



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

2022 JUN -1 PM 3: 18

617-349-6100

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 170416

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Rachel Grashow C/O Peter Kovalko (GC)

PETITIONER'S ADDRESS: 362 Russett Rd, Chestnut Hill, MA 02467

LOCATION OF PROPERTY: 107 Rindge Ave., Cambridge, MA

TYPE OF OCCUPANCY: Single Family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Front porch (covered) addition


SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.2.D (Non-Conforming Structure).

Article: 10.000 Section: 10.40 (Special Permit)

Original
Signature(s):

 Rachel Grashow
(Petitioner (s) / Owner)

Peter Kovalko Rachel Grashow
(Print Name)

Address:

362 Russett Rd, Chestnut Hill, MA 02467

Tel. No.

6176806237

E-Mail Address:

peter@kovalko.com

Date: 6/1/22

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Rachel Grashow and Kenneth Walton
(OWNER)

Address: 107 Rindge Avenue Cambridge, MA 02140

State that I/We own the property located at 107 Rindge Ave. Cambridge, MA 02140, which is the subject of this zoning application.

The record title of this property is in the name of Rachel Grashow and Kenneth Walton

*Pursuant to a deed of duly recorded in the date 12/13/2012, Middlesex South County Registry of Deeds at Book 60726, Page 416; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

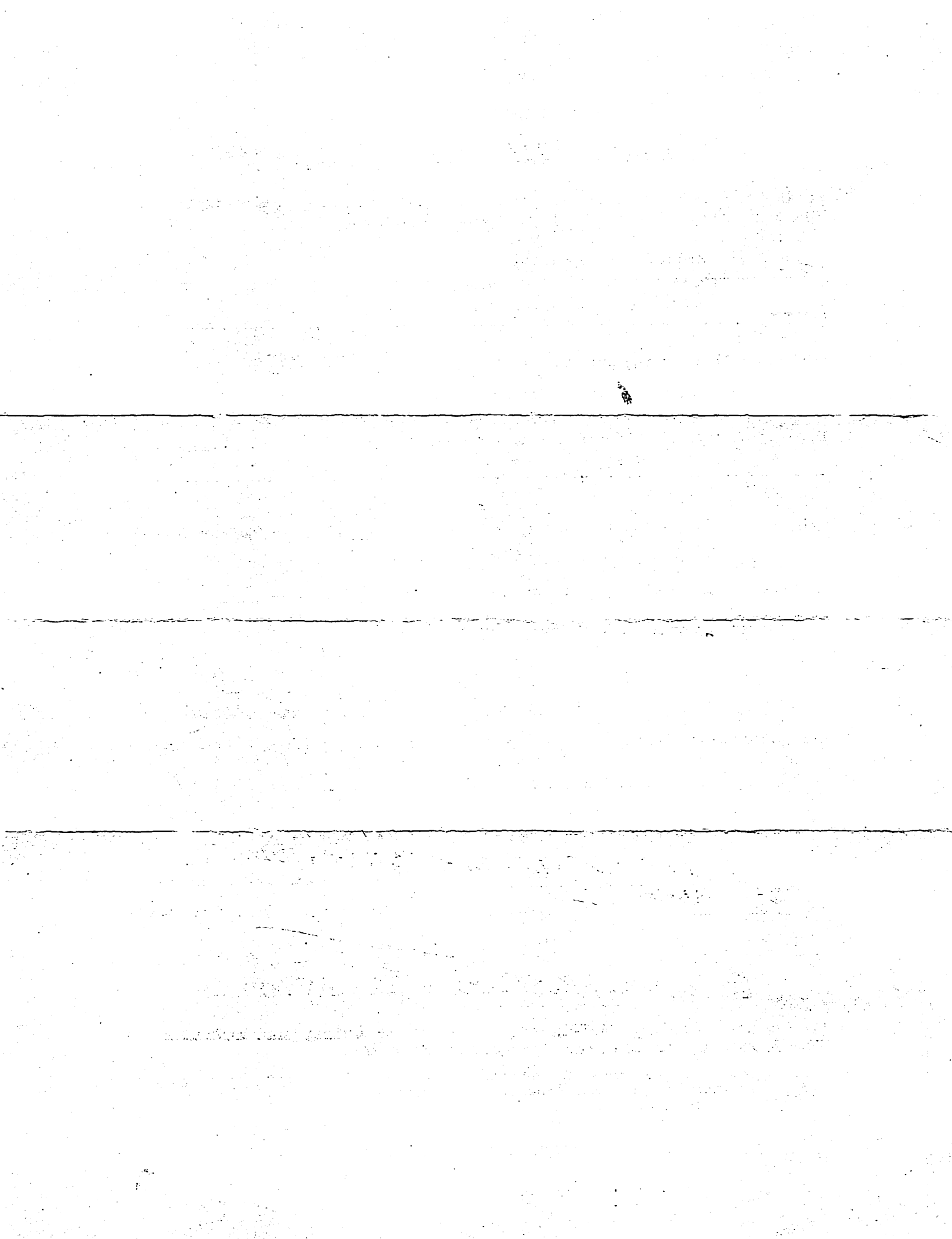
[Signature]
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of MIDDLESEX
The above-name RACHEL GRASHOW & KENNETH WALTON personally appeared before me, this 23 of MARCH, 2022, and made oath that the above statement is true.

My commission expires 5/25/2023 (Notary Seal).
Notary
STEPHEN R. GALANTE
Notary Public
Massachusetts
Commission Expires May 25, 2023

• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 107 Rindge Ave , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed porch does not alter the use of the property, and does not encroach into the required front setbacks. The uncovered stair projects less than 10' from the front foundation wall.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed porch does not impact the location of the front door, and access to the home would be via a route very similar to the existing. The porch maintains massing and detailing in keeping with the character of the home itself, and the neighborhood. Many of the nearby homes on Rindge Avenue include a front porch structure.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed porch does not alter the use of the property. The footprint of the porch is stepped in from the side walls of the house, minimizing the visual impact when viewed from the adjacent property.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed porch will have a positive effect on the health, safety and welfare of the occupants, in providing a covered entrance with protection from the elements, and a comfortable seating area that engages the neighborhood and streetscape.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed porch would strengthen the integrity of the residential district, both by adding a stylistic element found throughout the neighborhood, and by creating more functional entrance space for the homeowners.

