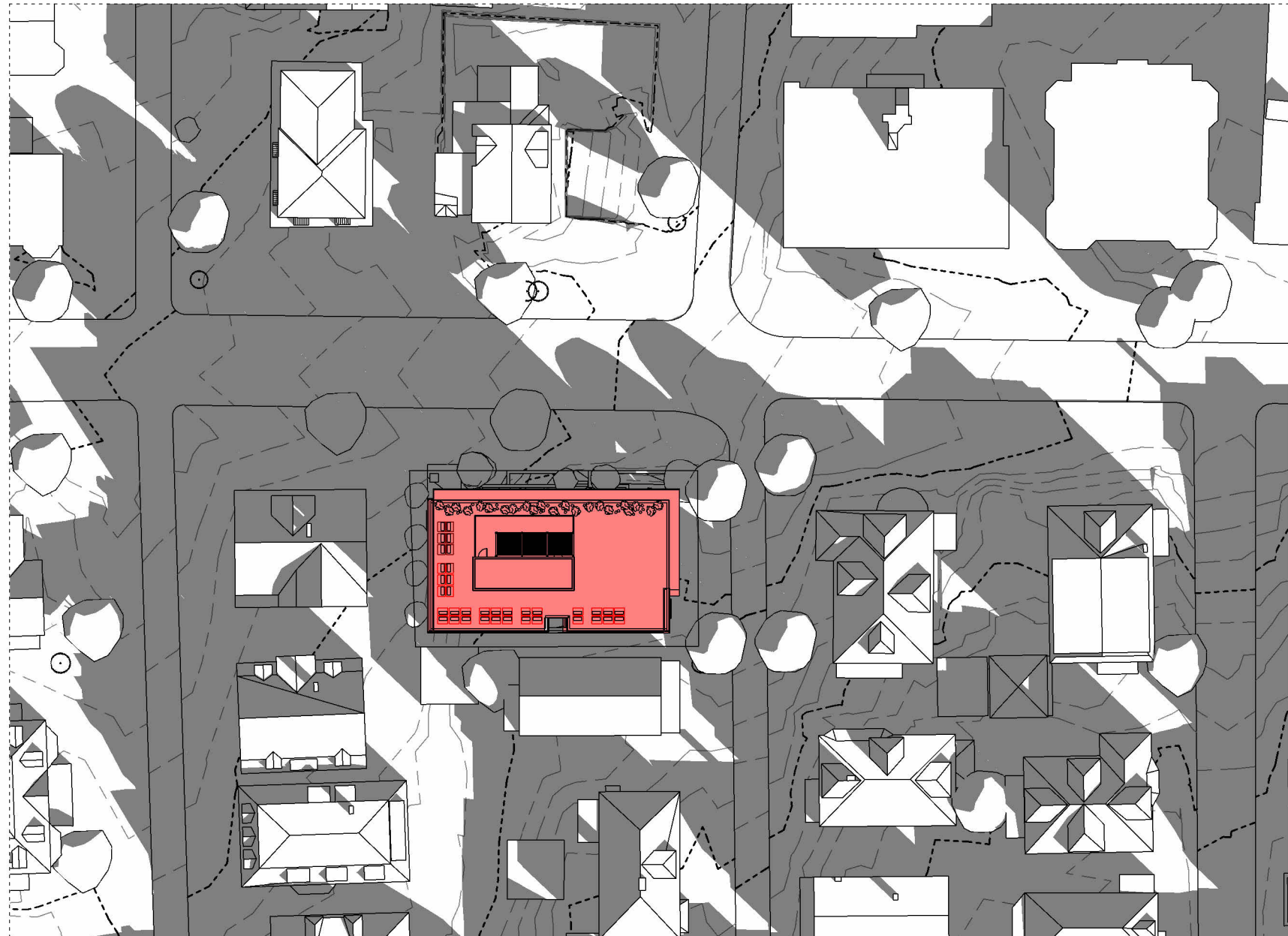
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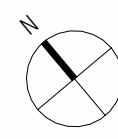
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PROPOSED
SHADOWS

SHEET NUMBER

A 1.06





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3D VISUALIZATION

SHEET NUMBER

A 9.01



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3D VISUALIZATION

SHEET NUMBER

A 9.02

Project Address	Special Permit Number	Total Lot Area (SF)
406 Broadway		6,048
Applicant Name	Phone Number	Open Space Requirement (%)
		30%
Applicant Contact / Address	Email Address	Zoning District
		Residence C-1
Project Description		Result
		Pass

Enter minimum required open space ratio. If the ratio is less than 20%, enter 20 here.

		Outside 20' of Street	Value Factor		Within 20' of Street	Value Factor	Contributing Area	
Trees Enter the number of trees in each category. Count each tree only once on this form.	Preserved Existing Trees							
	A1	Understory tree currently <10' canopy spread	4	0.80	+	1	1.60	720
	A2	Understory tree currently >10' canopy spread		1.00	+	0	2.00	-
	A3	Canopy tree currently <15' canopy spread	0	0.80	+	0	1.60	-
	A4	Canopy tree currently between 15' and 25' canopy spread	2	1.00	+	0	2.00	1,400
	A5	Canopy tree currently >25' canopy spread	0	1.20	+	0	2.40	-
	New or Transplanted Trees							
	A6	Understory tree	4	0.60	+	2	1.20	720
A7	Canopy tree	1	0.70	+	2	1.40	2,450	
Planting Areas Enter area in square feet of each component in the box provided	B1	Lawn Area	0	0.30	+	0	0.60	-
	B2	Low Planting Area	400	0.40	+	630	0.80	664
	B3	High Planting Area	0	0.50	+	0	1.00	-
Green Roofs & Facades For definitions, see reference document.	C1	Green Façade	0	0.10	+	0	0.20	-
	C2	Living Wall	0	0.30	+	0	0.60	-
	C3	Green Roof Area	0	0.30	+	0	0.60	-
	C4	Short Intensive Green Roof Area	0	0.50	+	0	1.00	-
	C5	Intensive Green Roof Area	0	0.60	+	0	1.20	-
Paving & Structures	D1	Low Slope Roof	0	N/A				
	D2	High-SRI Paving	0	0.1				-
	D3	Shaded Area		0.2	+	300	0.40	120
Project Summary	<div>Portion of lot area utilizing green strategies 98%</div> <div>Portion of score from green strategies 98%</div> <div>Portion of score from trees 87%</div> <div>Portion of score contributing to public realm cooling 52%</div>					Total Contributing Area	6,074	
						Total Area Goal	1,814	
						COOL FACTOR SCORE	3.35	

When entering strategies that are within 20' of the street (including sidewalks), do not also enter them in column H.

High-SRI Paving areas within 20' of a Street do not count towards the Cool Score

If your project scores 1 or above, you have successfully met the requirements of the Cool Factor.