



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 JUL 14 PM 3:26
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 126224

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: Urban Spaces C/O FASTSIGNS of Quincy / Frank Meroney

PETITIONER'S ADDRESS: 70 Quincy Ave, Quincy, MA 02169

LOCATION OF PROPERTY: 107 First St., Cambridge, MA

TYPE OF OCCUPANCY: RES-DEV-LAND

ZONING DISTRICT: Business A Zone

REASON FOR PETITION:

/Sign/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Install (2) Mesh banners. Each are 140 sq. ft., 35'x4' and wrap around the corners of the building.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 7.000 Section: 7.16.22.B (Size Limitation/Wall Signs).

Original
Signature(s):

(Petitioner (s) / Owner)

FRANK MERONEY

(Print Name)

Address:

Tel. No. 6173022882

E-Mail Address: 2095@fastsigns.com

Date: 7/8/21

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Urban Spaces
Location: 70 Quincy Ave
Phone: 6173022882

Present Use/Occupancy: RES-DEV-LAND
Zone: Business A Zone
Requested Use/Occupancy: RES-DEV-LAND

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	N/A	N/A	N/A	(max.)
<u>LOT AREA:</u>	N/A	N/A	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	N/A	N/A	N/A	
<u>LOT AREA OF EACH DWELLING UNIT</u>	N/A	N/A	N/A	
<u>SIZE OF LOT:</u>				
WIDTH	N/A	N/A	N/A	
DEPTH	N/A	N/A	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	N/A	N/A	N/A	
REAR	N/A	N/A	N/A	
LEFT SIDE	N/A	N/A	N/A	
RIGHT SIDE	N/A	N/A	N/A	
<u>SIZE OF BUILDING:</u>				
HEIGHT	N/A	N/A	N/A	
WIDTH	N/A	N/A	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	N/A	N/A	N/A	
<u>NO. OF DWELLING UNITS:</u>	N/A	N/A	N/A	
<u>NO. OF PARKING SPACES:</u>	N/A	N/A	N/A	
<u>NO. OF LOADING AREAS:</u>	N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g: wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
- Adding leasing contact information will help the client occupy the building faster. This is a large project and having the location at low occupancy for too long will be a detriment to the client.
- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We US Parcel B, LP
(OWNER)

Address: 55 Bent St. Cambridge MA. 02141

State that I/We own the property located at 107 First St. Cambridge MA 02141, which is the subject of this zoning application.

The record title of this property is in the name of US Parcel B, LP

*Pursuant to a deed of duly recorded in the date 10/20/15, Middlesex South County Registry of Deeds at Book 66253, Page 173; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.


Jeff Hirsch
Duly Authorized 5/10/21
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Jeff Hirsch personally appeared before me, this 10th of May, 2021, and made oath that the above statement is true.

Kamir Notary

My commission expires July 22, 2022 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



STATE OF NEW YORK

IN SENATE
January 11, 1901

REPORT OF THE
COMMISSIONERS OF THE LAND OFFICE
IN ANSWER TO A RESOLUTION PASSED BY THE SENATE
MAY 17, 1899

ALBANY:

WHELAN & COMPANY, PRINTERS, 1899

Published by the State of New York,
under the authority of the Senate,
in the office of the State Printer,
Albany, 1901.

ALBANY:

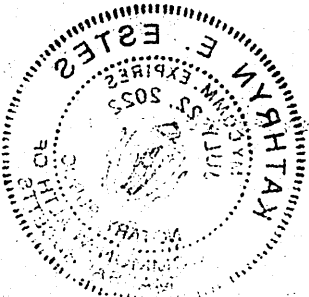
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SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Adding leasing contact information will help the client occupy the building faster. This is a large project and having the location at low occupancy for too long will be a detriment to the client.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

Unknown

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The banners will not affect public way or be of physical harm to the general public. They do not cause a visual nuisance. The aesthetics are neutral and fit the location and neighborhood.

2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The size of the banners are within scale of the building. In order for the copy to be read from a comfortable distance the size of the banners need to be larger to accommodate the copy size.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant** : Urban Spaces**Present Use/Occupancy:** RES-DEV-LAND**Location:** 70 Quincy Ave**Zone:** Business A Zone**Phone:** 6173022882**Requested Use/Occupancy:** RES-DEV-LAND

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	N/A	N/A	N/A	(max.)
<u>LOT AREA:</u>	N/A	N/A	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	N/A	N/A	N/A	
<u>LOT AREA OF EACH DWELLING UNIT</u>	N/A	N/A	N/A	
<u>SIZE OF LOT:</u>				
WIDTH	N/A	N/A	N/A	
DEPTH	N/A	N/A	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	N/A	N/A	N/A	
REAR	N/A	N/A	N/A	
LEFT SIDE	N/A	N/A	N/A	
RIGHT SIDE	N/A	N/A	N/A	
<u>SIZE OF BUILDING:</u>				
HEIGHT	N/A	N/A	N/A	
WIDTH	N/A	N/A	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	N/A	N/A	N/A	
<u>NO. OF DWELLING UNITS:</u>	N/A	N/A	N/A	
<u>NO. OF PARKING SPACES:</u>	N/A	N/A	N/A	
<u>NO. OF LOADING AREAS:</u>	N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Pacheco, Maria

From: Heather Hoffman <heather.m.hoffman.1957@gmail.com>
Sent: Monday, August 16, 2021 4:29 PM
To: Pacheco, Maria; Joseph, Swaathi; Messplay, Daniel
Subject: 107 First Street variance petition

Please distribute this to the Planning Board for its August 17 meeting and to the BZA for its August 19 meeting with respect to the petition for a variance for over-large, too-high for rent signs for 107 First Street, which just happens to be mostly on Hurley Street, a couple of blocks from my house.

I refer you to Carol O'Hare's letter, to which I can add nothing but admiration and thanks for saying what needs saying. There is no hardship stated, and this application should be rejected immediately for failure to even pretend to comply with the legal standard for a variance.

Thank you for your continued vigilance. Your jobs aren't easy, because you take your legal responsibilities seriously, for which you have my gratitude.

Heather Hoffman
213 Hurley Street (between Third and Sciarappa)



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: FRANK MERONEY Date: 8/5/21
(Print)

Address: 107 First St.

Case No. BZA-126824

Hearing Date: 8/19/21

Thank you,
Bza Members

Pacheco, Maria

From: Joseph Rose <cambridgemoxie@yahoo.com>
Sent: Monday, August 16, 2021 9:34 AM
To: Pacheco, Maria
Subject: BZA-126224 Letter of Opposition

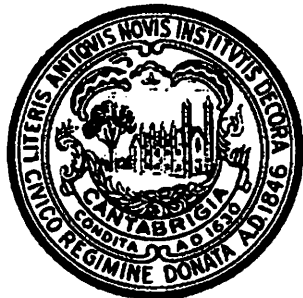
To the Cambridge Board of Zoning Appeal,

With respect to BZA case BZA-126224, this application does not meet the hardship requirements to allow for the addition of large banners on the outside of this property especially as these signs will be a substantial detriment to the public good, do provide a visual nuisance, and these will be posted for an indeterminate period of time. These signs would detract from the aesthetics and physical appearance of the buildings and surrounding streetscape.

I oppose this petition.

Sincerely,

Joe Rose
Spring St



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

August 18, 2021

To: The Board of Zoning Appeal

From: The Planning Board

RE: BZA-126224 107 First Street

The Planning Board reviewed this BZA application during a meeting on August 17, 2021 and decided to forward the following comments to BZA.

The Board does not recommend the approval of the signs as proposed as the proposal does not provide a rationale to exceed the signage limitations allowed by zoning.

FASTSIGNS
More than fast. More than signs.®



© FASTSIGNS International, Inc. 2012

Frank Meroney
FASTSIGNS of Quincy
70 Quincy Ave
Quincy, MA 02169

To Whom It May Concern,
We formally request a continuance for Application 126224, 107 First St. Until the next meeting. If you have any Questions, please email.

Thank You,
Frank Meroney



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2021 AUG 19 PM 12:02

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-126224

Address: 107 First St.

Owner, Petitioner, or Representative: Frank Meroney
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The Owner, Petitioner, or Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 8-19-21

[Signature]
Signature

* * * * *

(7:30 p.m.)

Sitting Members: Brendan Sullivan, Jim Monteverde, Laura Wernick, Matina Williams and Jason Marshall

BRENDAN SULLIVAN: The Board will hear Case Number #126224 -- 107 First Street. Is there anybody representing the applicant in this particular case?

[Pause]

BRENDAN SULLIVAN: No. We are in receipt of a letter from Frank Meroney, M-e-r-o-n-e-y, Fast Signs of Quincy.

"To Whom it May Concern: We formally request a continuance for applicant 126224 -- 107 First Street, until the next meeting. If you have any questions, please e-mail. Thank you, Frank Meroney."

I will make a motion, then, to continue this matter on the condition that the applicant and in their supporting statements under B where it says, "The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures, and especially affecting such land or structures by not

1 affecting generally the zoning district, which it is located
2 for the following reasons, and the answer is unknown that
3 the petitioner must give a reason as to the hardship to
4 waive the zoning ordinance regarding this particular sign
5 location."

6 And also, I would -- that is also reiterated by
7 the Planning Board report.

8 I will continue this -- may I make a motion to
9 continue this matter on the condition that the petitioner
10 sign a waiver to the statutory requirement for a hearing on
11 the decision to be rendered thereof.

12 That the posting sign be changed to reflect the
13 new date of October 7, 2021 at 6:00 p.m., and that any new
14 submissions and/or supporting statements be in the file by
15 5:00 p.m. on the Monday prior to the October 7, 2021
16 hearing.

17 On the motion, then, to grant the request for the
18 continuance, Jim?

19 JIM MONTEVERDE: Jim Monteverde in favor.

20 BRENDAN SULLIVAN: Matina Williams?

21 MATINA WILLIAMS: Matina Williams in favor.

22 JIM MONTEVERDE: Laura?

1 LAURA WERNICK: Laura Wernick in favor of
2 granting.

3 BRENDAN SULLIVAN: Jason?

4 JASON MARSHALL: Jason Marshall yes.

5 BRENDAN SULLIVAN: And the Chair, Brendan
6 Sullivan, votes in favor of the continuance.

7 [All vote YES]

8 BRENDAN SULLIVAN: We have to wait four minutes.

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CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 126224

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: Urban Spaces C/O FASTSIGNS of Quincy / Frank Meroney

PETITIONER'S ADDRESS: 70 Quincy Ave, Quincy, MA 02169

LOCATION OF PROPERTY: 107 First St., Cambridge, MA

TYPE OF OCCUPANCY: RES-DEV-LAND

ZONING DISTRICT: Business A Zone

REASON FOR PETITION:

/Sign/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Install (2) Mesh banners. Each are 140 sq. ft., 35'x4' and wrap around the corners of the building.

Optional Solution:

Install (2) Mesh banners. Each are 70 sq. ft., 35'x2' and don't wrap around the corners of the building only on the face of the building.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 7.000 Section: 7.16.22.B (Size Limitation/Wall Signs).

Original
Signature(s):

(Petitioner (s) / Owner)

Frank Meroney

(Print Name)

Address: 70 Quincy Ave
Quincy MA 02169

Date: 9/28/2021

Tel. No. 6173022882
E-Mail Address: 2095@fastsigns.com

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Urban Spaces

Present Use/Occupancy: RES-DEV-LAND

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Zone: Business A Zone

Phone: 6173022882

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	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
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DEPTH	N/A	N/A	N/A	
<u>SETBACKS IN FEET:</u>				
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REAR	N/A	N/A	N/A	
LEFT SIDE	N/A	N/A	N/A	
RIGHT SIDE	N/A	N/A	N/A	
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HEIGHT	N/A	N/A	N/A	
WIDTH	N/A	N/A	N/A	
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***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

OPTION 1 - WRAPPED

Mesh Banner
Size = 35' x 4'
SqFt = 140 per side
280 total



Location 1 - Wrapped

FASTSIGNS

70 Quincy Ave. Quincy, MA 02169
617-302-2882 | 2095@fastsigns.com
www.fastsigns.com/2095

Client: Lincoln Property

Job Number: 9057

Date: 09.27.21

Project: Building Banners

Revision: 2

Please review the entire preview carefully. Production will begin when proof approval has been received. *Fastsigns Quincy* is not responsible for approvals of Copyright, Trademark, and Licensing Agreements of artwork. All artwork is the exclusive property of *Fastsigns Quincy* and cannot be reproduced without the expressed written consent of *Fastsigns Quincy*. Actual printed colors may vary slightly due to differences in digital and pigmented colors. Location of lettering on vehicles, doors, windows and walls is a close representation of placement and is not guaranteed. Field adjustments can be required but will not change the character of the overall design. One revision can be provided free of charge if needed. Each additional revision will be subject to a \$20 art charge. If cancellation is requested after proof completion, cancellation fees will be assessed. If a proof containing errors is approved, the customer is responsible for all costs, including all original costs of printing, art corrections, and reprints.

OPTION 1 - WRAPPED

Mesh Banner
Size = 35' x 4'
SqFt = 140 per side
280 total



Location 2 - Wrapped

FASTSIGNS

70 Quincy Ave. Quincy, MA 02169
617-302-2882 | 2095@fastsigns.com
www.fastsigns.com/2095

Client: Lincoln Property

Job Number: 9057

Project: Building Banners

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OPTION 2 - NOT WRAPPED

Mesh Banner
Size = 35' x 2'
SqFt = 70 per side
140 total



Location 1 - Not Wrapped

FASTSIGNS

70 Quincy Ave. Quincy, MA 02169
617-302-2882 | 2095@fastsigns.com
www.fastsigns.com/2095

Client: Lincoln Property

Job Number: 9057

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OPTION 2 - NOT WRAPPED

Mesh Banner
Size = 35' x 2'
SqFt = 70 per side
140 total



Location 2 - Not Wrapped

FASTSIGNS

70 Quincy Ave. Quincy, MA 02169
617-302-2882 | 2095@fastsigns.com
www.fastsigns.com/2095

Client: Lincoln Property

Job Number: 9057

Date: 09.27.21

Project: Building Banners

Revision: 2

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Pacheco, Maria

From: Carol O'Hare <carol@carolok.com>
Sent: Tuesday, October 5, 2021 5:26 AM
To: Pacheco, Maria
Subject: P.S.: BZA: Urban Spaces, "For Rent" Signs - Variances, 107 First St., Case #126224 (Continued to 10/7/21)

P.S. to BZA

- Obviously and again, the petitioner hasn't described their "unknown" substantial hardship.
 - Even though they've reduced the size and eliminated the wrap-around spread of their 2 signs, they're still way too big.
 - Even though the signs only say "FLATSONFIRST.COM," they're obviously still "for rent" signs.
- &
- If this petitioner qualifies for zoning variances for these 2 "for rent" signs, what landlord will not?

Thanks, as always, for your time and service.

Carol O'Hare
172 Magazine St.

Pacheco, Maria

From: Heather Hoffman <heather.m.hoffman.1957@gmail.com>
Sent: Monday, October 4, 2021 6:09 PM
To: Pacheco, Maria
Subject: 107 First Street continued sign variance hearing

I am writing to draw the board members' attention to the fact that the applicant appears to have ignored their instruction to include an actual hardship in the application; it remains "unknown". I concur. Living a couple of blocks away, I am unable to imagine an articulable legally cognizable hardship that would justify this variance. Please just deny it.

Heather Hoffman
213 Hurley Street

107-119 FIRST STREET | FIRST STREET P.U.D.

107-119 First Street Cambridge, MA 02141

Owner: U.S. Parcel B, LP	Construction Manager:	Civil / Site: Bohler Engineering	Landscape: Wagner Hodgson	Structural: L.A. Fuess Partners	Mechanical & Plumbing: R.W. Sullivan	Electrical: R.W. Sullivan	Lighting Consultant:	Food Service:	Planning / Zoning: Boyes-Watson Architects	Envelope Consultant: R. J. Kenney Associates	Code Consultant: R.W. Sullivan	Acoustical Consultant:
111 First Street Cambridge, MA 02141		75 Federal Street, Boston, MA 02110	7 Marble Avenue Burlington, VT 05401	101 Federal Street Suite 502 Boston, MA 02110	529 Main Street, Suite 203 Boston, MA 02129	529 Main Street, Suite 203 Boston, MA 02129			30 Bow Street Somerville, MA	72 Washington Street, Plainville, MA 02762	529 Main Street, Suite 203 Boston, MA 02129	

DRAWING SCHEDULE



VOLUME 1

ADDENDUM 5

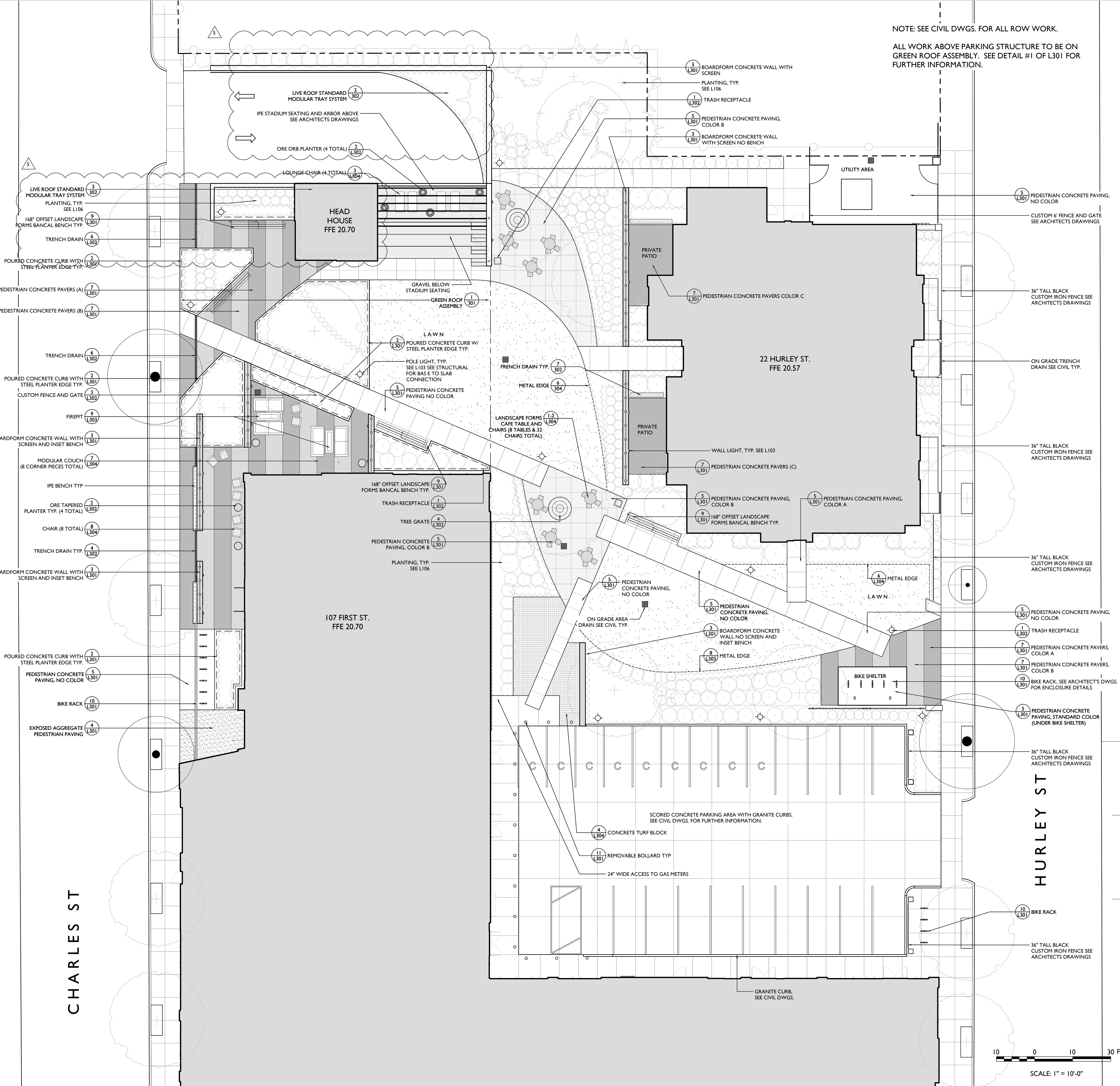
GENERAL NOTES

- Contractor is responsible for all damage due to his operations inside and outside the contract limit line.
- Contractor is responsible for checking spot elevations and verifying proposed grades by providing grade stakes. Grades must be approved by Landscape Architect prior to proceeding.
- Contractor shall blend new work smoothly with existing grades at contract limit line and/or limit of construction line.
- Contractor to verify that subgrades are 6 inches below finished grade prior to spreading top soil for seeded areas.
- All walks shall have 2% cross pitch, and all step treads and wall caps shall have 1% cross pitch unless otherwise noted.
- Light fixture locations may be field adjusted with prior Landscape Architect approval.
- Walkway layout to be approved by Landscape Architect prior to construction.
- Site furniture and wall locations to be verified by Landscape Architect prior to installation.
- General Contractor is responsible for all erosion control measures during construction.
- It is the intent of this contract to avoid any disturbance to existing trees or shrubs on site other than those specifically designated for transplant or removal.
- Liquidated damages for trees damaged by construction operation shall be \$500 per caliper inch. Shrubs shall be \$100 each.
- Base survey prepared by <INSERT SURVEYOR INFORMATION HERE>

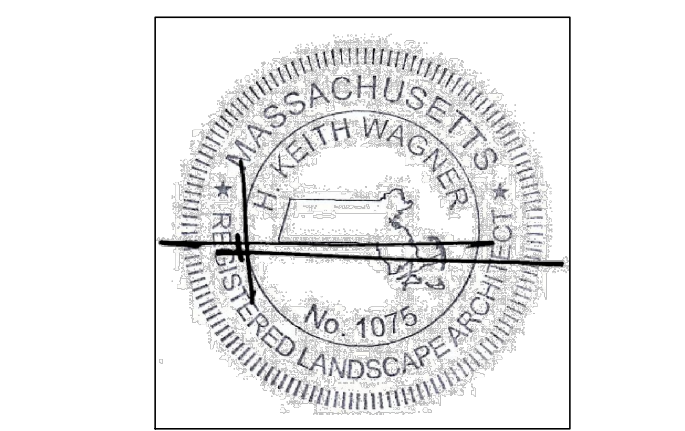
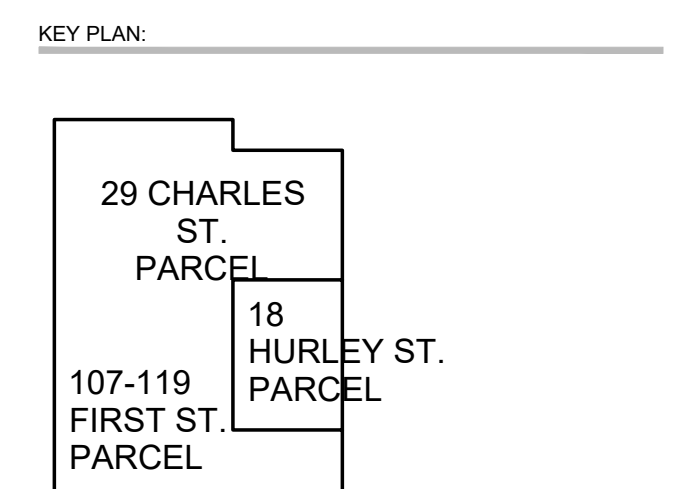
TREE PROTECTION NOTES

- Proposed methods, and schedule for effecting tree and plant protection shall be submitted for approval.
- Proposed methods, materials, and schedule for root pruning, construction pruning, and tree fertilization shall be submitted for approval.
- Certain specimen trees adjacent to construction areas and in other key locations will be identified by the Owner and the Architect, and marked with red tags. Loss of any of these trees will result in fines assessed at \$5,000 per tree. Damage to all other trees on the property will be assessed at the rate of \$500 per inch caliper of the tree.
- A fine of \$1,000 will be levied against the Contractor for each incident of construction inside tree protection areas.
- Damages to trees, shrubs, and other vegetation will be assessed by the Architect and Owner in accordance with the International Society of Arboriculture (ISA) Guide.
- Trees or roots visibly damaged will cause the Owner to withhold from the Contractor an assessed amount conforming to the requirements stipulated above for a period of two years. After that period the impact of the damaged to any tree will be assessed accordingly.
- If any trees or shrubs designated to be saved are damaged and replacement is required, a number and diameter of trees or shrubs of the same species and variety, as specified by the Owner and Architect, shall be furnished and planted by the Contractor. The total inch diameter of the replacement trees or shrubs shall equal the diameter of the tree or shrub to be replaced. The Contractor shall not be liable for any loss or damage which occurs while the Contractor is complying with instructions given by the Owner, Architect, or arborist working on the Project.
- The Contractor's attention is called to the fact that certain areas on the site exist as natural woodland spaces and are to remain as natural woodlands. Therefore, all construction operations must be performed in such a manner, which will preserve these existing natural environments as wood preserves.
- Designated areas of trees, understory, and wildflowers are to remain untouched and unharmed.
- Clearly mark all clearing limits in the field and accompany Architect on a joint review of clearing limits before clearing operations have commenced. Limit of clearing is generally defined as the limit of grading.
- Galvanized chain link fencing, 4 feet high. Stakes for fencing shall be 8 feet galvanized steel posts, driven a minimum of 3 feet into the ground. Posts shall be spaced 10 feet on center maximum.
- Prior to start of demolition work and clearing and grubbing operations, tree protection fencing shall be installed in accordance with the following: Fencing shall be installed at the tree protection areas indicated on the Drawings.
- Fencing shall be installed a minimum of 15 feet beyond the drip line of the trees to be protected, unless otherwise approved by the Architect.
- Where construction will be in close proximity to existing trees designated to remain, roots shall be pruned. Proximity shall be as determined in the field by the Landscape Architect or Arborist.
- Suitable means for root pruning include trenching, vibrating plow, and water jet pruning. Any method which tears roots or disturbs the soil beyond the grading limit is unacceptable.
- Trees to receive root pruning shall be reviewed by an arborist for canopy pruning, fertilization and trench backfill recommendations.
- Selective clearing within tree protection areas shall only be performed when and as directed by the Landscape Architect. Refer to Section 02115, selective clearing.
- Except as otherwise indicated or requested by Landscape Architect, temporary protection devices and facilities installed during course of the work shall be removed only after all work which may injure or damage trees and plants is completed.

NOTE: SEE CIVIL DWGS. FOR ALL ROW WORK.
ALL WORK ABOVE PARKING STRUCTURE TO BE ON GREEN ROOF ASSEMBLY. SEE DETAIL #1 OF L301 FOR FURTHER INFORMATION.



PERKINS EASTMAN
20 ASHBURTON PLACE, FLOOR 8 BOSTON, MA 02108
T: 617 439 4000 www.perkinseastman.com
PROJECT TEAM
OWNER:
U.S. Parcel B, LP
111 First Street, Cambridge MA 02141
Civil / Site
Bohler Engineering
45 Franklin Street, 5th Floor Boston, MA 02110
617-849-8040
Landscape
Wagner Hodgson
7 Marble Avenue Burlington, VT 05401
802-864-0010
Structural
L.A. Fuess Partners
101 Federal Street Suite 502 Boston, MA 02110
617-362-7424
MEP / Code
R.W. Sullivan
529 Main Street, Suite 203 Boston, MA 02129
617-523-8227
LEED
CLEAResult
50 Washington Street, Suite 3000
Westborough, MA 01581
508-836-9500



PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA

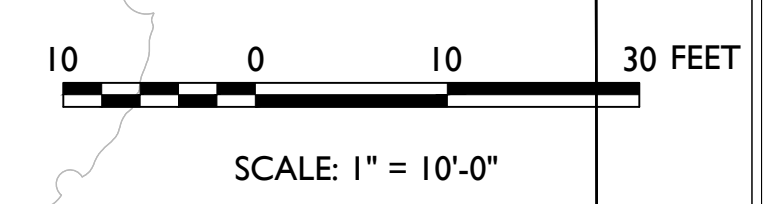
PROJECT # 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
MATERIALS PLAN

DRAWING HISTORY:

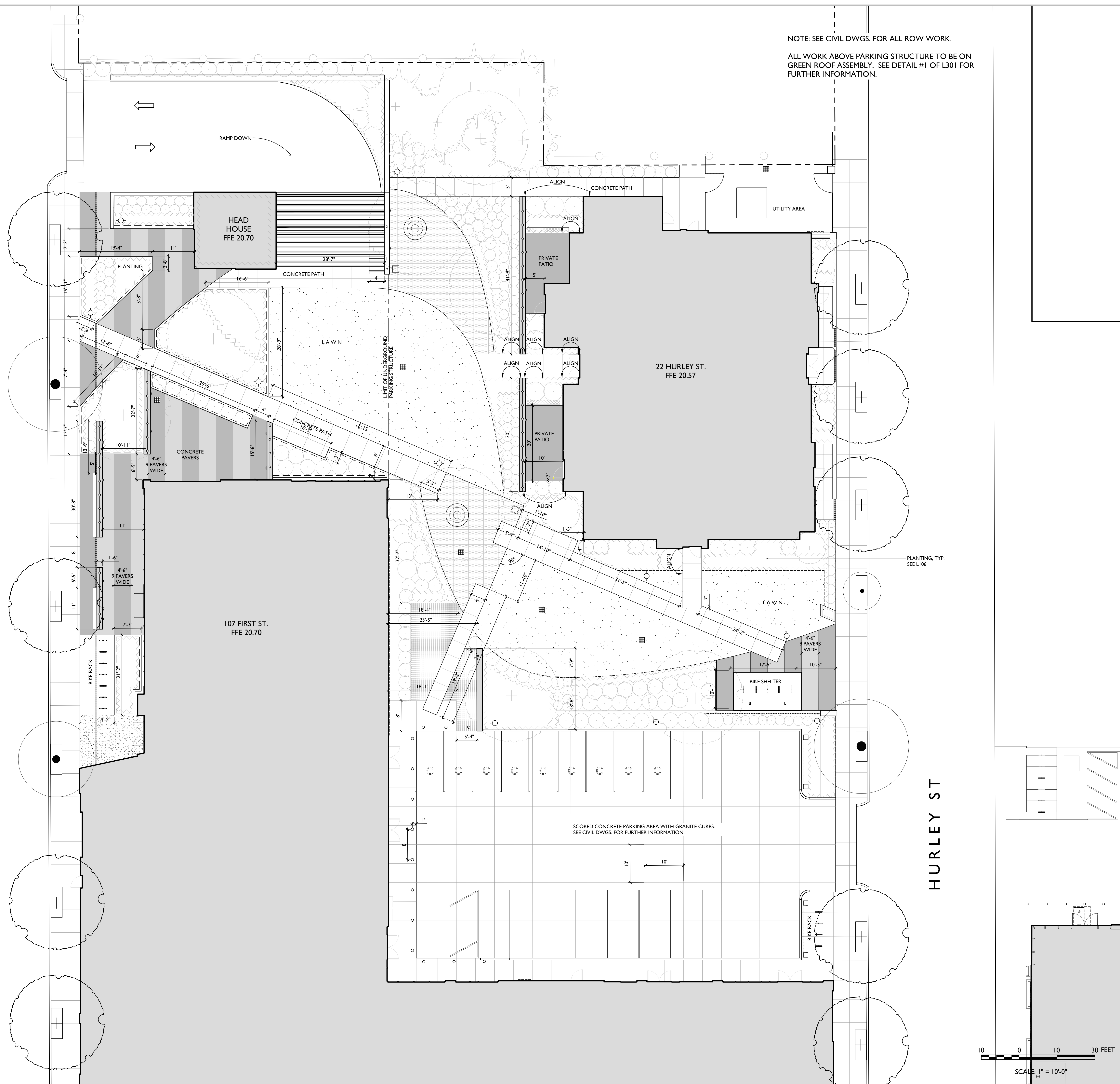
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3	5/15/2019	ADDENDUM #5

SHEET #
L-100.0

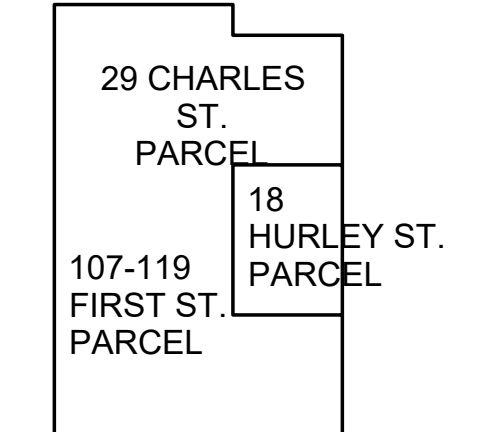


NOTE: SEE CIVIL DWGS. FOR ALL ROW WORK.

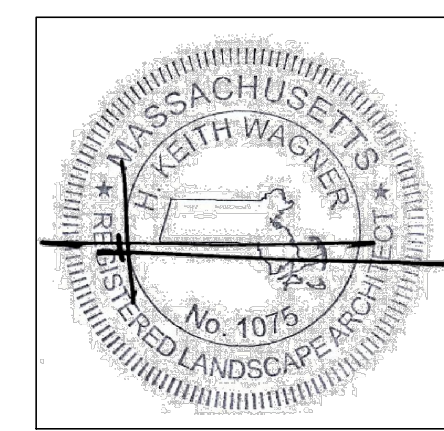
ALL WORK ABOVE PARKING STRUCTURE TO BE ON GREEN ROOF ASSEMBLY. SEE DETAIL #1 OF L301 FOR FURTHER INFORMATION.



KEY PLAN:



SEAL:



PROJECT INFORMATION:

107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:

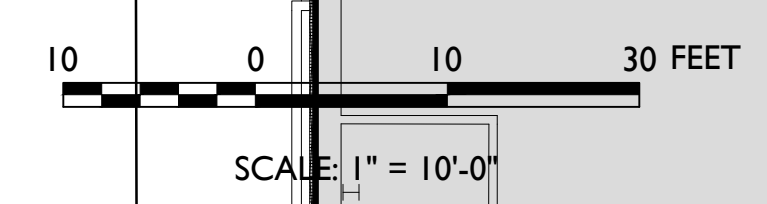
LAYOUT PLAN

DRAWING HISTORY:

NO.	DATE	DESCRIPTION
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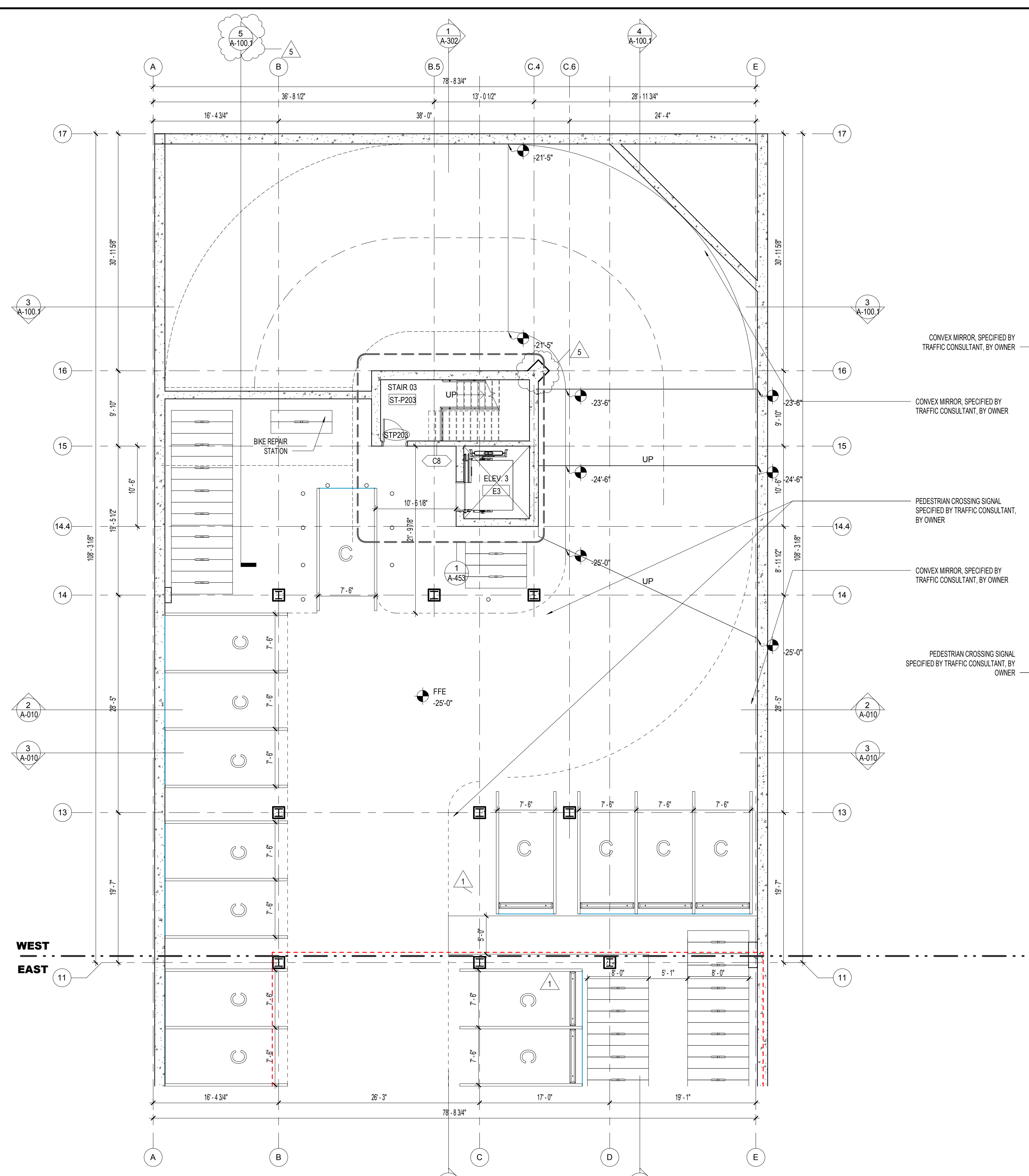
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L-101.0

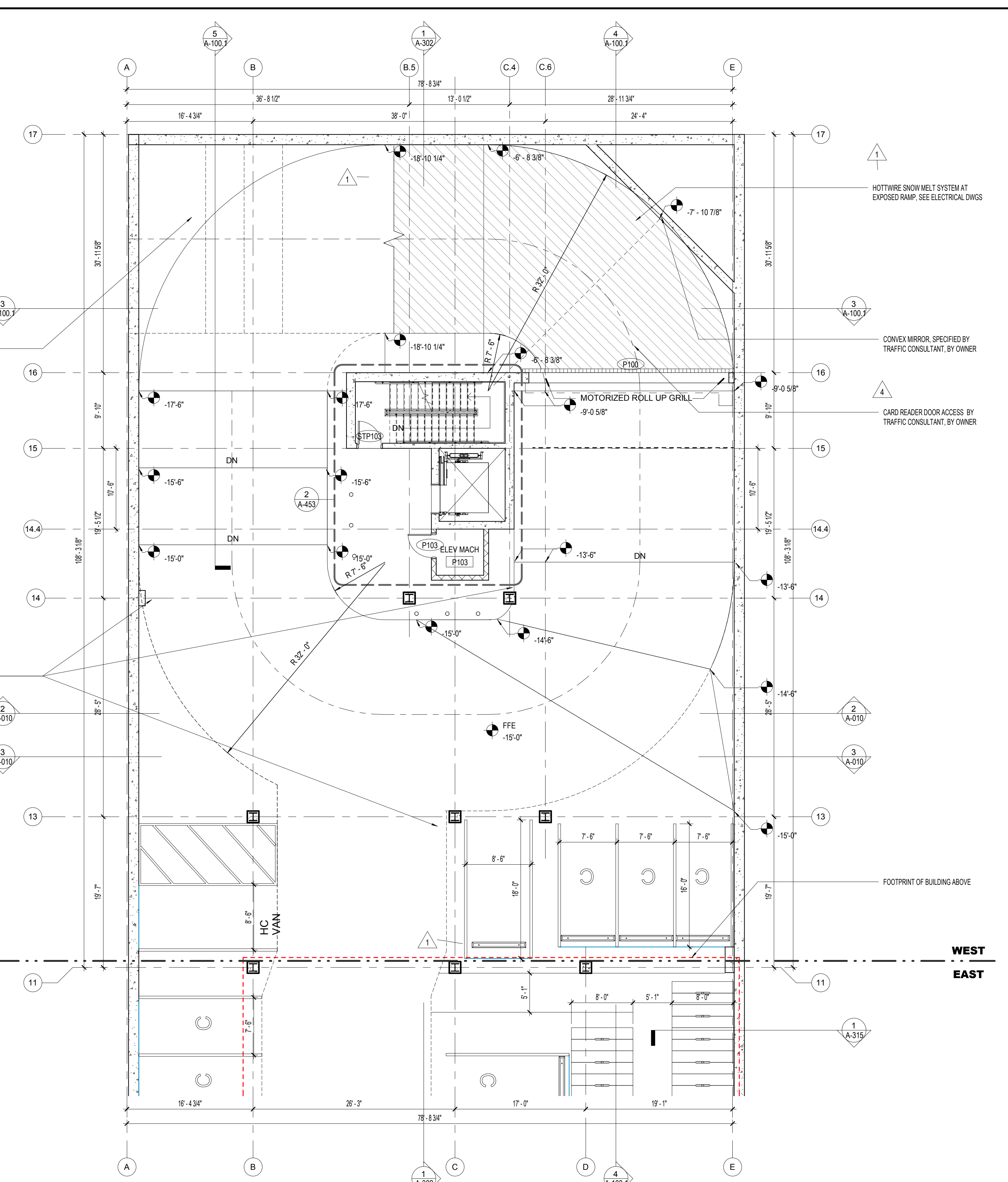


CHARLES ST

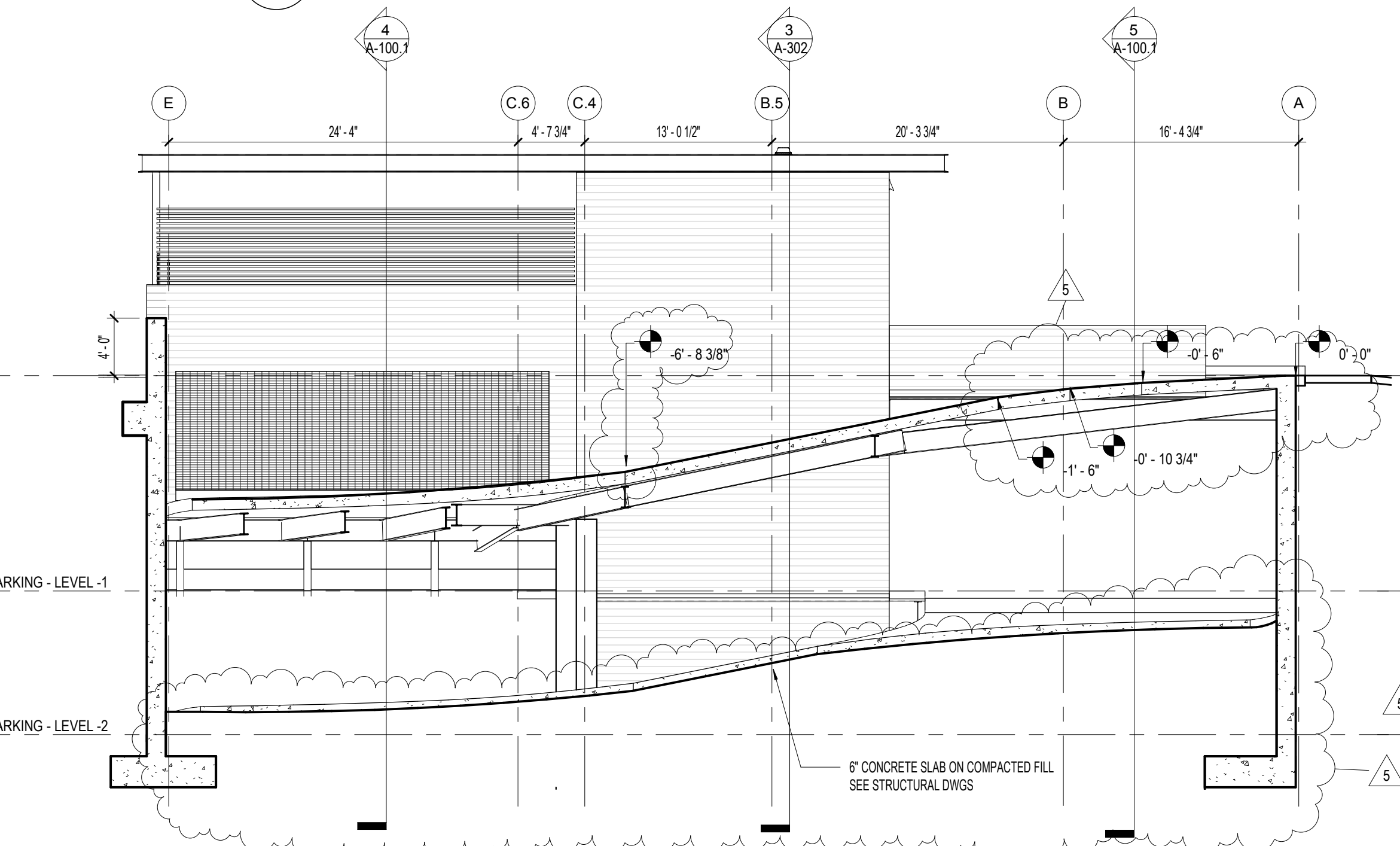
HURLEY ST



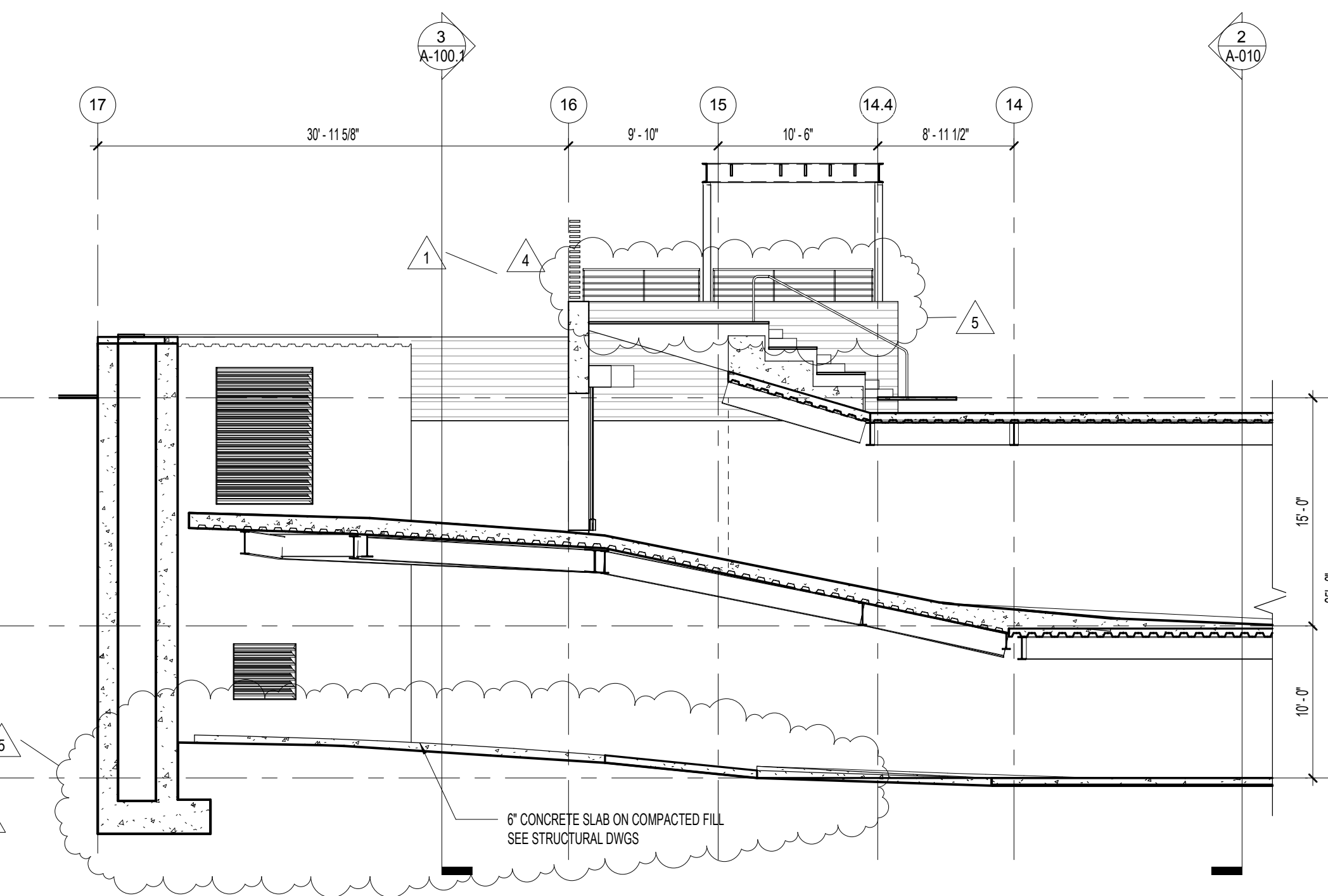
2 UNDERGROUND PARKING WEST - LEVEL P2
 1/8" = 1'-0"



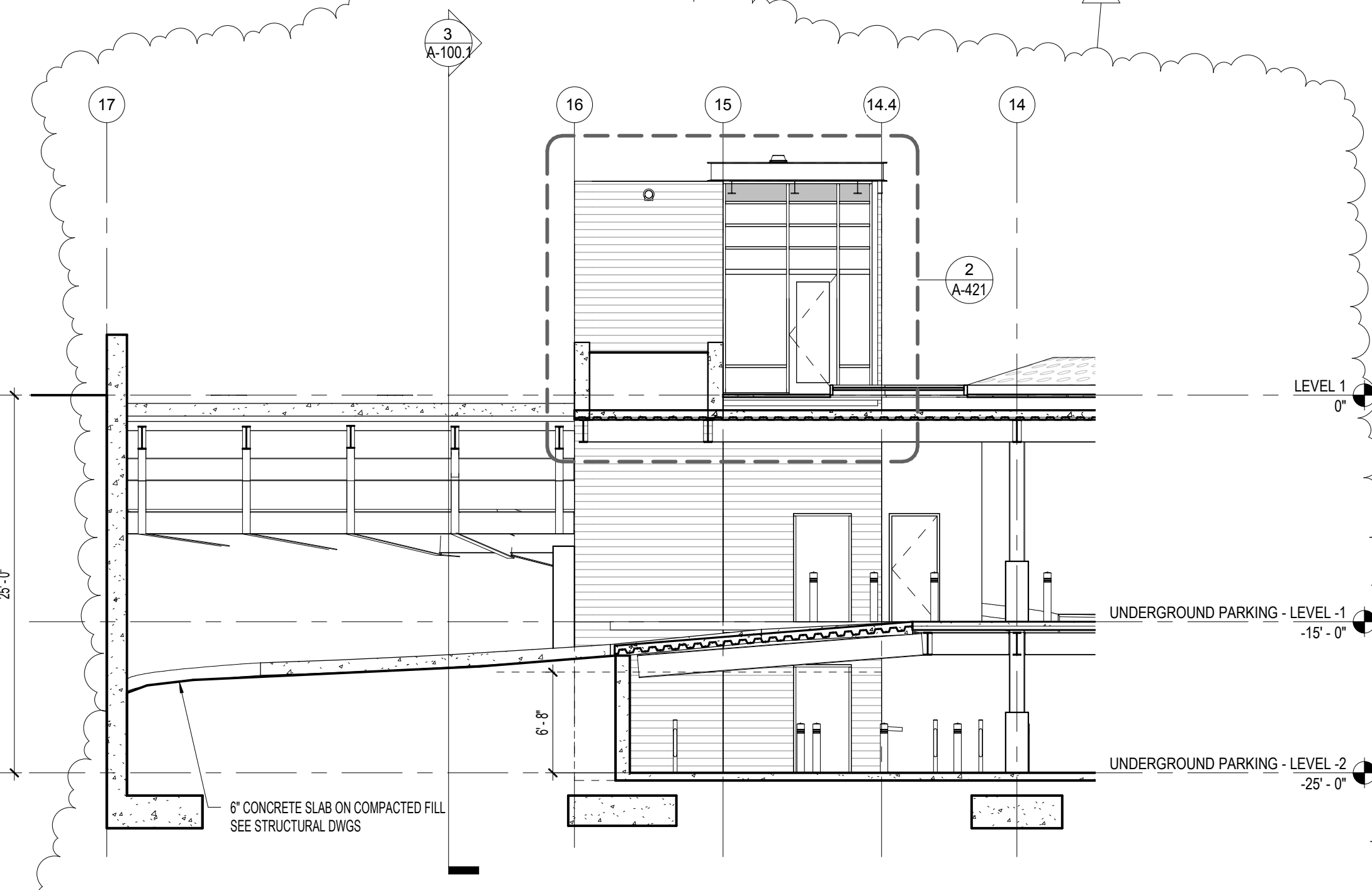
1 UNDERGROUND PARKING WEST - LEVEL P1
 1/8" = 1'-0"



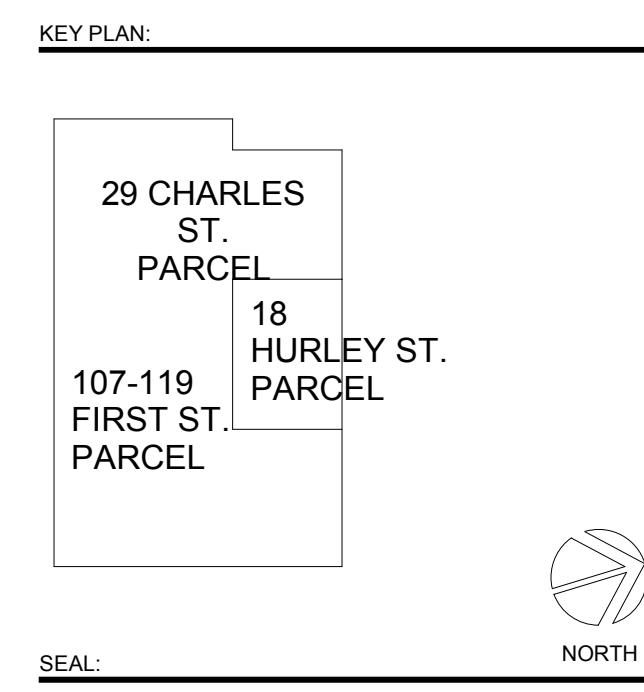
3 SECTION AT GARAGE RAMP E-W
 1/8" = 1'-0"



4 SECTION AT GARAGE RAMP N-S
 1/8" = 1'-0"



5 SECTION AT GARAGE RAMP E-W 2
 1/8" = 1'-0"



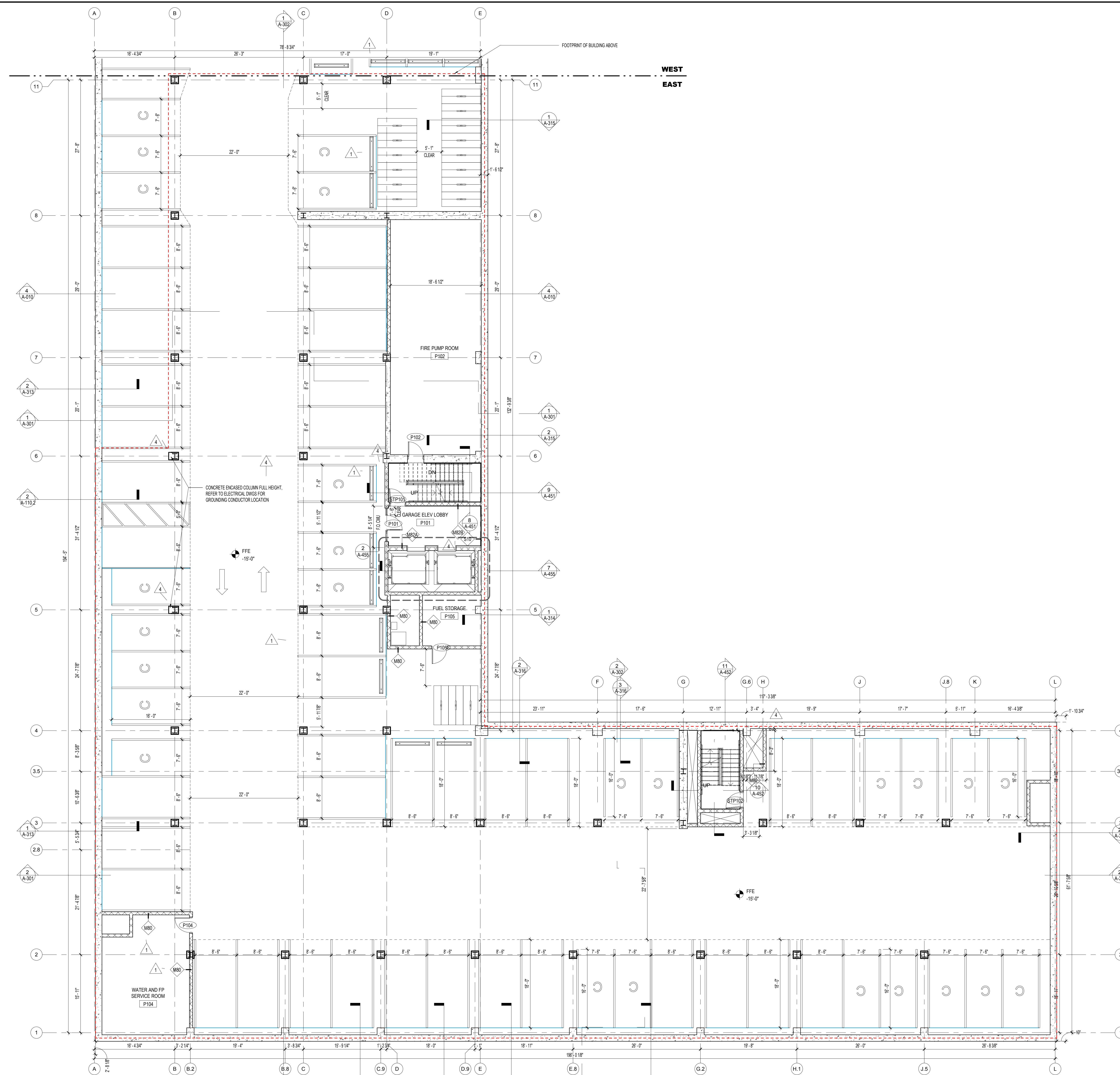
PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

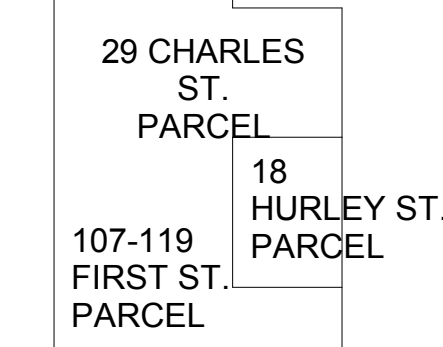
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PARKING LEVEL PLANS - WEST

DRAWING HISTORY:	
NO.	DESCRIPTION
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4	4/31/19 Addendum 4
5	5/15/19 Addendum 5

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KEY PLAN:



SEAL:



PROJECT INFORMATION:

107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

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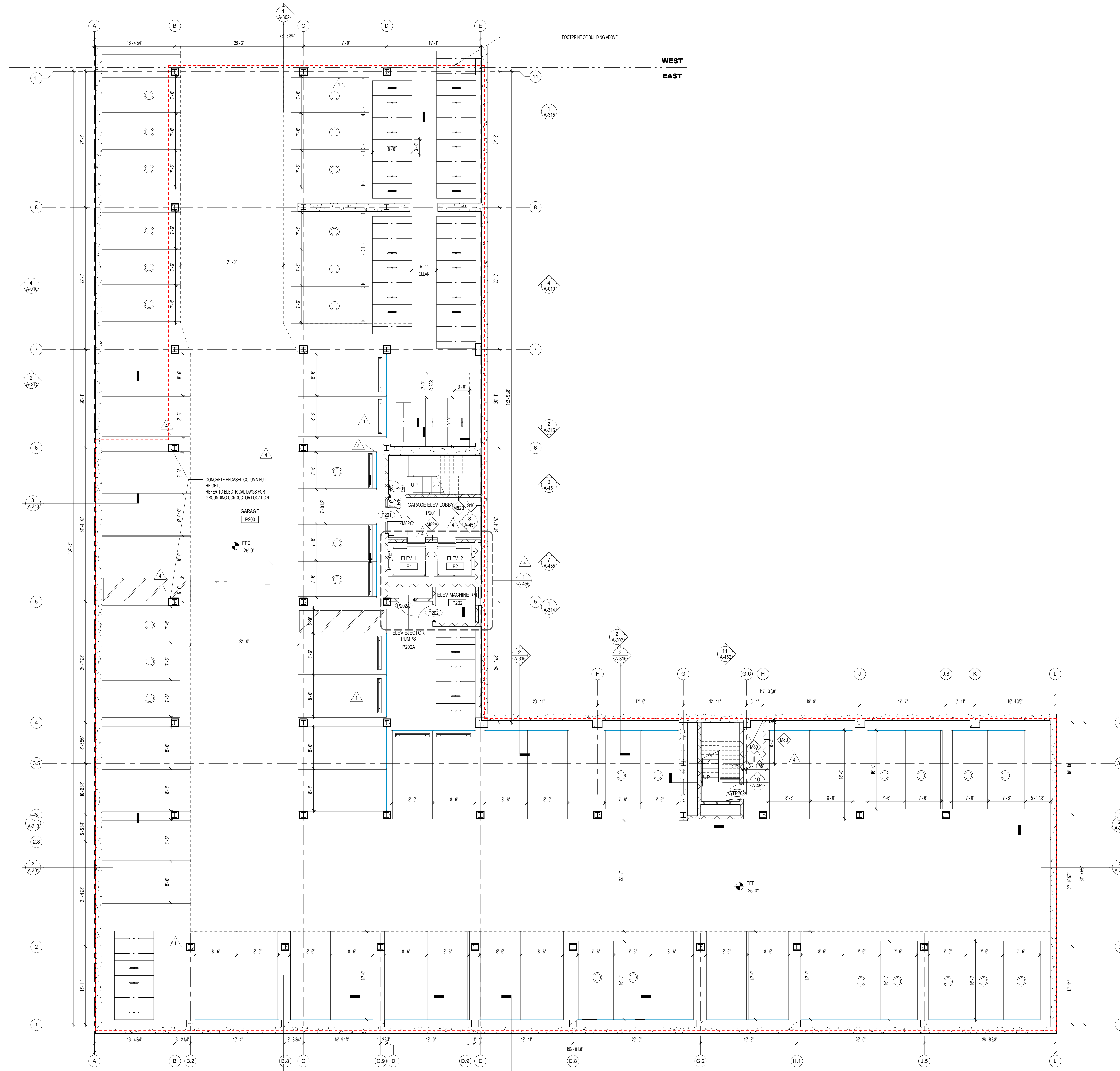
**PARKING LEVEL -1
PLAN - EAST**

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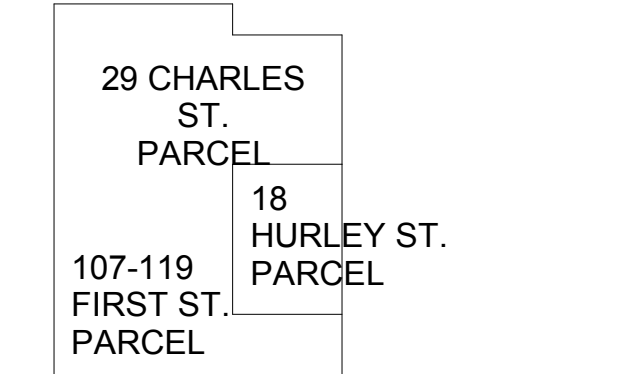
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A-100.2



WEST
EAST

KEY PLAN:



SEAL: NORTH

PROJECT INFORMATION:

107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:

**PARKING LEVEL -2
PLAN - EAST**

DRAWING HISTORY:

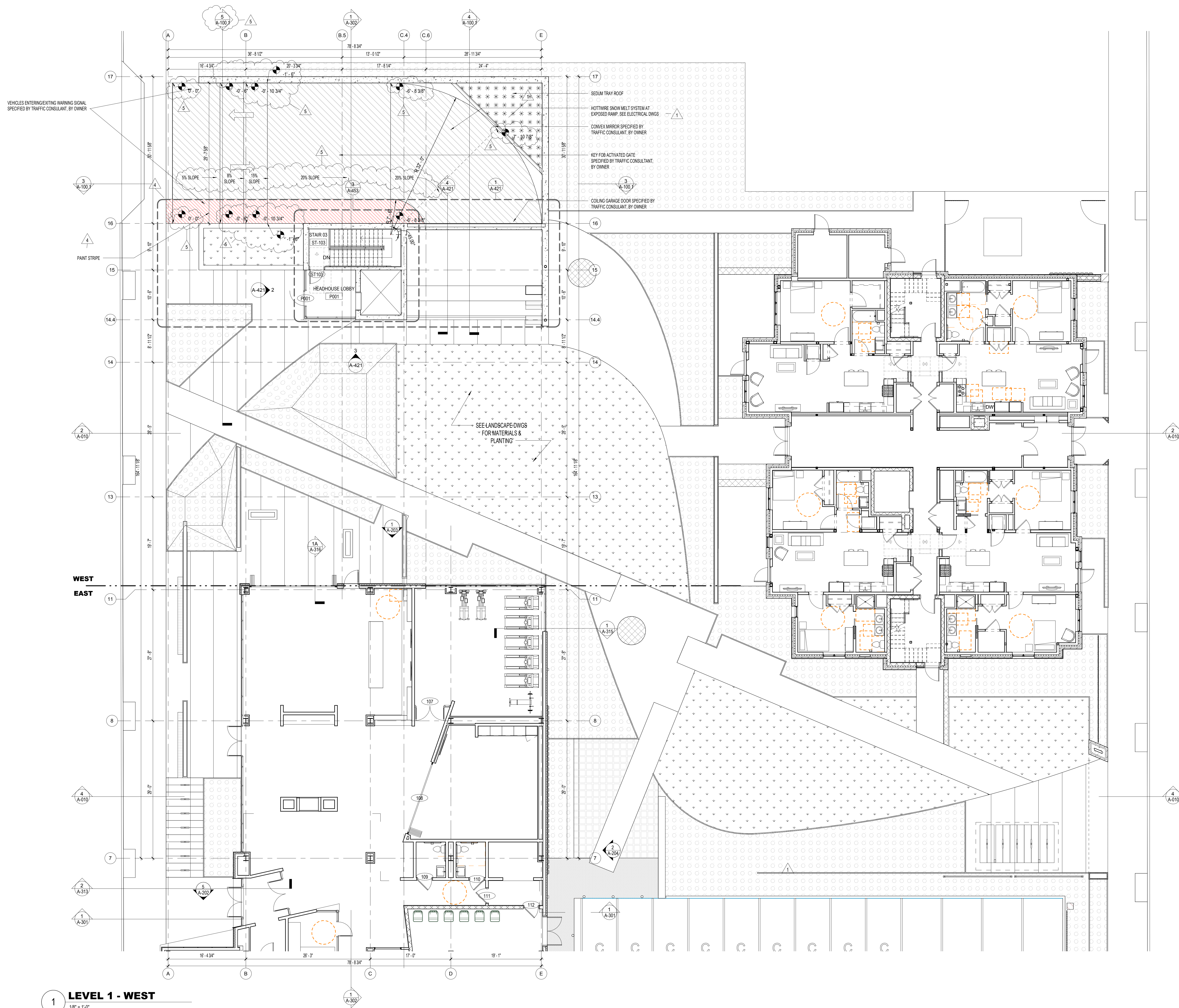
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SHEET #

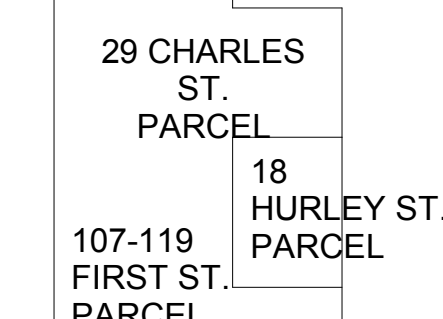
A-100.3

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1 UNDERGROUND PARKING EAST - LEVEL P2
1/8" = 1'-0"



KEY PLAN:



SEAL:



PROJECT INFORMATION:

107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

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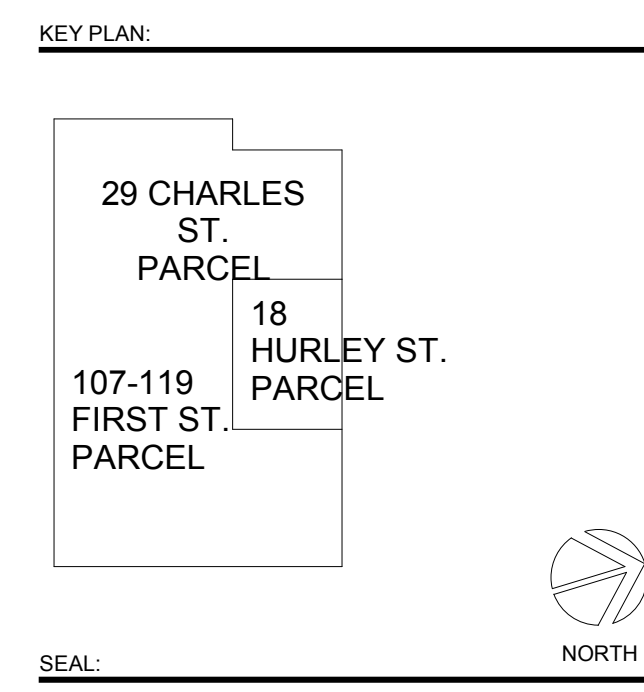
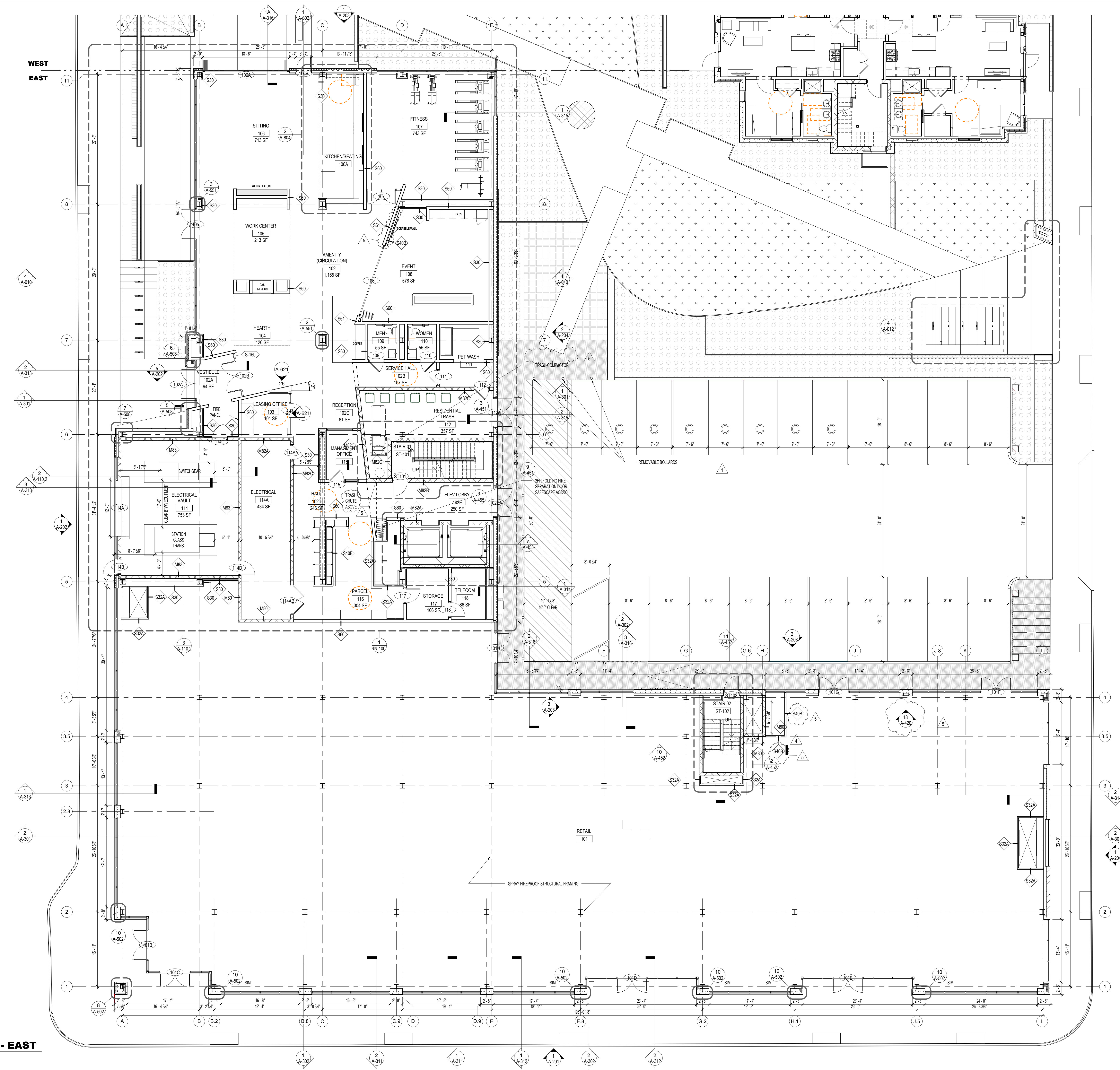
LEVEL 1 - WEST

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5	5/15/19	Addendum 5

SHEET #

A-101.1



PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
LEVEL 1 - EAST

DRAWING HISTORY:

NO.	DATE	DESCRIPTION
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5	5/15/19	Addendum 5

SHEET #
A-101.2

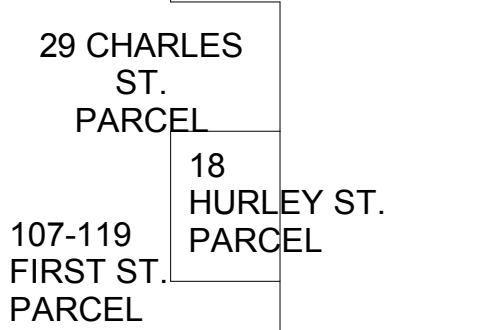
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5/15/2019 4:44:31 PM

1 LEVEL 1 - EAST
1/8" = 1'-0"

GENERAL PLAN NOTES:
1. REFER TO UNIT PLANS FOR VERTICAL SHAFT LOCATIONS
2. REFER TO A-811 FOR SHAFT WALL DETAILS



KEY PLAN:



SEAL: NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

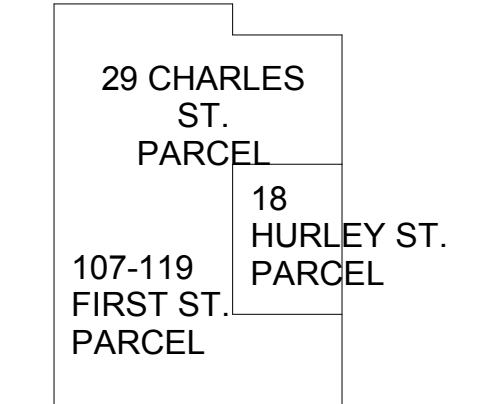
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PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
LEVEL 2

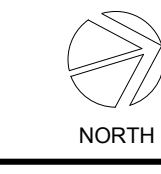
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SHEET #
A-102

KEY PLAN:



SEAL:



PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
LEVEL 3

DRAWING HISTORY:

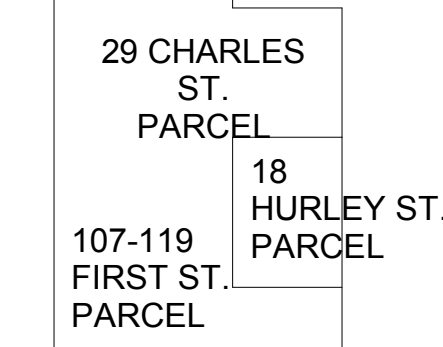
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SHEET #
A-103.1



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KEY PLAN:



SEAL:



PROJECT INFORMATION:

107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:

LEVEL 4

DRAWING HISTORY:

NO.	DATE	DESCRIPTION
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5	5/15/19	Addendum 5

5 / SHEET #

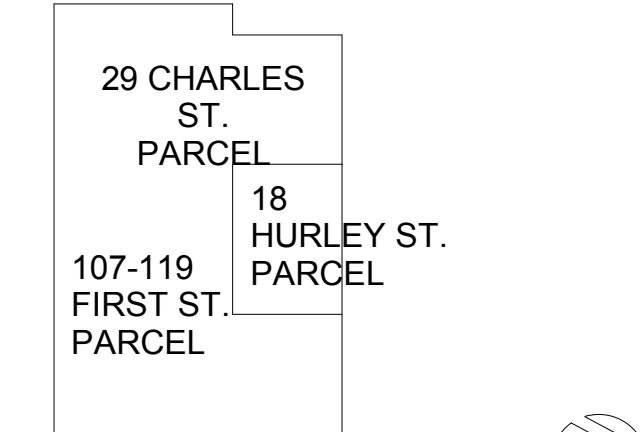
A-103.2



LEVEL 4
1/8" = 1'-0"

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5/15/2019 4:45:05 PM

KEY PLAN:



SEAL: NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
LEVEL 5

DRAWING HISTORY:

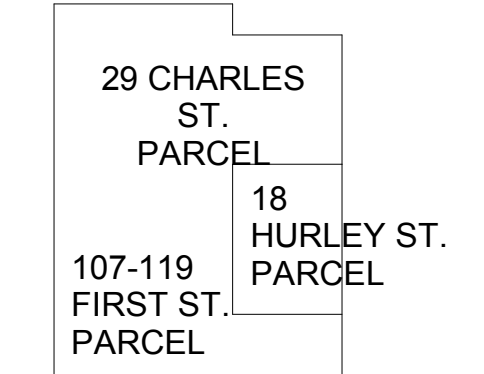
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SHEET # **A-103.3**



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KEY PLAN:



SEAL:



PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
LEVEL 6

DRAWING HISTORY:

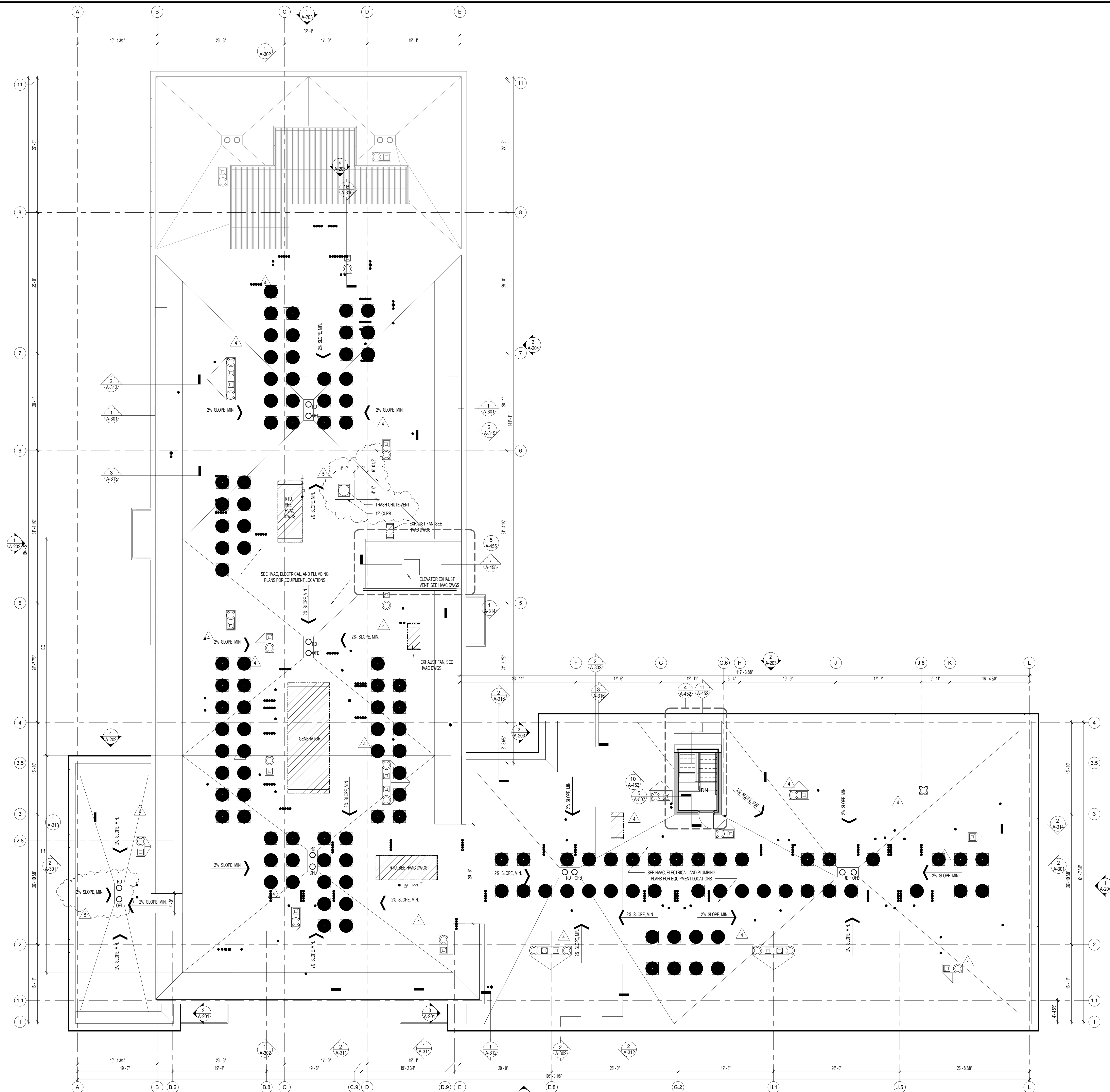
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SHEET #:
A-104

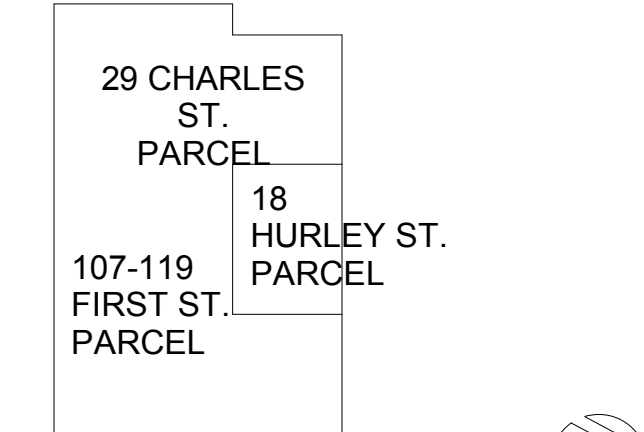


1
LEVEL 6
1/8" = 1'-0"

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KEY PLAN:



SEAL: NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ROOF

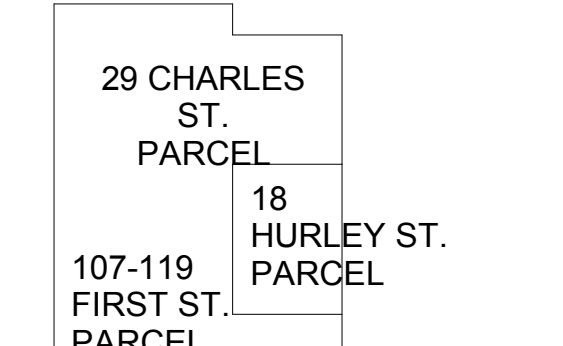
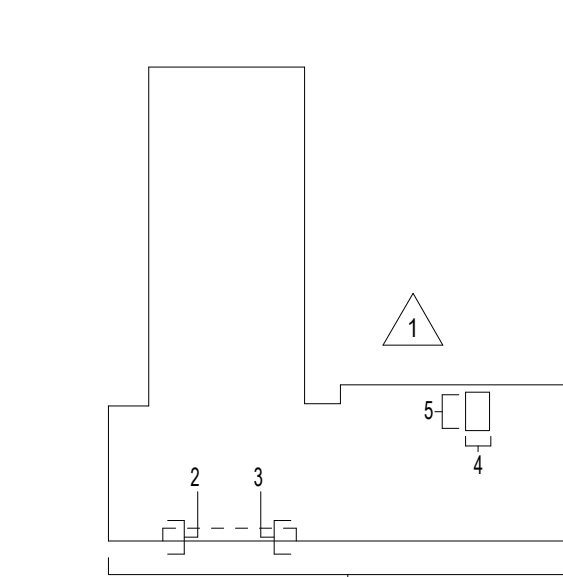
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SHEET # **A-105**

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1 ROOF
1/8" = 1'-0"



SEAL: _____ NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

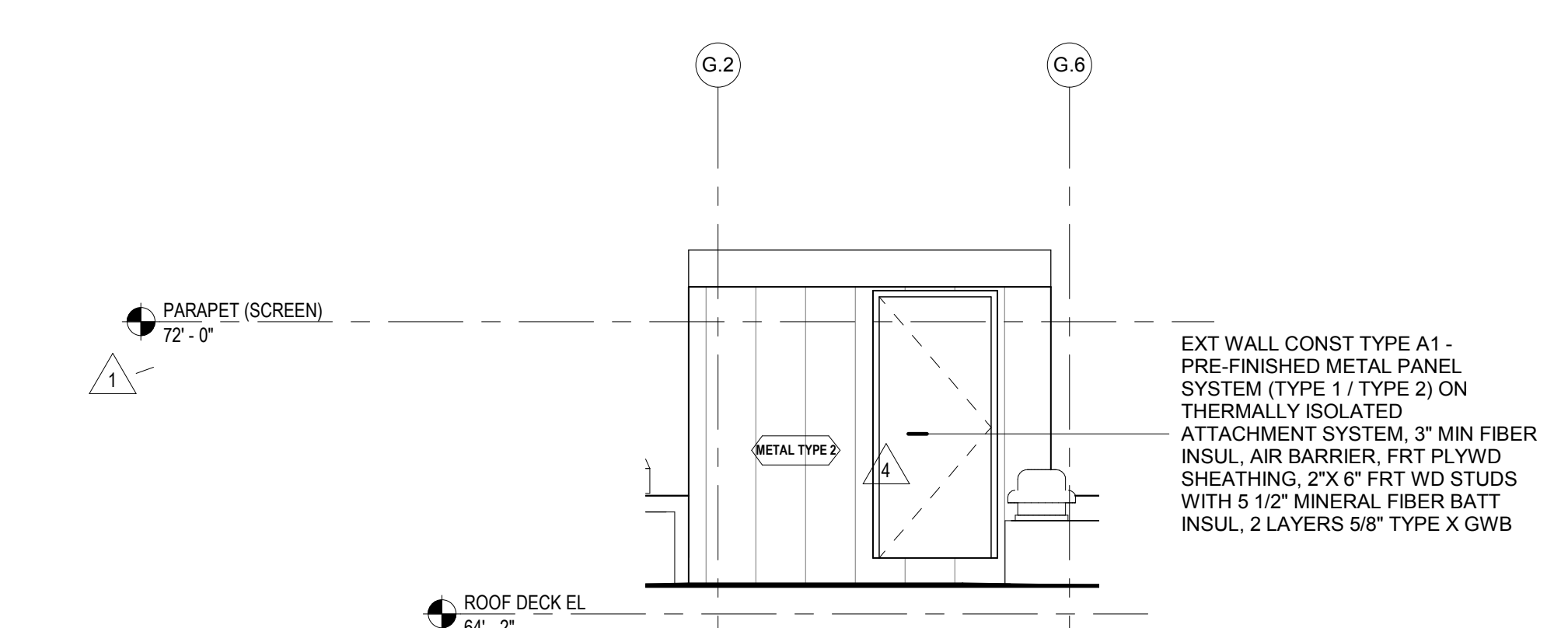
PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
EAST (FIRST STREET) ELEVATIONS

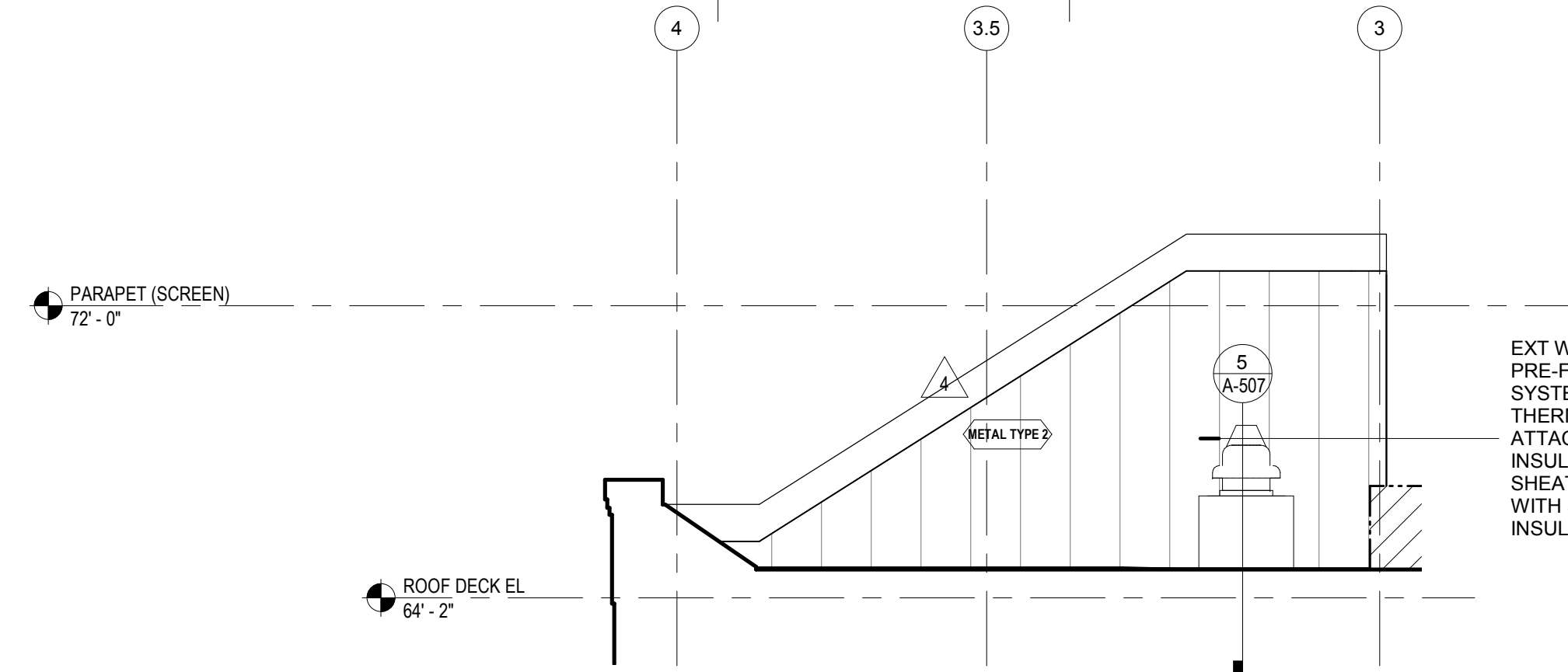
DRAWING HISTORY:

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4	4/31/19	Addendum 4
5	5/15/19	Addendum 5

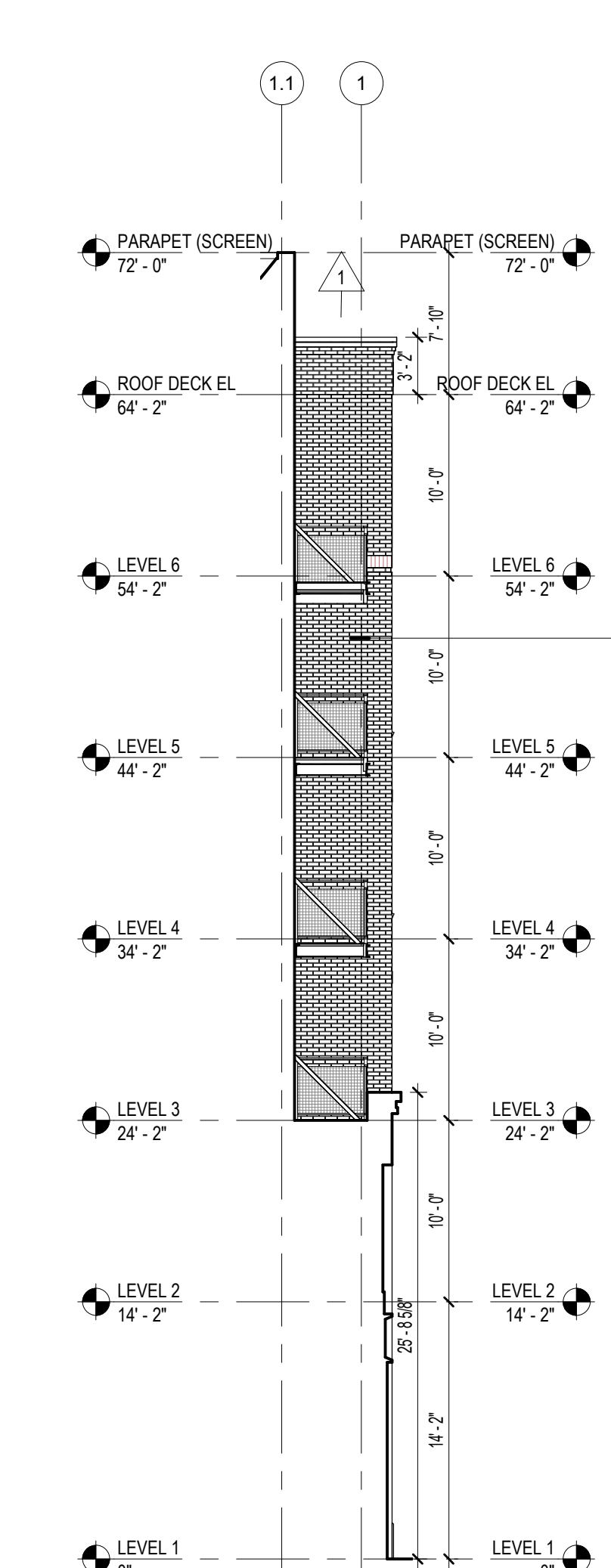
SHEET # **A-201**



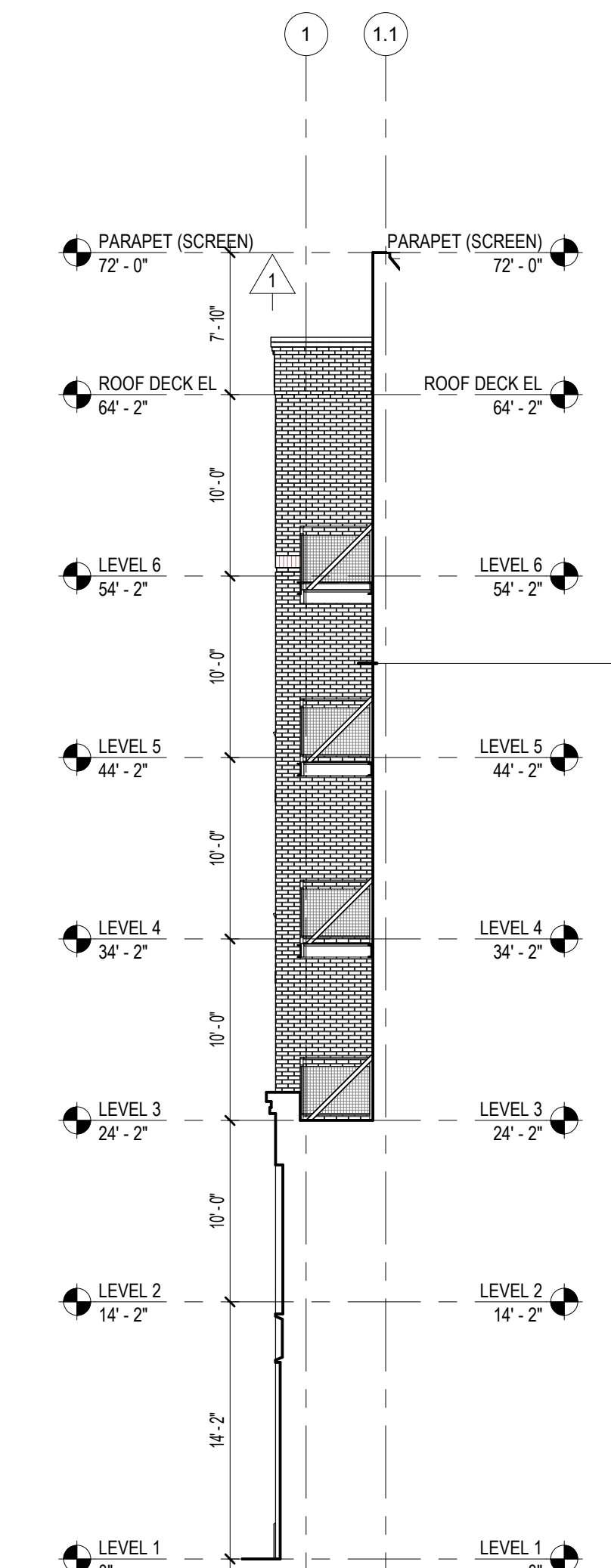
4 STAIR 02 HEAD HOUSE - EAST ELEVATION
 1/4" = 1'-0"



5 STAIR 02 HEAD HOUSE - SOUTH ELEVATION
 1/4" = 1'-0"



3 SOUTH ELEVATION (FIRST STREET INSET)
 1/8" = 1'-0"

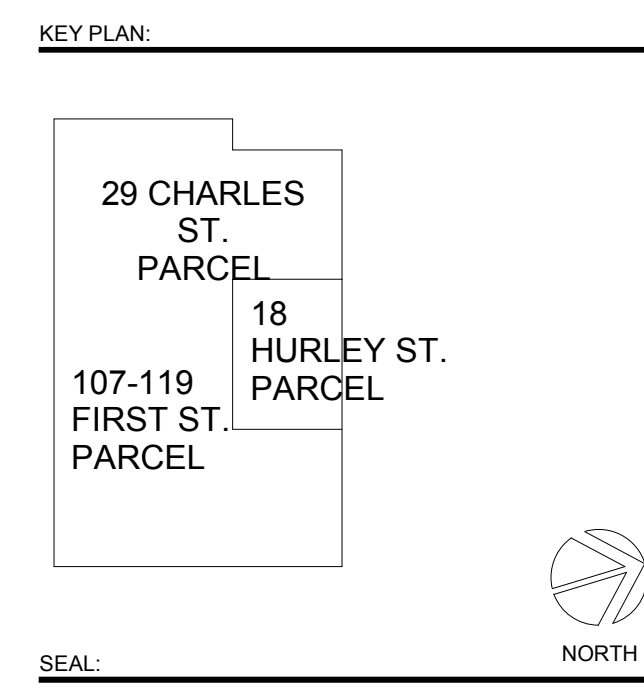
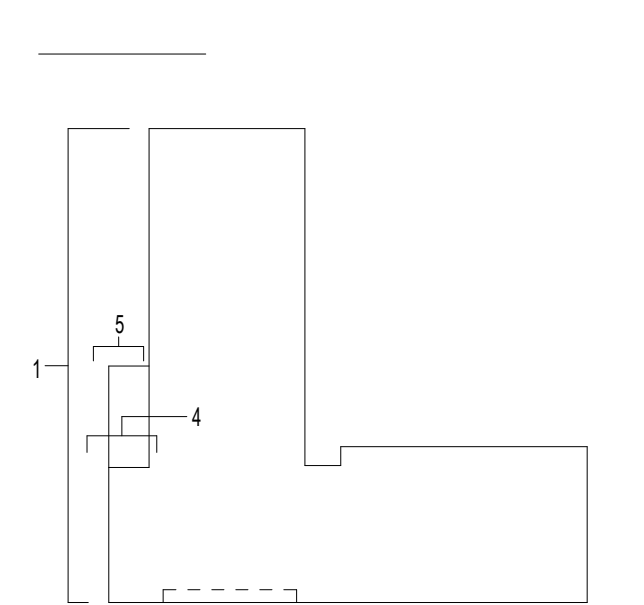


2 NORTH ELEVATION (FIRST STREET INSET)
 1/8" = 1'-0"



1 EAST ELEVATION (FIRST ST)
 1/8" = 1'-0"

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PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT # 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
SOUTH (CHARLES STREET) ELEVATIONS

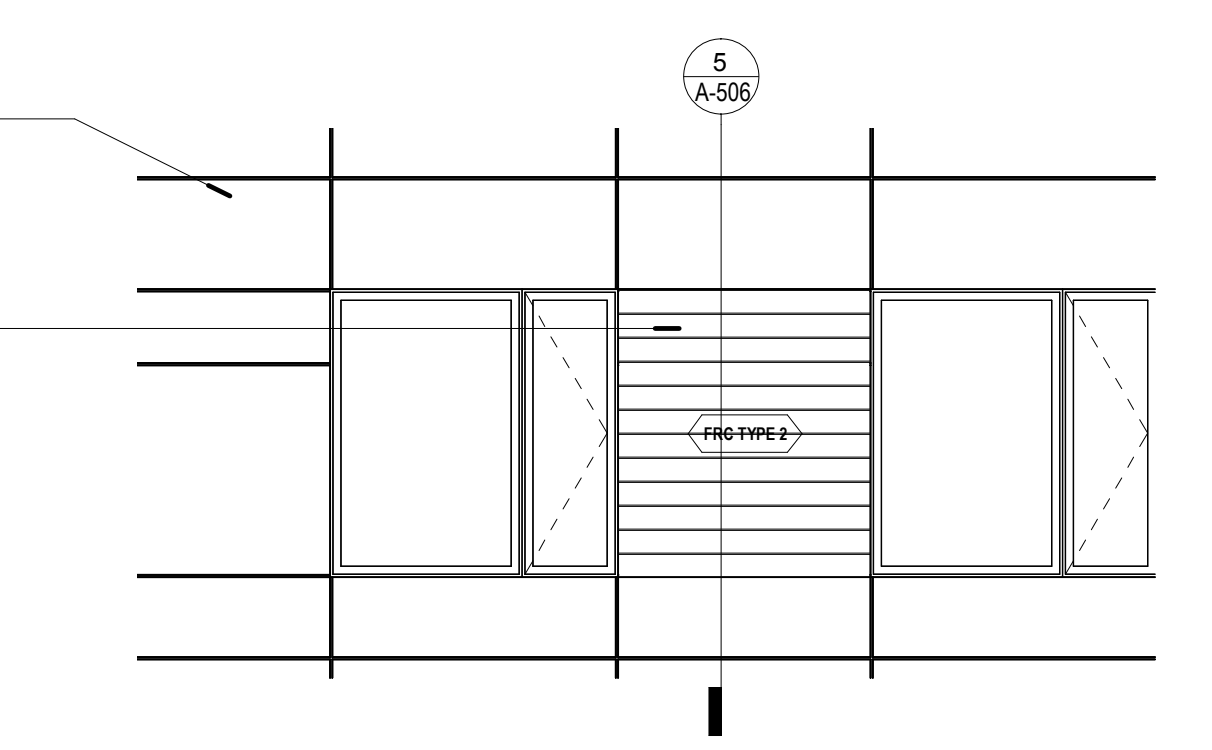
DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/01/19	Addendum 4
5	5/15/19	Addendum 5

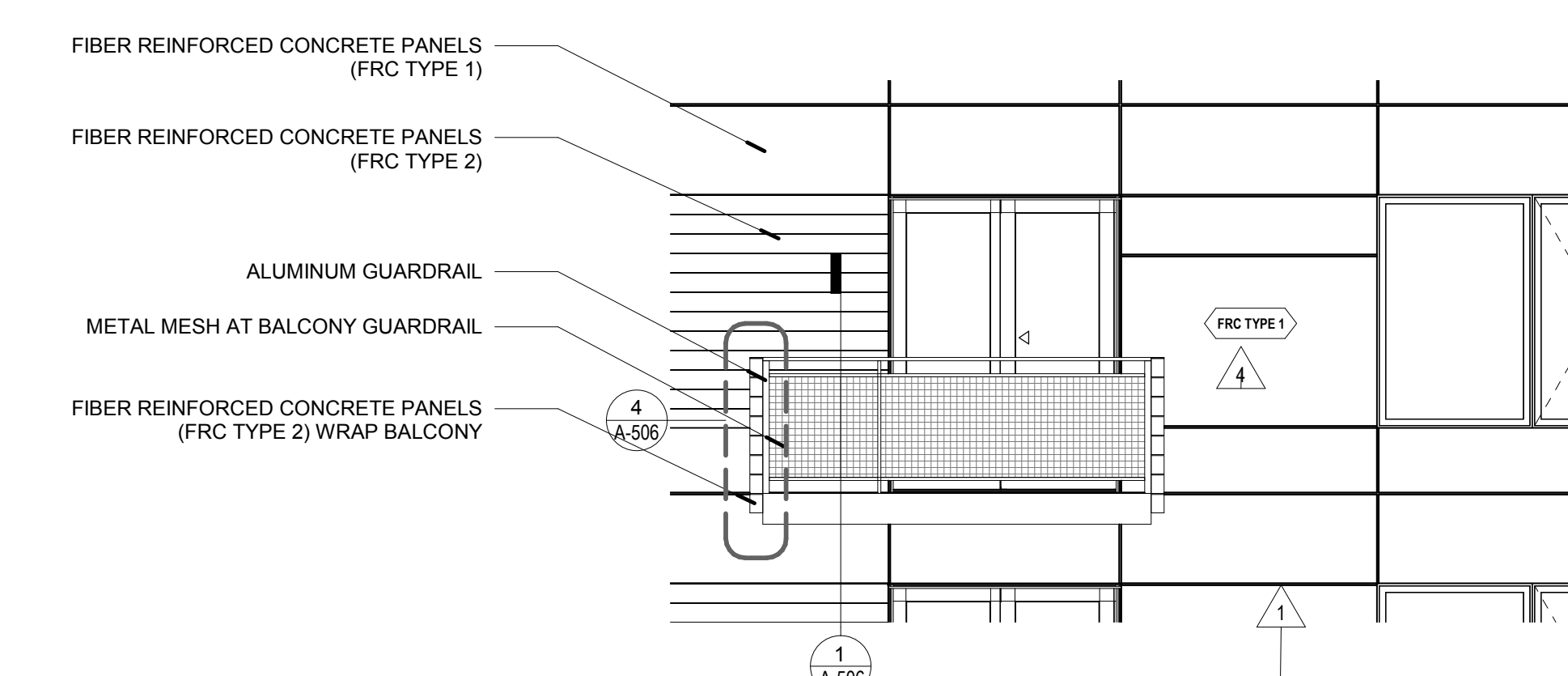


5 WEST ELEVATION (CHARLES STREET ENTRY)
 1/8" = 1'-0"

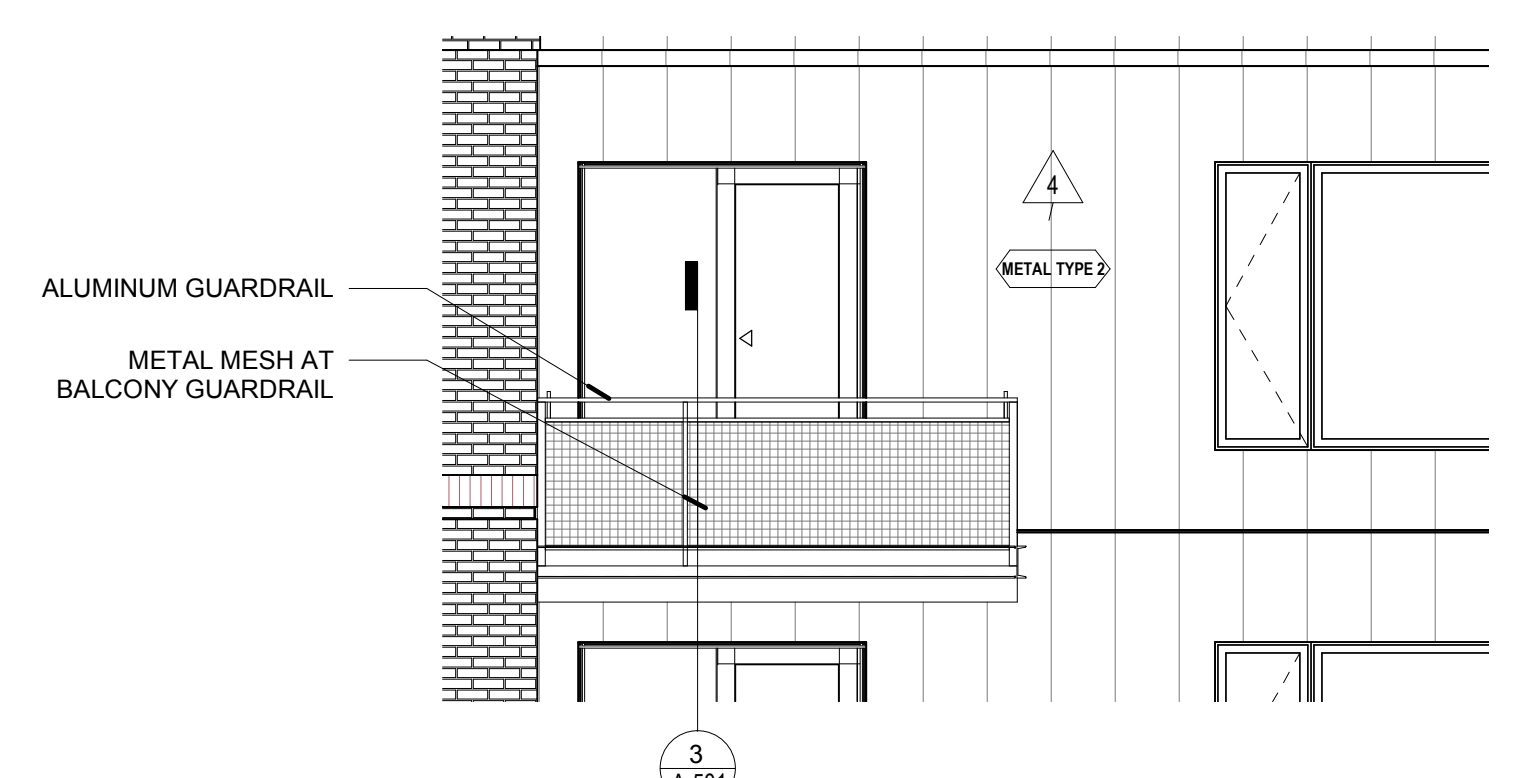
4 WEST ELEVATION (CHARLES ST INSET)
 1/8" = 1'-0"



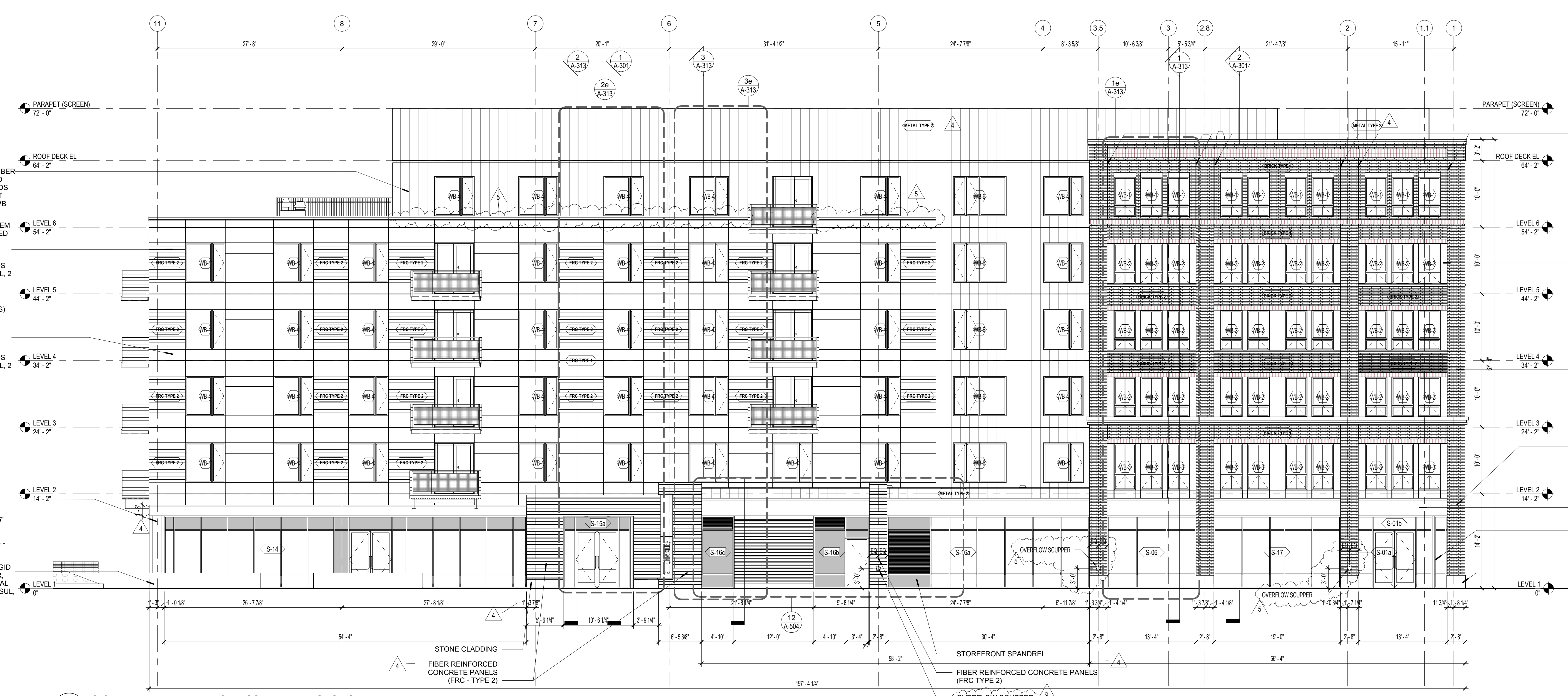
3 TYPICAL CHARLES ST WINDOW PANEL
 1/4" = 1'-0"



2 BALCONY ELEVATION - TYPE A
 1/4" = 1'-0"

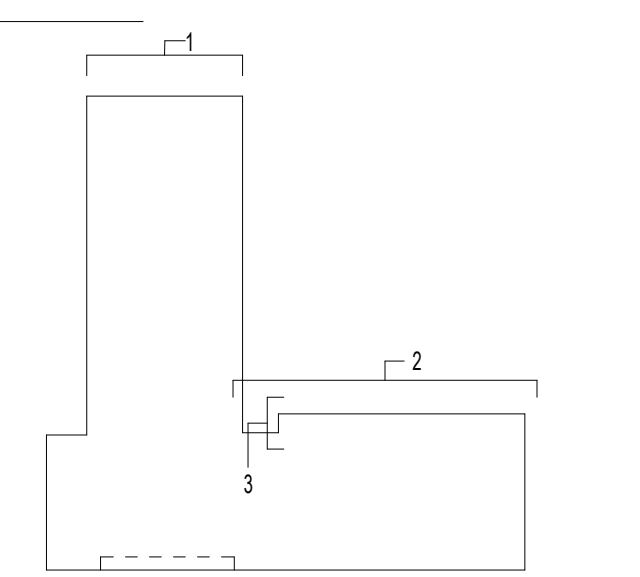


6 BALCONY ELEVATION - TYPE B
 1/4" = 1'-0"

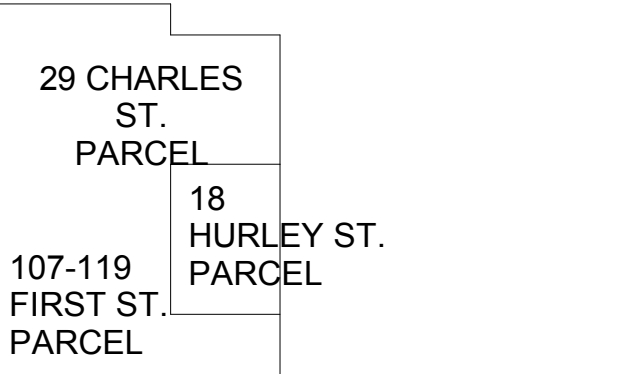


1 SOUTH ELEVATION (CHARLES ST)
 1/8" = 1'-0"

C:\REVIT\LOCAL\Parcel B - Residential_R18_PERMIT_V2.dwg domains.rvt
 5/15/2019 4:51:36 PM



KEY PLAN



SEAL: NORTH

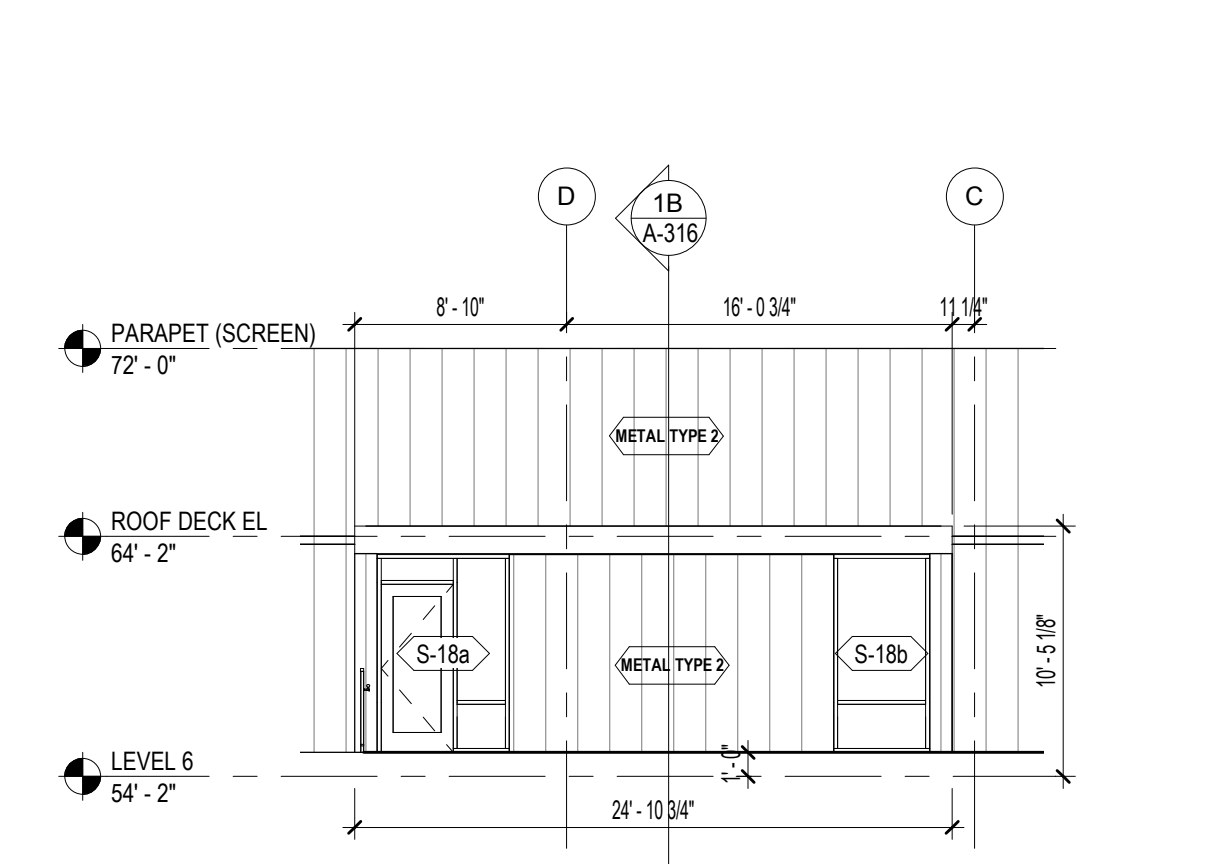
PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
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 PROJECT STATUS: ADDENDUM 5

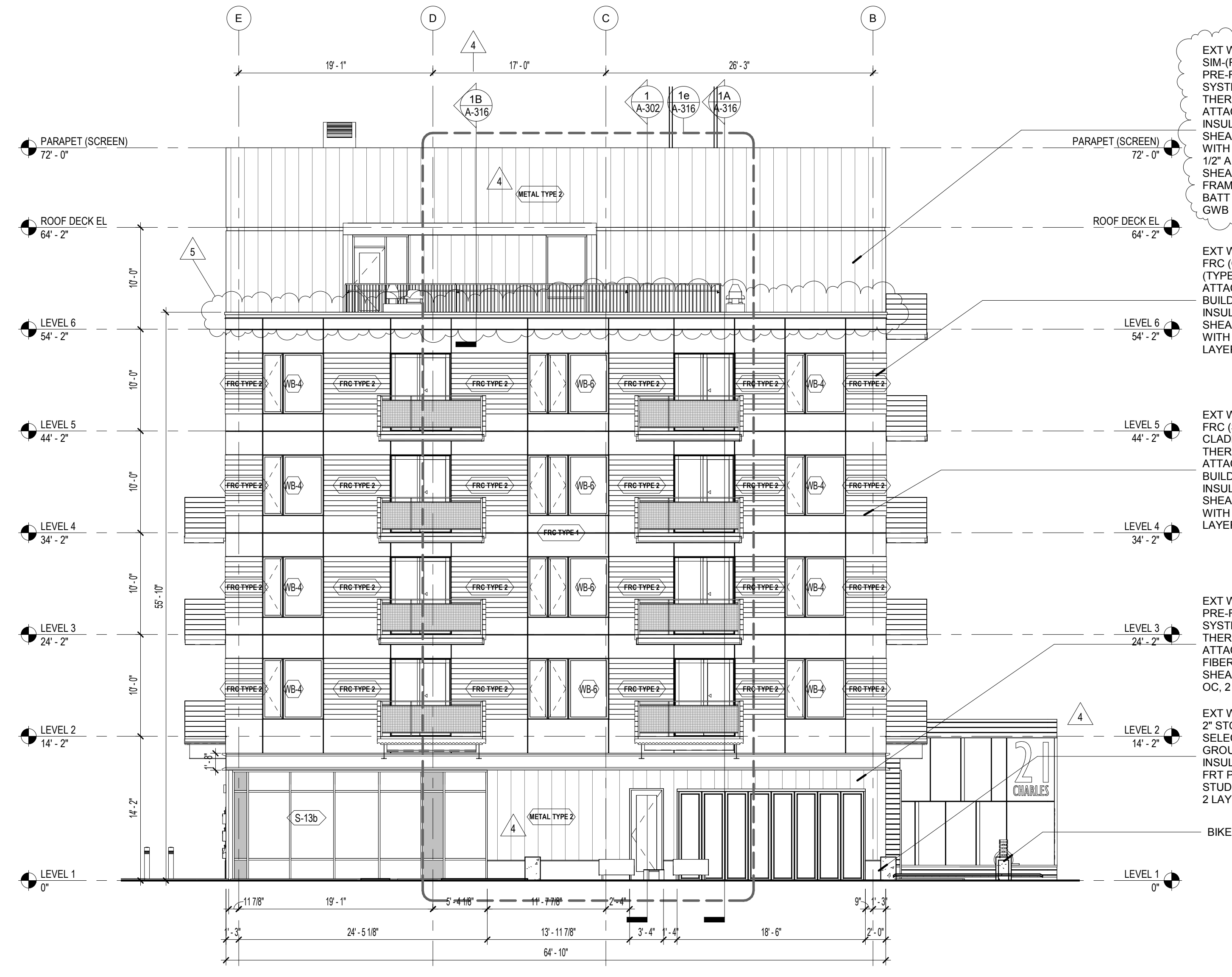
DRAWING INFORMATION:
WEST (PARK) ELEVATIONS

DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5



4 WEST ELEVATION (LVL 6 HEAD HOUSE)
 1/8" = 1'-0"

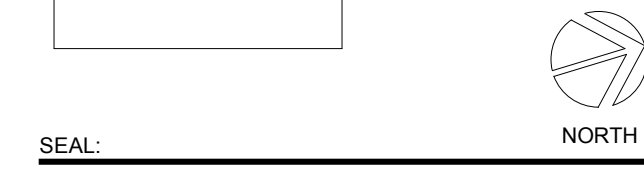
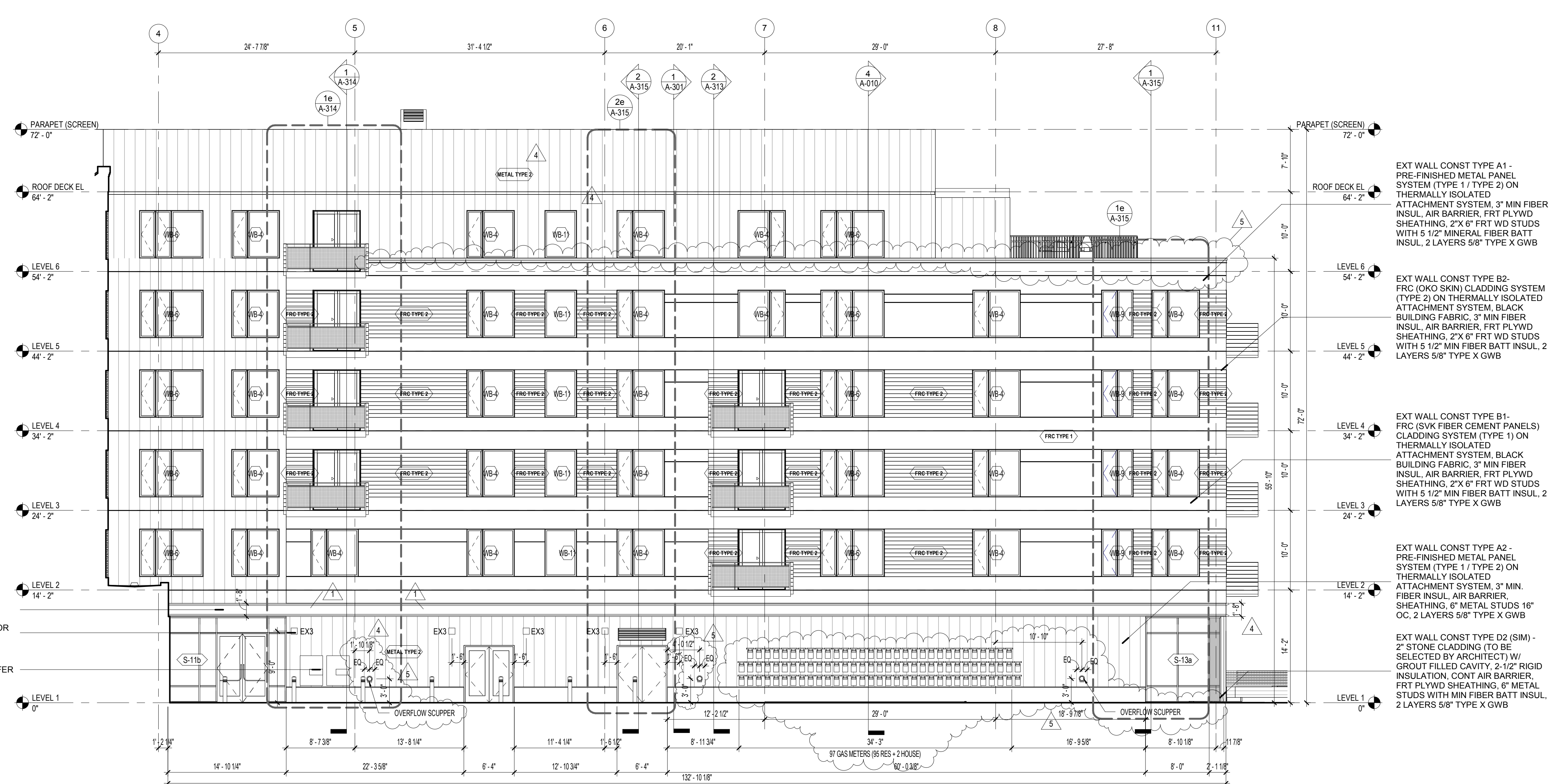
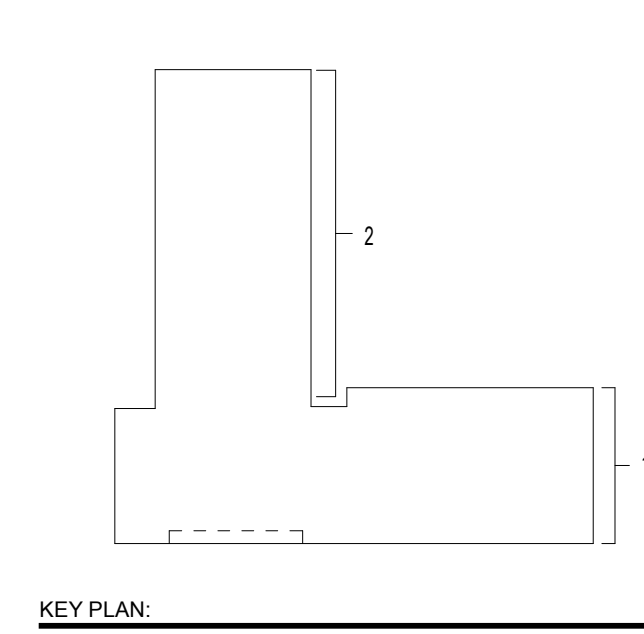
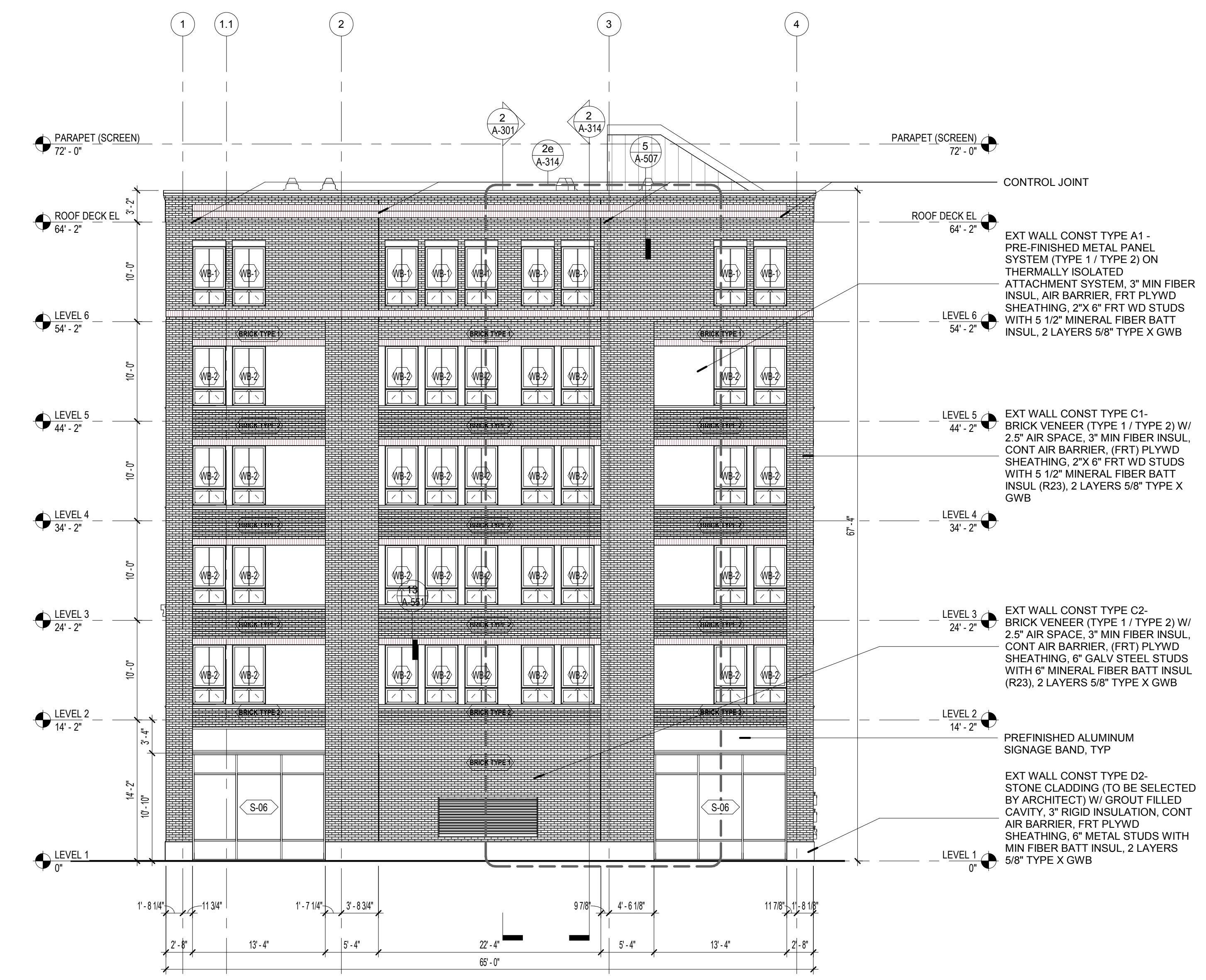


1 WEST ELEVATION (MID-BLOCK)
 1/8" = 1'-0"



2 WEST ELEVATION (PARK)
 1/8" = 1'-0"

3 SOUTH ELEVATION (PARK)
 1/8" = 1'-0"



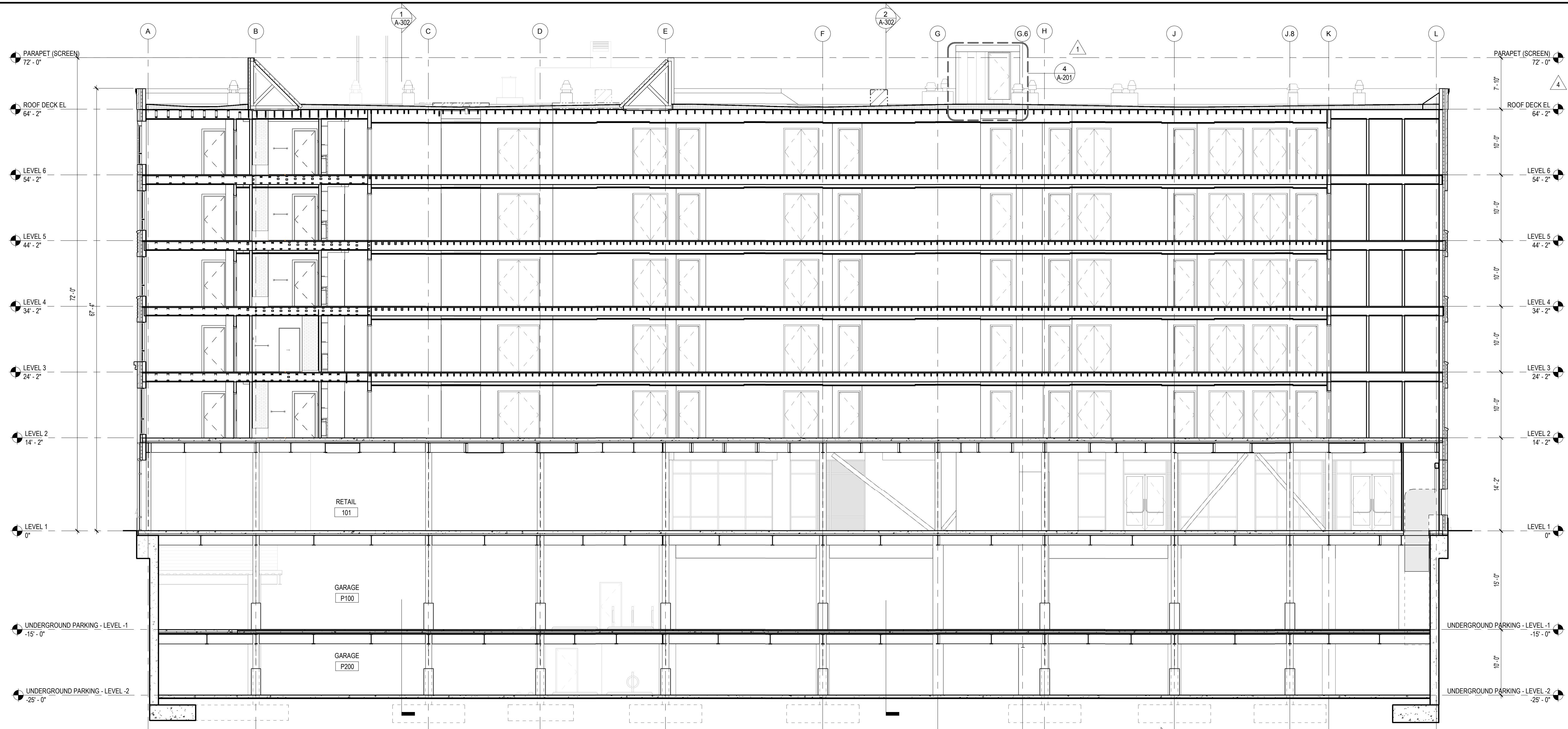
PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

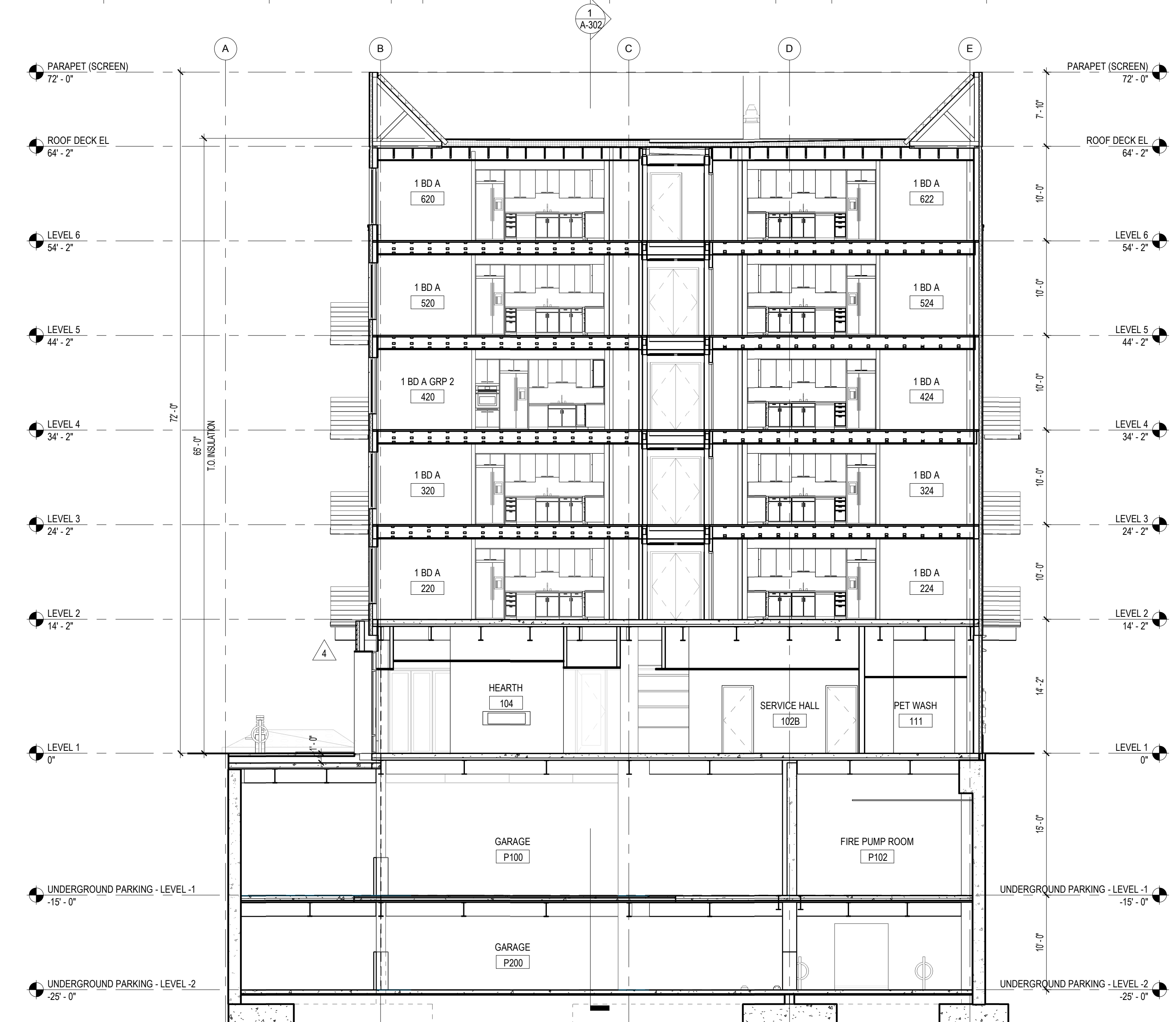
DRAWING INFORMATION:
NORTH (HURLEY STREET) ELEVATIONS

DRAWING HISTORY:

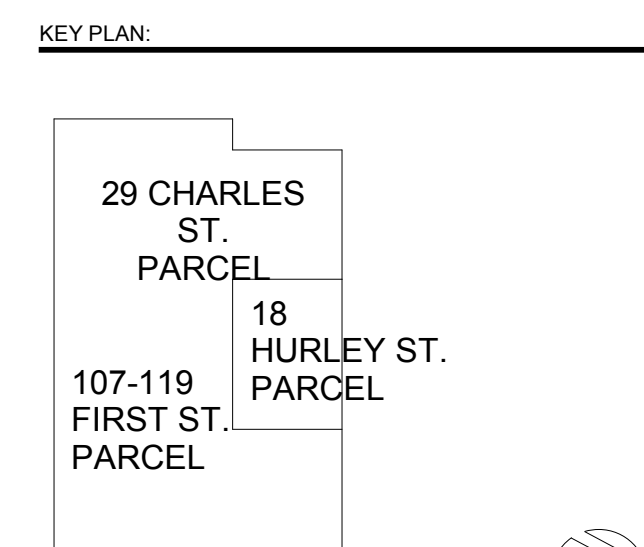
NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5




2 NORTH - SOUTH BUILDING SECTION - FIRST ST BAR
1/8" = 1'-0"



1 NORTH - SOUTH BUILDING SECTION - CHARLES ST BAR
1/8" = 1'-0"



SEAL:  NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

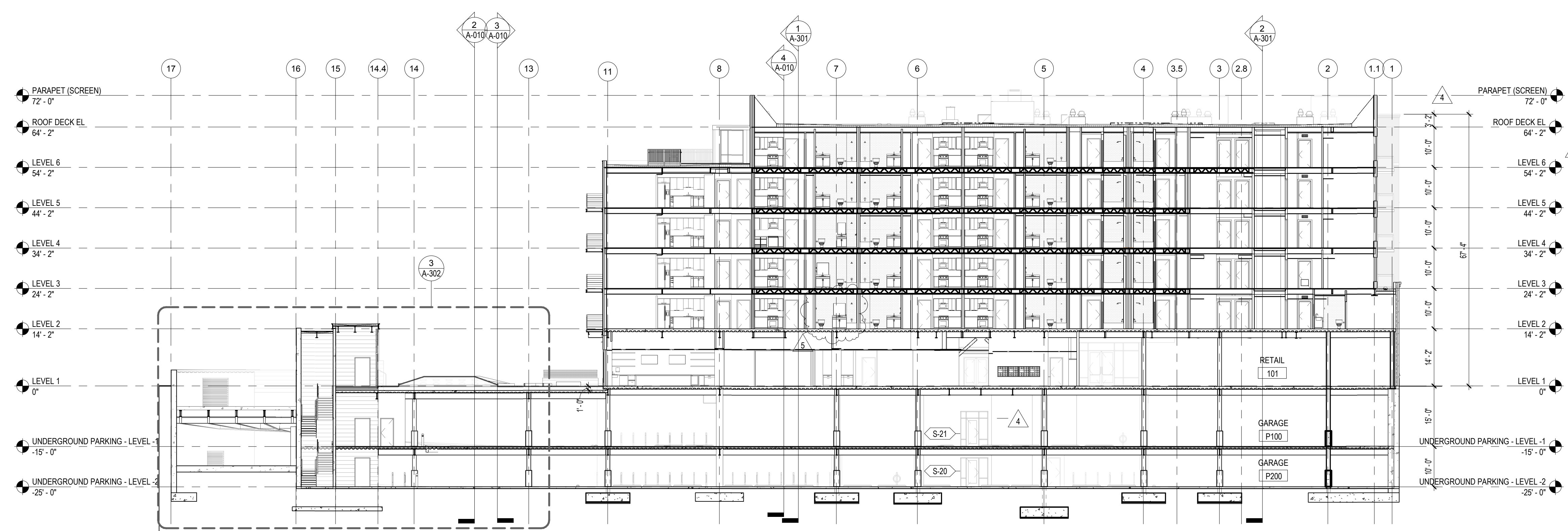
PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
NORTH-SOUTH BUILDING SECTIONS

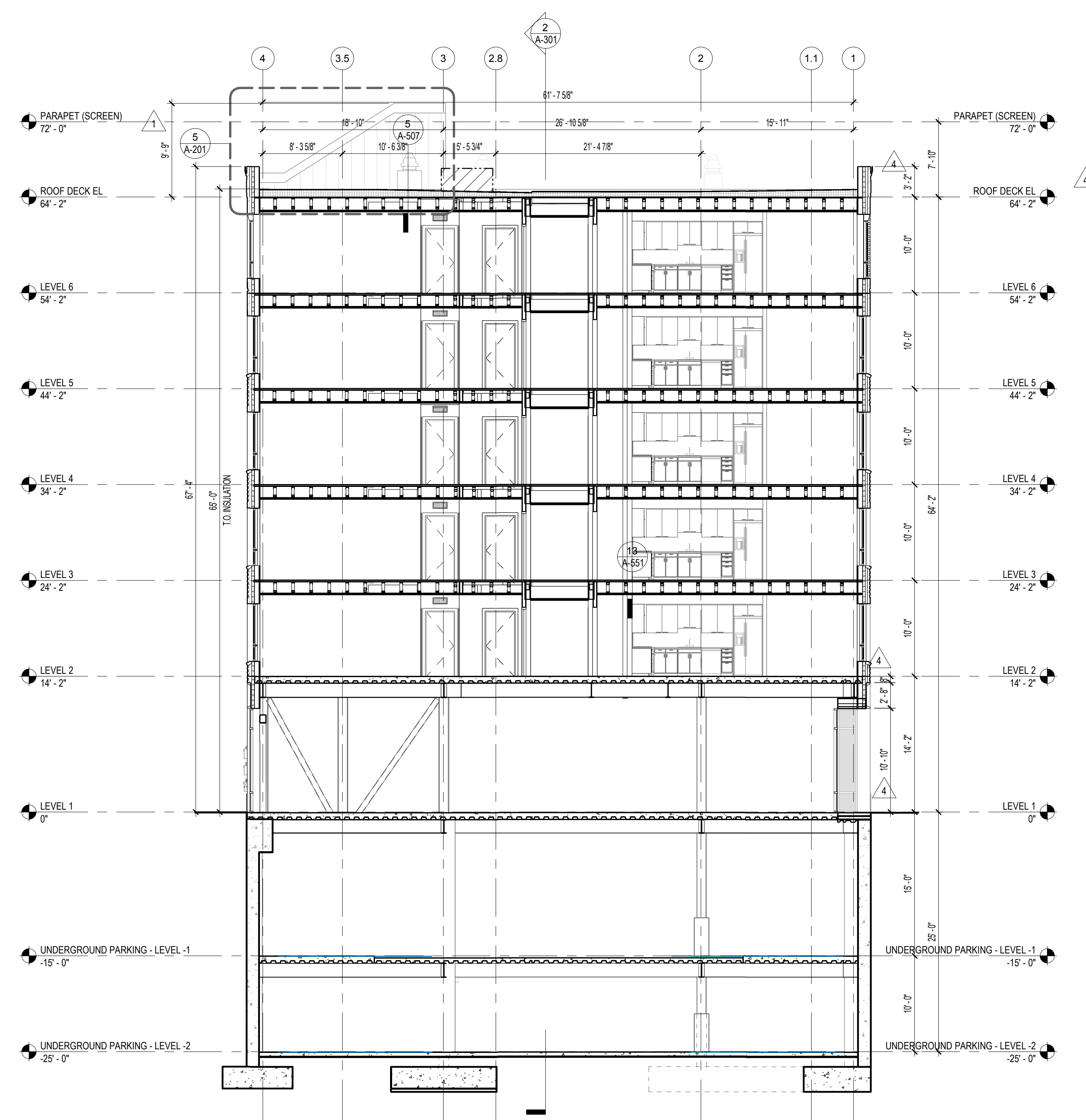
DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/01/19	Addendum 4

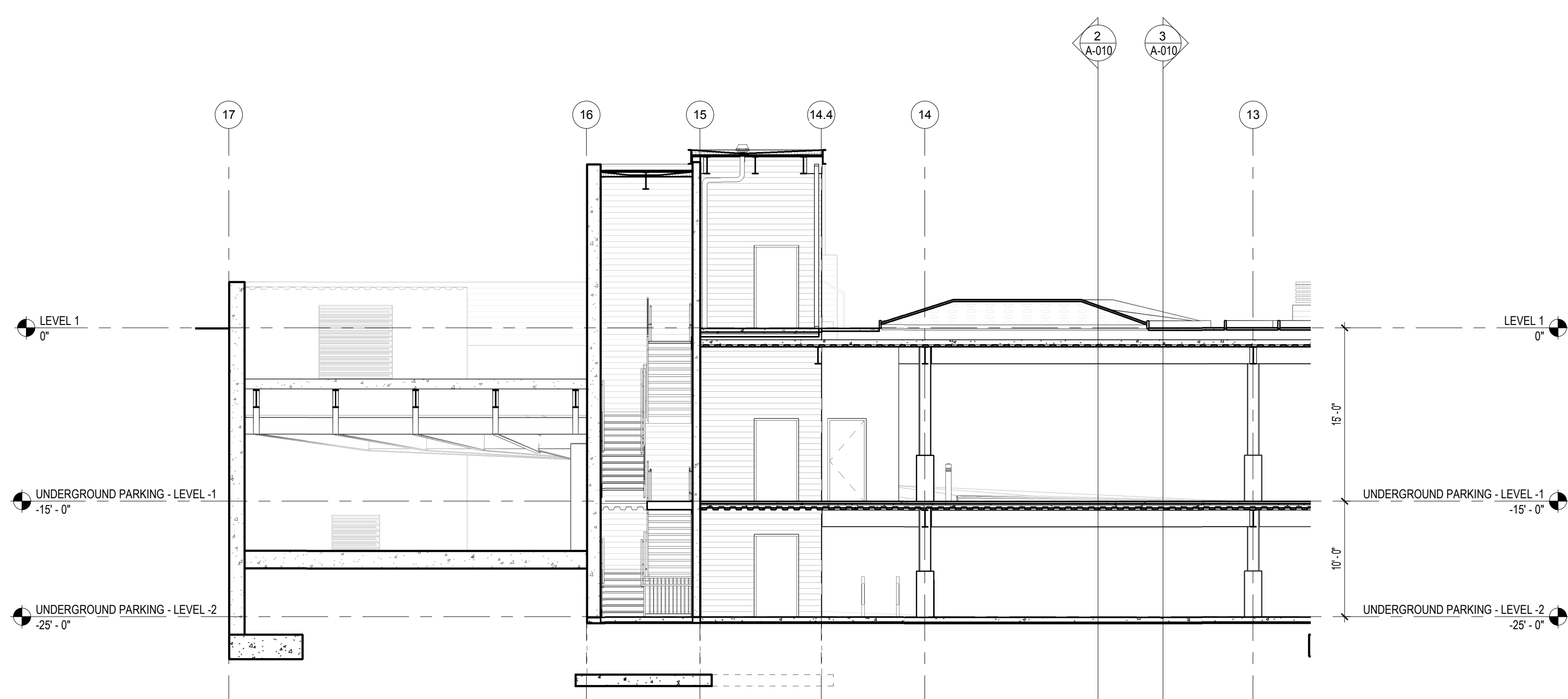
SHEET # **A-301**



1 EAST - WEST BUILDING SECTION - CHARLES ST BAR
1/16" = 1'-0"

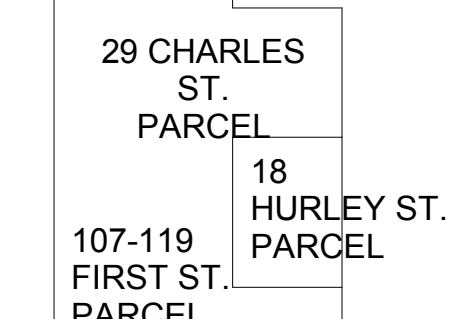


2 EAST - WEST BUILDING SECTION - FIRST ST BAR
1/8" = 1'-0"



3 EAST - WEST SECTION @ GARAGE HEADHOUSE
1/8" = 1'-0"

KEY PLAN:



SEAL: NORTH

PROJECT INFORMATION:

107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:

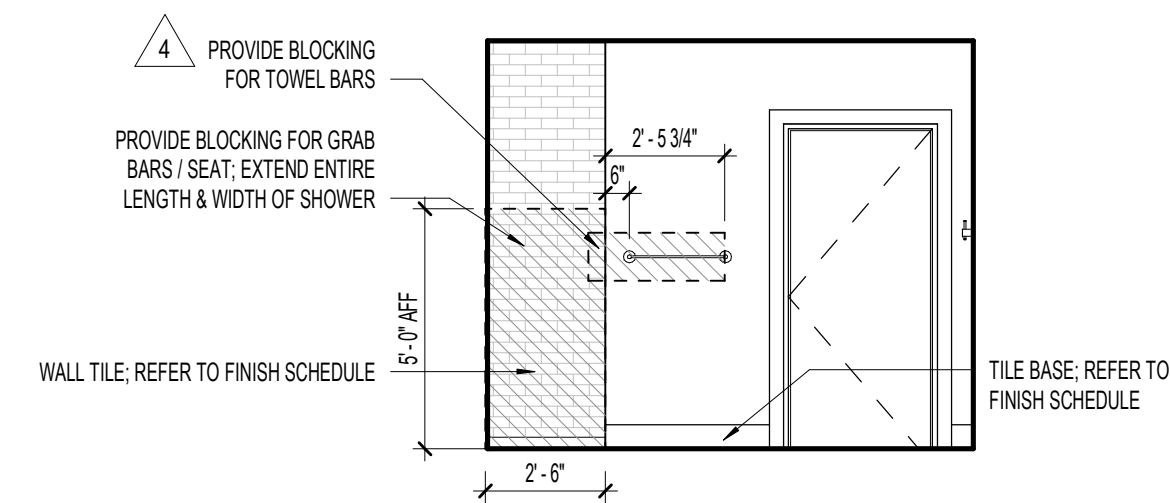
EAST-WEST BUILDING SECTIONS

DRAWING HISTORY:

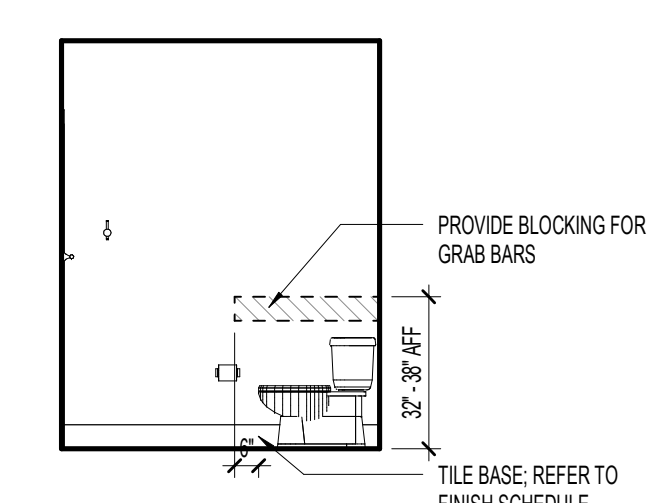
NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5

SHEET #:

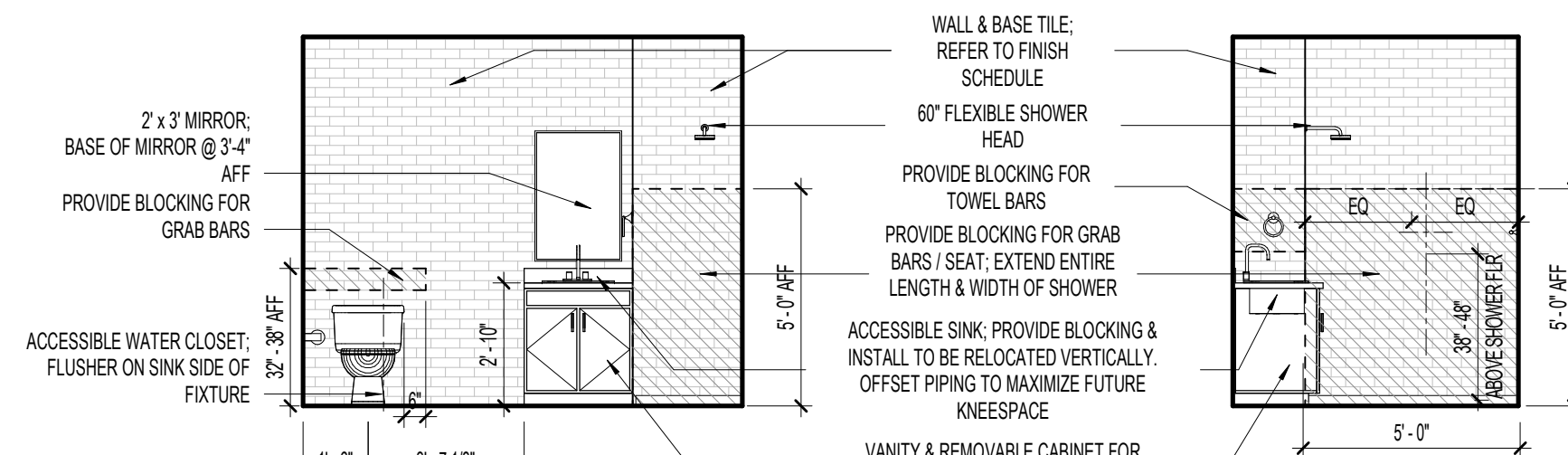
A-302



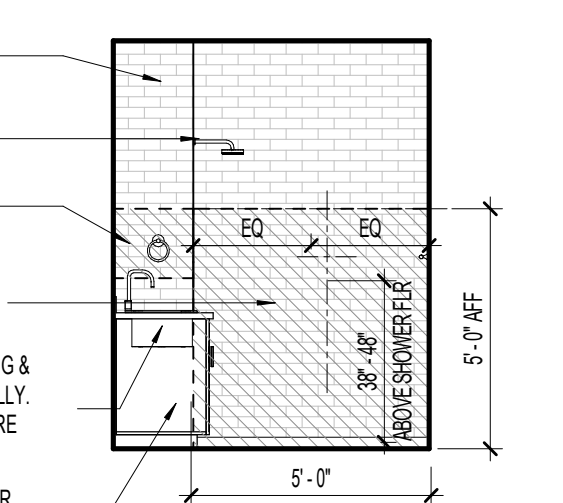
20 **BATHROOM E1**
 1/4" = 1'-0"



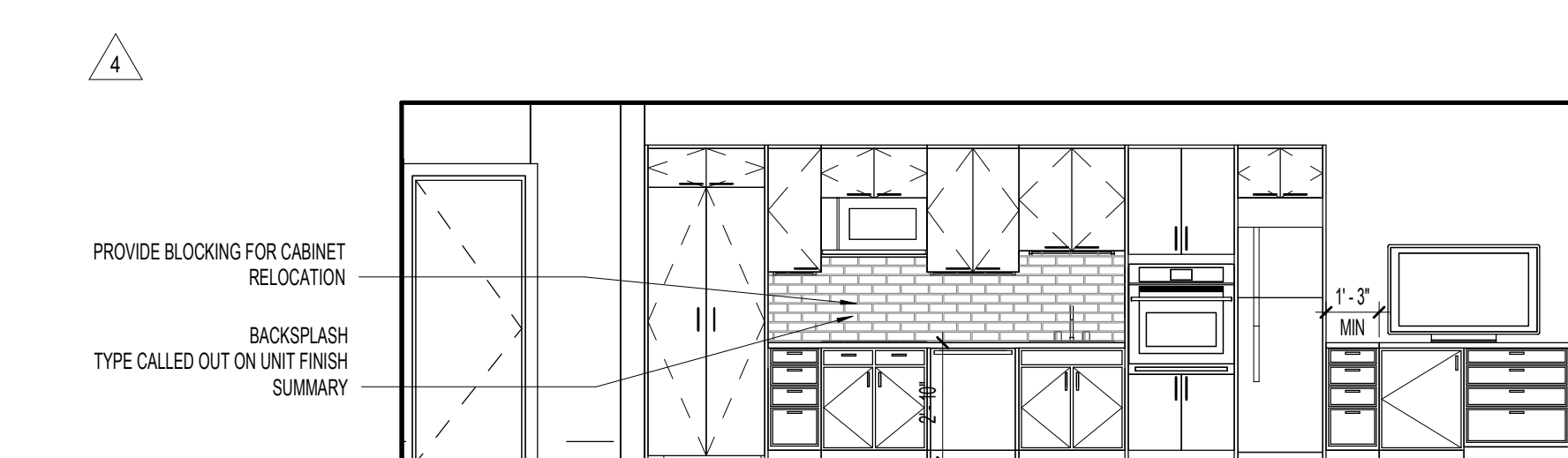
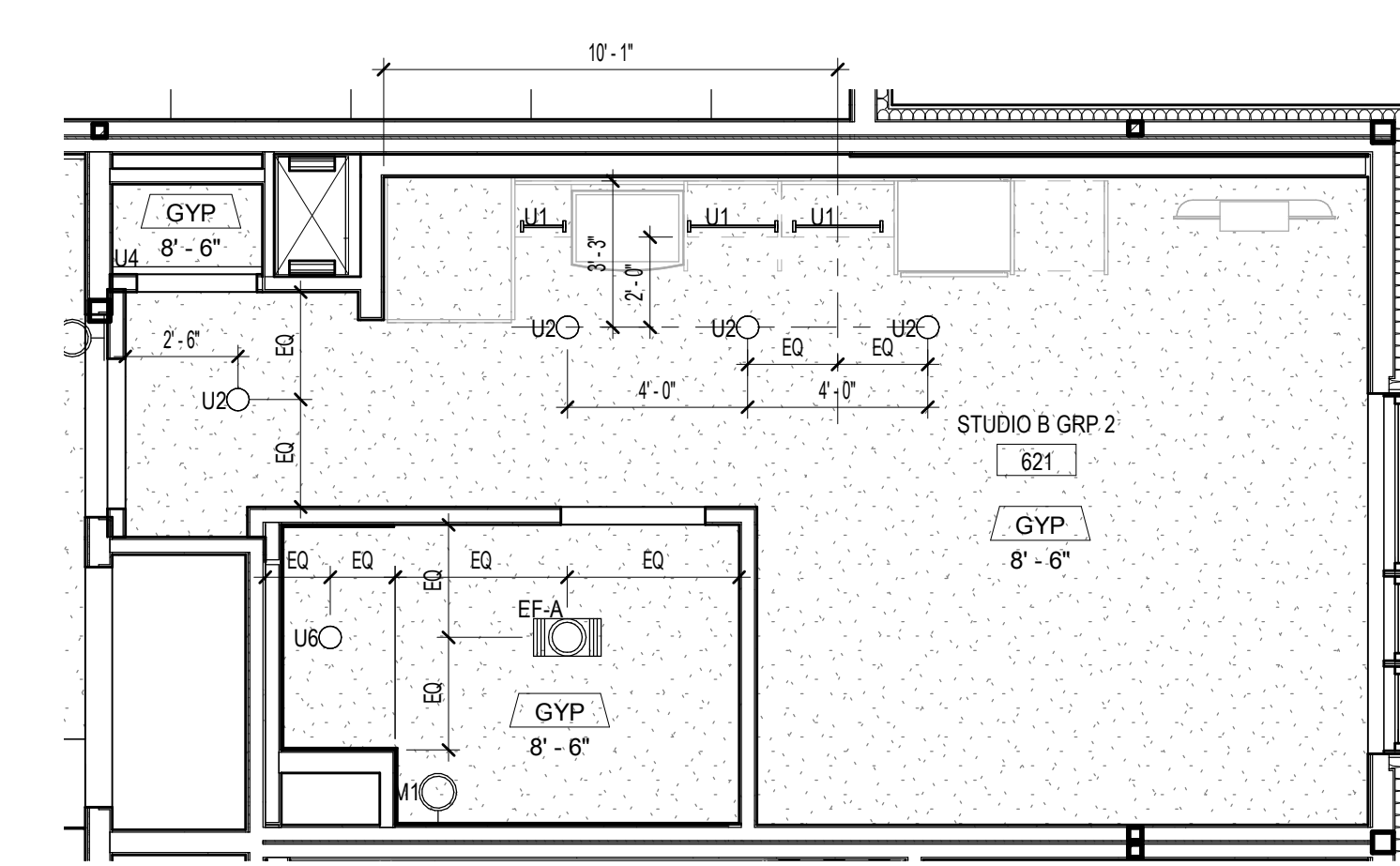
19 **BATHROOM E1**
 1/4" = 1'-0"



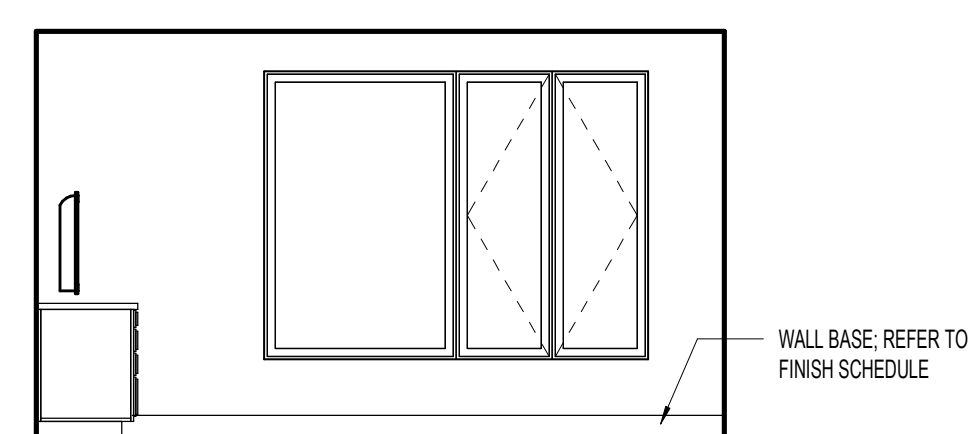
18 **BATHROOM E1**
 1/4" = 1'-0"



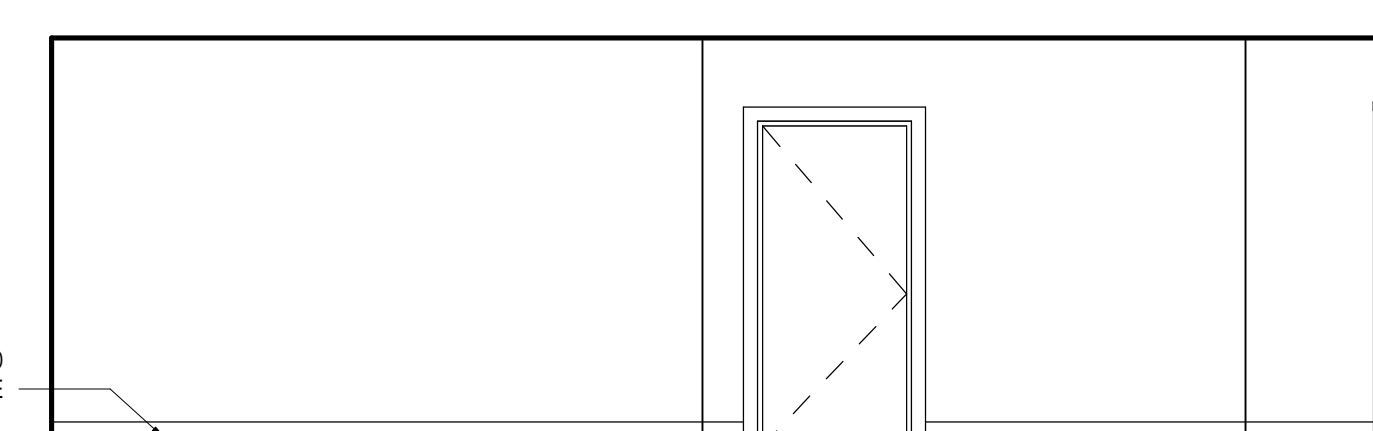
17 **BATHROOM E1**
 1/4" = 1'-0"



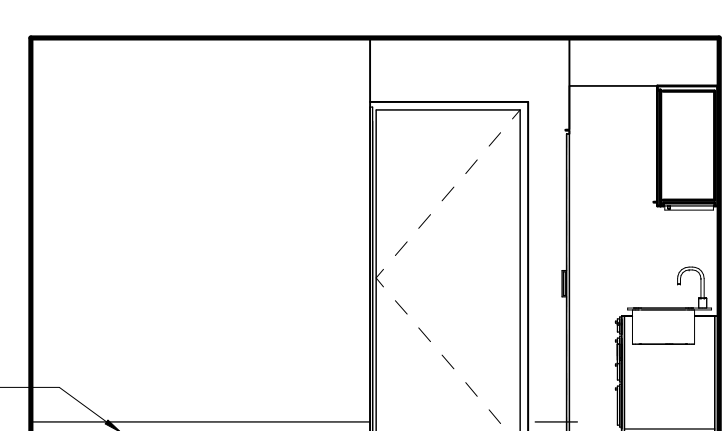
16 **STUDIO B KITCHEN/LIVING (GROUP II)**
 1/4" = 1'-0"



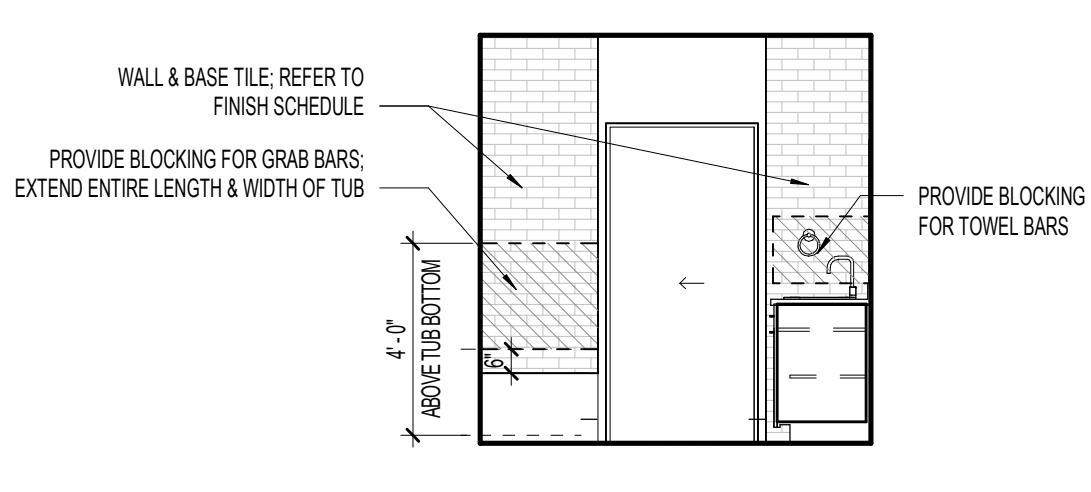
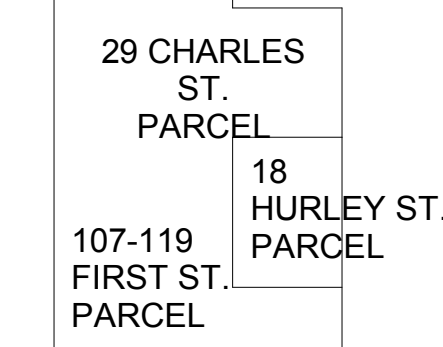
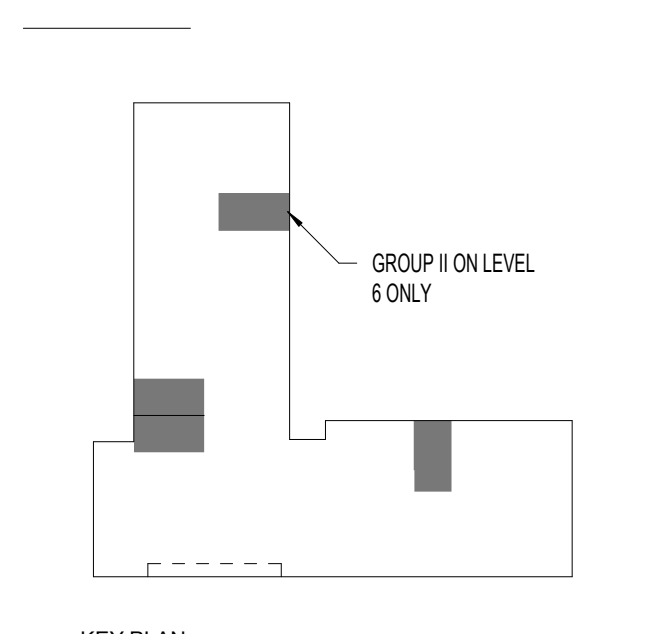
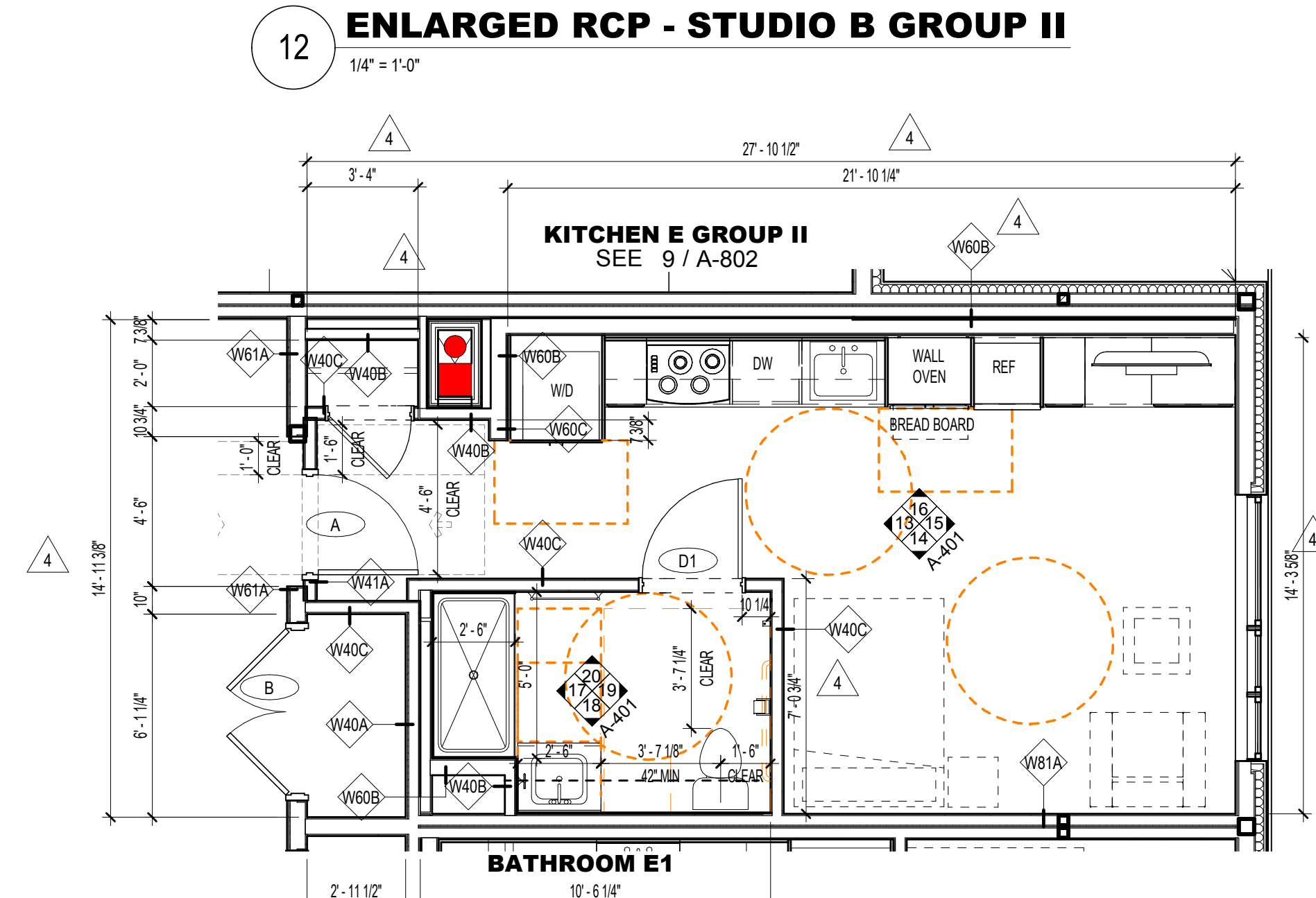
15 **STUDIO B KITCHEN/LIVING (GROUP II)**
 1/4" = 1'-0"



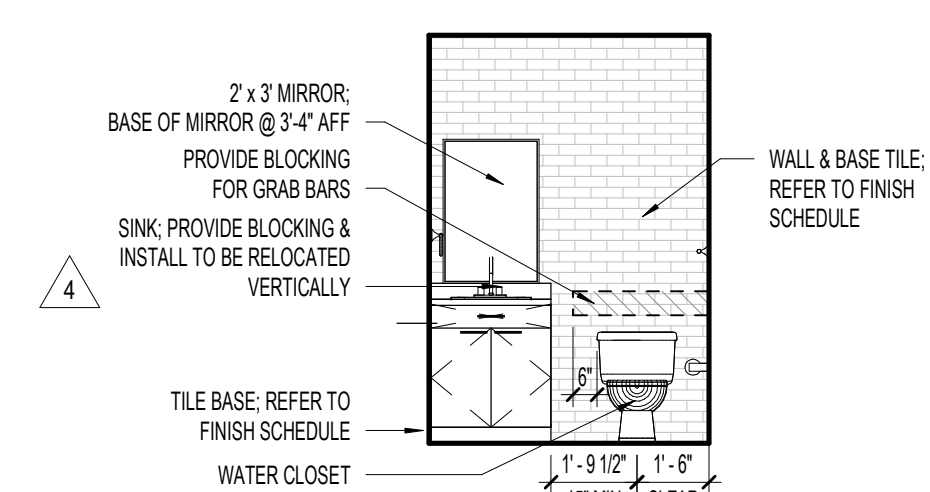
14 **STUDIO B KITCHEN/LIVING (GROUP II)**
 1/4" = 1'-0"



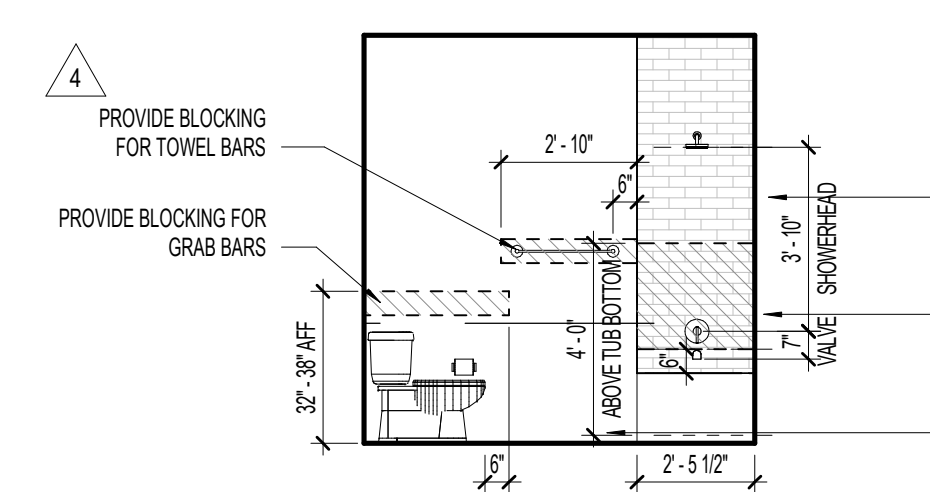
13 **STUDIO B KITCHEN/LIVING (GROUP II)**
 1/4" = 1'-0"



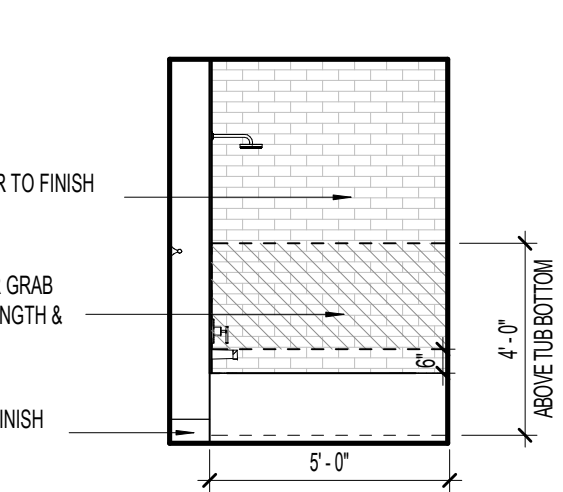
10 **BATHROOM B**
 1/4" = 1'-0"



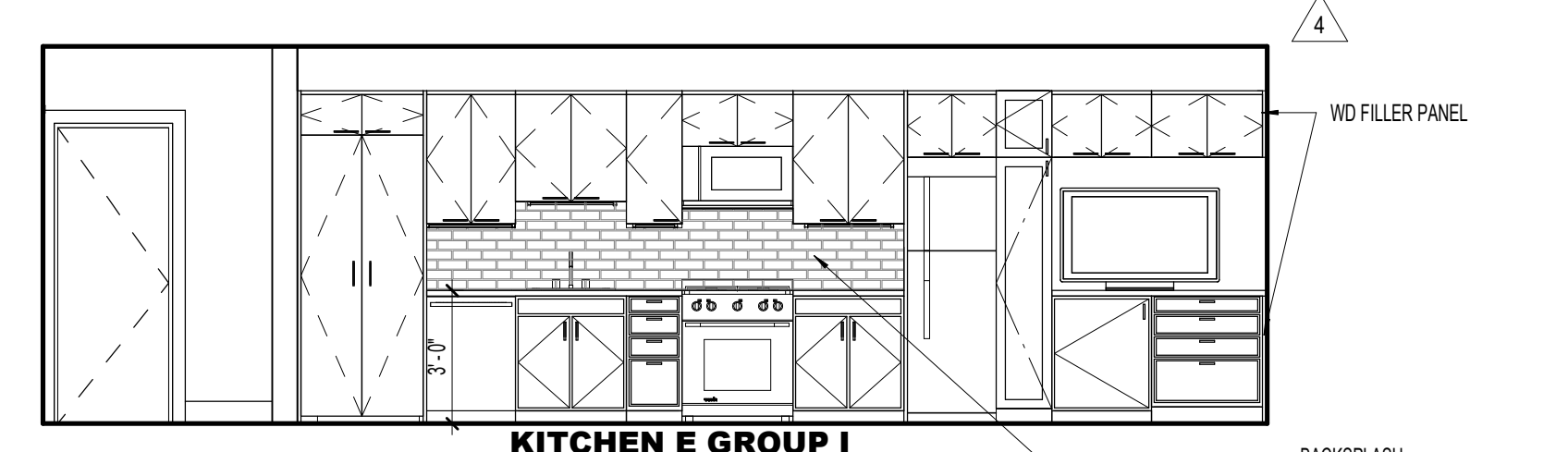
9 **BATHROOM B**
 1/4" = 1'-0"



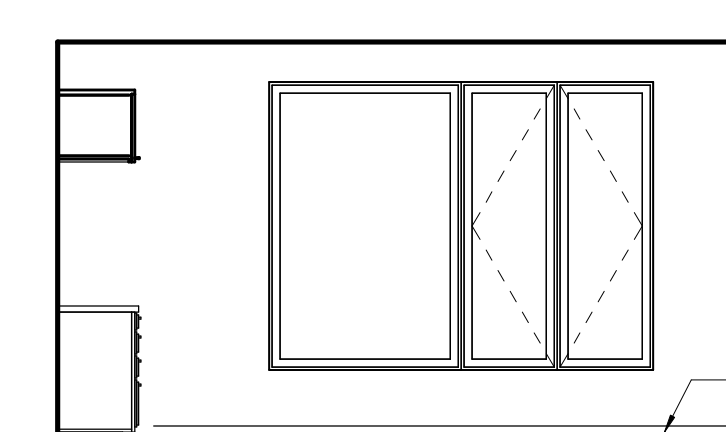
8 **BATHROOM B**
 1/4" = 1'-0"



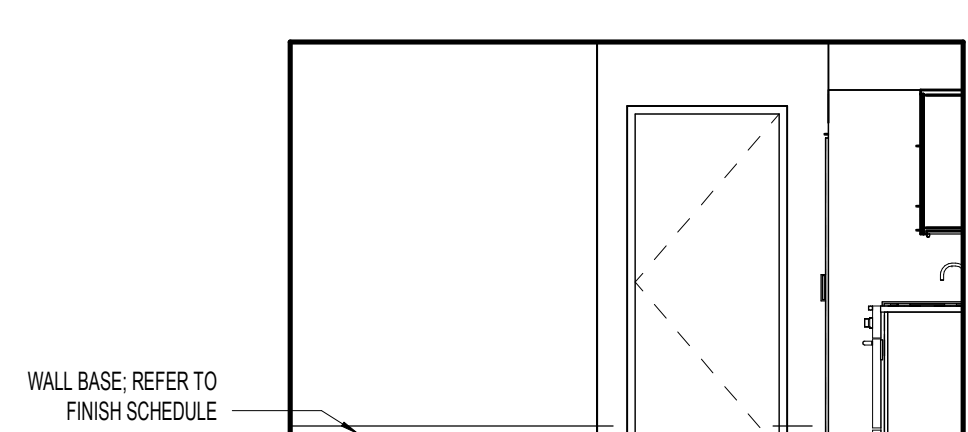
7 **BATHROOM B**
 1/4" = 1'-0"



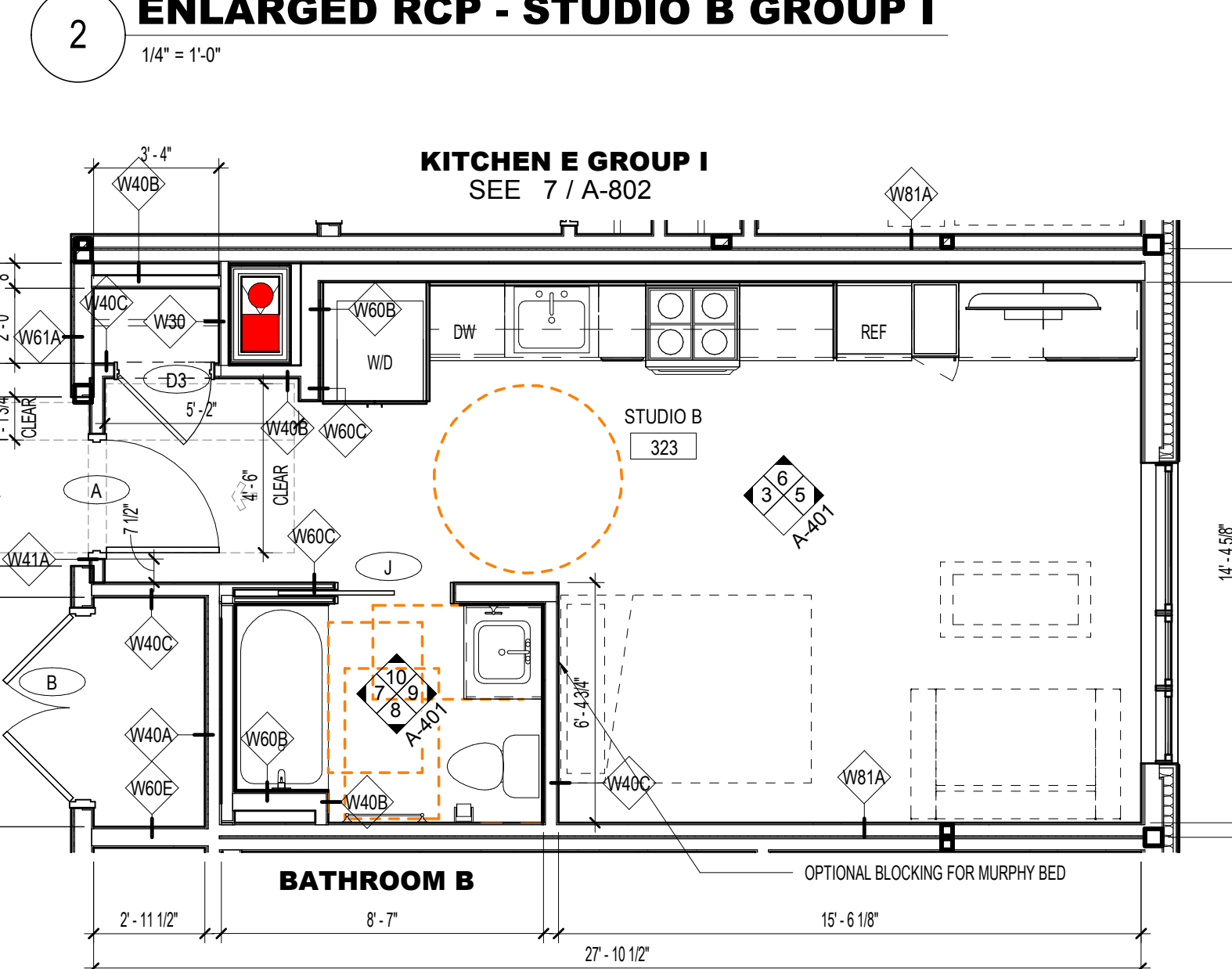
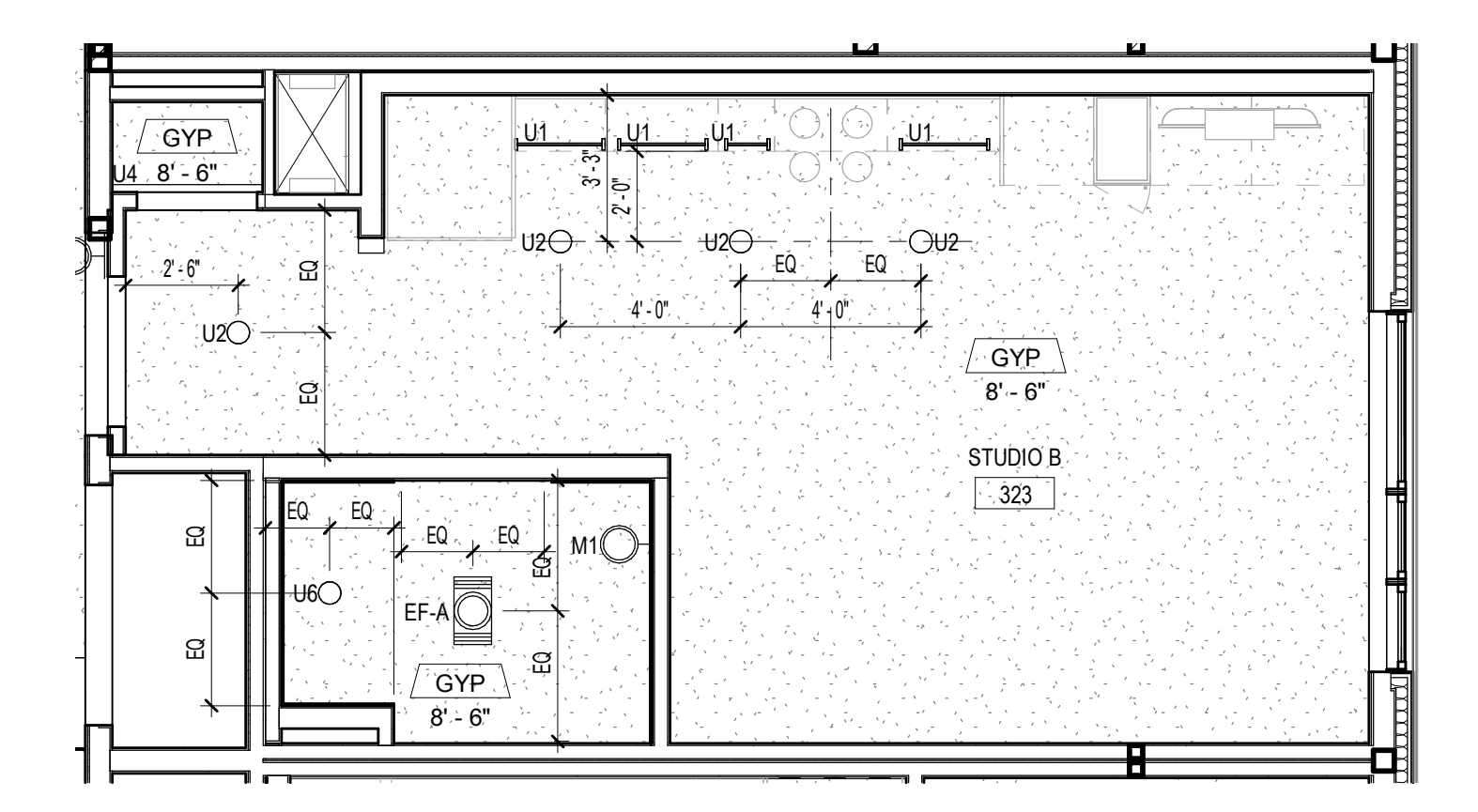
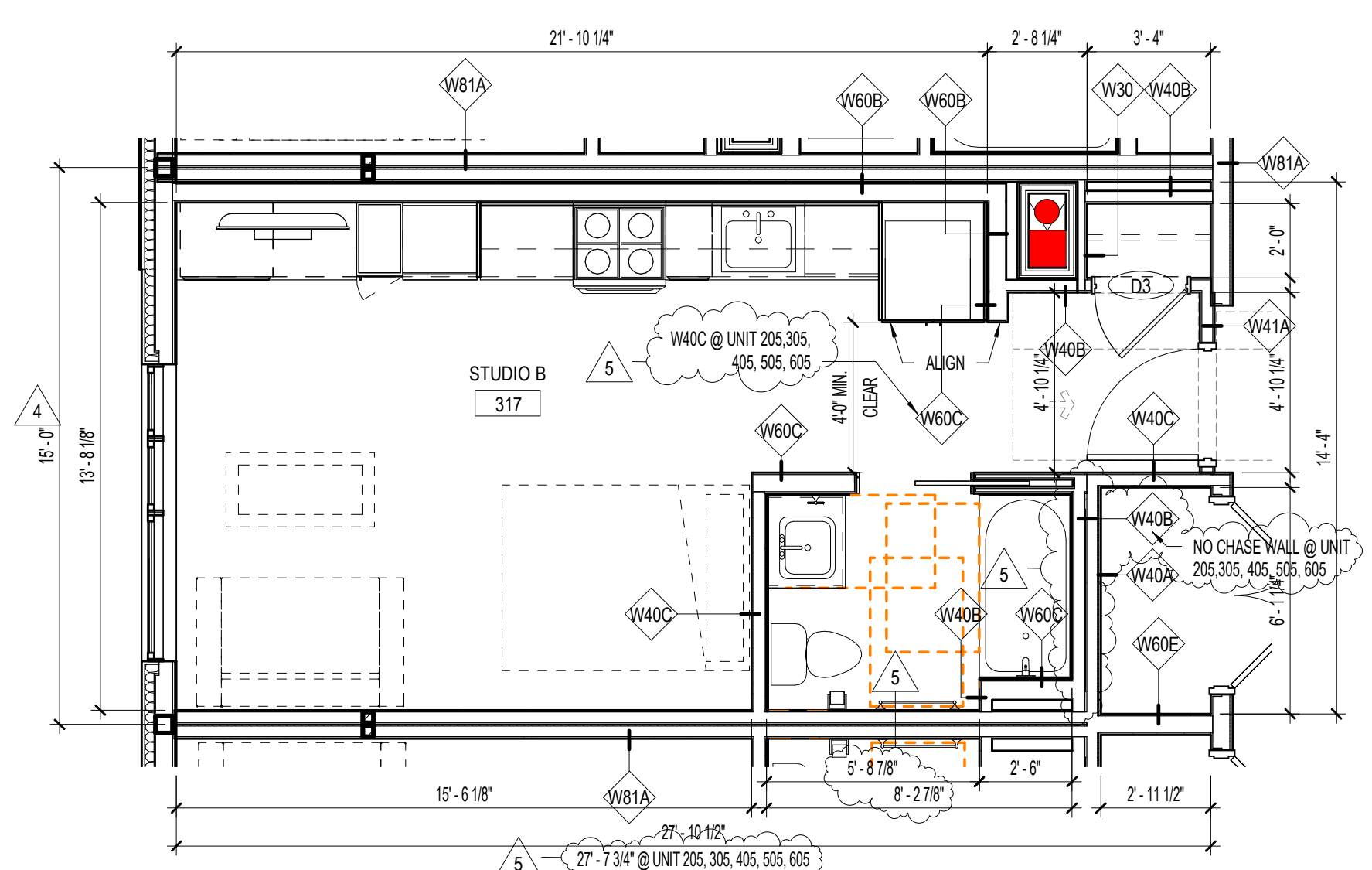
6 **STUDIO B KITCHEN/LIVING (GROUP I)**
 1/4" = 1'-0"



5 **STUDIO B KITCHEN/LIVING (GROUP I)**
 1/4" = 1'-0"



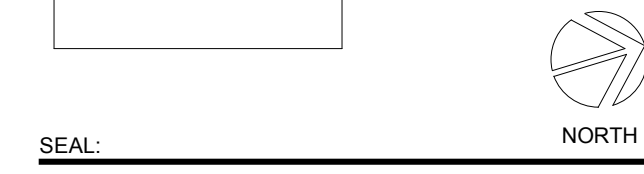
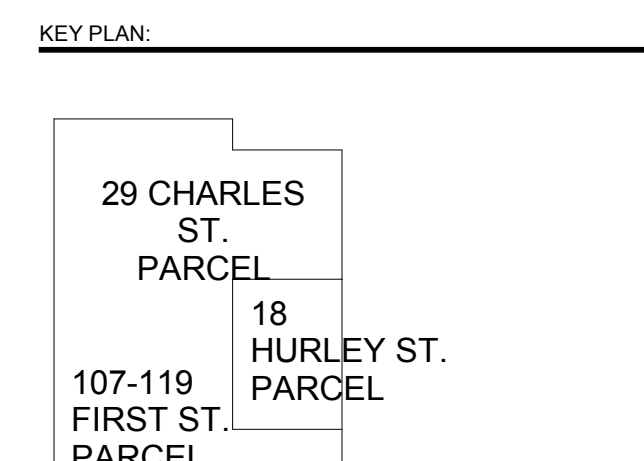
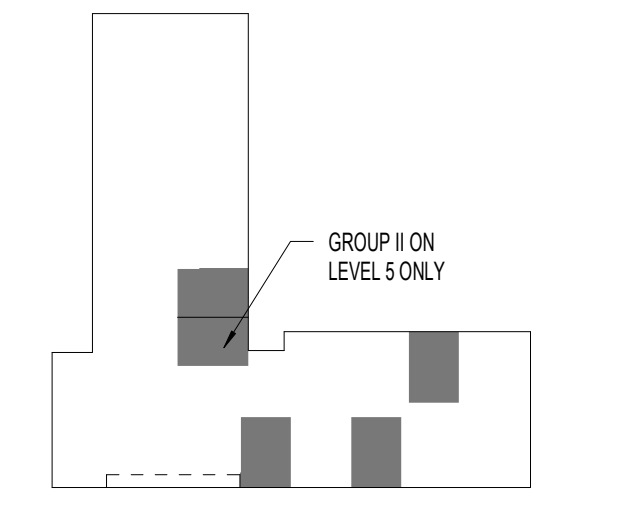
3 **STUDIO B KITCHEN/LIVING (GROUP I)**
 1/4" = 1'-0"



DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/3/19	Addendum 4
5	5/15/19	Addendum 5

SHEET #:



PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

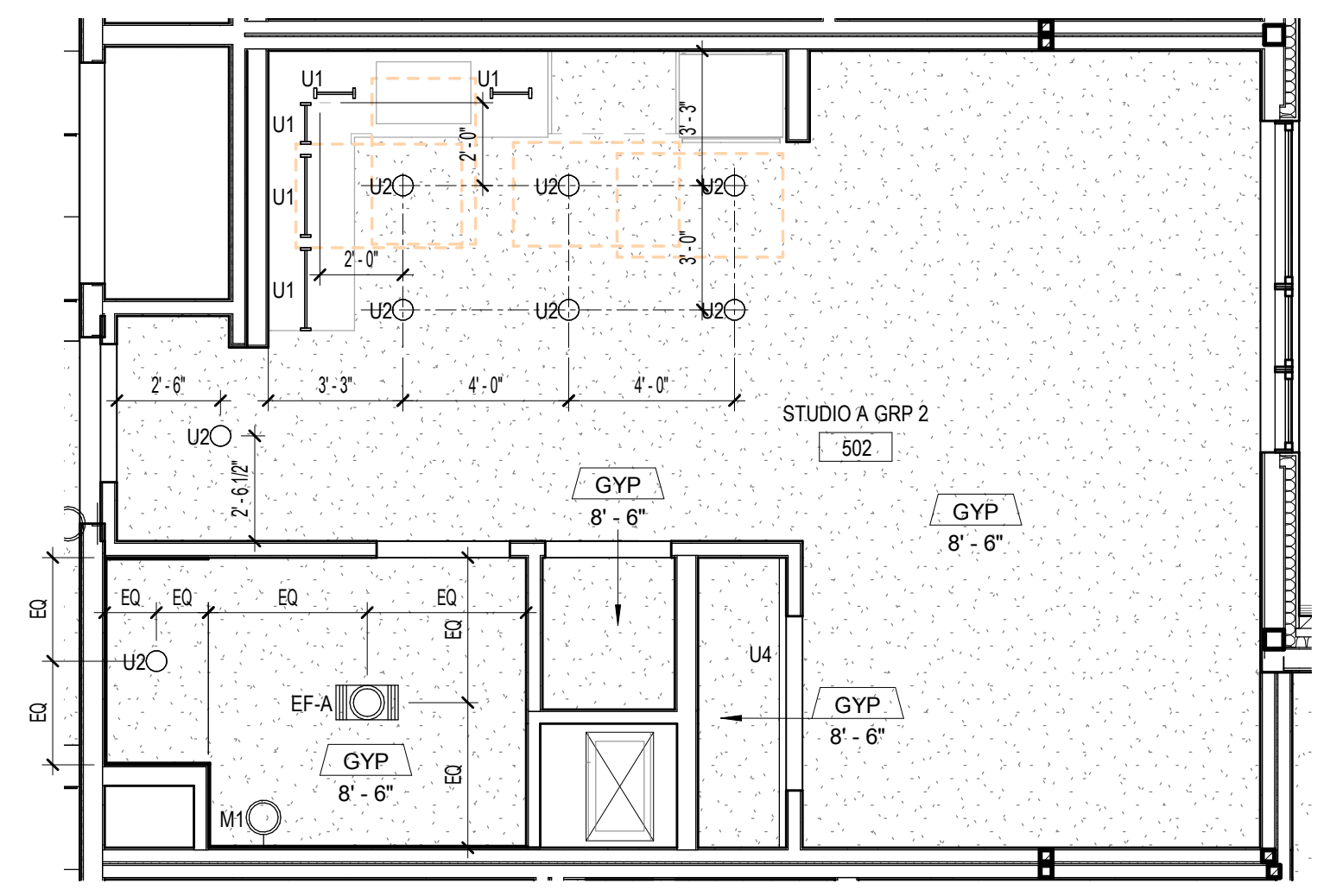
PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - STUDIO A

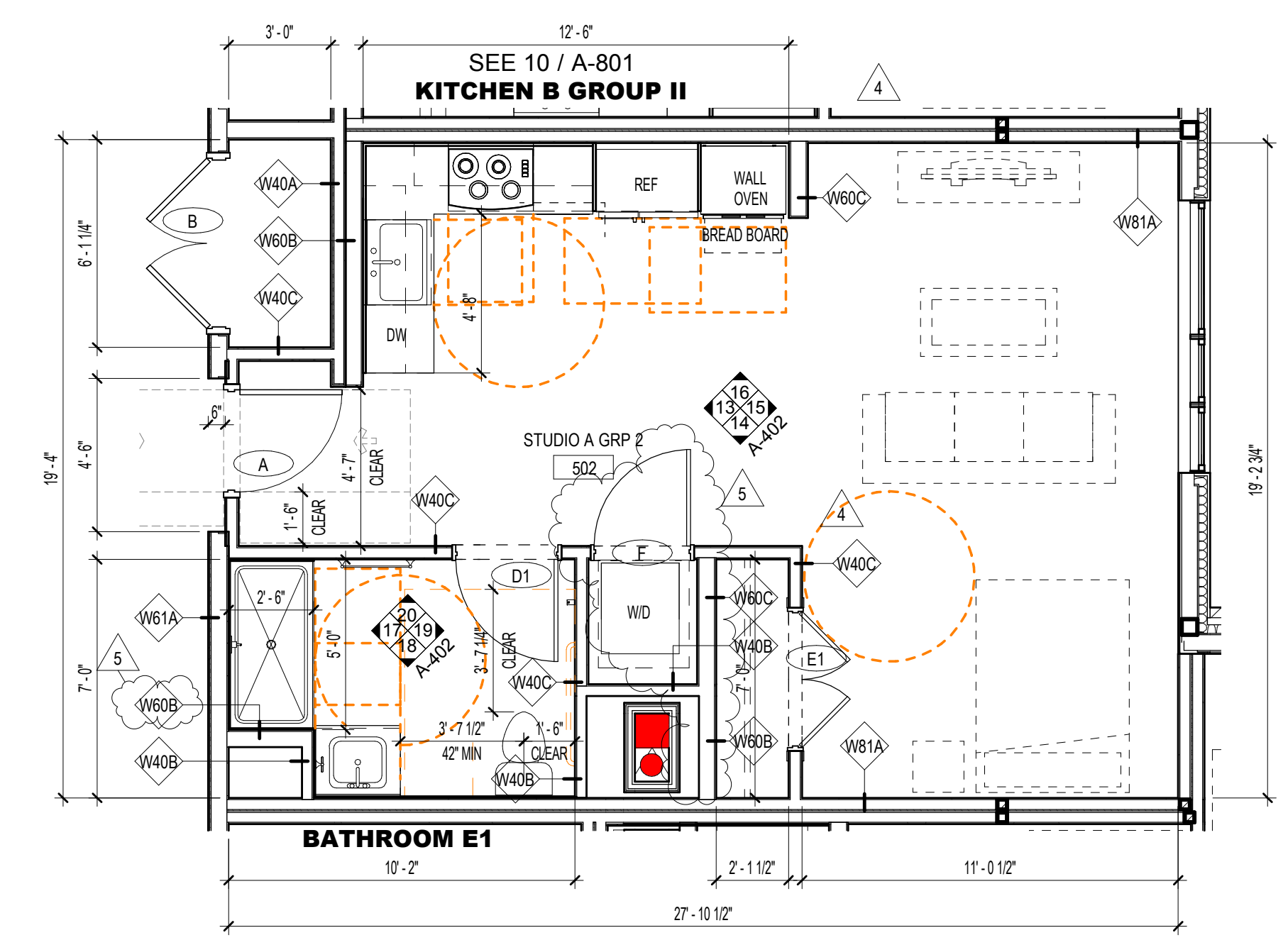
DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/30/19	Addendum 4
5	5/15/19	Addendum 5