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Rachel Grashow
Location: 107 Rindge Ave., Cambridge, MA
Phone: 6176806237

Present Use/Occupancy: Single Family
Zone: Residence B Zone
Requested Use/Occupancy: Single Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		1699.9	1849.6	1587	(max.)
<u>LOT AREA:</u>		3174	3174	2500	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.536	0.583	0.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>		3174	0	0	
<u>SIZE OF LOT:</u>	WIDTH	51.50	51.50	0	
	DEPTH	62	62	0	
<u>SETBACKS IN FEET:</u>	FRONT	23.2	15	15	
	REAR	3.3	3.3	25	
	LEFT SIDE	2.7	2.7	7.5	
	RIGHT SIDE	20.86	20.86	7.5	
<u>SIZE OF BUILDING:</u>	HEIGHT	29' - 6"	29' - 6"	35'	
	WIDTH	35' 3 1/2"	42' 2 1/2"	0	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		1750	1616	40%	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		2	0	0	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		0	0	0	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

0

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



**107 Rindge Avenue
Cambridge, Massachusetts**

The Kovalko Company

Front Porch Addition

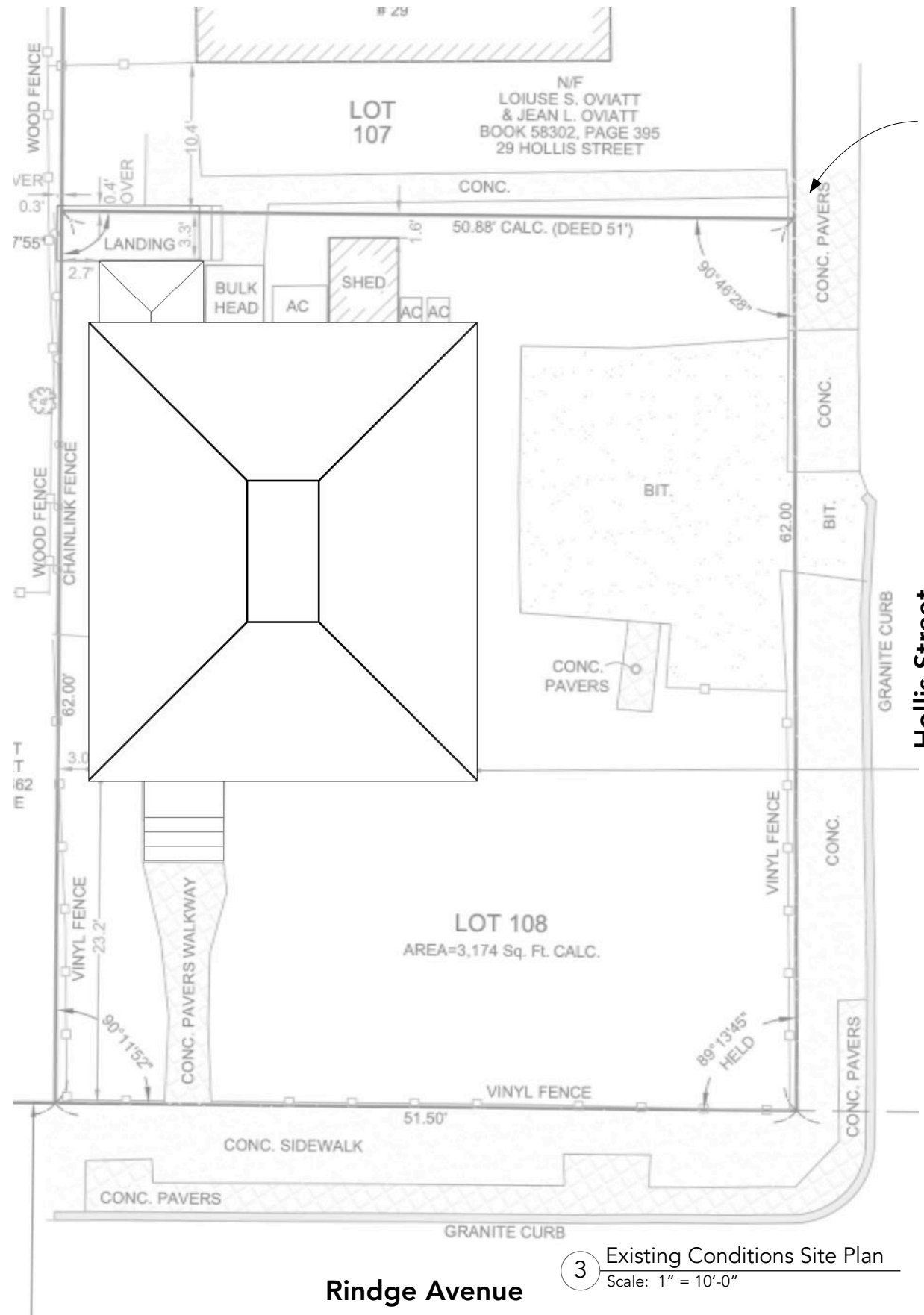
**Schematic Design Drawings
March 18, 2022**

Drawing List

- Cover
- EC Existing Conditions
- A0.0 Site Plan & Footprint Coordination Diagram
- A0.1 GFA & FAR Diagrams & Calculations
- A1 Porch Plan, Elevations & View



