

Mid Cambridge Neighborhood Conservation District Commission

Cambridge Historical Commission, 831 Massachusetts Ave., 2nd Fl., Cambridge, MA 02139 Telephone: 617-349-4683 TTY: 617-349-6112 historic@cambridgema.gov/www.cambridgema.gov/Historic/DistrictsHistoricProperties/MidCambridgeNCD

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Mid Cambridge Neighborhood Conservation District Commission

•	, •	•
10	ction	
110		

2. Address of property: 406 Broadway, Cambridge, Massachusetts	
3. Describe the proposed alteration(s), construction, or demolition in the space provided below: (An additional page can be attached, if necessary).	
The development at 406 Broadway consists of a new six-story, 34 residential unit building with a mixtu of studio, 1 bedroom, and 2 bedroom dwellings. The ground floor will offer a dedicated lobby, mail & package room, and tenant amenity space. The basement level will offer tenants dedicated, secured bicycle parking and available storage cages. Residential units are distributed across all six occupy-ablifloors, and an amenity roof deck is proposed for the top level.	
The existing three family structure and adjacent garage are planned to be fully removed as part of the site preparation. All new streetscape improvements are planned along Broadway and Goodman Rd. to create pleasing outdoor spaces and positive-impact vegetation throughout the site.)
Name of Property Owner of Record: S&J BROADWAY RE LLC	
Mailing Address: 34 Sevland Road Newton Ma 02459	
Telephone/Fax: 4253895719 E-mail: Sunny.zuo123@gmail.com	
Signature of Property Owner of Record*: (Required field; application will not be considered complete without property owner's signature) *I have read the application in full and certify that the information contained herein is true and accurate to the best of my knowledge and belief.	
Name of proponent, if not record owner:	
Mailing Address:	
Telephone/Fax: E-mail:	
(for office use only):	
Date Application Received: Case Number: Hearing Date:	
Type of Certificate Issued: Date Issued:	

Section II:

Is property listed on t Current Zoning Distr	_		Places? No Pub Use: Residential	olicly owned? No
Section III:				
Will this project require	e: variance	No	special permit	No
If yes, nature of zoning	relief sought: setback	s	FAR use	
height	parking	other (explain)	
Section IV (Complete	e any portions that a	pply to pro	posed scope of wor	<i>k</i>):
New Construction or	Additions:			
3,082 GSF	_ floor area of existing	g structures	on the lot	
27,856 GSF	_ amount of floor area	(gross squa	re feet) of proposed o	onstruction
903%	_ percentage increase	in total floo	r area after constructi	on
6,031 SQFT	_ total area of lot in so	uare feet		
62%	_ percentage of total lo	ot area cove	red after construction	l
Demolition:				
n/a	_ amount of floor area	(gross squa	re feet) of proposed of	lemolition
n/a	_ floor area of existing	structure		
n/a	_ percentage decrease	in total floo	r area after demolitio	n
Alterations: Does the proposed wor	k include (check all tha	ıt apply):		
n/a	enclosure or removal of decorative elements (including cornice, fascia,			
	soffit, bay, porch, ho casing);	od, cornerb	oard, window sash, o	r window or door
n/a	_ increase or reduction	of window	or door size;	
n/a	_ relocation of window	s or doors;		
n/a	change in slope, pitcl	h, or config	aration of roof;	
n/a	_ removal of original o	r historic ro	ofing material.	

Administration of the Mid Cambridge NCD

The administration of the Mid Cambridge Neighborhood Conservation District Commission is guided by the Article III, Section 2.78 of the Code of the City of Cambridge and by the order establishing the district. Before a building permit can be issued for the proposed work, the Commission must issue one of three types of certificates. A **Certificate of Appropriateness** is issued when the Commission determines that a project is not incongruous with the conservation of the district. A **Certificate of Hardship** is issued when refusal to issue a Certificate of Appropriateness would cause a substantial hardship, financial or otherwise, to the applicant, and when the project can be approved without substantial detriment to the public welfare or substantial derogation of the purpose of the order. A **Certificate of Non-Applicability** is issued for projects that are not subject to review. The last certificate is issued by the staff of the Commission without the Commission's full review.

In making its determinations, the Commission considers the impact of the proposal on the District as a whole and the potential adverse effects of the proposal on the surroundings. The objectives of the District are to 1) avoid excessive infill, 2) encourage new construction that complements existing buildings, 3) encourage the preservation of neighborhood buildings, 4) protect National Register properties, and 5) enhance the economic vitality of the neighborhood.

Instructions for completing this application

This application must be filed at the offices of the Cambridge Historical Commission, under whose auspices the Mid Cambridge Neighborhood Conservation District Commission is staffed, before work begins. It must be accompanied by the required materials indicated on this application form and should include any other materials that may assist the Commission in making its decision. Filing deadlines may be obtained by calling the Cambridge Historical Commission office, 617 349 4683 (TTY 617 349 6112). The Commission welcomes advance inquiries for interpretation of the order; please contact Allison Crosbie (617-349-4686 or acrosbie@cambridgema.gov) at the Cambridge Historical Commission if you have any questions regarding this process.

On receipt of a completed application, the Commission staff will schedule a public hearing for the next available regularly scheduled meeting of the Commission and send out the necessary public notifications of the hearing.

On receipt of a completed application, the Commission will schedule consideration of the application at a public hearing for the next available regularly scheduled meeting of the Commission. Owners are **strongly urged** to appear before the Commission in person. Though not required, professional consultants such as architects, attorneys, contractors, engineers, or landscape architects, may attend at the owner's invitation.

Applicants should be aware that exterior construction plans and elevations presented to the Inspectional Services Department for issuance of a building permit must conform to exterior construction plans and elevations presented to the Commission for its approval. Any modifications to plans and elevations made subsequent to the Commission's approval are subject to additional review. Failure to ensure conformance between Commission-approved plans and elevations and building permit plans and elevations may result in delays and additional appearances before the Commission.

Application Requirements for Binding Review

(Applications will be subject to binding review if they include any of the following: construction involving additions of more than 750 sf of floor area, increase in lot coverage by more than 33%, enlargement of existing floor area by more than 33%, demolition of more than 33% of floor area, any alteration or construction of National Register listed properties, publicly owned structures, or structures containing a non-conforming use)

<u>Plans not larger than 11" x 17" are preferred.</u> The applicant should provide a total of 10 copies of the application and all supporting materials.

The following are required for ALL applications subject to binding review:

- 1. Completed application form with a **written description** of the work to be done, including any repair or replacement of features as part of related rehabilitation.
- 2. Assessor's plan of the area showing currently existing structures and the footprint of all proposed construction.
- 3. Detailed, dimensioned elevations and plans showing all proposed construction, alteration, or demolition.
- 4. Schedule of materials (may be described on plans and elevations).
- 5. If windows are proposed to be altered, provided detailed information about existing windows and renderings of the proposed conditions and product details.
- 6. Any application also needing zoning relief (variance or special permit) must include a copy of the Dimensional Form from Board of Zoning Appeal application.

In addition, the following are also required for all applications for new structures:

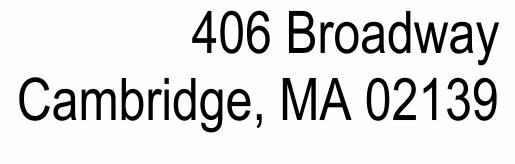
- 7. Plot plan of existing site, including a dimensioned footprint of all existing buildings, parking areas, and driveways.
- 8. Sun/shadow study (winter and summer solstices, AM and PM).
- 9. Streetscape elevation at 1/8th scale showing relative heights and distances of the surrounding buildings in comparison with any proposed new construction.

Application Requirements for Non-Binding (Advisory) Review

(Applications will be subject to non-binding review if they include any of the following: new construction of more than 150 and less than 750 sf of floor area, alterations that require a special permit or variance, alteration that removes, encloses, relocates, increases or diminishes aspects of the exterior architectural fabric of the structure)

<u>Plans not larger than 11" x 17" are preferred.</u> The applicant should provide a total of 10 copies of the application and all supporting materials.

- 1. Completed application form with a **written description** of the work to be done, including any repair or replacement of features as part of related rehabilitation.
- 2. Assessor's plan of the area showing currently existing structures and the footprint of all proposed construction.
- 3, Detailed, dimensioned elevations and plans showing all proposed construction, alteration, or demolition.
- 4. Any application also needing zoning relief (variance or special permit) must include a copy of the Dimensional Form from Board of Zoning Appeal application.



406 Broadway

WARNING:
This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to

this document and its use): 1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee. 2. all users of this document must carry out all relevant

investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their

warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.

4. any person using or relying document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards. © 2023- all rights reserved

PROJECT NUMBER: 25049 FOR APPROVAL

DATE: 10/24/2025

	SHEET
SHEET NAM	NUMBER
	01-GENERAL
COVER SHEET & SHEET	0 0.00
CODE & ZONING ANAL	A 0.01
GENERAL NOTES, STANDARDS & ABBREVIAT	A 0.02
	02-LANDSCAPE
PLANTING PLAN AND SCHED	L 1.01
	03-DEMOLITION
DEMOLITION PL	D 1.01
	<u>'</u>
	04-ARCHITECTURAL
BASEMENT FLOOR F	A 1.00
GROUND FLOOR F	A 1.01
LEVEL 02 - 05 FLOOR F	A 1.02
LEVEL 06 FLOOR F	A 1.03
ROOF P	A 1.04
EXISTING SHADO	A 1.05
PROPOSED SHADO	A 1.06
AREA PLANS GFA (PER ZON	A 1.07
	A 1.07 A 1.08
AREA PLANS GFA (PER ZON	
AREA PLANS GFA (PER ZON UNIT AREA PL	A 1.08
AREA PLANS GFA (PER ZON UNIT AREA PL EXTERIOR ELEVATI	A 1.08 A 3.00
AREA PLANS GFA (PER ZON UNIT AREA PL EXTERIOR ELEVATI EXTERIOR ELEVATI	A 1.08 A 3.00 A 3.01
AREA PLANS GFA (PER ZON UNIT AREA PL EXTERIOR ELEVATI EXTERIOR ELEVATI EXTERIOR ELEVATI	A 1.08 A 3.00 A 3.01 A 3.02

SHEET NUMBER	SHEET NAME
01-GENERAL	
0 0.00	COVER SHEET & SHEET LIS
A 0.01	CODE & ZONING ANALYSI
A 0.02	GENERAL NOTES, STANDARDS & ABBREVIATION
02-LANDSCAPE	
L 1.01	PLANTING PLAN AND SCHEDUL
03-DEMOLITION	
D 1.01	DEMOLITION PLANS
04-ARCHITECTURAL A 1.00	BASEMENT FLOOR PLAN
A 1.01	GROUND FLOOR PLAI
A 1.02 A 1.03	LEVEL 02 - 05 FLOOR PLAI LEVEL 06 FLOOR PLAI
A 1.04	ROOF PLAN
A 1.05	EXISTING SHADOWS
A 1.06	PROPOSED SHADOW
A 1.07	AREA PLANS GFA (PER ZONING
A 1.08	UNIT AREA PLANS
A 3.00	EXTERIOR ELEVATIONS
A 3.01	EXTERIOR ELEVATIONS
A 3.02	EXTERIOR ELEVATION:
A 3.03	FULL STREET ELEVATION
A 9.01	3D VISUALIZATION
A 9.02	3D VISUALIZATION

ARCHITEC

406 BROADWAY DEV

LANDSCAPE ARCHITECT OFFSHOOTS INC. 547 RUTHERFORD AVENUE CHARLESTOWN, MA 02129 (617) 500-6530-T

CONTACT: JACK BERESFORD EMAIL: JACK@OFFSHOOTSINC.COM <u>CIVIL ENGINEER</u> R.J. O'CONNELL & ASSOCIATES INC. 80 MONTVALE AVENUE, STE 201 STONEHAM, MA 02180 (781) 279-0180-T