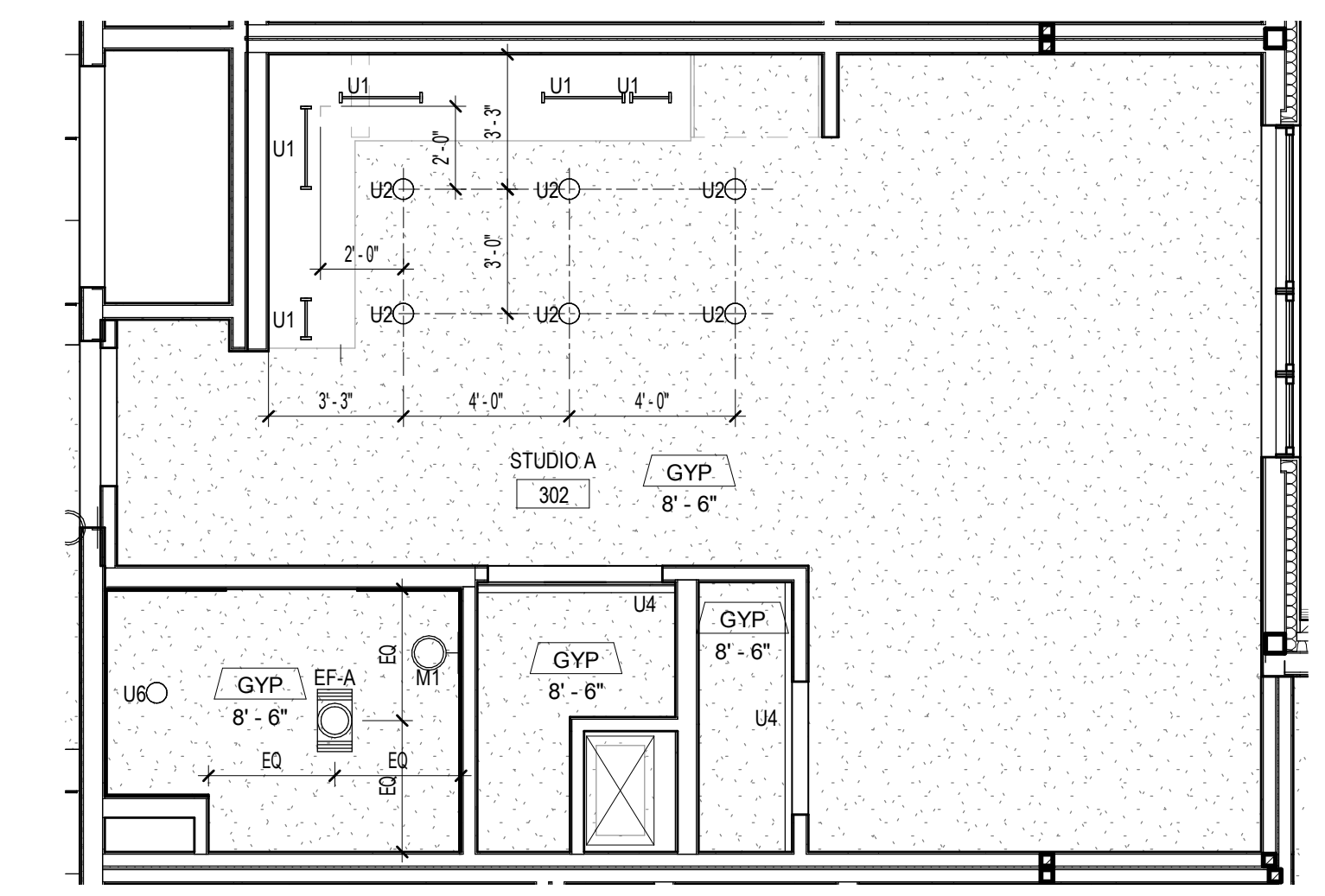
SHEET # **A-402**



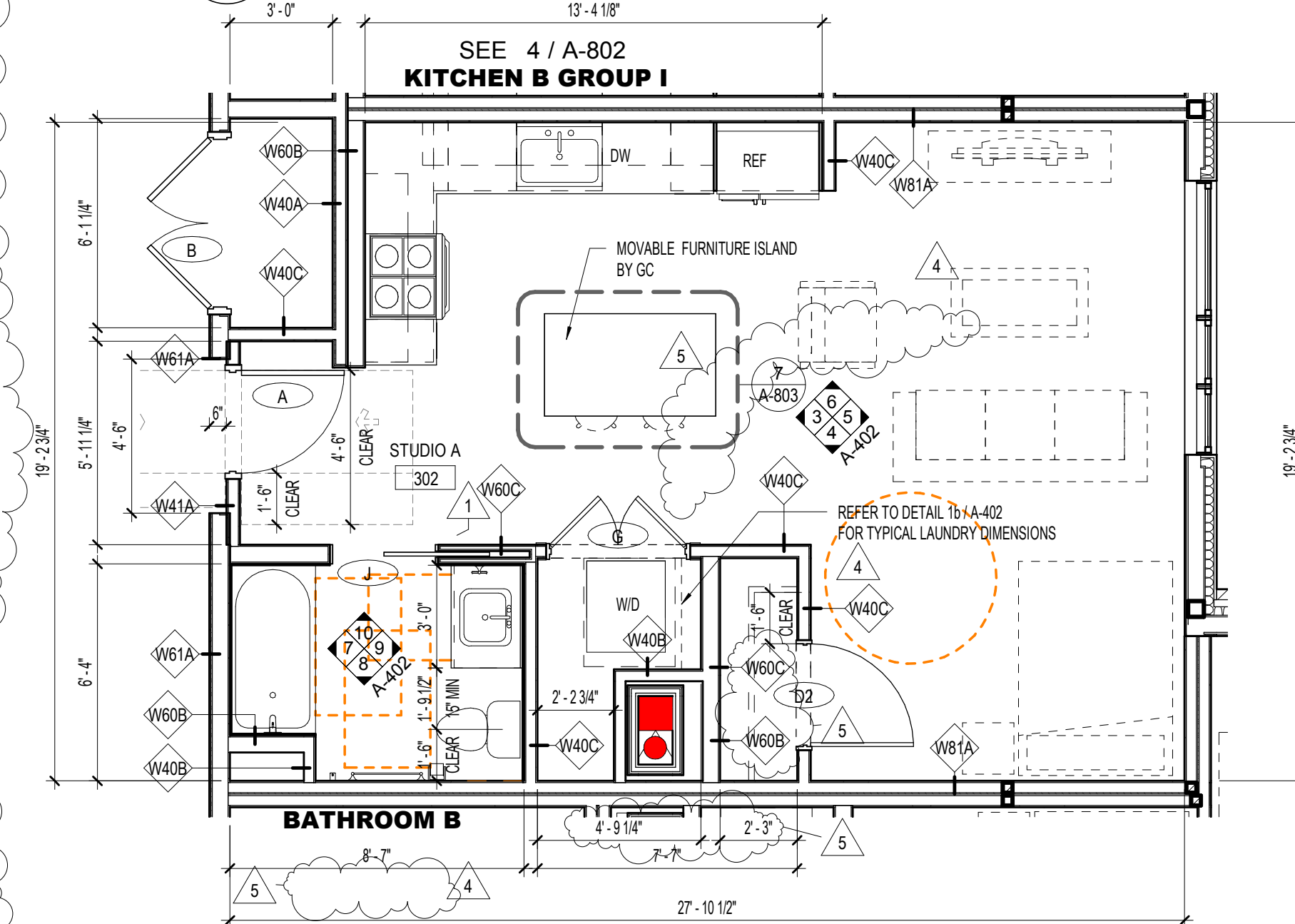
12 ENLARGED RCP - STUDIO A GROUP II
 1/4" = 1'-0"



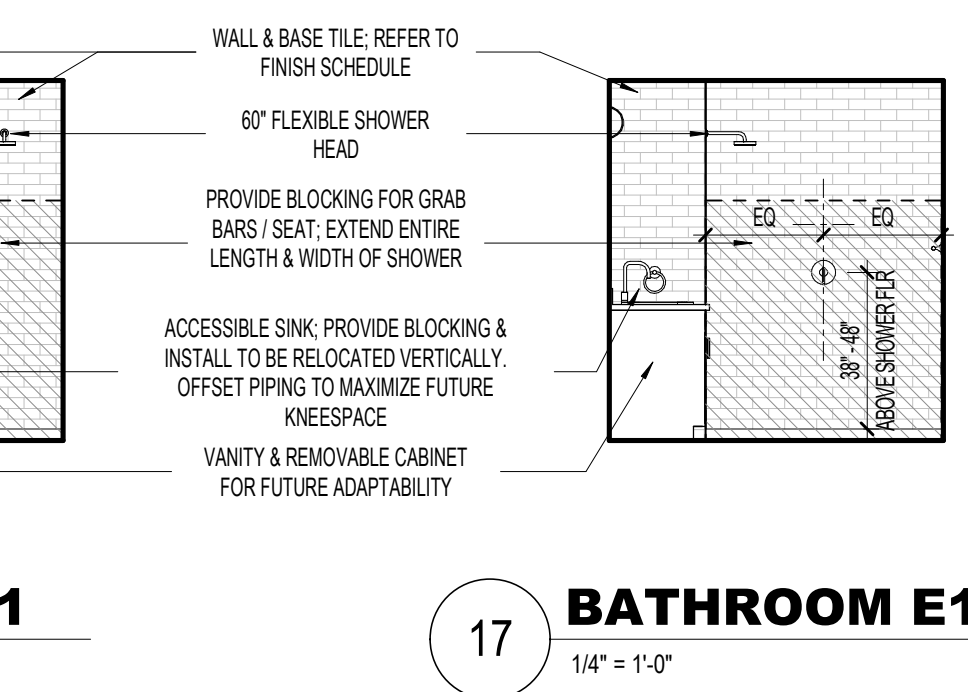
11 ENLARGED PLAN - STUDIO A GROUP II
 1/4" = 1'-0"



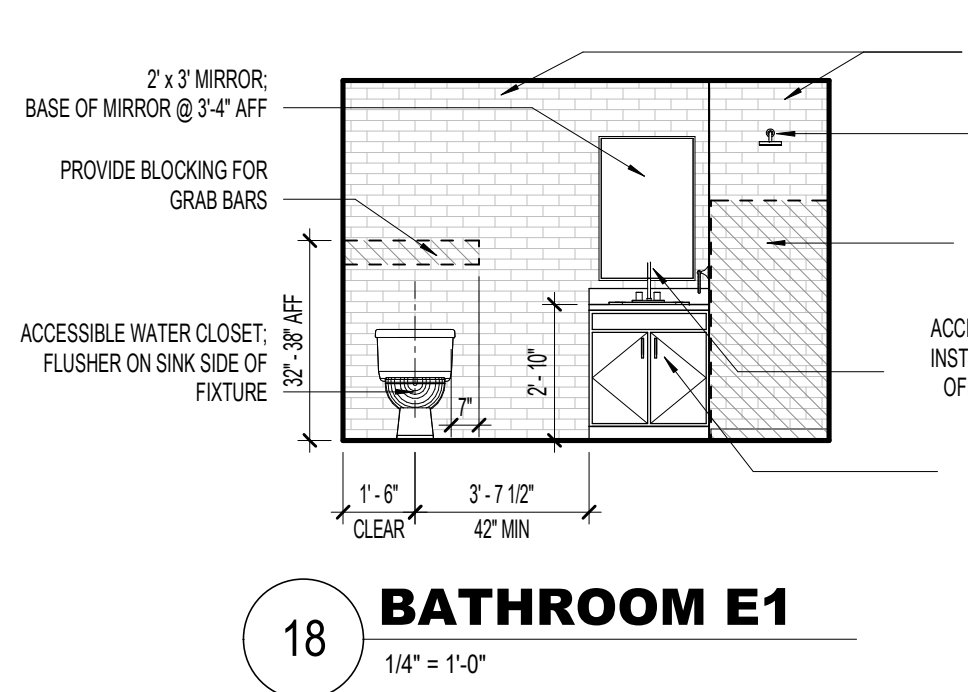
2 ENLARGED RCP - STUDIO A GROUP I
 1/4" = 1'-0"



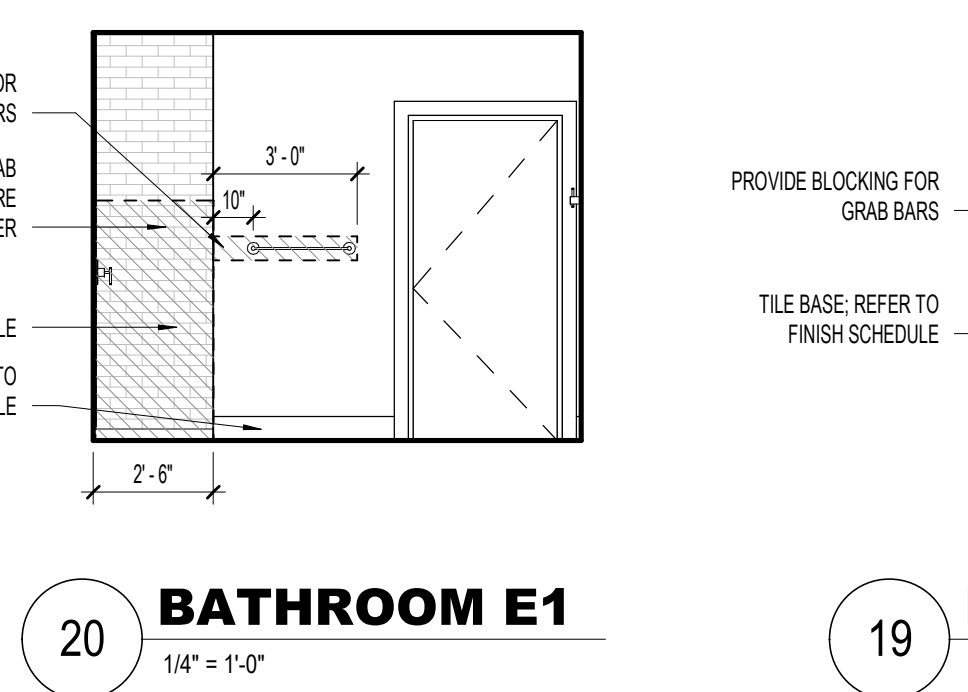
1 ENLARGED PLAN - STUDIO A GROUP I
 1/4" = 1'-0"



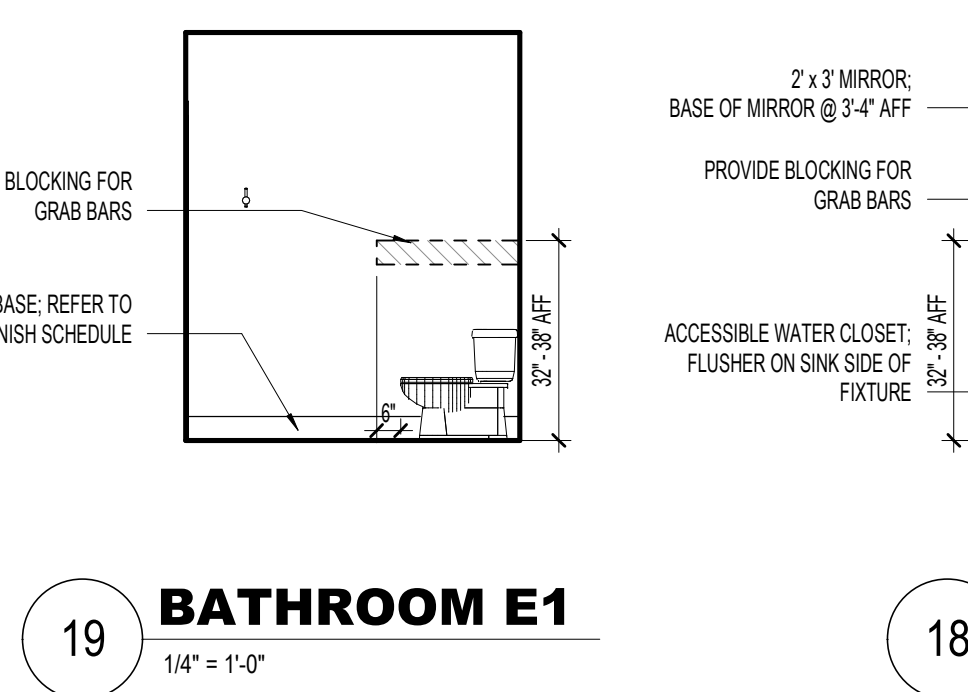
17 BATHROOM E1
 1/4" = 1'-0"



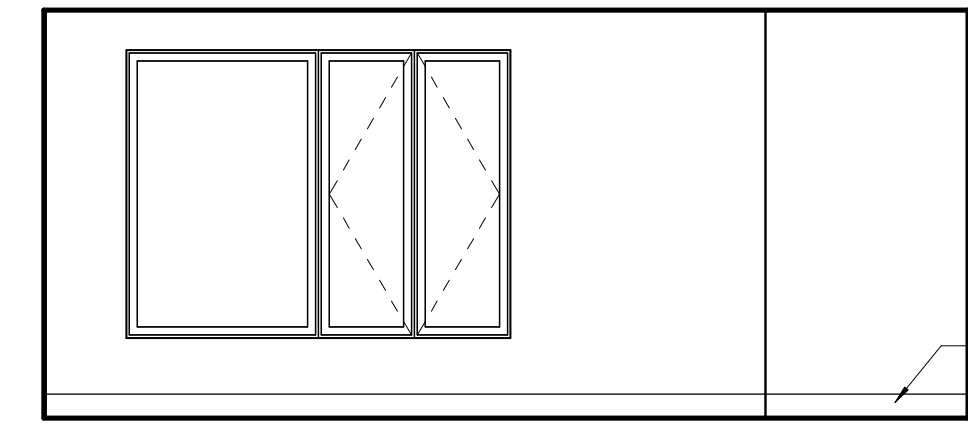
18 BATHROOM E1
 1/4" = 1'-0"



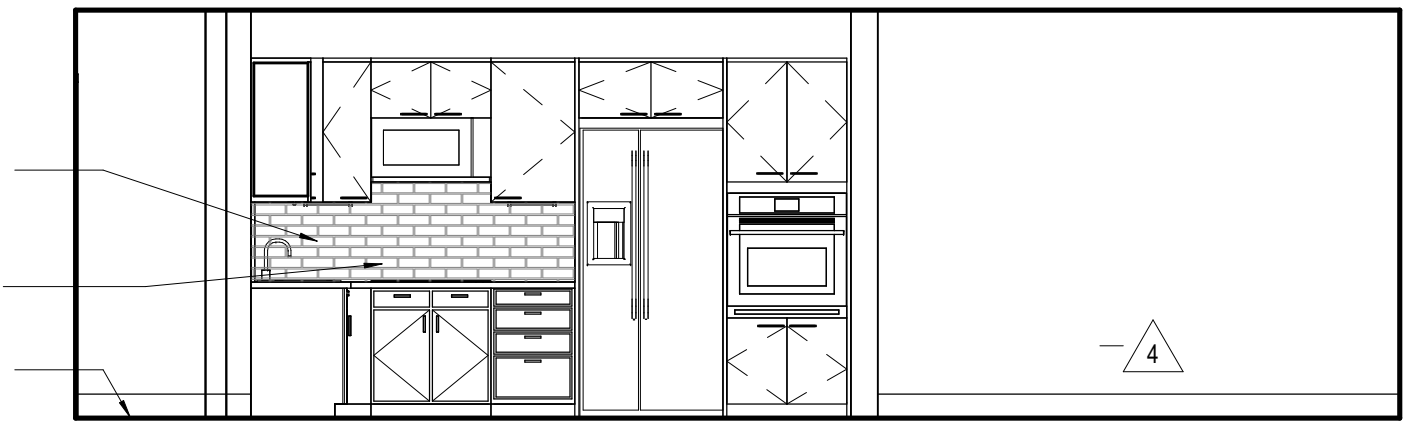
20 BATHROOM E1
 1/4" = 1'-0"



19 BATHROOM E1
 1/4" = 1'-0"



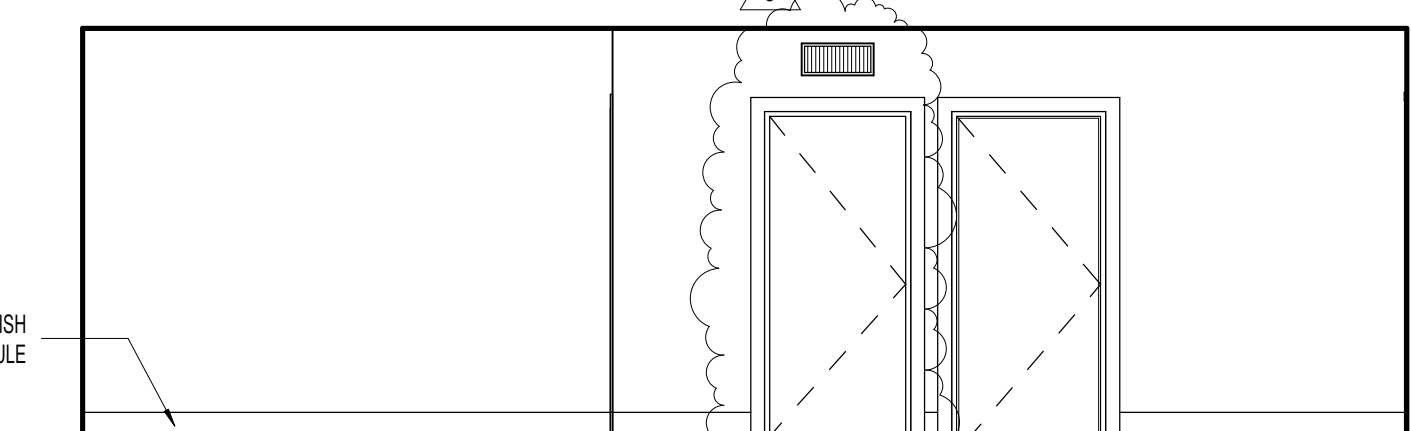
15 STUDIO A KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



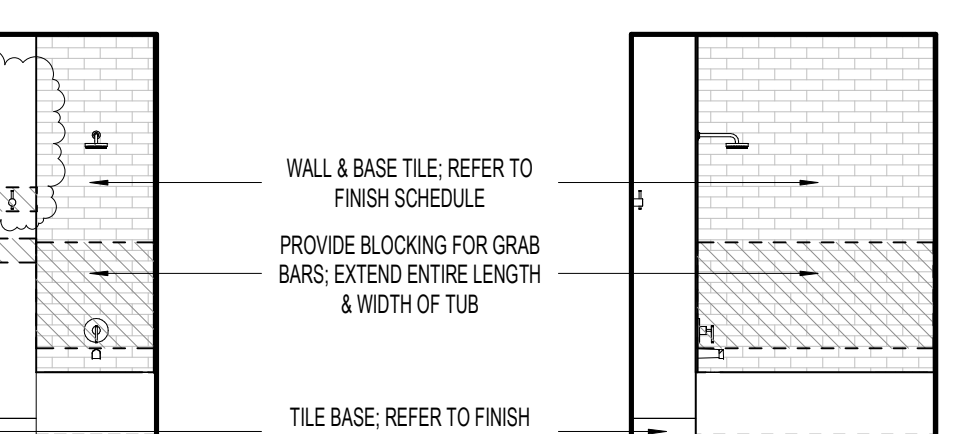
16 STUDIO A KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



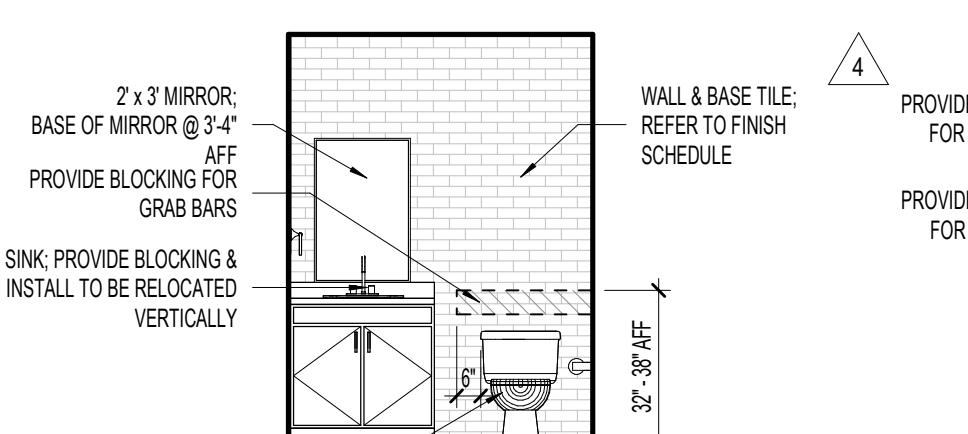
13 STUDIO A KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



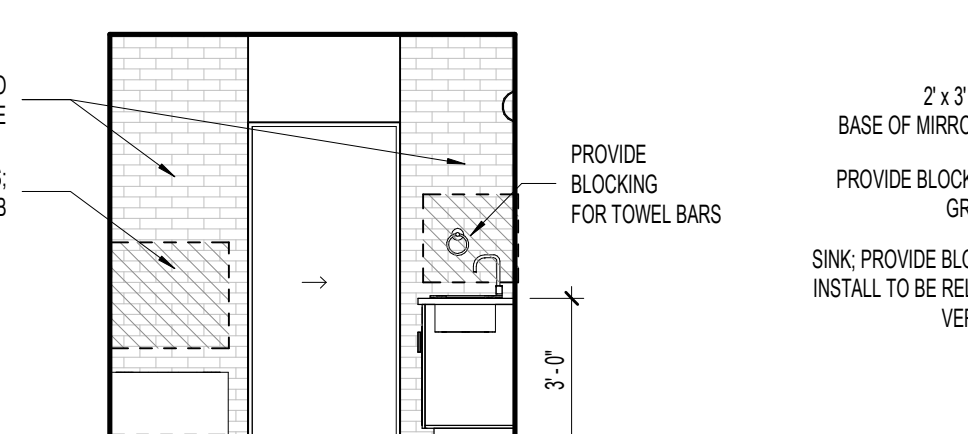
14 STUDIO A KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



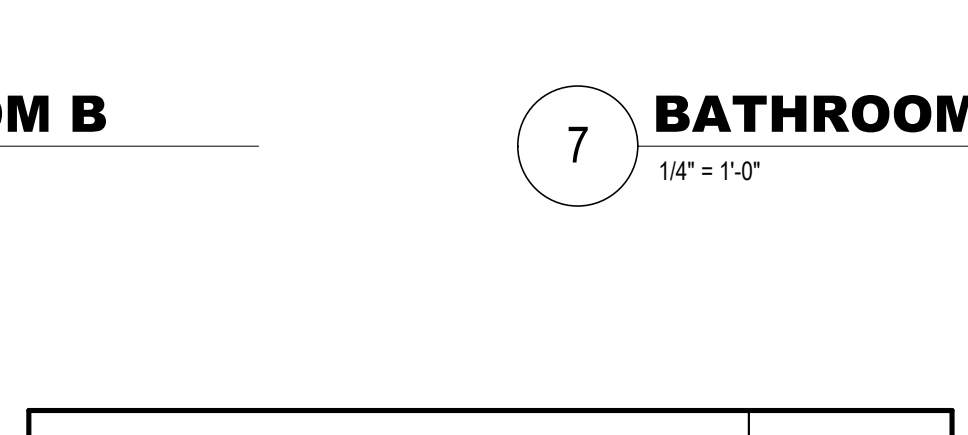
7 BATHROOM B
 1/4" = 1'-0"



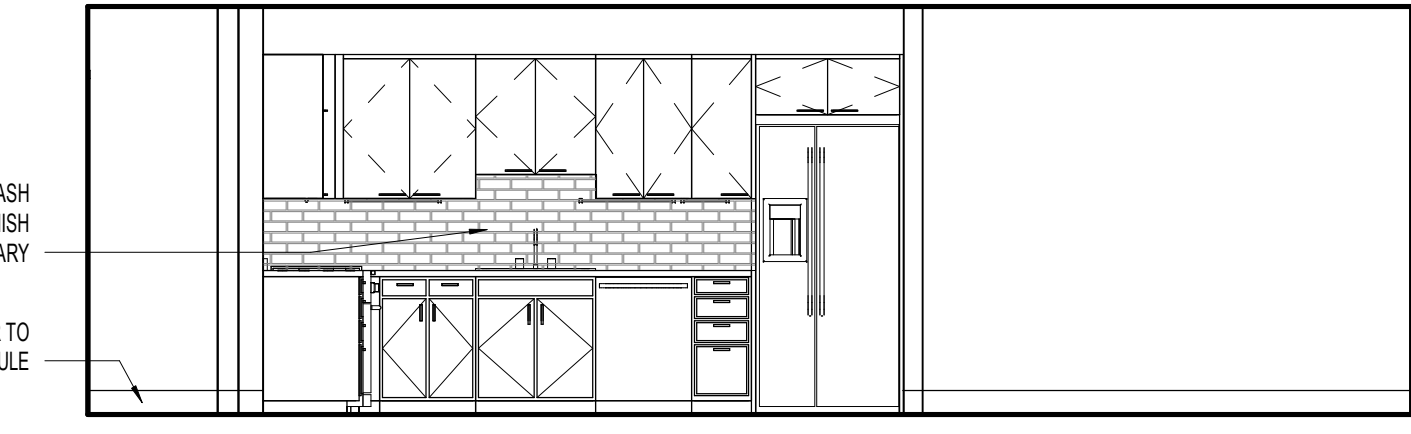
9 BATHROOM B
 1/4" = 1'-0"



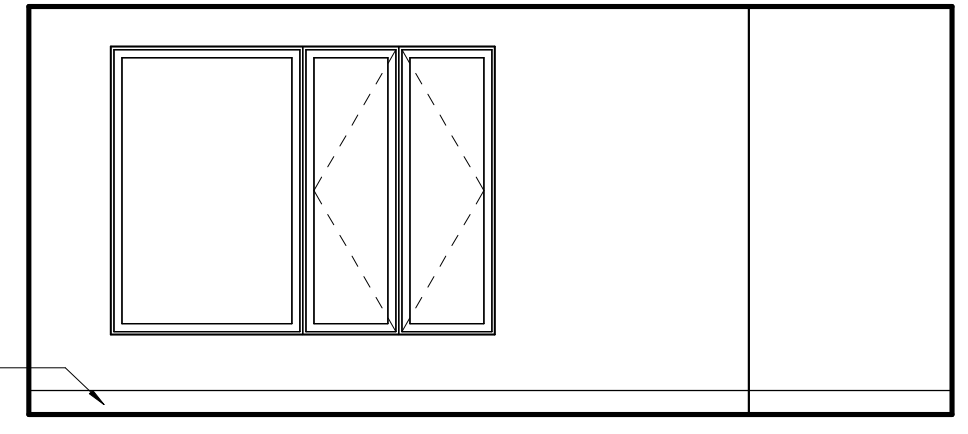
10 BATHROOM B
 1/4" = 1'-0"



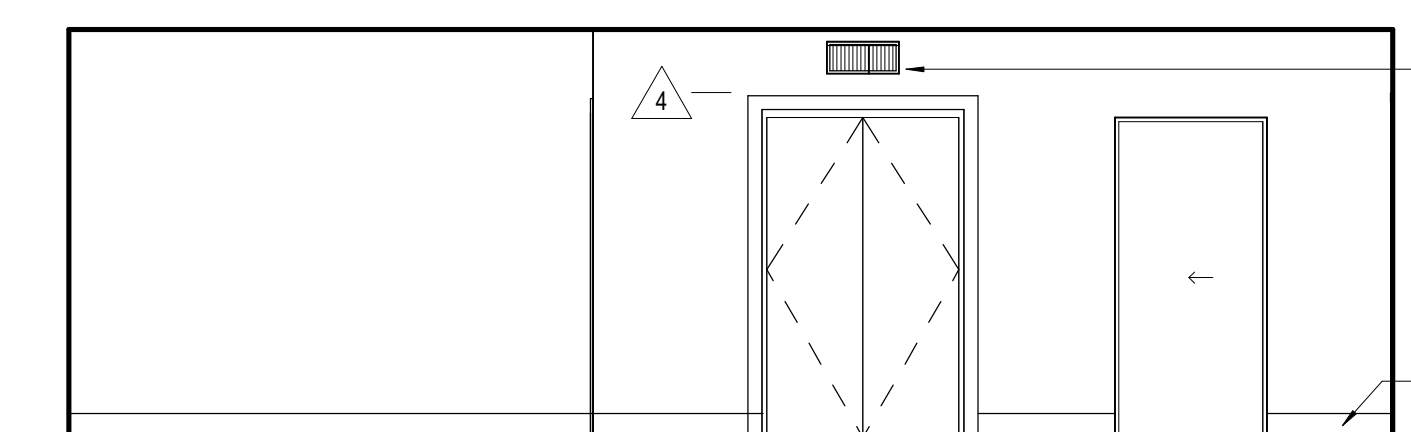
8 BATHROOM B
 1/4" = 1'-0"



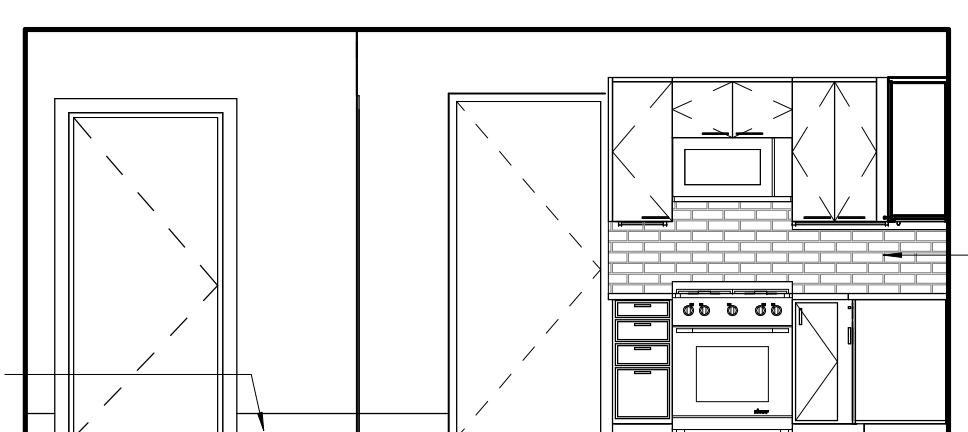
6 STUDIO A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



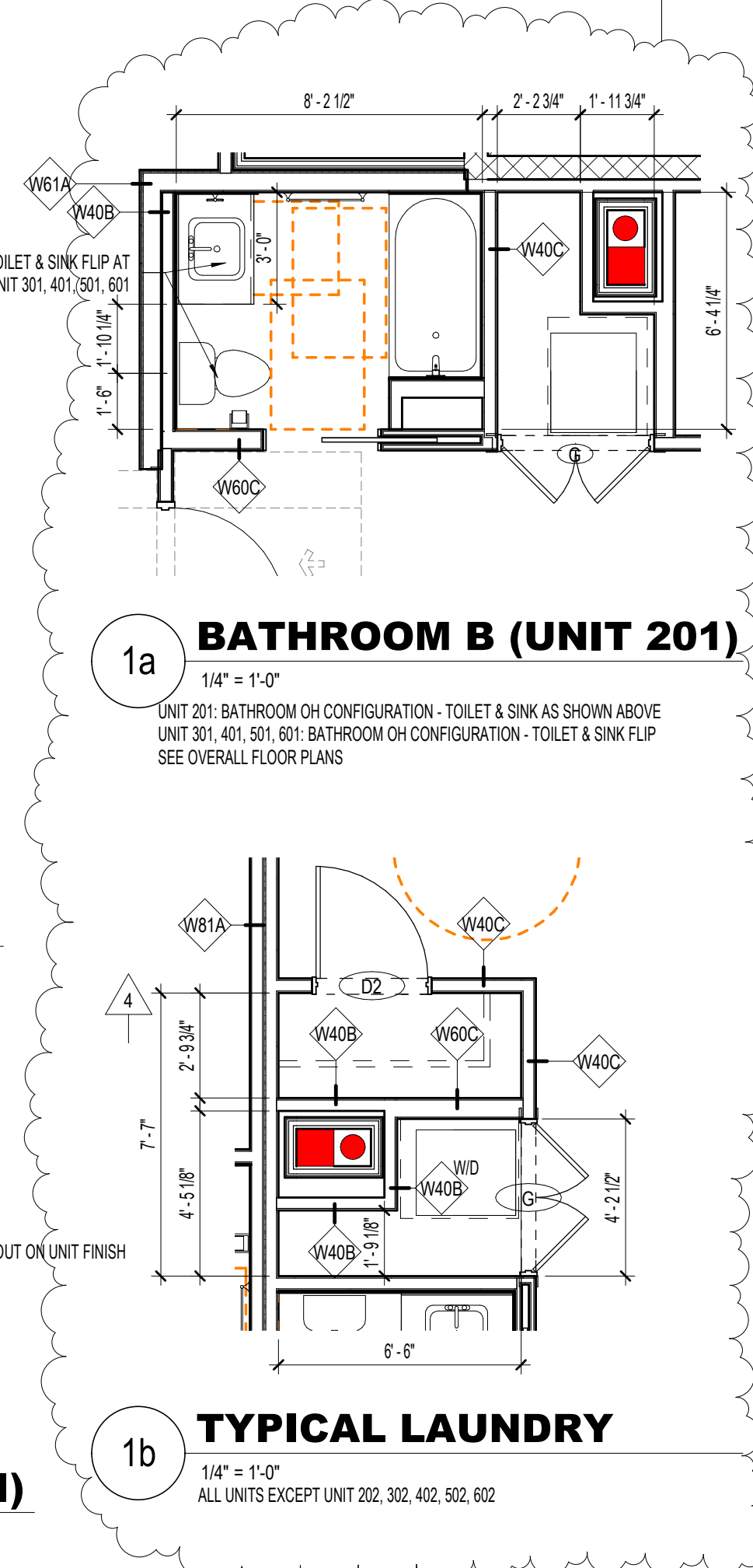
5 STUDIO A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



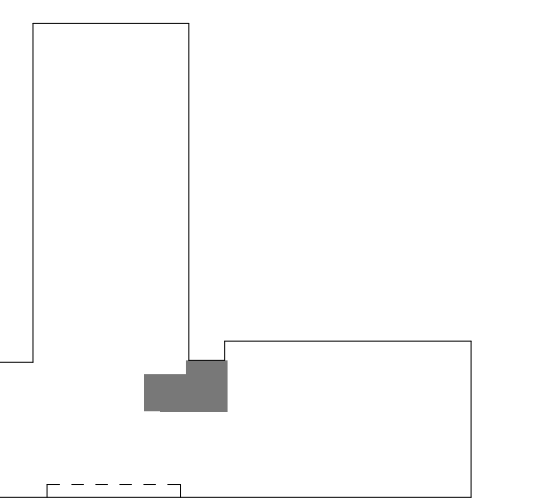
4 STUDIO A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



3 STUDIO A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



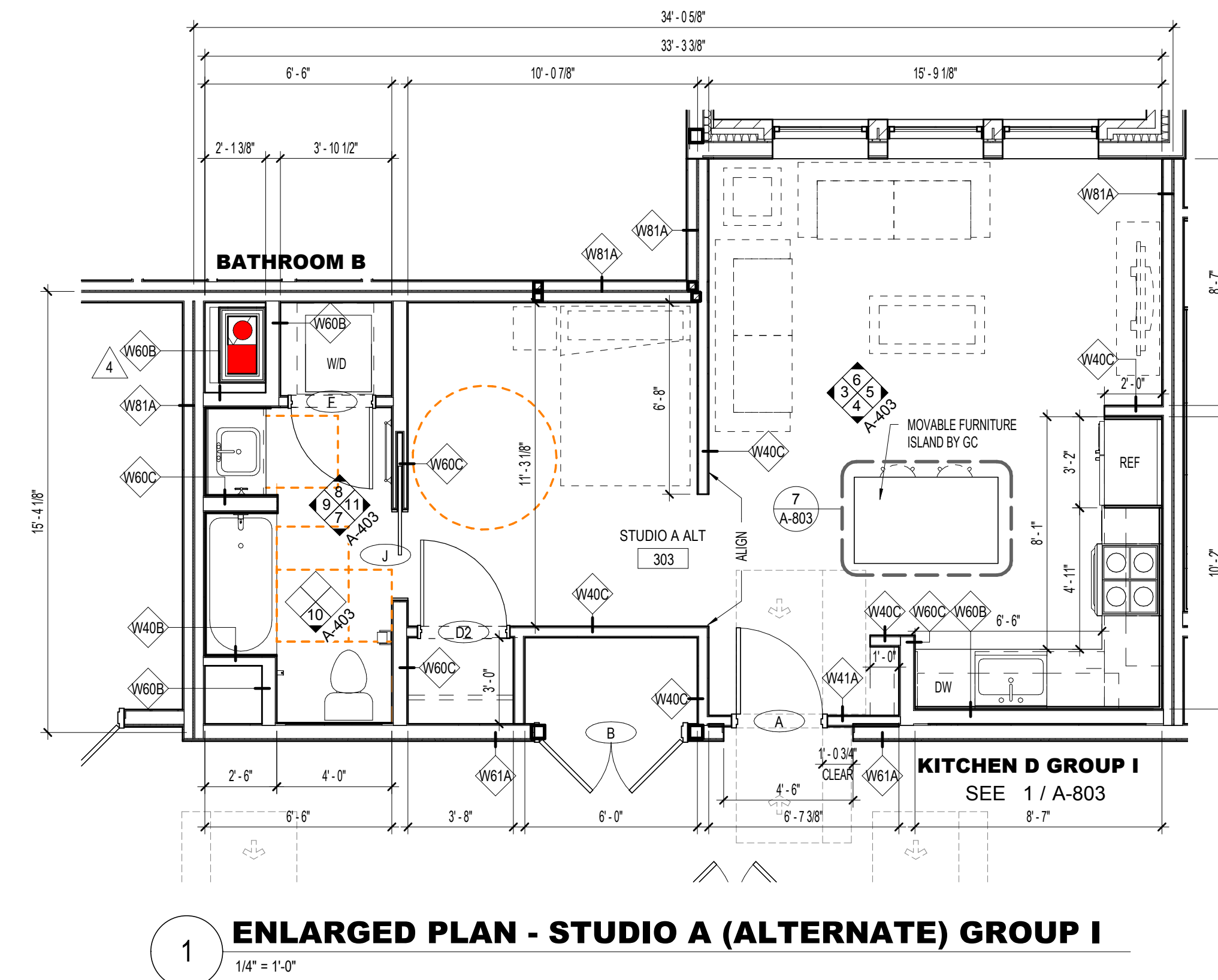
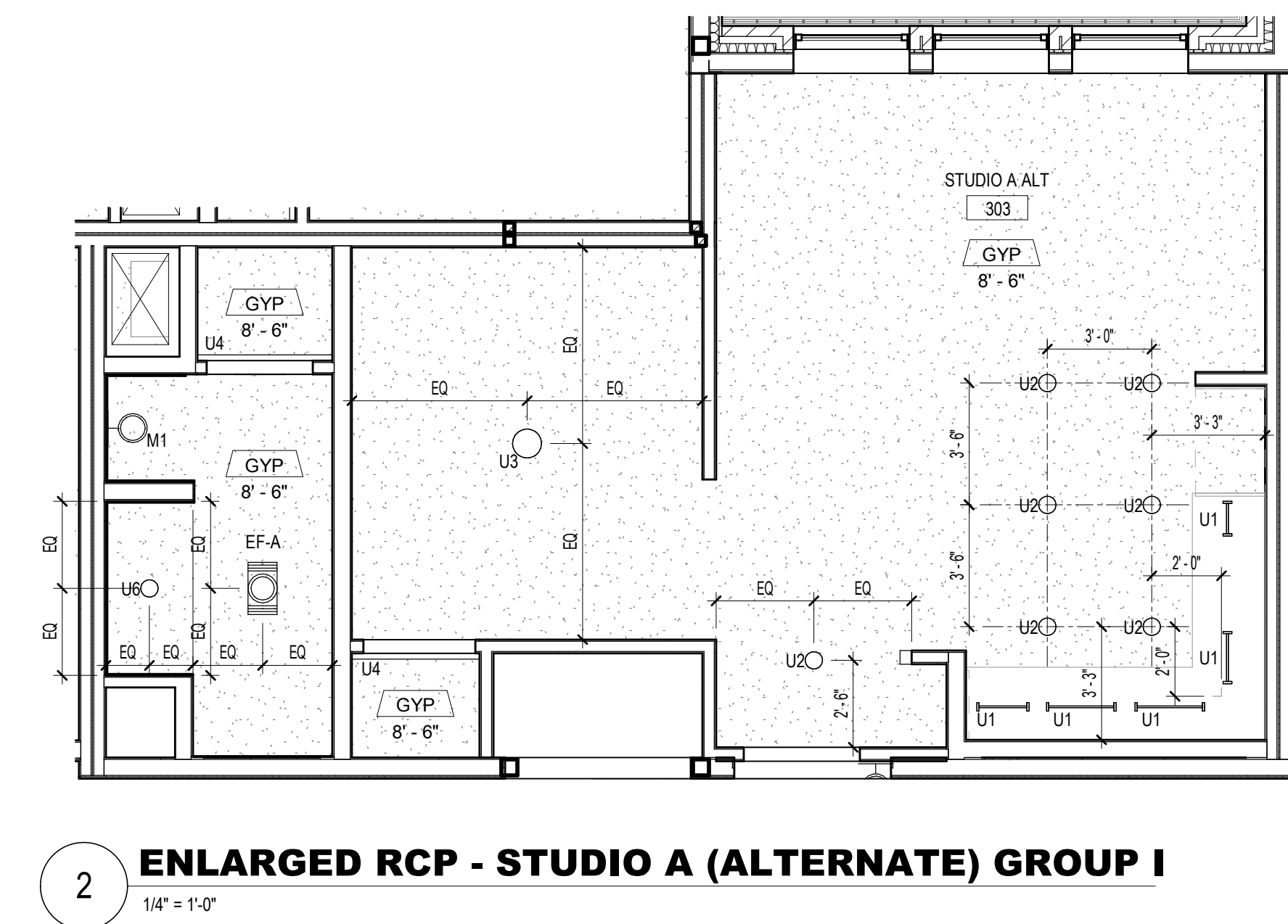
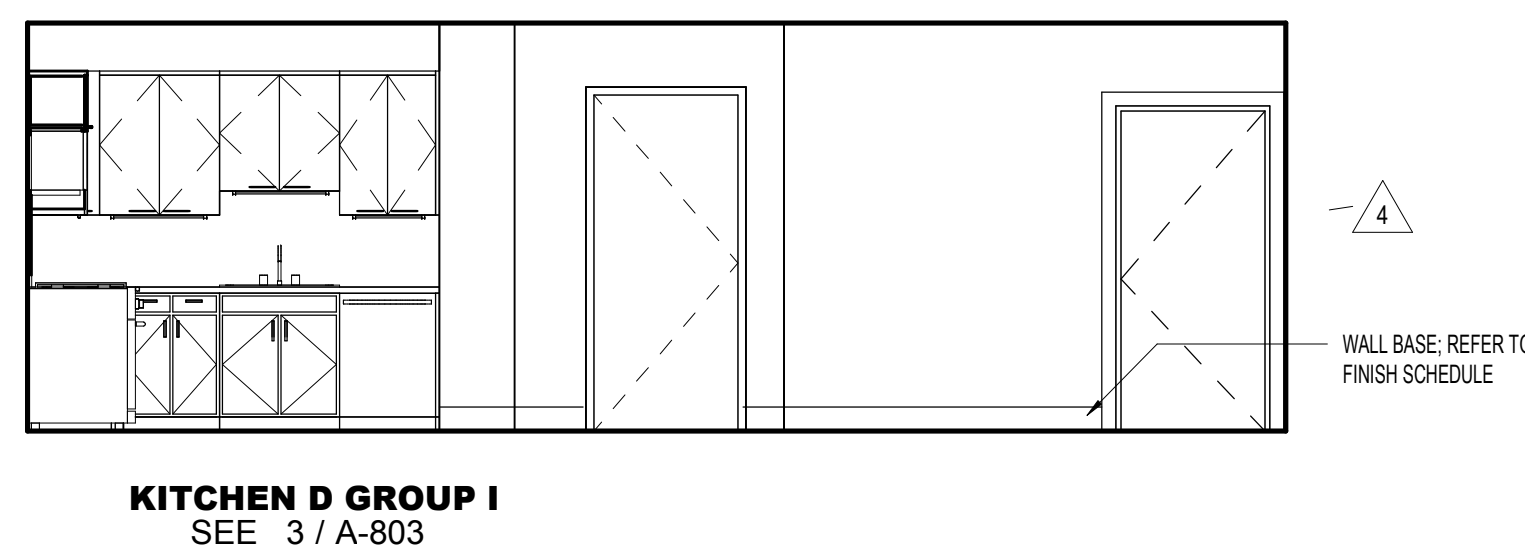
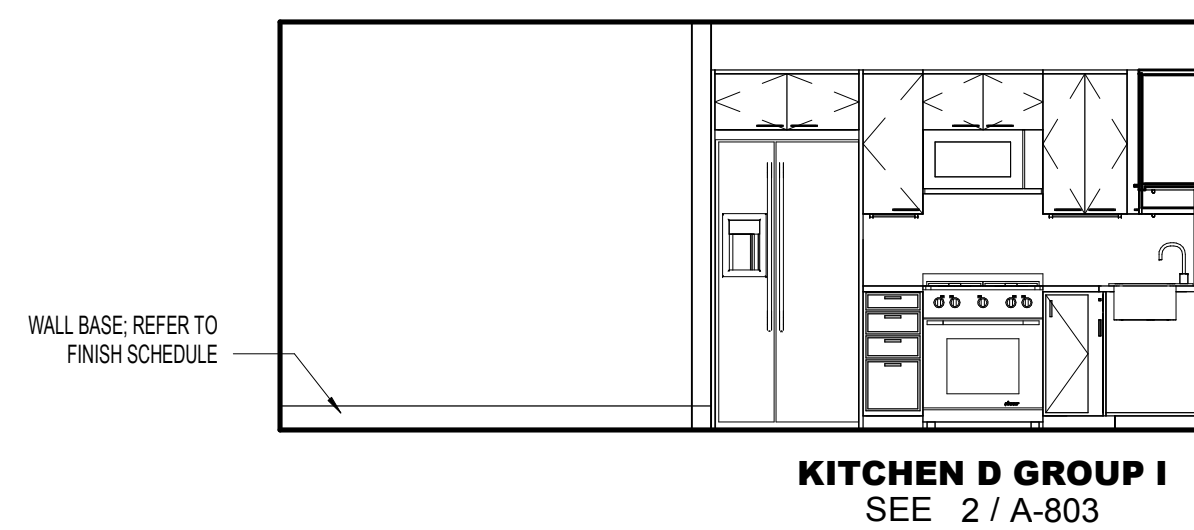
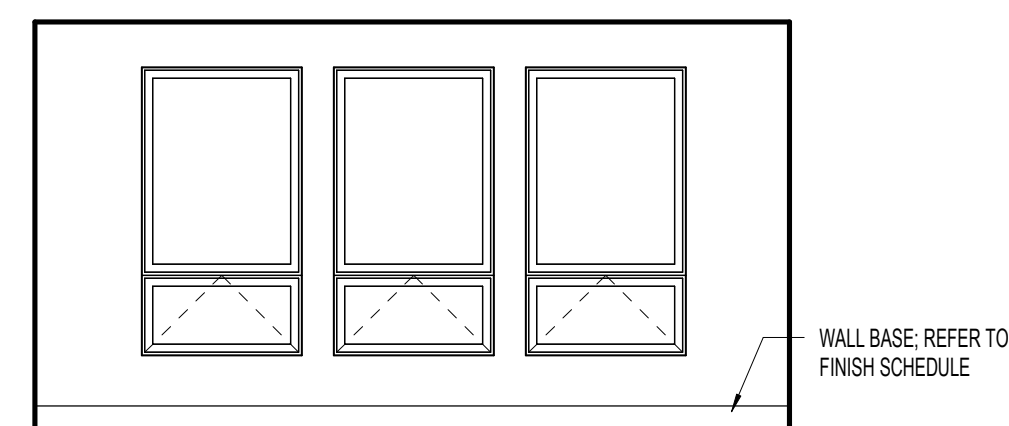
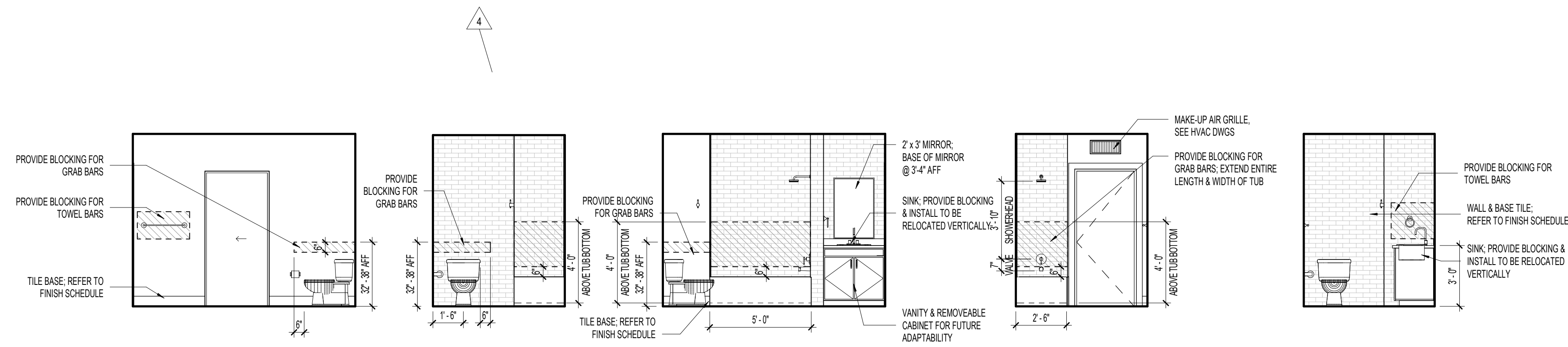
1b TYPICAL LAUNDRY
 1/4" = 1'-0"
 ALL UNITS EXCEPT UNIT 202, 302, 402, 502, 602



KEY PLAN:

29 CHARLES ST. PARCEL
 18 HURLEY ST. PARCEL
 107-119 FIRST ST. PARCEL

SEAL: NORTH



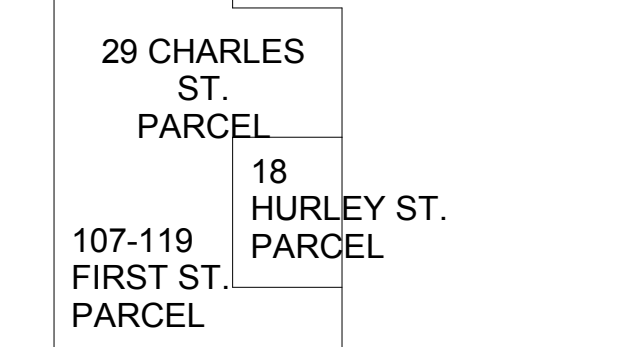
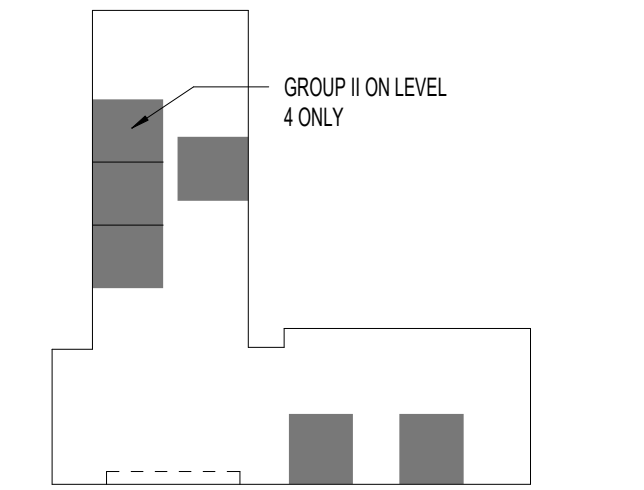
PROJECT INFORMATION:
 107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
 ENLARGED UNIT PLANS - STUDIO A (ALTERNATE)

DRAWING HISTORY:		
NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/01/19	Addendum 4

SHEET #: **A-403**



SEAL: _____ NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

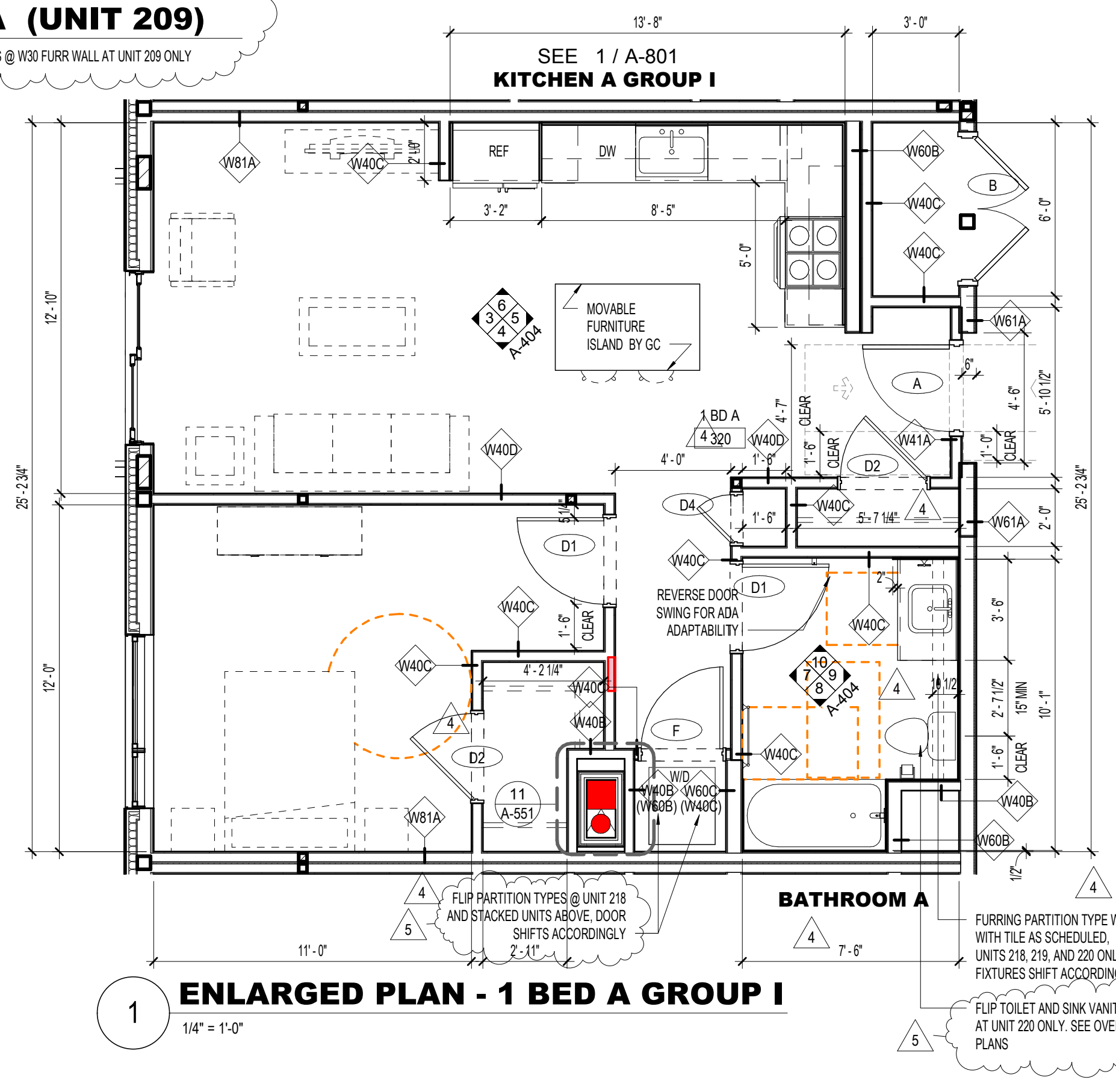
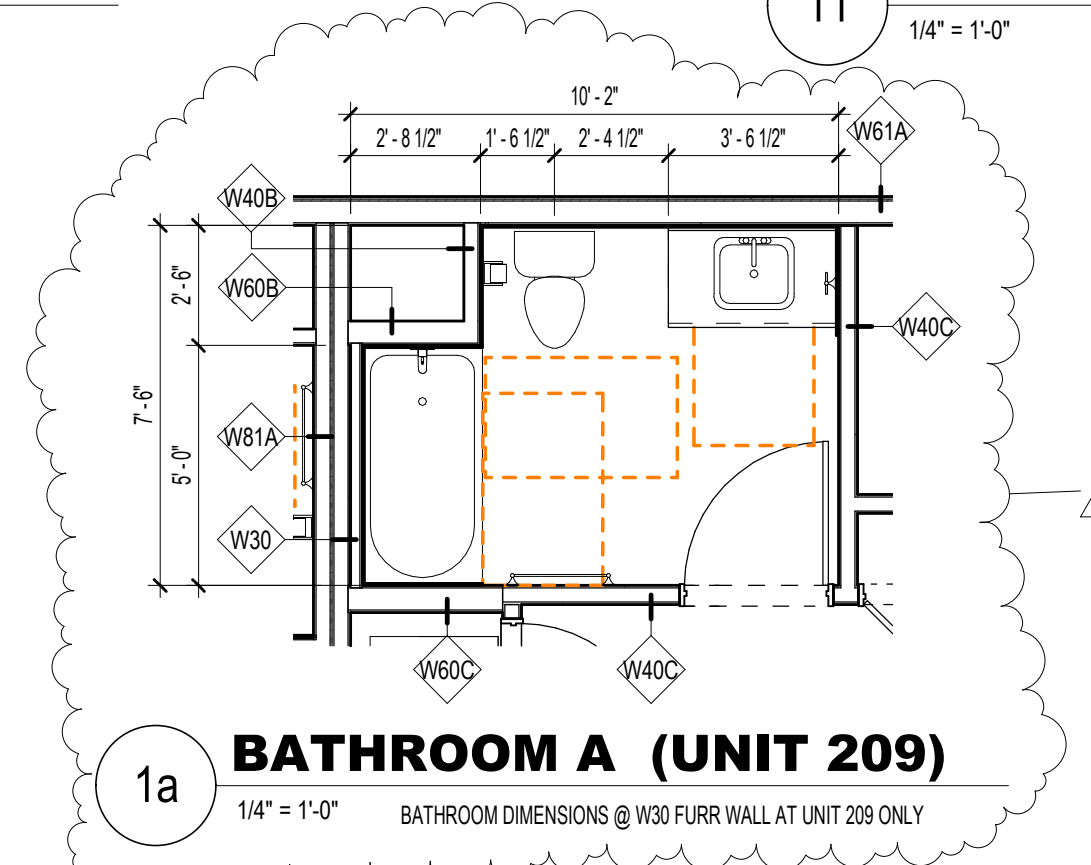
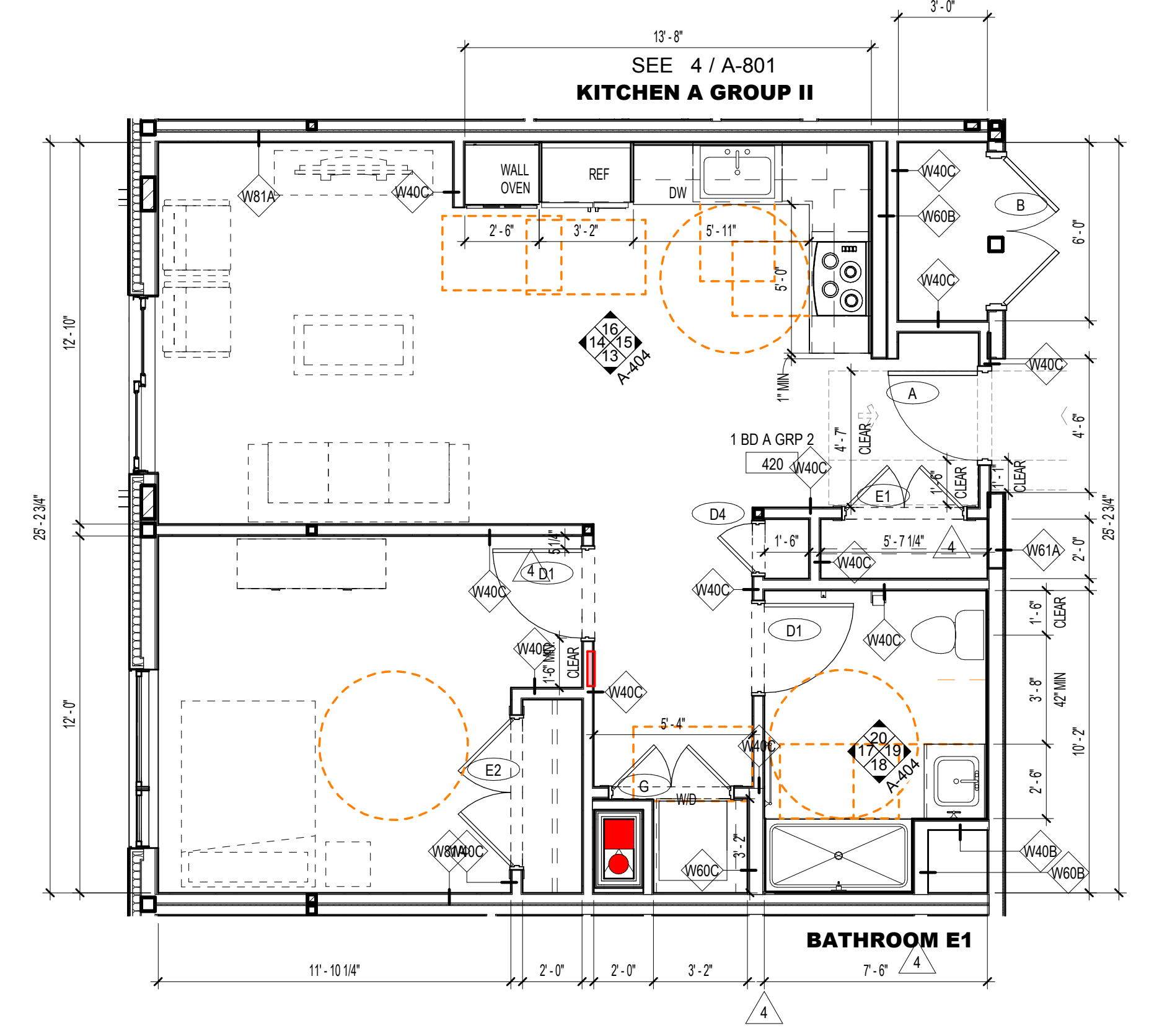
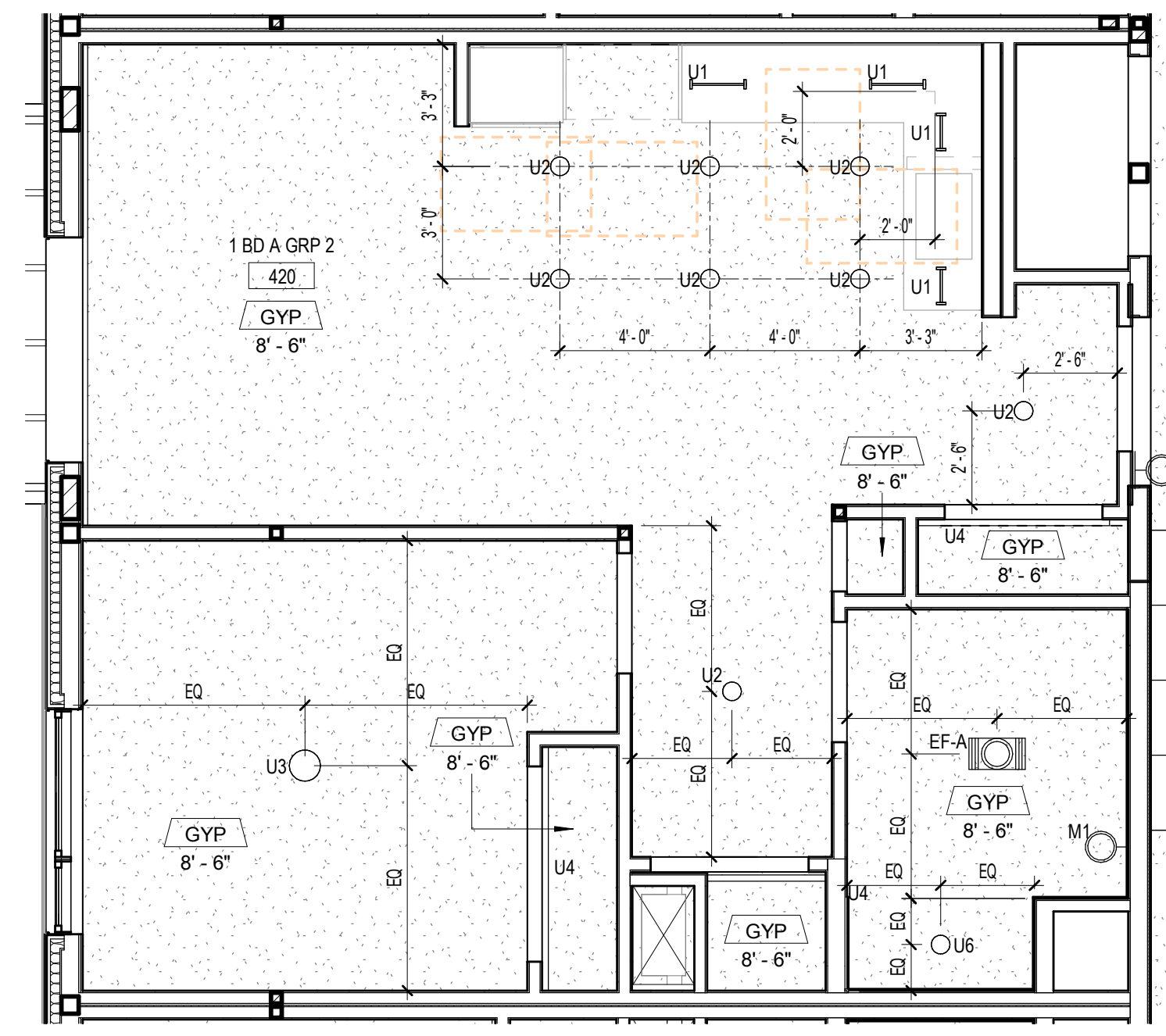
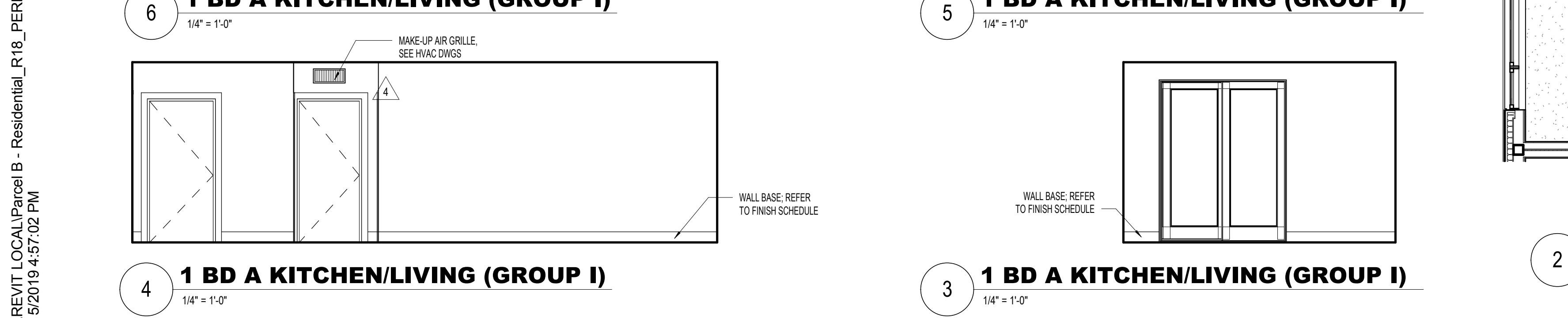
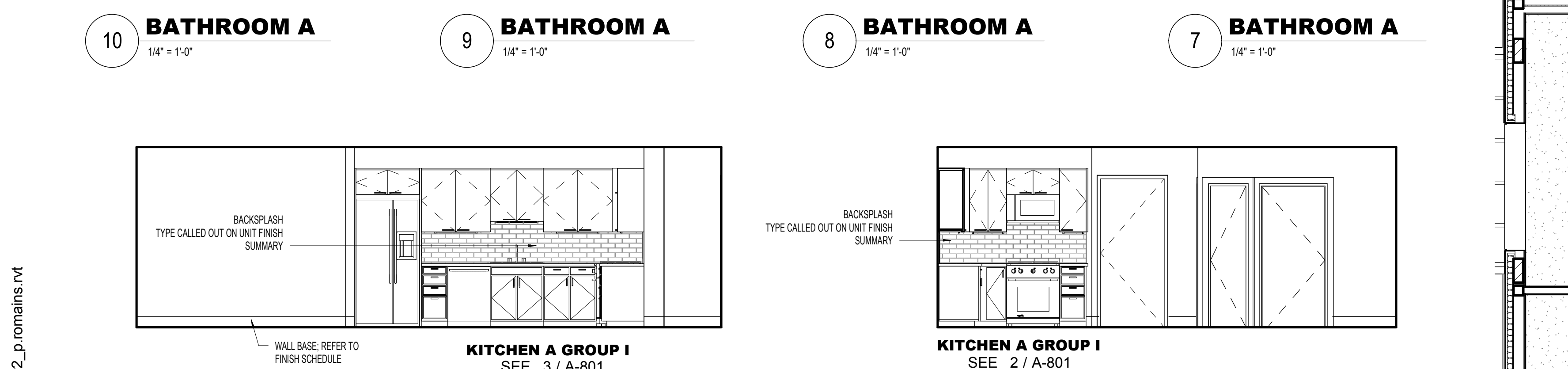
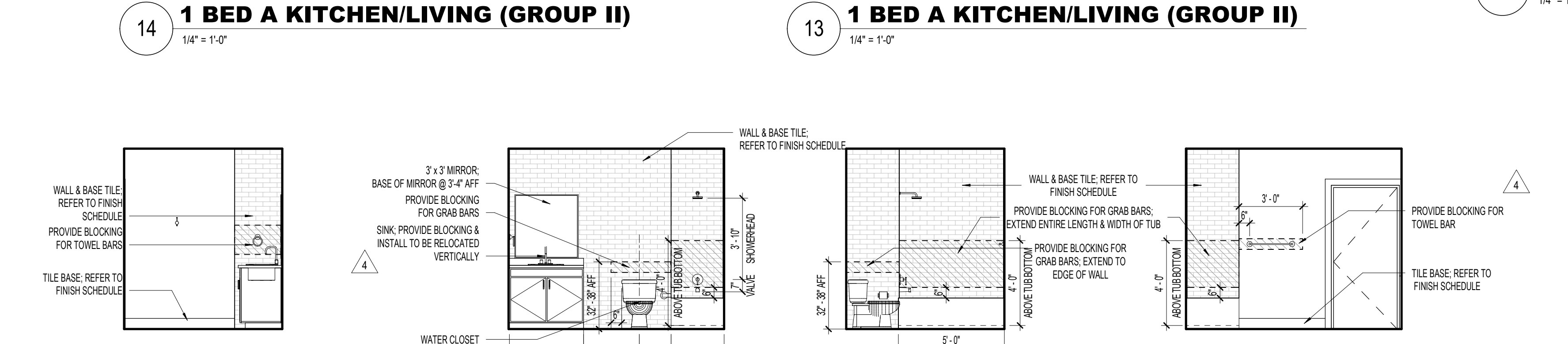
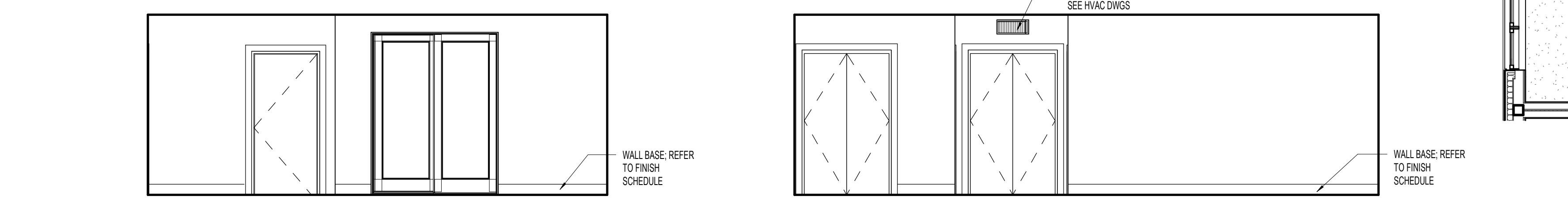
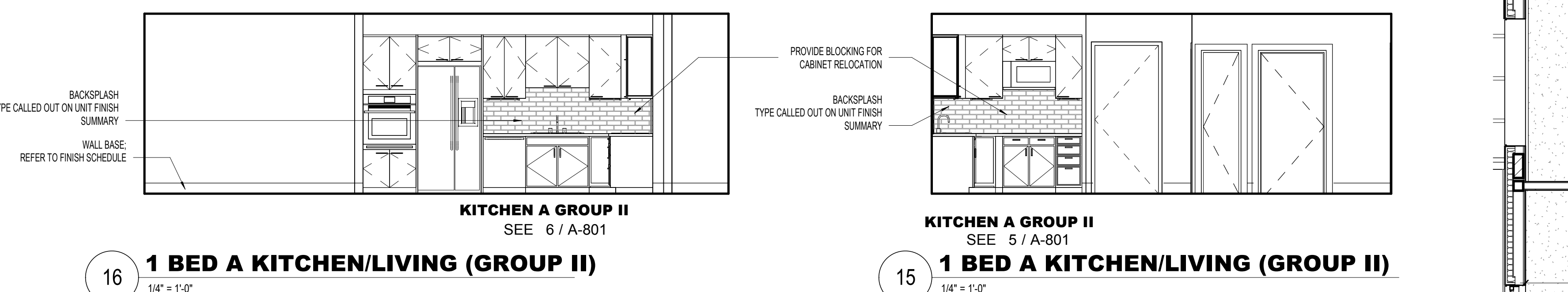
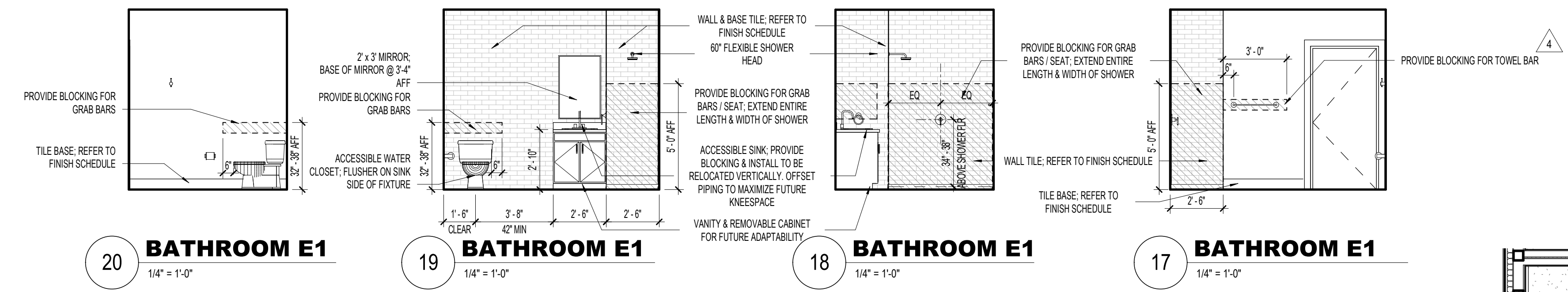
PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 1 BD A

