

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 170145

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: John Denehy C/O Shanna Boughton

PETITIONER'S ADDRESS: 10 Van Norden Street, Cambridge, MA 02140

LOCATION OF PROPERTY: 10 Van Norden St., Cambridge, MA

TYPE OF OCCUPANCY: Residential

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/City request/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To create a third floor addition within the non-conforming structure and reframe dilapidated roof, roof height does not change.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.2.D (Non-Conforming Structure).

Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

John Denehy

(Print Name)

Address:

Tel. No.

6178395208

E-Mail Address:

johndenehy@gmail.com

Date: 4/11/22

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to
The Secretary of the Board of Zoning Appeals.

I/We John Denehy

(OWNER)

Address: 10 Van Norden Street, Cambridge, MA

State that I/We own the property located at 10 Van Norden Street, Cambridge, MA
which is the subject of this zoning application.

The record title of this property is in the name of John Denehy

*Pursuant to a deed of duly recorded in the date 11/25/2020, Middlesex South
County Registry of Deeds at Book 30700, Page 389; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

John Denehy

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

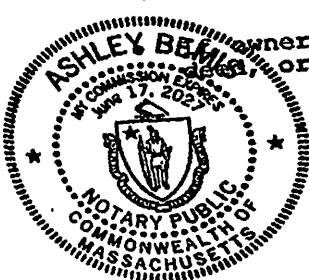
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name John Denehy personally appeared before me,
this 11 of April, 2022 and made oath that the above statement is true.

Ashley Bevilacqua Notary

My commission expires June 17, 2027 (Notary Seal).



ownership is not shown in recorded deed, e.g. if by court order, recent
deed, or inheritance, please include documentation.

(ATTACHMENT B - PAGE 3)

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 10 Van Norden St , Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- Only increasing gross floor area on 3rd floor but not increasing the square footage of the home
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- Will not have any impact on traffic
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- Will not have any impact
- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- Will not have any impact
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
- Structure will remain with integrity of district.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: John Denehy

Present Use/Occupancy: Residential

Location: 10 Van Norden St., Cambridge, MA

Zone: Residence B Zone

Phone: 6178395208

Requested Use/Occupancy: Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2266	2266	2295	(max.)
<u>LOT AREA:</u>		3959	3959	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.572	.572	.459	
<u>LOT AREA OF EACH DWELLING UNIT</u>		1979.5	1979.5	2500	
<u>SIZE OF LOT:</u>	WIDTH	44	44	50	
	DEPTH	90	90	90	
<u>SETBACKS IN FEET:</u>	FRONT	15	15	15	
	REAR	25	25	25	
	LEFT SIDE	7'6	7'6	7'6	
	RIGHT SIDE	7'6	7'6	7'6	
<u>SIZE OF BUILDING:</u>	HEIGHT	35	35	35	
	WIDTH	28	28	28	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		40	40	40	
<u>NO. OF DWELLING UNITS:</u>		2	2	2	
<u>NO. OF PARKING SPACES:</u>		2	2	2	
<u>NO. OF LOADING AREAS:</u>		N/a	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/a	n/a	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

not applicable

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

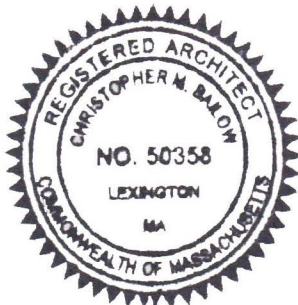
10 Van Norden St

PERMIT SET

January 20TH, 2022

ABBREVIATIONS

&	AND	D	DEEP, DEPTH	H	HEIGHT, HIGH	NIC	NOT IN CONTRACT	S/H	SEALER/HARDENER	UNO	UNLESS NOTED OTHERWISE
L	ANGLE	DBL	DOUBLE	HC	HOLLOW CORE	NO, #	NUMBER	SC	SOLID CORE		
@	AT	DIA	DIAMETER	HD	HAND DRYER	NOM	NOMINAL	SF	SQUARE FEET	V	VINYL
X	BY	DIM	DIMENSION	HDW	HARDWARE	NTS	NOT TO SCALE	SIM	SIMILAR	VCT	VINYL COMPOSITION TILE
-	NONE REQUIRED	DN	DOWN	HM	HOLLOW METAL			SPECS	SPECIFICATIONS	VERT	VERTICAL
#	NUMBER	DS	DOWNSPOUT	HORIZ	HORIZONTAL	OC	ON CENTER	SQ	SQUARE	VEST	VESTIBULE
		DP	DAMP-PROOFING	HR	HOUR	OD	OUTSIDE DIAMETER	SS	STAINLESS STEEL	VT	VINYL TILE
A/C	AIR CONDITION (-ER) (-ING)	DR	DOOR	HVAC	HEATING & AIR CONDITIONING	OPNG	OPENING	STC	SOUND TRANSMISSION CLASS (RATING)	VIF	VERIFY IN FIELD
AB	ANCHOR BOLT	DTL	DETAIL			OPP	OPPOSITE	STD	STANDARD		
ADJ	ADJUSTABLE	DWG	DRAWING	ID	INSIDE DIAMETER			STL	STEEL	W/	WITH
AFF	ABOVE FINISH FLOOR	EA	EACH	INSUL	INSULATION	PARTN	PARTITION	STOR	STORAGE	WC	WALLCOVERING
ALT	ALTERNATE	EF	EACH FACE	INT	INTERIOR	PLBG	PLUMBING	STR	STRUCTURAL	WC	WATER CLOSET
		EL	ELEVATION	INV	INVERT	PL	PLATE, PROPERTY LINE	SUPPL	SUPPLEMENTARY	WD	WOOD
BLDG	BUILDING	ELEC	ELECTRICAL			PLS	PLASTER	SUS	SUSPENDED	W/O	WITHOUT
BLKG	BLOCKING	ENCL	ENCLOSURE			PNT	PAINT (PAINTED FINISH)			WP	WORKING POINT
BM	BEAM	EQ	EQUAL	JB	JUNCTION BOX	PR	PAIR			WWF	WOVEN WIRE FABRIC
BRG	BEARING	EQUIP	EQUIPMENT	JT	JOINT	PROJ	PROJECT	T	TOILET		
BRK	BRICK	ETC	ET CETERA			PT	PRESSURE TREATED	T/BM	TOP OF BEAM		
BO	BOTTOM OF	EW	EACH WAY	LAM	LAMINATED	PTD	PAPER TOWEL DISPENSER	T/BRG	TOP OF BEARING		
BUR	BUILT UP ROOFING	EXIST	EXISTING	LAV	LAVATORY	PWD	PLYWOOD	TBD	TO BE DETERMINED		
		EJ	EXPANSION JOINT	LF	LINEAL FEET			T&G	TONGUE AND GROOVE		
		EXT	EXTERIOR	LLH	LONG LEG HORIZONTAL			TB	TOWEL BAR		
				LLV	LONG LEG VERTICAL	QT	QUARRY TILE	TEMP	TEMPORARY		
C/C	CENTER TO CENTER							THR	THRESHOLD		
CJ	CONTROL JOINT	FD	FLOOR DRAIN					TJUST	TOP OF JOIST		
⌘	CENTER LINE	FE	FIRE EXTINGUISHER	M	MIRROR	RAD	RADIUS	TMP	TEMPERED		
CLG	CEILING	FIN	FINISH	MAINT	MAINTENANCE	RW	RIGHT-OF-WAY	TO	TOP OF		
CLO	CLOSET	FL	FLOOR	MATL	MATERIAL	RD	ROOF DRAIN	TOC	TOP OF CONCRETE SLAB		
CMU	CONCRETE MASONRY UNIT	FR	FIRE RATED	MAX	MAXIMUM	REBAR	REINFORCING BAR	TOM	TOP OF MASONRY		
COL	COLUMN	FT	FEET	MECH	MECHANICAL	REC	RECYCLING	TOS	TOP OF SHELF		
CONC	CONCRETE	FTG	FOOTING	MFR	MANUFACTURER	RECT	RECTANGULAR	TOW	TOP OF WALL		
CONST	CONSTRUCTION			MIN	MINIMUM	REINF	REINFORCEMENT	TYP	TYPICAL, (UNLESS OTHERWISE NOTED)		
CONT	CONTINUOUS			MO	MASONRY OPENING	REP	REPRESENTATIVE				
CONTR	CONTRACTOR	GA	GAUGE	MTD	MOUNTED	REV	REVERSE				
CORR	CORRIDOR	GALV	GALVANIZED	MTL	METAL	RM	ROOM				
CPT	CARPET	GB	GRAB BAR			RCP	REFLECTED CEILING PLAN				
CRS	COURSE	GC	GENERAL CONTRACTOR								
CT	CERAMIC TILE	GL	GLASS, GLAZING								
		GWB	GYP-SUM BOARD								
		GYP PLS	GYP-SUM PLASTER								