CONTACT: BRIAN TIMM EMAIL: BRIAN.TIMM@RJOCONNELL.COM

ARCHITECT
JOE THE ARCHITECT 343 MEDFORD STREET, SUITE 4C SOMERVILLE, MA 02145 (617) 764-3593-T

CONTACT: GEOFFREY FARRELL EMAIL: GEOFF@JOETHEARCHITECT.COM

CONTACT: SAM ZUO EMAIL: SUNNY.ZUO123@GMAIL.COM

JINSHAN ZUO

406 BROADWAY

CAMBRIDGE, MA 02139



PREPARED FOR: OWNER OF RECORD: S&J BROADWAY RE LLC **406 BROADWAY** CAMBRIDGE, MA 02139

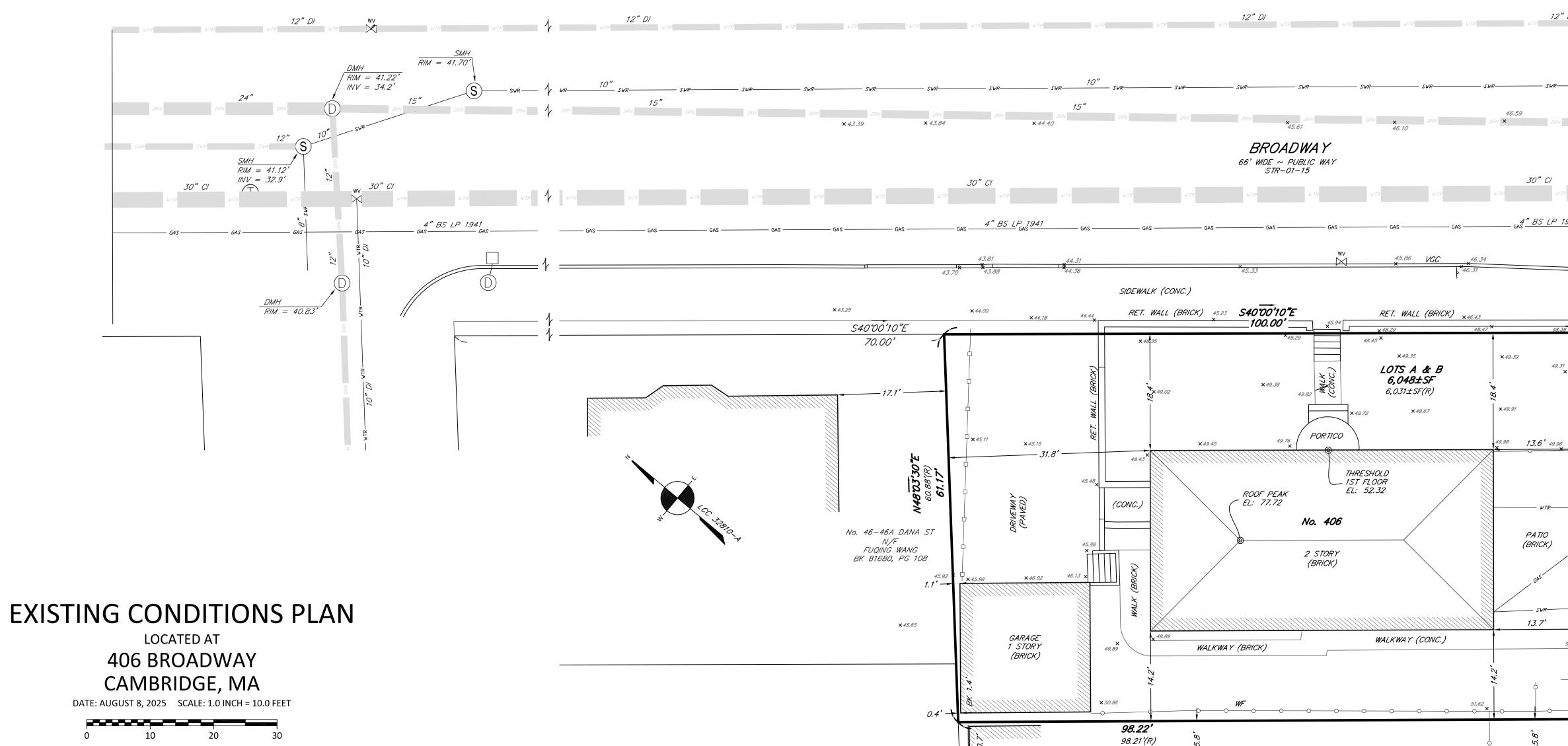
BK 72562, PG 83 BK 320, PG 38 BK 4597, PG END BK 1941, PG 270 PL 1981 #326 PL 2003 #1061

CITY OF CAMBRIDGE ENGINEERING RECORDS FB 155, PGS 91, 94

32810-B

32810-C

MAP/LOT: 115-86



No. 44 DANA ST N/F

BARBARA ANN HIRSH, TR. BARBARA ANN HIRSH

LIVING TRUST BK 80354, PG 182 N40°07'34"W

No. 11-13 GOODMAN ROAD

DANA HILL HOME LLC BK 80978, PG 173

ABUTTER'S GARAGE

1 STORY (BLOCK)

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 14, 2025 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ARE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

ABUTTERS' NAMES REFER TO CURRENT CITY OF CAMBRIDGE ASSESSOR'S RECORDS AND/OR CURRENT RECORDS AVAILABLE AT THE REGISTRY OF

VERTICAL DATUM

THE ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO CAMBRIDGE DATUM.

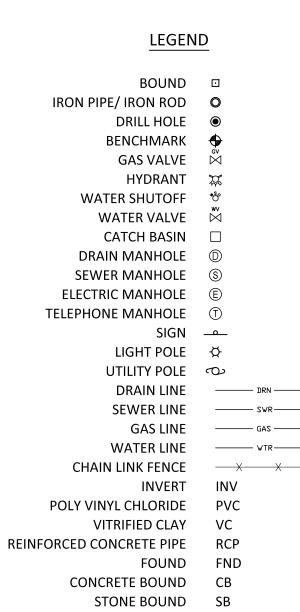
BENCHMARK

1) RIM OF DRAIN MANHOLE ELEVATION = 47.29'

UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE PRIOR TO ANY EXCAVATIONS.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS

COMMUNITY PANEL: 25017C0576E EFFECTIVE DATE: 06/04/2010



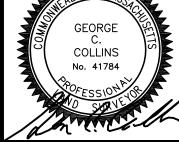
 $\frac{DMH}{RIM = 57.73'}$ No. 29-31 CHATHAM STREET N/F MARIA E. FERNANDES BK 25950, PG 584 /NV = 49.4'

> FIELD: MO, SM DRAFT: RAP, SAP CHECK:

/NV = 36.6'

<u>DMH/TBM:</u> RIM = 47.29' INV = 37.8'

08-08-25 DATE: JOB# 25-00403

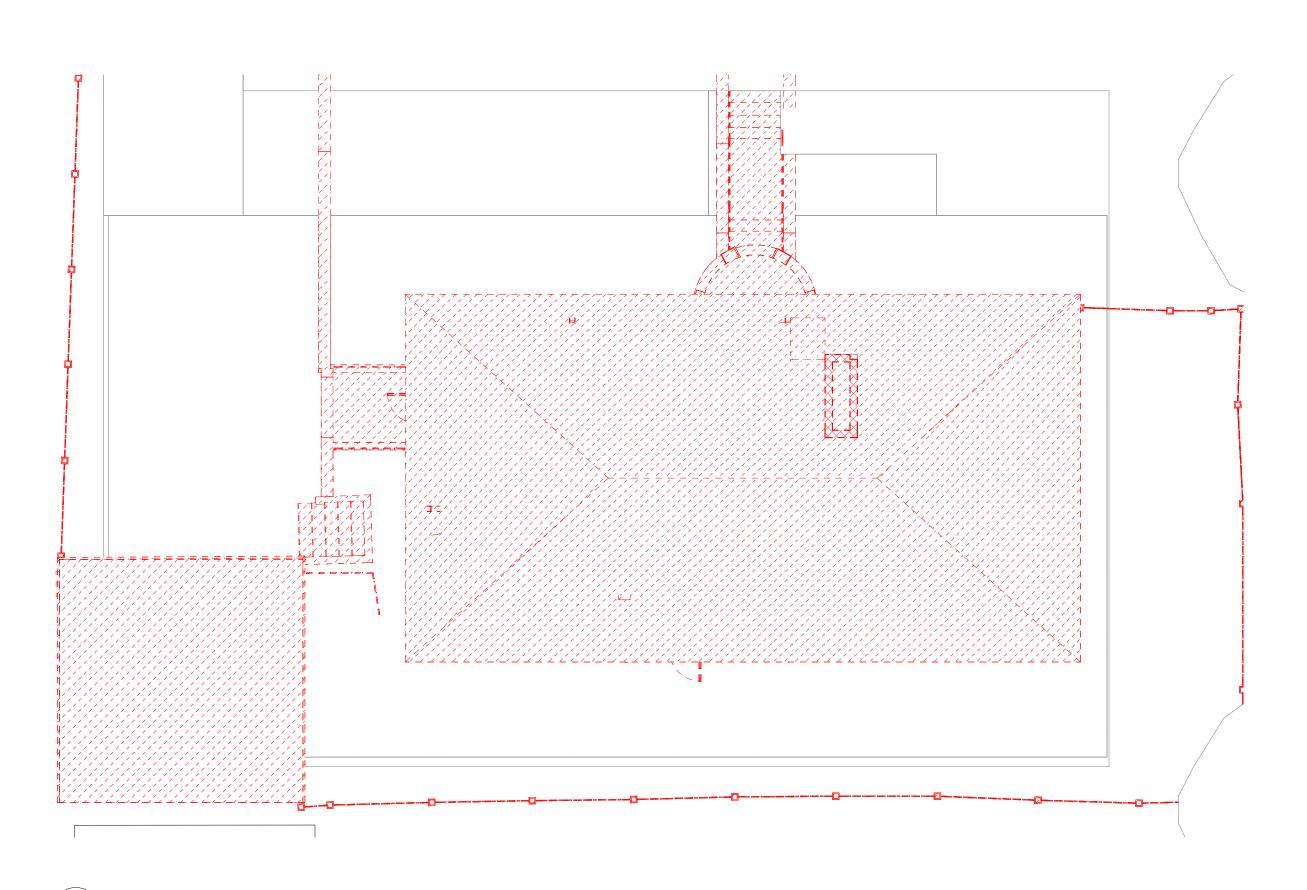


1 Floor 01_Demolition Plan

lavavavatarara

2 Floor 02_Demolition Plan

 $\mathbb{E}[\mathbb{Z}/\mathbb{Z}/\mathbb{Z}/\mathbb{Z}/\mathbb{Z}]$



EXISITING SOLID PARTITION TO BE DEMOLISHED EXISITING GLAZED OR PARTIALLY GLAZED PARTITION TO BE DEMOLISHED EXISTING DOOR AND FRAME TO BE DEMOLISHED EXISITING FULL HEIGHT SOLID, GLAZER OR PART GLAZED PARTITION TO REMAIN



DEMOLITION LEGEND

EXISTING DOOR AND FRAME TO REMAIN



NIC - NOT IN CONTRACT HATCH

KEY NOTES_DEMOLITION

S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145

t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards

© 2021- all rights reserved **ISSUE CHART**

FOR ENTITLEMENT 10/24/25

ISSUE DATE PROJECT NUMBER

CHECKED Checker APPROVED

Approver As indicated

SHEET NAME

DEMOLITION PLANS

SHEET NUMBER

FLOOR PLANS, ELEVATIONS, AND DOOR SCHEDULE. NOTIFY ARCHITECT OF ANY CONFLICTS.

LAYOUT AND SYSTEMS.

GENERAL NOTES - DEMOLITION

SEE GENERAL CONSTRUCTION NOTES ON SHEET G 0.01.

5. THE CONTRACTOR SHALL PERFORM DEMO AS REQUIRED FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC, WHETHER SPECIFICALLY SHOWN OR NOT. : WHERE REMOVAL OF EXSITING CONSTRUCTION IS REQUIRED FOR PERFORMANCE OF ANY WORK UNDER THIS CONTRACT, REMOVAL & REINSTALLATION SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT,

THIS CONTRACT SET. IN SUCH AN EVENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT

THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN

4. GC TO COORDINATE CUTTING OF NEW DOOR OPENINGS WITH REQUIRED DIMS FOR UNITS AS SHOWN ON

WHETHER SPECIFICALLY SHOWN OR NOT, INCLUDING RESTORATION OF UTILITIES AND ANY TEMPORARY SHORING OF STRUCTURAL COMPONENTS.

PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES.

B. SEE ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR

RELEVANT INFO AND COORDINATION FOR SYSTEMS WORK. CUT PENETRATIONS FOR MEP/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS

. ALL NEW SPRINKLERS & PIPING SHALL BE INSTALLED PRIOR TO DEMOLISHING THE (E) SYSTEM & MAKING FINAL CONNECTIONS, IN ORDER TO MINIMIZE THE IMPACTS OF SHUTDOWNS, DRAIN DOWN, SYSTEM RE-FILL, AND FIRE WATCHES. 10. IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH

NEW WORK WHETHER SHOWN OR NOT. ALL EXISTING NON-STRUCTURAL PARTITIONS, CEILINGS, CASEWORK, MEP/FP ITEMS, FURR-OUTS, FINISH MATERIALS, STAIRS, DOORS, WINDOWS AND INDUSTRIAL EQUIPMENT SHALL BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR OF THE START OF ANY WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.

11. REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND SHORING OF STRUCTURAL ELEMENTS. 12. REFER TO CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE DOCUMENTS FOR ADDITIONAL

INFORMATION REGARDING REMOVAL OF SITE RELATED FIXTURES, EQUIPMENT, AND ASSOCIATED 13. ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ROOFING, INCLUDING NON-STRUCTURAL SUBSTRATES, GUTTERS, AND ASSOCIATED FLASHINGS. REMOVED MATERIAL SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.

14. COORDINATE ALL DEMOLITION WITH HAZARDOUS MATERIAL REMOVAL/ABATEMENT REQUIREMENTS. 15. GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SALVAGED ITEMS NOT USED IN THE PROJECT OR REQUESTED TO BE RETURNED TO THE OWNER.

16. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED. 17. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL

INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED. 18. ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE TO APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO RECLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER 'S REQUIREMENTS

AND COMPLIANCE WITH SUSTAINABLE PRACTICES. AT THE END OF DEMOLITION, LEAVE THE AREA FREE AND CLEAR. BROOM CLEAN FOR THE APPLICATION OF NEW WORK. 19. THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE

ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS. 20. WHERE FLOOR FINISH REMOVAL IS INDICATED, REMOVE FLOORING MATERIALS DOWN TO SUBSTRATE. 21. CLEAN ANY RESIDUE FROM CONCRETE SURFACE. PREP SUBSTRATE TO RECEIVE FINISH AS INDICATED ON

FINISH SCHEDULE AND PER FLOORING MANUFACTURES RECOMMENDATIONS. 22. WHERE CEILING REMOVAL IS INDICATED, REMOVE ALL COMPONENTS OF EXISTING CEILING SYSTEMS INCLUDING ALL FASTENERS. ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE. PREP SURFACE OF UNDERSIDE OF STRUCTURE FOR NEW FINISH PER FINISH

SCHEDULE. 23. SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR SCOPE OF

MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION. CUT, CAP, AND MAKE SAFE ALL PIPING, CONDUIT, AND WIRING AS INDICATED ON RELATED DRAWINGS. 24. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SIDE OF ALL EXTERIOR WALLS AND

SURFACES WHICH WILL REMAIN AFTER DEMOLITION. 25. LOCATIONS OF (E) SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE NOT FIELD DIMENSIONED. G.C. TO VERIFY LOCATIONS WHERE IN PROXIMITY OF WORK.

26. SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE EXISTING TO REMAIN U.O.N. 27. PROVIDE TEMPORARY ENCLOSURE OF ALL EXTERIOR OPENINGS CREATED AS A RESULT OF DEMOLITION

UNTIL PERMANENT ENCLOSURES ARE INSTALLED 28. PROVIDE TEMPORARY SHORING AT ALL DEMOLITION OF NEW OPENINGS TO INSTALL NEW LINTEL AS

29. ALL 'MEP/FP' WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

10'-0" MIN. FRONT 8'-6" 5'-0" MIN. SIDE/REAR ALLOWED FRONT E E 46 DANA ST. **406 BROADWAY** PROPOSED 6-STORY **MULTIFAMILY STRUCTURE EXISTING GARAGE EXISTING STRUCTURE** 11-13 GOODMAN RD.

PROJECTING EAVES, CHIMNEYS, BAY WINDOWS, PROJECTIONS WHICH DO NOT PROJECT MORE THAN 3'-6" WHICH ARE PART OF A BUILDING NOT MORE THAN 35' IN HEIGHT, OR MORE THAN 35' IN HEIGHT IF PORTIONS OF THE BUILDING ABOVE THAT HEIGHT CONTAIN RESIDENTIAL USES

GOODMAN

Address: 406 Broadway

Ground Elevation Min: Ground Elevation Max:

0 - 10% - SLR/SS

) - 10% - Precip

Selected Map-Lot: 115-86

SITE PLAN NOT TO SCALE

406 BROADWAY IS NOT SUBJECT TO THE 2070 1% LTFE

Selected Address: 406 Broadway

ent Day - 10% - Precip N/A

43.5 ft-CCB

51.9 ft-CCB

N/A

N/A

N/A

N/A

BALCONIES, OPEN FIRE ESCAPES AND LIKE

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET) Project Number 25049 Project Title 406 Broadway Development Project Address 406 Broadway, Cambridge, MA 02139 Client Name Jinshan Zuo

406 Broadway, Cambridge, MA 02139

PROJECT DESCRIPTION

Client Address

The project consists of a new six-story, 34 residential unit development with a mixture of studio, 1 bedroom, and 2 bedroom dwellings. The ground floor will offer dedicated lobby, mail & package, and amenity spaces. The basement will offer tenants dedicated bicycle parking and rentable storage cages. Residential units are distributed across all six occupiable floors, and an amenity roof deck is proposed for the top level.

APPLICABLE CODES & REGULATIONS (10th EDITION 780 CMR)

Code Type Applicable Code	
MA Building	780 CMR: Massachusetts State Building Code - 10th Edition As a reminder, the new, tenth edition code is based on modified versions of the following 2023 codes as published by the International Code Council (ICC).
Accessibility	521 CMR: Massachursetts Architectural Access Board Regulations
Energy	2021 International Energy Conservation Code (IECC 2021) Cambridge, MA Specialized Code Ammendments
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Mechanical 2021 International Mechanical Code (IMC 2021)	
Electrical	2023 National Electrical Code (NFPA 70) ; 527 CMR Amendments

This report addresses the key features of these codes and standards. The primary intent of this document is to (1) coordinate the fire protection and life safety approach between all design disciplines, (2) demonstrate building, fire, and life safety code compliance to the Authorities Having Jurisdiction, and (3) serve as a recorded document for the building over. This report is intended to address the code requirements as enforced by the Authorities Having Jurisdiction only.

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)

Zoning Ordinance	Zoning Ordinance - City of Cambridge, MA
Zone	C-1
Neighborhood	Mid-Cambridge

	Zoning Data	Require	d	Propose	d	Compliance
Use & Lot	Use	Residenti	al	Resident	ial	Y
	# of Dwelling Units	no max.	units	34	units	Υ
	Lot Area	5,000	sqft	6,031	sqft	Υ
	Open Space (min.)	30	%	36	%	Υ
	Ground Coverage (max.)	70	%	64	%	Υ
	Private Open Space (min.)	15	%	15	%	Υ
	Pervious Open Space (min.)	15	%	73	%	Y
Building	Gross Floor Area	no max.	gsf	27,856	gsf	Y
Main Body	Floor Area Ratio (FAR)	no max.		4.6		Y
& Density	Building Height *	74	ft	70.25***	ft	Υ
Building	Front Yard Setback **	10	ft	10	ft	Υ
Setbacks	Rear Yard Setback	5	ft	5	ft	Υ
	Side Yard Setback (left)	5	ft	5	ft	Y
	Side Yard Setback (right)	5	ft	n/a	ft	Υ
	Street Frontage	none	ft	100	ft	Υ
Parking	# of Parking Spaces	no min.		0		Υ
Analysis	# of Bicycle Parking Spaces	1 space / du		35		Υ

Additional Information

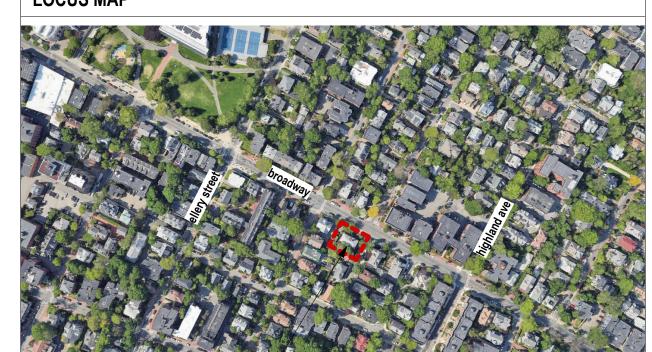
* 6 Stories & 74' Height allowed for buildings on lots greater than 5K sqft and meeting min. inclusionary housing requirements. (5.40 footnote 2)

** Or the average value of adjacent lots (5.40 footnote 3) *** Average building height to top of roof along Broadway

USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)

Per Massachusetts State Building Co	ode 780 CMR 10th edition / IBC 202	1
	Podium (Level 01 & Basement)	Typical Floor (Level 02-06)
Use Group (780 CMR Section 304)	R-2	R-2
Type of construction (780 CMR Section 602)	Type IA	Type VA
Number of stories	1	5
Fire Protection	Building is Fully Sprinklered	Building is Fully Sprinklered
Building Element	Fire Resistance Rating	
primary structural frame	1	1
bearing walls		
exterior walls	1	1
interior walls	1	1
non bearing walls and interior	0	0
floor construction and secondary members	1	1
roof construction and secondary members	1	1

LOCUS MAP



S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com

www.joethearchitect.com

CONSULTANT

KEY PLAN

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

© 2021- all rights reserved

FOR ENTITLEMENT 10/24/25

ISSUE DATE PROJECT NUMBER

CHECKED Checker **APPROVED** Approver

As indicated

SHEET NAME

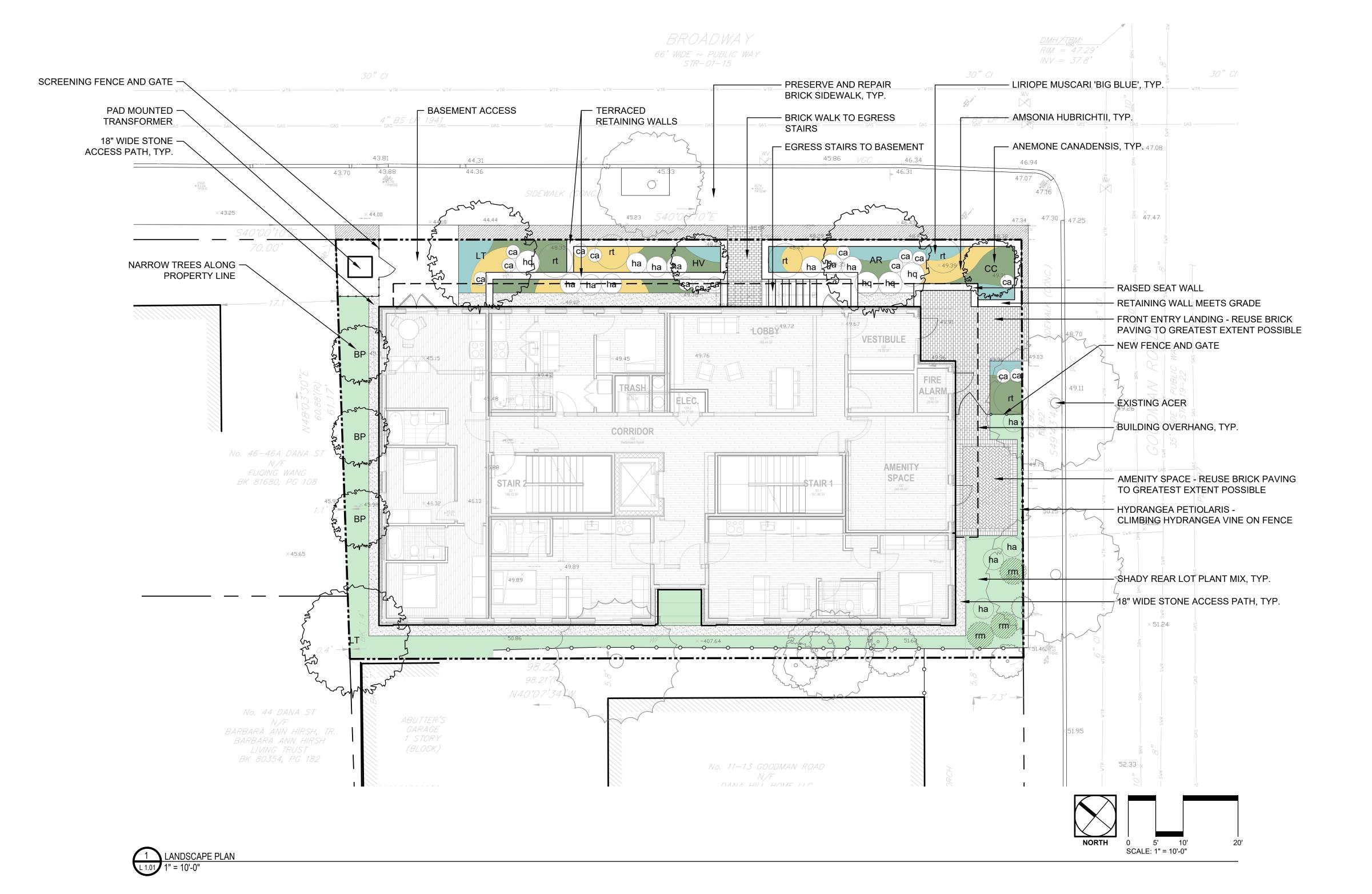
CODE & ZONING ANALYSIS

1 SITE PLAN ANALYSIS A 0.01 1/8" = 1'-0"

KEY	SCIENTIFIC NAME	COMMON NAME
TREE	ES .	
AR	ACER RUBRUM 'ARMSTRONG'	RED MAPLE
BP	BETULA POPULIFOLIA	GREY BIRCH
CC	CERCIS CANADENSIS	EASTERN REDBUD
HV	HAMAMELIS VIRGINIANA	WITCH HAZEL
LT	LIRIODENDRON TULIPIFERA	TULIP TREE
SHR	UBS	
ca	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SWEET PEPPERBUSH
ha	HYDRANGEA ARBORESCENS 'HAAS HALO'	SMOOTH HYDRANGEA
h	HYDRANGEA PETIOLARIS	CLIMBING HYDRANGEA
hq	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	OAKLEAF HYDRANGEA
rm	RHODODENDRON MAXIMUM 'ALBUM'	ROSEBAY RHODODENDRON
rt	RHUS TYPHINA 'TIGER EYES'	STAGHORN SUMAC

KEY SCIENTIFIC NAME COMMON NAME				
PEI	RENNIALS			
	AMSONIA HUBRICHTII	BLUESTAR		
	ANEMONE CANADENSIS	WINDFLOWER		
	LIRIOPE MORROWI 'BIG BLUE'	LILYTURF		
SPI	RING BULBS			
	ALLIUM ATROPURPUREUM	ORNAMENTAL ONION		
	ALLIUM 'PURPLE RAIN'	ORNAMENTAL ONION		
	HYACINTHOIDES HISPANICA	SPANISH BLUEBELLS		
	MUSCARI ARMENIACUM	GRAPE HYACINTH		
	NARCISSUS 'PUEBLO'	DAFFODIL		
	NARCISSUS 'THALIA'	DAFFODIL		

Y SCIENTIFIC NAME	COMMON NAME
ONT YARD PLANTING MIX	
PERENNIALS	
AGERATINA ALTISSIMA	WHITE SNAKEROOT
DENNSTAEDTIA PUNCTILOBULA	HAYSCENTED FERN
DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN
EURYBIA DIVARICATA	WHITE WOOD ASTER
MATTEUCCIA STRUTHIOPTERIS	OSTRICH FERN
POLYGONATUM BIFLORUM	SMOOTH SOLOMON'S SEAL
XANTHORHIZA SIMPLICISSIMA	YELLOWROOT



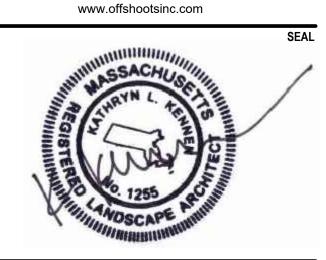
Joe The Architect, LLC

343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com



T: 617.500.6530 F: 617.500.6531

547 Rutherford Ave. | Charlestown, MA | 02129



KEY PLAN

PROJECT INFORMATION 406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR INFORMATION

OCTOBER 23, 2025

ISSUE CHART

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

© 2021- all rights reserved

ISSUE DATE	N
PROJECT NUMBER (OFFSHOOTS)	25023
CHECKED	JB
APPROVED	KK
SCALE	1" = 10'-0"
SHEET NAME	

PLANTING PLAN AND SCHEDULE

SHEET NUMBER

L 1.0²

1:22 AM <SET PHASE>

FOW

FPR

FPL

face of wall

fire protection riser

fireplace

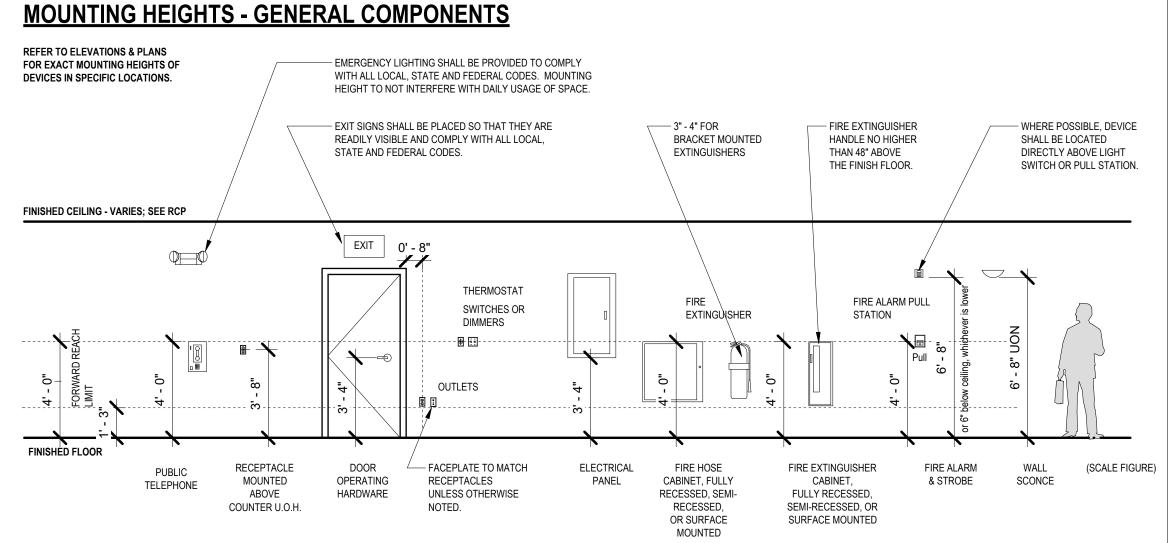
GENERAL NOTES AND LEGENDS

- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN THIS CONTRACT SET.
- 2. THE CONTRACTOR SHALL PERFORM ALL WORK DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL PROVIDE ALL ITEMS REQ'D FOR A COMPLETE FUNCTIONING SYSTEM, INCLUDING APPROPRIATE BLOCKING FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC.
- 3. WORK SHOWN BUT NOT INCLUDED IN THIS CONTRACT IS NOTED "N.I.C.". ITEMS TO BE PROVIDED BY OWNER AND INSTALLED BY G.C. ARE SO NOTED.
- 4. GENERAL CONTRACTOR SHALL MAKE ALL SUB-CONTRACTORS AND SUPPLIERS AWARE OF THE REQUIREMENTS OF THESE NOTES.
- 5. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL BUILDING, LIFE SAFETY, ELECTRICAL AND PLUMBING CODES HAVING JURISDICTION OVER THIS PROJECT.
- 6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS NECESSARY FOR THE COMPLETION OF THE WORK SHOWN THROUGHOUT THE CONTRACT DOCUMENTS.
- GENERAL CONTRACTOR SHALL LAYOUT IN THE FIELD THE ENTIRE WORK TO BE PERFORMED TO VERIFY DIMENSIONAL RELATIONSHIPS BEFORE PROCEEDING WITH THE CONSTRUCTION AND SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATIONS / BENCHMARKS BEFORE PROCEEDING WITH WORK / INSTALLATION.
- 8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE DIMENSIONAL REQUIREMENTS BETWEEN THE WORK OF THE REQUIRED TRADES AND SUB-CONTRACTORS.
- HAVE BEEN REPRODUCED AT A SCALE DIFFERENT THEN THAT ORIGINALLY DRAWN. 10. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS, STRUCTURE, UTILITY LINES, ETC. ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXISTING CONDITIONS OR ANY APPARENT ERROR IN THE CLASSIFYING OF A PRODUCT, MATERIAL OR METHOD OF ASSEMBLY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. SK DRAWINGS WILL BE ISSUED

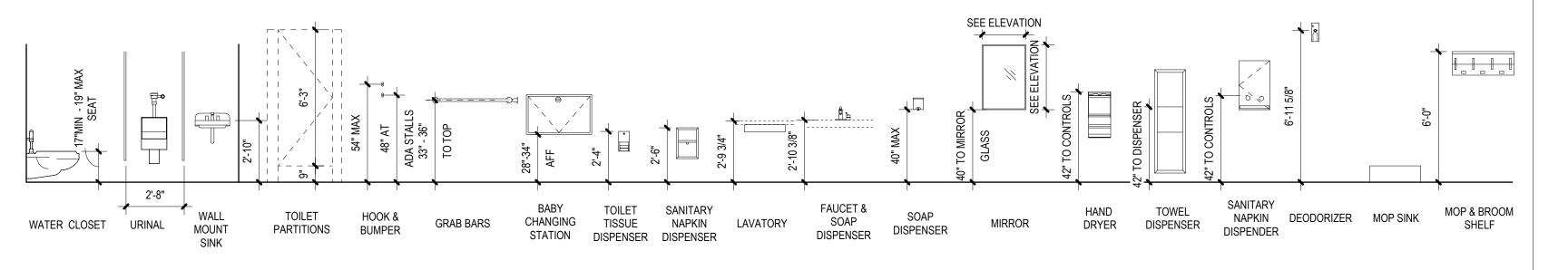
9. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS AND / OR SIZES. DRAWINGS MAY

- WHEN OR AS REQUIRED. G.C. & ALL TRADES, ARE RESPONSIBLE FOR COORDINATION OF THE LOCATIONS OF ALL MECH., ELEC., PLUMB. FIXTURES & DEVICES. IF CONFLICT EXIST BTW DRAWINGS, EXACT LOCATIONS SHALL BE PER ARCHITECTURAL DRAWINGS OR PER FIELD INSTRUCTION OF ARCHITECT.
- 12. G.C. & EA. TRADE SUBCONTRACTOR ARE RESPONSIBLE FOR REVIEWING & COORDINATING ALL TRADES' EQUIPMENT AND DISTRIBUTION INCLUDING PIPES, CONDUIT, ETC. TO ENSURE THAT ALL FIT IN THE ALLOCATED SPACE. ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND APPROPRIATE ENGINEER IMMEDIATELY, IN WRITING.
- 13. PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN, THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES. EXISTING FINISHES DISTURBED DURING THE COURSE OF THE WORK SHALL BE REPAIRED SUCH THAT PATCHES WILL NOT BE DETECTABLE & THE NEW SURFACE WILL BE CONTINUOUS W/ ADJACENT SURFACES. WALL SURFACES SHALL BE SMOOTH, DURABLE, AND STABLE, FREE OF CRACKS, HOLES, DENTS ETC.
- 14. WHERE NEW WALLS OR CONSTRUCTION ARE TO MEET EXISTING, REPAIR OR REPLACE EXISTING ADJACENT FINISHES AS REQ. SUCH THAT THE JOINT IS SMOOTH, FLUSH AND INVISIBLE WHEN COMPLETED.
- 15. G.C. AND TRADES SHALL CUT PENETRATIONS FOR MEP/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED. PATCHING OF ALL SURFACES W/ MATERIALS THAT MATCH AND ALIGN W/ THAT CUT SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT, WHETHER SPECIFICALLY SHOWN OR NOT. EACH TRADE IS RESPONSIBLE FOR PROVIDING APPROPRIATE FIRE RATED, FIRE RATED CAULK, ETC FOR ALL PENETRATIONS IN FIRE RATED SEPARATIONS IN ORDER TO MAINTAIN/RESTORE FIRE RATING.
- 1. ALL PARTITION DIMENSIONS SHOWN ARE TO FACE OF STUD @ NEW WALL CONSTRUCTION U.O.N.
- DIMENSIONS NOTED AS "CLR." MEAN CLEAR DIM. TO FACE OF FINISH.
- 3. ALL HORIZ. DIMS ARE SHOWN ON PLANS AND VERT. DIMS ON INTERIOR & EXTERIOR ELEVATIONS WHERE RELEVANT.
- 4. VERTICAL DIMENSIONS ARE TO T.O. SUBFLOOR, U.O.N. 17. ALIGN ELECTRICAL DEVICES INCLUDING SWITCHES, OUTLETS, FIRE ALARM DEVICES, EMERGENCY LIGHTS, ETC. VERTICALLY & HORIZONTALLY, WHEREVER IN CLOSE PROXIMITY TO EACH OTHER, AND UNLESS PREVENTED BY CODE. SEE MOUNTING HEIGHTS SCHEDULE FOR TYP. HEIGHTS, SEE ELEVATIONS FOR SPECIFIC EXCEPTIONS. ALIGN CEILING DEVICES INCLUDING SMOKE DETECTORS, SPRINKLER HEADS, ETC., WITH CEILING MOUNTED LIGHTING FIXTURES UNLESS OTHERWISE NOTED. CENTER ALI
- BETWEEN ELEMENTS OR WITHIN GRID IN BOTH DIRECTIONS U.O.N. 18. EA. TRADE IS RESPONSIBLE FOR SEALING AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.
- 19. ALL METAL & MEMBRANE FLASHINGS TO BE LAPPED POSITIVELY TO DRAIN.

20. SEPARATE DISSIMILAR METALS.



MOUNTING HEIGHTS - RESTROOMS ACCESSORIES



S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139



CONSULTANT

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify al Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may

change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards © 2021- all rights reserved

> FOR ENTITLEMENT 10/24/25 ISSUE DATE

PROJECT NUMBER 25049 CHECKED Checker APPROVED

Approver As indicated

SCALE

SHEET NAME

GENERAL NOTES, STANDARDS &

ABBREVIATIONS

SHEET NUMBER

S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

CONSULTANT

KEY PLAN

PROJECT INFORMATION

406 Broadway

© 2021- all rights reserved

ISSUE DATE

Cambridge, MA 02139

FOR APPROVAL

406 BROADWAY DEVELOPMENT

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work

of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the

Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall

change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards

be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may

architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled

CLIENT

GENERAL NOTES - CONSTRUCTION

INFORMATION ON WALL FINISH MATERIALS

5. ALL LOCATIONS WHERE INFILL WALLS MEET UNLESS OTHERWISE NOTED.

LINES GRAPHICALLY REPRESENT NEW BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.

PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS. 9. ALL DIMENSIONS INDICATED WITH A ±

CONTRACTOR.

EXISTING WALLS WERE REMOVED. 13. PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO

14. PROVIDE IN-WALL BLOCKING AS REQUIRED. 15. PROVIDE IN-WALL BLOCKING FOR ALL FUTURE

17. AT ALL AREAS OF MEP/FP EQUIPMENT

THROUGH AIR & VAPOR BARRIERS. 19. PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED

MATERIALS. U.N.O.

REFER TO MEP/FP DRAWINGS &

25. ALL MATERIAL INSTALLATION TO BE LEVEL &

26. SEE A130 SERIES FOR ALL FINISHES.

KEY NOTES_PROPOSED PLAN

AND TYPICAL MOUNTING HEIGHTS REQUIRED.

3. SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.

4. THE CONTRACTOR SHALL VERIFY ALL

6. EXISTING WALLS SHOWN WITH ADDITIONAL FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE 7. COORDINATE AREAWAY DRAINS AND FLOOR

8. PROVIDE BLOCKING FOR GRAB BARS,

REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY

DOOR INFO AND DETAILS. 11. ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN

4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS. 12. ALL EXISTING WALLS TO BE PATCHED WHERE

FLOORING TRANSITIONS ARE TO EXCEED 1/2"

PATCH / REPAIR HOLES IN FINISH FROM

18. SEAL AIR TIGHT ANY PENETRATIONS MADE

20. INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD)

SPECIFICATIONS FOR MORE INFORMATION.