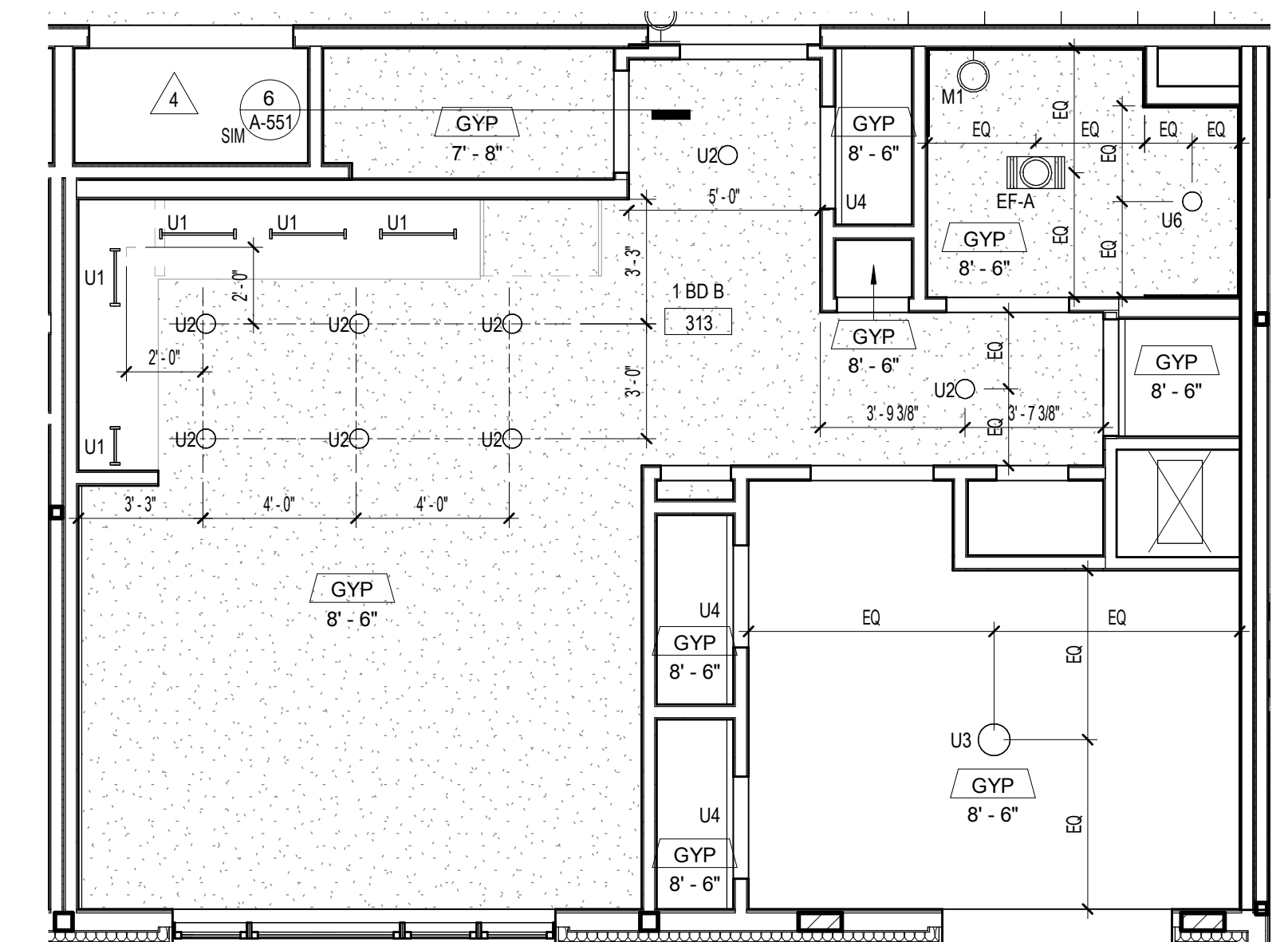
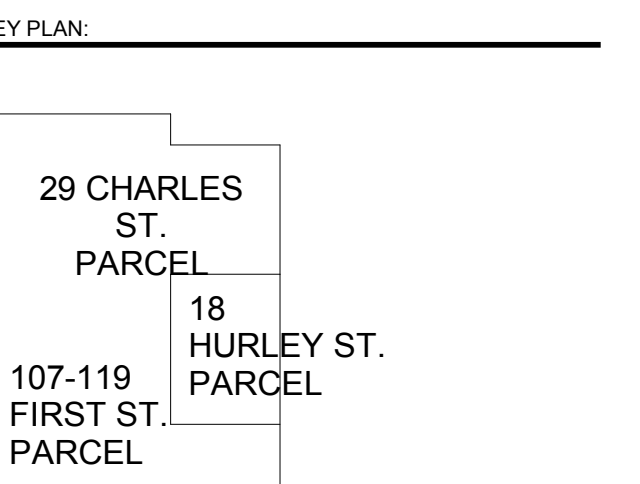
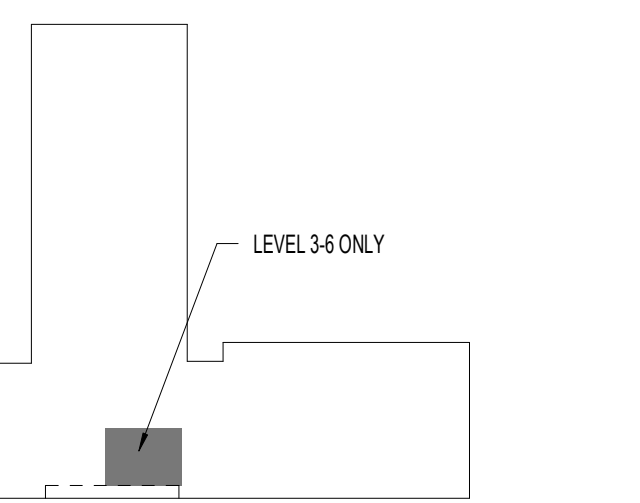
DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/30/19	Addendum 4
5	5/15/19	Addendum 5

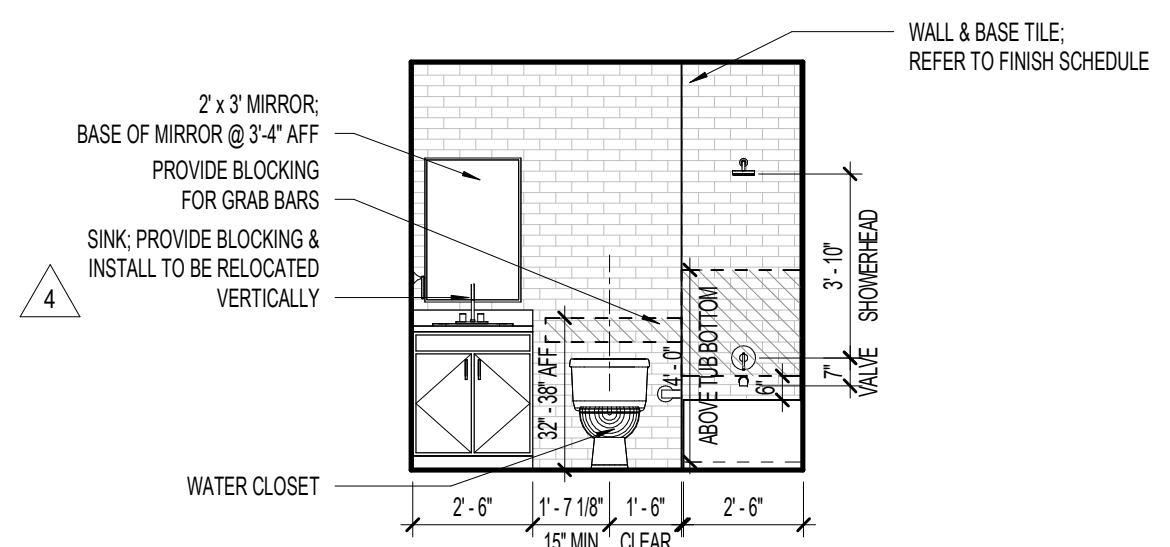
SHEET # **A-404**



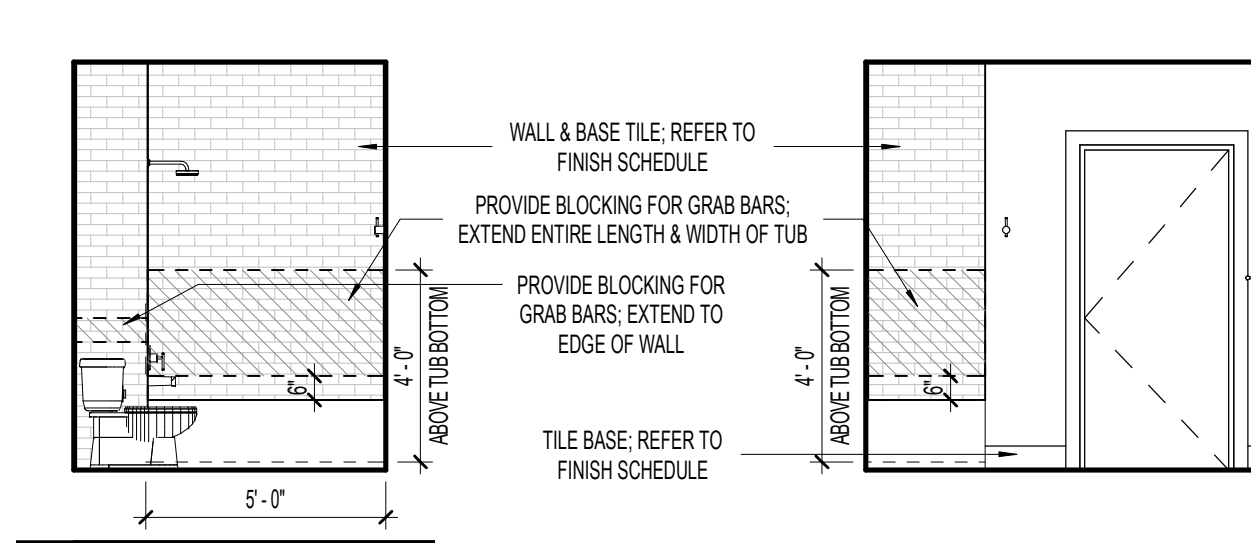
C:\REVIT_LOCAL\Parcel B - Residential_R18_PERMIT_v2_p.domains.rvt
5/15/2019 4:57:02 PM



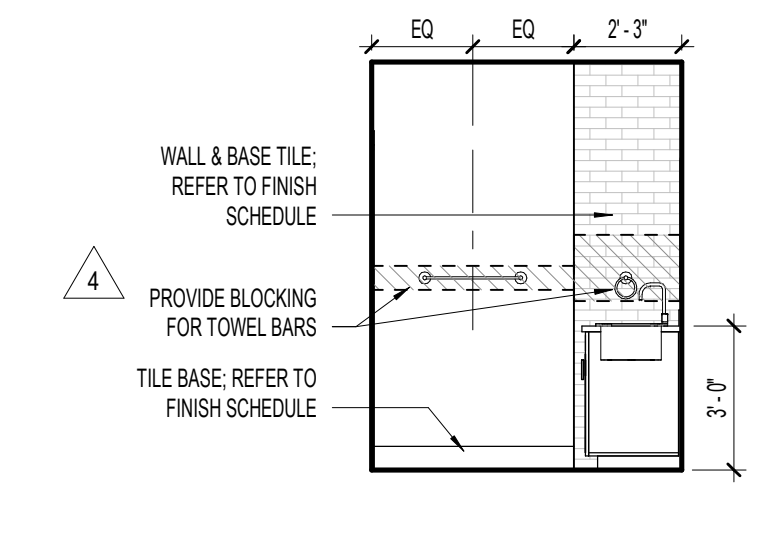
2 ENLARGED RCP - 1 BED B GROUP I
 1/4" = 1'-0"



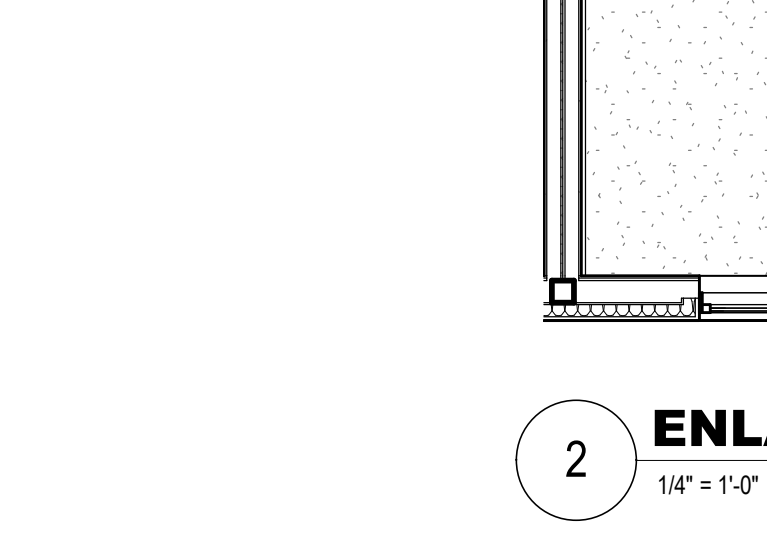
10 BATHROOM A
 1/4" = 1'-0"



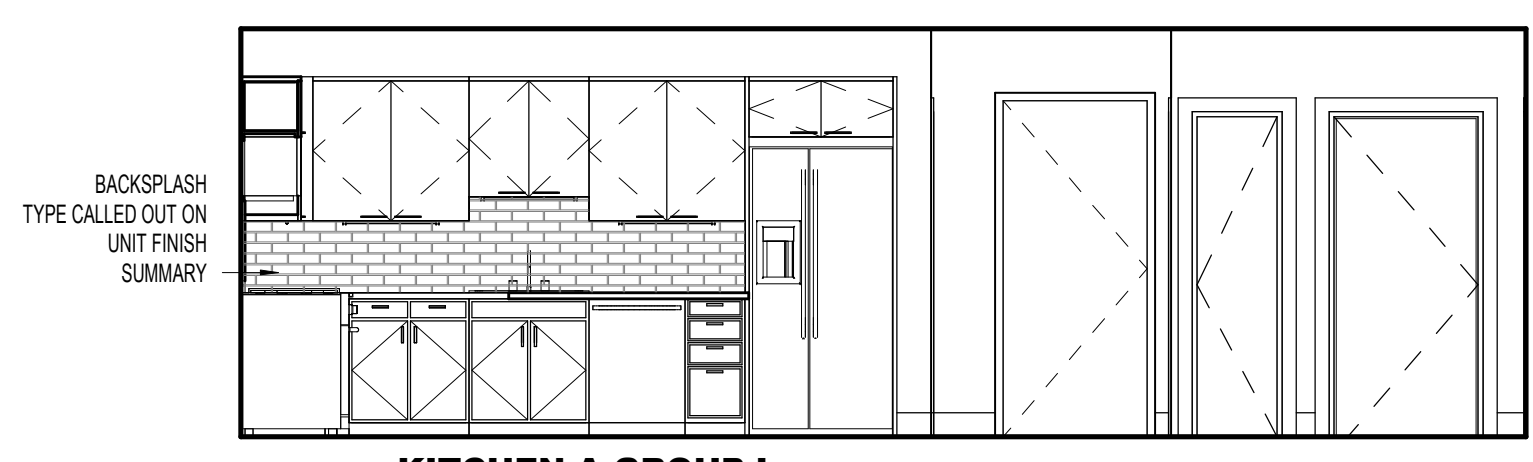
9 BATHROOM A
 1/4" = 1'-0"



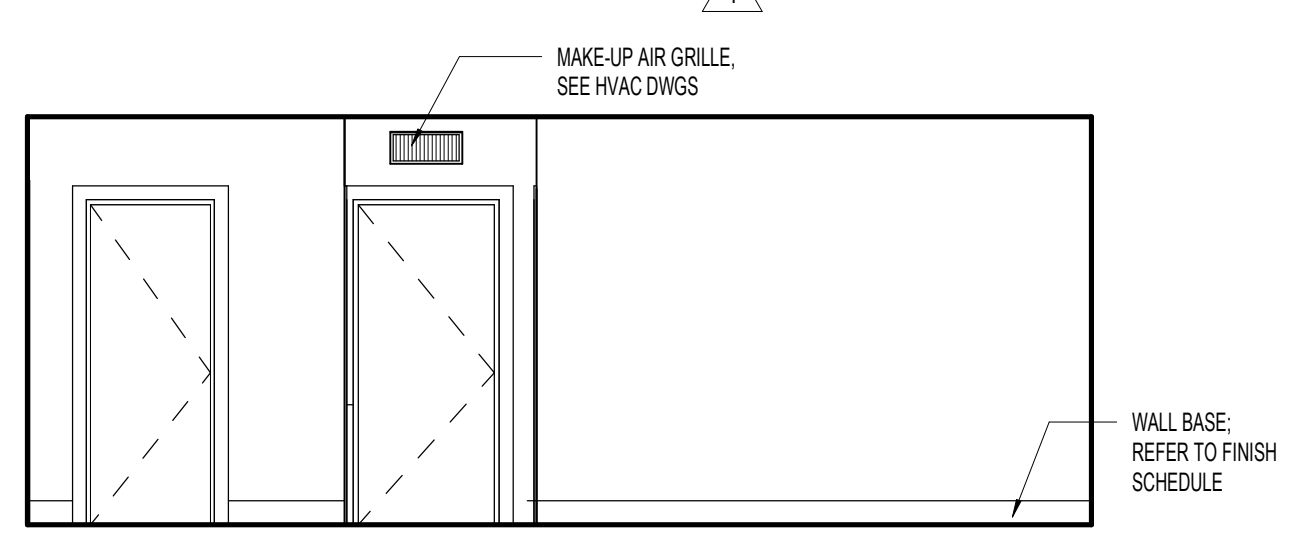
8 BATHROOM A
 1/4" = 1'-0"



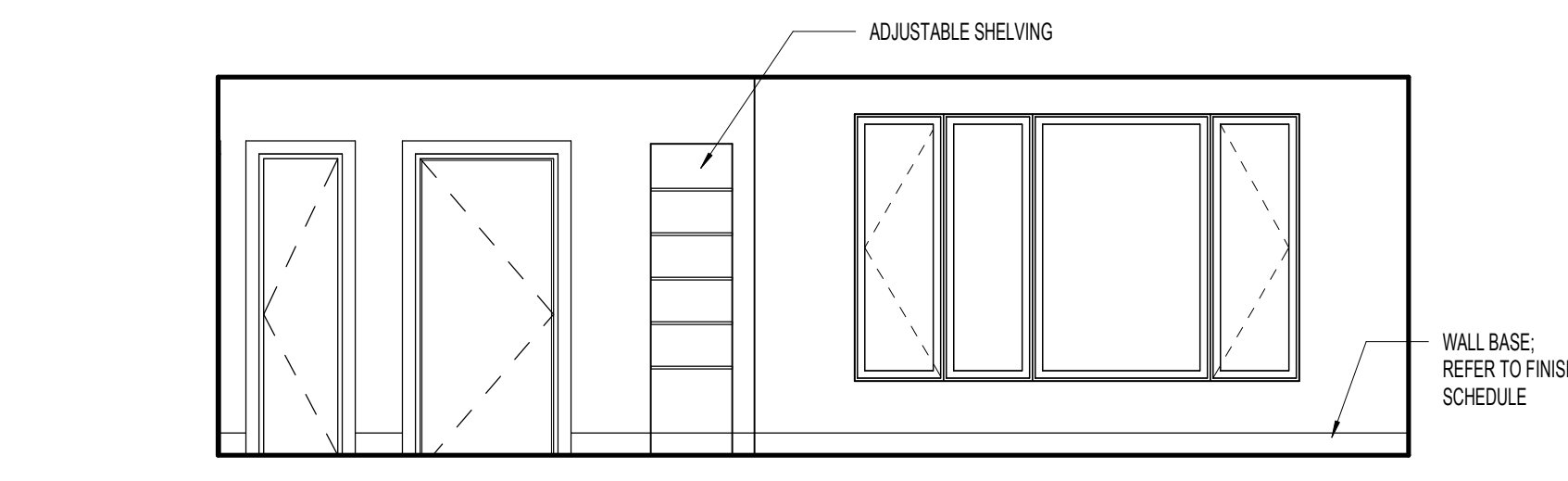
7 BATHROOM A
 1/4" = 1'-0"



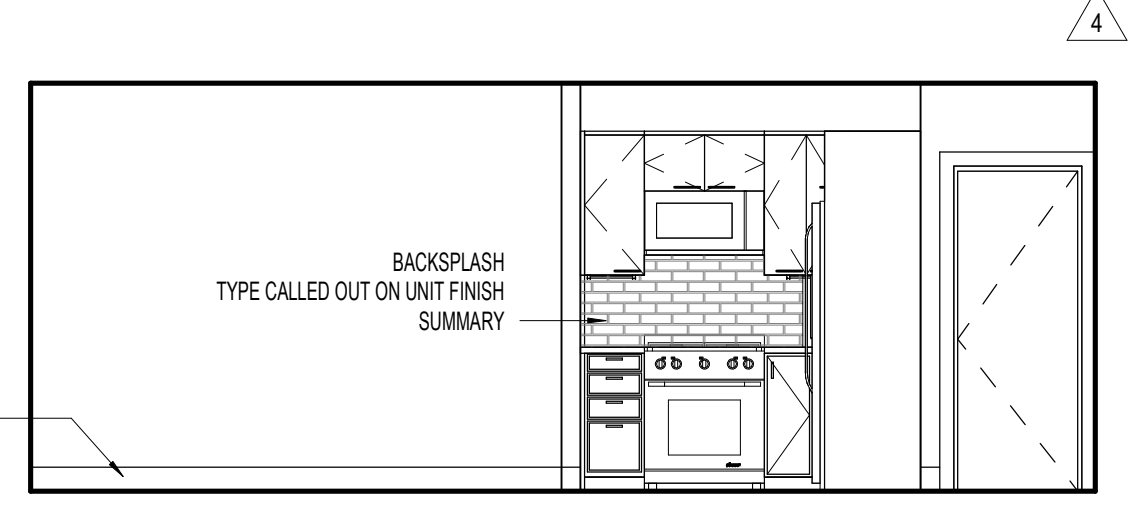
6 1 BED B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



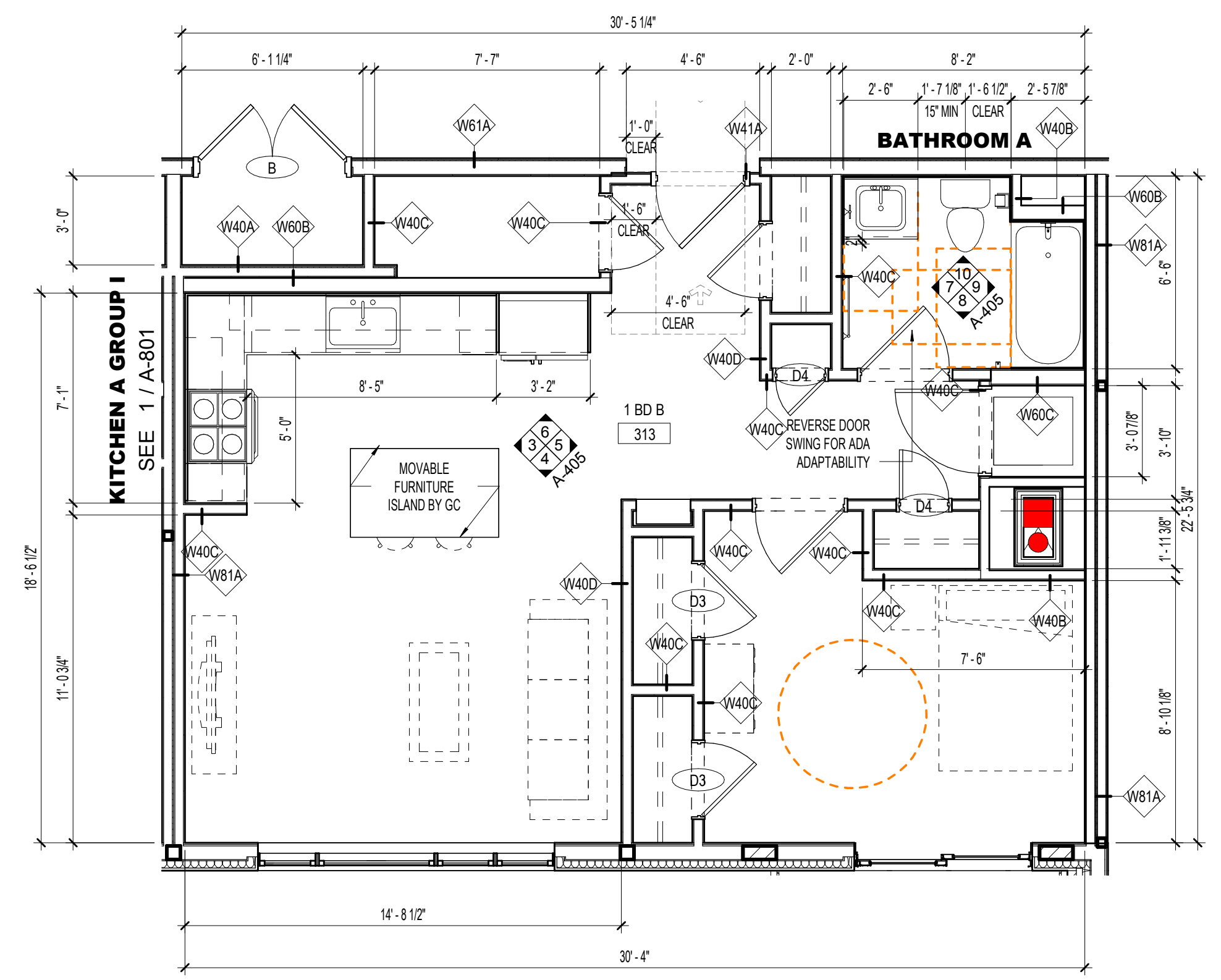
5 1 BED B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



4 1 BED B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



3 1 BED B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



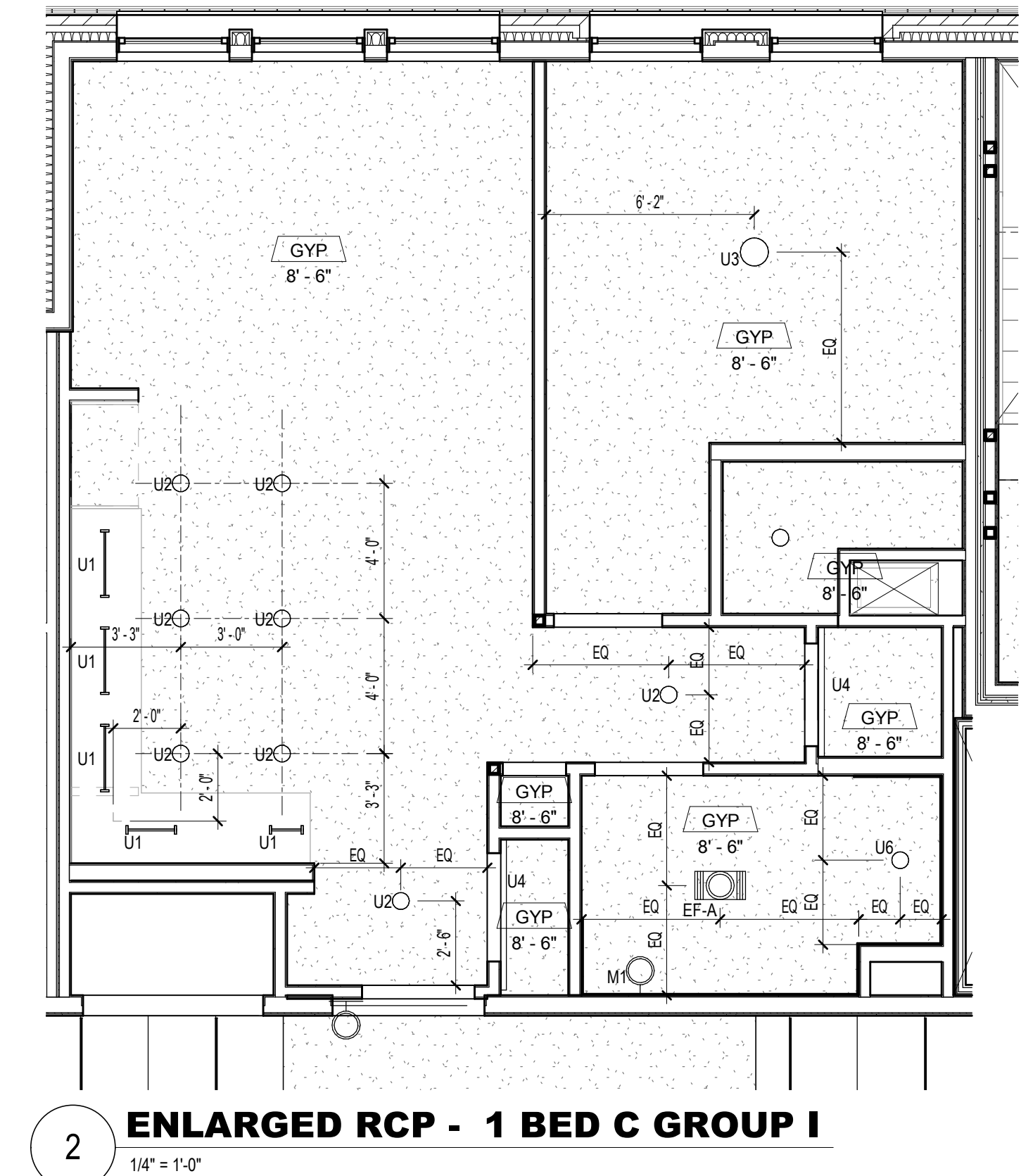
1 ENLARGED PLAN - 1 BED B GROUP I
 1/4" = 1'-0"

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

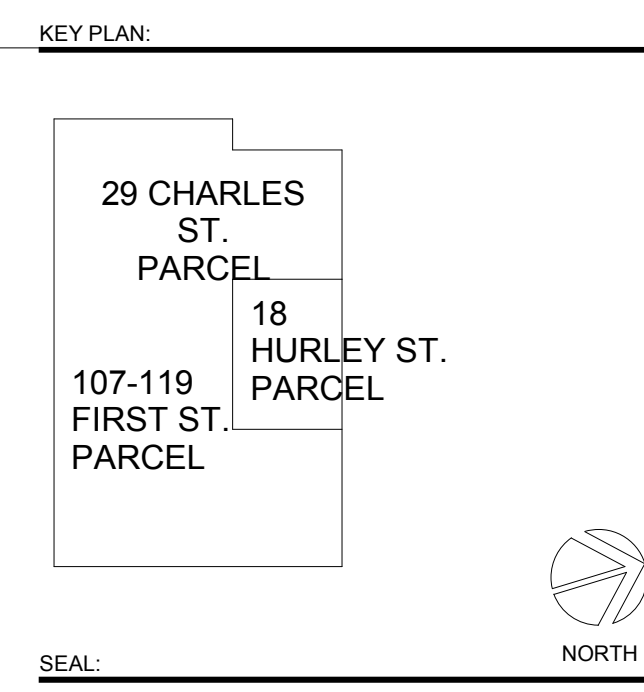
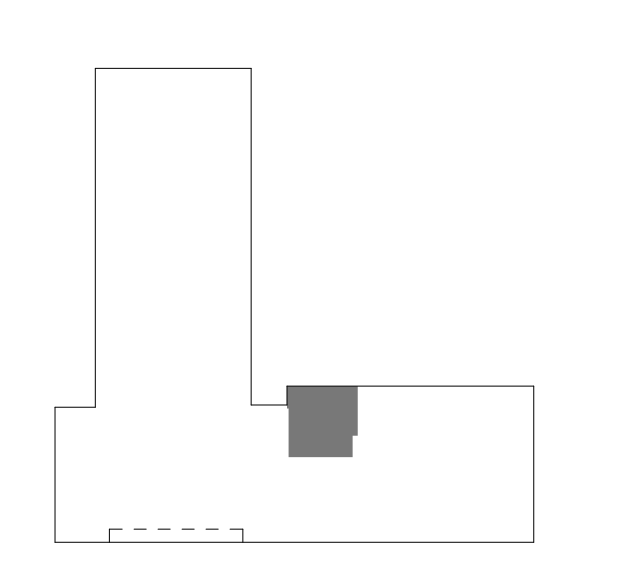
PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 1 BD B

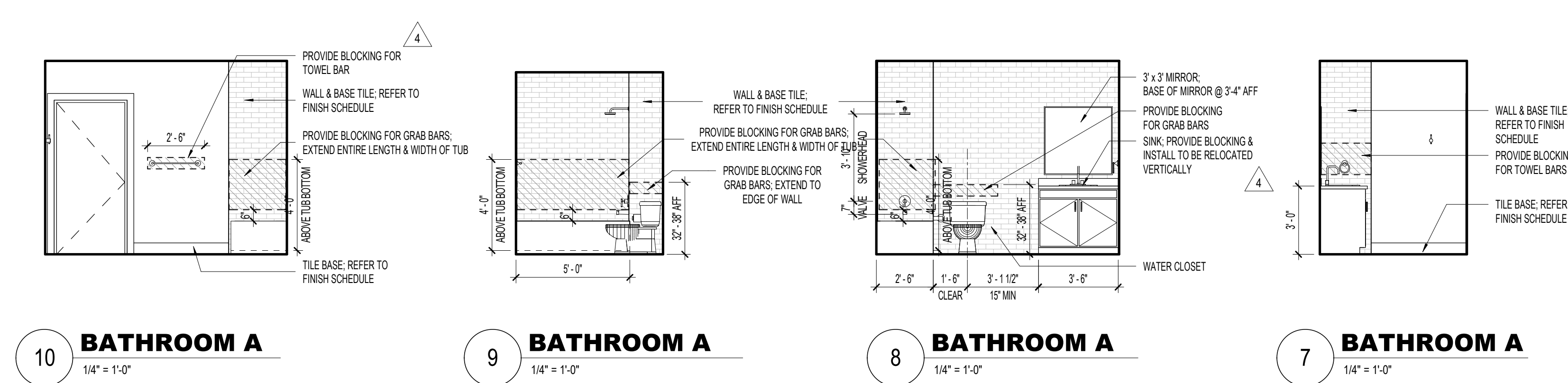
NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/01/19	Addendum 4



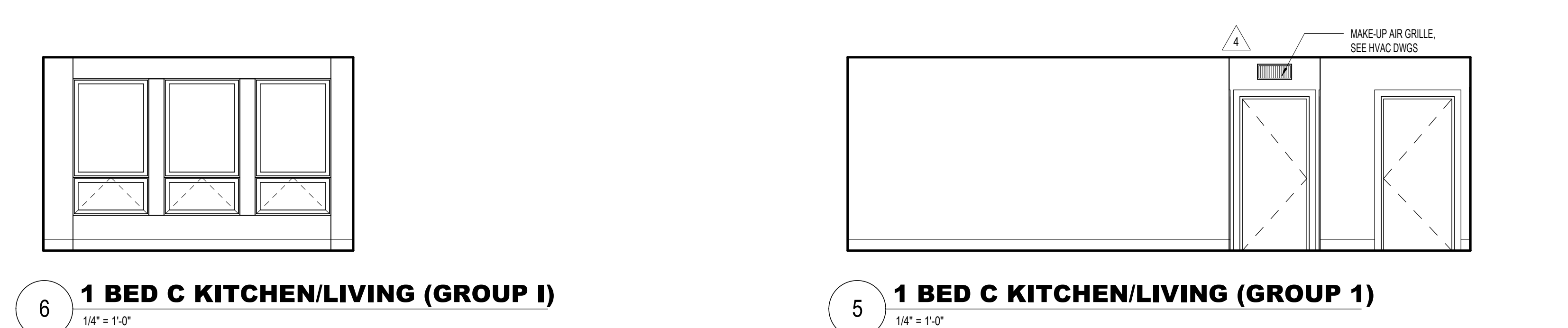
2 ENLARGED RCP - 1 BED C GROUP I
 1/4" = 1'-0"



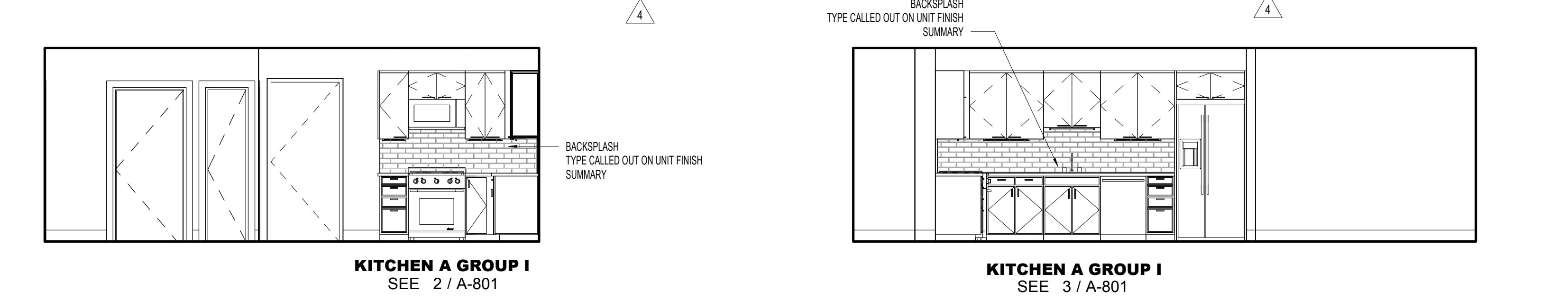
SEAL: NORTH



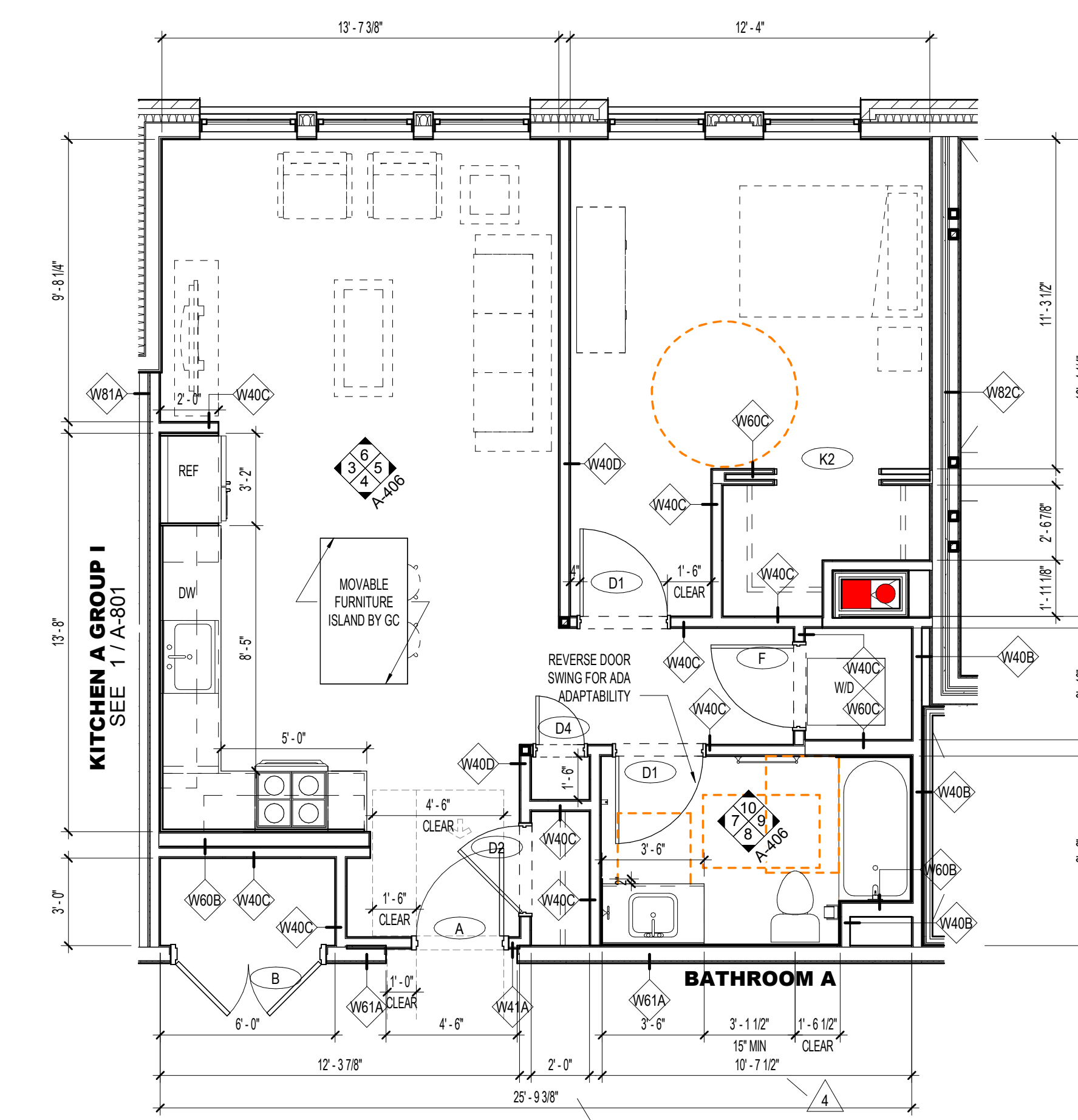
10 BATHROOM A 1/4" = 1'-0"
9 BATHROOM A 1/4" = 1'-0"
8 BATHROOM A 1/4" = 1'-0"
7 BATHROOM A 1/4" = 1'-0"



6 1 BED C KITCHEN/LIVING (GROUP I) 1/4" = 1'-0"
5 1 BED C KITCHEN/LIVING (GROUP I) 1/4" = 1'-0"



4 1 BED C KITCHEN/LIVING (GROUP I) 1/4" = 1'-0"
3 1 BED C KITCHEN/LIVING (GROUP I) 1/4" = 1'-0"



1 ENLARGED PLAN - 1 BED C GROUP I
 1/4" = 1'-0"

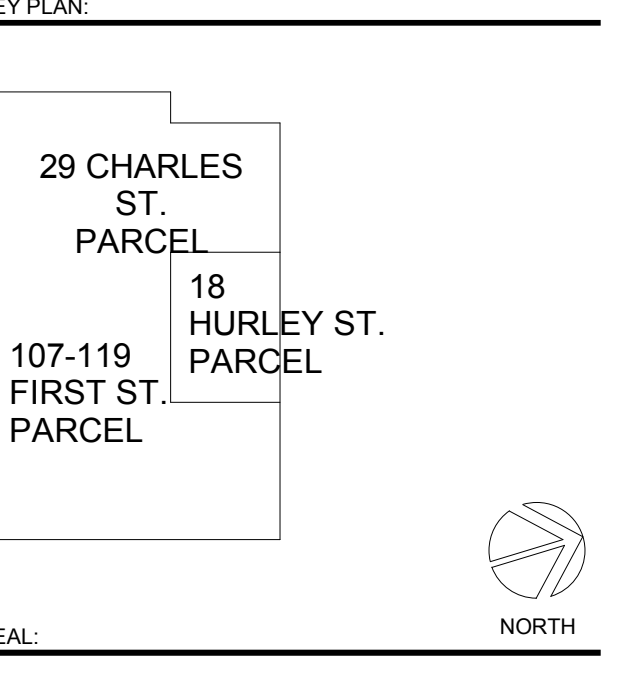
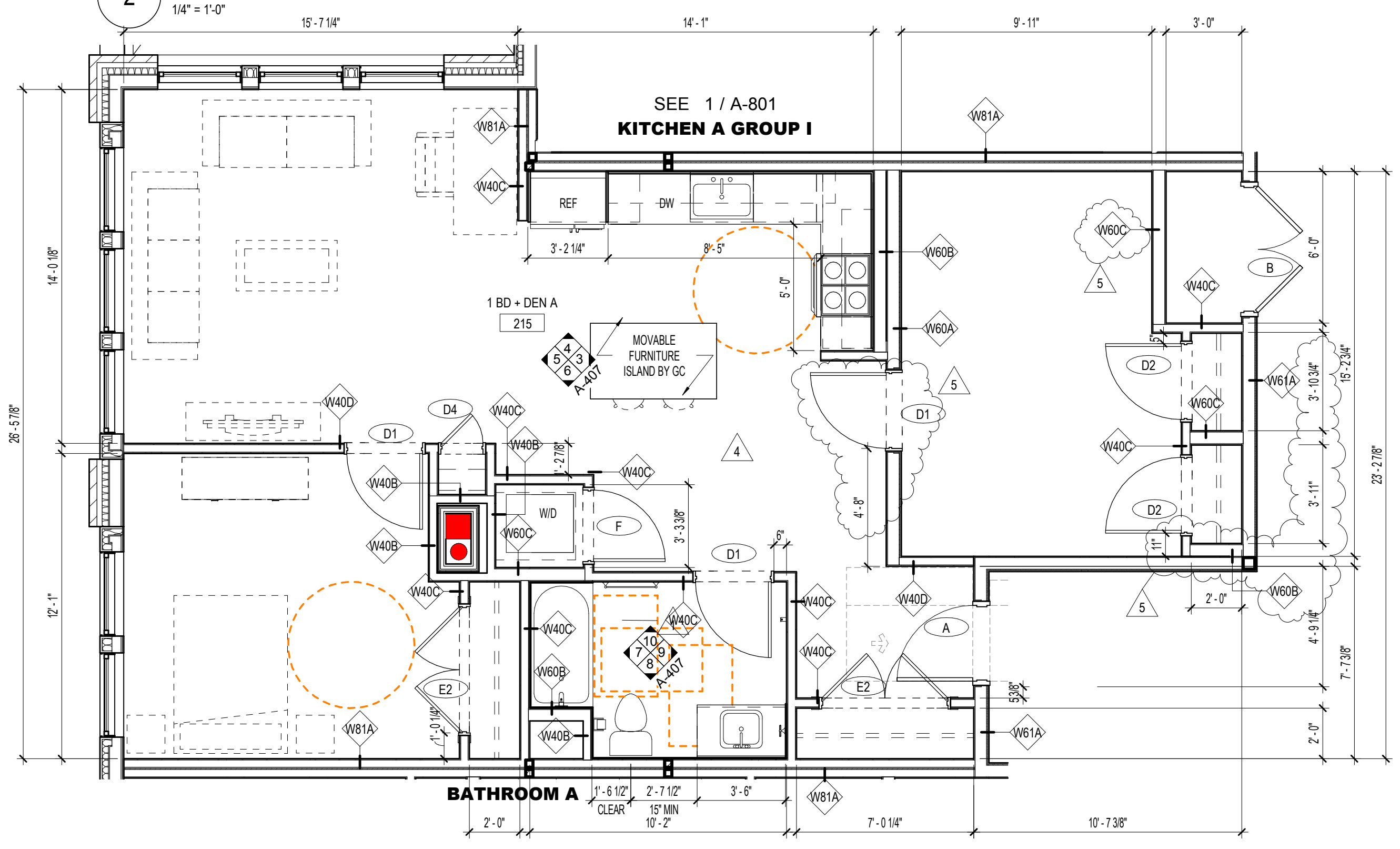
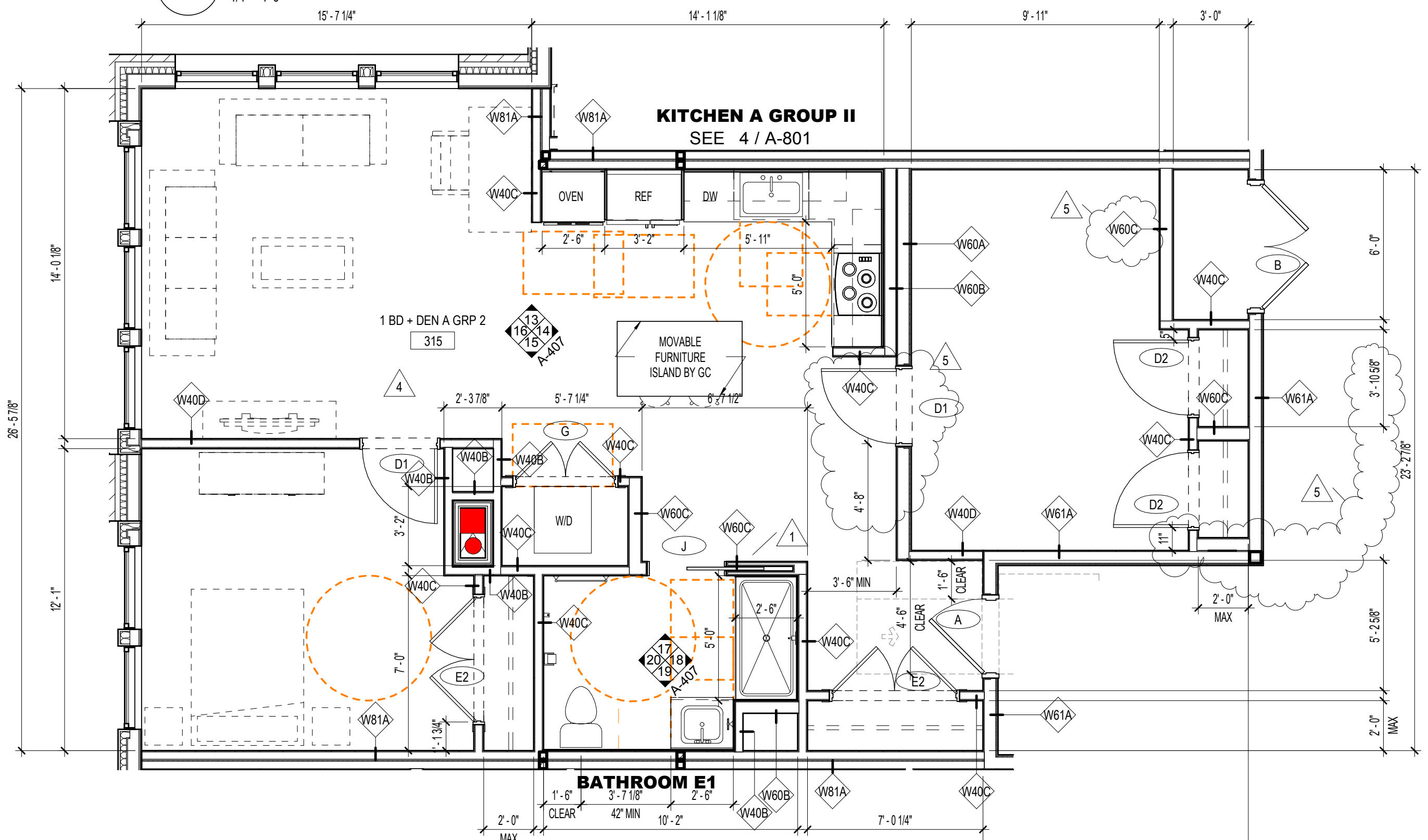
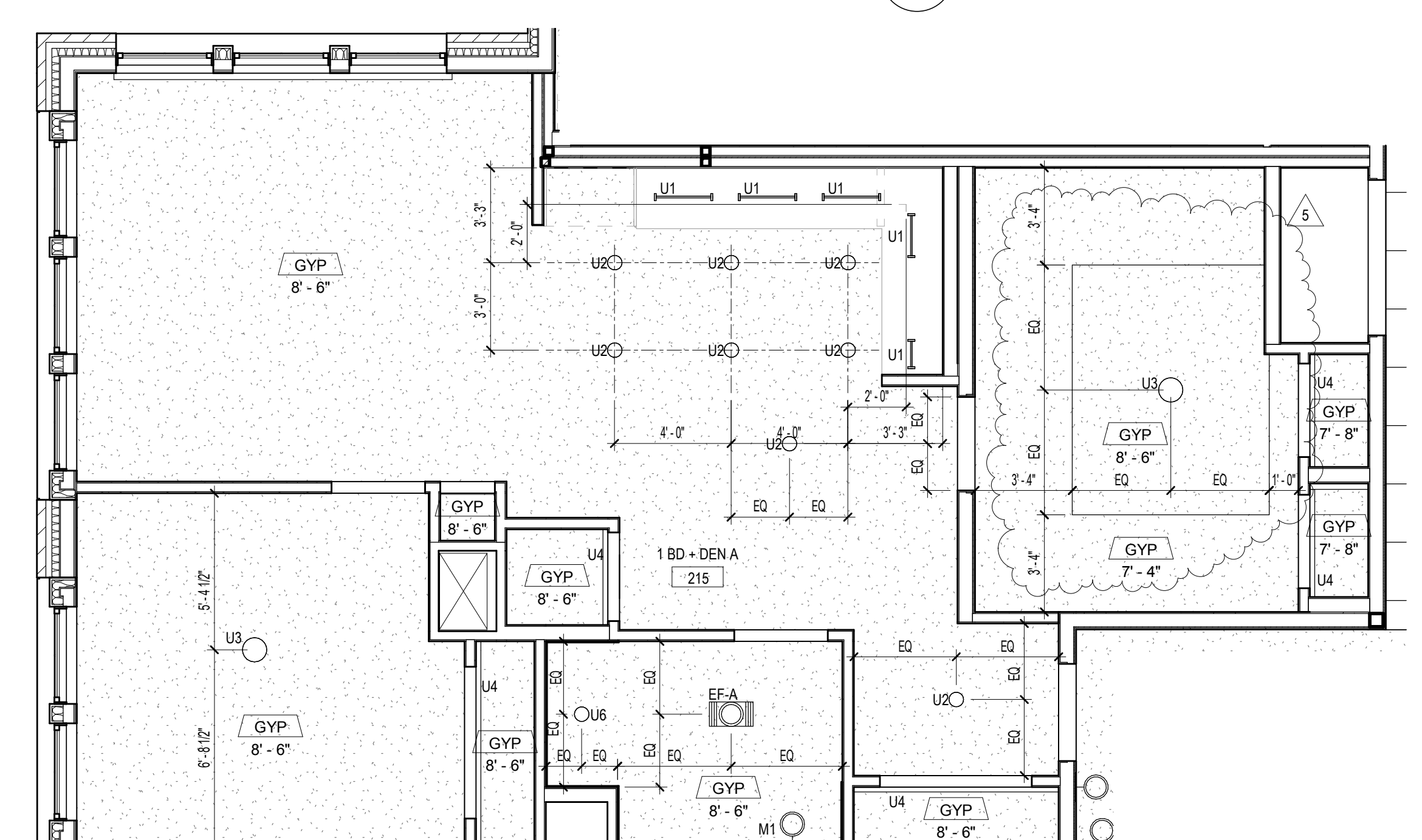
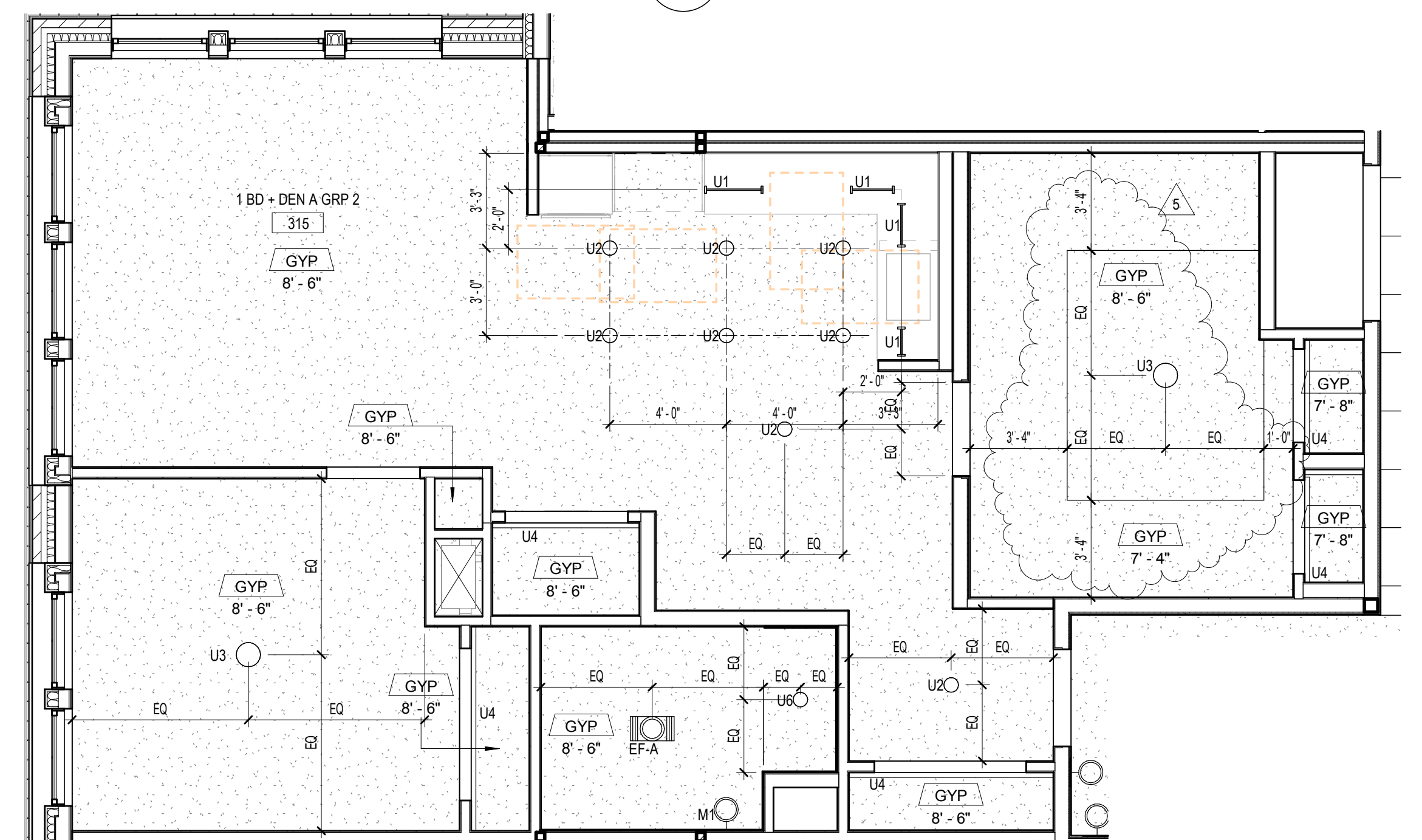
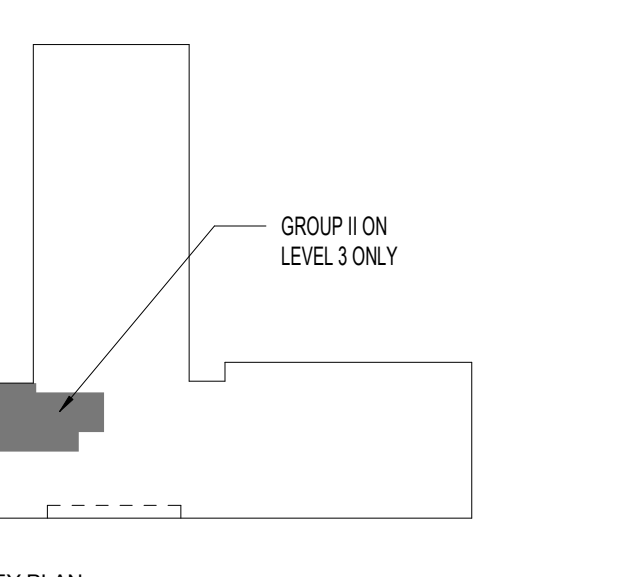
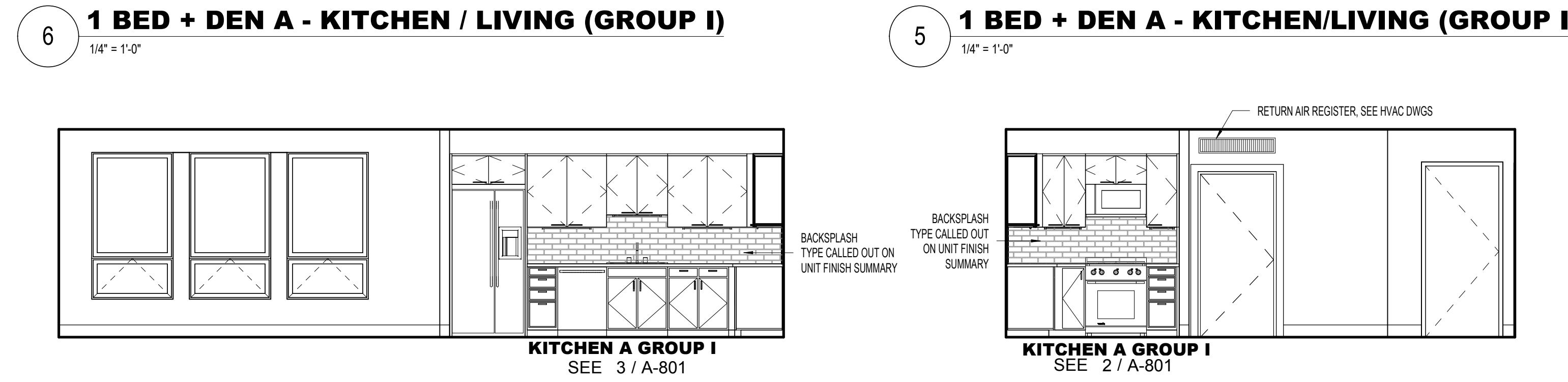
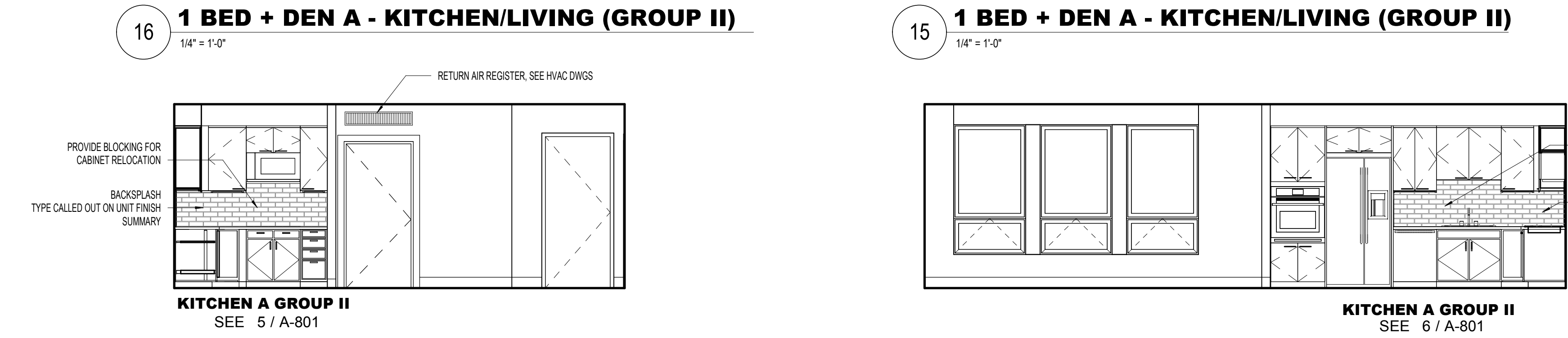
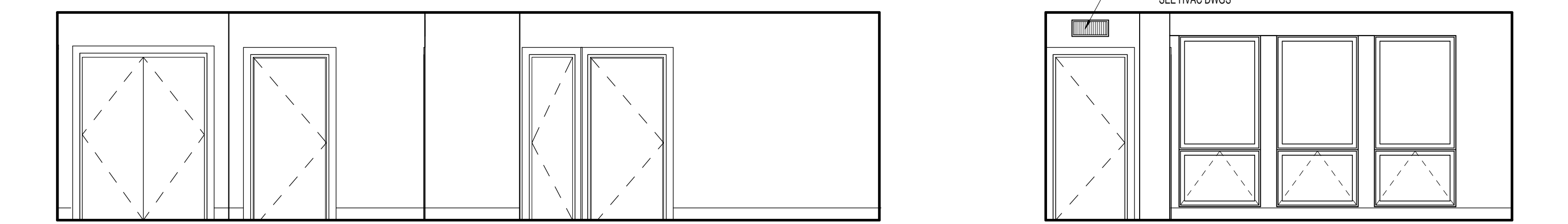
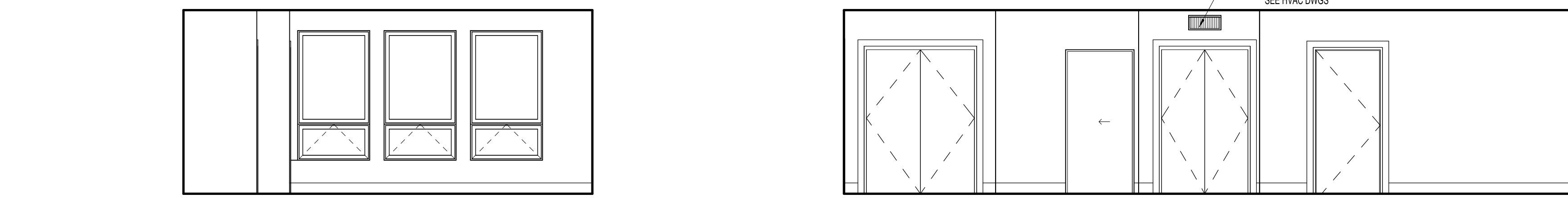
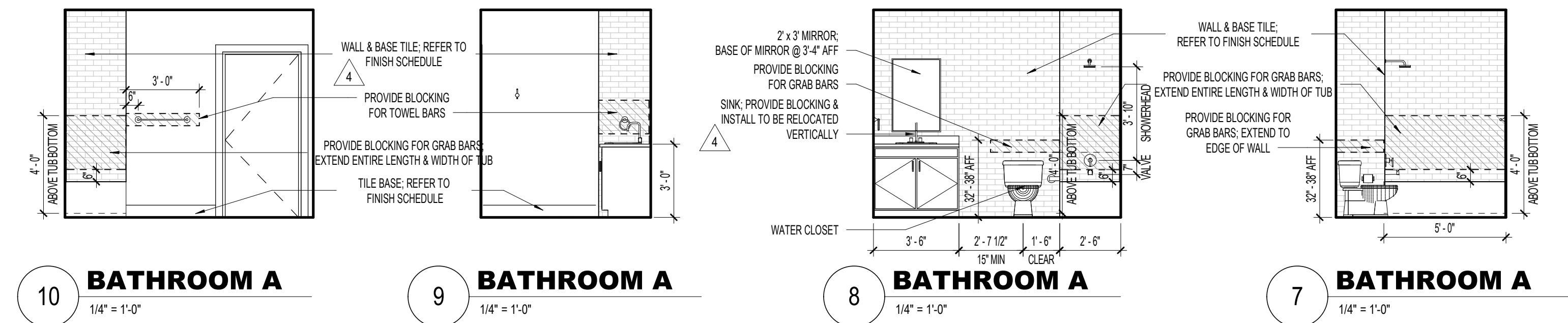
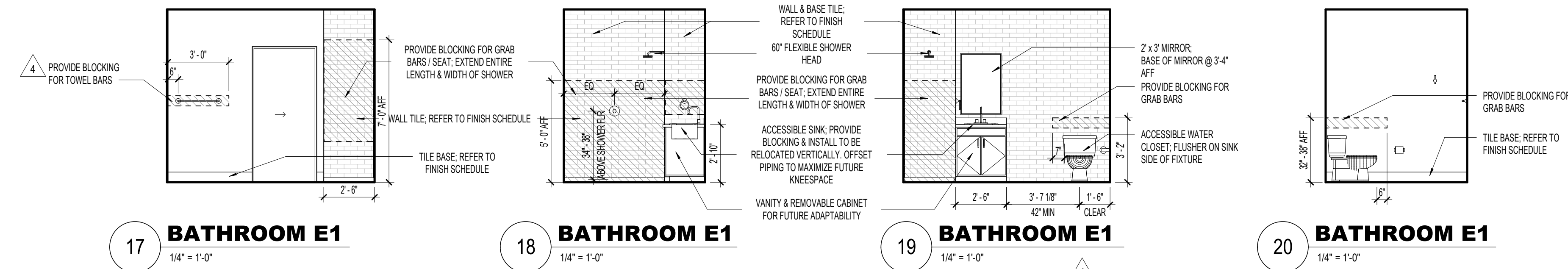
PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 1 BD C

DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/01/19	Addendum 4

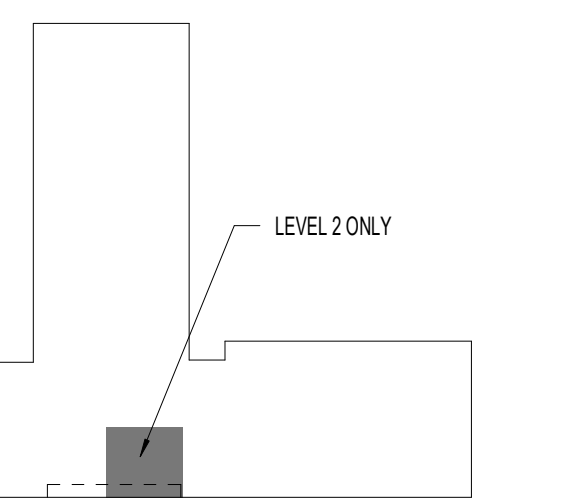


PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

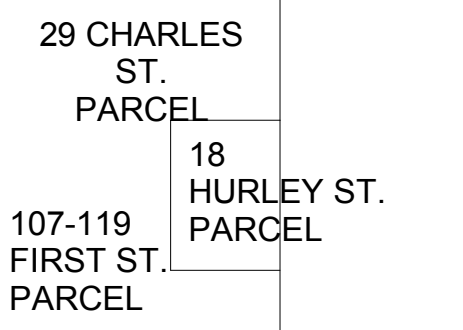
PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 1 BD + DEN A

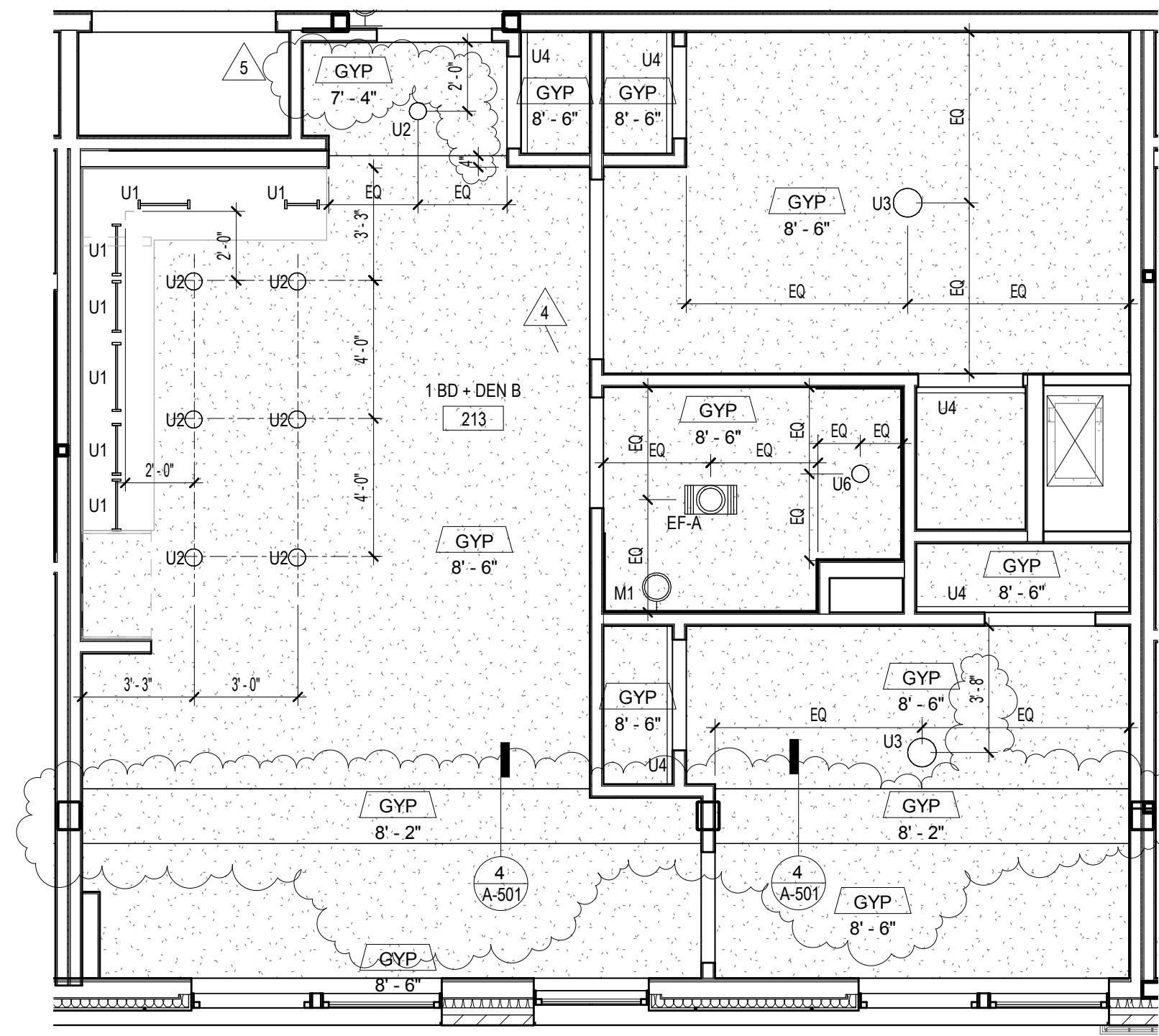
DRAWING HISTORY:	
NO.	DESCRIPTION
1	5/10/18 Addendum 1
4	4/30/19 Addendum 4
5	5/15/19 Addendum 5



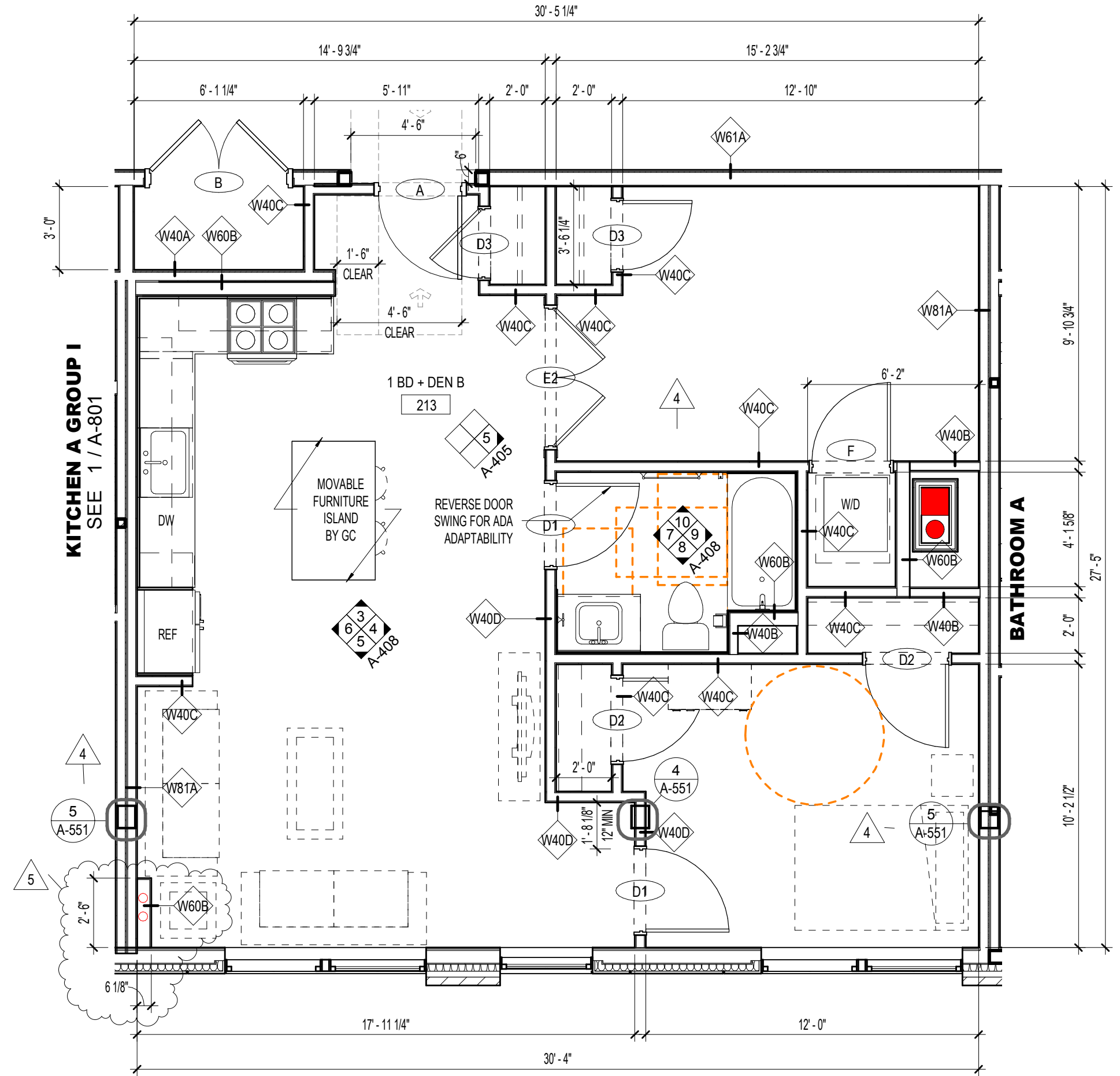
KEY PLAN:



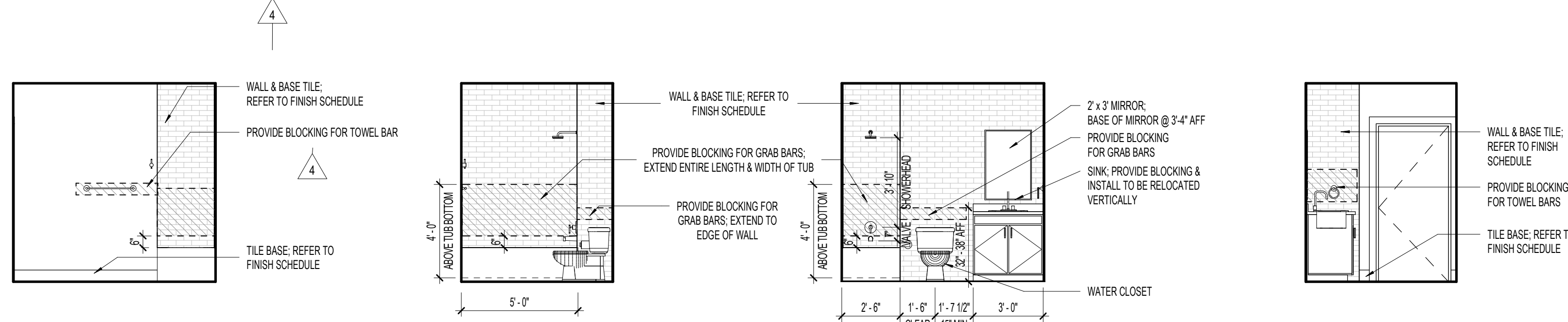
SEAL: NORTH



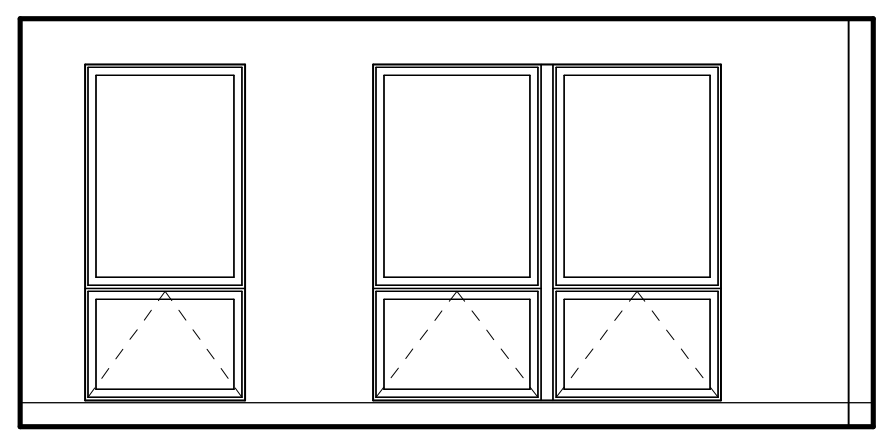
2 ENLARGED RCP - 1 BED + DEN B GROUP I
 1/4" = 1'-0"



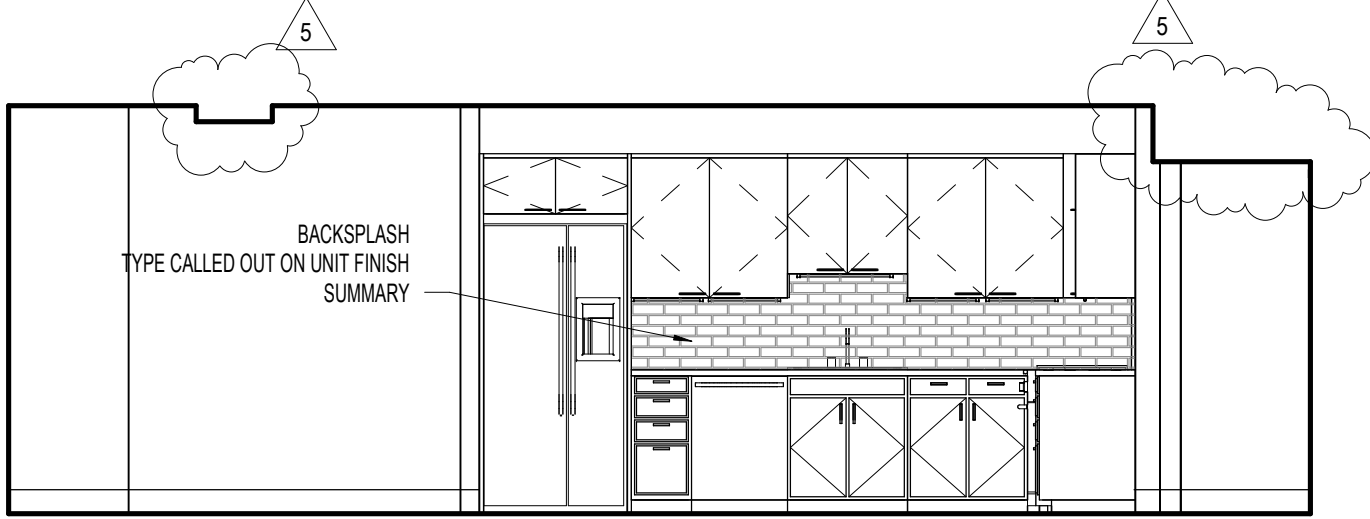
1 ENLARGED PLAN - 1 BED + DEN B GROUP I
 1/4" = 1'-0"



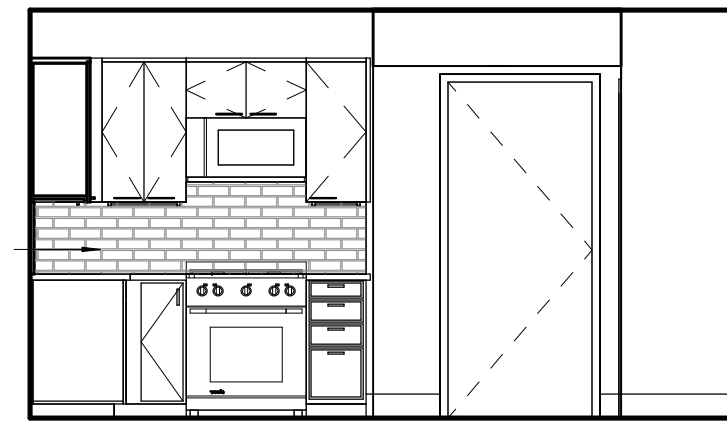
10 BATHROOM A 1/4" = 1'-0"
 9 BATHROOM A 1/4" = 1'-0"
 8 BATHROOM A 1/4" = 1'-0"
 7 BATHROOM A 1/4" = 1'-0"



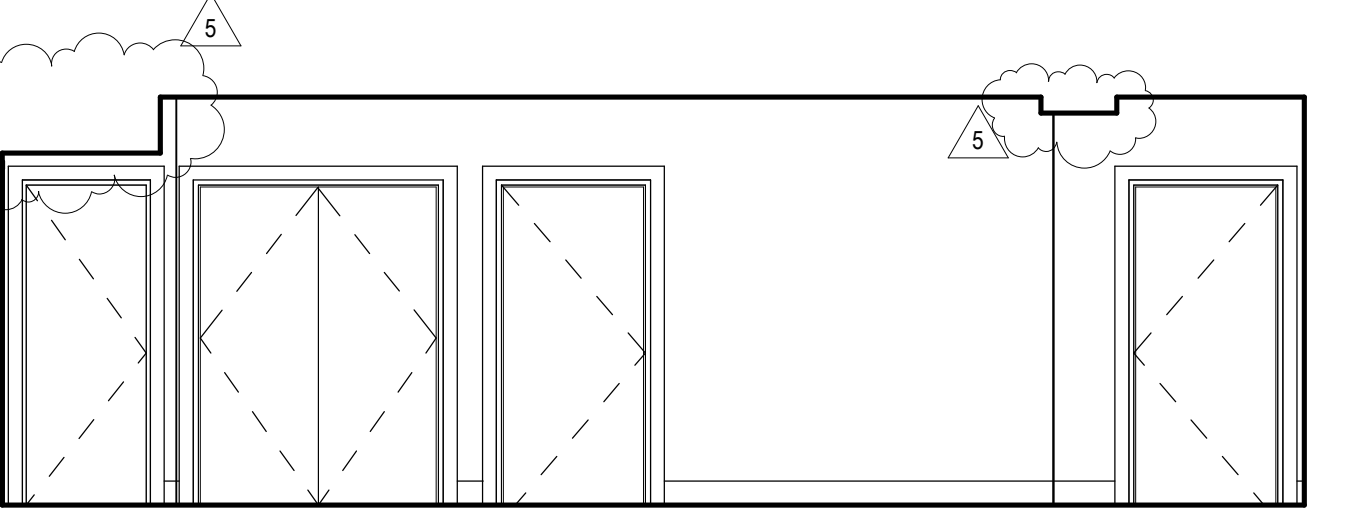
5 1 BED + DEN B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



6 1 BED + DEN B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



3 1 BED + DEN B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



4 1 BED + DEN B KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"

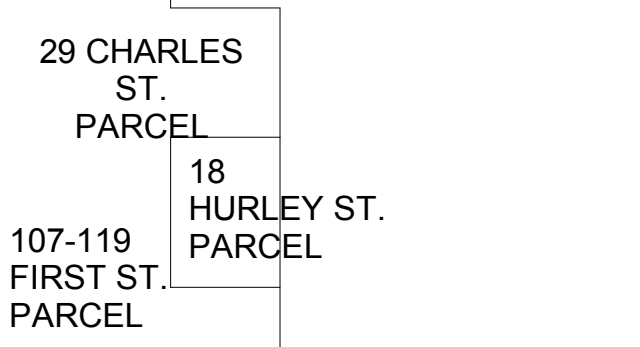
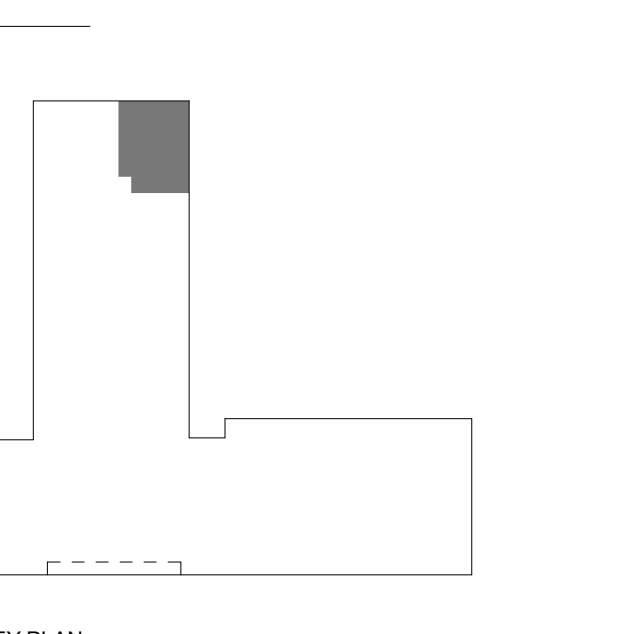
PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 1 BD + DEN B

DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5



SEAL: _____ NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

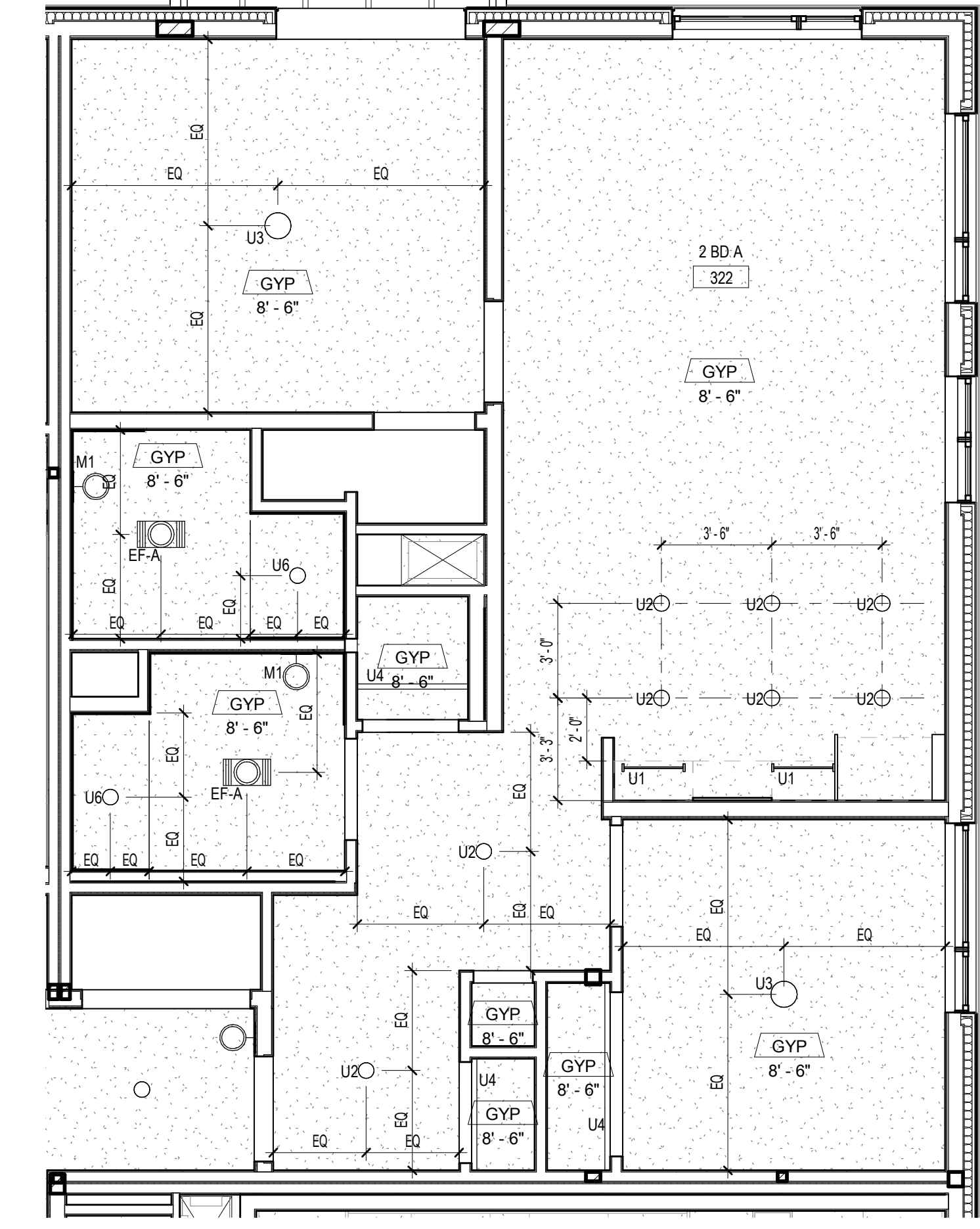
PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 2 BD A

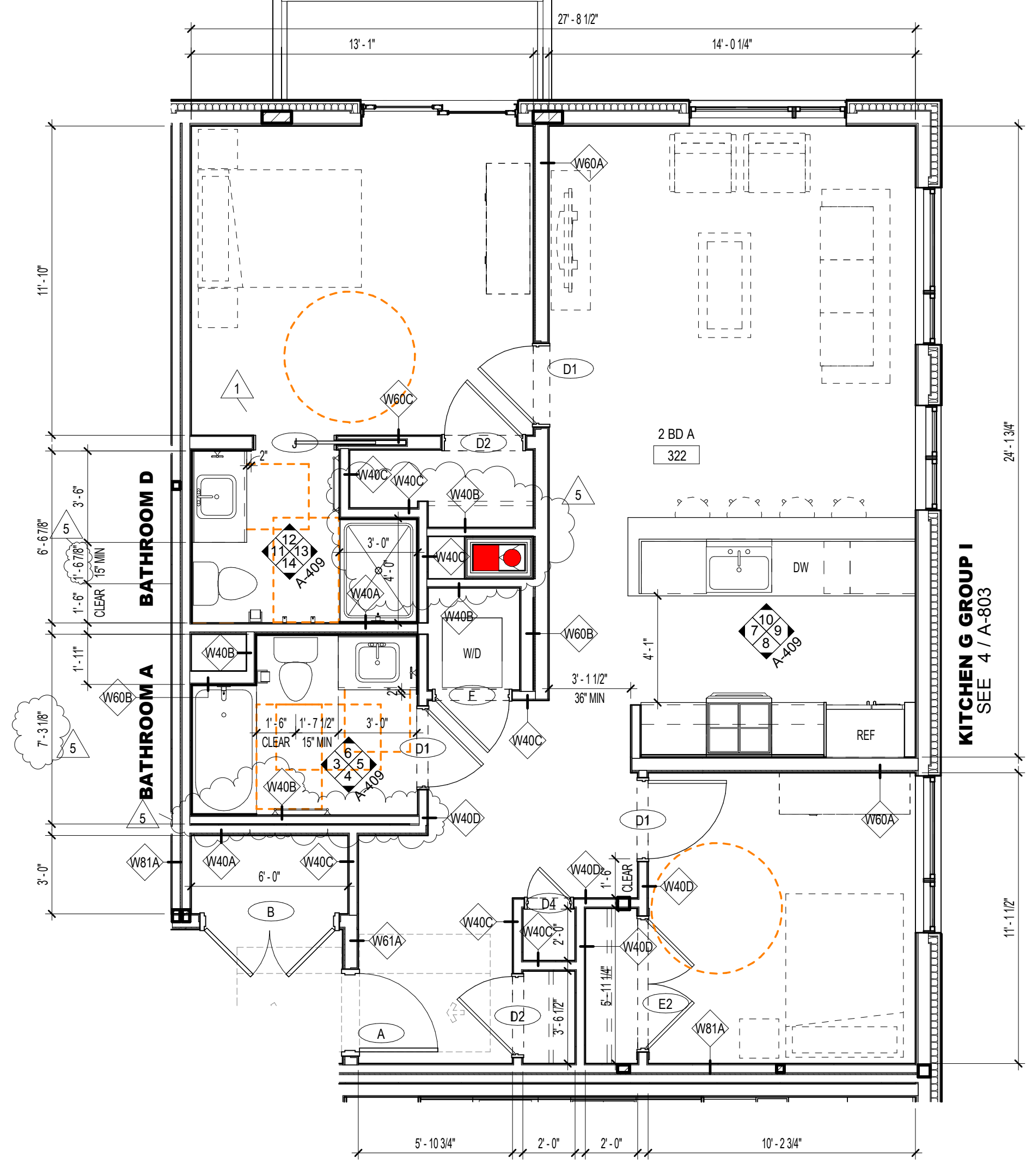
DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5

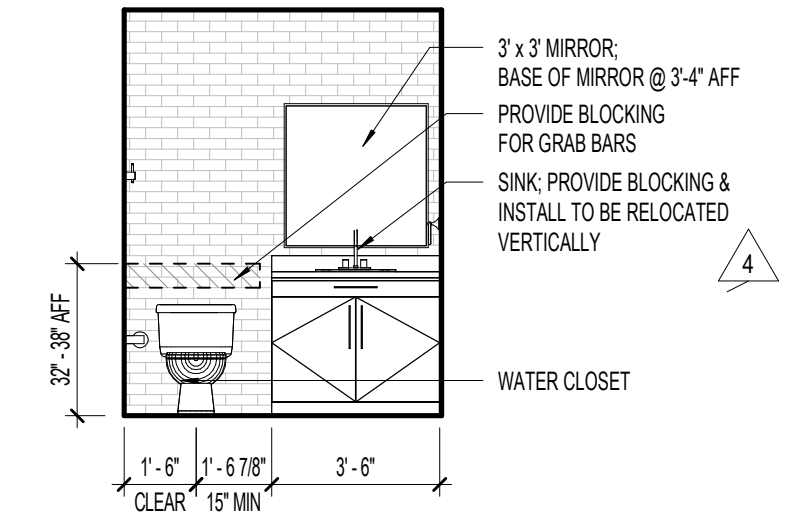
SHEET # **A-409**



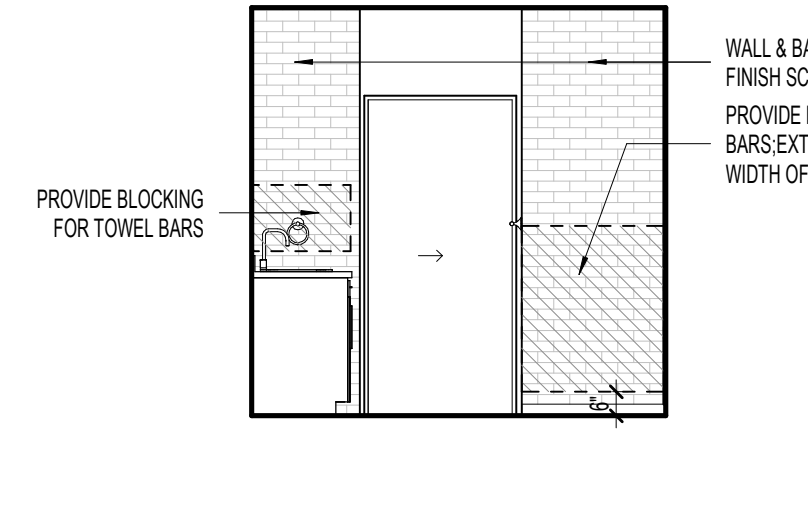
2 ENLARGED RCP - 2 BED A GROUP I
 1/4" = 1'-0"



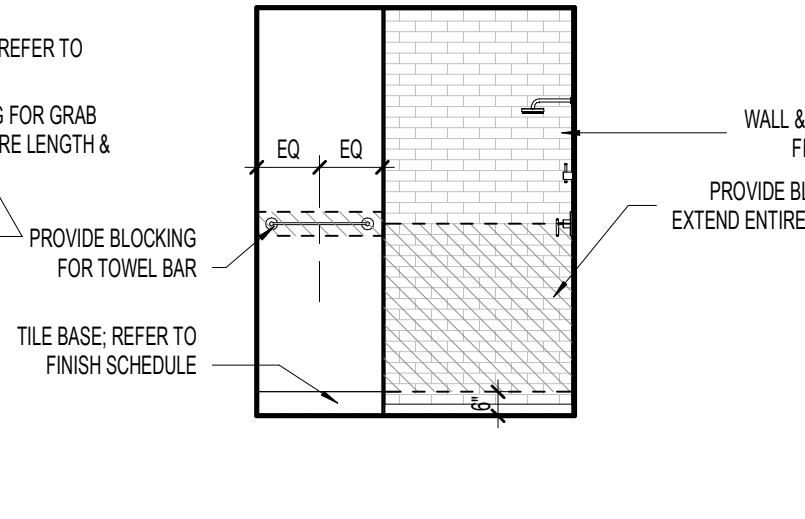
1 ENLARGED PLAN - 2 BED A GROUP I
 1/4" = 1'-0"



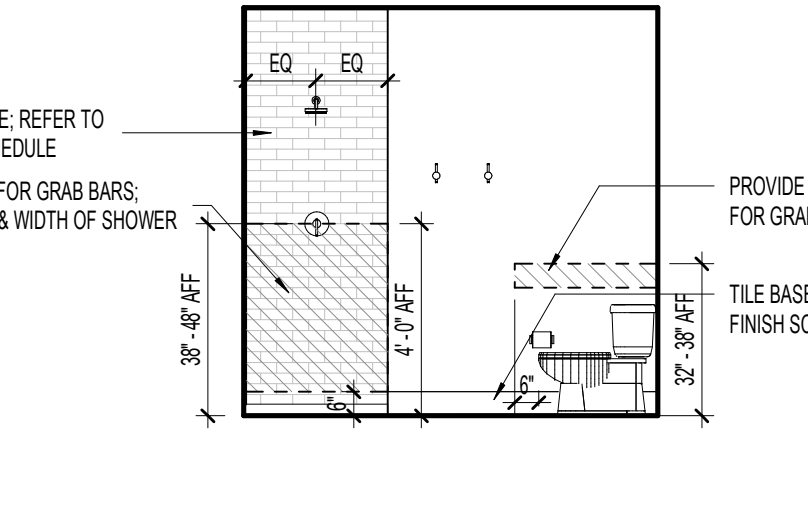
11 BATHROOM D
 1/4" = 1'-0"



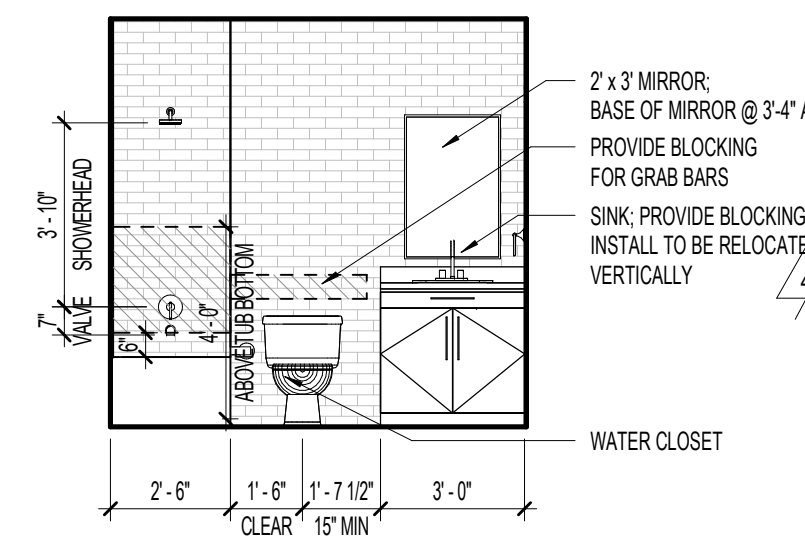
12 BATHROOM D
 1/4" = 1'-0"



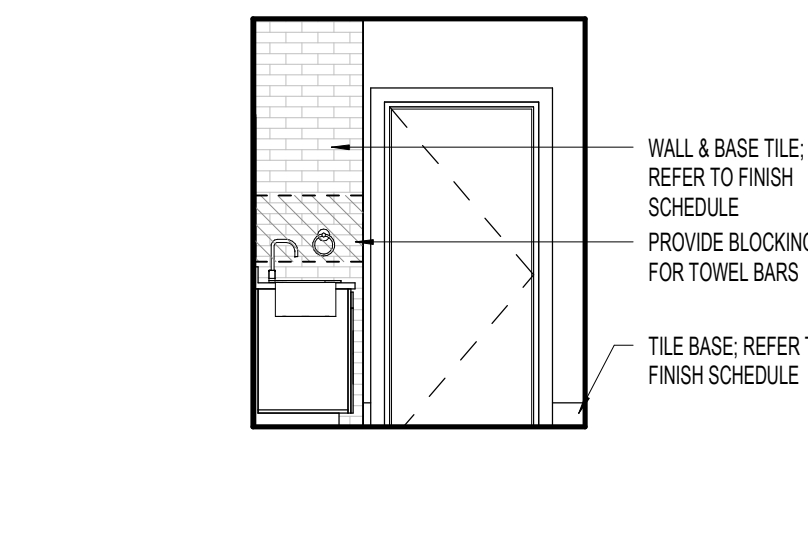
13 BATHROOM D
 1/4" = 1'-0"



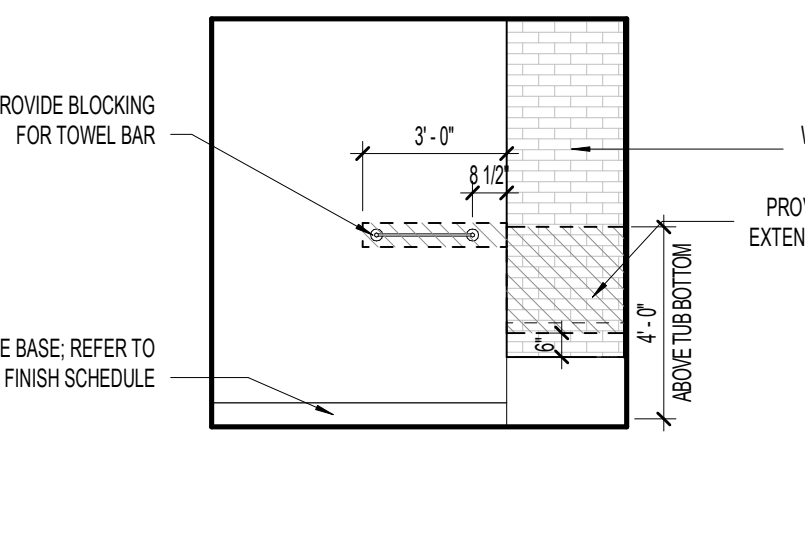
14 BATHROOM D
 1/4" = 1'-0"



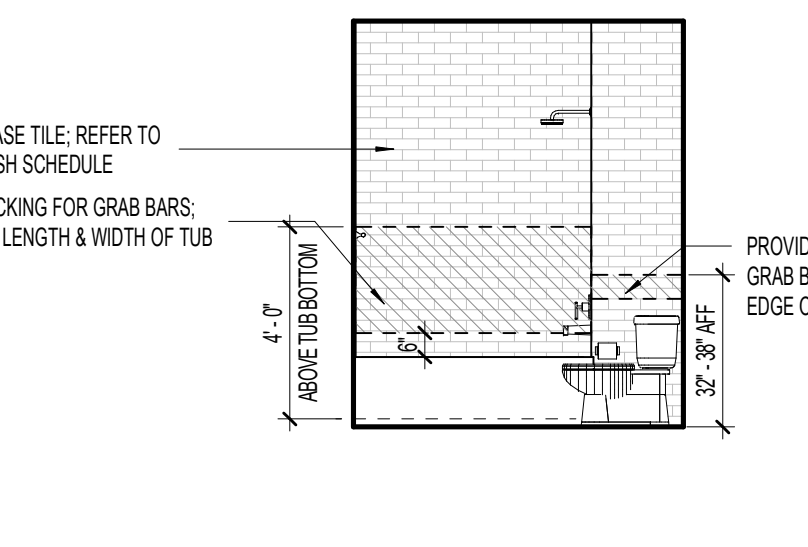
6 BATHROOM A
 1/4" = 1'-0"



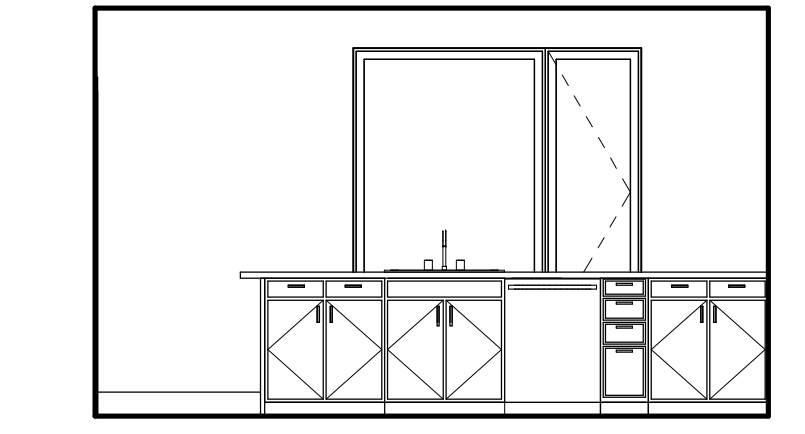
5 BATHROOM A
 1/4" = 1'-0"



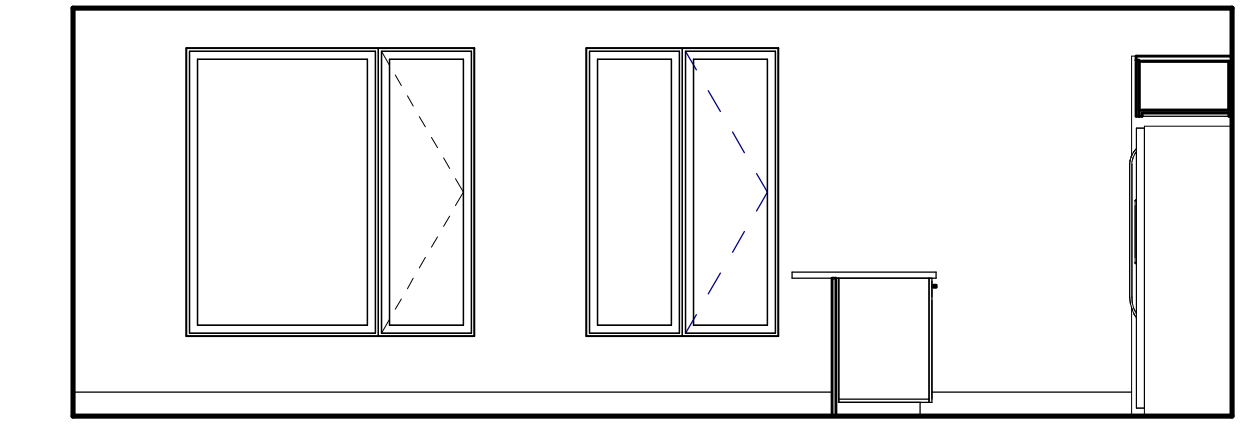
4 BATHROOM A
 1/4" = 1'-0"



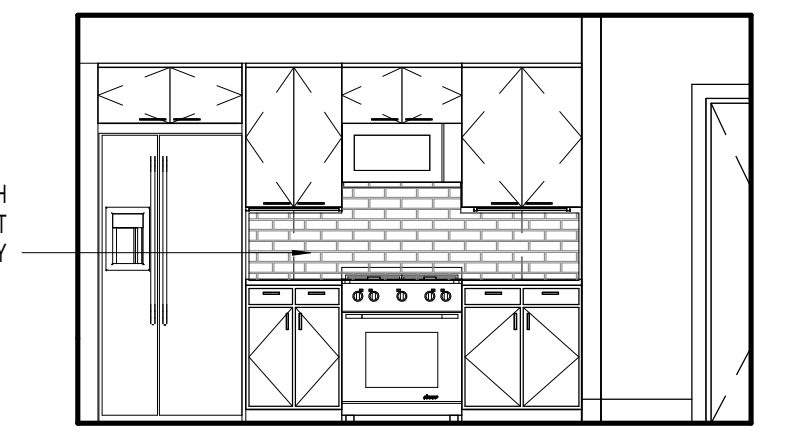
3 BATHROOM A
 1/4" = 1'-0"



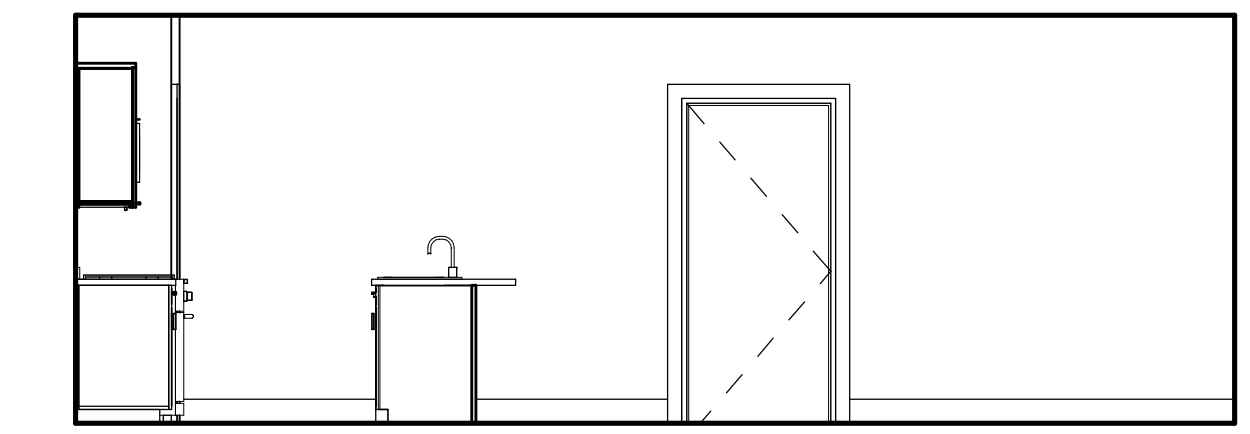
10 2 BED A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



9 2 BED A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"

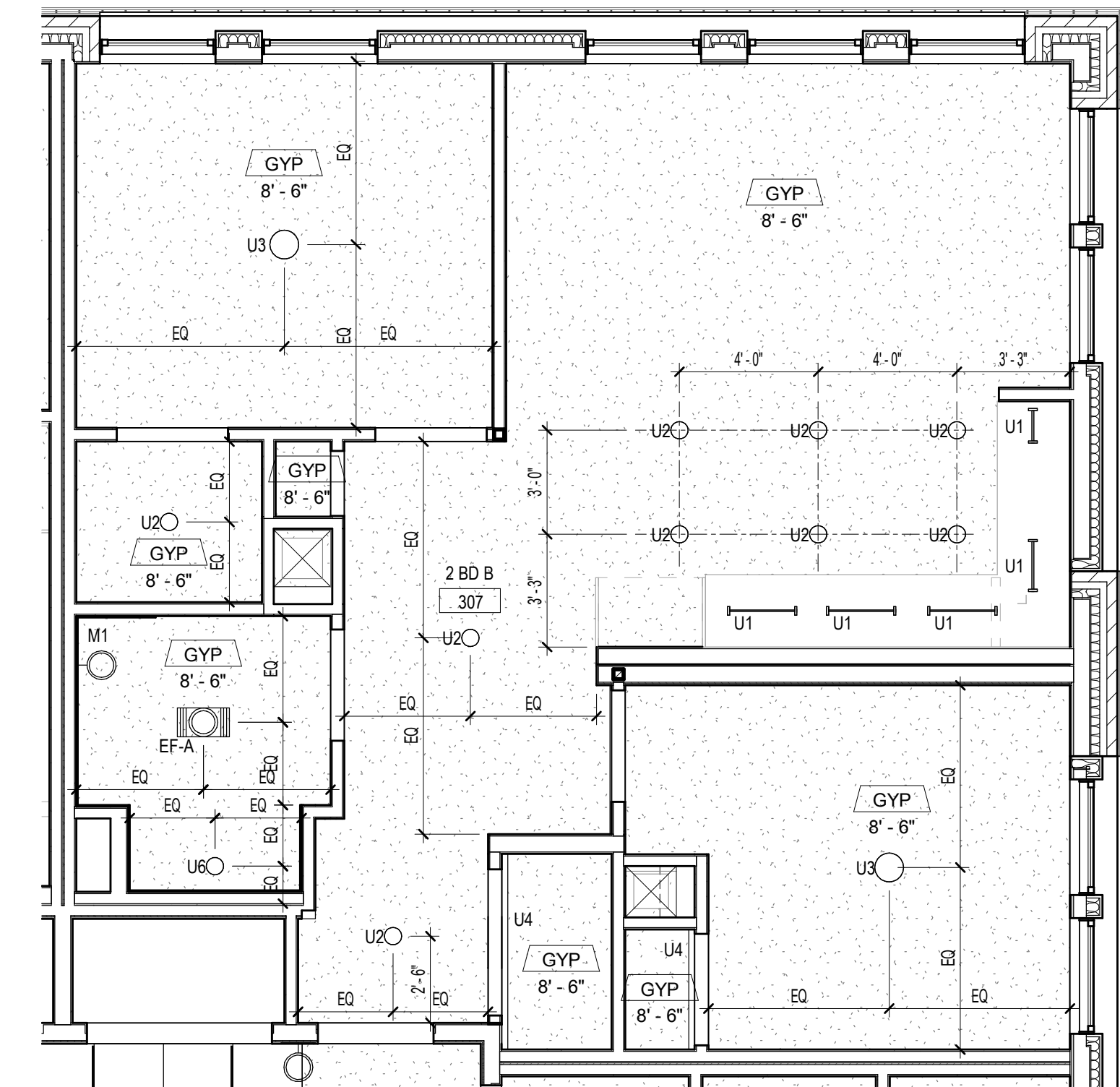


8 2 BED A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"

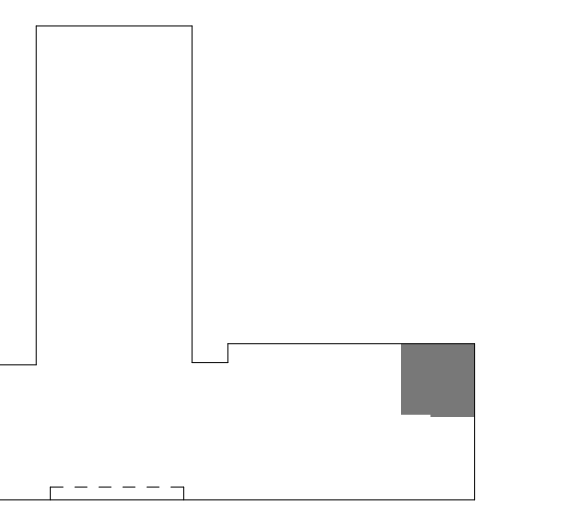


7 2 BED A KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"

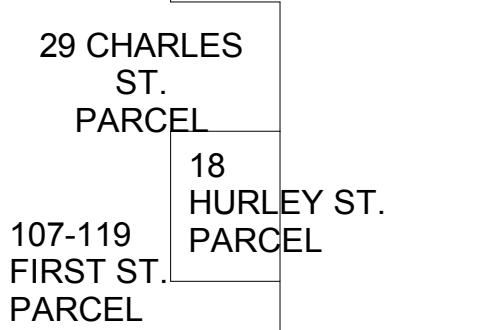
C:\REVIT_LOCAL\Parcel B - Residential_R18_PERMIT_v2_p_romans.rvt
 5/15/2019 4:58:26 PM



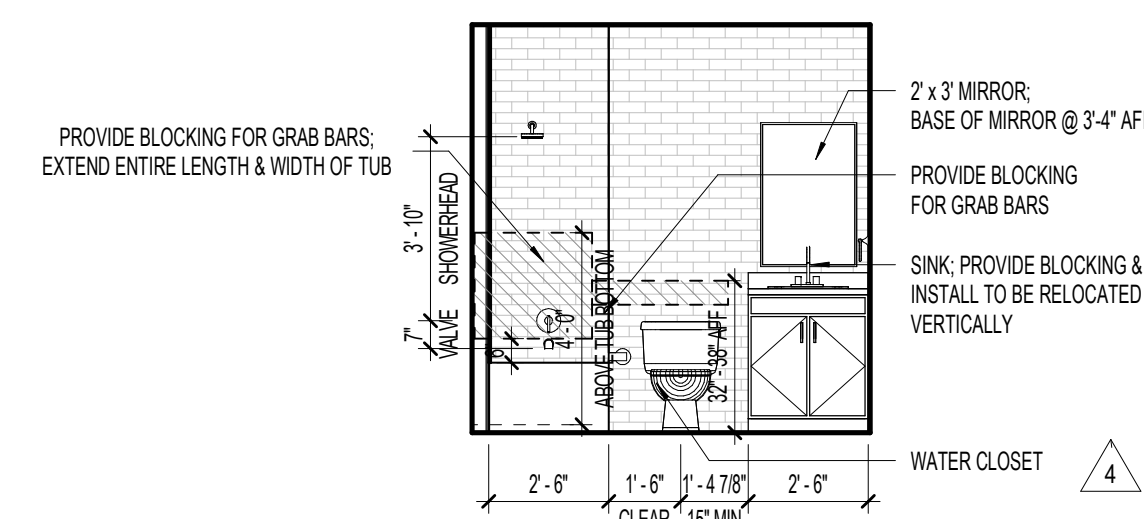
2 ENLARGED RCP - 2 BED B GROUP I
 1/4" = 1'-0"



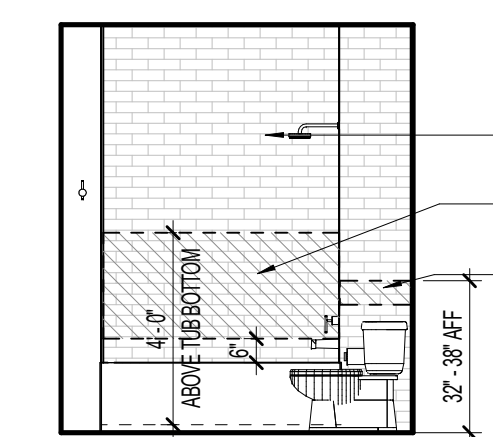
KEY PLAN:



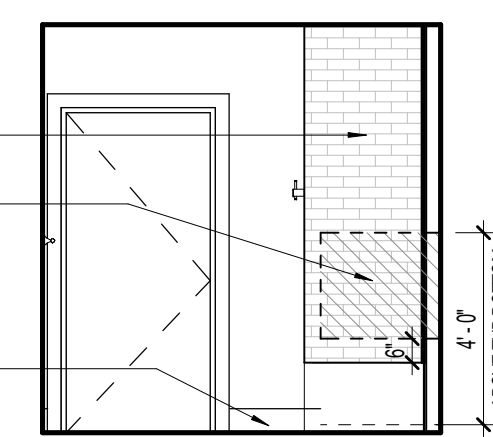
SEAL: NORTH



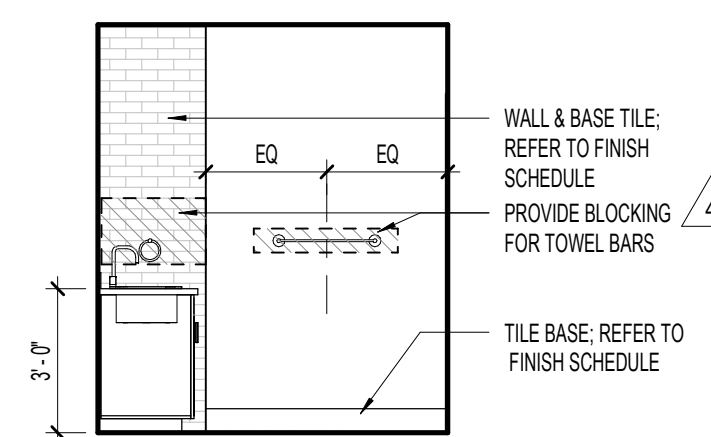
10 BATHROOM A
 1/4" = 1'-0"



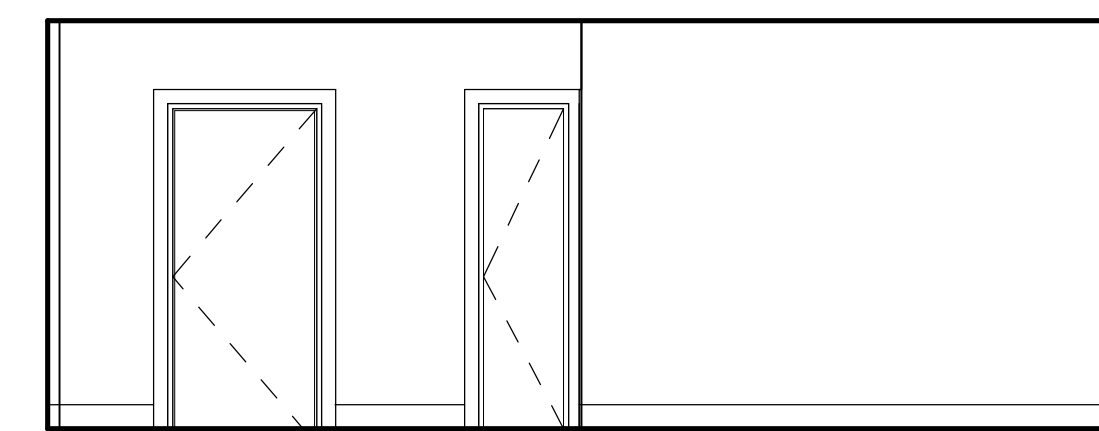
9 BATHROOM A
 1/4" = 1'-0"



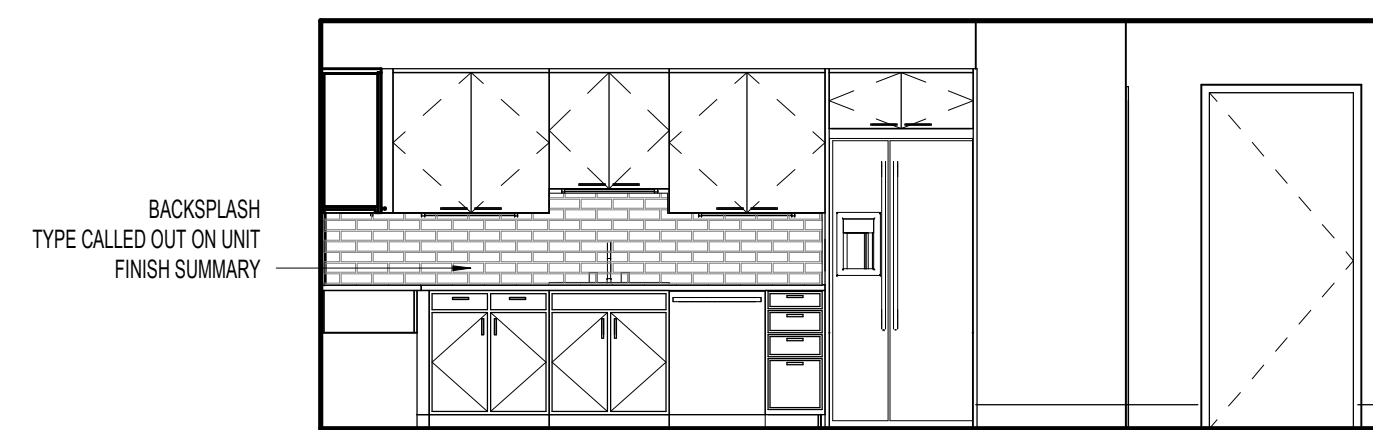
8 BATHROOM A
 1/4" = 1'-0"



7 BATHROOM A
 1/4" = 1'-0"



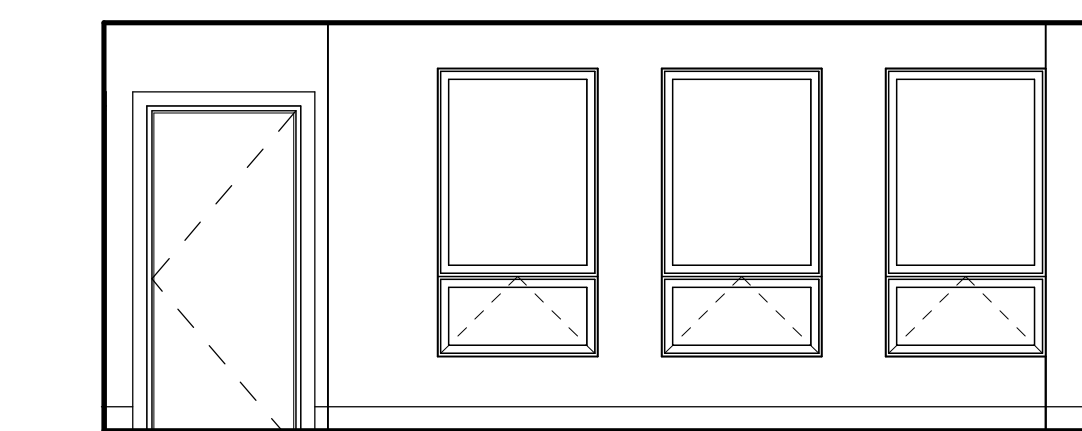
14 2 BED B - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



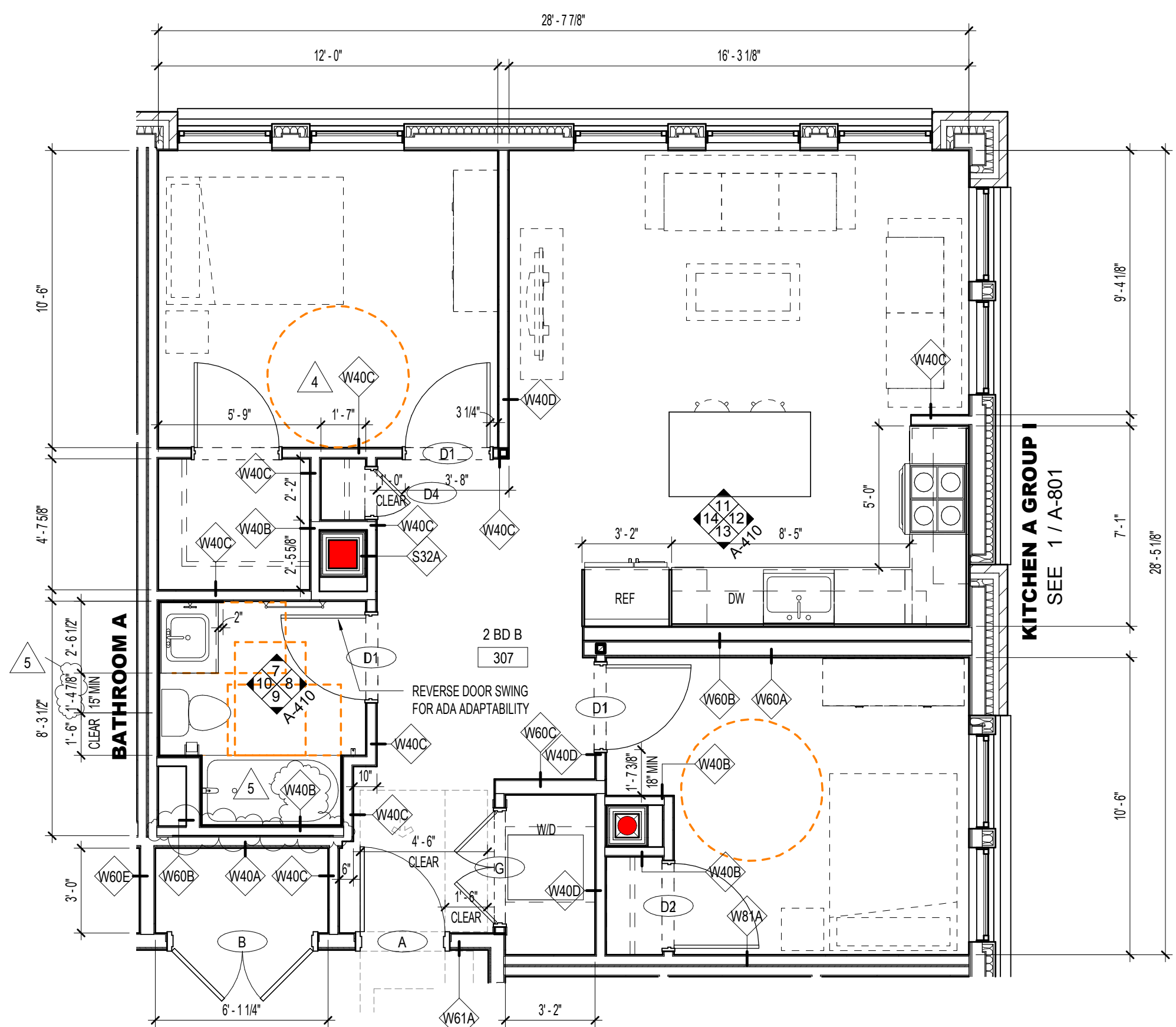
13 2 BED B - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



12 2 BED B - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



11 2 BED B - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



1 ENLARGED PLAN - 2 BED B GROUP I
 1/4" = 1'-0"

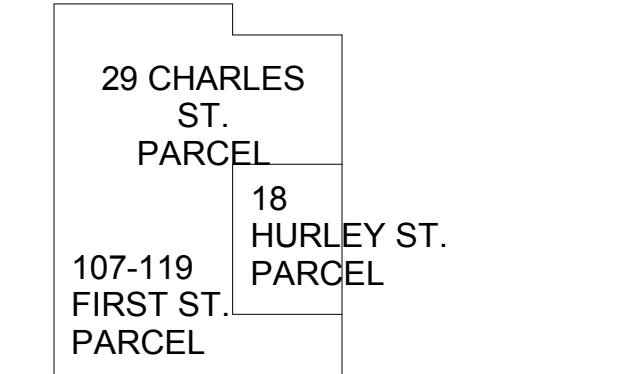
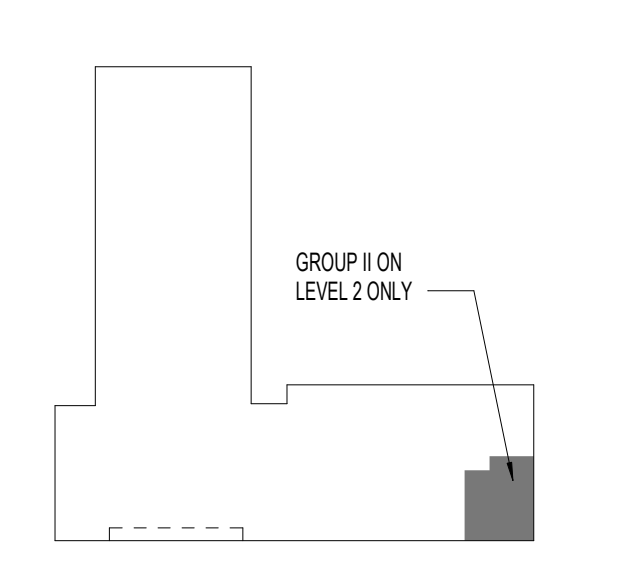
PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 2 BD B

DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5



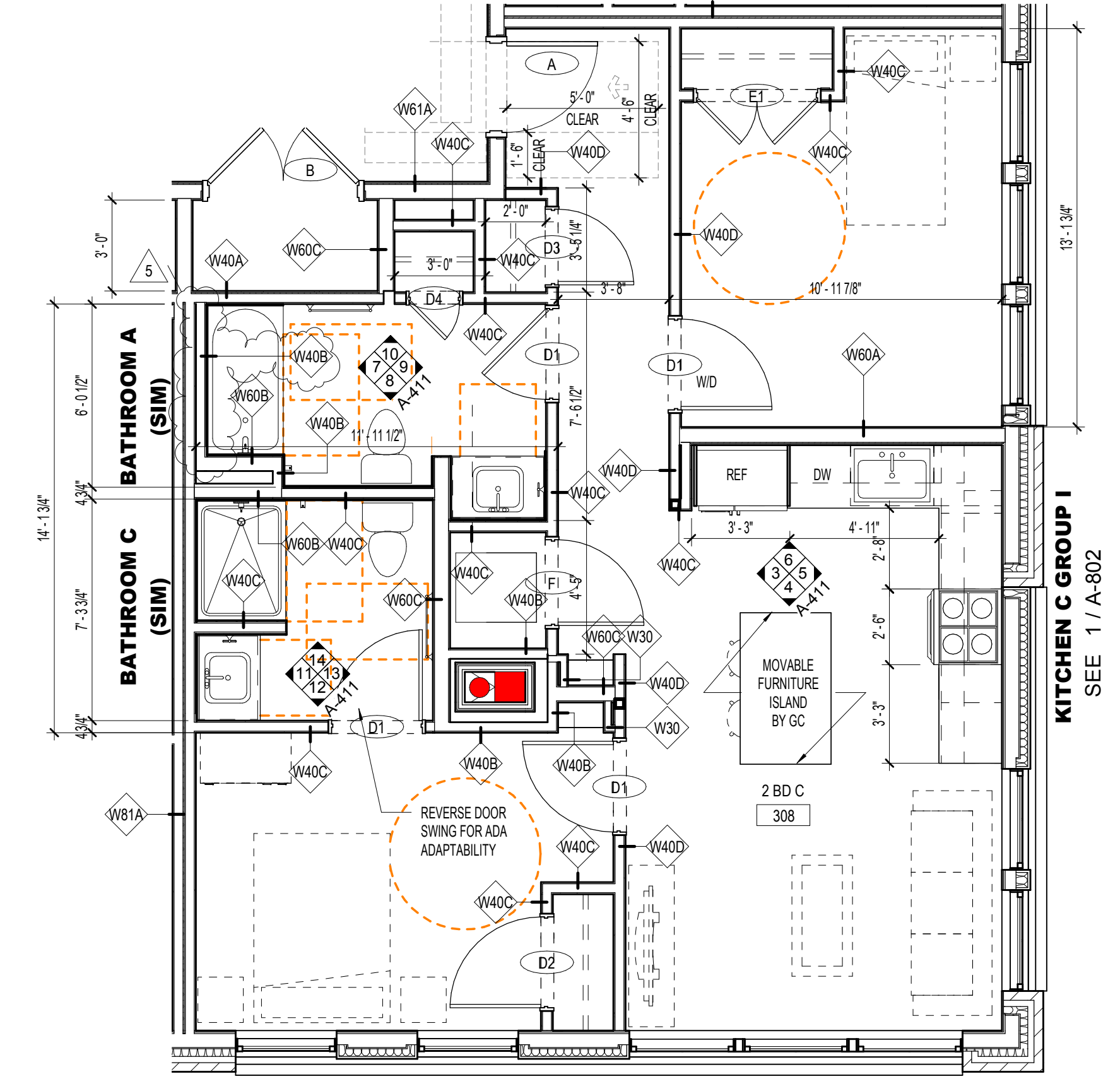
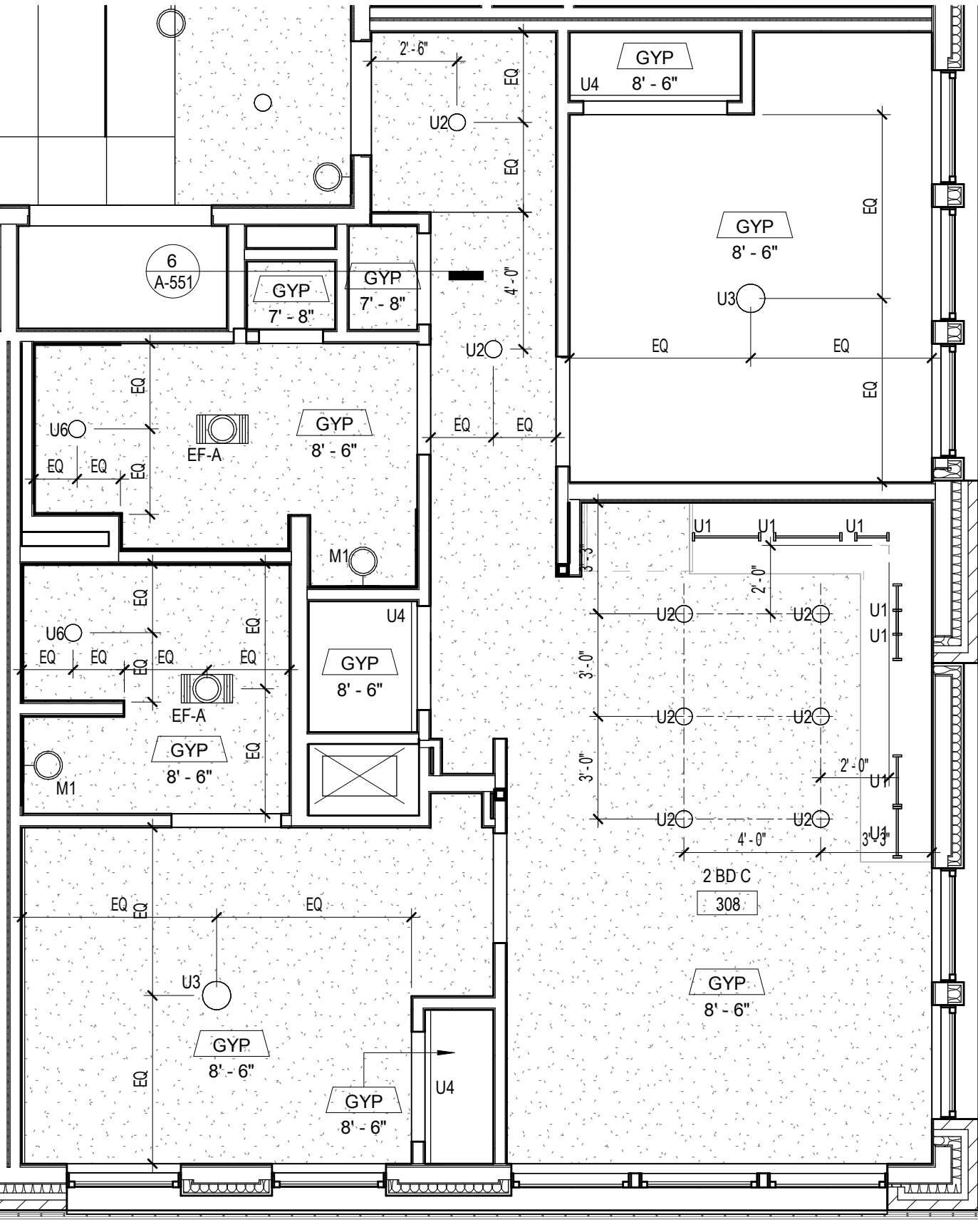
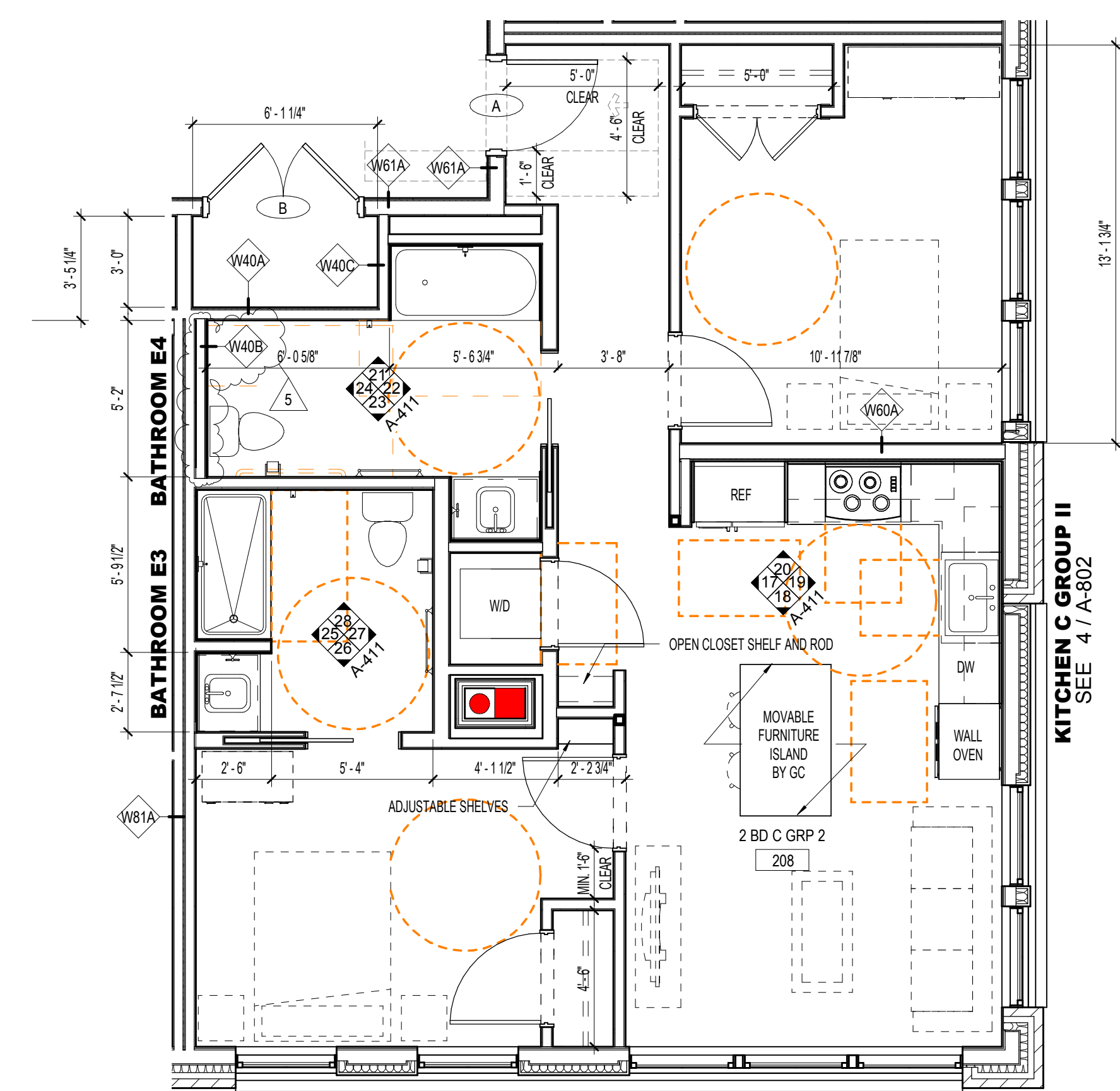
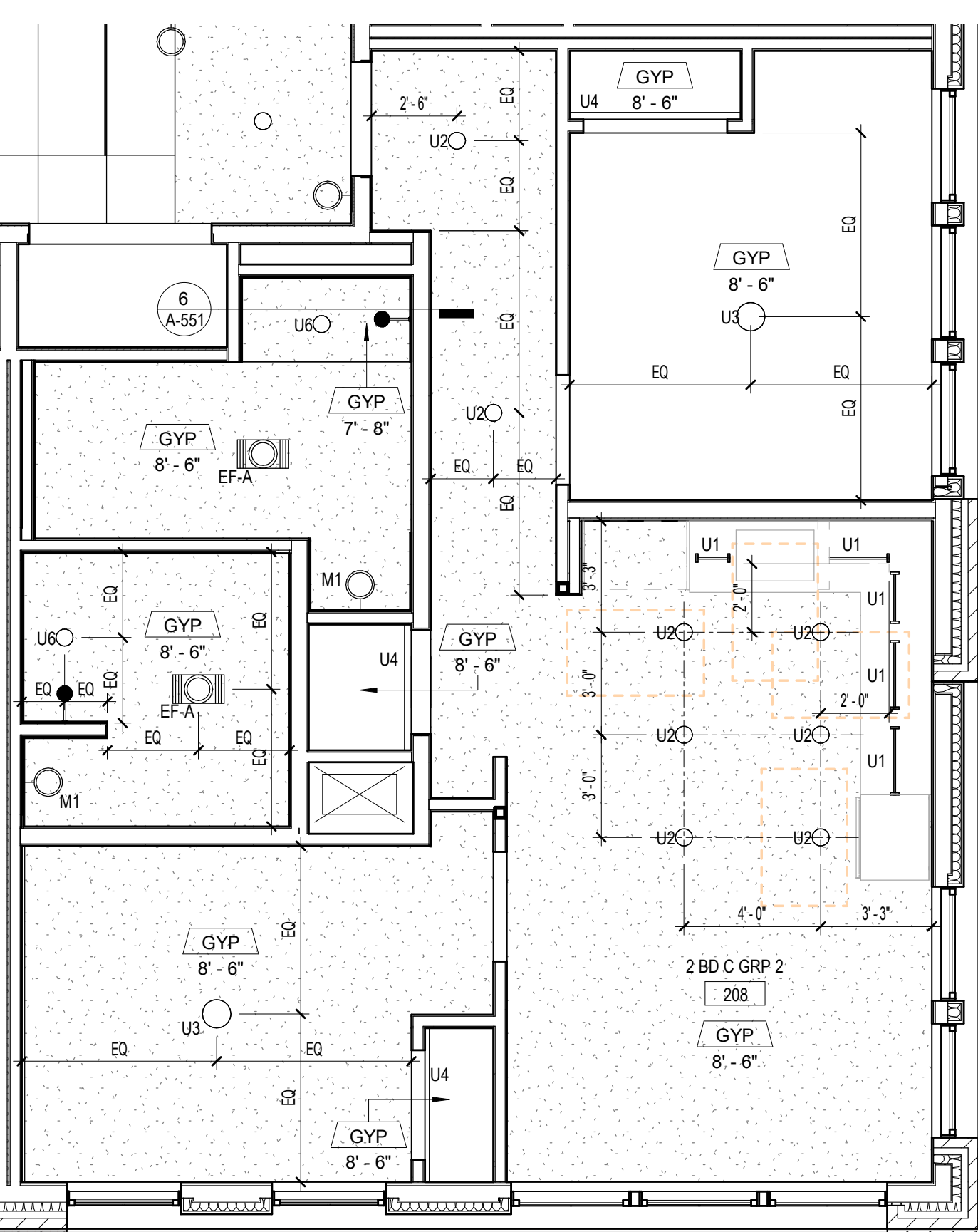
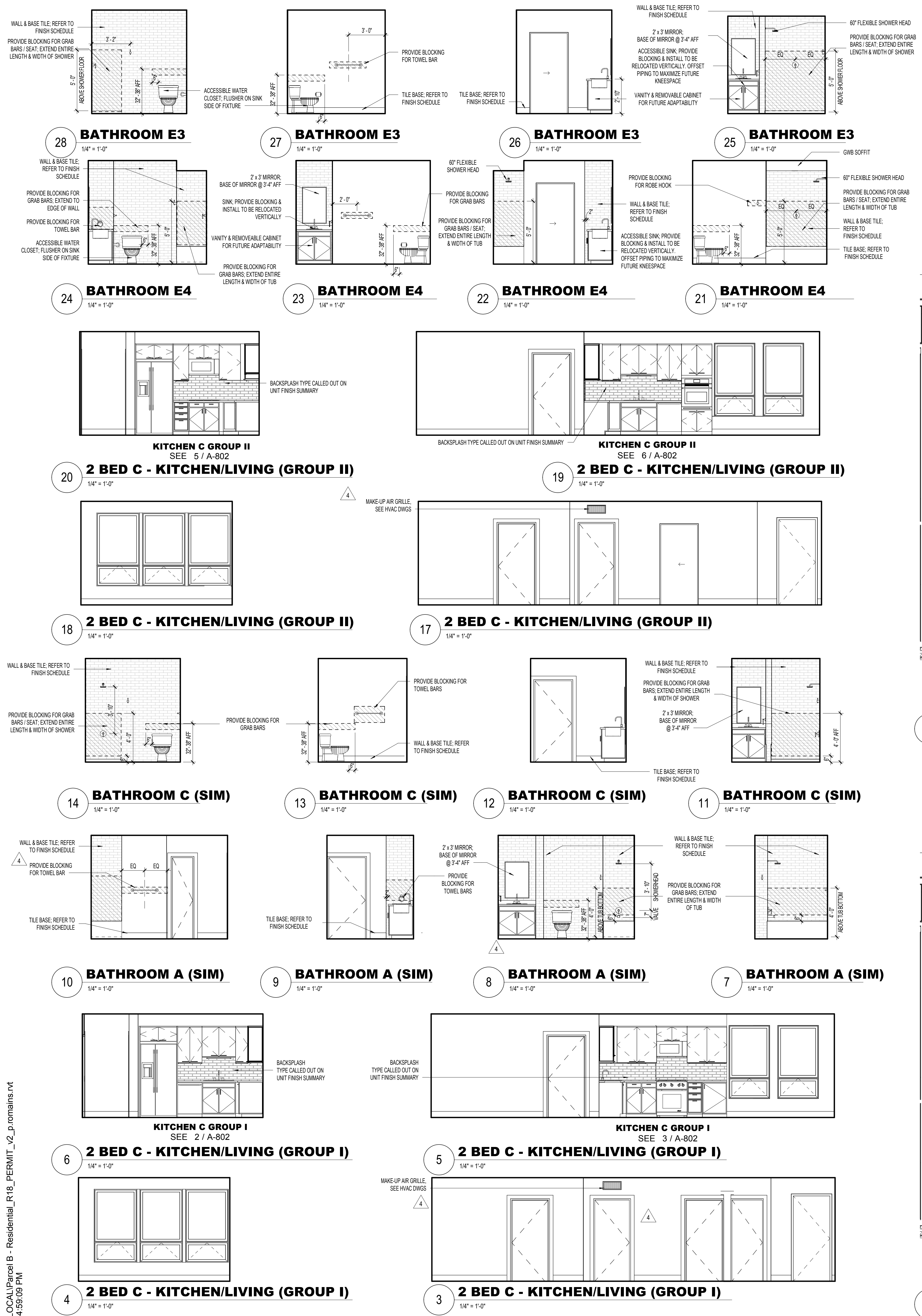
SEAL: _____ NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

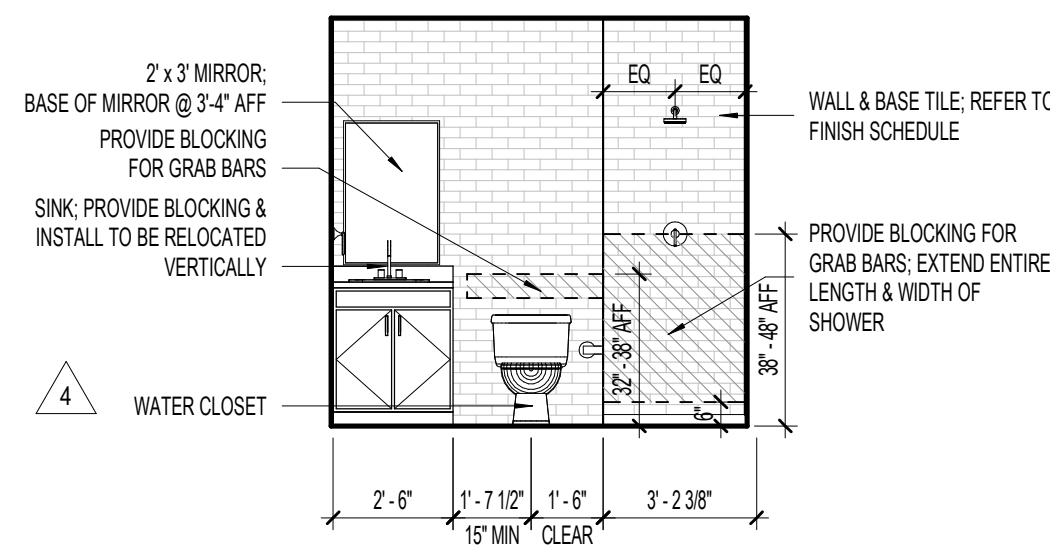
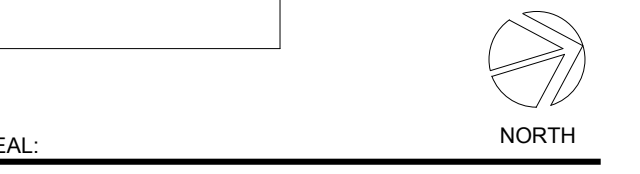
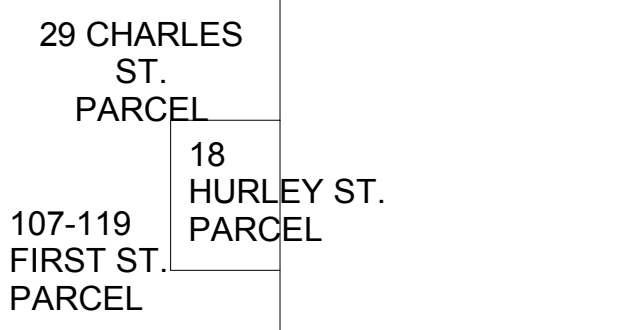
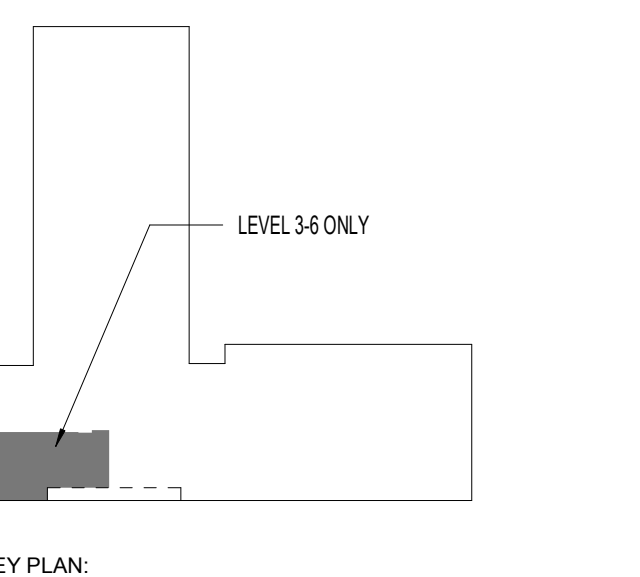
PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 2 BD C

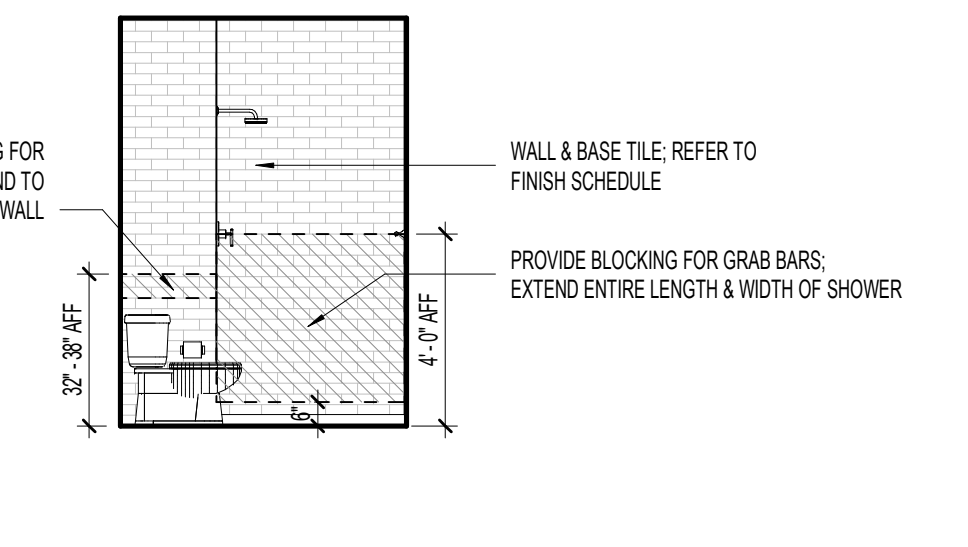
NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5



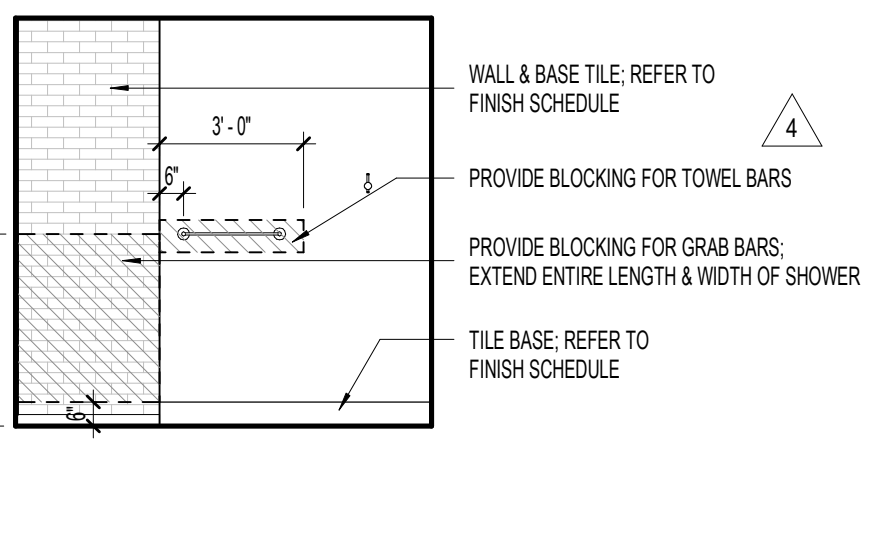
C:\REVIT_LOCAL\Parcel B - Residential_R18_PERMIT_v2_p_romains.rvt
 5/15/2019 4:59:09 PM



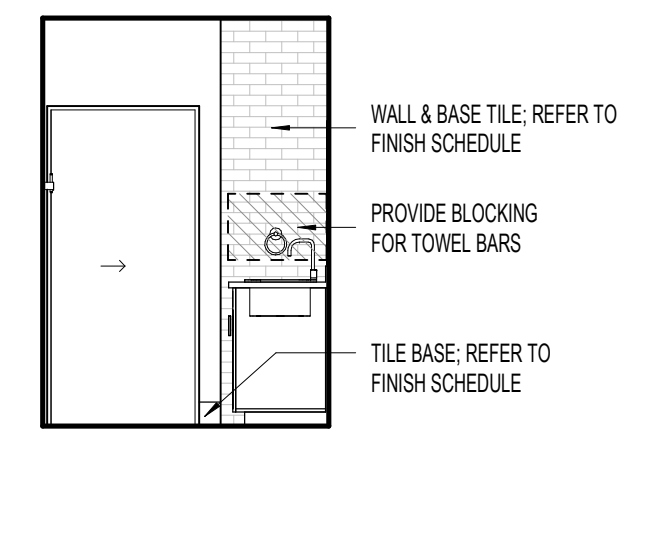
18 BATHROOM C
 1/4" = 1'-0"



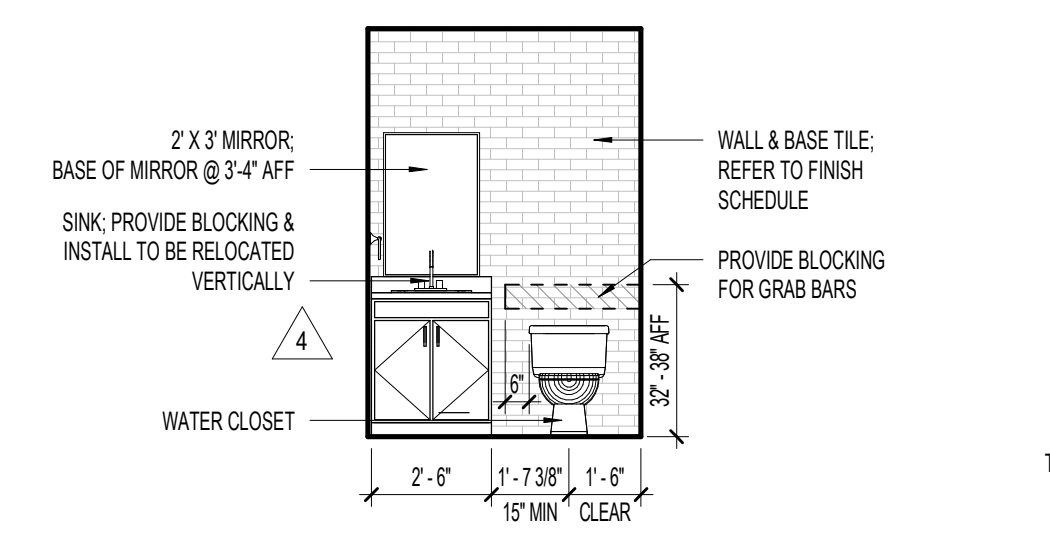
17 BATHROOM C
 1/4" = 1'-0"



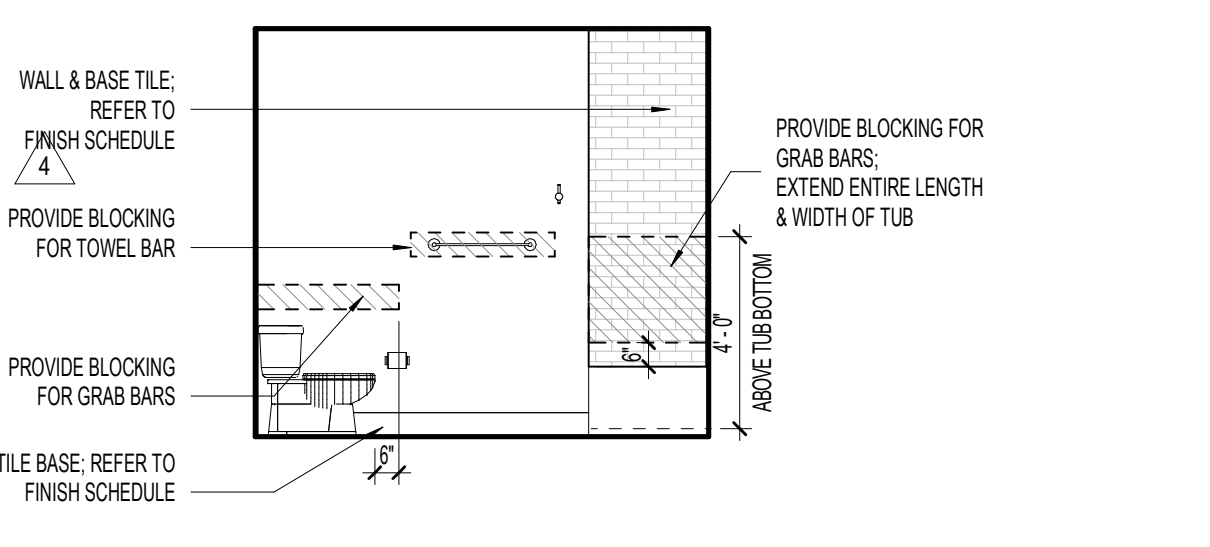
16 BATHROOM C
 1/4" = 1'-0"



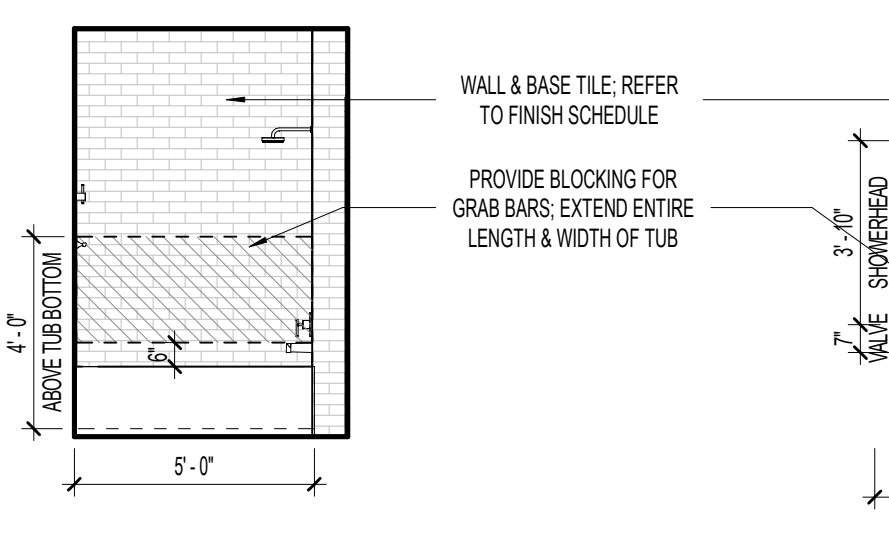
15 BATHROOM C
 1/4" = 1'-0"



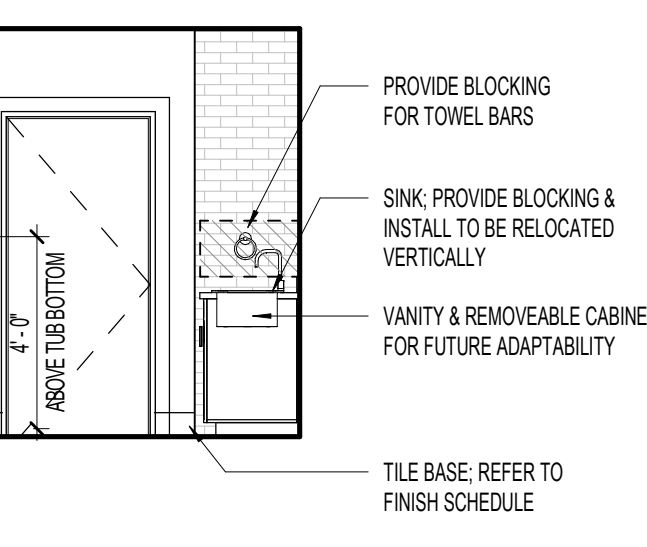
14 BATHROOM A
 1/4" = 1'-0"



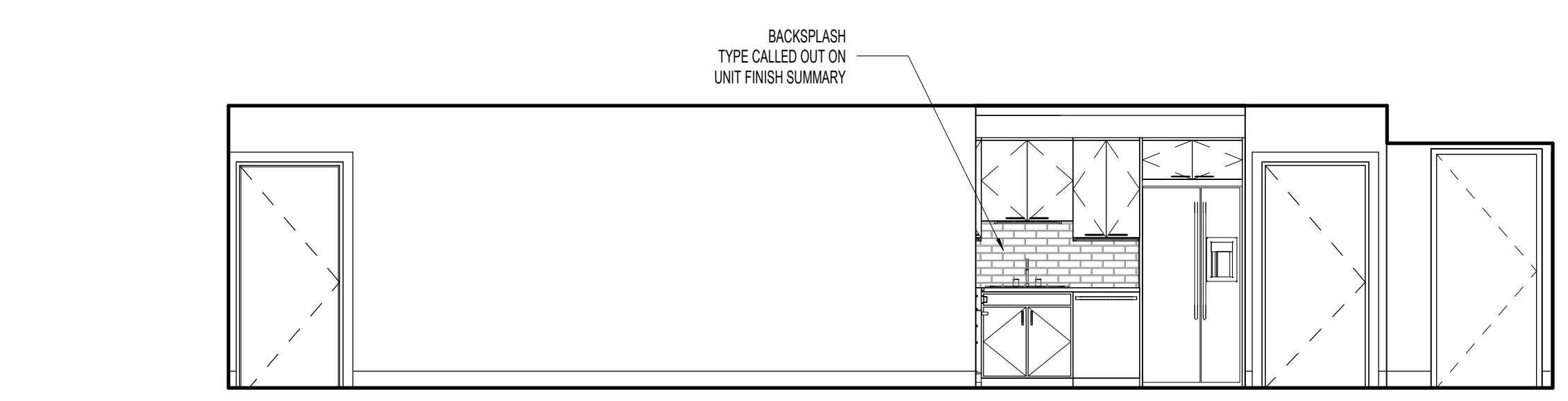
13 BATHROOM A
 1/4" = 1'-0"



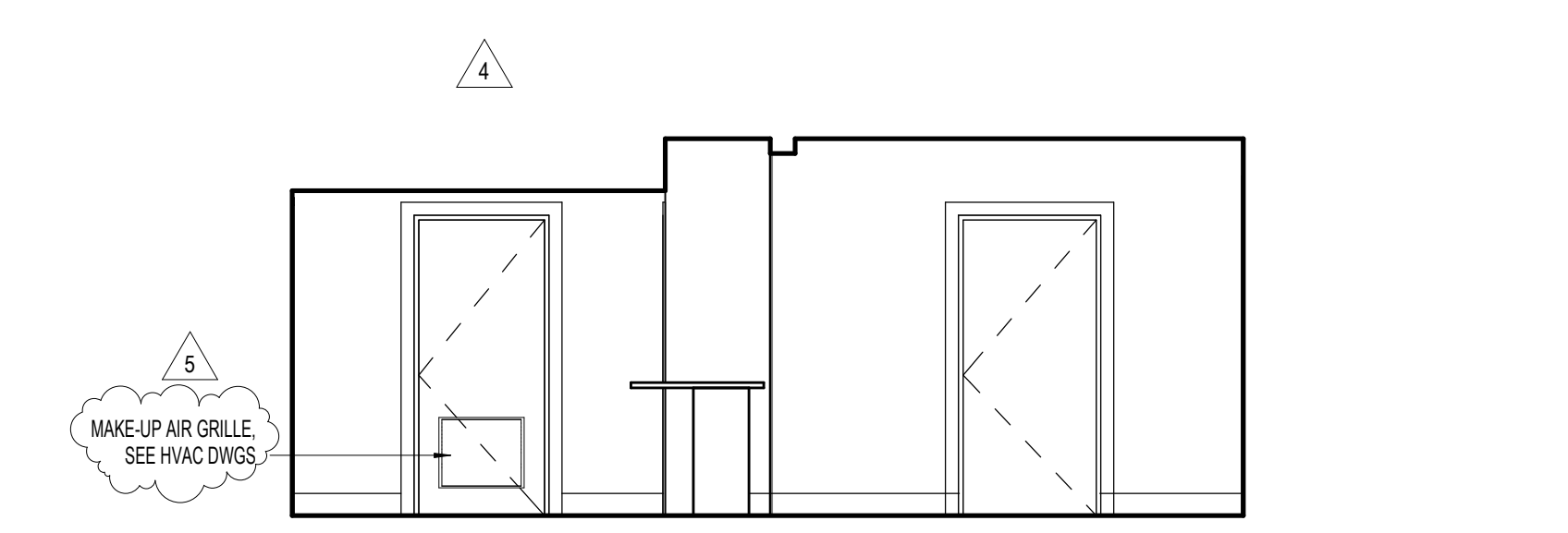
12 BATHROOM A
 1/4" = 1'-0"



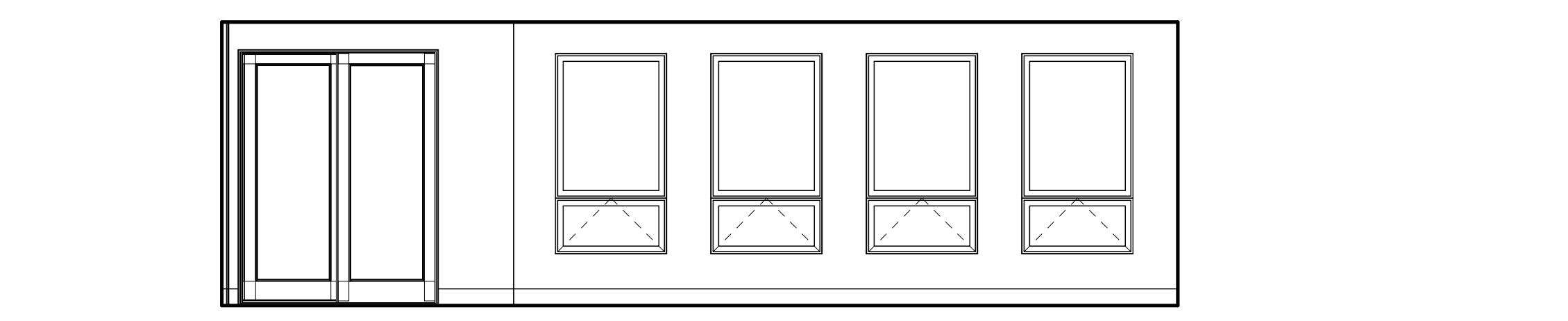
11 BATHROOM A
 1/4" = 1'-0"



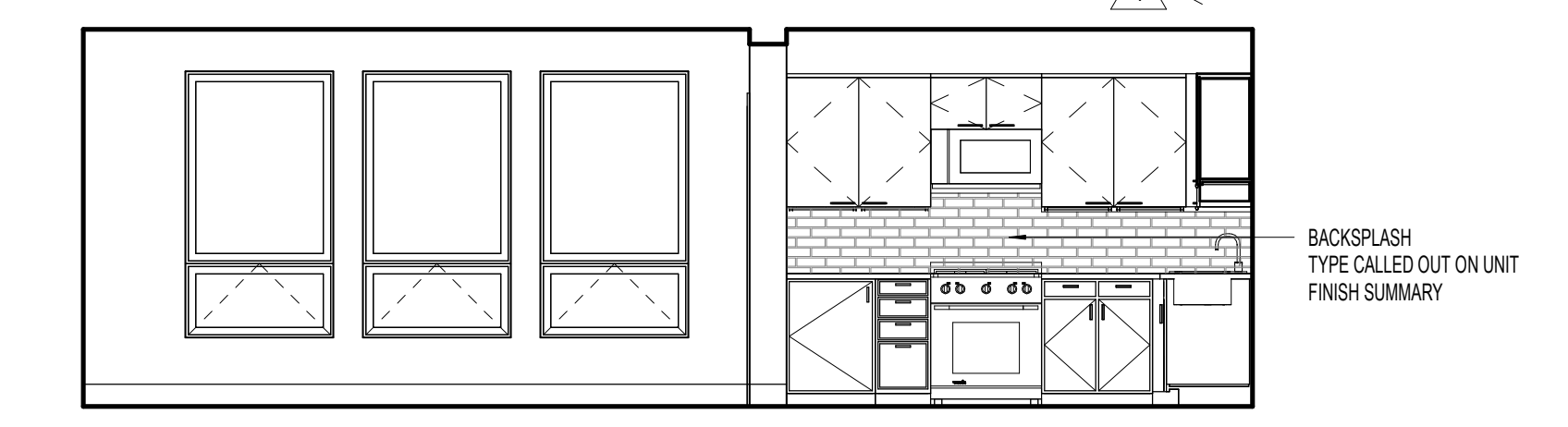
10 2 BED D - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



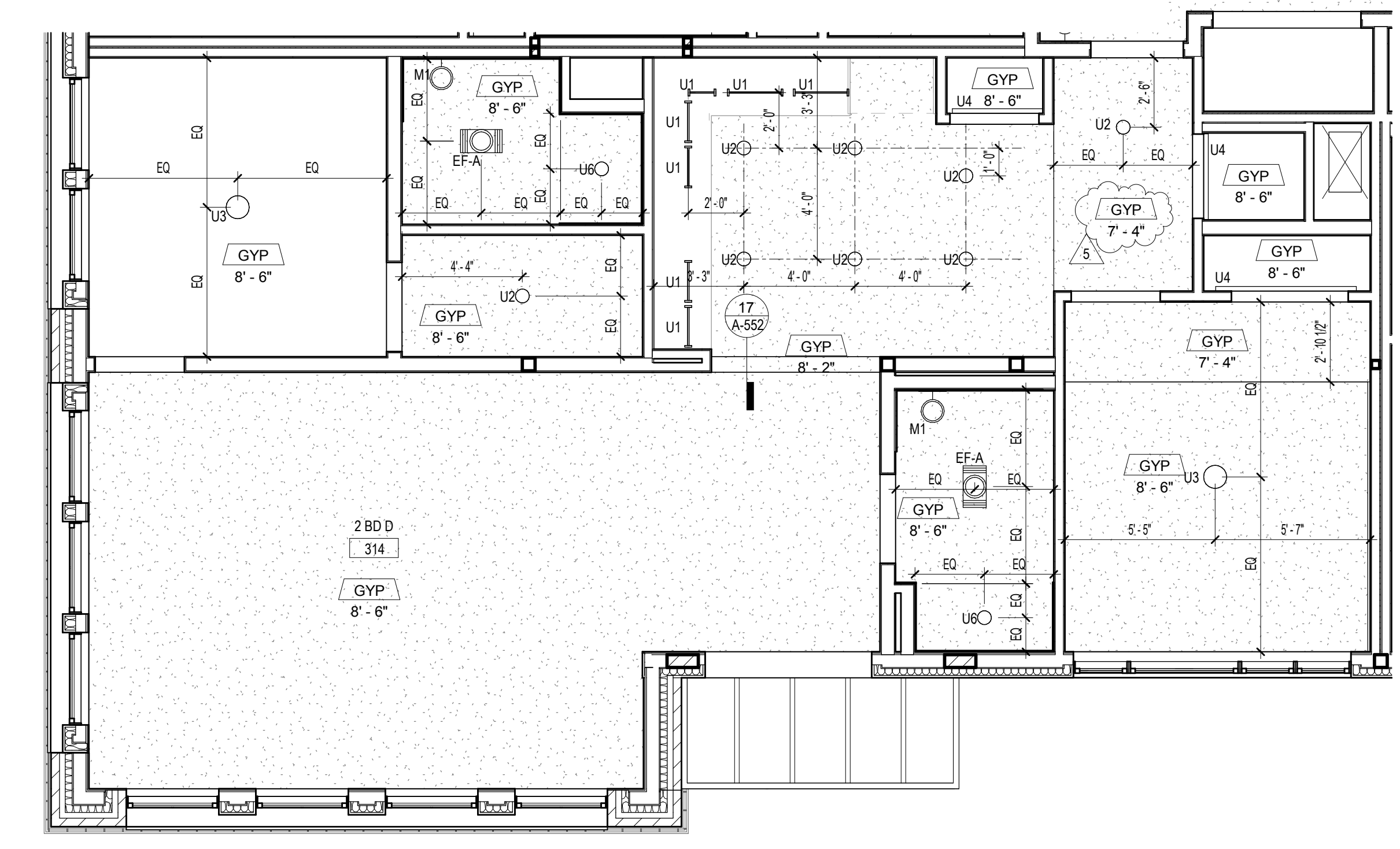
9 2 BED D - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



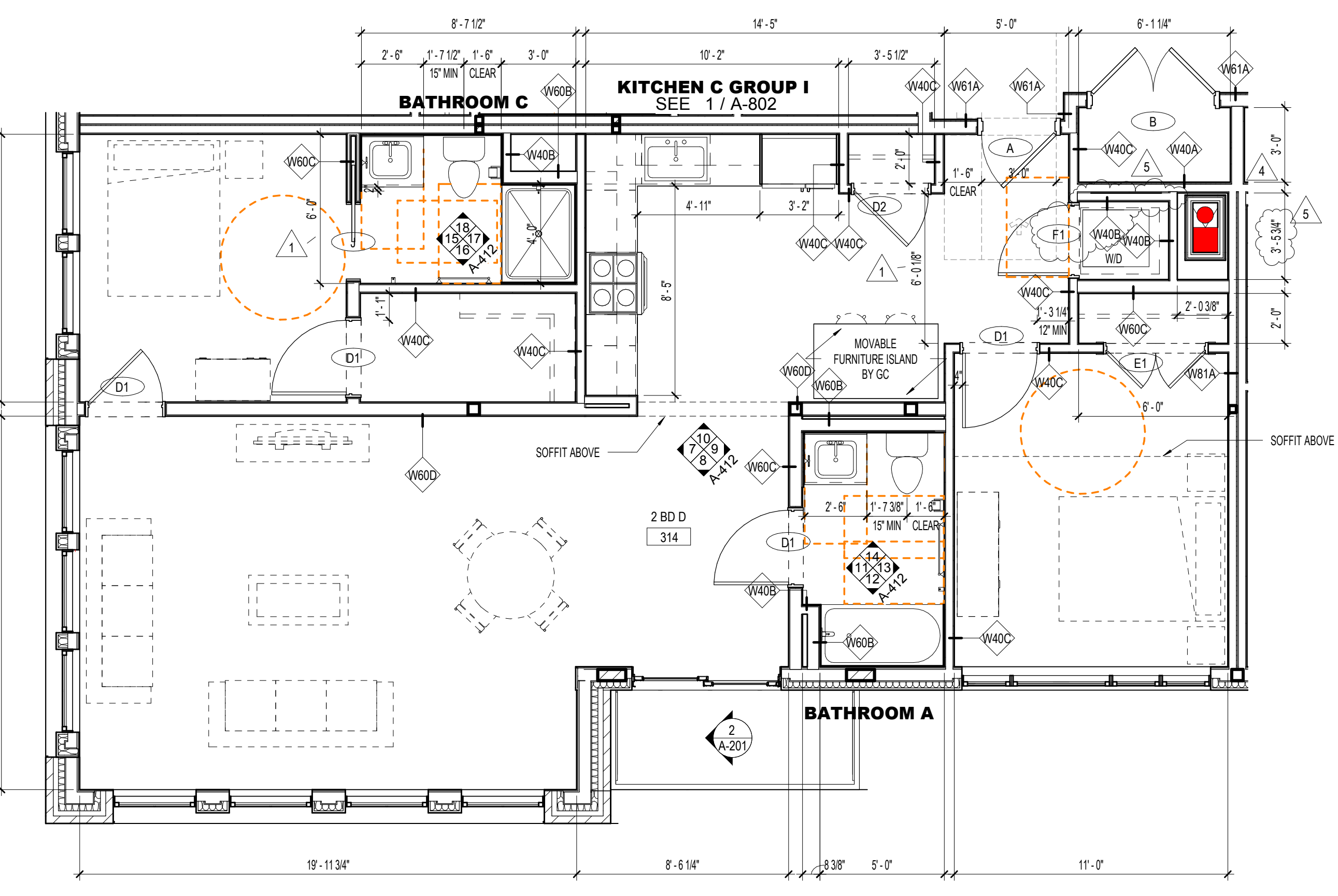
8 2 BED D - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



7 2 BED D - KITCHEN/LIVING (GROUP I)
 1/4" = 1'-0"



2 ENLARGED RCP - 2 BED D GROUP I
 1/4" = 1'-0"



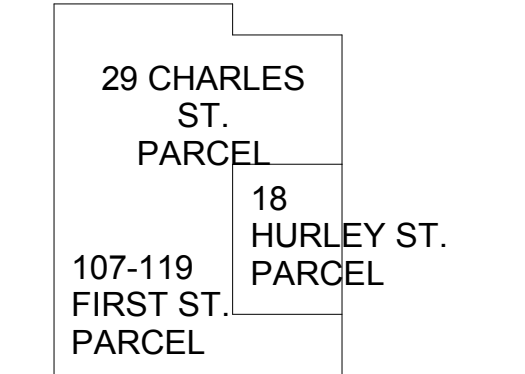
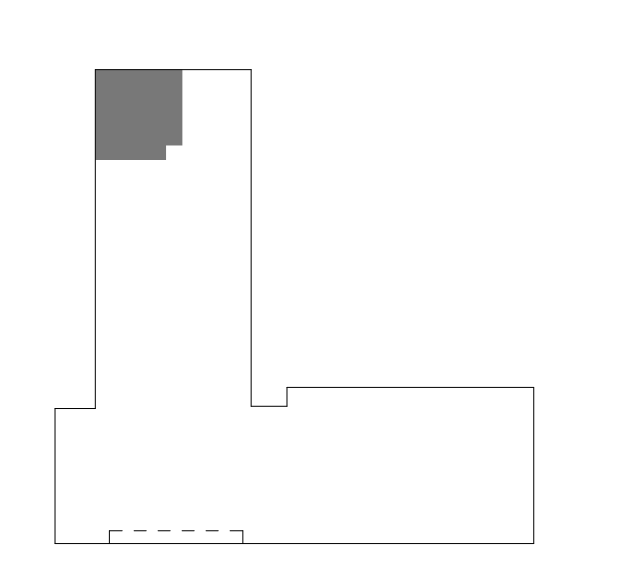
1 ENLARGED PLAN - 2 BED D GROUP I
 1/4" = 1'-0"

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 2 BD D

DRAWING HISTORY:		
NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/3/19	Addendum 4
5	5/15/19	Addendum 5



SEAL: NORTH

PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

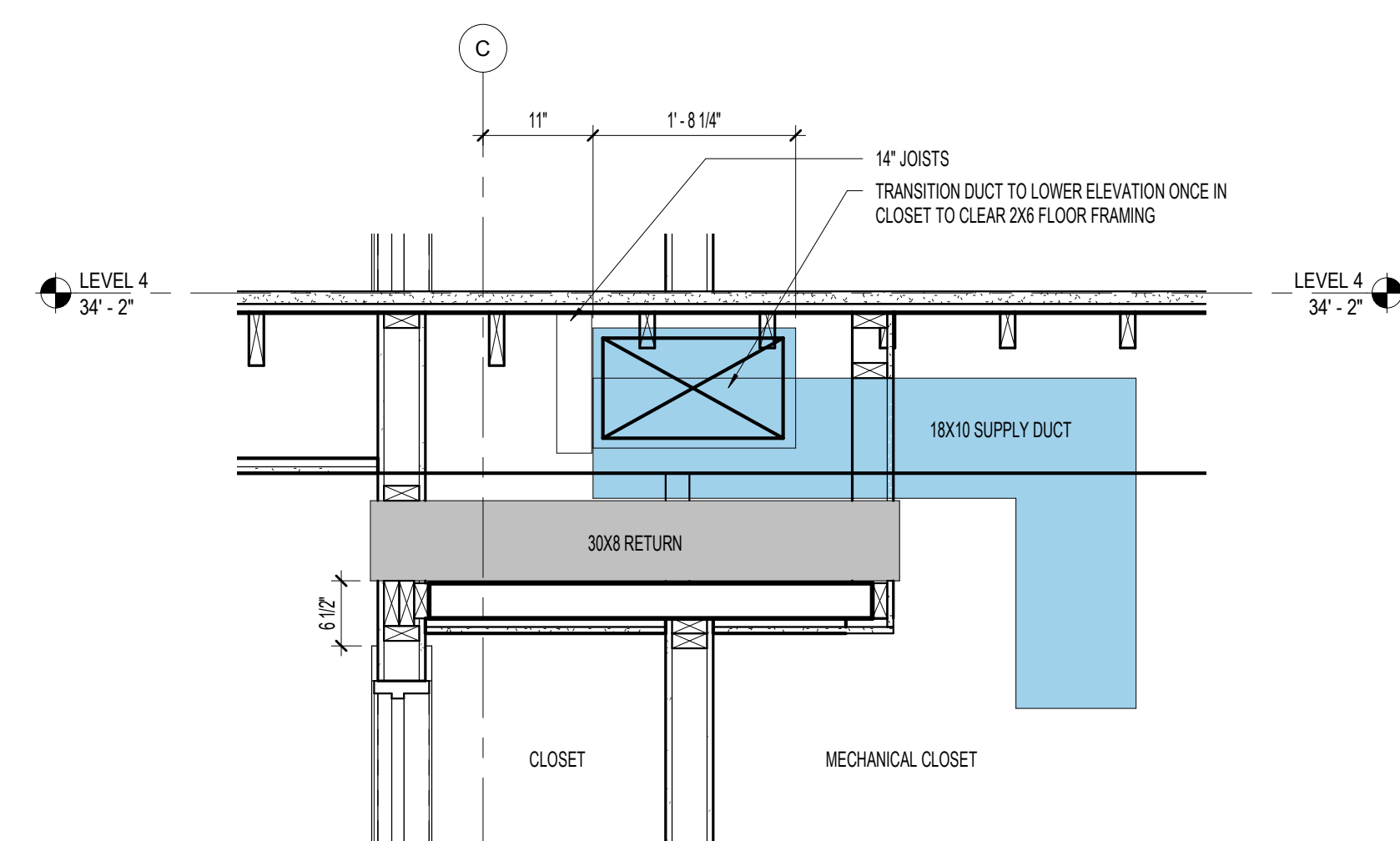
PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION:
ENLARGED UNIT PLANS - 3 BD A

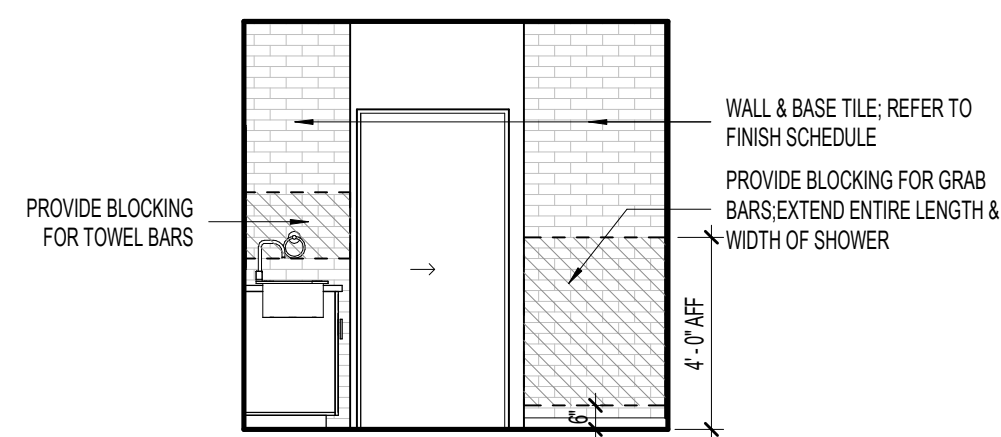
DRAWING HISTORY:

NO.	DATE	DESCRIPTION
1	5/10/18	Addendum 1
4	4/31/19	Addendum 4
5	5/15/19	Addendum 5

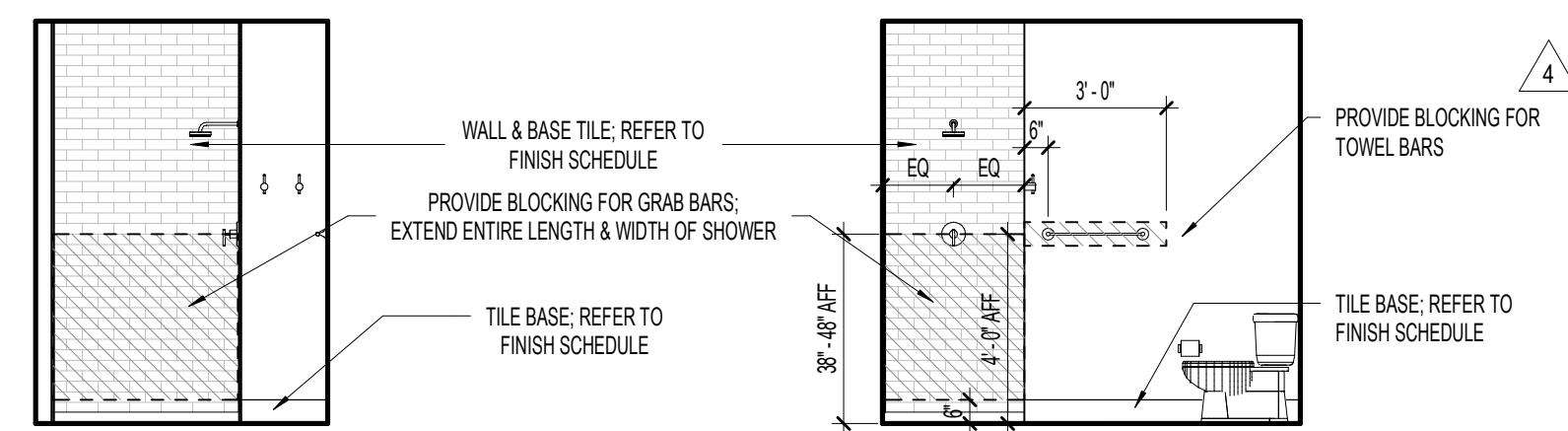
SHEET # **A-413**



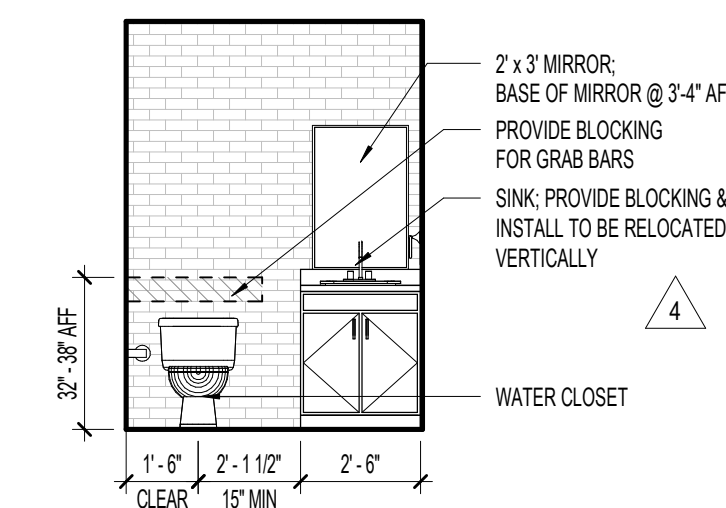
15 SECTION DETAIL THROUGH MECHANICAL CLOSET
3/4\"/>



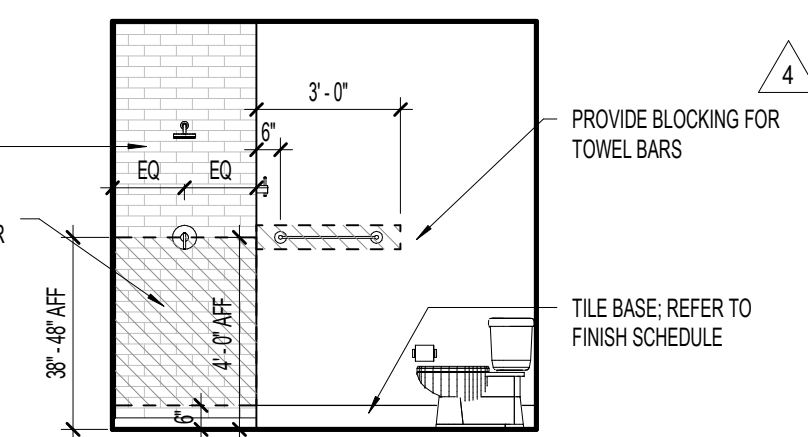
14 BATHROOM D
1/4\"/>



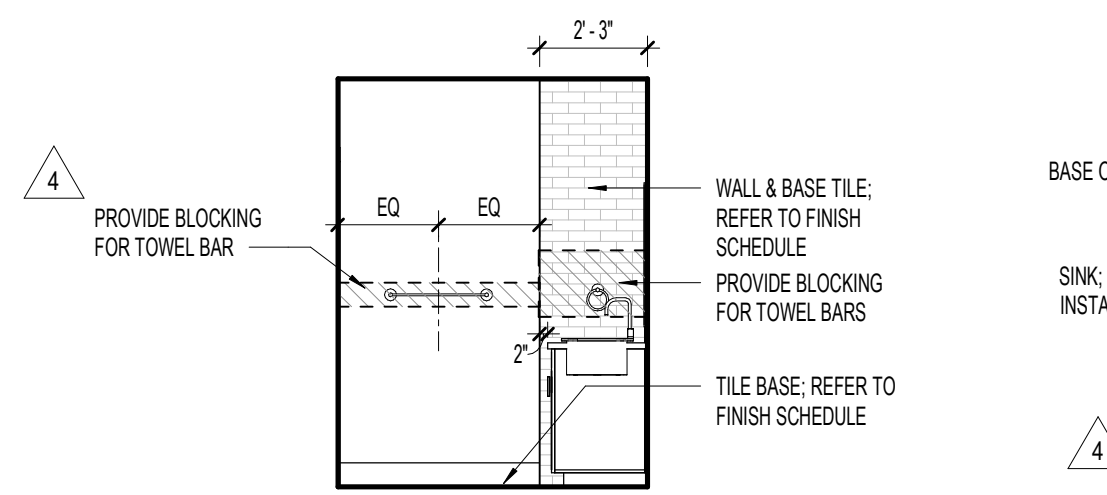
13 BATHROOM D
1/4\"/>



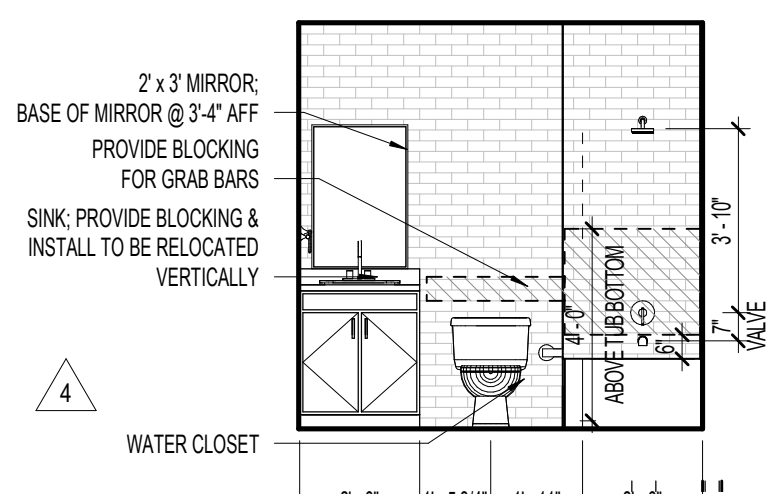
11 BATHROOM D
1/4\"/>



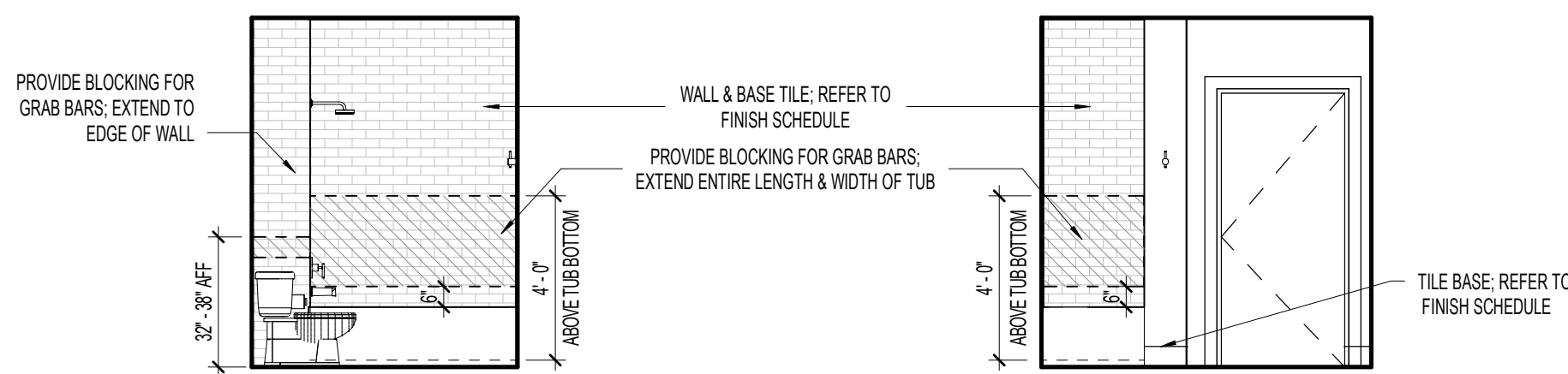
12 BATHROOM D
1/4\"/>



10 BATHROOM A
1/4\"/>

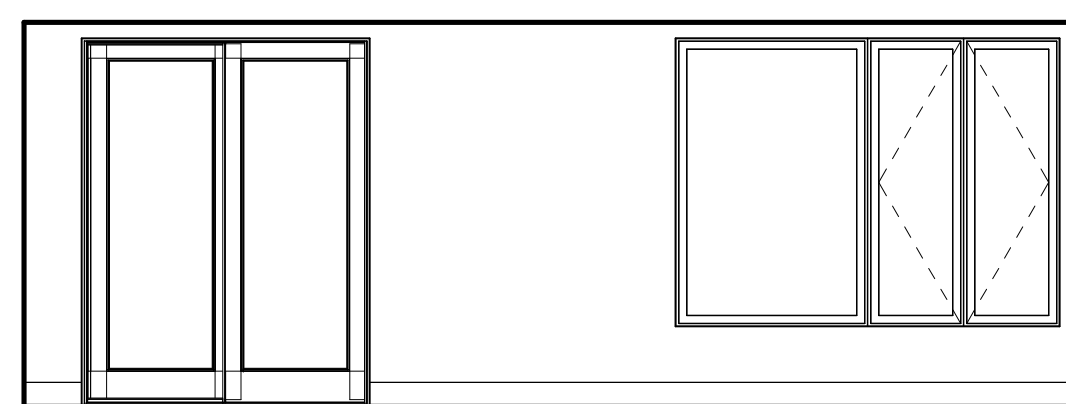


9 BATHROOM A
1/4\"/>

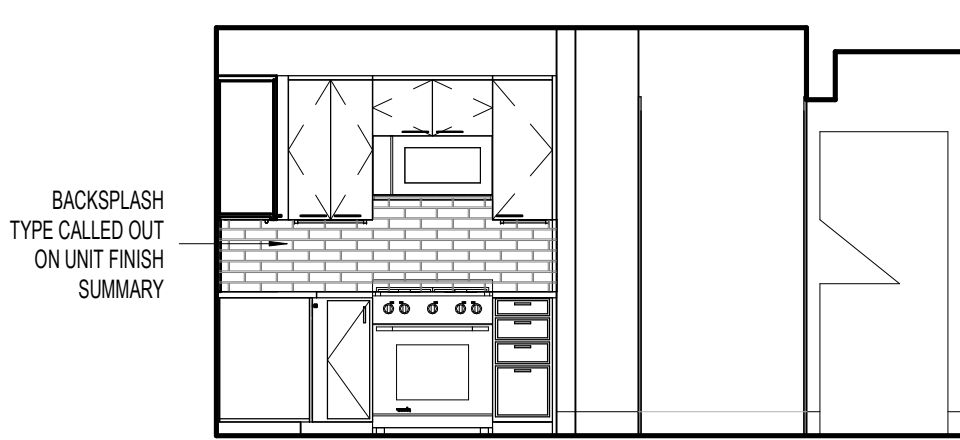


8 BATHROOM A
1/4\"/>

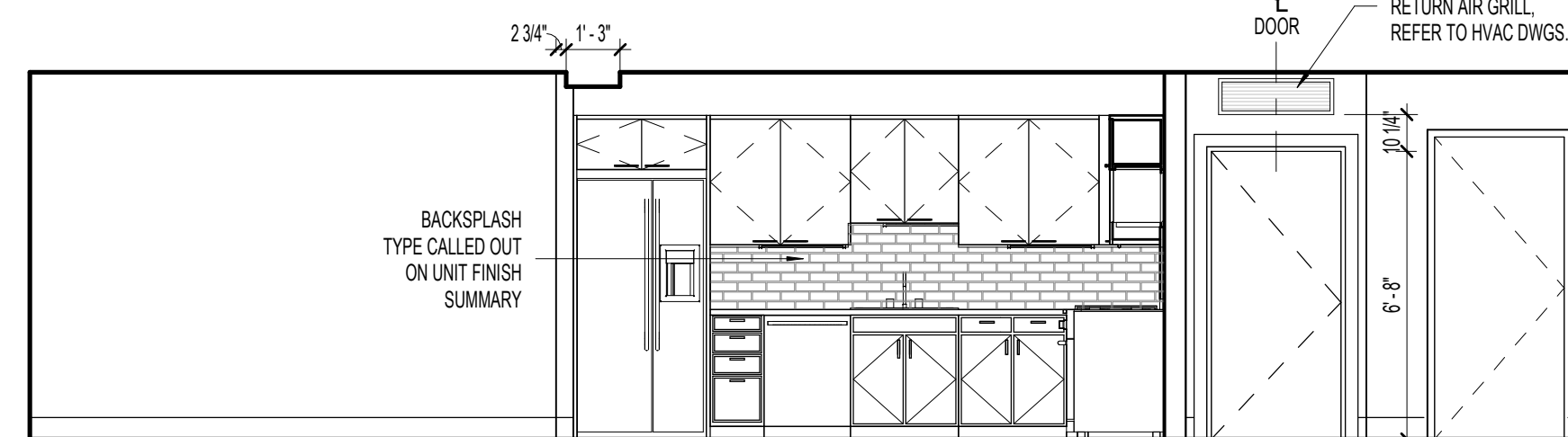
7 BATHROOM A
1/4\"/>



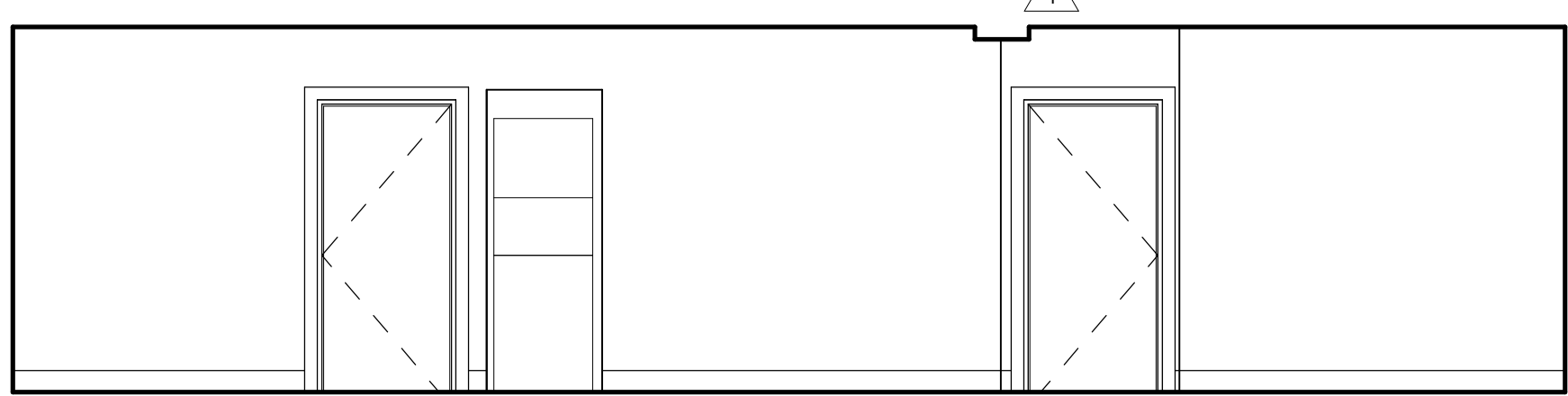
6 3 BED A - KITCHEN/LIVING (GROUP I)
1/4\"/>