126 Alexander Ave.
Belmont, MA 02478
617.201.5694

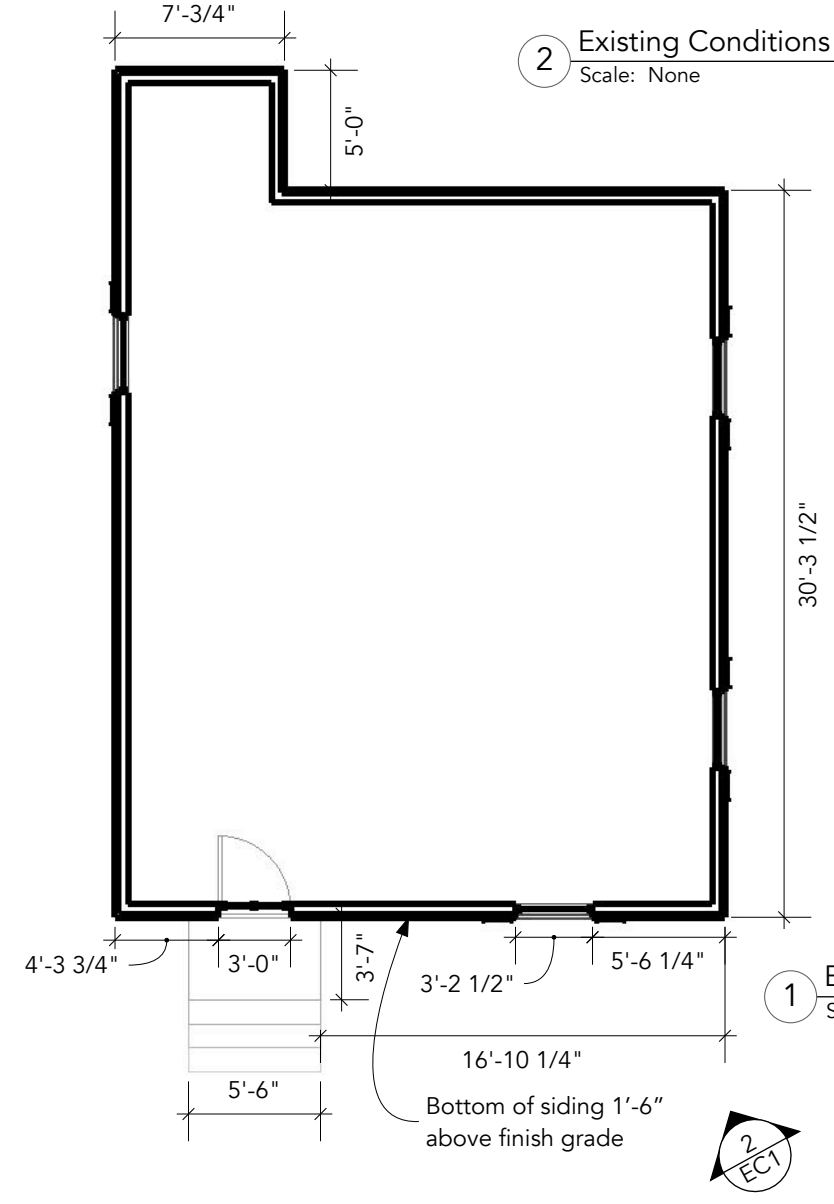


Background is Land Mapping Plot Plan dated 11/9/21

3 Existing Conditions Site Plan
Scale: 1" = 10'-0"



2 Existing Conditions Photograph
Scale: None



1 Existing Conditions Plan
Scale: 1/8" = 1'-0"

Note: Schematic Design, Not for Construction

These drawings are to scale when printed on sheet size: 11x17

haven
Architecture LLC

126 Alexander Ave.
Belmont, MA 02478
617.201.5694

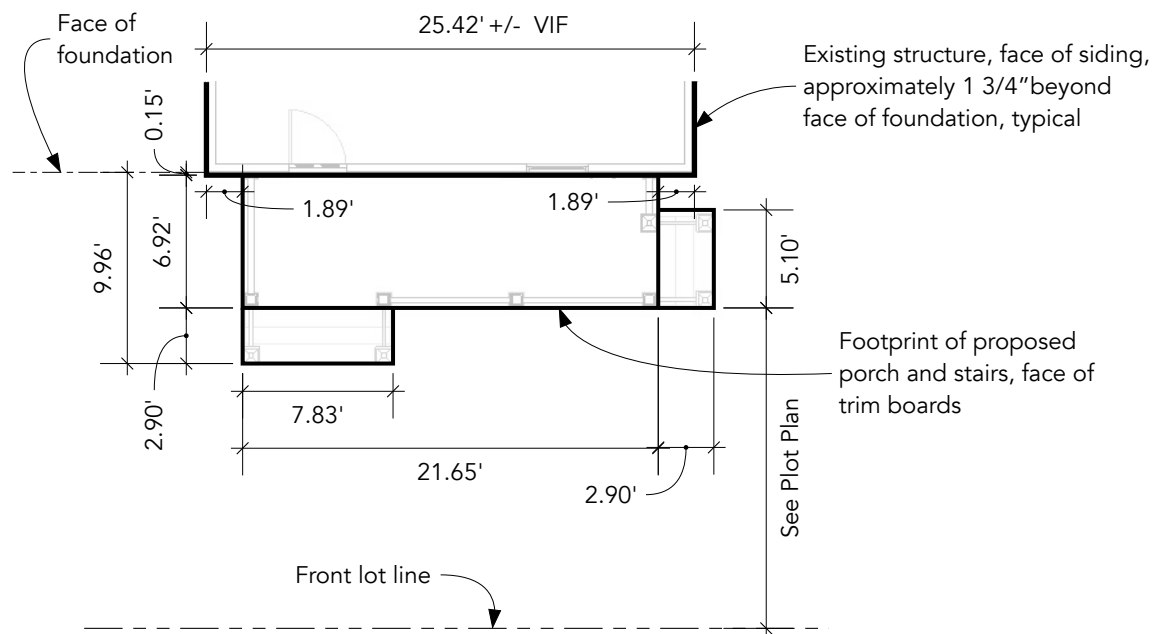
The Kovalko Company
Front Porch Addition
107 Rindge Avenue, Cambridge,
Massachusetts

Schematic Design
Drawings

Existing
Conditions

Date: 3/18/2022
Scale: Varies
Project #: 21090
Sheet

EC

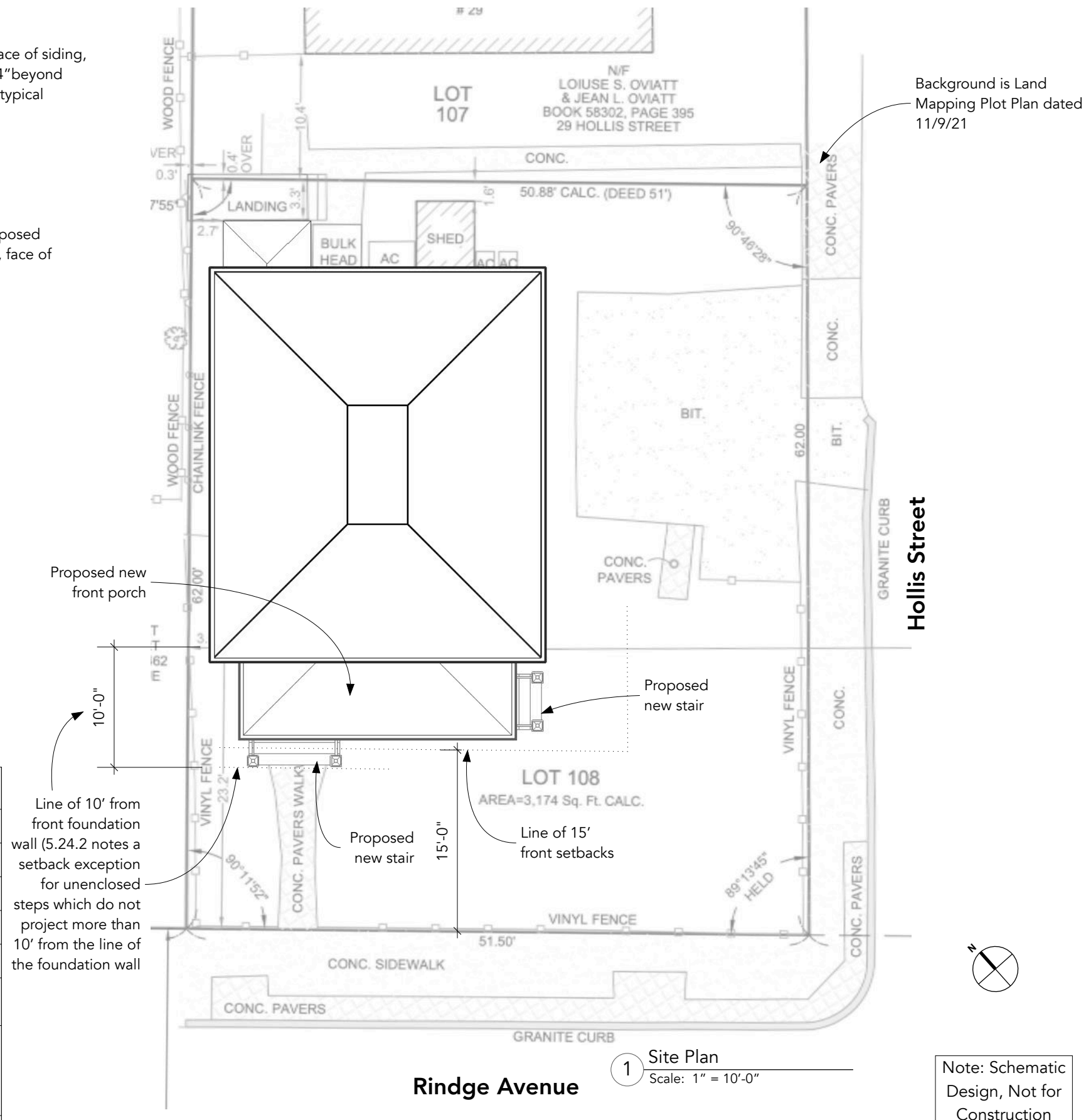


2 Footprint Coordination Diagram
Scale: 1" = 10'-0"

Property Overview	
Use	Residential, Single Family
Zone	Residence B
Lot Area	3,174 SF

Zoning Dimensional Requirements				
	Required	Existing	Proposed	Notes
Maximum FAR	.50	.536	.583	See calculations on A0.1
Minimum Front Yard	15'	23.2'	See Plot Plan	
Minimum Rear Yard	25'	3.3'	3.3'	
Minimum Side Yard	7.5'	2.7'	2.7'	
Maximum Height	35'	29'-6" +/-	No Change	Surveyor to verify existing if necessary
Minimum OS Ratio	40%	See Plot Plan	See Plot Plan	Open space not including driveways or walks, minimum 15' dimension

Note: Existing and proposed to verified by surveyor



These drawings are to scale when printed on sheet size: 11x17

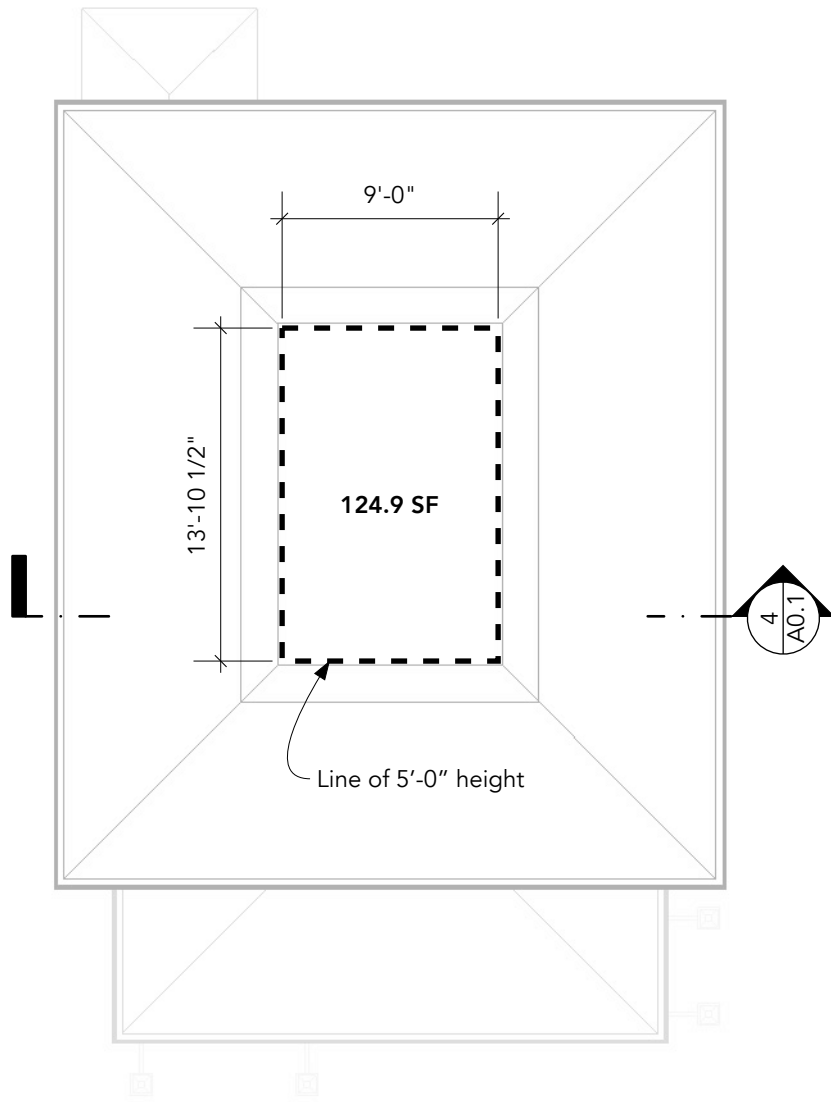
haven Architecture LLC
126 Alexander Ave.
Belmont, MA 02478
617.201.5694

The Kovalko Company
Front Porch Addition
107 Rindge Avenue, Cambridge,
Massachusetts

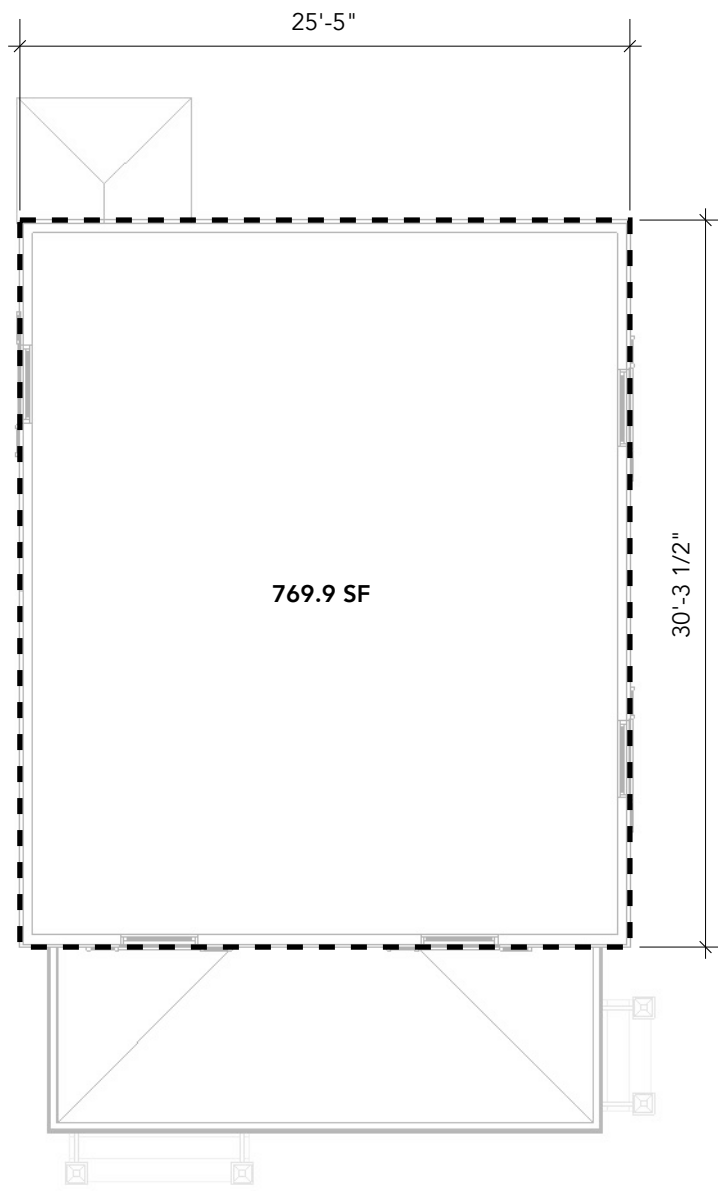
Schematic Design
Drawings

Site Plan &
Footprint
Coordination
Diagram

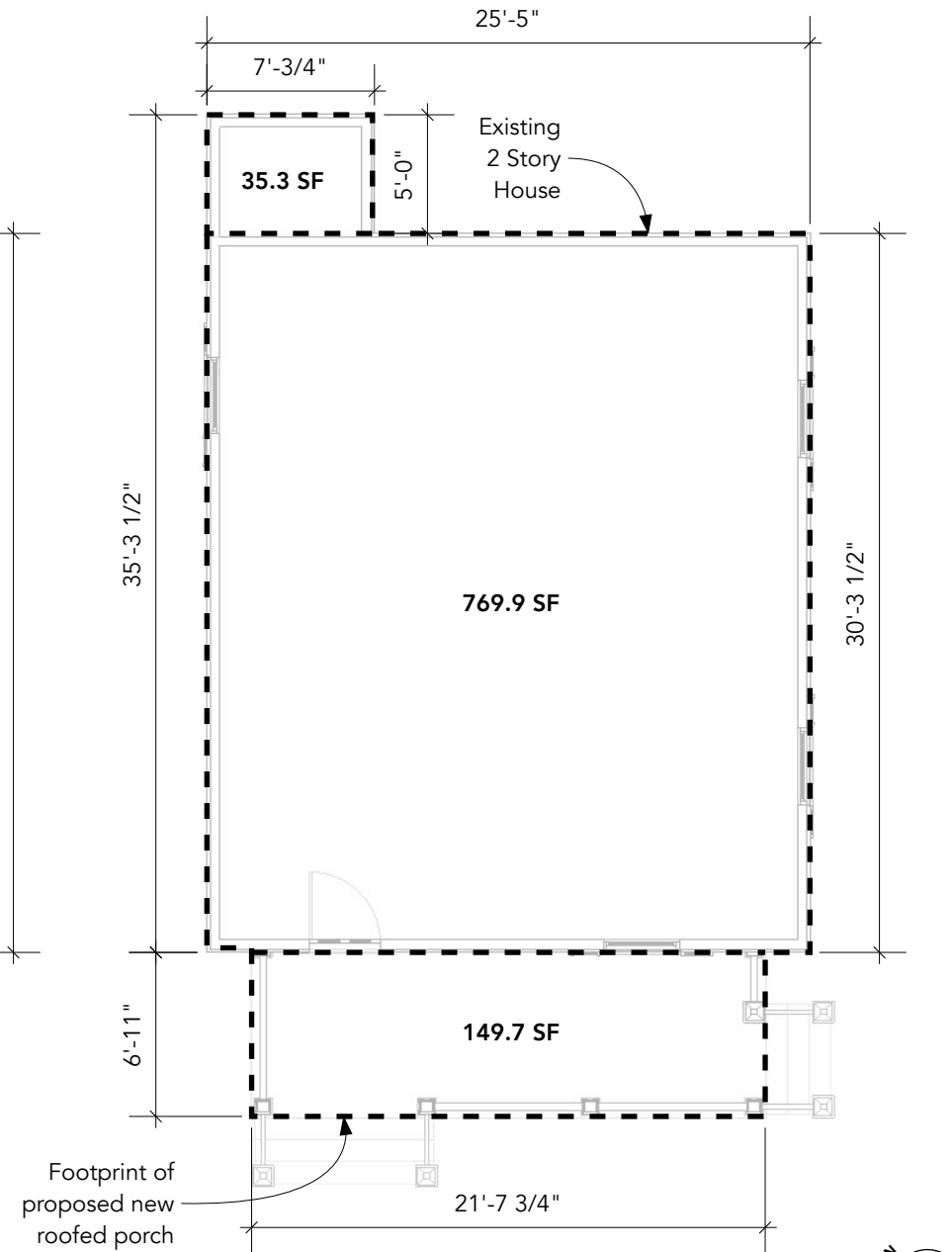
Date: 3/18/2022
Scale: Varies
Project #: 21090
Sheet
A0.0



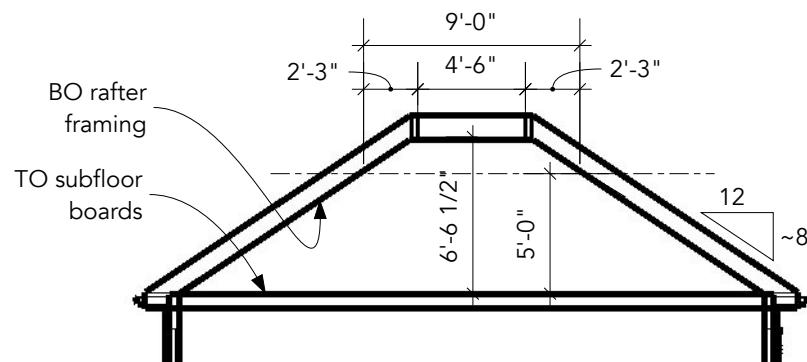
3 Gross Floor Area Diagram - Attic
Scale: 1/8" = 1'-0"



2 Gross Floor Area Diagram - Second Floor
Scale: 1/8" = 1'-0"



1 Gross Floor Area Diagram - First Floor
Scale: 1/8" = 1'-0"



4 Attic Section Diagram
Scale: 1/8" = 1'-0"

Existing FAR Calculations

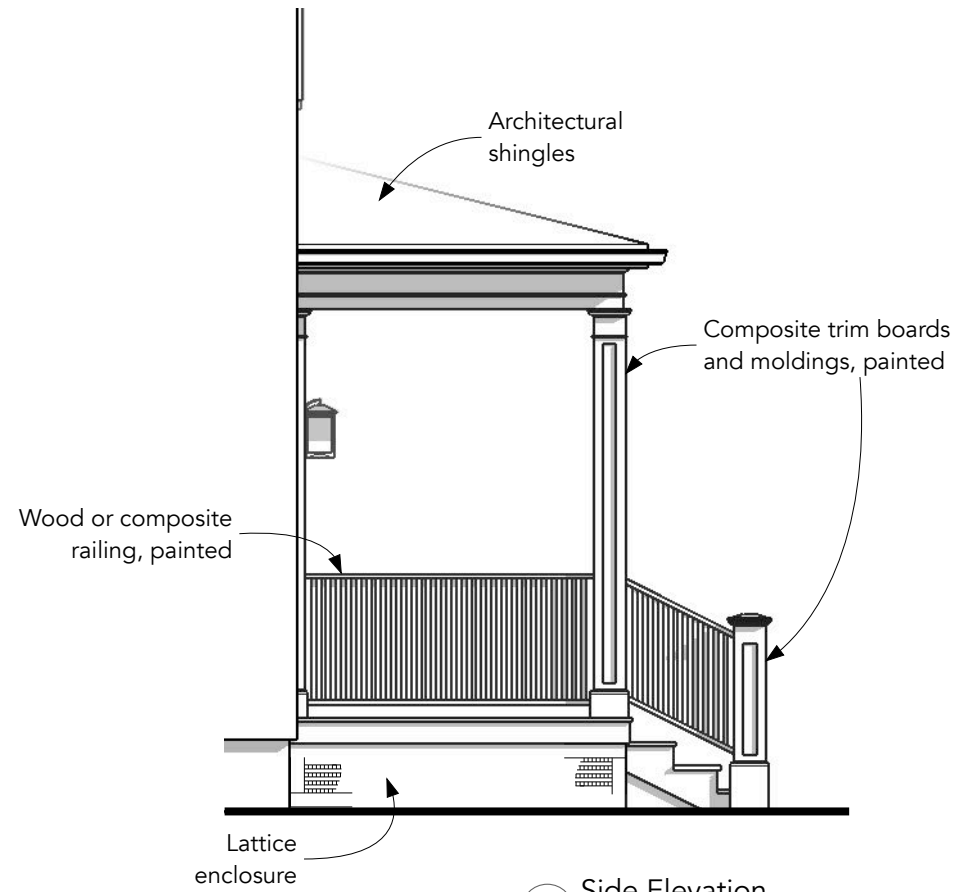
- Basement does not count toward GFA per Definitions, Items not to be included, Item 15
- 1st Floor 769.9 + 35.3 = 805.2 SF
- 2nd Floor 769.9 SF
- Attic 124.9 SF
- Total GFA 805.2 + 769.9 + 124.8 = 1,699.9 SF
- Lot Area 3,174 SF
- Existing FAR 1,699.9 / 3,174 = .536
- SF calculated based on measurements to exterior face of exterior walls, 1 3/4" beyond face of foundation, typical

Proposed FAR Calculations

- Total existing GFA 1,699.9 SF
- Area of proposed new roofed porch 149.7 SF
- Total GFA with new porch 1,699.9 + 149.7 = 1,849.6 SF
- Lot Area 3,174 SF
- Proposed FAR 1,849.6 / 3,174 = .583

Note: Schematic Design, Not for Construction

These drawings are to scale when printed on sheet size: 11x17



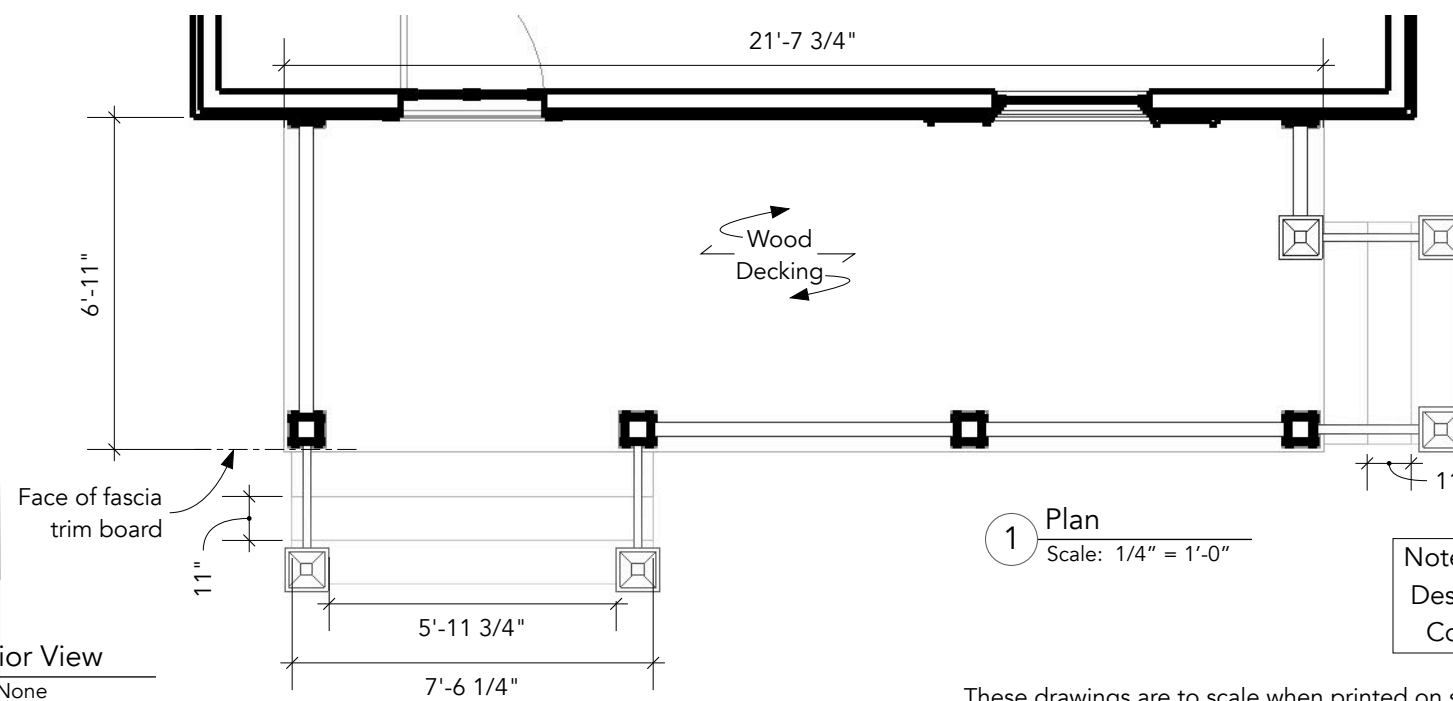
3 Side Elevation
Scale: 1/4" = 1'-0"



2 Front Elevation
Scale: 1/4" = 1'-0"



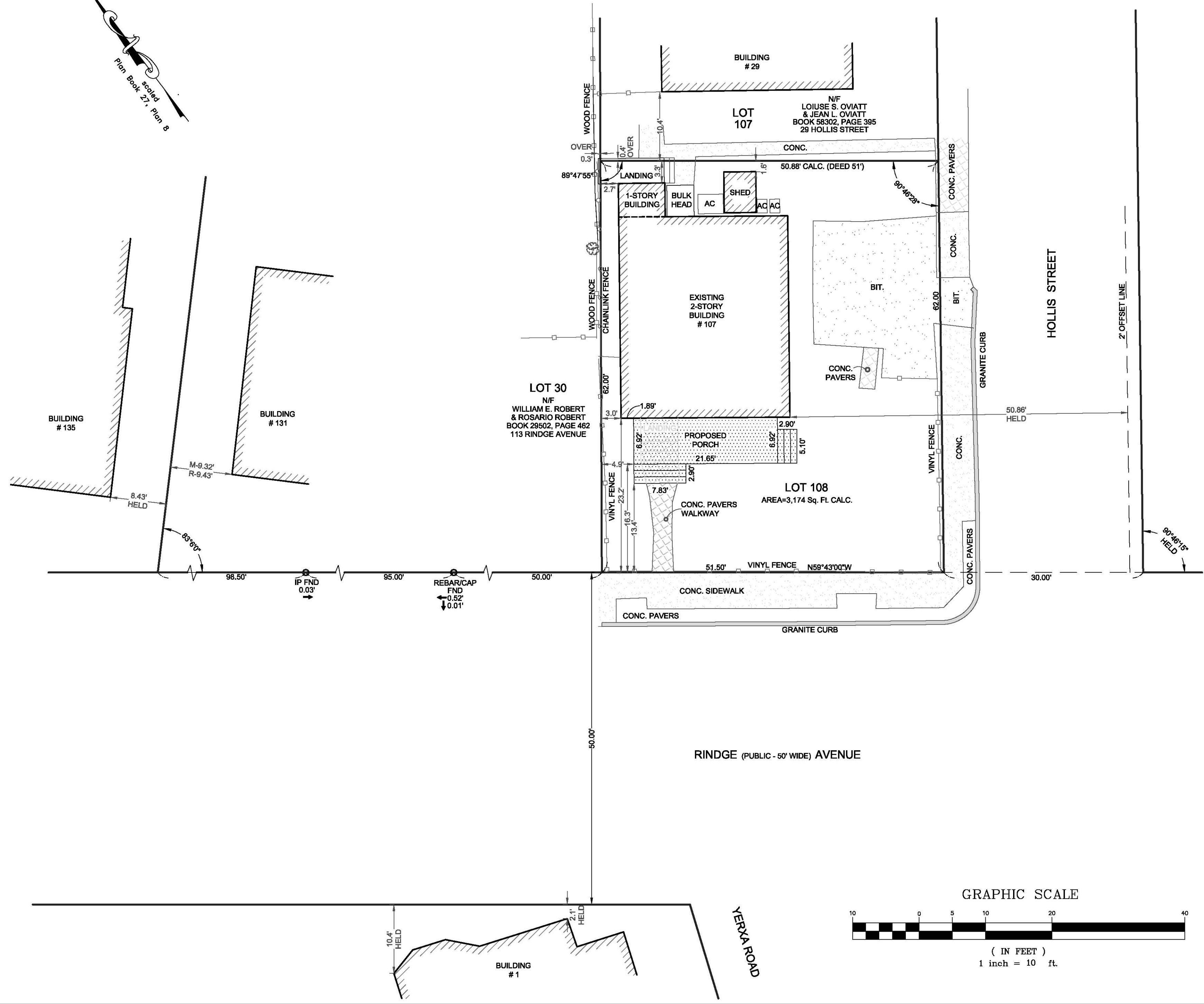
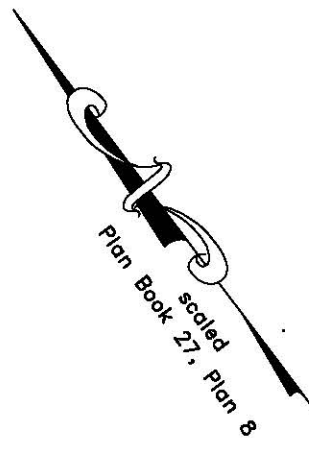
4 Exterior View
Scale: None



1 Plan
Scale: 1/4" = 1'-0"

Note: Schematic Design, Not for Construction

These drawings are to scale when printed on sheet size: 11x17

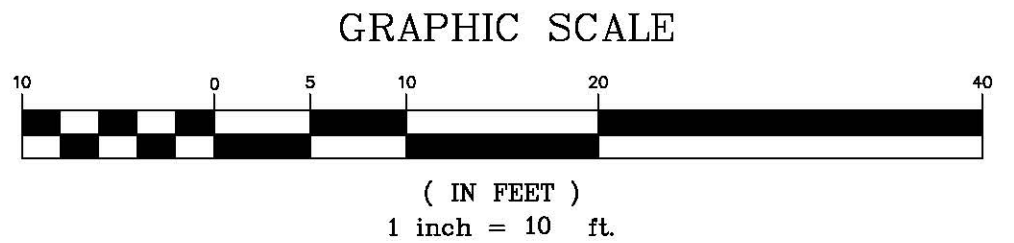


NOTES:

- * Registered Owner: Rachel Grashow & Kenneth Walton
- * Assessors Ref.: Map 196, Lot 108
- * Deed Ref.: Book 60726, Page 416
- * Plan Ref.: Plan Book 27, Plan 8
Plan No. 1640 of 1960
Plan No. 389 of 2009
- * Plans from Engineering Dep.:
STR-11-25
STR-06-49
FB 156 Pg 104
- * Zoning: B
- * Existing Private Open Space Area = 1,750 Sq. Ft.
- * Existing Private Open Space Ratio = 55.1%
- * Proposed Private Open Space Area = 1,616 Sq. Ft.
- * Proposed Private Open Space Ratio = 50.9%

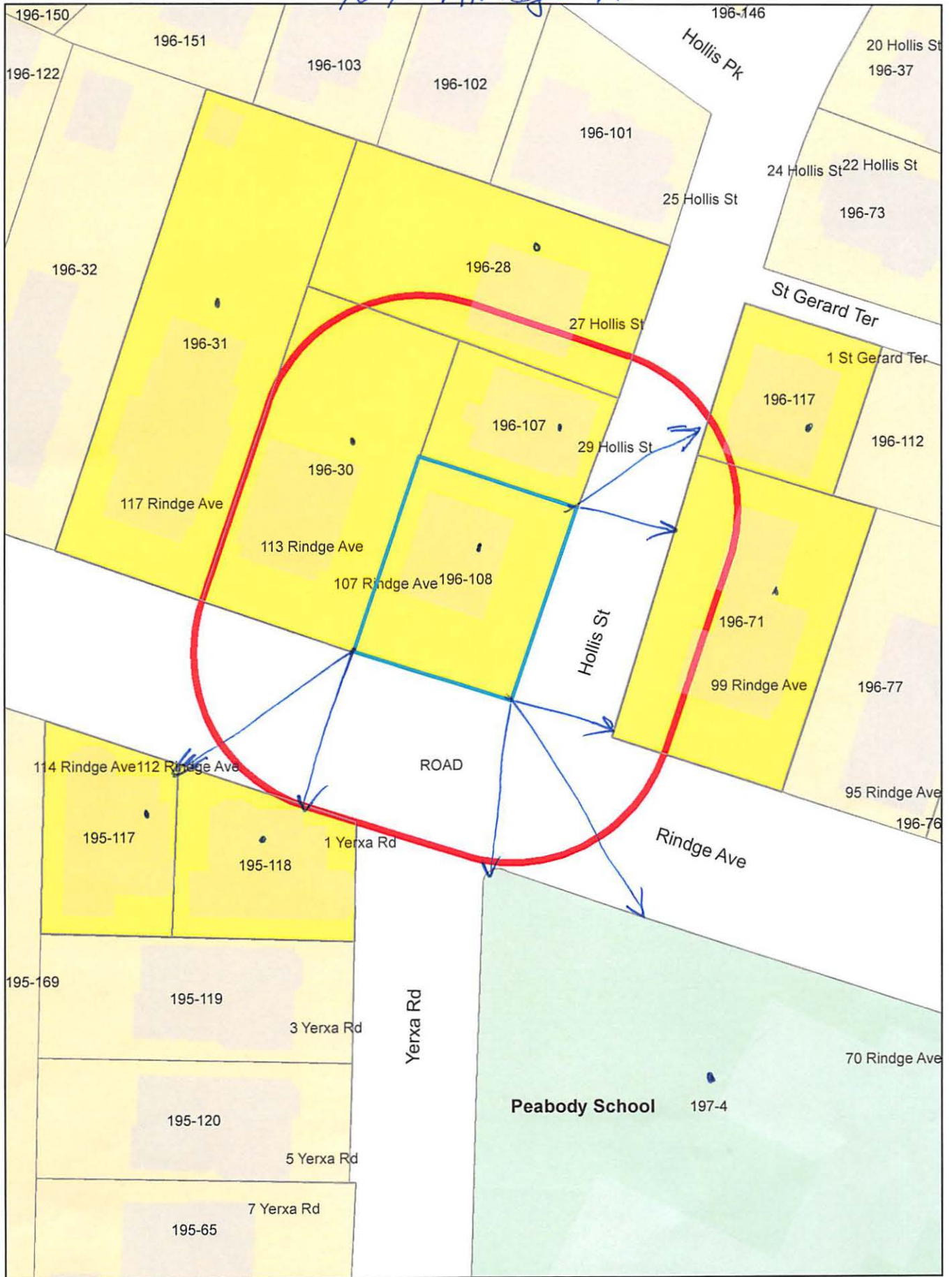
Neil J. Murphy Lic.#17460
Professional Land Surveyor

Proposed Addition
107 Rindge Avenue
Cambridge, MA 02140



LAND MAPPING
10 Andrew Square, Suite 201B
South Boston, MA 02127
Tel. 857-544-3061
www.land-mapping.com
Date: March 30, 2022

107 Rindge Ave



107 Rindge Ave

Petitioner

195-117
TRAVERS, JAMES J. & LORRAINE TRAVERS
TRS. THE 2013 TRAVERS FAMILY TRUST
114 RINDGE AVE
CAMBRIDGE, MA 02140-2527

196-30
ROBERT, WILLIAM E & ROSARIO ROBERT
113 RINDGE AVENUE
CAMBRIDGE, MA 02140-2531

PETER KOVALKO
362 RUSSETT ROAD
CHESTNUT HILL, MA 02467

196-28
DELEO, PAULETTE G. A, LIFE ESTATE
27 HOLLIS ST
CAMBRIDGE, MA 02141

196-71
GRIFFIN, PAUL D.,
TRUSTEE THE LUX AETERNA TRUST
99 RINDGE AVE
CAMBRIDGE, MA 02140

196-107
OVIATT, LOUISE & JEAN L. OVIATT-ROTHHAM
505 BARRETT'S MILL RD
CONCORD, MA 01742

196-108
GRASHOW, RACHEL & KENNETH WALTON
107 RINDGE AVE
CAMBRIDGE, MA 02140

196-31
HEADING HOME, INC
C/O SCHRAFFT CENTER
529 MAIN ST #100
CHARLESTOWN, MA 02129

196-117
ONOFRIO, ROBERTO & LORENZA VIOLA
16 DORSET LANE
LEBANON, NH 03766

195-118
GETMAN, ABBY CAREN
1 YERXA RD., #3
CAMBRIDGE, MA 02140

196-117
STOOLMACHER, ELLEN
1 ST. GERARD TERRACE #3
CAMBRIDGE, MA 02140

195-118
PRECOPIO, MELISSA L.
1 YERXA RD., UNIT #2
CAMBRIDGE, MA 02140

195-118
LOPATIN, MIRIAM
TR. OF MIRIAM LOPATIN FAMILY REVOC TR.
1 YERXA RD UNIT 1
CAMBRIDGE, MA 02140

196-117
PRADO, GERVASIO & MARY P PRADO &
PRADO THOMAS
62-64 GROZIER RD - UNIT 62
CAMBRIDGE, MA 02140

197-4
CAMBRIDGE CITY OF SCHOOL DEPT
159 THORNDIKE ST
CAMBRIDGE, MA 02141

197-4
CITY OF CAMBRIDGE
C/O CITY MANAGER

197-4
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR



Kovalko Company
Construction Supervisor License #: CS-101553
HIC #: 188343
362 Russett Rd.
Brookline, MA 02467
617 680 6237
www.kovalko.com
peter@kovalko.com

INDEPENDENT CONTRACTOR AGREEMENT

This agreement is made on Aug 26/2021, between Ken Walton, owner of 107 Rindge Ave. Cambridge, MA and Peter Kovalko, contractor, of Kovalko Company, 362 Russett Rd. Brookline, MA 02467

For valuable consideration, the owner and contractor agree as follows:

1. The contractor agrees to furnish all of the labor and designated building materials to do the following work for the owner as an independent contractor:

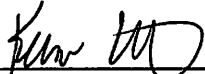
Have architect provide plans for porch. Apply for proper permit. Attend any meetings in order to get permit approved. Demo existing stairs. Install new footings. Frame new porch. Install PVC trim. Install wooden railing. Install Ipe decking/treads. Install bead board ceiling. Install gutters. Install ice and water on roof (home owner to have metal roofing installed). Paint

2. The parties agree to the following work schedule:
 - Contractor shall start work soon after receiving initial payment (deposit is not initial payment).
 - Owner must ensure property is accessible to begin work.
 - Subject to any unforeseen circumstances, work shall be completed within 2-3 months.
 - Any change orders or additional work will affect the schedule and total cost
 - Contractor is not responsible for delays caused by unforeseen circumstances.
 - Contractor is not responsible for delays caused by sub-contractors
 - Contractor is not responsible for delays caused by inspectors
3. The contractor agrees to perform this work in a workmanlike manner according to standard practices.

4. The contractor and the owner may agree to extra services and work, but any such extras must be set out and agreed to in writing by both the contractor and the owner
5. The contractor agrees to indemnify and hold the owner harmless from any claims or liability arising from the contractor's work under this agreement.
6. No modification of this agreement will be effective unless it is in writing and is signed by both parties. This agreement binds and benefits both parties and any successors. Time is of the essence of this agreement. This document, including any attachments, is the entire agreement between the parties. This agreement is governed by the laws of the State of Massachusetts.
7. The owner agrees to pay the contractor \$41,671.00 for the work outlined above. The cost may go up if unforeseen conditions need to be rectified in order to complete the job as proposed. The contractor will notify the owners of unforeseen conditions plus the extra cost.
8. The owner agrees to pay the contractor in the following manner:
 - Deposit (\$1,000) secure place in job queue
 - Plans/Permit (\$3,700) Upon signing contract
 - 1/3 (\$12,323.66) upon starting demo.
 - 1/3 (\$12,323.66) upon completion of framing.
 - 1/3 (\$12,323.66) upon completion
9. Estimated cost of project:

\$41,671.00

Dated: August 20, 2021



Signature of Owner(s)

Kenneth Walton

Printed Name of Owner(s)



Signature of Contractor

Peter Kovalko. Kovalko Company, Inc.

Printed Name of Contractor



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

05/23/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER KAPLANSKY INSURANCE AGENCY INC 114 HARVARD ST BROOKLINE MA 02446		CONTACT NAME: Tina Wang PHONE (A/C, No, Ext): (781) 453-2552 E-MAIL ADDRESS: twang@kaplansky.com	FAX (A/C, No):
		INSURER(S) AFFORDING COVERAGE	NAIC #
		INSURER A: TRAVELERS INDEMNITY CO OF AMERICA	25666
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	
		INSURER F:	

COVERAGES **CERTIFICATE NUMBER: 777598** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			N/A			EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COM/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS			N/A			COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$			N/A			EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A	N/A	6HUB1K54942921	08/16/2021	08/16/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
				N/A			

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Workers' Compensation benefits will be paid to Massachusetts employees only. Pursuant to Endorsement WC 20 03 06 B, no authorization is given to pay claims for benefits to employees in states other than Massachusetts if the insured hires, or has hired those employees outside of Massachusetts.

This certificate of insurance shows the policy in force on the date that this certificate was issued (unless the expiration date on the above policy precedes the issue date of this certificate of insurance). The status of this coverage can be monitored daily by accessing the Proof of Coverage - Coverage Verification Search tool at www.mass.gov/lwd/workers-compensation/investigations/.

CERTIFICATE HOLDER	CANCELLATION
Peter Kovalko 362 Russett Rd Chestnut Hill MA 02467	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Daniel M. Crowley, CPCU, Vice President - Residual Market - WCRIBMA

© 1988-2014 ACORD CORPORATION. All rights reserved.

**109 RINDGE
EXISTING PORCH**

**107 RINDGE
PROPOSED PORCH**

**NO
PARKING**





City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Peter Kovacko Date: 6/27/22
(Print)

Address: 107 Rindge Ave

Case No. BZA-170416

Hearing Date: 7/14/22

Thank you,
Bza Members