Christopher & Bailey

ARCHITECT:
Bailow Architects
35 HIGH STREET
HOLLISTON, MA. 01746
978.979.8430

STRUCTURAL NOTES	GENERAL NOTES		
<p><u>GENERAL</u></p> <ol style="list-style-type: none">CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, SEVENTH EDITION.REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE DRAWINGS.CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY. <p><u>FOUNDATIONS</u></p> <ol style="list-style-type: none">FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR COMPACTED STRUCTURAL BACKFILL. NO FOUNDATION SHALL BE PLACED ON FROZEN SUBGRADE.PRESUMED SOIL BEARING CAPACITY IS 3000 PSF.BOTTOM OF EXTERIOR FOOTINGS AND PIERS SHALL BE SET AT LEAST 4 FEET BELOW FINAL GRADE.WHERE NEW FOUNDATION WALLS ABUT EXISTING FOUNDATION WALLS, DRILL & GROUT 24-INCH LONG #6 REBARS INTO EXISTING FOUNDATION WALL (6 INCH MIN. EMBED.) AT 36-INCH VERTICAL SPACING. AFTER CONCRETE HAS CURED, APPLY WATERPROOF CAULKING/ SEALER TO JOINT BETWEEN NEW AND EXISTING FOUNDATION WALLS. <p><u>CONCRETE</u></p> <ol style="list-style-type: none">ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3000 PSI AT 28 DAYS. CONCRETE SHALL BE AIR-ENTRAINED.POSTS SHALL BE FASTENED TO PIERS WITH GALVANIZED ANCHOR BOLTS AND BASE PLATES.CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE'S (ACI) 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' (ACI 318), 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS' (ACI 301) AND 'RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING' (ACI 306).NO CONCRETE SHALL BE PLACED ON FROZEN SUBGRADE.ANCHOR BOLTS SHALL BE 1/2 INCH DIAMETER, 12 INCHES LONG, SPACED AT 5 FT. MAXIMUM AND 12 INCHES MAXIMUM FROM CORNERS AND ENDS.PROVIDE 6-INCH DIAMETER PERFORATED PVC CONTINUOUS PERIMETER DRAIN SURROUNDED BY 6 INCHES OF 3/4 INCH WASHED CRUSHED STONE WRAPPED BY FILTER FABRIC. PITCH DRAIN TO DAYLIGHT OR DRYWELL.UNLESS NOTED OTHERWISE, EXTERIOR SURFACES OF FOUNDATION WALLS SHALL BE DAMP-PROOFED FROM FOOTING TO FINISH GRADE.DO NOT PLACE BACKFILL UNTIL FIRST-FLOOR FRAMING IS IN PLACE. THE BACKFILL MATERIAL SHALL BE GRANULAR SOIL, CLEAN AND FREE OF ORGANIC MATERIAL.VERIFY ALL PLUMBING, MECHANICAL, AND ELECTRICAL REQUIREMENTS BEFORE POURING CONCRETE.PROVIDE 6 INCHES OF FREE-DRAINING COMPACTED GRAVEL AND 6 MIL POLYETHYLENE VAPOR BARRIER UNDER SLABS ON GRADE.PROVIDE CONTROL JOINTS IN SLAB TO CONTROL CRACKING. <p><u>WOOD FRAMING</u></p> <ol style="list-style-type: none">FRAMING LUMBER SHALL BE SPRUCE-PINE-FIR #2 OR BETTER.LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MODULUS OF ELASTICITY (E) OF 2,000,000 PSI AND AN ALLOWABLE BENDING STRESS (Fb) OF 2,800 PSI. LVL'S SHALL BE INSTALLED AND FASTENED TOGETHER PER MANUFACTURER'S RECOMMENDATIONS.ALL POSTS SHALL BE FULLY BLOCKED BETWEEN FLOORS WITH THE GRAIN OF BLOCKING IN A VERTICAL ORIENTATION.LALLY COLUMNS SHALL HAVE STEEL CAP PLATES AND BASE PLATES (SPRINGFIELD PLATES ARE ACCEPTABLE).ALL STRAPS, TIES, HOLDDOWNS, HANGERS AND OTHER HARDWARE SHALL BE HOT-DIPPED GALVANIZED.EXTERIOR SHEATHING SHALL BE CONTINUOUS OVER RIM JOIST.CONNECT OPPOSING RAFTERS TOGETHER WITH COLLAR TIES OR WITH STEEL STRAP TIES OVER THE RIDGE (SIMPSON LSTA Z1).PROVIDE HURRICANE TIES FOR ALL RAFTERS.CONTRACTOR IS RESPONSIBLE FOR DESIGN AND DETAILING OF RAILING AND STAIRS. ALL DECK FRAMING IS TO BE PRESSURE TREATED.	<p>ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH FEDERAL, STATE, LOCAL, AND MUNICIPAL REGULATORY DEPARTMENT'S RULES AND REGULATIONS. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LOCAL FIRE DEPARTMENT RULES AND REGULATIONS.</p> <p>GENERAL CONTRACTOR (GC) TO NOTIFY OWNER AND ARCHITECT IN WRITING OF ANY CHANGES UPON THE DISCOVERY OF LATENT CONDITIONS OR DISCREPANCIES BEFORE PROCEEDING WITH WORK.</p> <p>WORK AREA SHALL BE KEPT CLEAN ON A DAILY BASIS. DURING HANDLING AND INSTALLATION, CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. APPLY PROTECTIVE COVERING WHERE REQUIRED TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION AT SUBSTANTIAL COMPLETION.</p> <p>ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION ENGINEERING SHALL BE PROVIDED BY OTHERS AND IS NOT PART OF OR COORDINATED WITH THIS ARCHITECTURAL CONTRACT DOCUMENT/DRAWING. ALL MECHANICAL, ELECTRICAL, PLUMBING, ENGINEERING SHALL BE IN ACCORDANCE WITH MASSACHUSETTS BUILDING AND FIRE SAFETY CODES INCLUDING THE FEDERAL, STATE AND LOCAL REGULATORY RULES AND REGULATIONS AND SHALL BE COORDINATED BY GENERAL CONTRACTOR (GC), AND SUBCONTRACTORS (SUBS).</p> <p>GC AND SUBS SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, CONDITIONS, AND AREAS WITH A PROFESSIONAL MECHANICAL, ELECTRICAL, PLUMBING, ENGINEER AS REQUIRED. THIS COORDINATION SHALL BE DONE PRIOR TO THE WORK AND IS THE RESPONSIBILITY OF THE GC AND SUBCONTRACTORS. THIS INCLUDES BUT IS NOT LIMITED TO FLOOR AND CEILING PENETRATIONS THROUGH FLOOR/CEILING ASSEMBLIES.</p> <p>MOISTURE RESISTANT (MR) GWB SHALL BE USED ON INTERIOR OF ALL BATHROOMS AND FACE OF KITCHEN BACKSPLASH WALL. USE CEMENTITIOUS BACKERBOARD FOR ALL CERAMIC WALL TILE APPLICATIONS.</p> <p>GC SHALL COORDINATE AND VERIFY ALL EQUIPMENT, MODELS, SIZES, AND ELECTRICAL, HVAC, AND PLUMBING REQUIREMENTS PRIOR TO CONSTRUCTION SUPPLIED BY THE GC, SUBCONTRACTORS, AND OWNER. GC SHALL FURNISH AND INSTALL (F & I) REQUIRED BLOCKING FOR ALL EQUIPMENTS, FLUXTURES, DOOR FRAMES, .ETC. AS REQUIRED. GC SHALL FURNISH AND INSTALL STRUCTURAL SUPPORT AND BLOCKING FOR CONSTRUCTION OF CEILING MOUNTED EQUIPMENT RECOMMENDATIONS.</p> <p>THE DRAWINGS ARE NOT TO BE SCALED. THE GENERAL CONTRACTOR IS TO REFER TO THE DIMENSIONS INDICATED OR THE ACTUAL SIZES OF CONSTRUCTION ITEMS. WHERE NO DIMENSION OR METHOD OF DETERMINING A LOCATION IS GIVEN, VERIFY CORRECT LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.</p> <p>THE DRAWINGS AND REFERENCED DETAILS HAVE BEEN DIMENSIONED IN ORDER TO ESTABLISH THE CONTROL AND GUIDELINES FOR FIELD LAYOUT. WHERE A DISCREPANCY EXISTS BETWEEN THE DRAWING AND THE DETAIL THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.</p>		
ARCHITECTURAL GRAPHIC SYMBOLS			
DRAWING LABEL	DETAIL SECTION	INTERIOR ELEVATION	REVISION KEY
<div><div>1</div><div>A0.2</div><div>Drawing Title</div><div>Scale: Actual Size</div></div>	<div><div>1</div><div>A1</div></div>	<div><div>1</div><div>2</div><div>3</div><div>4</div><div>INTERIOR ELEVATION LETTER</div><div>AS.0</div><div>DRAWING NUMBER REFERENCE</div></div>	<div><div>1</div></div> <div></div>
BUILDING SECTION	DETAIL SECTION	ROOM NAME/NUMBER	ELEVATION TARGET
<div><div>1</div><div>A1</div></div>	<div><div>1</div><div>A1</div></div>	<div>Room Name</div> <div>Room Number</div> <div>10'0" x 10'0"</div> <div>100.00 S.F.</div> <div>Occup Name</div> <div>Occup Type</div>	<div><div>0"</div><div>Benchmark Title</div></div>
WALL SECTION	COLUMN LINE GRID	DETAIL REFERENCE KEY	WALL / DOOR / WINDOW / SYMBOLS
<div><div>1</div><div>A1</div></div>	<div><div>A</div></div>	<div><div>1</div><div>A1</div></div> <div></div>	<div><div>POS</div><div>001</div><div>WALL TYPE</div><div>DOOR DESIGNATION</div><div>WINDOW DESIGNATION</div></div>