INDICATED TO CENTERLINE OF JOINTS. 23. WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING; DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING

24. PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH, LEVEL, FLUSH FINISH.

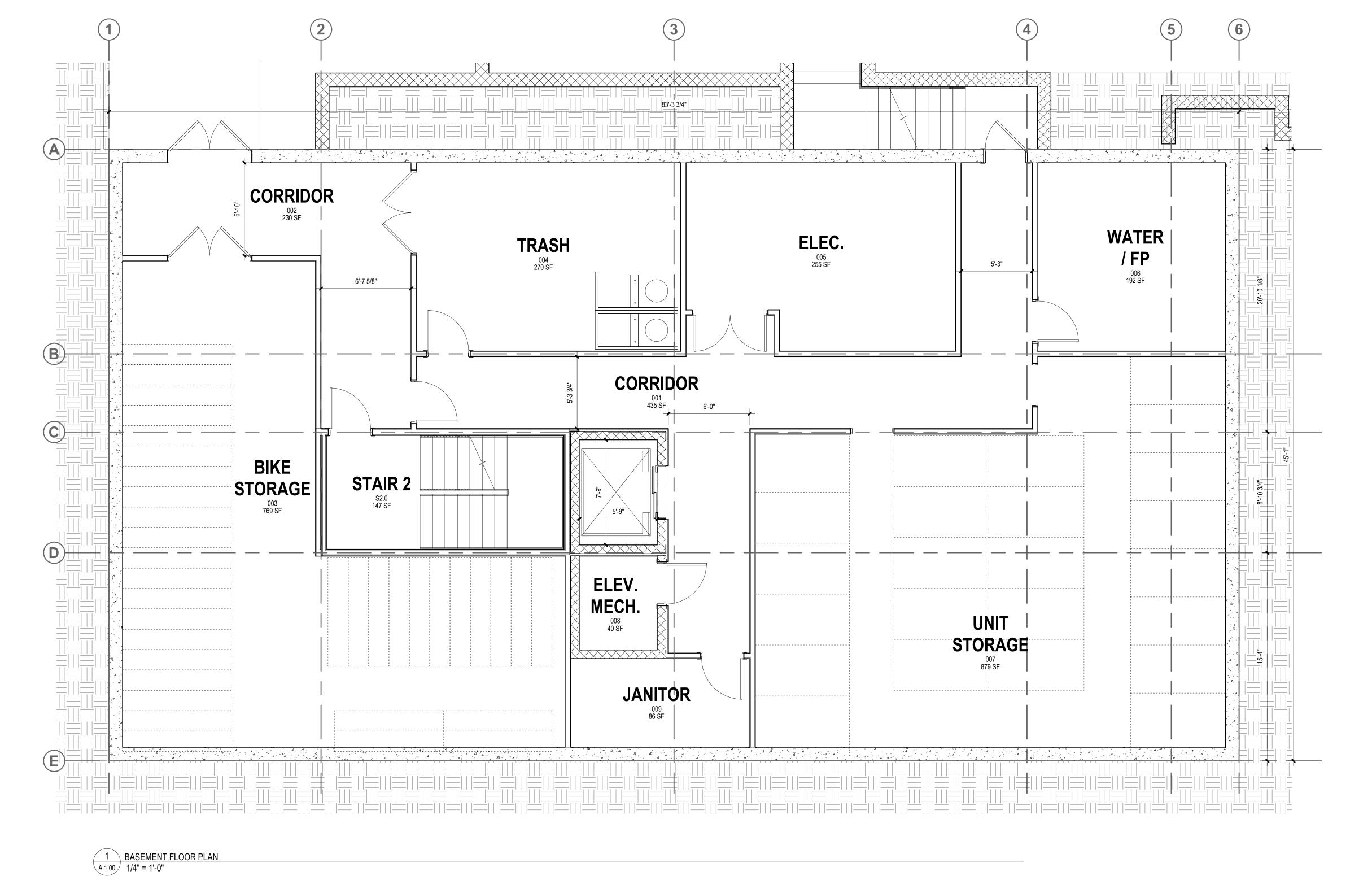
FOR ENTITLEMENT 10/24/25

25049 PROJECT NUMBER Checker

APPROVED Approver As indicated

SHEET NAME

BASEMENT FLOOR PLAN



■ EXISTING GLAZED PARTITION TO REMAIN NEW GWB PARTITION □ NEW GLAZED PARTITION NEW DOOR AND FRAME NEW FIRE EXTINGUISHER NIC - NOT IN CONTRACT HATCH

CONSTRUCTION LEGEND

EXISTING DOOR TO REMAIN

EXISTING GWB PARTITION TO REMAIN

SYMBOL DEFINITION

1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL

2. SEE GENERAL CONSTRUCTION NOTES ON SHEET G001.

EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.

EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES

DRAINS WITH PLUMBING DRAWINGS.

10. SEE DOOR SCHEDULE FOR ALL DOOR SIZES,

IN HEIGHT.

BUILT-IN CASEWORK WHERE INDICATED. 16. PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.

REMOVED FROM WALLS, CONTRACTOR TO REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.

21. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE. ONLY.

22. EXTERIOR MASONRY DIMENSIONS ARE

DIMENSION REQUIRED.

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

CONSULTANT

DESIGN FIRM

KEY PLAN

SEAL

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards

© 2021- all rights reserved **ISSUE CHART**

FOR ENTITLEMENT 10/24/25

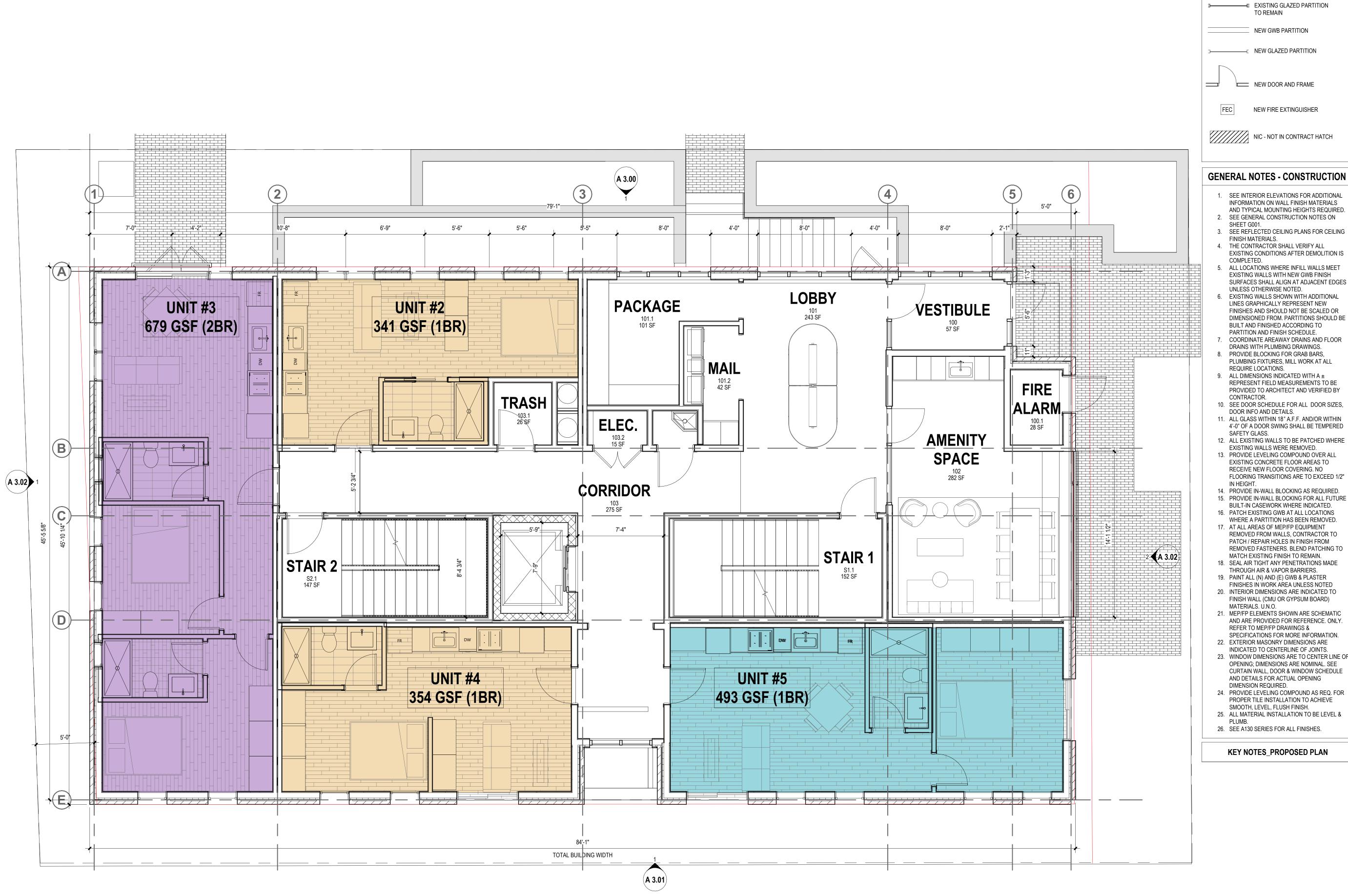
ISSUE DATE 25049 PROJECT NUMBER CHECKED Checker

APPROVED Approver

As indicated SHEET NAME

GROUND FLOOR PLAN

SHEET NUMBER



1 GROUND FLOOR PLAN A 1.01 1/4" = 1'-0"

EXISTING GLAZED PARTITION

NEW GWB PARTITION

NEW GLAZED PARTITION

CONSTRUCTION LEGEND

SYMBOL DEFINITION

NEW DOOR AND FRAME

GENERAL NOTES - CONSTRUCTION

INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED. 2. SEE GENERAL CONSTRUCTION NOTES ON

3. SEE REFLECTED CEILING PLANS FOR CEILING

4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS

ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.

EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.

COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS. PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL

9. ALL DIMENSIONS INDICATED WITH A ± REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY

10. SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS. 11. ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN

4'-0" OF A DOOR SWING SHALL BE TEMPERED 12. ALL EXISTING WALLS TO BE PATCHED WHERE

EXISTING WALLS WERE REMOVED. 13. PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2"

14. PROVIDE IN-WALL BLOCKING AS REQUIRED.15. PROVIDE IN-WALL BLOCKING FOR ALL FUTURE

BUILT-IN CASEWORK WHERE INDICATED.

17. AT ALL AREAS OF MEP/FP EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM

REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN. 18. SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.

19. PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED 20. INTERIOR DIMENSIONS ARE INDICATED TO

21. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE. ONLY. REFER TO MEP/FP DRAWINGS &

SPECIFICATIONS FOR MORE INFORMATION. 22. EXTERIOR MASONRY DIMENSIONS ARE INDICATED TO CENTERLINE OF JOINTS.

23. WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING; DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.

PROPER TILE INSTALLATION TO ACHIEVE SMOOTH, LEVEL, FLUSH FINISH. 25. ALL MATERIAL INSTALLATION TO BE LEVEL &

26. SEE A130 SERIES FOR ALL FINISHES.

KEY NOTES_PROPOSED PLAN

SEAL

KEY PLAN

PROJECT INFORMATION

406 Broadway

© 2021- all rights reserved

Cambridge, MA 02139

FOR APPROVAL

406 BROADWAY DEVELOPMENT

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work

of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all

Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled

Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

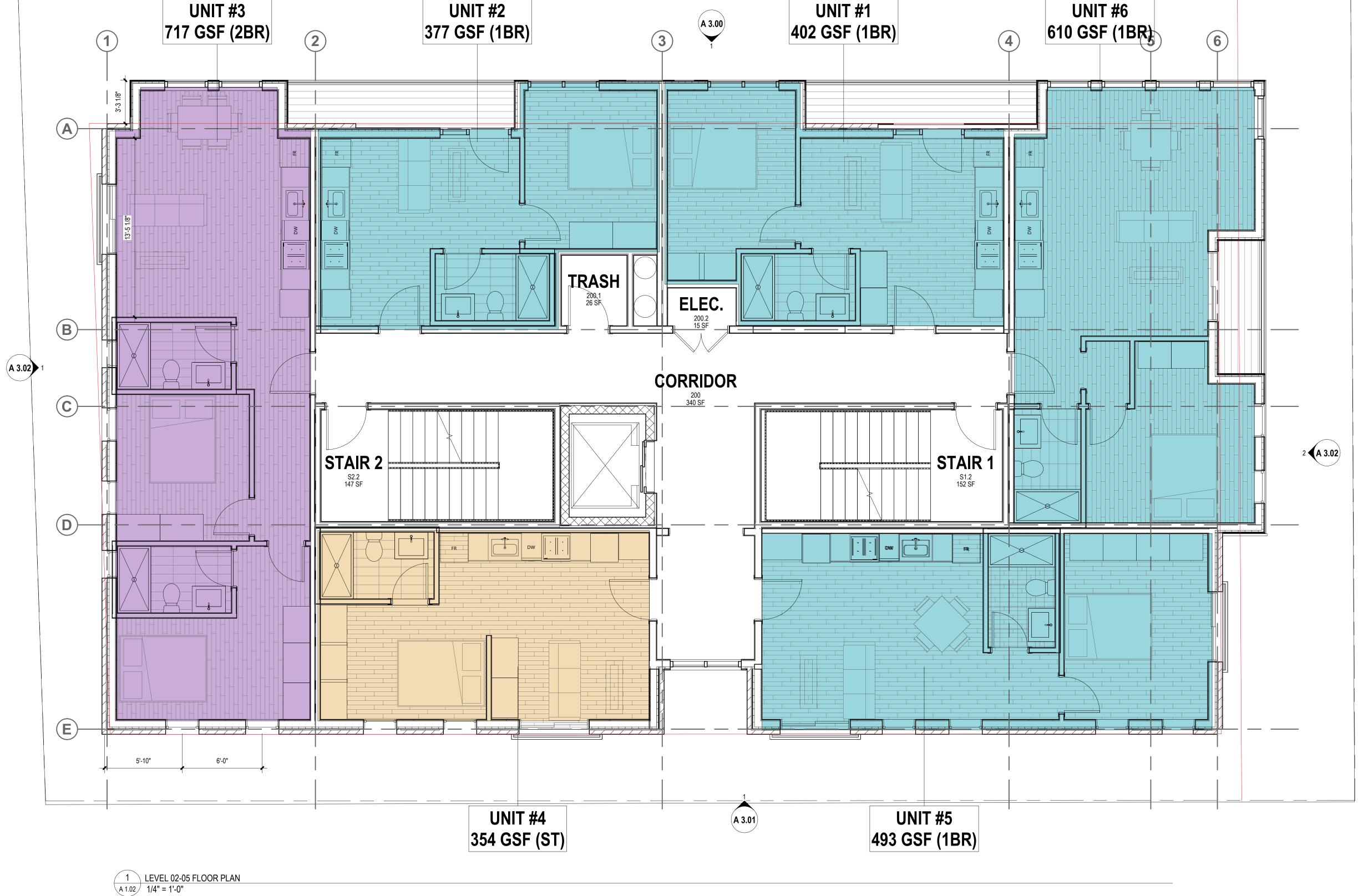
S&J BROADWAY REALTY 406 Broadway Cambridge, MA 02139 Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