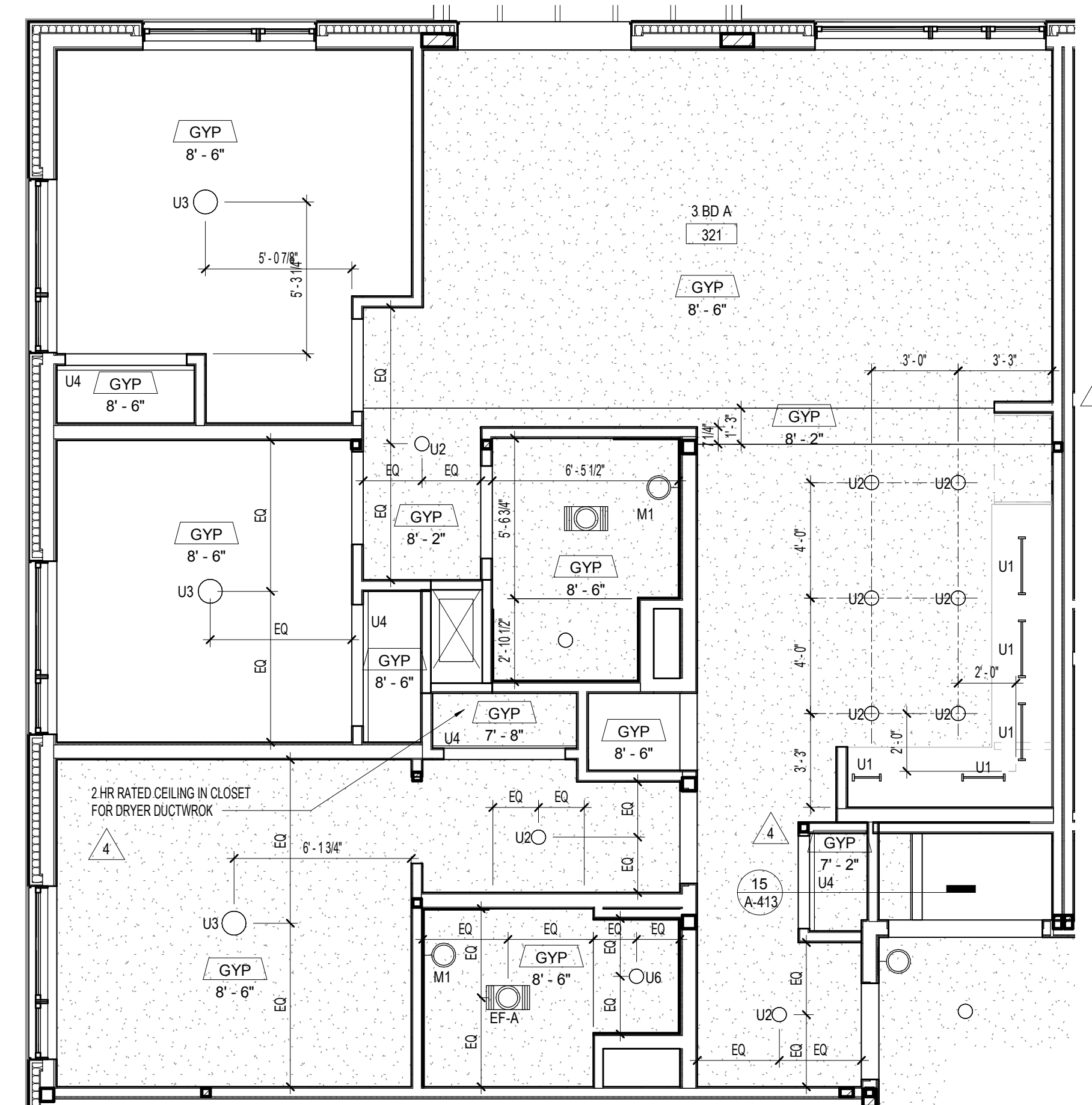
4 3 BED A - KITCHEN/LIVING (GROUP I)
1/4\"/>



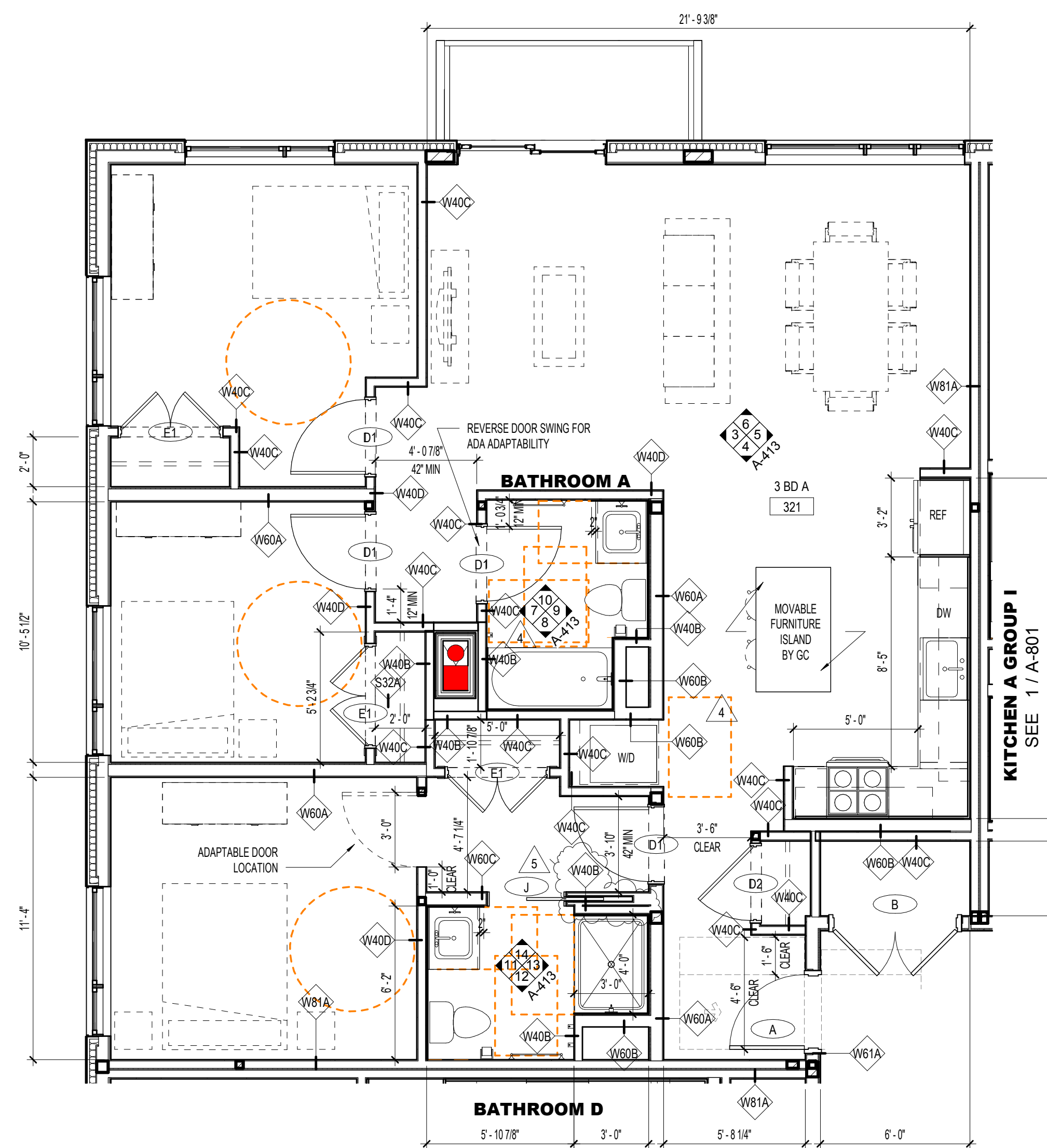
5 3 BED A - KITCHEN/LIVING (GROUP I)
1/4\"/>



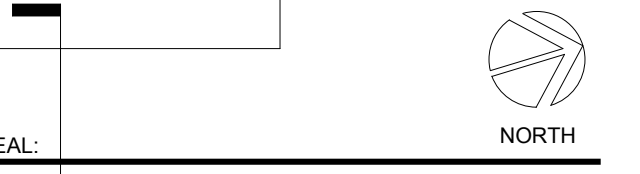
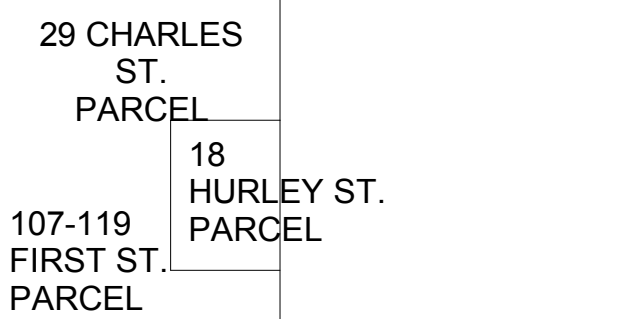
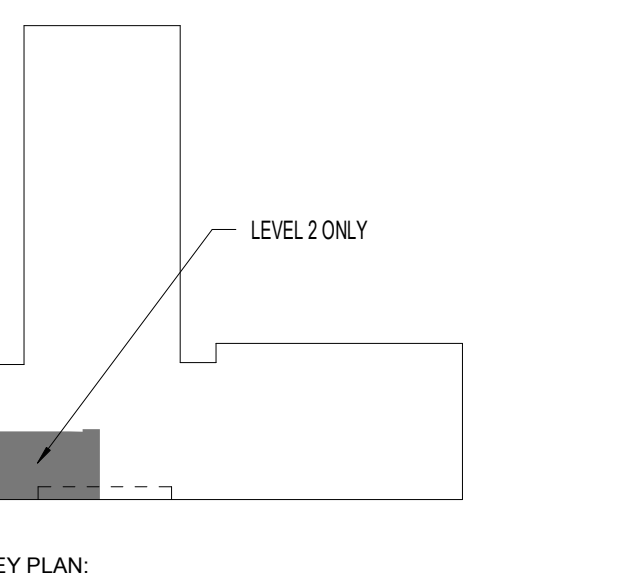
3 3 BED A - KITCHEN/LIVING (GROUP I)
1/4\"/>



2 ENLARGED RCP - 3 BED A GROUP I
1/4\"/>



1 ENLARGED PLAN - 3 BED A GROUP I
1/4\"/>



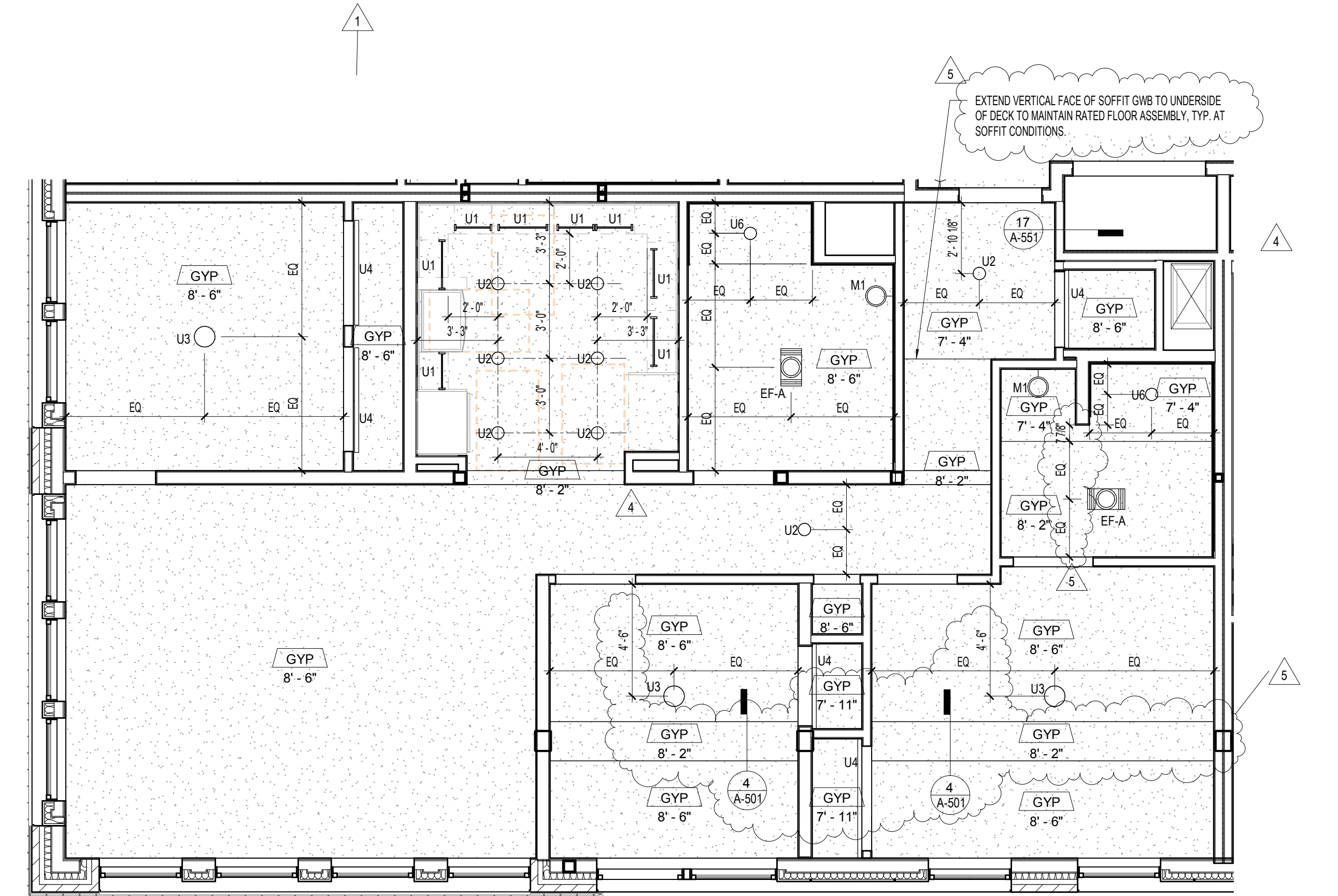
PROJECT INFORMATION:
107-119 FIRST STREET | FIRST STREET P.U.D.
 107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
 PROJECT ISSUE DATE: 15 MAY 2019
 PROJECT STATUS: ADDENDUM 5

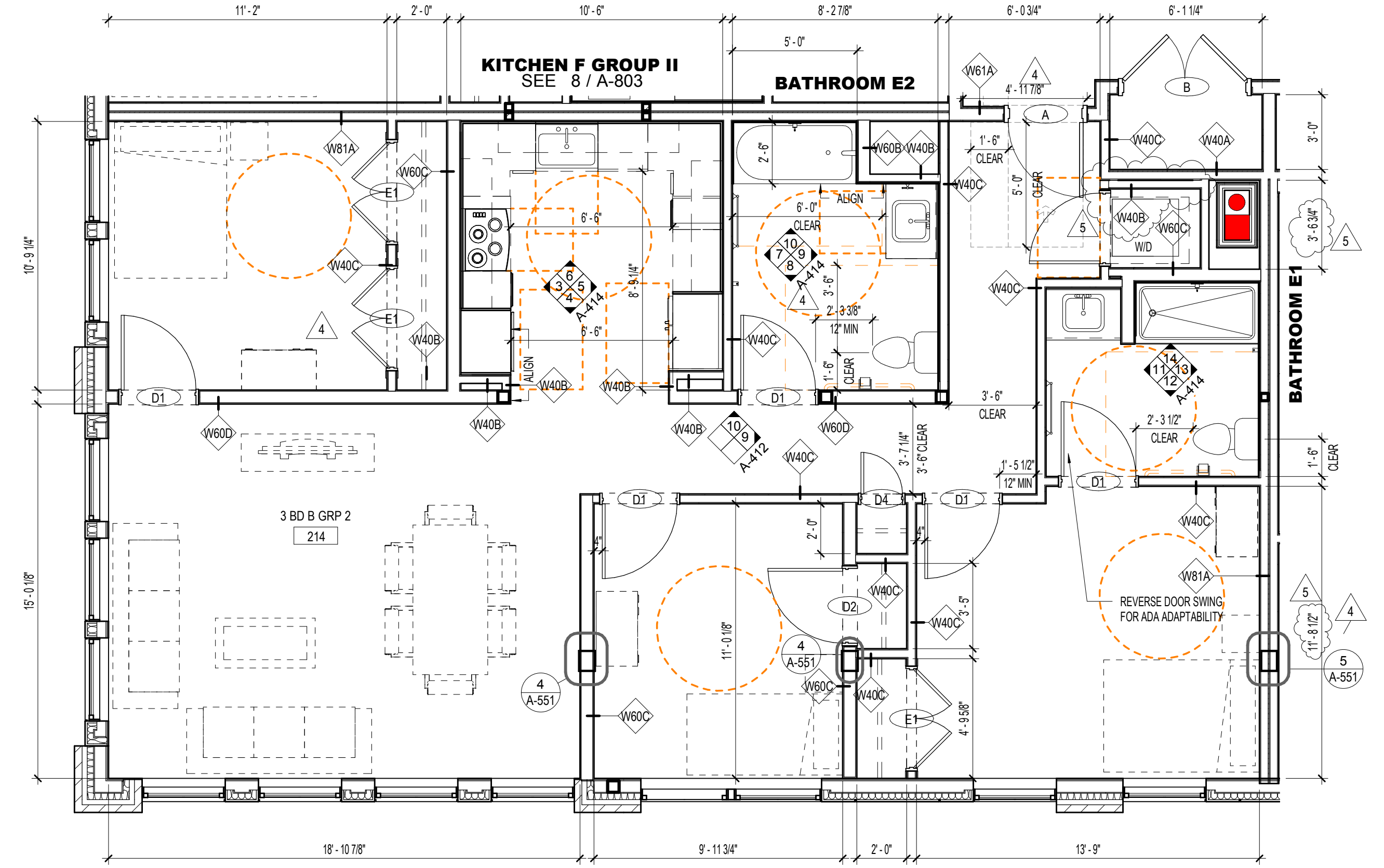
DRAWING INFORMATION:
ENLARGED UNIT PLANS - 3 BD B

DRAWING HISTORY:	
NO.	DESCRIPTION
1	5/10/18 Addendum 1
4	4/3/19 Addendum 4
5	5/15/19 Addendum 5

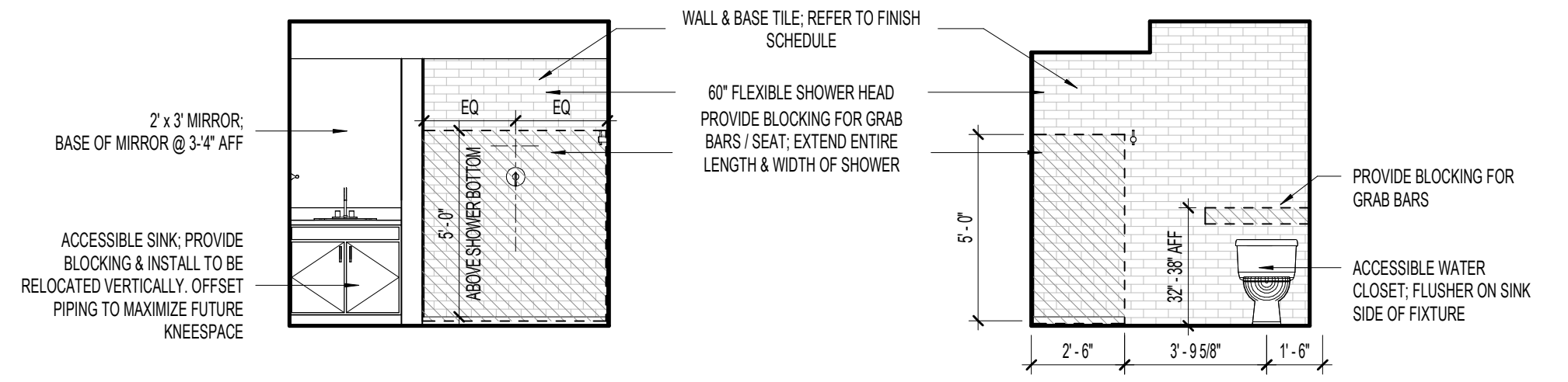
SHEET # **A-414**



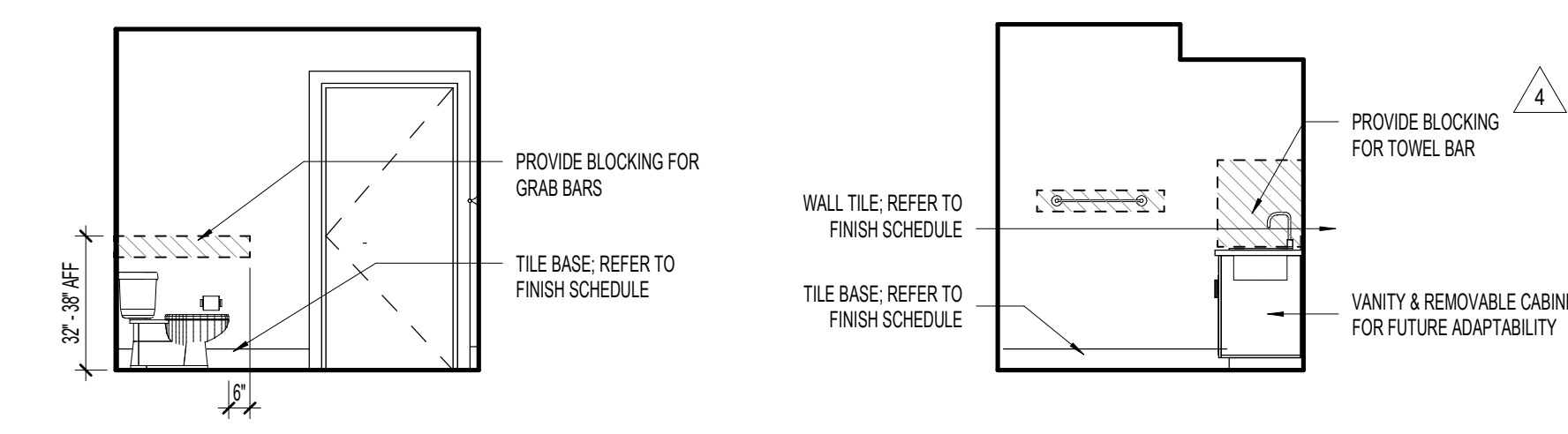
2 ENLARGED RCP - 3 BED B GROUP II
 1/4" = 1'-0"



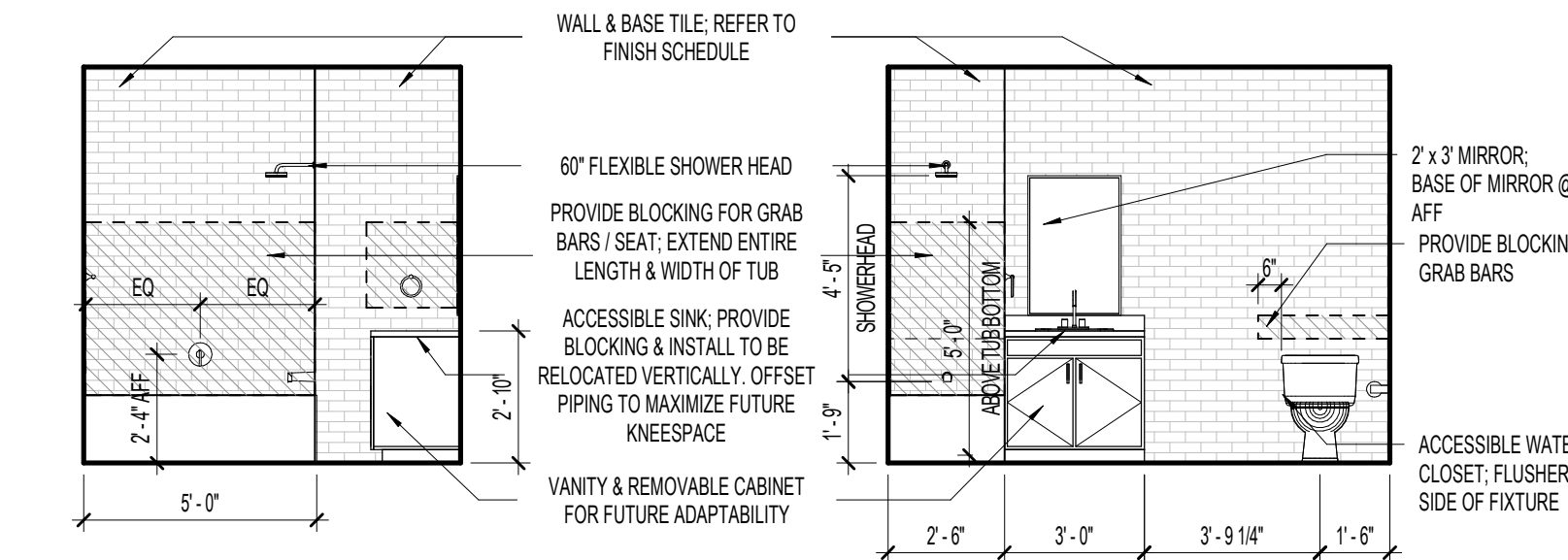
1 ENLARGED PLAN - 3 BED B GROUP II
 1/4" = 1'-0"



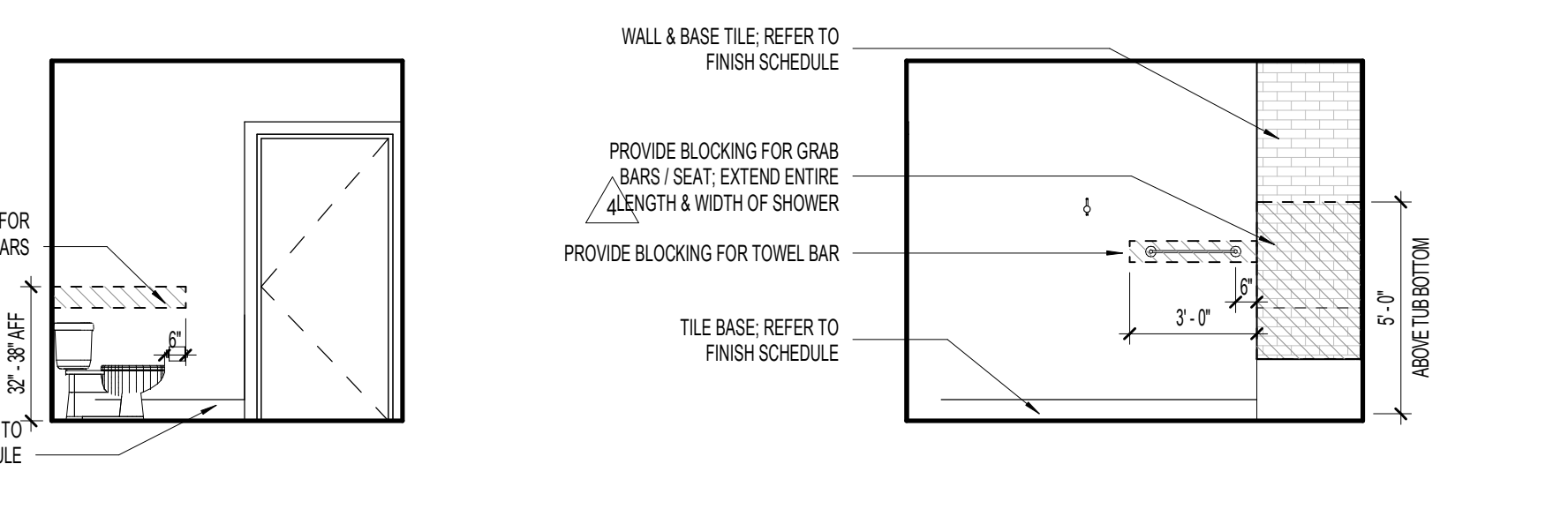
14 BATHROOM E1 1/4" = 1'-0"
13 BATHROOM E1 1/4" = 1'-0"



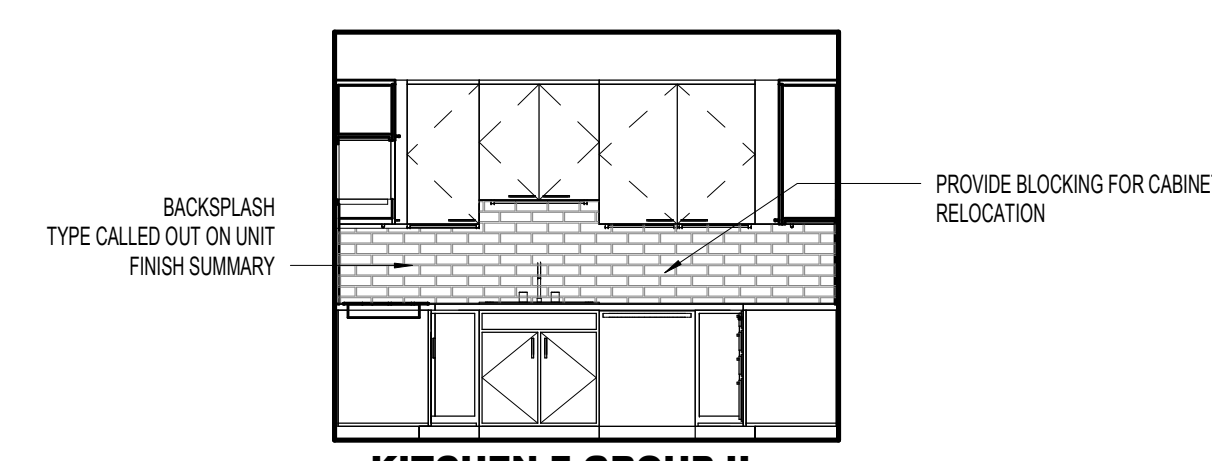
12 BATHROOM E1 1/4" = 1'-0"
11 BATHROOM E1 1/4" = 1'-0"



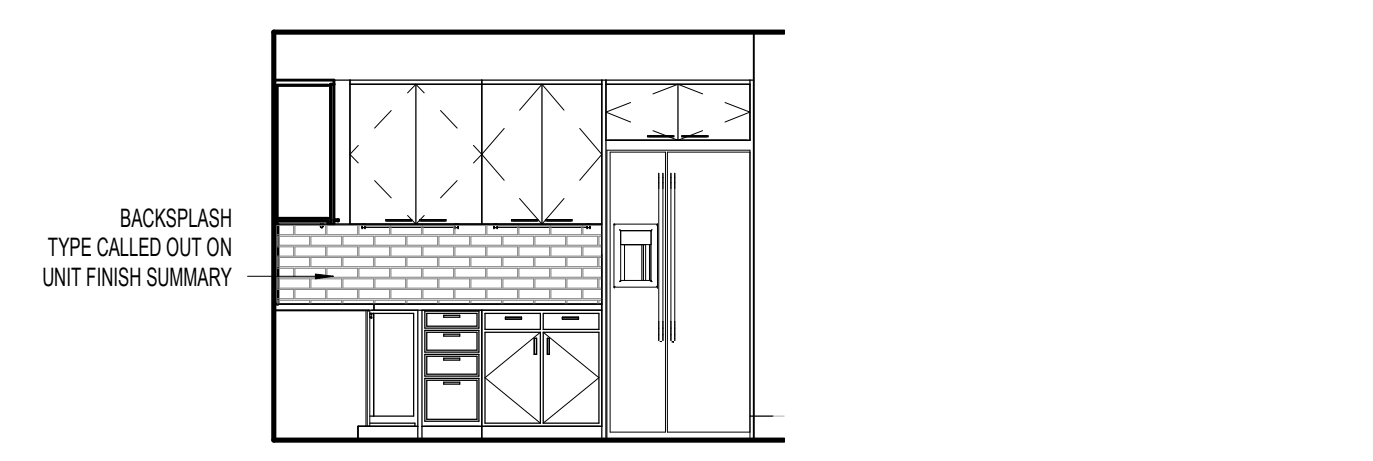
10 BATHROOM E2 1/4" = 1'-0"
9 BATHROOM E2 1/4" = 1'-0"



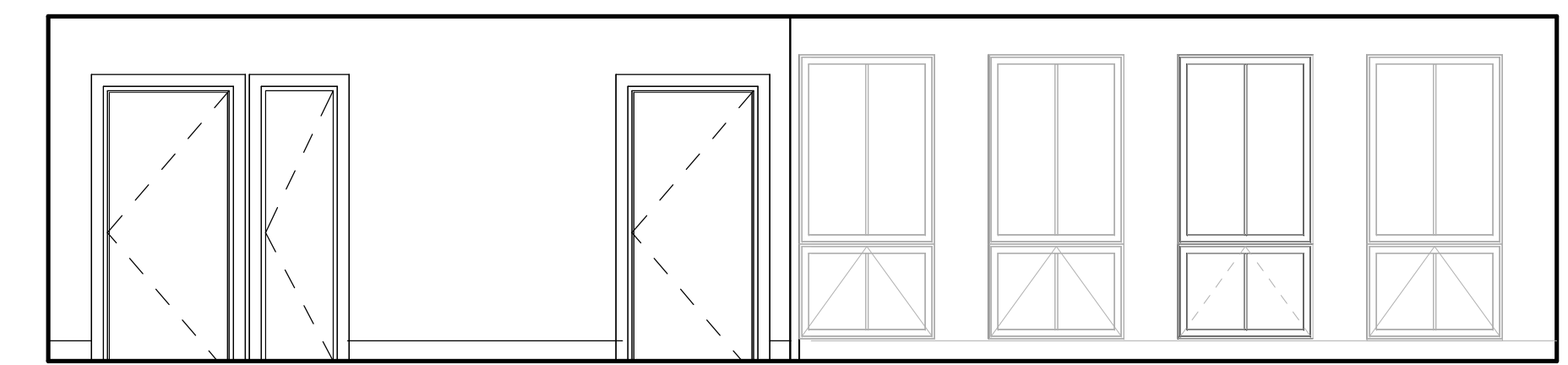
8 BATHROOM E2 1/4" = 1'-0"
7 BATHROOM E2 1/4" = 1'-0"



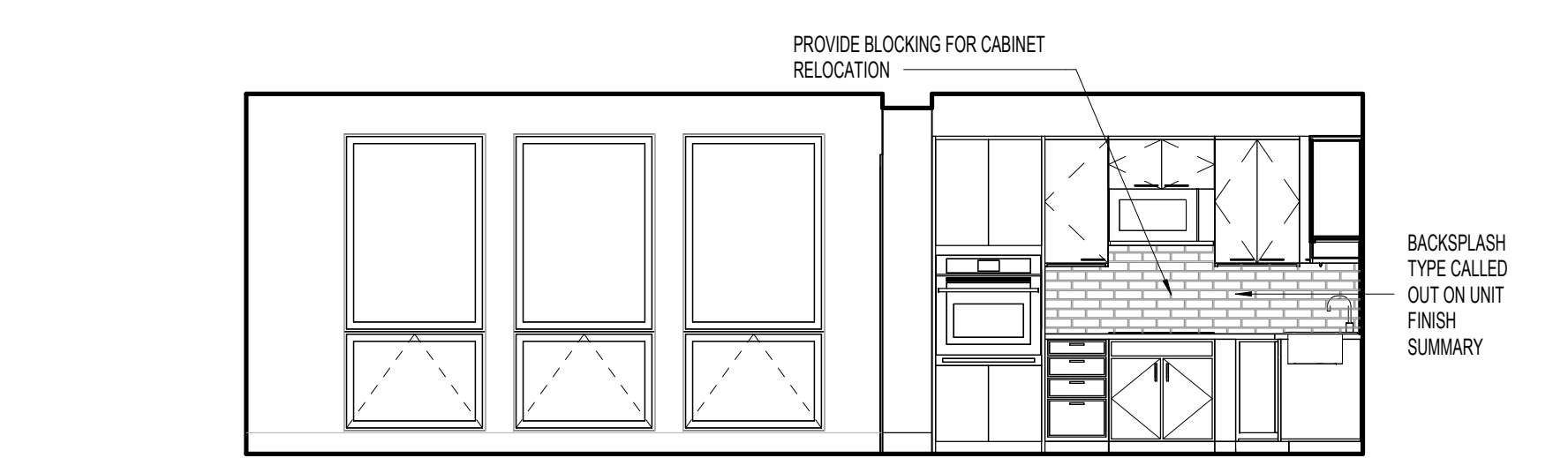
6 3 BED B - KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



5 3 BED B - KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



4 3 BED B - KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



3 3 BED B - KITCHEN/LIVING (GROUP II)
 1/4" = 1'-0"



April 29, 2021

Cara Cooper
Regional Marketing Director
Lincoln Property Company - Northeast
221 Crescent Street, Ste 102A
Waltham, MA 02453

Dear Cara:

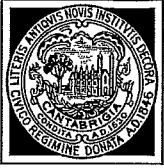
As Landlord of Flats on First located at 107 First Street in Cambridge, I authorize the proposed banners to be installed on the building (locations A&B as shown below) so long as it is approved by the City of Cambridge.



Best regards,

David Notter

Cara Cooper 5.10.2021
Regional Marketing Director
Lincoln Property Company



CITY OF CAMBRIDGE
Community Development Department

SIGN CERTIFICATION FORM
COVER SHEET

IRAM FAROOQ
Assistant City Manager for
Community Development

SANDRA CLARKE
Deputy Director
Chief of Administration

KHALIL MOGASSABI
Deputy Director
Chief of Planning

Sign Text: Flats on First - flatsonfirststaps.com

Location of Sign: 131 First St., Cambridge, MA 02141

Applicant: Frank Meroney o/b/o Fast Signs

Zoning District: Business A Overlay District: PUD-4B

Area of Special Planning Concern: (Sec. 19.46 & 19.42.1) No

Application Date: April 21, 2021

Sketch of sign enclosed: Yes No

PLEASE NOTE: All signs must receive a permit from the Inspectional Services Department (ISD) before installation. Community Development Department Certification action does NOT constitute issuance of a permit or certification that all other code requirements have been met. Do not contract for the fabrication of a sign until all permits have been issued including City Council approval, if necessary for signs in the public way*.

* Any sign or portion of a sign extending more than six (6) inches into the public way/sidewalk, must receive approval from the Cambridge City Council; a bond must be posted with the City Clerk.

The Sign Ordinance is available online under Article 7.000 at <https://www.cambridgema.gov/CDD/zoninganddevelopment/Zoning/Ordinance>

Contact Liza Paden at 617 349 4647 or lpaden@cambridgema.gov for further information.

Proposed FREESTANDING Sign

Area in Square feet: 140 SQ/FT Dimensions: 35' H X 4' W

Illumination: Natural X Internal External

Height (from ground to the top of the sign): 20'

1. COMPLETE WHEN SIGN IS ACCESSORY TO A FIRST FLOOR STORE

Length in feet of store front facing street: (a) . Area of signs allowed accessory to store: outside (1 x a) , behind windows (0.5 x a) . Area of all existing signs on the store front to remain (including any freestanding sign): . Area of additional signs permitted: .

2. COMPLETE FOR ANY OTHER SIGN

Length in feet of building facade facing street: (a) 289 Linear Feet Area of signs allowed accessory to the building facade: outside (1 x a) , behind windows (0.5 x a) Area of all existing signs on the building facade to remain (including any freestanding sign): Area of additional signs permitted: .

SUMMARY OF LIMITATIONS FOR FREESTANDING SIGNS (see reverse side for more general summary of the sign regulations; review Article 7.000 of the Zoning Ordinance for all zoning requirements.)
AREA: 30 square feet maximum. HEIGHT ABOVE THE GROUND: 15 feet. ILLUMINATION: Natural or external only. NUMBER: Two per lot (but not exceeding 30 square feet in total area).

COMMUNITY DEVELOPMENT DEPARTMENT CERTIFICATION

Sign conforms to requirements of Article 7.000: YES NO X

Sign requires a variance from the Board of Zoning Appeal: YES X

Relevant sections: 7.16.22(B) limits the size of individual wall signs to no more than sixty (60)

COMMENTS: square feet. Proposed signage is 280 square feet (2x 140 sq/ft signs)

Date: 5-4-21 CDD Representative Daniel Messplay 

24" 24"

flatsonfirstapts.com

flatsonfirstapts.com



FLATS ON FIRST

FLATS ON FIRST



420"

flatsonfirstapts.com

flatsonfirstapts.com



FLATS ON FIRST

FLATS ON FIRST



Corner of Building

Digitally Printed
Mesh Banners
with Grommets
Single Sided
Qty: 2
Overall Banner Size = 48" w x 420" h



70 Quincy Ave. Quincy, MA 02169 | 617-302-2882 | 2095@fastsigns.com | www.fastsigns.com/2095

Client: Lincoln Property

Job Number: 9057

Date: 04.21.2021

Project: Building Banners

Revision: 1

Please review the entire preview carefully. Production will begin when proof approval has been received. Fastsigns Quincy is not responsible for approvals of Copyright, Trademark, and Licensing Agreements of artwork. All artwork is the exclusive property of Fastsigns Quincy and cannot be reproduced without the expressed written consent of Fastsigns Quincy. Actual printed colors may vary slightly due to differences in digital and pigmented colors. Location of lettering on vehicles, doors, windows and walls is a close representation of placement and is not guaranteed. Field adjustments can be required but will not change the character of the overall design. One revision can be provided free of charge if needed. Each additional revision will be subject to a \$20 art charge. If cancellation is requested after proof completion, cancellation fees will be assessed. If a proof containing errors is approved, the customer is responsible for all costs, including all original costs of printing, art corrections, and reprints.



A

B

Comprehensive Summary by Parcel and Phase (at time of this Major Amendment)

Completed (PUD 231A)

Parcel / Address	Lot Area	Res GFA	NR GFA	Retail	D. Units	Pkg	OS
65 Bent St.	59,958	0	108,600	0	0	98	11,297
159 First St.	29,978	122,200	3,800	3,800	115	63	8,021
*29 Charles	-	-	-	-	-	-	-
TOTAL	89,936	122,200	112,400	3,800	115	161	19,318

Phase 1

Parcel	Lot Area	Res GFA	NR GFA	Retail	D. Units	Pkg	OS
A	16,473	0	56,691	9,800	0	10	329
D	16,250	0	7,750	7,750	0	24	316
TOTAL	32,723	0	64,441	17,550	0	34	645
cumul.	122,659	122,200	176,841	21,350	0	195	19,963

Phase 2

Parcel	Area	Res GFA	NR GFA	Retail	D. Units	Pkg	OS
B	39,999	102,423	14,800	14,800	118	26	20,227
*C	20,005	18,502	0	0	18	142	137
TOTAL	60,004	120,925	14,800	14,800	136	168	20,364
cumul.	182,663	243,125	191,641	36,150	251	363	40,327

*29 Charles was previously included in PUD231A, the scope of this parcel has been amended and is now summarized within "Parcel C"

Lot Area = lot area of developable blocks only excluding streets (square feet)

GFA = gross floor area (square feet)

OS = public, green area or permeable open space (square feet)

D.Units = dwelling units

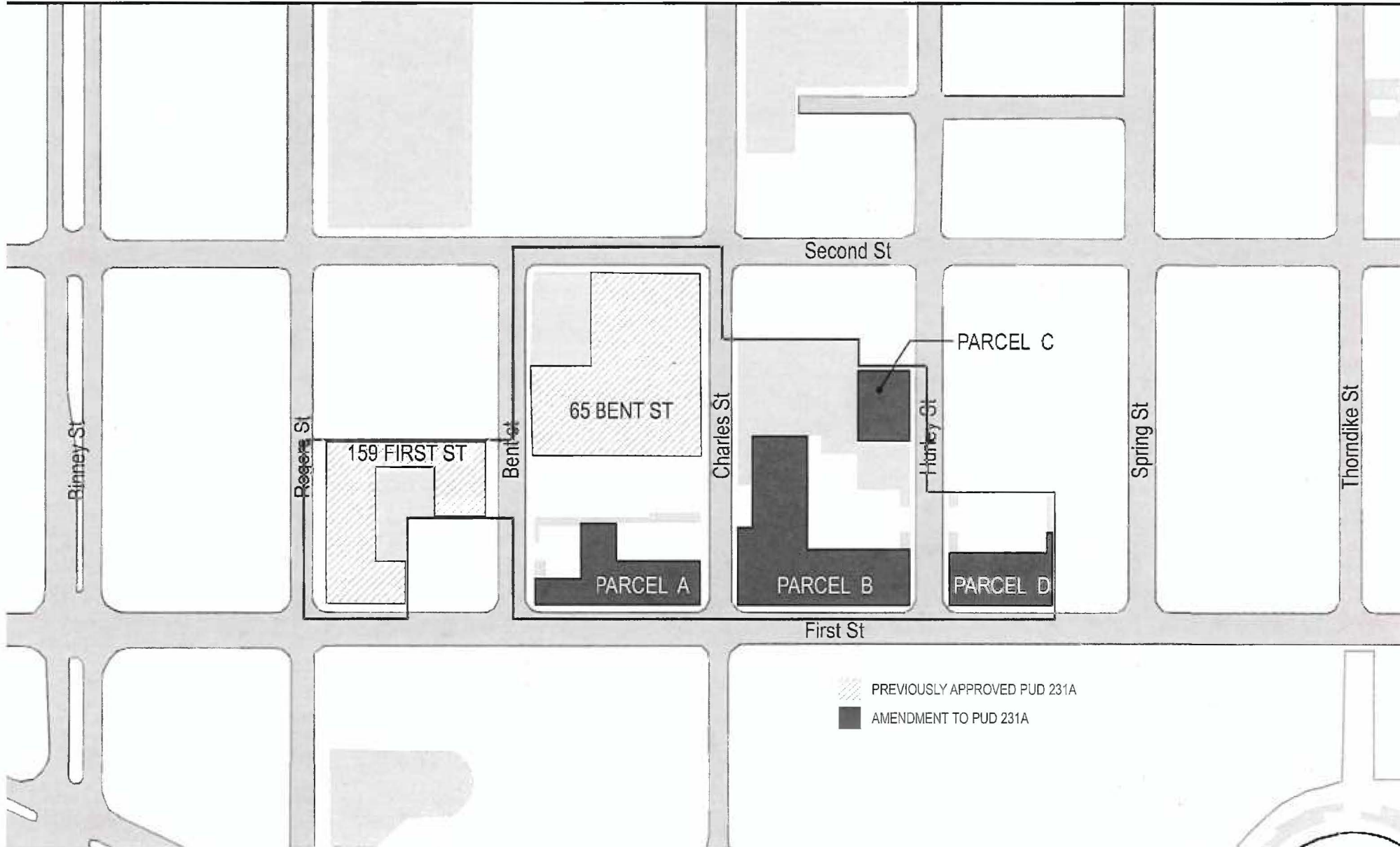
Pkg = motor vehicle parking spaces

"Res" refers to residential *minimum* requirements

"NR" refers to non-residential *maximum* limitations

"total" = total allowed or required within that Phase

"cumul." = cumulative development at the end of Phase



DIMENSIONAL FORM

Project Address: First Street PUD #231A Major Amendment - Aggregate Dimensional Form

Application Date: 7.24.15

Minor Amendment _Parcel D retail 10.16.2017

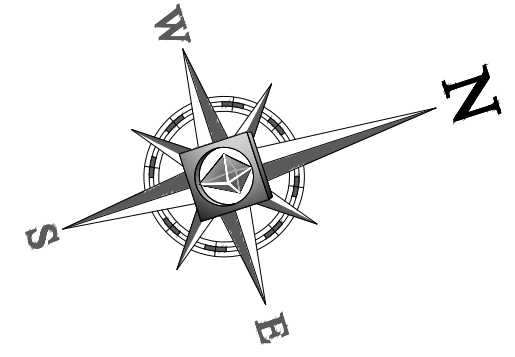
	Parcel A (121 First, 131-137 First, 139 First)	Parcel B (107 First, 119 First, 18 Hurley)	* Parcel C (29 Charles)	Parcel D (85 First)	65 Bent (PUD 231A)	* 159 First (PUD 231A)	Proposed	Permitted
Lot Area (SF)	16,473	39,999	20,005	16,250	59,958	29,978	182,663	
Lot Width (SF)	199	199.96		125	199.72	200		
Total Gross Floor Area (SF)	56,691	117,233	18,502	9,800	108,600	126,000	436,826	
Residential Base	0	74,928	18,502	0	0	122,200	215,630.00	
Non-Residential Base	56,691	14,800	0	9,800	108,600	3,800	193,691	
Inclusionary Housing Bonus	0	27,505		0	included above		27,505	
Total Floor Area Ratio	3.1	2.26	0.92	0.6	1.81	4.20	2.148	
Residential Base	0	1.55	0.92	0	0	4.08	1	
Non-Residential Base	3.1	0.24	0	0.6	1.81	0.13	1	
Inclusionary Housing Bonus	0	0.45		0	0	included above	0	
Total Dwelling Units	n/a	118	18	n/a	0	115	251	
Base Units	n/a	91	15	n/a	0	100	106	
Inclusionary Bonus Units	n/a	27	3	n/a	0	15	42	
Base Lot Area / Unit (SF)	n/a	761		n/a	n/a	1,019	761	
Total Lot Area / Unit (SF)	n/a	593		n/a	n/a	886	593	
Building Height(s) (ft)	65'-0"	65'-0"	45'-0"	26'-0"	45'-0"	65'-0"	varies	
Front Yard setback (ft)	0	2'-0"	9'-0"	2'-0"	4'	1'-9"	varies	
Side Yard Setback (ft)	0	18'-0" (on charles street)		1'-0"	2'	5'	varies	
Side Yard Setback (ft)	0	0	10'-0"	0	2'	5'	varies	
Rear Yard Setback (ft)	0	2'-0"	126'-0"	50'-0"	45'	2'	varies	
Open Space (% of Lot Area)	1.90%	33%		1.90%	5.30%	4.00%	23%	
Private Open Space	329	20,227		348	11,297	8,021.00	40,222	
Permeable Open Space	329	0		348		316.00	993	
Other Open Space (specify)								
Off-Street Parking Spaces	10	26	142	11	94	64.00	347	
Long-Term Bicycle Parking	*16 located on Parcel C		159	1	28	78.00	266	
Short-Term Bicycle Parking	9	30		6		8.00	53	
Loading Bays	0	1	0	0	2	0.00	3	

CITY OF CAMBRIDGE, MA

PLANNING BOARD

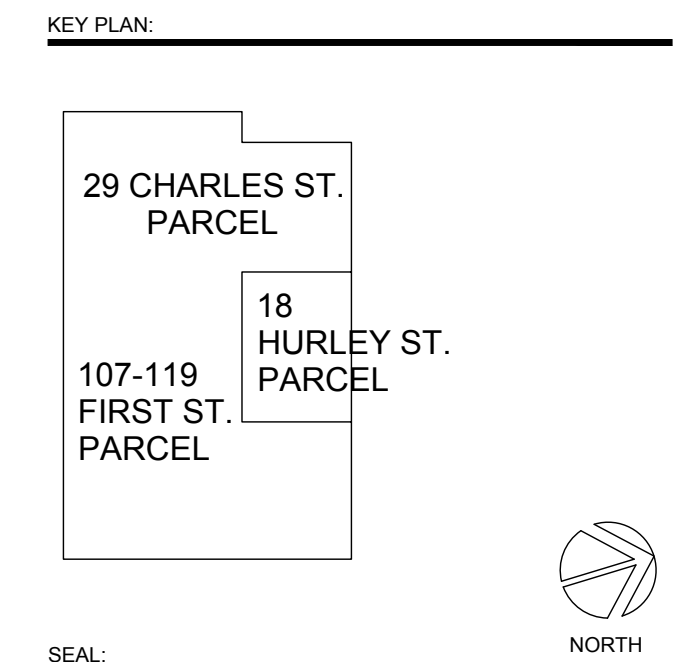
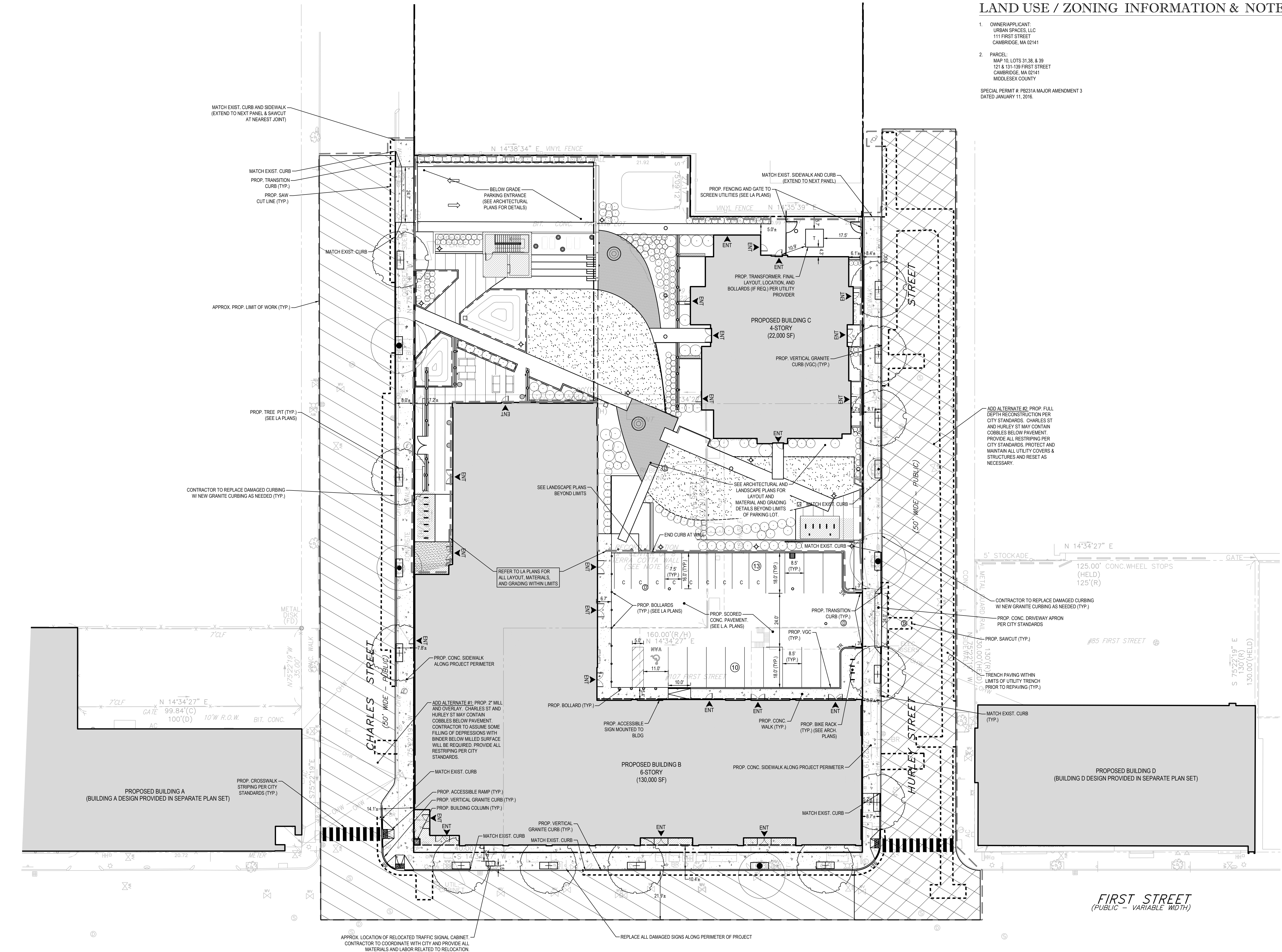
SPECIAL PERMIT APPLICATION

* Parcel resides within Industry A1 zone. All other parcel without asterisk reside within Business A



LAND USE / ZONING INFORMATION & NOTES

- OWNER/APPLICANT:
URBAN SPACES, LLC
111 FIRST STREET
CAMBRIDGE, MA 02141
 - PARCEL:
MAP 10, LOTS 31, 38 & 39
121 & 131-138 FIRST STREET
CAMBRIDGE, MA 02141
MIDDLESEX COUNTY
- SPECIAL PERMIT & REG 31A MAJOR AMENDMENT 3
DATED JANUARY 11, 2016.



SEAL: _____

PROJECT INFORMATION:

107-119 FIRST STREET | FIRST STREET P.U.D.
107-119 First Street Cambridge, MA 02141

PROJECT #: 54862
PROJECT ISSUE DATE: 15 MAY 2019
PROJECT STATUS: ADDENDUM 5

DRAWING INFORMATION: SITE PLAN

DRAWING HISTORY:

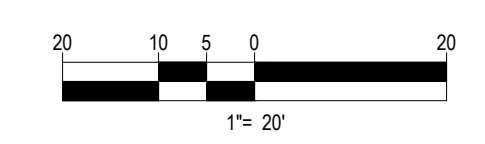
NO.	DATE	DESCRIPTION

SHEET #: **C-3**

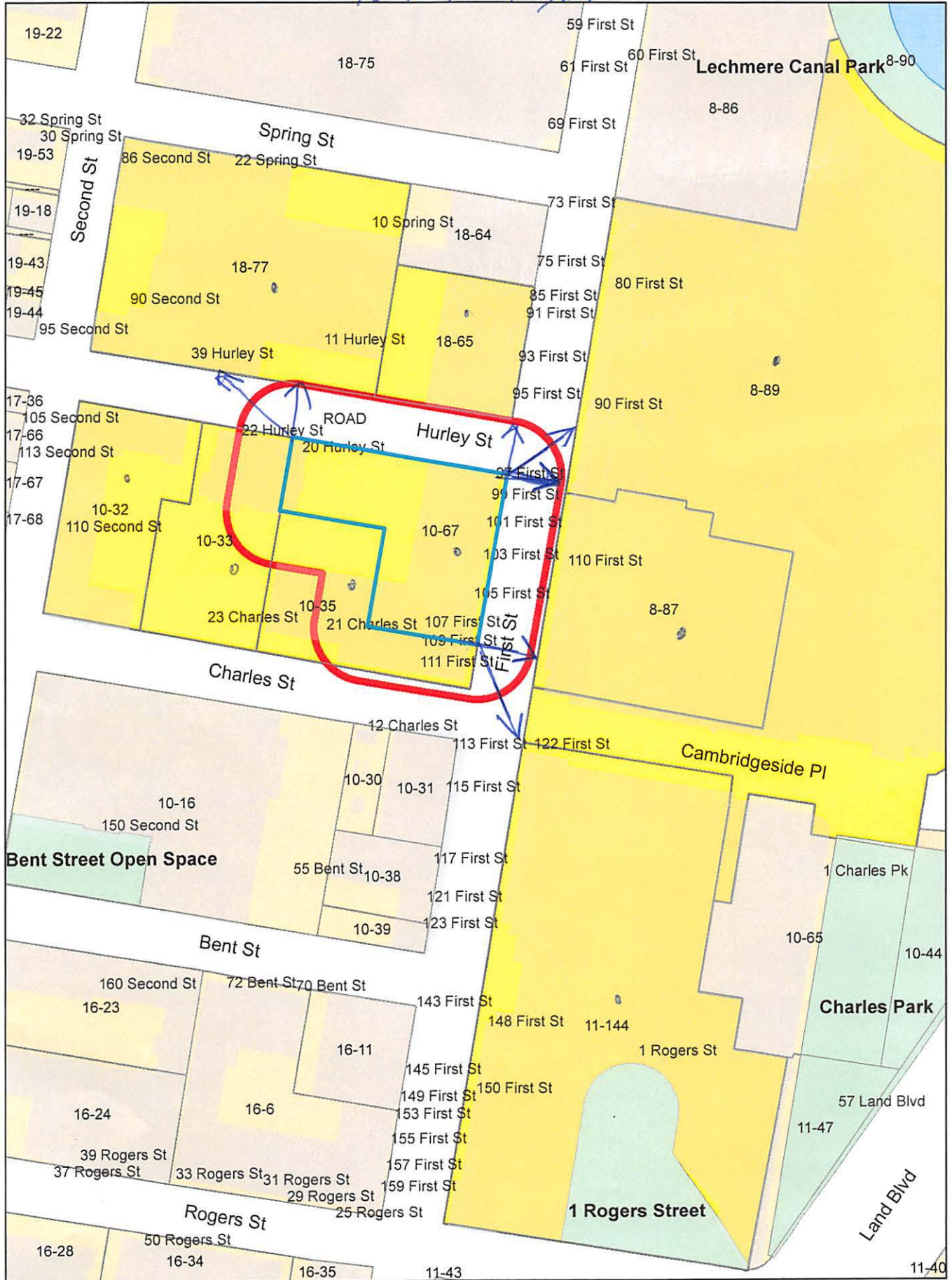
REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

C:\REVIT\LOCAL\Parcel B - Residential_R16_p_remains.nt
4/17/2018 11:29:40 AM



107 First St.



107 First St.

Petitioner
FASTSIGNS OF QUINCY
C/O FRANK MERONEY
70 QUINCY AVENUE
QUINCY, MA 02169

8-89
KARP, STEPHEN R., STEPHEN C. PLUMERI &
WILLIAM H. MCCABE, JR.
C/O NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116

11-144
CHARLES PARK TWO, LLC,
C/O JONES LANG LASALLE
1 ROGERS STREET
CAMBRIDGE, MA 02142

10-32
CHARLES PASSAGE LLC,
39 BRIGHTON AVE
BOSTON, MA 02134

8-87
CAMBRIDGESIDE PARTNERS LLC
C/O NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
ATTN: ACCOUNTING DEPT
BOSTON, MA 02116

10-67
US PARCEL B, LIMITED PARTNESHIP
C/O URBAN SPACES, LLC
55 BENT ST
CAMBRIDGE, MA 02141

18-77
ARE-MA REGION NO.55
EXCHANGE HOLDING LLC
PO BOX 847
CARLSBAD, CA 92018

10-35
IMANTA LLC
C/O HEMENWAY & BARNES LLP
75 STATE STREET BOSTON
BOSTON, MA 02109

18-65
12 JAYNE ROAD, LLC
30 WINDSOR RD
NEEDHAM, MA 02492

10-33
US PARCEL C, LLC
C/O URBAN SPACES, LLC
111 FIRST ST
CAMBRIDGE, MA 02141

Pacheco, Maria

From: Carol O'Hare <carol@carolok.com>
Sent: Monday, August 16, 2021 4:04 PM
To: Joseph, Swaathi; Pacheco, Maria
Cc: Messplay, Daniel
Subject: Planning Board & BZA: Urban Spaces, "For Rent" Signs, BZA Variances, 107 First St., Case # 126224

Dear Cambridge Planning Board and BZA Chairs and Members:

It's mid-August, with COVID continuing to surge and so much else of concern.

So, even though I could count many ways in which these 2 proposed, too-large for rent signs do not and cannot qualify for variances, I'll review only the key reasons for denial.

Variances: 2 wrap-around-building-corners, "for rent" banner-signs, each 140 sq. ft. (35'x4'), thus 280 sq. ft. signage total

Legal Maximum Signage: 60 sq. ft. maximum each, thus 120 sq. ft. maximum for both signs.

Zoning District: Business A

Practical, Maybe Time-Saving, Reasons

- Urban's variance application is 54 pages (many irrelevant)
- Building and streetscape: p. 7
- Variance application and supporting information: pp. 1-6 and pp. 45-54.
- **Proposed banner-signs are minimally depicted.** Their image shows: 2 fuchsia-colored banners, only labeled **A** & **B**, draped at 2 corners of the building: 5th fl./banner top to 3rd fl./banner bottom. See p. 48.
- Urban's application omits their 2 signs' proposed words and graphics. (I'm sure they're not **A** & **B**.) **Have you ever seen a variance application for a sign that doesn't "show and tell"?**
- The rest of Urban's 54-page application, including many detailed floor and unit plans, seems irrelevant.

If the Planning Board blesses and the BZA grants variances for these way-too-large, **leave-it-to-your-imagination**, "for rent" signs in a Business A zoning district, on what possible basis could zoning variances be denied for the countless other landlords advertising for tenants for their commercial, business and residential tenants anywhere and everywhere in the City?

Especially now, with so many COVID-caused, tenant vacancies, Cambridge could be flooded with for-rent signs that exceed zoning limits. **** Please, not back to Square 1 again!**

Legal Reasons

1. In Urban's own Supporting Statement for their zoning variances, they demonstrate that they are ineligible for these zoning variances for their 2 signs.

Why? Urban acknowledges that their claimed "substantial hardship" is no different from other landlords' advertising rental space. And, even more of an irreparable, legal deficiency, Urban cannot and does not distinguish their land and structures from others in their own zoning district.

Requirement A "A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons":

Urban's answer: "Adding leasing contact information will help the client occupy the building faster. This is a large project and having the location at low occupancy for too long will be a detriment to the client."

Requirement B "The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons":

Urban's answer: "**Unknown**" *Emphasis & highlighting added.*

2. If that is not enough, I refer you to Cambridge Zoning Ordinance's "**Temporary Signs**" section allowing "[o]ne for sale or for rent sign not exceeding six (6) square feet in residential districts or **twenty (20) square feet in nonresidential districts** and advertising only the premises on which the sign is located." CZO, §7.16.12.A. *Emphasis added.*

Especially given the CZO's express limitations on temporary "for rent" signs and its generally applicable limitations on all signs, I cannot imagine how these zoning variance could ever be justified.

Thank you, as always, for your time, service and consideration.

Sincerely,

Carol O'Hare
172 Magazine St.

*Per Urban Spaces' BZA Application, the property owner is "Parcel B, LP." And Lincoln Property Company apparently also has an interest in the property per the 4/29/21 banner-authorization letter. See pp. 3 & 44.

**For example:

