

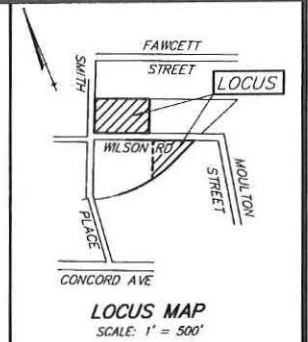
MERIDIAN FROM PLAN #777 OF 1987

JOLLY GREEN GIANT REALTY TRUST
JAMES P. KELLEY & PAUL R. LOHNS, TR
PLAN #2111 OF 1951

FAWCETT REALTY CORPORATION
PLAN #2111 OF 1951
ONE STORY CONC. BLOCK BUILDING

OWNERS OF RECORD:
FRESH POND ONE LLC
ASSESSORS:
MAP 267.4, LOT 307
ZONING: OFFICE - 1 DISTRICT
AOD - ALEWEE OVERLAY DISTRICT

REFERENCES:
DEED BOOK 29985, PAGE 211
DEED BOOK 22985, PAGE 213 (PARKING EASEMENT)
DEED BOOK 30214, PAGE 233 (ELECTRIC EASEMENT)
DEED BOOK 14307, PAGE 399 (WILSON ROAD TAKING)
PLAN #777 OF 1987
PLAN #777 OF 1992
PLAN #336 OF 1999
LAWYERS TITLE INSURANCE CORPORATION
COMMITMENT FOR TITLE INSURANCE
CASE NUMBER C2401, EFFECTIVE DATE OCT. 22, 1999
(NO UPDATED COMMITMENT WAS PROVIDED)
NOTICE OF ACTIVITY AND USE LIMITATION, DATED
OCTOBER 15, 1999, DEPT RELEASE
TRACKING NO.(s): 3-17186



NOTES:

- 1) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE CITY ENGINEER'S OFFICE, CITY D.P.W., M.D.C., MASS HIGHWAY DEPT., AND UTILITY COMPANIES. OTHER UNDERGROUND SERVICES MAY EXIST. MANY AMBIGUITIES IN THE LOCATIONS AND CONNECTION OF UTILITIES EXIST.
- 2) A PORTION OF THE OFF-LOCUS PARKING FACILITIES WAS FORMERLY LOCATED ON LAND DESCRIBED IN TWO LEASE AGREEMENTS BETWEEN A.D. WILSON STRUCTURAL COMPANY AND THE BOSTON & MAINE RAILROAD DATED MAY 11, 1951 & JANUARY 3, 1955. SAID LAND WAS SOLD TO FRESH POND RAILROAD VIA DEED BOOK 41077, PAGE 609, THEREFORE SAID LEASES ARE NO LONGER VALID/ACTIVE.
- 3) ALL BUILDINGS PRESENTLY EXISTING ON LOT 1 NOT SHOWN HEREON.
- 4) THIS SURVEY RELATES TO LOT 2A (FRESH POND ONE LLC) ONLY AND DOES NOT ADDRESS ISSUES FOR LAND OF FRESH POND TECHNOLOGY CENTER LLC (LOT 1).
- 5) EVIDENCE OF AN UNDERGROUND SPRINKLER SYSTEMS EXISTS ON THE PREMISES, SAID SYSTEM IS NOT SHOWN HEREON.
- 6) THE LOCATION OF THE "EASEMENT AREA" SHOWN HEREON IS BASED ON THE WRITTEN DESCRIPTION RECORDED IN DEED BOOK 30214, PAGE 233. AS-BUILT INFORMATION ON THE EXISTING ELECTRIC LINE WAS NOT AVAILABLE AT THE TIME OF THE SURVEY, THE LOCATION OF SAID ELECTRIC LINE AND THE "EASEMENT AREA" IS APPROXIMATE ONLY. A PORTION OF THE "EASEMENT AREA" AS SHOWN ON "EXHIBIT A" (RECORDED WITH THE GRANT OF EASEMENT) INTENDED TO ENCOMPASS THE TRANSFORMERS ON THE SITE DOES NOT SCALE TO THE ACTUAL LOCATIONS OF THE TRANSFORMERS.
- 7) THE PREMISES SHOWN HEREON IS LOCATED WITHIN FEMA FLOOD ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25017C0419E DATED JUNE 4, 2010.
- 8) THIS PLAN DOES NOT ADDRESS UTILITIES SERVING THE TRAILER ON FRESH POND RAILROAD PROPERTY.
- 9) UNDERGROUND ELECTRIC LINES EXIST AT LIGHT POLES. LOCATION OF SAID LINES IS UNKNOWN.
- 10) THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF AN UPDATED TITLE COMMITMENT.

LIST OF OBSERVED ENCROACHMENTS:

- A - CONC. WALL ON LOT 2A (0.5'±)
- B - SIDEWALKS PARTIALLY ON PREMISES (1.5'±)
- C - ELECTRIC MANHOLE PARTIALLY ON PREMISES
- D - BRUSH PILE OVER PROPERTY LINE (2.5'±)

ALTA/ACSM LAND TITLE SURVEY
IN
CAMBRIDGE, MA

PREPARED FOR
FRESH POND ONE LLC

SCALE: 1" = 30' FEBRUARY 7, 2012
0 15 30 60 120

HSA HANCOCK SURVEY ASSOCIATES, INC.
185 CENTRE STREET, DANVERS, MASSACHUSETTS 01923
VOICE 978-777-3050 FAX 978-774-7816

CHECKED BY: *SRJ*

16784

FRESH POND TECHNOLOGY CENTER LLC
PLAN #777 OF 1992
PLAN #336 OF 1999

FRESH POND ONE LLC LOT 2A
PLAN #336 OF 1999
AREA = 65,517±S.F.
3 STORY CONCRETE BLOCK BUILDING
AREA=26,276± S.F. (MEASURED ALONG EXTERIOR FACADE AT GROUND LEVEL)

FRESH POND TECHNOLOGY CENTER LLC LOT 1
PLAN #777 OF 1992

PARKING EASEMENT
DEED BOOK 22985, PAGE 213
AREA = 30,359 ±S.F.

FRESH POND RAILROAD
PLAN #689 OF 2002
BMR-FRESH POND RESEARCH PARK, LLC
PLAN #757 OF 1948
PLAN #950 OF 2001

LEGEND

- | | | | |
|-----------|--|-------|---------------------------|
| —+—+—+— | EDGE OF PAVEMENT | ☆ | LIGHT POLE |
| —x—x—x—x— | CHAIN LINK FENCE | ⊙ | MONITORING WELL |
| —w—w—w—w— | WOOD STOCKADE FENCE | RCP | REINFORCED CONCRETE PIPE |
| —d—d—d—d— | EDGE OF WOODED AREA | CI | CAST IRON |
| —s—s—s—s— | SEWERLINE & MANHOLE WITH PIPE SIZE | CL | CLAY PIPE |
| —d—d—d—d— | DRAINLINE WITH PIPE SIZE, CATCHBASIN, MANHOLE & ROUND CATCHBASIN | PVC | POLYVINYL CHLORIDE |
| —w—w—w—w— | WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT | • | BOLLARD |
| —g—g—g—g— | GAS MAIN WITH SIZE & GATE VALVE | + | SIGN |
| —o—o—o—o— | EXISTING UTILITY POLE WITH OVERHEAD WIRES AND GUY ANCHOR | ⊕ | MANHOLE (UNKNOWN UTILITY) |
| —e—e—e—e— | ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES | (R) | RECORD |
| —t—t—t—t— | TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES | (C) | CALCULATED |
| | | (R/H) | RECORD AND HELD |
| | | CLF | CHAIN LINK FENCE |
| | | SS | SANITARY SEWER |
| | | HH | HAND HOLE |
| | | (D) | DESIGN |

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

2/13/12
DATE
PROFESSIONAL LAND SURVEYOR

FOR REGISTRY USE

TO FRESH POND ONE LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-4, 6(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17 AND 20a OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 6, 2012. SEE NOTE 10 REGARDING TITLE DOCUMENTS.

I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN. (MASS. REG. LAWS CHAPTER 41, SEC. 81-N)



2/13/12
DATE
PROFESSIONAL LAND SURVEYOR
REGISTRATION NO.



2/13/12
DATE
PROFESSIONAL LAND SURVEYOR

I CERTIFY THAT THE PREMISES SHOWN HEREON IS LOCATED IN A FLOOD HAZARD ZONE "X" AS DELINEATED ON THE MAP OF COMMUNITY NUMBER 25017C0419E AS REVISED TO JUNE 4, 2010 BY AGENCIES OF THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION.



2/13/12
DATE
PROFESSIONAL LAND SURVEYOR

ARA REALTY CORP.
PLAN #515 OF 2002



Seals:

General Notes:

These drawings have been compiled from existing drawings provided by the Building Owner. The General Contractor is responsible for field verifying and confirming all the existing conditions and dimensions prior to the start of construction.