FOR ENTITLEMENT 10/24/25 ISSUE DATE 25049 PROJECT NUMBER

CHECKED Checker **APPROVED** Approver

As indicated SHEET NAME

LEVEL 02 - 05 FLOOR PLAN



UNIT #1

UNIT #6

UNIT #3

SEAL

KEY PLAN

PROJECT INFORMATION

406 Broadway

© 2021- all rights reserved

FOR ENTITLEMENT 10/24/25

25049 PROJECT NUMBER

ISSUE DATE

CHECKED

APPROVED

Cambridge, MA 02139

FOR APPROVAL

406 BROADWAY DEVELOPMENT

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work

of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all

Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled

Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

GENERAL NOTES - CONSTRUCTION

- 1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED.
- EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.
- UNLESS OTHERWISE NOTED. LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR
- PARTITION AND FINISH SCHEDULE. 7. COORDINATE AREAWAY DRAINS AND FLOOR
- 8. PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL
- 9. ALL DIMENSIONS INDICATED WITH A ±
- 10. SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.
- SAFETY GLASS.
- EXISTING WALLS WERE REMOVED. EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2"
- BUILT-IN CASEWORK WHERE INDICATED. 17. AT ALL AREAS OF MEP/FP EQUIPMENT
- THROUGH AIR & VAPOR BARRIERS. 19. PAINT ALL (N) AND (E) GWB & PLASTER 20. INTERIOR DIMENSIONS ARE INDICATED TO
- REFER TO MEP/FP DRAWINGS & 22. EXTERIOR MASONRY DIMENSIONS ARE
- 26. SEE A130 SERIES FOR ALL FINISHES.

2. SEE GENERAL CONSTRUCTION NOTES ON SHEET G001.

- SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.
- 4. THE CONTRACTOR SHALL VERIFY ALL
- 5. ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES
- 6. EXISTING WALLS SHOWN WITH ADDITIONAL DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO
- DRAINS WITH PLUMBING DRAWINGS.
- REQUIRE LOCATIONS.
- REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.
- 11. ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN
- 4'-0" OF A DOOR SWING SHALL BE TEMPERED 12. ALL EXISTING WALLS TO BE PATCHED WHERE
- 13. PROVIDE LEVELING COMPOUND OVER ALL
- IN HEIGHT. 14. PROVIDE IN-WALL BLOCKING AS REQUIRED.15. PROVIDE IN-WALL BLOCKING FOR ALL FUTURE
- 16. PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED. REMOVED FROM WALLS, CONTRACTOR TO
- PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN. 18. SEAL AIR TIGHT ANY PENETRATIONS MADE
- FINISHES IN WORK AREA UNLESS NOTED
- FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS. U.N.O. 21. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE. ONLY.
- SPECIFICATIONS FOR MORE INFORMATION.
- INDICATED TO CENTERLINE OF JOINTS. 23. WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING; DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING
- DIMENSION REQUIRED. 24. PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH, LEVEL, FLUSH FINISH.
- 25. ALL MATERIAL INSTALLATION TO BE LEVEL &

KEY NOTES_PROPOSED PLAN

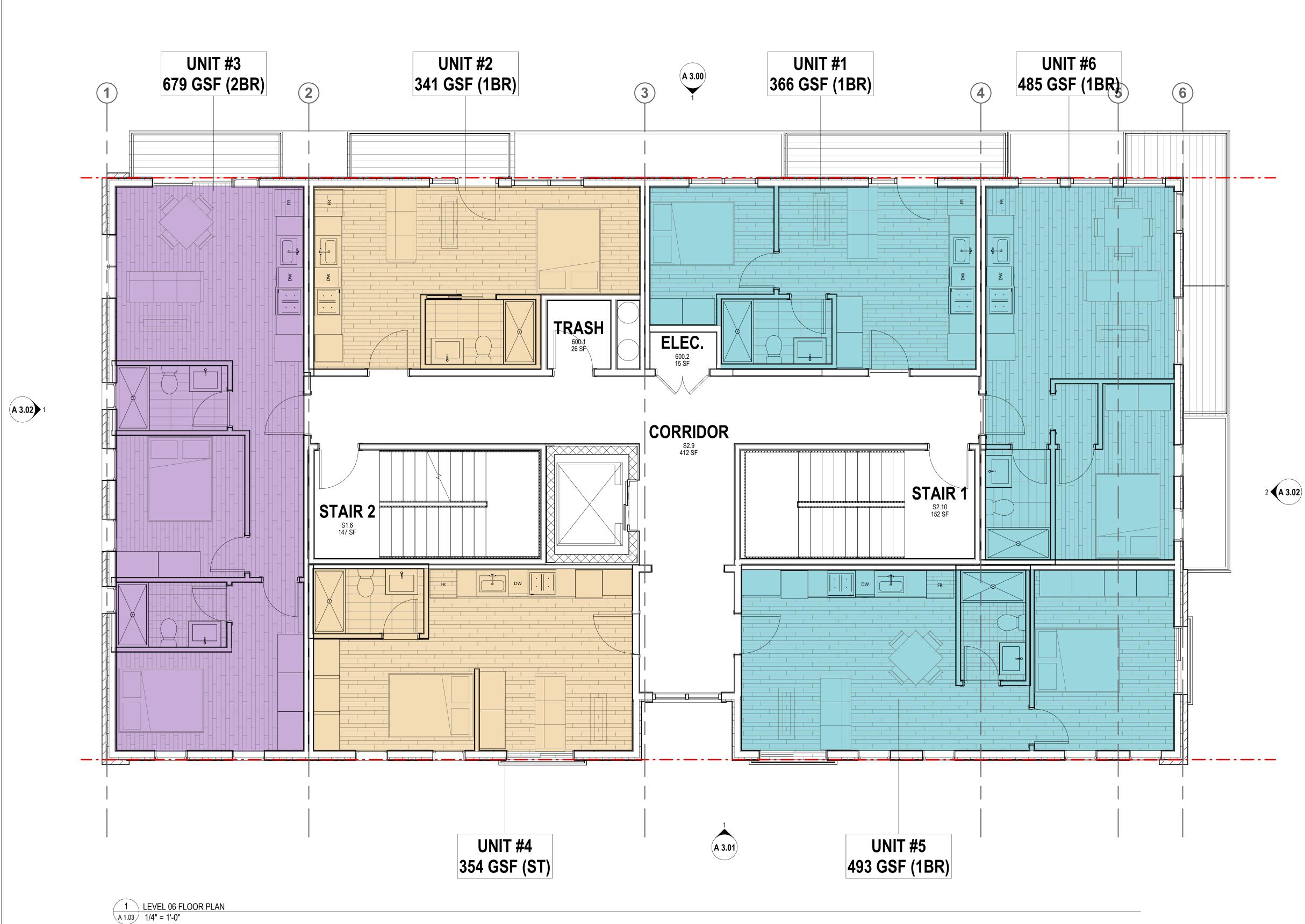
As indicated SHEET NAME

Checker

Approver

LEVEL 06 FLOOR PLAN

SHEET NUMBER



406 Broadway Cambridge, MA 02139

343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

406 BROADWAY DEVELOPMENT

of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all

change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards

Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may

406 Broadway

Cambridge, MA 02139

FOR ENTITLEMENT 10/24/25

25049 PROJECT NUMBER

ISSUE DATE

APPROVED

SHEET NAME

FOR APPROVAL

GENERAL NOTES - CONSTRUCTION

1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS

FINISH MATERIALS. 4. THE CONTRACTOR SHALL VERIFY ALL

EXISTING CONDITIONS AFTER DEMOLITION IS 5. ALL LOCATIONS WHERE INFILL WALLS MEET

SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED. 6. EXISTING WALLS SHOWN WITH ADDITIONAL

LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE. 7. COORDINATE AREAWAY DRAINS AND FLOOR

DRAINS WITH PLUMBING DRAWINGS. 8. PROVIDE BLOCKING FOR GRAB BARS,

PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS. 9. ALL DIMENSIONS INDICATED WITH A ±

DOOR INFO AND DETAILS. 11. ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.

12. ALL EXISTING WALLS TO BE PATCHED WHERE EXISTING WALLS WERE REMOVED. 13. PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2"

BUILT-IN CASEWORK WHERE INDICATED.

20. INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS. U.N.O.

AND ARE PROVIDED FOR REFERENCE. ONLY. SPECIFICATIONS FOR MORE INFORMATION.

INDICATED TO CENTERLINE OF JOINTS. 23. WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING; DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE

PROPER TILE INSTALLATION TO ACHIEVE SMOOTH, LEVEL, FLUSH FINISH.

AND TYPICAL MOUNTING HEIGHTS REQUIRED. 2. SEE GENERAL CONSTRUCTION NOTES ON

3. SEE REFLECTED CEILING PLANS FOR CEILING

EXISTING WALLS WITH NEW GWB FINISH

DIMENSIONED FROM. PARTITIONS SHOULD BE

REPRESENT FIELD MEASUREMENTS TO BE

PROVIDED TO ARCHITECT AND VERIFIED BY 10. SEE DOOR SCHEDULE FOR ALL DOOR SIZES,

IN HEIGHT. 14. PROVIDE IN-WALL BLOCKING AS REQUIRED.15. PROVIDE IN-WALL BLOCKING FOR ALL FUTURE

16. PATCH EXISTING GWB AT ALL LOCATIONS

WHERE A PARTITION HAS BEEN REMOVED. 17. AT ALL AREAS OF MEP/FP EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.

18. SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS. 19. PAINT ALL (N) AND (E) GWB & PLASTER

2 **(A 3.02**)

21. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC

22. EXTERIOR MASONRY DIMENSIONS ARE

AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED. 24. PROVIDE LEVELING COMPOUND AS REQ. FOR

25. ALL MATERIAL INSTALLATION TO BE LEVEL &

26. SEE A130 SERIES FOR ALL FINISHES.

KEY NOTES_PROPOSED PLAN

ROOF PLAN

Checker

Approver

As indicated

(407 GSF) **GROSS TOTAL ROOF AREA** (3,502 SQFT) A 3.01 1 ROOF PLAN A 1.04 1/4" = 1'-0"

COMMON ROOF DECK AREA

(approx. 500 sqft)

ROOF ACCESS STAIR & ELEVATOR

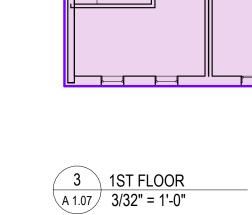
40% SOLAR-READY

ROOF AREA (REQ. 1,400 SQFT)

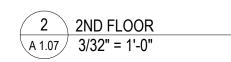
ROOFTOP

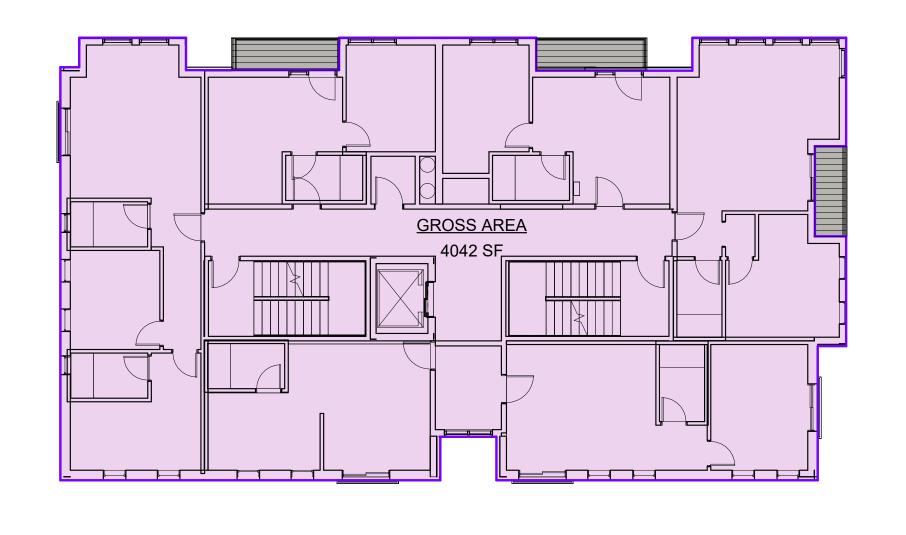
MECHANICAL AREA

A 3.02





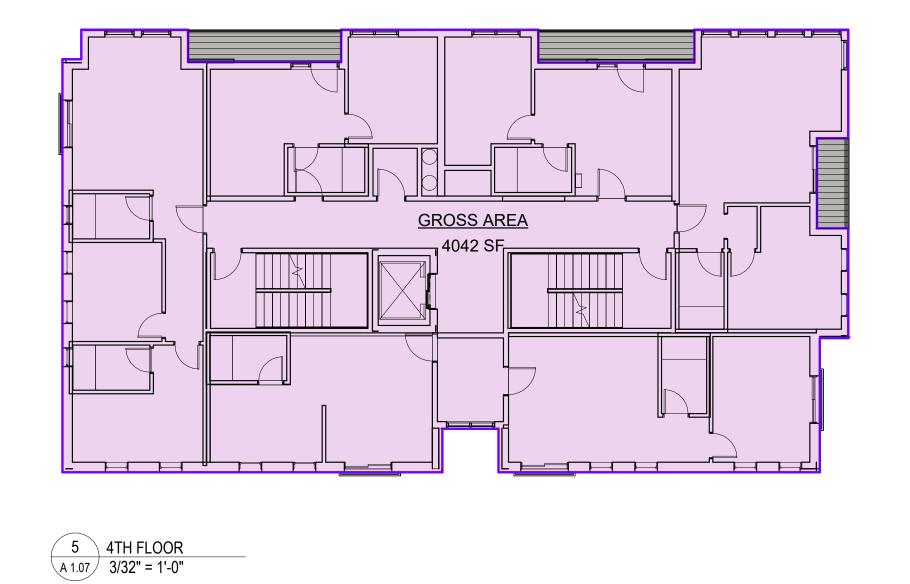




1 BASEMENT A 1.07 3/32" = 1'-0"

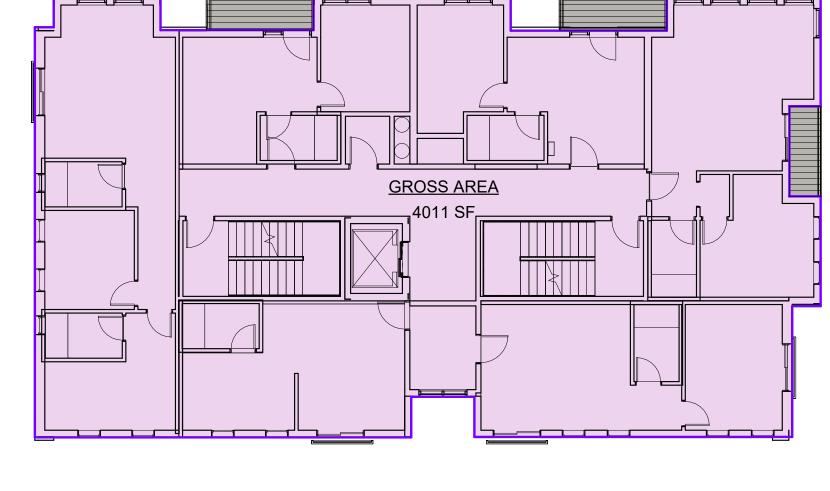
4 3RD FLOOR A 1.07 3/32" = 1'-0"

7 6TH FLOOR A 1.07 3/32" = 1'-0"



|

GROŠŠ AREA



6 5TH FLOOR A 1.07 3/32" = 1'-0"

AREA SCHEDULE-GROSS...

3756 SF

3786 SF

4042 SF

4042 SF

4042 SF

4011 SF 3770 SF

LEVEL

T.O. Roof Structure 407 SF Grand total: 8 27856 SF

Basement

Level 02

Level 03 Level 04

Level 05

GROSS AREA
3770 SF

8	ROOF	
A 1.07	3/32" = 1'-0"	

S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

CONSULTANT

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

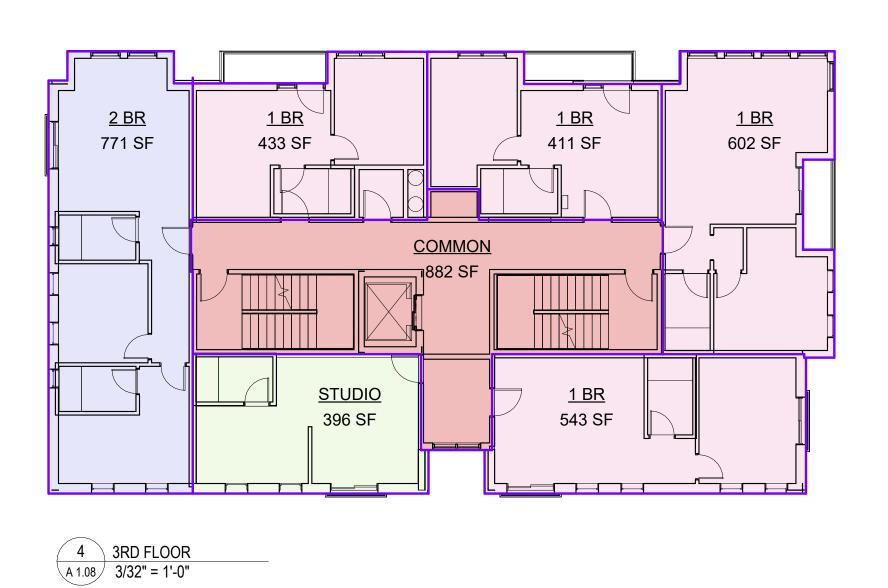
FOR APPROVAL

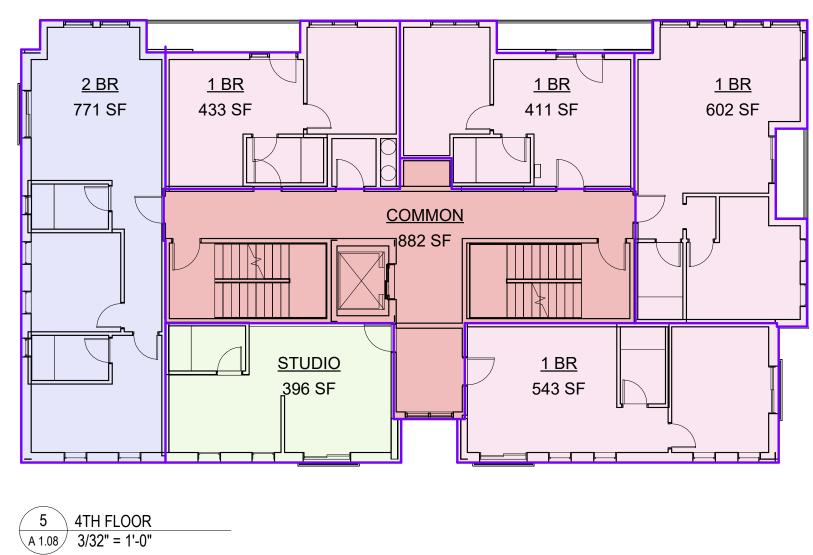
WARNING:

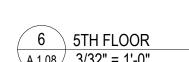
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

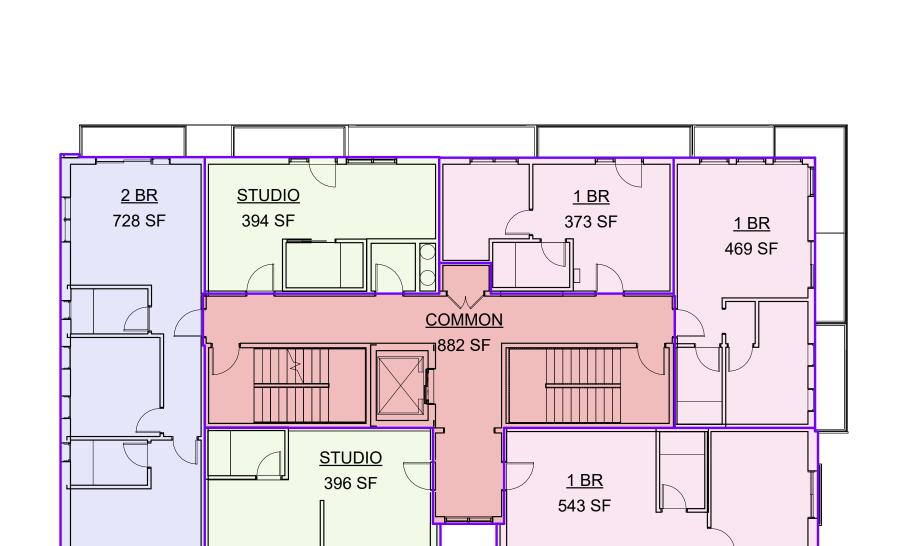
FOR ENTITLEMENT 10/24/25 ISSUE DATE 25049 PROJECT NUMBER CHECKED Checker APPROVED Approver 3/32" = 1'-0" SHEET NAME

AREA PLANS GFA (PER ZONING)

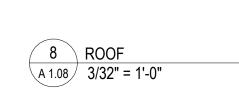


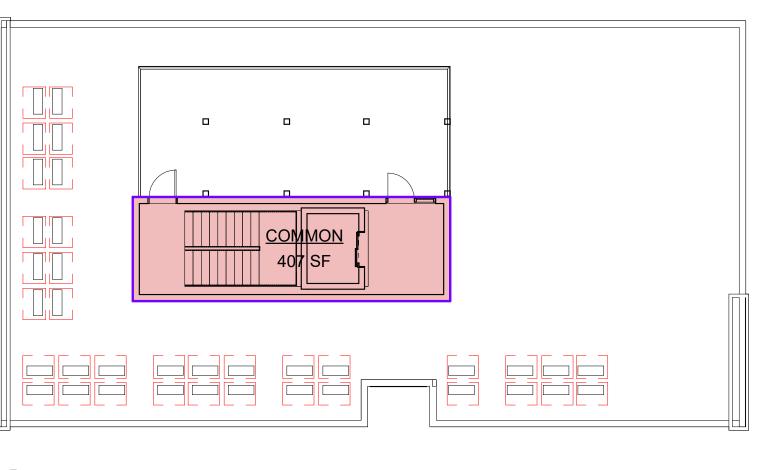






7 6TH FLOOR A 1.08 3/32" = 1'-0"





COMMON 882 SF	2 BR 771 SF	1 BR 433 SF 411 SF 602 SF
		COMMON
STUDIO 396 SF 543 SF		

6	5TH FLOOR	
A 1.08	3/32" = 1'-0"	

Level	Level Name	
Basement	COMMON	3756 SF
Level 01	1 BR	543 SF
Level 01	2 BR	734 SF
Level 01	COMMON	1707 SF
Level 01	STUDIO	403 SF
Level 01	STUDIO	396 SF
Level 02	1 BR	434 SF
Level 02	1 BR	412 SF
Level 02	1 BR	603 SF
Level 02	1 BR	543 SF
Level 02	2 BR	771 SF
Level 02	COMMON	882 SF
Level 02	STUDIO	396 SF
Level 03	1 BR	433 SF
Level 03	1 BR	411 SF
Level 03	1 BR	602 SF
Level 03	1 BR	543 SF
Level 03	2 BR	771 SF
Level 03	COMMON	882 SF
Level 03	STUDIO	396 SF

UNIT GROSS AREA SCHEDULE						
Level Name Area						
Level 04	1 BR	433 SF				
Level 04	1 BR	411 SF				
Level 04	1 BR	602 SF				
Level 04	1 BR	543 SF				
Level 04	2 BR	771 SF				
Level 04	COMMON	882 SF				
Level 04	STUDIO	396 SF				
Level 05	1 BR	433 SF				
Level 05	1 BR	411 SF				
Level 05	1 BR	602 SF				
Level 05	1 BR	543 SF				
Level 05	2 BR	771 SF				
Level 05	COMMON	882 SF				
Level 05	STUDIO	396 SF				
Level 06	1 BR	373 SF				
Level 06	1 BR	469 SF				
Level 06	1 BR	543 SF				
Level 06	2 BR	728 SF				
Level 06	COMMON	882 SF				
Level 06	STUDIO	394 SF				
Level 06	STUDIO	396 SF				
	1	'				
T.O. Roof Structure	COMMON	407 SF				

S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

CONSULTANT

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

FOR ENTITLEMENT 10/24/25 ISSUE DATE 25049 PROJECT NUMBER

Checker Approver 3/32" = 1'-0"