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B

BAILLOW ARCHITECTS

35 High Street
Holliston, MA 01746
978-979-8430

Revisions

Date	Notes

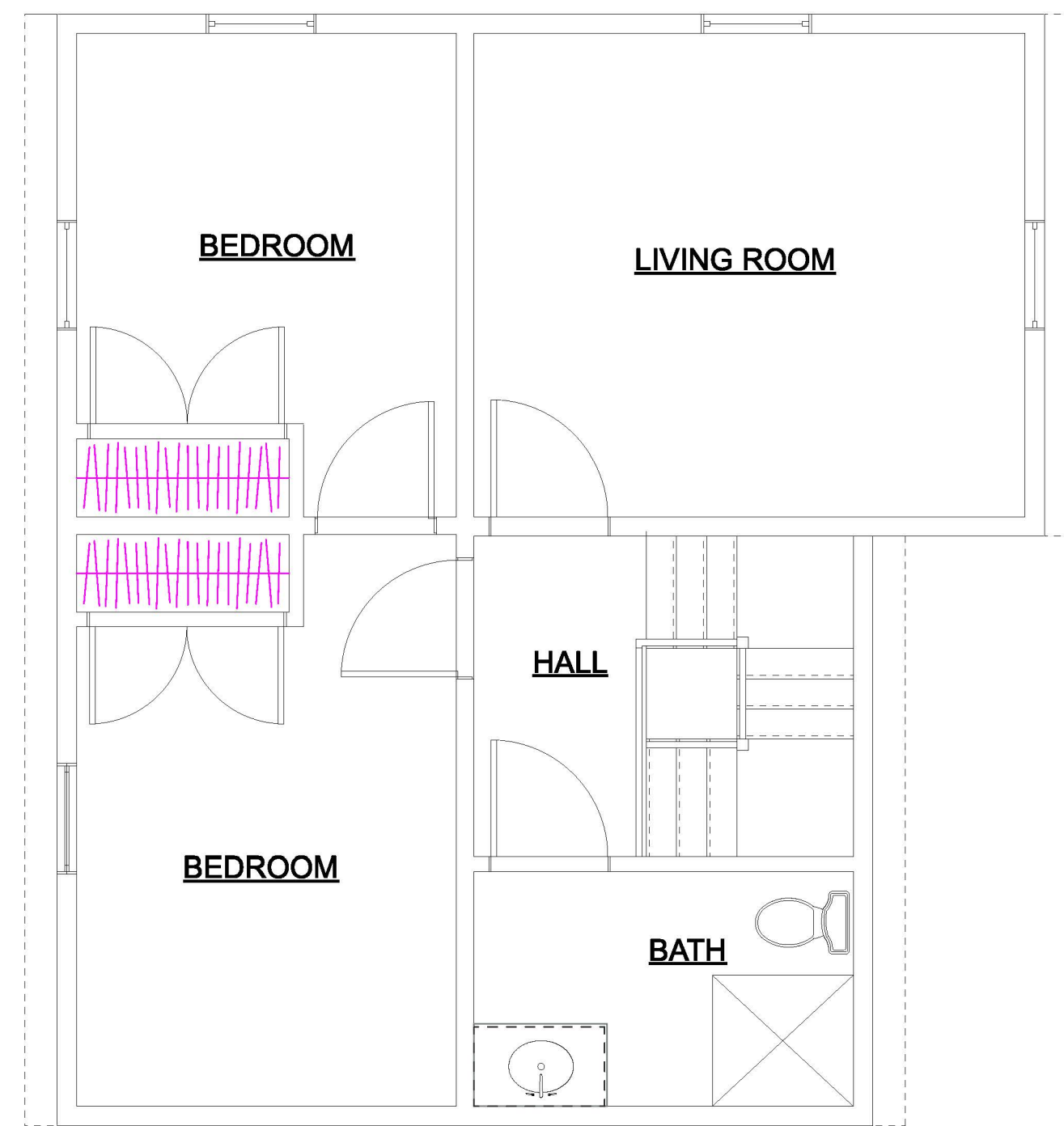
10 Van Norden St
Cambridge, MA

Cambridge, MA

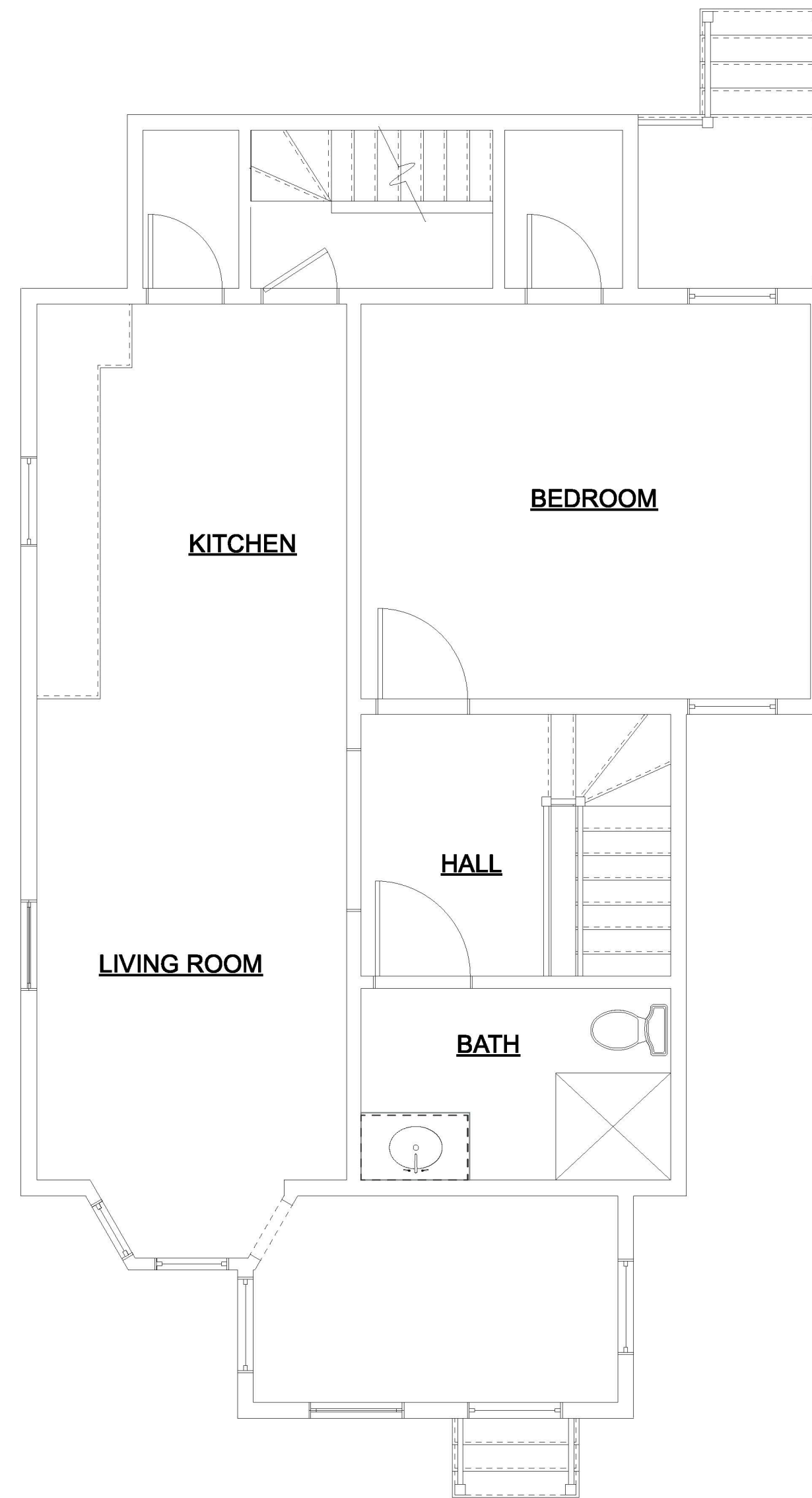
General Notes

Drawn By: CMB
App. By: CMB
Issued: 08/19/21

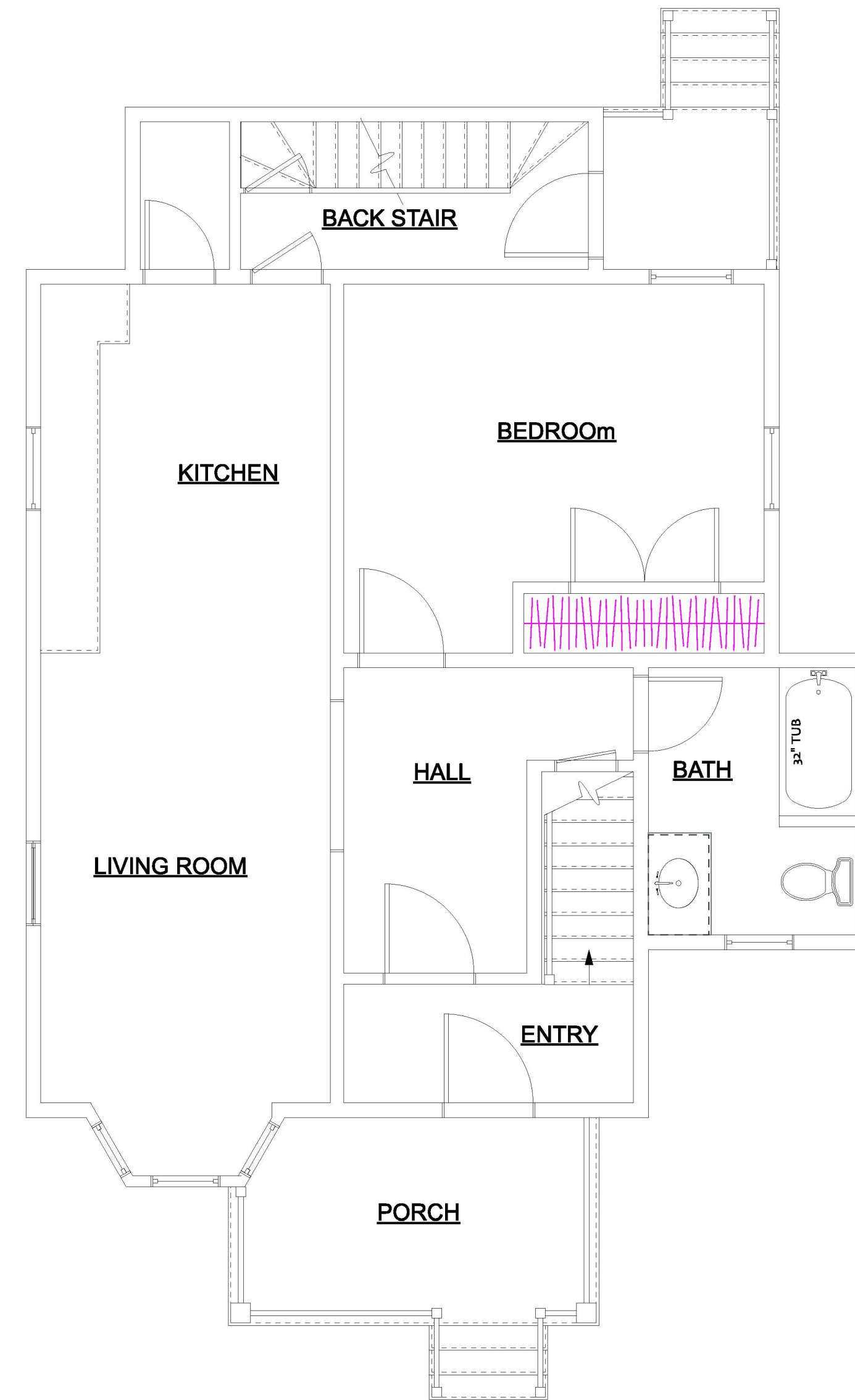
Drawing no.
A0.2



3 Attic Floor Plan
Scale: 1/4" = 1'-0"



2 Second Floor Plan
Scale: 1/4" = 1'-0"

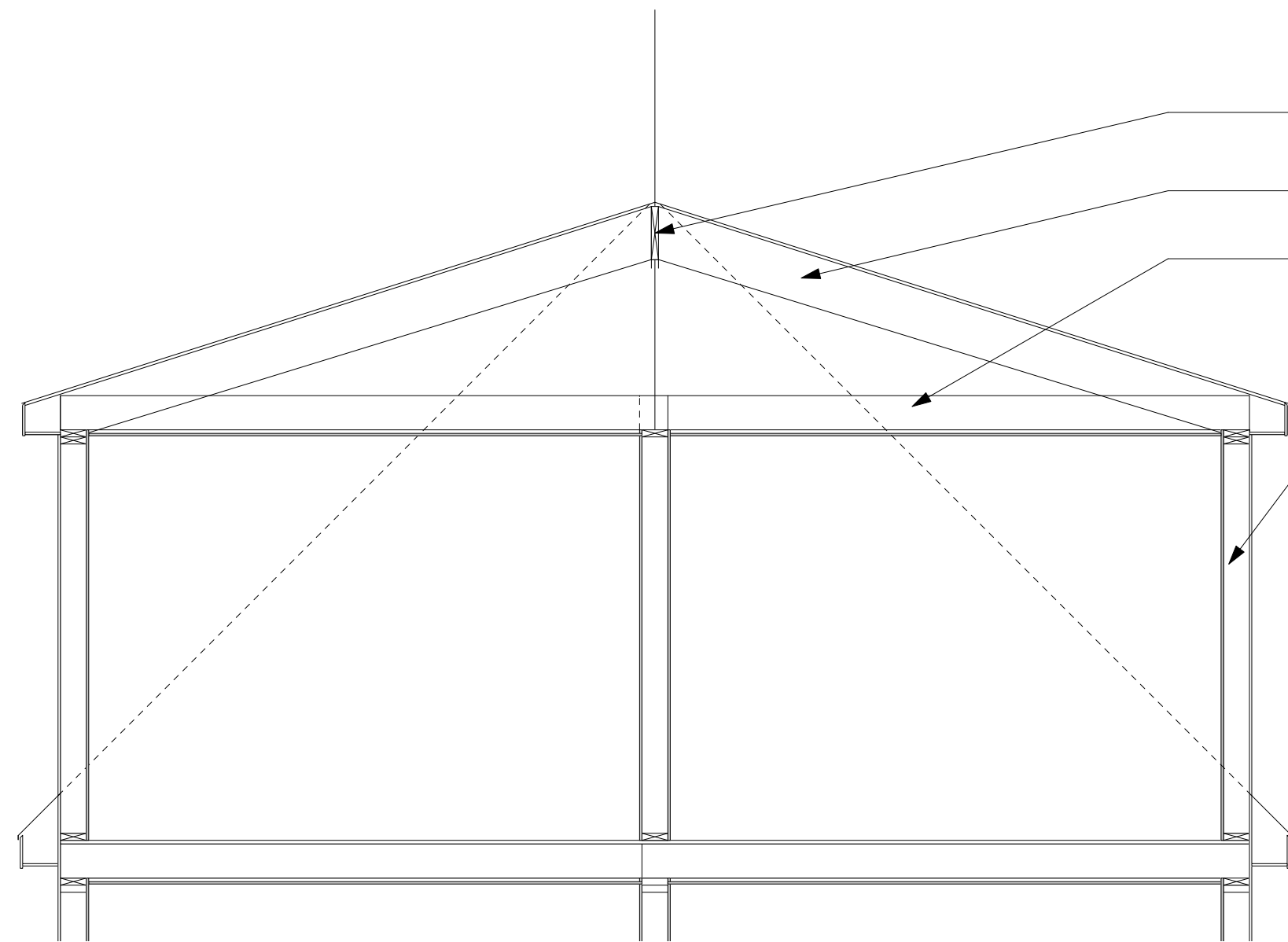


1 First Floor Plan
Scale: 1/4" = 1'-0"



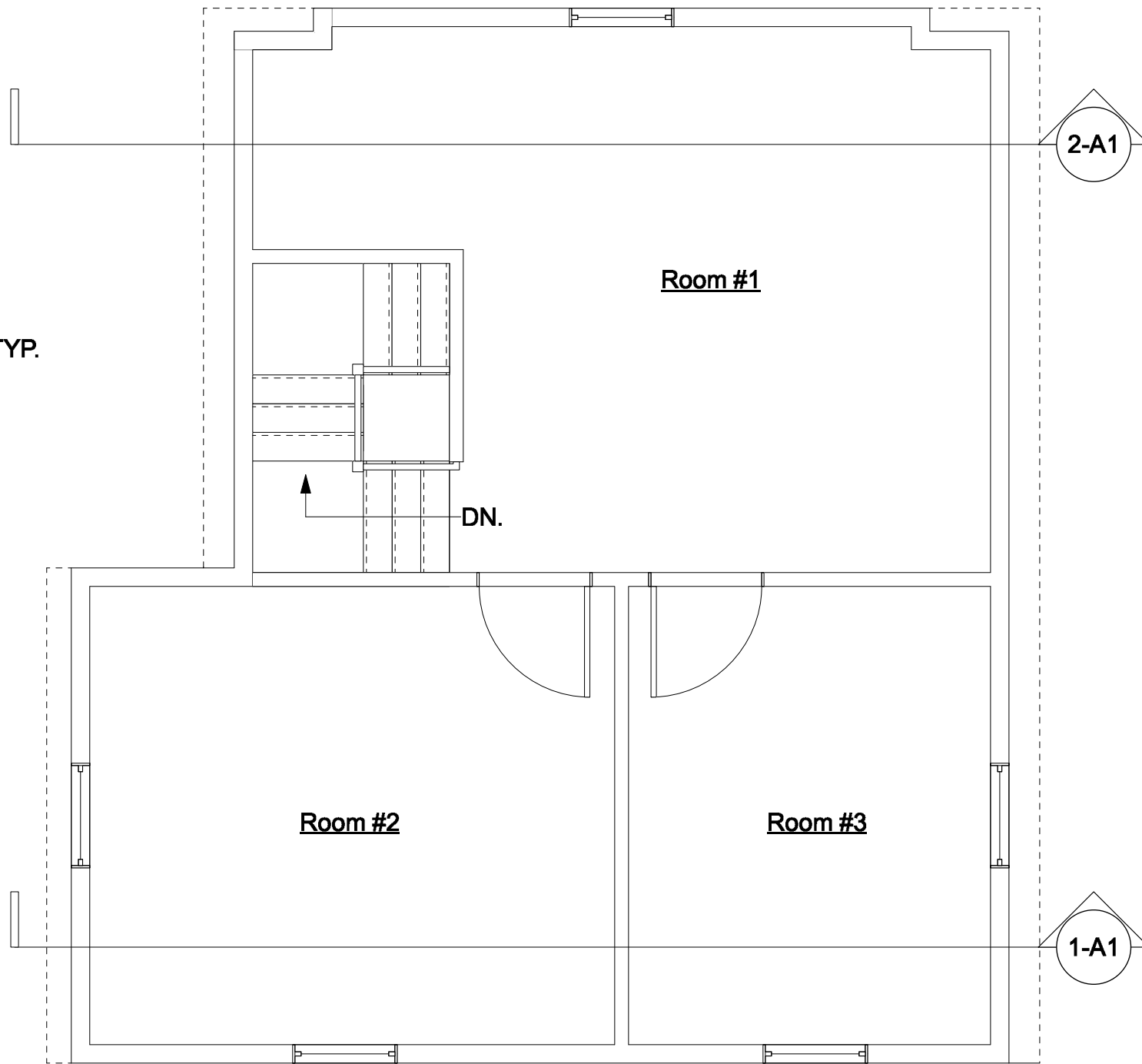
Christopher M. Bailey

B	
BAILLOW ARCHITECTS	
35 High Street Holliston, MA 01746 978-879-8430	
Revisions	
Date	Notes
10 Van Norden St Cambridge, MA	
Cambridge, MA	
First Floor Plan	
Drawn By: CMB	Drawing no.
App. By: CMB	A 1.0
Issued: 01/17/21	



- 2 X 12 RIDGE
- 2 X 10 RAFTER TYP.
- 2 X 8 CEILING JOISTS TYP.
- 2 X 6 WALLS TYP.

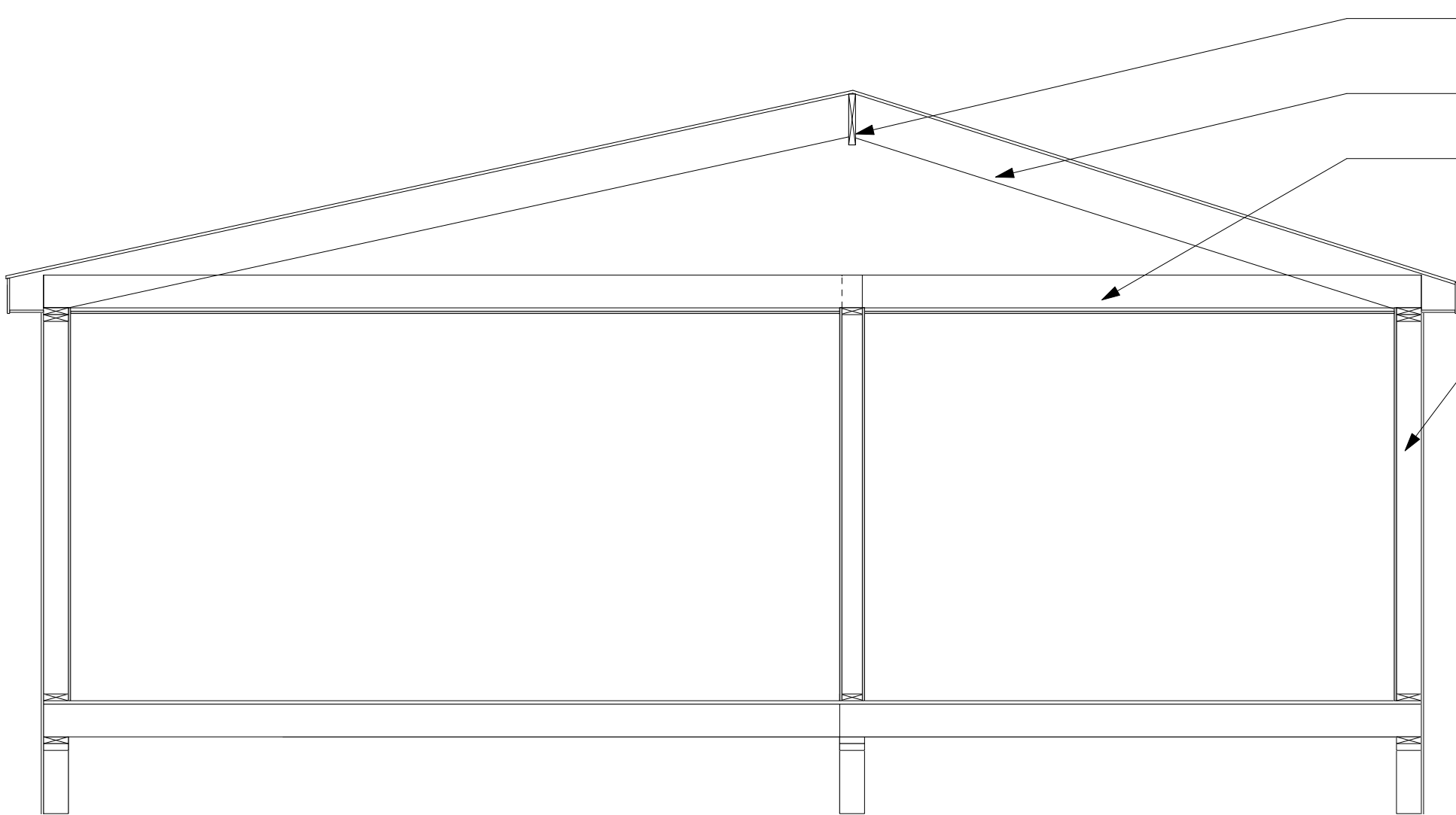
11 SECTION A
Scale: 3/8" = 1'-0"



6 Floor Plan
Scale: 1/4" = 1'-0"



EXISTING GABLE -
NO CHANGE IN RIDGE HEIGHT

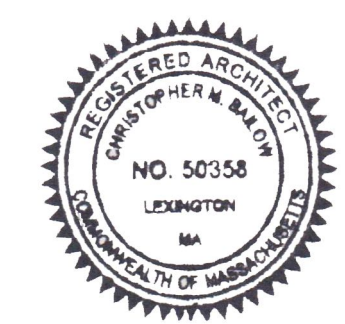


- 2 X 12 RIDGE
- 2 X 10 RAFTER TYP.
- 2 X 8 CEILING JOISTS TYP.
- 2 X 6 WALLS TYP.

12 SECTION
Scale: 3/8" = 1'-0"



4 Proposed Front Elevation
Scale: 1/4" = 1'-0"



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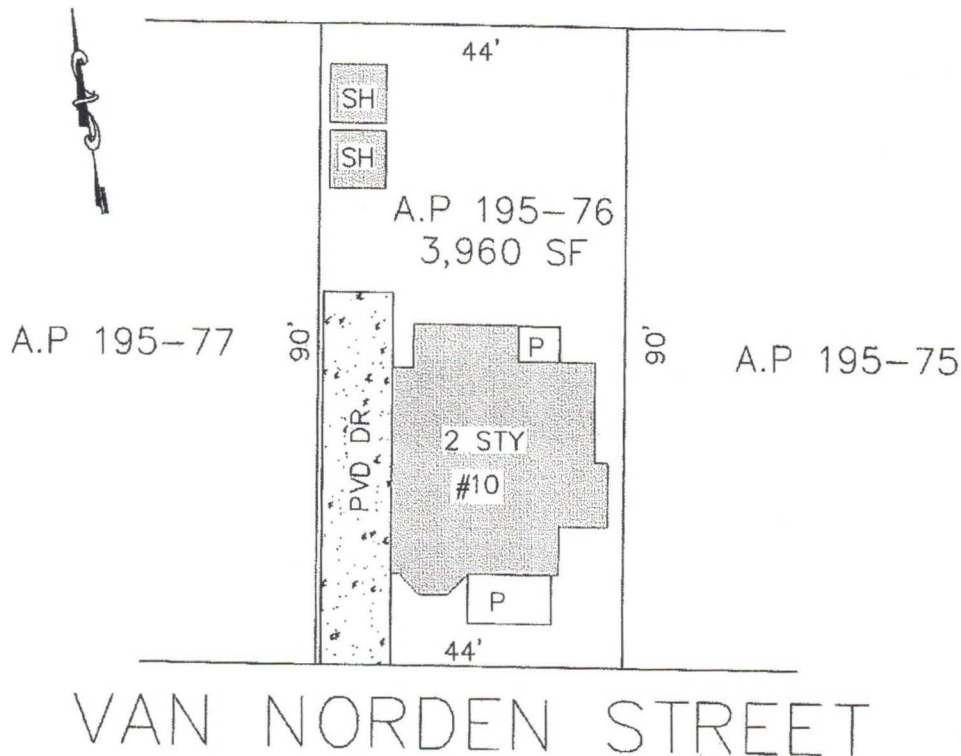
B BAILOW ARCHITECTS 35 High Street Holliston, MA 01746 978-379-6430	
Revisions	
Date	Notes
10 Van Norden St Cambridge, MA	
Cambridge, MA	
Framing Plans	
Drawn By: CMB App. By: CMB Issued: 01/22/22	Drawing no. S 1.0

File number: 201119-31	UNREGISTERED LAND		
Attorney: ABENDROTH, BERNS & WARNER, LLC	Deed Book 30770	Page 389	
Lender: WINCHESTER SAVINGS BANK	Plan Book	Page	Lot(s)
Owner: DEBORAH HARRIS	REGISTERED LAND		
	Reg. Book	Sheet	Lot(s):
Date: 11/25/2020	Certificate of Title		
Assessor's Map 195	Blk: Lot 76	Census Tract	

MORTGAGE INSPECTION PLAN
10 VAN NORDEN STREET, CAMBRIDGE, MA

Scale: 1"=20'

A.P 195-169



CERTIFICATION

THE MAIN BUILDING, FOUNDATION OR DWELLING WAS IN COMPLIANCE WITH THE LOCAL ZONING BYLAWS IN EFFECT WHEN CONSTRUCTED (WITH RESPECT TO STRUCTURAL SETBACK REQUIREMENTS ONLY) OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. GENERAL LAW TITLE VII, CHAPTER 40A, SECTION 7.

FLOOD DETERMINATION

BY SCALE, THE DWELLING SHOWN HERE DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON A MAP OF COMMUNITY # 25017C0419E AS ZONE X DATED 06/04/2010 BY THE NATIONAL FLOOD INSURANCE PROGRAM.



Olde Stone Plot Plan Service, LLC
P.O. Box 1166
Lakeville, MA 02347-
Tel: (800) 993-3302
Fax: (800) 993-3304

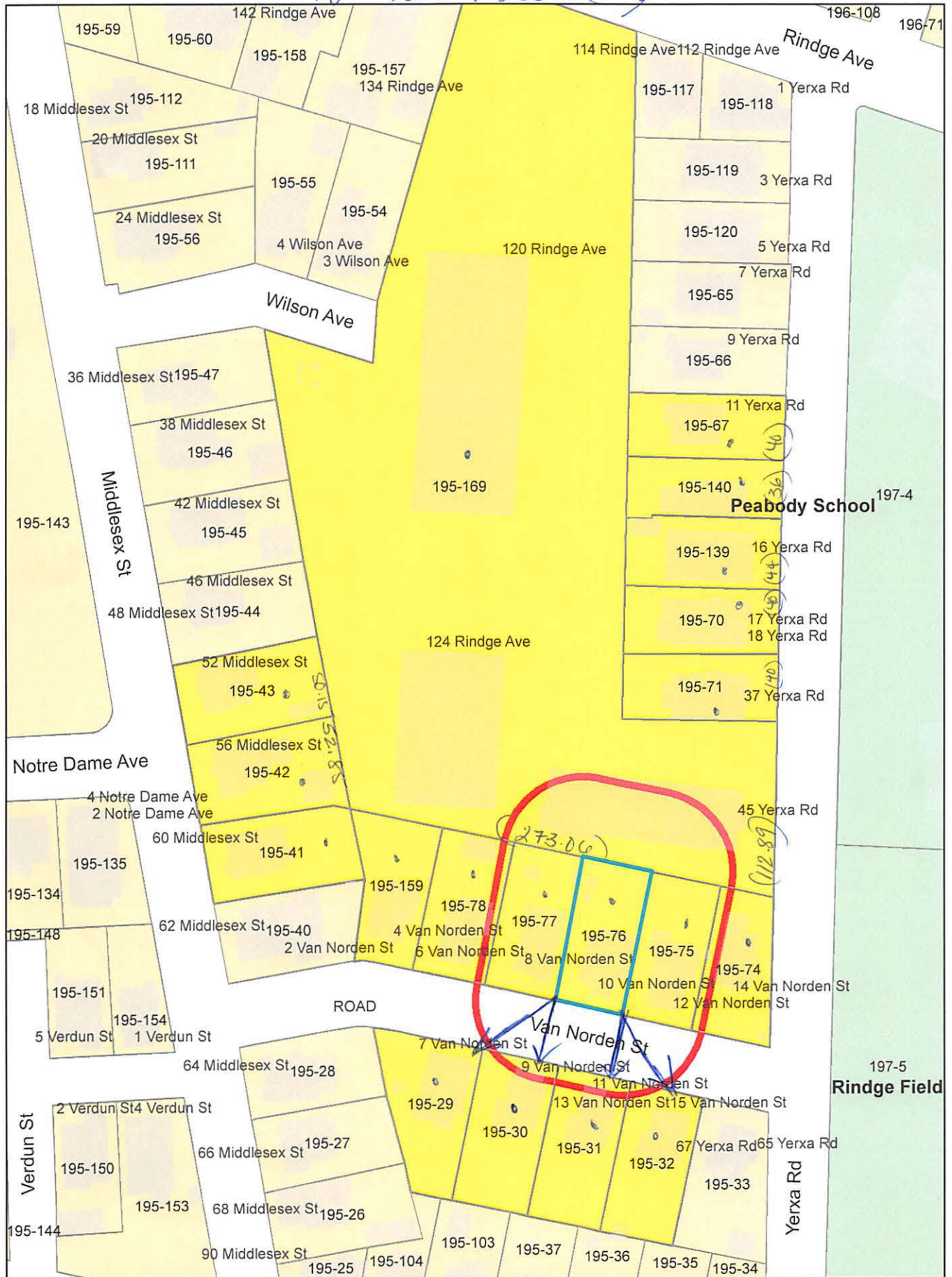


PLEASE NOTE: This inspection is not the result of an instrument survey. The structures as shown are approximate only. An instrument survey would be required for an accurate determination of building locations, encroachments, property line dimensions, fences and lot configuration and may reflect different information than shown here. The land as shown is based on client furnished information only or assessor's map & occupation and may be subject to further out-sales, takings, easements and rights of way. No responsibility is extended to the landowner or surveyor, or occupant. This is merely a mortgage inspection and is not to be recorded.





10 Van Norden St.



10 Van Norden St.

Petitioner

195-30
MARGOLIS, DEAN
9 VAN NORDEN ST.
CAMBRIDGE, MA 02140

195-32
SINGH, RUPINDER, SHERMILA SEN,
SILABHADRA SEN & AGARON SEN
13-15 VAN NORDEN ST
CAMBRIDGE, MA 02139

195-76
DENEHY JOHN
40 MOHAWK PATH
HOLLISTON, MA 01746

195-169
BOS APT 1., LLC
C/O MARVIN F. POER & COMPANY
3520 PIEDMONT ROAD NE, #410
ATLANTA, GA 30305

195-29
GIACOBBE, CHRISTINA E.
7 VAN NORDEN ST
CAMBRIDGE, MA 02140

SHANNA BOUGHTON
251 MONTVALE AVE
WOBBURN, MA 01801

195-159
BOUCHER, NORMAN R.,
TR OF THE N.R.B. REALTY TRUST
2 VAN NORDEN ST
CAMBRIDGE, MA 02140-2518

195-41
SCALFATI, JULIE M.
60 MIDDLESEX ST
CAMBRIDGE, MA 02140

195-43
TANUR, MARCIA, DR., & VICTORIA GURFOLINO
52 MIDDLESEX ST
CAMBRIDGE, MA 02140-2524

195-71
HOWES, STEVEN & KATJA PUDELKO
37 YERXA RD., #2
CAMBRIDGE, MA 02140

195-71
HOWES, STEVEN & KATJA PUDELKO
37 YERXA RD., #3
CAMBRIDGE, MA 02140

195-78
STEIN, TOBY H. & BARBARA H. STEIN
6 VAN NORDEN ST.
CAMBRIDGE, MA 02140-2518

195-139
LEE, CAROLE A. TRUSTEE LEE FAMILY TRUST
15 YERXA RD
CAMBRIDGE, MA 02140-2522

195-70
HAZLETT, NANCY E.
17-18 YERXA RD., #1
CAMBRIDGE, MA 02140

195-70
ITURRALDE, ROBERTO WILLIAM &
AISLYN CANGIALOSE
17-18 YERXA RD., #3
CAMBRIDGE, MA 02140

195-74
CLOUSE, KATHERINE N. DAVID S. DANESE
14 VAN NORDEN ST
CAMBRIDGE, MA 02140

195-67
PERKINS, GEORGE H. & MARY H. CARPENTER
11 YERXA RD
CAMBRIDGE, MA 02140

195-42
NELSON, RICHARD M. JR. & ANN J. HEWITT
TR. OF THE NELSON HEWITT FAMILY 2019 TR.
56 MIDDLESEX ST
CAMBRIDGE, MA 02140

195-70
BRUGGER JUDIANNE
17-18 YERXA RD - UNIT 2
CAMBRIDGE, MA 02140

195-75
ZYLICZ, WILLIAM E. DIANE E. ZYLICZ, TRS
12 VAN NORDEN ST
CAMBRIDGE, MA 02140

195-77
HUDSON LOIS T. LAWRENCE R. HUDSON
8 VAN NORDEN ST
CAMBRIDGE, MA 02140

195-140
STEARNS DENA
13 YERXA RD
CAMBRIDGE, MA 02140

195-31
11 VAN NORDEN LLC
ONE WALNUT ST - STE 3
BOSTON, MA 02108

195-31
ROWLAND, MICHAEL & AMELIA ARMITAGE
11 VAN NORDEN ST - UNIT 2
CAMBRIDGE, MA 02140

195-71
COLEMAN, SARAH M. & NAZMY ABASKHAROUN
100 EVERETT STREET - UNIT 2
ARLINGTON, MA 02474

Pacheco, Maria

From: barbara stein <barbara.stein51@gmail.com>
Sent: Tuesday, May 31, 2022 12:57 PM
To: Pacheco, Maria
Subject: 10 Van Norden St

Re: case BZA-170145

While we are happy that Mr. Denehy is reviving a neglected house on our street we are disappointed in the design (or lack thereof) of the third floor addition. It is oversize and unattractive. It looks like an industrial storage shed has been plopped on top of the house. All the houses on the street have a peaked front roof with at least one window. This has no window, the slope or pitch of the roof is awful and out of character with the house and the whole neighborhood, excluding triple deckers, not just Van Norden St.

Unless Mr. Denehy is willing to change the design of the roof line, we are opposed to the BZA granting this addition.

Respectfully,

Barbara and Toby Stein

6 Van Norden St.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: _____

John James
(Print)

Date: _____

Address: _____

10 Van Norden St.

Case No. _____

BZA-170145

Hearing Date: _____

6/9/22

Thank you,
Bza Members