Project Client

The Davis Companies

25 High Street, Suite 2111
Boston, MA 02110
P 617-451-1300
F 617-451-3604
W TheDavisCompanies.com

10 Wilson Rd
Landscape Improvements
10 Wilson Road
Cambridge, MA 02138

[illegible]

AD File:
Project No.: L1003907
Copyright: 2015 Jacobs Engineering Group

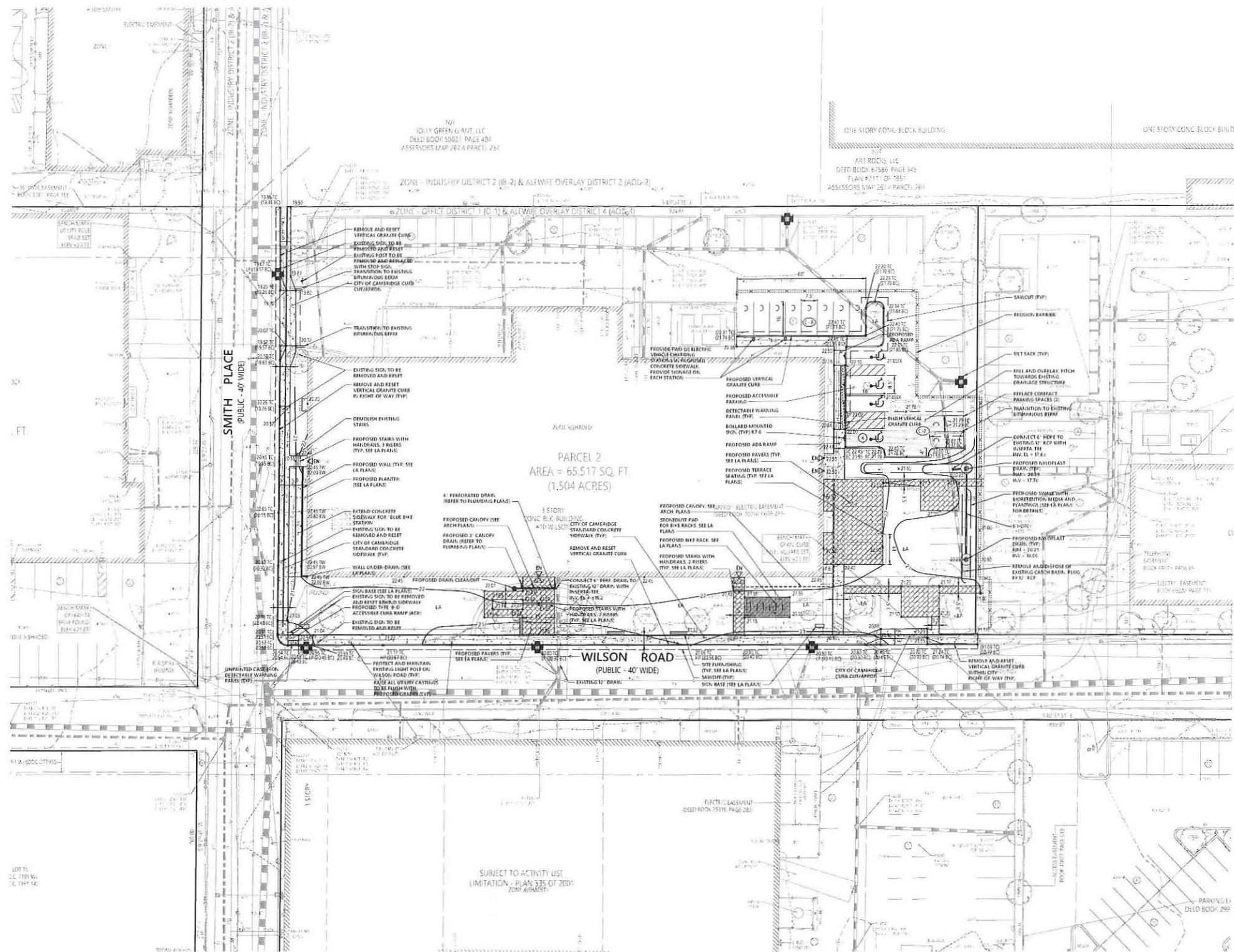
Drawing Sheet Title:

SITE PLAN


Drawing Sheet Number:

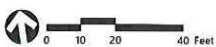
C-200

Owner's Drawing Sheet No.:



Sign Summary

M.U.T.C.D. Number	Specification		Desc.
	Width	Height	
R1.1	30"	30"	



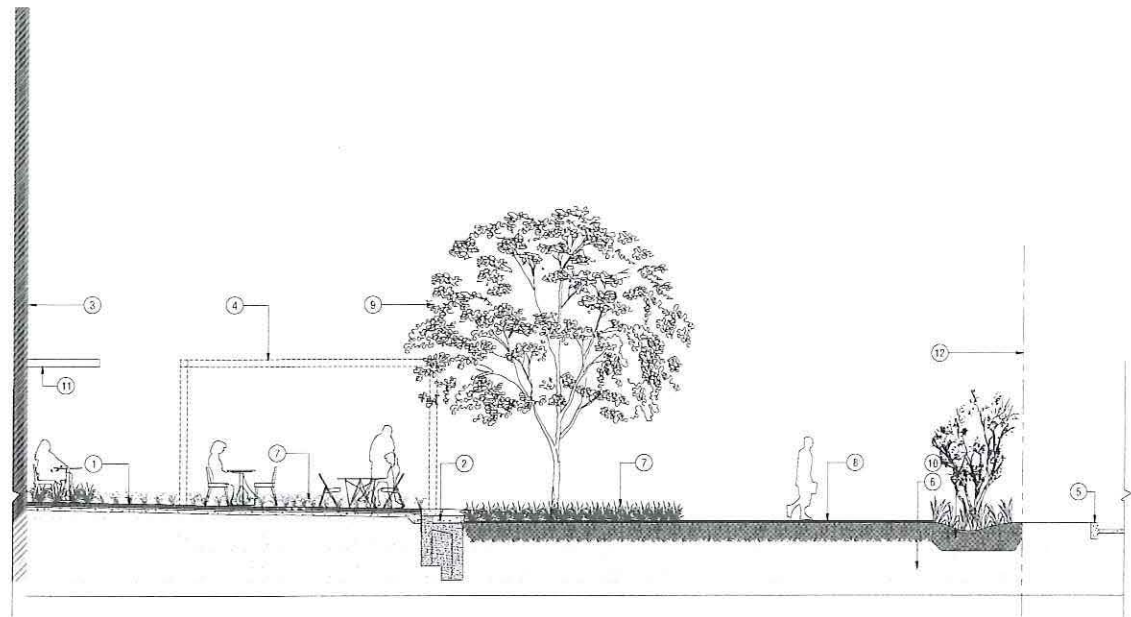
Consultant:
VME
90 High Street, 10th Floor
Boston, MA 02110
P: 617-728-7777
V: 617-728-7777

Scale:

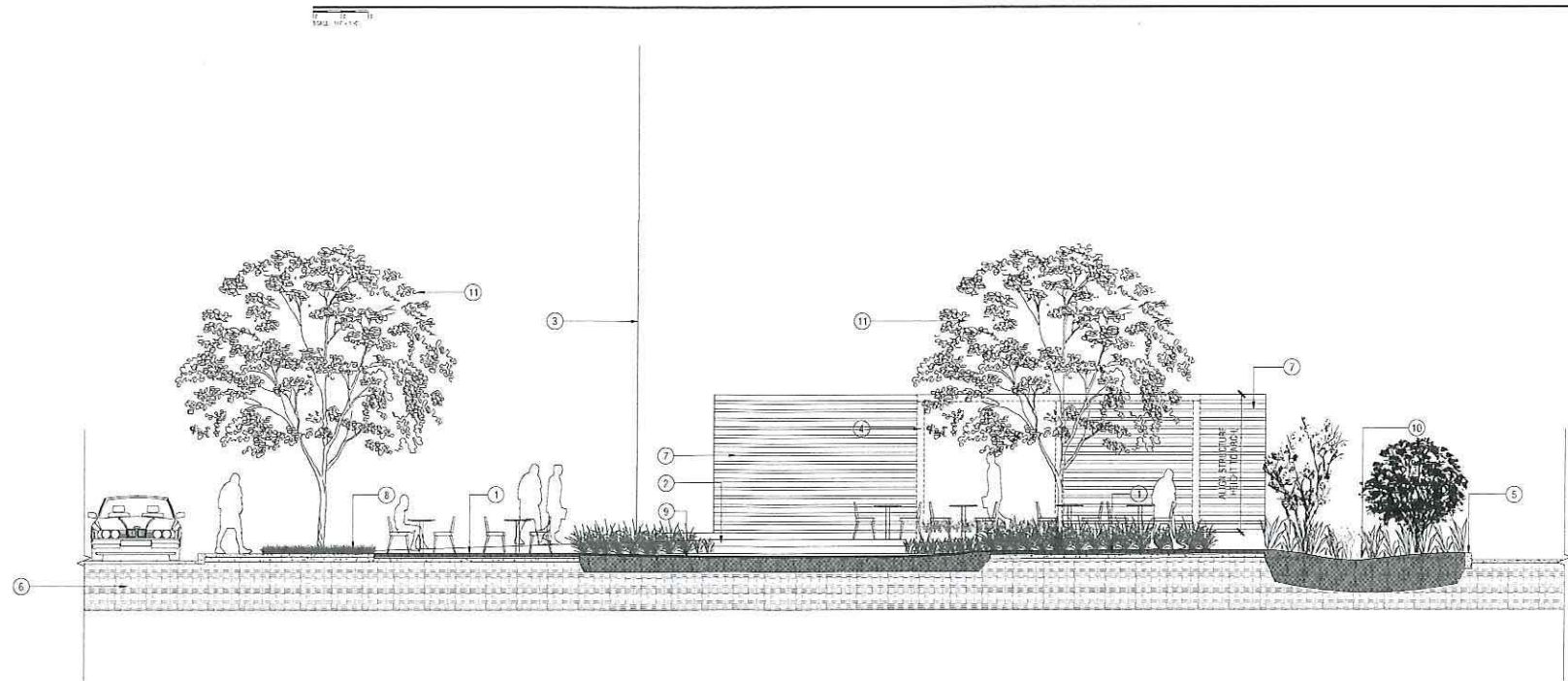
NOT FOR CONSTRUCTION

General Notes:

- 1. PAVING, RE. PLANS
- 2. TERRACE SEATING
- 3. FACE OF BUILDING
- 4. SHADE STRUCTURE, BEYOND
- 5. EXISTING CURB (OFFSITE)
- 6. SUBGRADE
- 7. PLANTING BED, BEYOND
- 8. LAWN
- 9. SPECIMEN TREE
- 10. BIOSWALE
- 11. OVERHANG, RE. ARCHITECTURE
- 12. PROPERTY LINE



- 1. PAVING, RE. PLANS
- 2. TERRACE SEATING
- 3. FACE OF BUILDING
- 4. SHADE STRUCTURE, BEYOND
- 5. CURB, RE. CIVIL
- 6. SUBGRADE
- 7. GARAGE DOOR, RE. ARCHITECTURE
- 8. PLANTING BED, BEYOND
- 9. LAWN
- 10. BIOSWALE
- 11. SPECIMEN TREE



SITE SECTION 02

Project Client:
The Davis Companies
125 High Street, Suite 2111, Boston, MA 02110
P: 617-451-1300
F: 617-451-3034
W: TheDavisCo.com 234-63.69m
10 Wilson Road
Cambridge, MA 02138

Number	Description	Date
1	DRAFT LAYOUT AND CONSTRUCTION	10/18/2018
2	CONSTRUCTION DOCUMENTATION	10/18/2018

CONSTRUCTION DOCUMENTS

CAD File: 10WilsonRoadSiteSection01.dwg
Project No: 00-CAM-18-001

Drawing Sheet Title:

SITE SECTIONS

Drawing Sheet Number:

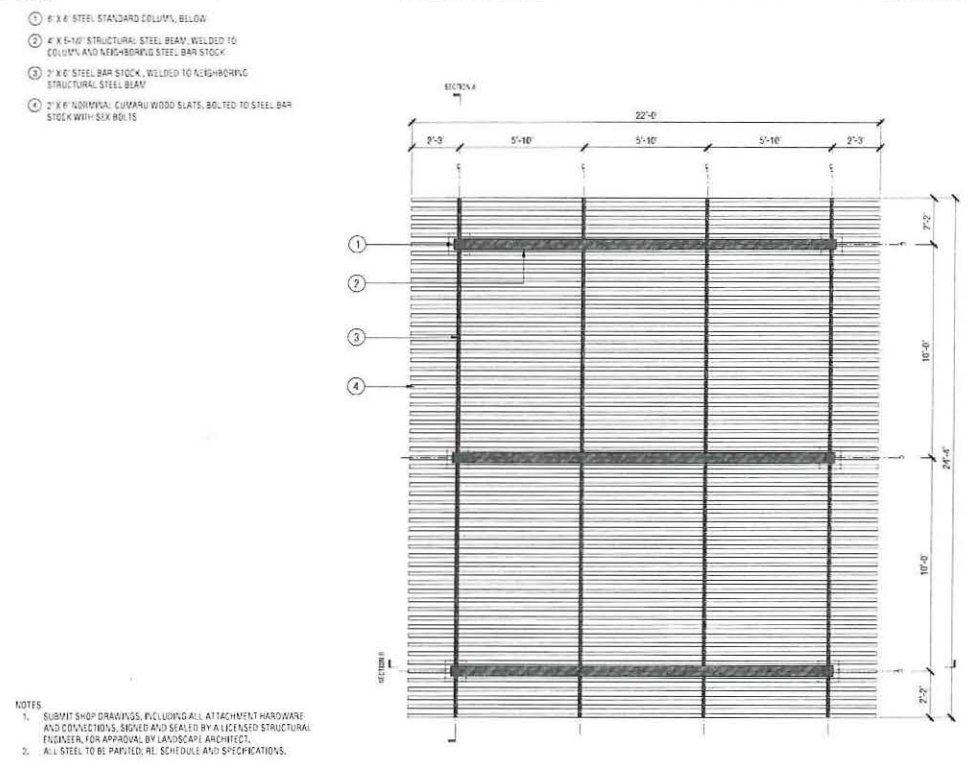
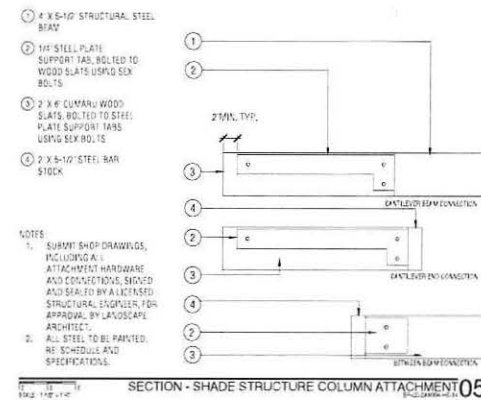
L-2.00

SITE SECTION 01

VHB
88 High Street, 7th Floor
Boston, MA 02110
P 617-726-7771
vib3.com

NOT FOR CONSTRUCTION

General Notes



The Davis Companies

10 Wilson Road
Cambridge, MA 02138

[illegible]CONSTRUCTION
DOCUMENTS

CAD File	GD-CAM-10 VML.DWG
Project No.	GD-CAM-10 VML.SOP

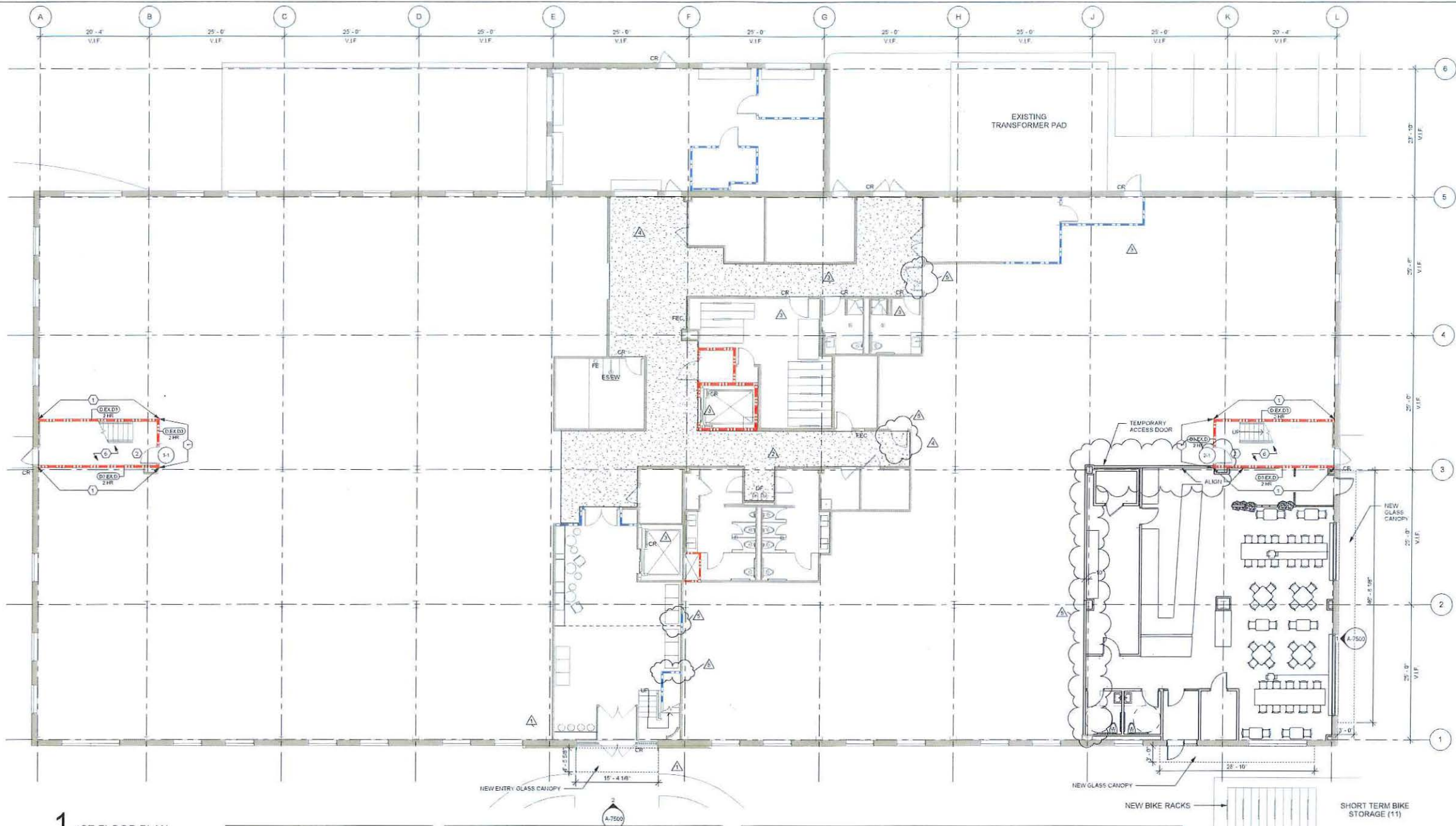
(Drawing Sheet 7 of 8)

CONSTRUCTION DETAILS

Drawing Sheet number

L-3.03

1/6/2020 10:31:42 AM BIM 360://US MA-1003907-Davis Companies-10 Wilson Road/L1003907_10 WILSON ROAD_V17_ARCH.rvt



1 1ST FLOOR PLAN
A-1010 SCALE: 1/8" = 1'-0"

KEY NOTES

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET

- UPGRADE THE EXISTING STAIR PARTITION WITH THE ADDITION OF (2) LAYERS OF TYPE 'X' GWS TO PROVIDE A 2-HR RATING. PER UL NO. U411. SEE A-6000 FOR ADDITIONAL INFORMATION.
- INSTALL NEW 1/2" WHITE DOOR AND FRAME IN EXISTING OPENING. SEE A-6100 FOR ADDITIONAL INFORMATION.
- UPGRADE THE EXISTING SHAFT PARTITION WITH THE ADDITION OF (1) LAYERS OF TYPE 'X' GWS TO PROVIDE A 2-HR RATING. PER UL NO. U411. SEE A-6000 FOR ADDITIONAL INFORMATION.
- INSTALL NEW DOOR ON EXISTING FRAME. SEE A-6100 FOR ADDITIONAL INFORMATION.
- PROVIDE RATED ACCESS PANEL TO SUPPLY SHAFT IN THIS LOCATION.
- PAINT WALLS, STRIKERS, TREADS, RISERS, GUARDRAILS, ETC. IN STAIR #1 AND STAIR #2. SEE A-1100 FOR ADDITIONAL INFORMATION.
- NEW DRINKING FOUNTAIN & BOTTLE FILL STATION ON 1ST FLOOR. EXISTING DRINKING FOUNTAINS TO REMAIN ON 2ND & 3RD FLOOR. REFURBISH AS REQUIRED.

FLOOR PLAN LEGEND:

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET

- DOOR IDENTIFICATION TAG**
REFER TO SHEET A-6100 FOR PARTITION TYPES AND LEGEND
- DOOR IDENTIFICATION**
REFER TO SHEET A-6100 FOR DOOR TYPES
- NEW CONSTRUCTION**
EXISTING CONSTRUCTION TO REMAIN
- 1 HOUR RATED WALL PARTITION**
REFER TO SHEET A-6000 FOR DETAILS
- 2 HOUR RATED WALL PARTITION**
REFER TO SHEET A-6000 FOR DETAILS
- OPENING IN A PARTITION**
NOT IN CONTRACT (N/C)
- COMMON AREA**
OUTLINE OF DRAINAGE ABOVE. SEE A-1050
- CR** CARD READER
DF DRINKING FOUNTAIN
ESW EMERGENCY SHOWER / EYEWASH COMBO
FEC FIRE EXTINGUISHER CABINET
FE FIRE EXTINGUISHER
FD FLOOR DRAIN
CG COLUMN GRID

GENERAL NOTES

- ALL WALLS TO BE 3-D UNLESS OTHERWISE NOTED - SEE ENLARGED PLANS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING. GO TO VERIFY ALL EXISTING GRID DIMENSIONS
- NEW CONSTRUCTION SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH, U.O.I.
- NEW CONSTRUCTION ABUTTING EXISTING PERIMETER WINDOW MULLION, SILL AND PARTITION SHALL CONFORM TO BASE BUILDING STANDARDS
- PROVIDE AND INSTALL ALL NEW CONSTRUCTION TO MEET APPLICABLE CODES AND REGULATIONS
- CONTRACTOR SHALL CHALK OUT PARTITION LINES AND NOTIFY ARCHITECT FOR REVIEW BEFORE SETTING BASE TRACK AND STUDS
- INSTALL PARTITIONS TO CONFORM TO MANUFACTURER'S INSTRUCTIONS. ANCHORED FIRMLY TO SLAB AND TIGHTLY SECURED TO CEILING SUSPENSION SYSTEM OR DECK ABOVE AS INDICATED
- WHERE ACOUSTICAL PARTITIONS ARE INDICATED, ACOUSTIC BATT INSULATION SHALL CONTRIBUTE BEHIND ALL ELECTRICAL AND TEL / DATA DEVICES (BOXES, ACOUSTIC BATT INSULATION SHALL EXTEND FULL HEIGHT OF PARTITION. CONTRACTOR SHALL BE REQUIRED TO FILL ALL PENETRATIONS MADE FOR ROUTING OF CABLES, ETC.
- ALL PARTITIONS ARE DIMENSIONED TO FACE OF FINISH U.O.I. ALL "HOLD" DIMENSIONS SHALL NOT BE CHANGED. ALL "CLEAR" DIMENSIONS ARE NOT ADJUSTABLE UNLESS APPROVED BY ARCHITECT. DEVIATION GREATER THAN 1/4" WILL RESULT IN REJECTION OF WORK
- IN AREAS WHERE ACOUSTICAL PARTITIONS CONFLICT WITH DUCTWORK, EXTEND PARTITIONS 6" ABOVE FINISHED CEILING. PROVIDE AND INSTALL FLEXIBLE SEAL BETWEEN DUCT AND GWS PARTITION. SEAL AREA ABOVE DUCTWORK TO SLAB
- SET FINISH DOOR OPENINGS IN ALL PARTITIONS 4" FROM ADJACENT PERPENDICULAR PARTITION U.O.I.
- REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH THE INSTALLATION OF FIXTURES, SWITCHES, OUTLETS, AND OTHER SIMILAR ITEMS IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS. STUD LOCATIONS SHALL BE LOCATED TO PERMIT INSTALLATION OF RECESSED WALL ITEMS AS SHOWN ON ROOM PLANS AND ELEVATIONS
- RE-APPLY FIREPROOFING TO MAINTAIN ORIGINAL FIRE RATING WHEREVER NEW CONSTRUCTION IS ANCHORED FIRMLY AND DIRECTLY TO EXISTING FIRE-RATED CONSTRUCTION. REPAIR ALL AREAS OF DAMAGED FIREPROOFING
- PATCH OR PROVIDE NEW FIRESTOPPING SEALANT AND ASSEMBLIES AT ALL PENETRATIONS IN FIRE-RATED PARTITIONS AND FLOOR SLAB. SEALANTS SHALL BE LISTED FOR THE APPLICATION
- CONCEALED BLOCKING IN PARTITIONS TO BE PROVIDED IN AREAS WHERE REQUIRED. THESE AREAS INCLUDE, BUT ARE NOT LIMITED TO, OPENED AND CLOSED SHELVING, CABINETRY, COUNTERTOPS, DOOR FRAMES AND HEADERS, WALL MOUNTED MICROPHONES, AND SUPPORT OF TRIM. ALL BLOCKING SHALL BE FIRE-RETARDANT IN ACCORDANCE WITH THE APPLICABLE FIRE PROTECTION CODES. REFER TO G-0003
- EXISTING FLOOR SLAB SHALL BE PATCHED, PREPARED, REFINISHED, LEVELED AND SEALED AS REQUIRED FOR PROPER INSTALLATION OF FINISH MATERIALS
- GWS SOFFIT HEIGHT SHALL BE MEASURED FROM THE HIGH POINT OF THE PATCHED FLOOR SLAB IN THE SOFFIT AREA. ALL SOFFITS IN SAME ROOM OR ALONG SAME PATHWAY TO ALIGN
- ALL AREAS WITHIN "LIMIT OF WORK" TO BE PAINTED GWS WITH RUBBER BASE UNLESS OTHERWISE NOTED
- ALL EXISTING WINDOW SILLS TO BE PATCHED AND REPAIRED
- ELECTRICAL OUTLETS SHOWN FOR EQUIPMENT REQUIREMENTS AND MOUNTING HEIGHTS. REFER TO ELECTRICAL DRAWINGS FOR OUTLET QUANTITIES AND ADDITIONAL INFORMATION
- ALL ROOF PENETRATIONS ARE TO BE FLASHED IN STRICT ACCORDANCE WITH THE ROOFING MANUFACTURER'S APPROVED DETAILS

JACOBS
JACOBS CONSULTANTS, INC.

120 SAVIT JAMES AVENUE
5TH FLOOR
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Consultants

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18 TREMONT STREET, SUITE 1040
BOSTON, MA 02108
P: 781-372-3000
W: AHA-Engineers.com

McNamara - Salvia Structural Engineers
101 Federal Street, 11th Floor
Boston, MA 02110
P: 617-737-0040
W: McSal.com

Seals

General Notes:

These drawings have been compiled from existing drawings provided by the Building Owner. The General Contractor is responsible for field verifying and confirming all the existing conditions and dimensions prior to the start of construction.

Project Client

The Davis Companies

125 High Street, Suite 2111
Boston, MA 02110
P: 617-451-1500
F: 617-451-3554
W: TheDavisCompanies.com

10 WILSON ROAD CORE & SHELL RENOVATIONS

10 Wilson Road
Cambridge, MA 02138

Number	Description	Date
	ISSUED FOR CONST	10/11/16
		01/08/19
1	BULLETIN No. 1	02/01/19
2	BULLETIN No. 2	03/15/19
3	BULLETIN No. 4	05/07/19
4	BULLETIN No. 5	06/13/19
5	BULLETIN No. 9	TBD

Project North



CAD File
Project No.: L1003907
Copyright: 2015 Jacobs Engineering Group

Drawing Sheet Title:
1ST FLOOR PLAN

Drawing Sheet Number:

A-1010

Owner's Drawing Sheet No.

These drawings have been compiled from existing drawings provided by the Building Owner. The General Contractor is responsible for field verifying and confirming all the existing conditions and dimensions prior to the start of construction.

Project Client:

The Davis Companies

125 High Street, Suite 2111
Boston, MA 02110
P: 617-491-1300
F: 617-491-1304
W: TheDavisCompanies.com10 WILSON ROAD CORE
SHELL RENOVATIONS10 Wilson Road
Cambridge, MA 02138

Number	Description	Date
	ISSUED FOR CONST	01/08/19

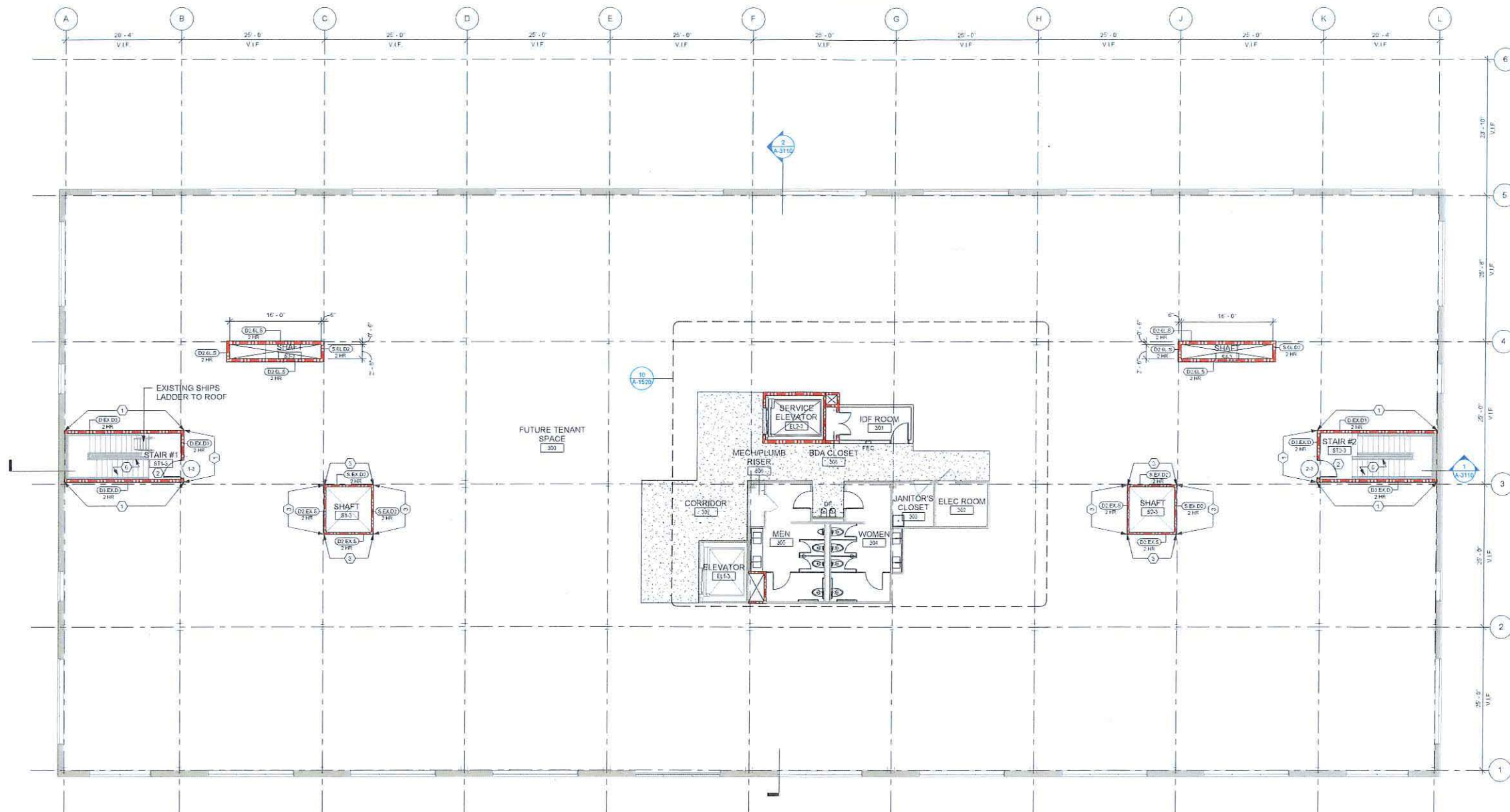
Project North

CAD File:
Project No.: L1003907
Copyright: 2015 Jacobs Engineering GroupDrawing Sheet Title:
3RD FLOOR PLAN

Drawing Sheet Number:

A-1030

Owner's Drawing Sheet No.:



1 3RD FLOOR PLAN
A-1030 SCALE: 1/8" = 1'-0"

KEY NOTES

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET.

- UPGRADE THE EXISTING STAIR PARTITION WITH THE ADDITION OF (1) LAYERS OF TYPE 'X' GWB TO PROVIDE A 2-HR RATING PER UL NO. 1421. SEE A-6000 FOR ADDITIONAL INFORMATION.
- INSTALL NEW 90 MINUTE DOOR AND FRAME IN EXISTING OPENING. SEE A-6100 FOR ADDITIONAL INFORMATION.
- UPGRADE THE EXISTING SHAFT PARTITION WITH THE ADDITION OF (1) LAYERS OF TYPE 'X' GWB TO PROVIDE A 2-HR RATING PER UL NO. 1421. SEE A-6000 FOR ADDITIONAL INFORMATION.
- INSTALL NEW DOOR ON EXISTING FRAME. SEE A-6100 FOR ADDITIONAL INFORMATION.
- PROVIDE RATED ACCESS PANEL TO SUPPLY SHAFT IN THIS LOCATION.
- PART WALLS, STRINGERS, TREADS, RISERS, GUARDRAILS, ETC. IN STAIR #1 AND STAIR #2. SEE A-7100 FOR ADDITIONAL INFORMATION.

FLOOR PLAN LEGEND:

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET.

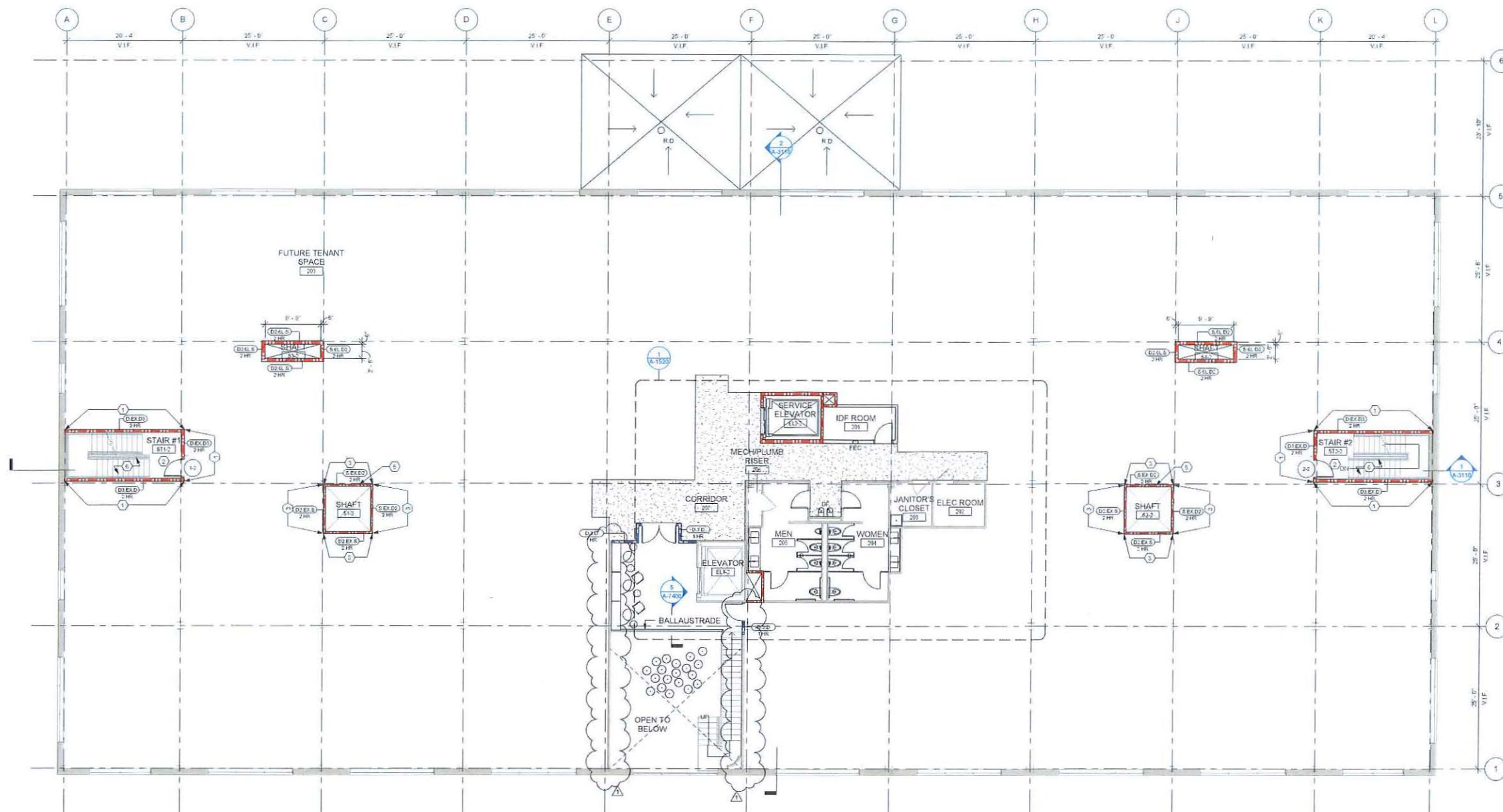
A PARTITION TYPE IDENTIFICATION TAG
REFER TO SHEET A-6000 FOR PARTITION TYPES AND LEGEND

- | | | | |
|--|--|--|----------------------------------|
| | NEW CONSTRUCTION | | EXISTING DOOR IDENTIFICATION |
| | EXISTING CONSTRUCTION TO REMAIN | | CARD READER |
| | 1 HOUR RATED WALL PARTITION
REFER TO SHEET A-6000 FOR DETAILS | | DRINKING FOUNTAIN |
| | 2 HOUR RATED WALL PARTITION
REFER TO SHEET A-6000 FOR DETAILS | | EMERGENCY SHOWER / EYEWASH COMBO |
| | OPENING IN A PARTITION | | FIRE EXTINGUISHER CABINET |
| | NOT IN CONTRACT (N/C) | | FIRE EXTINGUISHER |
| | COMMON AREA | | FLOOR DRAIN |
| | OUTLINE OF DRAINAGE ABOVE SEE A-1050 | | COLUMN (GRID) |

GENERAL NOTES

- ALL WALLS TO BE 3-D UNLESS OTHERWISE NOTED - SEE ENLARGED PLANS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING. GO TO VERIFY ALL EXISTING GRID DIMENSIONS.
- NEW CONSTRUCTION SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH U.O.N.
- NEW CONSTRUCTION ABUTTING EXISTING PERIMETER WINDOW MULLION, SILL AND PARTITION SHALL CONFORM TO BASE BUILDING STANDARDS.
- PROVIDE AND INSTALL ALL NEW CONSTRUCTION TO MEET APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL CHALK OUT PARTITION LINES AND NOTIFY ARCHITECT FOR REVIEW BEFORE SETTING BASE TRACK AND STUDS.
- INSTALL PARTITIONS TO CONFORM TO MANUFACTURER'S INSTRUCTIONS, ANCHORED FIRMLY TO SLAB AND TIGHTLY SECURED TO CEILING SUSPENSION SYSTEM OR DECK ABOVE AS INDICATED.
- WHERE ACOUSTICAL PARTITIONS ARE INDICATED, ACOUSTIC BATT INSULATION SHALL CONTINUE BEHIND ALL ELECTRICAL AND TEL / DATA DEVICES / BOXES. ACOUSTIC BATT INSULATION SHALL EXTEND FULL HEIGHT OF PARTITION. CONTRACTOR SHALL BE REQUIRED TO FILL ALL PENETRATIONS MADE FOR ROUTING OF CABLING, ETC.
- ALL PARTITIONS ARE DIMENSIONED TO FACE OF FINISH U.O.N. ALL 'HOLD' DIMENSIONS SHALL NOT BE CHANGED. ALL 'CLEAR' DIMENSIONS ARE NOT ADJUSTABLE UNLESS APPROVED BY ARCHITECT. DEVIATION GREATER THAN 1/4" WILL RESULT IN REJECTION OF WORK.
- IN AREAS WHERE ACOUSTIC PARTITIONS COMPLY WITH DUCTWORK, EXTENDED PARTITIONS 6" ABOVE FINISHED CEILING. PROVIDE AND INSTALL FLEXIBLE SEAL BETWEEN DUCT AND GWS PARTITION. SEAL AREA ABOVE DUCTWORK TO SLAB.
- SET FINISH DOOR OPENINGS IN ALL PARTITIONS 4" FROM ADJACENT PERPENDICULAR PARTITION U.O.N.
- REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH THE INSTALLATION OF FIXTURES, SWITCHES, OUTLETS AND OTHER SIMILAR ITEMS IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS. STUD LOCATIONS SHALL BE LOCATED TO PERMIT INSTALLATION OF RECESSED WALL ITEMS AS SHOWN ON ROOM PLANS AND ELEVATIONS.
- RE-APPLY FIREPROOFING TO MAINTAIN ORIGINAL FIRE RATING WHEREVER NEW CONSTRUCTION IS ANCHORED FIRMLY AND DIRECTLY TO EXISTING FIRE-RATED CONSTRUCTION. REPAIR ALL AREAS OF DAMAGED FIREPROOFING.
- PATCH OR PROVIDE NEW FIRESTOPPING SEALANT AND ASSEMBLIES AT ALL PENETRATIONS IN FIRE-RATED PARTITIONS AND FLOOR SLAB. SEALANTS SHALL BE LISTED FOR THE APPLICATION.
- CONCEALED BLOCKING IN PARTITIONS TO BE PROVIDED IN AREAS WHERE REQUIRED. THESE AREAS INCLUDE, BUT ARE NOT LIMITED TO, OPENED AND CLOSED SHELVING, CABINETS, COUNTERS, DOOR FRAMES AND HEADERS, WALL MOUNTED MONITORS, AND SUPPORT OF TRIM. ALL BLOCKING SHALL BE FIRE-RETARDANT IN ACCORDANCE WITH THE APPLICABLE FIRE PROTECTION CODES. REFER TO G-6000.
- EXISTING FLOOR SLAB SHALL BE PATCHED, PREPARED, REFINISHED, LEVELED AND SEALED AS REQUIRED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- GWB SOFFIT HEIGHT SHALL BE MEASURED FROM THE HIGH POINT OF THE PATCHED FLOOR SLAB TO THE SOFFIT AREA. ALL SOFFITS IN SAME ROOM OR ALONG SAME PATHWAY TO ALIGN.
- ALL AREAS WITHIN 'LIMIT OF WORK' TO BE PAINTED GWS WITH RUBBER BASE UNLESS OTHERWISE NOTED.
- ALL EXISTING WINDOW SILLS TO BE PATCHED AND REPAIRED.
- ELECTRICAL OUTLETS SHOWN FOR EQUIPMENT REQUIREMENTS AND MOUNTING HEIGHTS. REFER TO ELECTRICAL DRAWINGS FOR OUTLET QUANTITIES AND ADDITIONAL INFORMATION.
- ALL ROOF PENETRATIONS ARE TO BE FLASHED IN STRICT ACCORDANCE WITH THE ROOFING MANUFACTURER'S APPROVED DETAILS.

2/1/2019 3:54:43 PM BIM 360://US MAL 1003907-Davis Companies-10 Wilson Road-1003907_10 WILSON ROAD_V17_ARCH.rvt



1
A-1020 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET

- UPGRADE THE EXISTING STAIR PARTITION WITH THE ADDITION OF (2) LAYERS OF TYPE 'X' GWB TO PROVIDE A 2-HR RATING. PER UL NO. 1471. SEE A-5000 FOR ADDITIONAL INFORMATION.
- INSTALL NEW 90 MINUTE DOOR AND FRAME IN EXISTING OPENING. SEE A-5100 FOR ADDITIONAL INFORMATION.
- UPGRADE THE EXISTING SHAFT PARTITION WITH THE ADDITION OF (1) LAYERS OF TYPE 'X' GWB TO PROVIDE A 2-HR RATING. PER UL NO. 1471. SEE A-5000 FOR ADDITIONAL INFORMATION.
- INSTALL NEW DOOR ON EXISTING FRAME. SEE A-5100 FOR ADDITIONAL INFORMATION.
- PROVIDE RATED ACCESS PANEL TO SUPPLY SHAFT IN THIS LOCATION.
- PAINT WALLS, STRINGERS, TREADS, RISERS, GUARDRAILS, ETC. IN STAIR #1 AND STAIR #2. SEE A-7100 FOR ADDITIONAL INFORMATION.
- NEW DRINKING FOUNTAIN & BOTTLE FILL STATION ON 1ST FLOOR. EXISTING DRINKING FOUNTAINS TO REMAIN ON 2ND & 3RD FLOOR. REFURBISH AS REQUIRED.

FLOOR PLAN LEGEND:

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET

PARTITION TYPE IDENTIFICATION TAG
REFER TO SHEET A-5000 FOR PARTITION TYPES AND LEGEND



GENERAL NOTES

- ALL WALLS TO BE D.D.D. UNLESS OTHERWISE NOTED - SEE ENLARGED PLANS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING. GO TO VERIFY ALL EXISTING GRID DIMENSIONS.
- NEW CONSTRUCTION SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH U.D.H.
- NEW CONSTRUCTION ABUTTING EXISTING PERIMETER WINDOW/MULLION: SILL AND PARTITION SHALL CONFORM TO BASE BUILDING STANDARDS.
- PROVIDE AND INSTALL ALL NEW CONSTRUCTION TO MEET APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL CHALK OUT PARTITION LINES AND NOTIFY ARCHITECT FOR REVIEW, BEFORE SETTING BASE TRACK AND STUDS.
- INSTALL PARTITIONS TO CONFORM TO MANUFACTURER'S INSTRUCTIONS. ANCHORED FIRMLY TO SLAB AND TIGHTLY SECURED TO CEILING SUSPENSION SYSTEM OR DECK ABOVE AS INDICATED.
- WHERE ACOUSTICAL PARTITIONS ARE INDICATED, ACOUSTIC BATT INSULATION SHALL CONTINUE BEHIND ALL ELECTRICAL AND TEL/DATA DEVICES/BOXES. ACOUSTIC BATT INSULATION SHALL EXTEND FULL HEIGHT OF PARTITION. CONTRACTOR SHALL BE REQUIRED TO FILL ALL PENETRATIONS MADE FOR ROUTING OF CABLES, ETC.
- ALL PARTITIONS ARE DIMENSIONED TO FACE OF FINISH U.G.H. ALL "HOLD" DIMENSIONS SHALL NOT BE CHANGED. ALL "CLEAR" DIMENSIONS ARE NOT ADJUSTABLE UNLESS APPROVED BY ARCHITECT. DEVIATION GREATER THAN 1/4" WILL RESULT IN REJECTION OF WORK.
- IN AREAS WHERE ACOUSTIC PARTITIONS COFLICT WITH DUCTWORK, EXISTING PARTITIONS IN ABOVE FINISHED CEILING, PROVIDE AND INSTALL FLEXIBLE SEAL BETWEEN DUCT AND GWB PARTITION. SEAL AREA ABOVE DUCTWORK TO SLAB.
- SET FINISH DOOR OPENINGS IN ALL PARTITIONS 4" FROM ADJACENT PERPENDICULAR PARTITION U.D.H.
- REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH THE INSTALLATION OF FIXTURES, SWITCHES, OUTLETS, AND OTHER SIMILAR ITEMS IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS. STUD LOCATIONS SHALL BE LOCATED TO PERMIT INSTALLATION OF RECESSED WALL ITEMS AS SHOWN ON ROOM PLANS AND ELEVATIONS.
- RE-APPLY FIREPROOFING TO MAINTAIN ORIGINAL FIRE RATING WHEREVER NEW CONSTRUCTION IS ANCHORED FIRMLY AND DIRECTLY TO EXISTING FIRE-RATED CONSTRUCTION. REPAIR ALL AREAS OF DAMAGED FIREPROOFING.
- PATCH OR PROVIDE NEW FIRESTOPPING SEALANT AND ASSEMBLIES AT ALL PENETRATIONS IN FIRE-RATED PARTITIONS AND FLOOR SLAB. SEALANTS SHALL BE LISTED FOR THE APPLICATION.
- CONCEALED BLOCKING IN PARTITIONS TO BE PROVIDED IN AREAS WHERE REQUIRED. THESE AREAS INCLUDE, BUT ARE NOT LIMITED TO, OPENED AND CLOSED SHELVES, CABINETRY, COUNTERS, DOOR FRAMES AND HEADERS, WALL MOUNTED MONITORS, AND SUPPORT OF TRIM. ALL BLOCKING SHALL BE FIRE-RETARDANT IN ACCORDANCE WITH THE APPLICABLE FIRE PROTECTION CODES REFER TO G-5005.
- EXISTING FLOOR SLAB SHALL BE PATCHED, PREPARED, REFURBISHED, LEVELED AND SEALED AS REQUIRED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- GWB SOFFIT HEIGHT SHALL BE MEASURED FROM THE HIGH POINT OF THE PATCHED FLOOR SLAB IN THE SOFFIT AREA. ALL SOFFITS IN SAME ROOM OR ALONG SAME PATHWAY TO ALIGN.
- ALL AREAS WITHIN "LIMIT OF WORK" TO BE PAINTED GWB WITH RUBBER BASE UNLESS OTHERWISE NOTED.
- ALL EXISTING WINDOW SILLS TO BE PATCHED AND REPAIRED.
- ELECTRICAL OUTLETS SHOWN FOR EQUIPMENT REQUIREMENTS AND MOUNTING HEIGHTS. REFER TO ELECTRICAL DRAWINGS FOR OUTLET QUANTITIES AND ADDITIONAL INFORMATION.
- ALL ROOF PENETRATIONS ARE TO BE FLASHED IN STRICT ACCORDANCE WITH THE ROOFING MANUFACTURER'S APPROVED DETAILS.

JACOBS

JACOBS CONSULTANTS, INC.
120 SAFFIT JAMES AVENUE
5TH FLOOR
BOSTON, MA 02116
P 617-491-6400
F 617-491-7104
W Jacobs.com

Consultants

AHA Consulting Engineers
700 Technology Square, Suite 402
Cambridge, MA 02139
P 781-372-3000
W AHA-Engineers.com

McNamara - Salvia Structural Engineers
101 Federal Street, 11th Floor
Boston, MA 02110
P 617-737-0040

W McSal.com

Seals

General Notes

These drawings have been compiled from existing drawings provided by the Building Owner. The General Contractor is responsible for field verifying and confirming all the existing conditions and dimensions prior to the start of construction.

Project Client

The Davis Companies

125 High Street, Suite 2111
Boston, MA 02110
P 617-491-1300
F 617-491-3904
W TheDavisCompanies.com

**10 WILSON ROAD CORE
SHELL RENOVATIONS**

10 Wilson Road
Cambridge, MA 02138

Number	Description	Date
	ISSUED FOR CONST	10/11/18
1	BULLETIN No. 1	01/08/19

Project North



CAD File

Project No.: L 1003907

Copyright: 2015 Jacobs Engineering Group

Drawing Sheet Title

2ND FLOOR PLAN

Drawing Sheet Number

A-1020

Owner's Drawing Sheet No.

These drawings have been compiled from existing drawings provided by the Building Owner. The General Contractor is responsible for field verifying and confirming all the existing conditions and dimensions prior to the start of construction.

Project Client.

The Davis Companies

125 High Street Suite 2111
Boston MA 02110
P: 617-451-1300
F: 617-451-3604
W: TheDavisCompanies.com

10 WILSON ROAD CORE
SHELL RENOVATIONS

10 Wilson Road
Cambridge, MA 02138

Number	Description	Date
		10/11/18
	ISSUED FOR CONST	01/08/19
1	BULLETIN No. 1	02/01/19

Project North



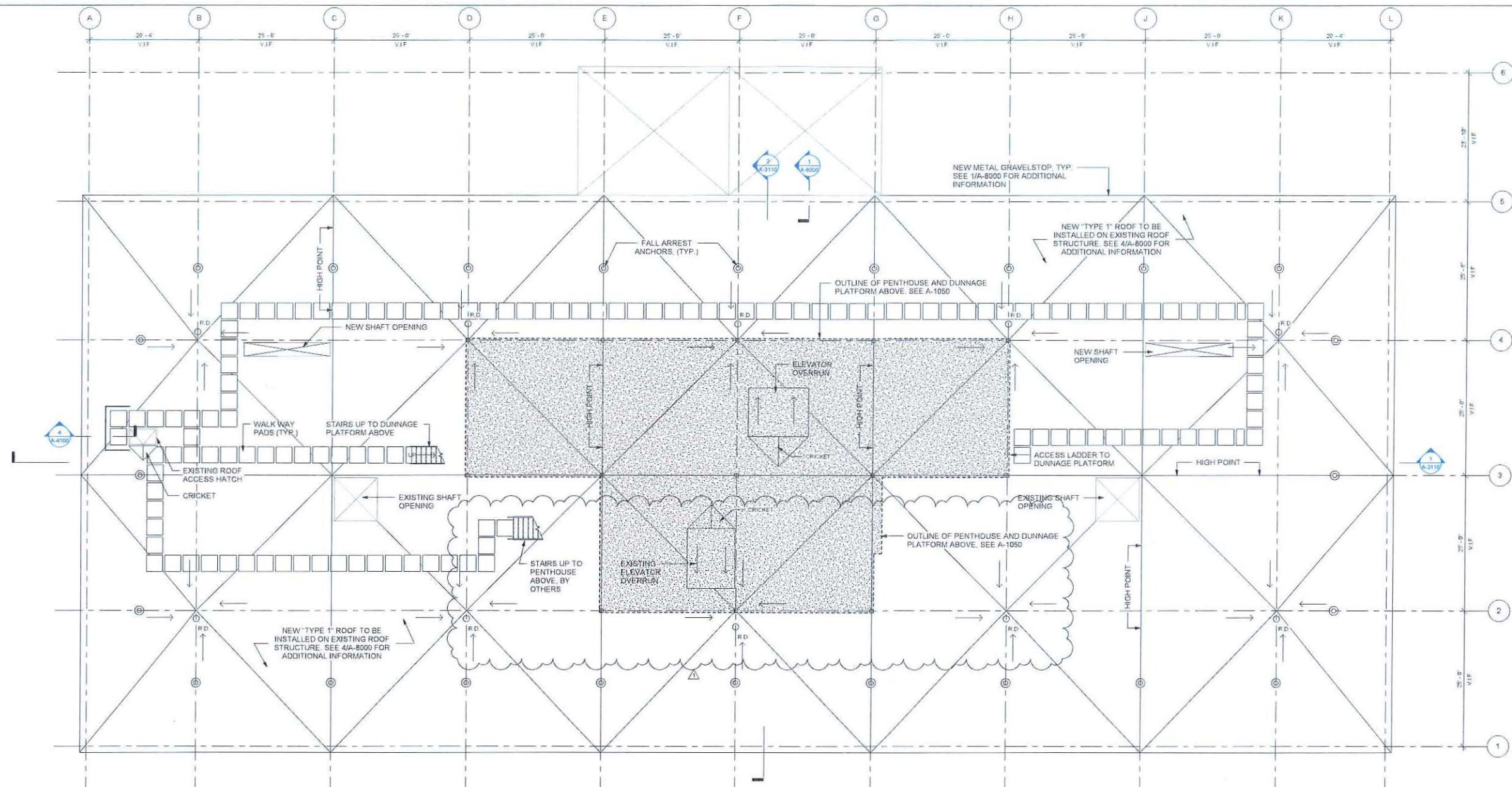
CAD File:
Project No.: L1003907
Copyright 2015 Jacobs Engineering Group

Drawing Sheet Title:
ROOF PLAN

Drawing Sheet Number

A-1040

Owner's Drawing Sheet No.:



1 ROOF PLAN
A-1040 SCALE 1/8" = 1'-0"

ROOF/DUNNAGE PLAN LEGEND:

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET

- | | | | |
|---|--|---|---------------------------------|
|  | DOOR IDENTIFICATION
REFER TO SHEET A-6100 FOR DOOR
TYPES |  | EXISTING DOOR
IDENTIFICATION |
|  | NEW CONSTRUCTION |  | COLUMN GRID |
|  | BY OTHERS |  | FALL ARREST ANCHORS |
|  | OPENING IN A PARTITION |  | ROOF DRAIN |
|  | NOT IN CONTRACT (#IC) |  | DIRECTION OF SLOPE |
|  | OUTLINE OF DAMAGE
A/B/E, SEE A-1050 | | |

ROOF PLAN GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING. GO TO VERIFY ALL EXISTING GRID DIMENSIONS.
2. PROVIDE AND INSTALL ALL NEW CONSTRUCTION TO MEET APPLICABLE CODES AND REGULATIONS.
3. EXISTING DIMENSIONS ARE SHOWN FOR REFERENCE AND ARE TO BE VERIFIED IN THE FIELD.
4. EXISTING STRUCTURAL STEEL AND ROOF DECKING ARE SLOPED TO DRAIN 1/4" PER 1'-0". ADDITIONAL ROOF CRICKETS ARE TO BE TAPERED TO MATCH EXISTING.
5. FOR ROOFTOP EQUIPMENT MOUNTED ON CURBS, COORDINATE LOCATION OF CURBS WITH STRUCTURAL DRAWINGS.
6. ALL ROOF PENETRATIONS ARE TO BE FLASHED IN STRICT ACCORDANCE WITH THE ROOFING MANUFACTURER'S APPROVED DETAILS.
7. ROOFTOP EQUIPMENT, VENTS, AND ACCOMPANYING COMPONENTS ARE NOT SHOWN IN THIS VIEW FOR CLARITY OF ROOF DRAINAGE DIRECTION.