UNIT AREA PLANS

SHEET NAME

CLIENT

S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

CONSULTANT

SEAL

PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

ISSUE CHART

FOR ENTITLEMENT 10/24/25

ISSUE DATE

25049 PROJECT NUMBER Checker

APPROVED Approver

As indicated

SHEET NAME

EXTERIOR ELEVATIONS

S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

DESIGN FIRM Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

CONSULTANT

CLIENT

PROJECT INFORMATION

SEAL

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

FOR ENTITLEMENT 10/24/25

ISSUE DATE 25049 PROJECT NUMBER

> Checker APPROVED Approver

As indicated

SHEET NAME

EXTERIOR ELEVATIONS

SEAL

ISSUE DATE 25049 PROJECT NUMBER Checker

Approver

1/4" = 1'-0" SHEET NAME

EXTERIOR ELEVATIONS

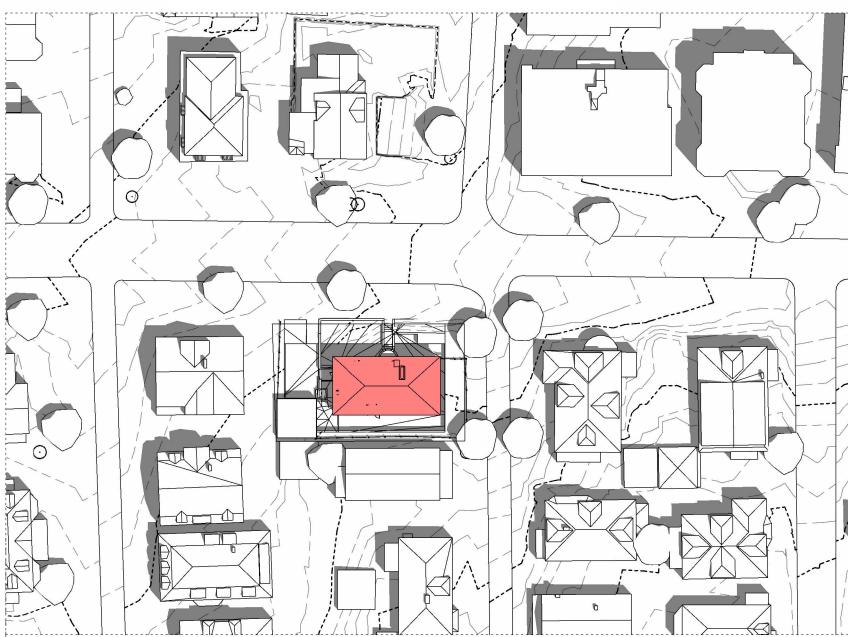


S&J BROADWAY REALTY

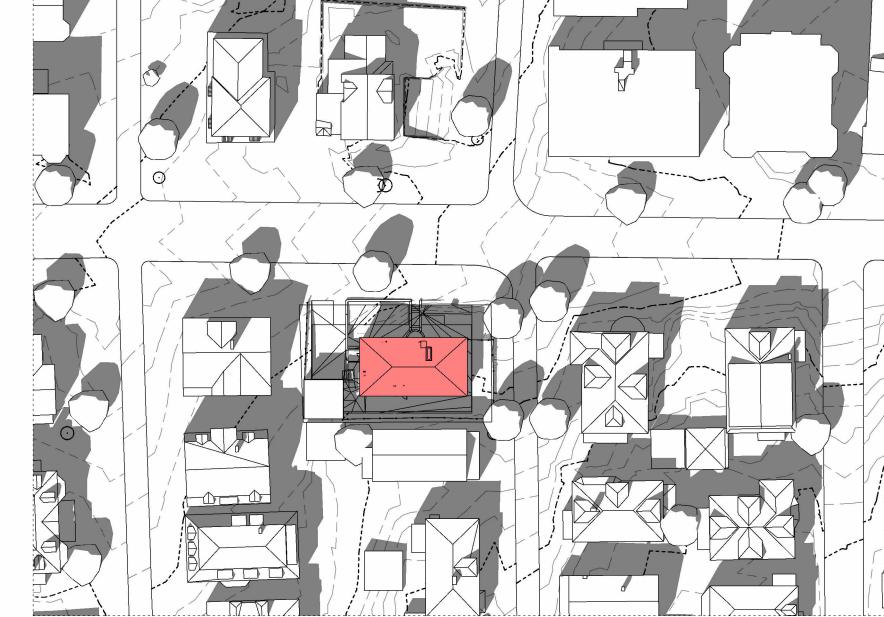
406 Broadway Cambridge, MA 02139

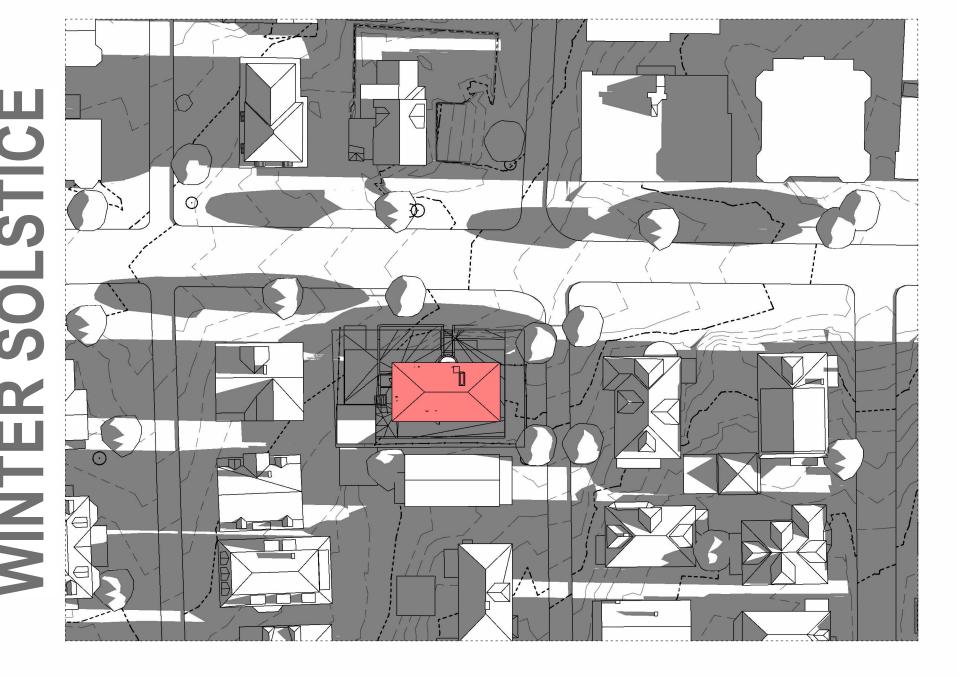
Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

NOON - 12.00 PM



AFTERNOON - 3.00 PM













406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL 10/24/2025 11:02:55 AM

WARNING:

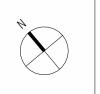
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

FOR ENTITLEMENT 10/24/25 ISSUE DATE 25049 PROJECT NUMBER

Approver 1" = 50'-0"

EXISTING SHADOWS

SHEET NAME



S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

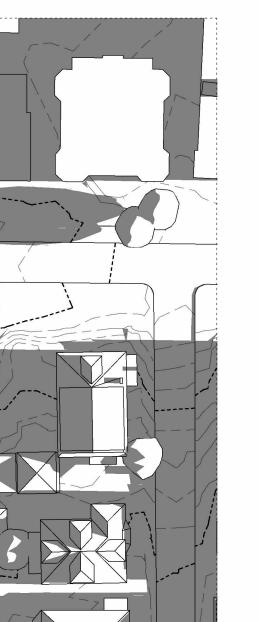
NOON - 12.00 PM

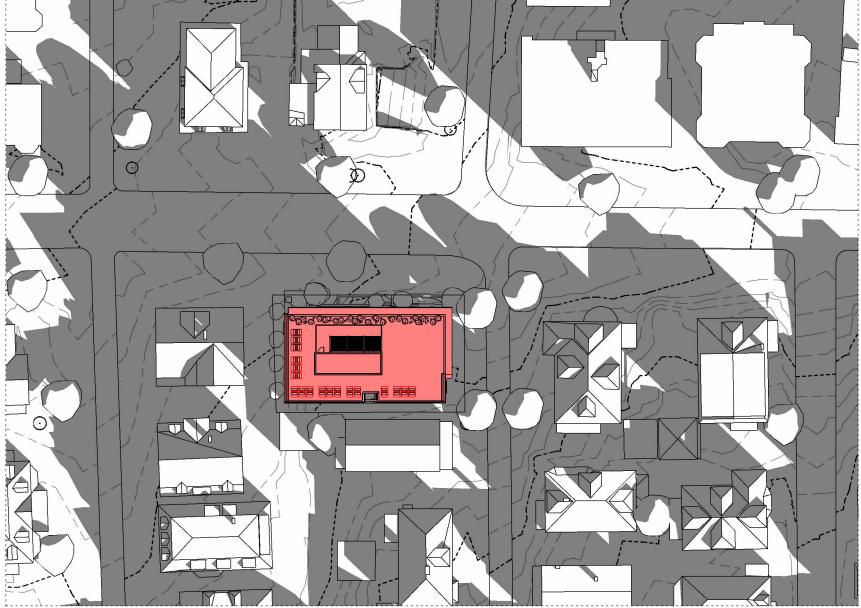


AFTERNOON - 3.00 PM



CONSULTANT







406 BROADWAY DEVELOPMENT

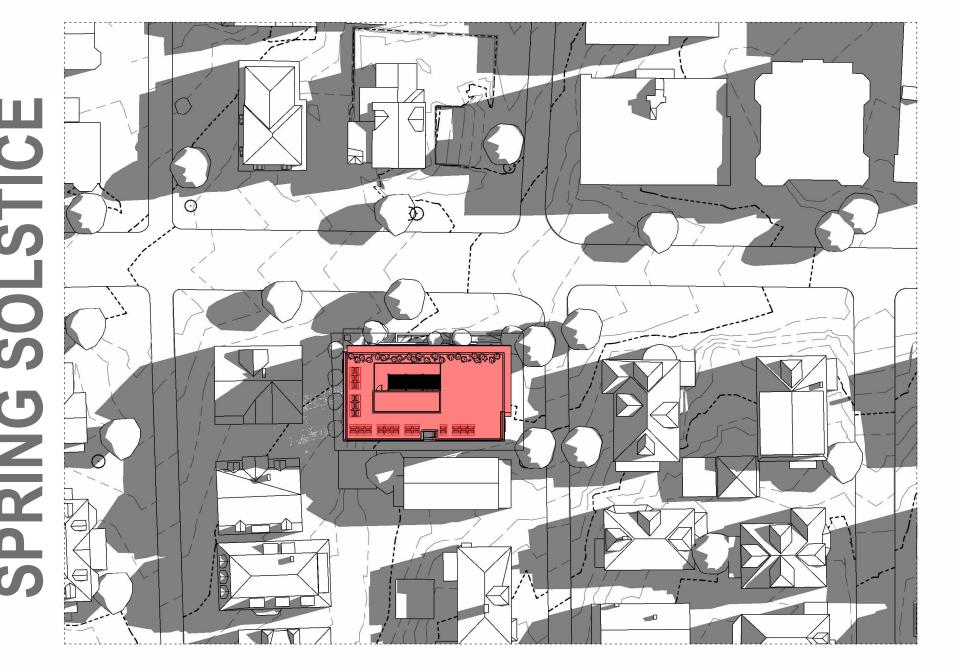
406 Broadway Cambridge, MA 02139

FOR APPROVAL

10/24/2025 11:05:51 AM

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.



M





FOR ENTITLEMENT 10/24/25 ISSUE DATE

25049 PROJECT NUMBER Approver

1" = 50'-0" SHEET NAME

PROPOSED SHADOWS



S&J BROADWAY REALTY

406 Broadway Cambridge, MA 02139

Joe The Architect, LLC 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com

CONSULTANT

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

FOR ENTITLEMENT 10/24/25

ISSUE DATE 25049 PROJECT NUMBER

3D VISUALIZATION



PROJECT INFORMATION

406 BROADWAY DEVELOPMENT

406 Broadway Cambridge, MA 02139

FOR APPROVAL

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.

FOR ENTITLEMENT 10/24/25 ISSUE DATE

25049 PROJECT NUMBER

SHEET NAME

3D VISUALIZATION

Cambridge Cool Score Sheet 10/23/2025

Applicant Contact / Address	Email Address	Zoning District Residence C-1
		30%
406 Broadway Applicant Name	Phone Number	6,048 Open Space Requirement (%)
Project Address 4.06 Project Address	Special Permit Number	Total Lot Area (SF)

Enter minimum required open space ratio. If the ratio is less than 20%, enter 20 here.

			Outside 20' of Street	Value Factor		Within 20' of Street	Value Factor	Contributing Area
Trees		Preserved Existing Trees						
Enter the number of	A1	Understory tree currently <10' canopy spread	4	0.80	+	1	1.60	720
trees in each category.	A2	Understory tree currently >10' canopy spread		1.00	+	0	2.00	-
Count each tree only once on this form.	А3	Canopy tree currently <15' canopy spread	0	0.80	+	0	1.60	-
once on this form.	A4	Canopy tree currently between 15' and 25' canopy spread	2	1.00	+	0	2.00	1,400
	A5	Canopy tree currently >25' canopy spread	0	1.20	+	0	2.40	-
		New or Transplanted Trees						
l	A6	Understory tree	4	0.60	+	2	1.20	720
	A7	Canopy tree	1	0.70	+	2	1.40	2,450
Planting Areas	B1	Lawn Area	0	0.30	+	0	0.60	-
	B2	Low Planting Area	400	0.40	+	630	0.80	664
Enter area in square feet of each component in the box provided		High Planting Area	0	0.50	+	0	1.00	-
Green Roofs &	C1	Green Façade	0	0.10	+	0	0.20	_
Facades	C2		0	0.30	+	0	0.60	_
For deficitions	C3		0	0.30	+	0	0.60	_
For definitions, see reference document.	C4		0	0.50	+	0	1.00	_
	C5		0	0.60	+	0	1.20	-
	D1	Low Slope Roof	0	N/A				
Paving &		High-SRI Paving	0	0.1				- 4
Structures		Shaded Area		0.2	+	300	0.40	120
Project		Portion of lot area utilizing green strategies	1			Total Contrib	uting Area	6,074
Summary		Portion of score from green strategies				Total Area Go	pal	1,814
		Portion of score from trees				COOL FAC	TOR	3.35
		Portion of score contributing to public realm cooling				JUNE		

When entering strategies that are within 20' of the street (including sidewalks), do not also enter them in column H.

High-SRI Paving areas within 20' of a Street do not count towards the Cool Score

If your project scores 1 or above, you have successfully met the requirements of the Cool Factor.