These drawings have been compiled from existing drawings provided by the Building Owner. The General Contractor is responsible for field verifying and confirming all the existing conditions and dimensions prior to the start of construction.

Project Client

The Davis Companies

125 High Street, Suite 2111
Boston, MA 02110
P: 617-451-1300
F: 617-451-3504
W: TheDavesCompanies.com

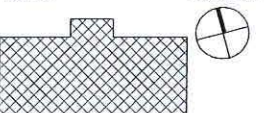
10 WILSON ROAD CORE & SHELL RENOVATIONS

10 Wilson Road
Cambridge, MA 02138

[illegible]

Key Plan

Project North



CAD File:

Project No.: L1003907
Copyright 2015 Jacobs Engineering Group

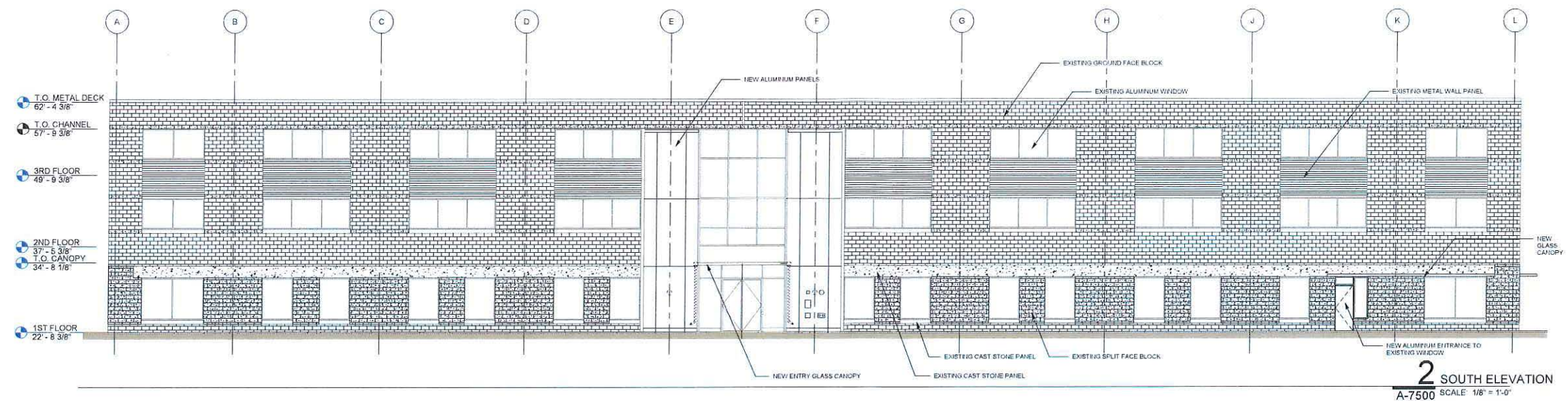
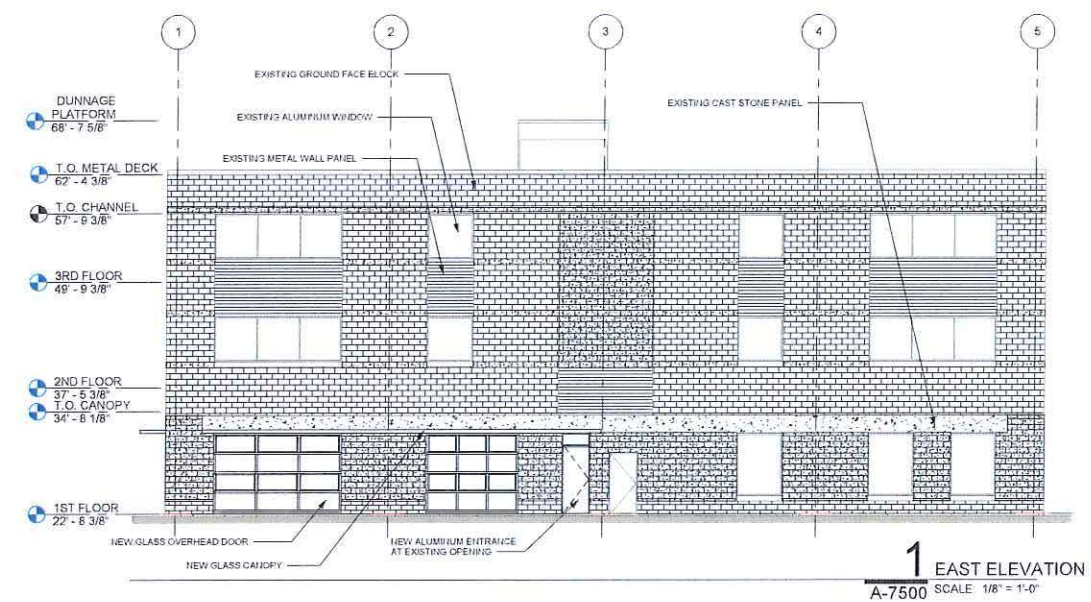
Drawing Sheet Title:

EXTERIOR ELEVATIONS

Drawing Sheet Number

A-7500

Owner's Drawing Sheet No.





SOUTHWEST CORNER OF 10 WILSON RD.



MAIN ENTRANCE OF 10 WILSON RD.



DETAIL OF MAIN ENTRANCE OF 10 WILSON RD.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Gretchen McGee Date: 07/09/20
(Print)

Address: 10 Wilson Rd.

Case No. BZA-017265-2020

Hearing Date: 7/30/20

Thank you,
Bza Members



RECEIVED
JAN 10 1964
U.S. DEPARTMENT OF AGRICULTURE
WASHINGTON, D.C.

MEMORANDUM FOR THE RECORD
SUBJECT: [Illegible]

Very truly yours,
[Illegible Signature]

cc: [Illegible]
[Illegible]



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017265-2020

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : ✓ Appeal : _____

PETITIONER : The Davis Companies - C/O Gretchen McGill

PETITIONER'S ADDRESS : 125 High Street Boston, MA 02210

LOCATION OF PROPERTY : 10 Wilson Rd Cambridge, MA

TYPE OF OCCUPANCY : General Office Use ZONING DISTRICT : Office 1 Zone /AOD-4

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

The owner of 10 Wilson Road seeks a variance from the ZBA for two issues. The owner proposes the addition of three (3) canopies. The main canopy is at the front entrance and is intended to provide shelter from the element when entering the building. The other two canopies are at the southwest corner of the building are to provide shelter at the entrance to a shared amenity (gathering space) of the building. When the building was built in 1998, it was in an area zoned O-2. The area has been re-zoned O-1. As a result the building is an existing non-conforming structure as it exceeds the current zoning maximum FAR requirement. The addition of the canopies will increase the overall GFA of the building by about 296 square feet, slightly increasing the FAR. The minimum frontyard setback is 46.83 feet. The current frontyard setback is 47.30 feet. The addition of a 5-foot canopy on the front of the building will change the frontyard setback to 42.30 feet.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.32 (Table of Dimensional Requirements).

Original Signature(s) :

(Petitioner(s) / Owner)

Brian Fallon, President

(Print Name)

Address : TPG Development Group, LLC
125 High Street, Boston, MA 02110

Tel. No. : 617 451 1300

E-Mail Address : gmccgill@thedaviscompanies.com

Date : March 2, 2020

OWNERSHIP CERTIFICATE

Project Address: 10 Wilson Road

Application Date:

This form is to be completed by the property owner, signed, and submitted with the Special Permit Application:

I hereby authorize the following Applicant: The Davis Companies

at the following address: 125 High St., Boston, MA 02110

to apply for a special permit for:

on premises located at: 10 Wilson Road

for which the record title stands in the name of: Quad 10 Wilson Road, LLC

whose address is: 10 Wilson Road

by a deed duly recorded in the:

Registry of Deeds of County: Middlesex Book: 70890 Page: 21

OR Registry District of the Land Court,
Certificate No.:

Book: Page:

Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

TPG Development Group, LLC
President

To be completed by Notary Public:

Commonwealth of Massachusetts, County of

Suffolk

The above named Brian Fallon personally appeared before me,

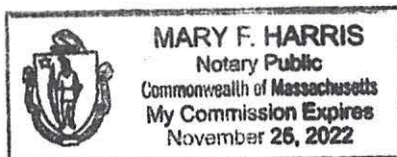
on the month, day and year March 2, 2020 and made oath that the above statement is true.

Notary:


Mary F. Harris

My Commission expires:

November 25, 2022



MARY F. HARRIS
 Notary Public
 Commonwealth of Massachusetts
 My Commission Expires
 November 26, 2022



BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The purpose of the canopies are to provide an inviting and protected entrances the building and a key amenity space.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship for relief from FAR is owing to the building being an existing non-conforming structure.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

The proposed canopies and associated improvements to the main entrance of the building will improve the overall aesthetic of the building and streetscape.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

While the canopies will add GFA to the building, they are open to the exterior and do not change the overall relationship of the primary elevations to the street.

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM**DIMENSIONAL INFORMATION**

APPLICANT: Jacobs Consultants **PRESENT USE/OCCUPANCY:** General Office Use
LOCATION: 10 Wilson Rd Cambridge, MA **ZONE:** Office 1 Zone /AOD-4
PHONE: _____ **REQUESTED USE/OCCUPANCY:** General Office Use

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>		75688sf	75984sf	49138sf	(max.)
<u>LOT AREA:</u>		65517sf	65517sf	5000sf min	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		1.16	1.16	0.75 max	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		n/a	n/a	n/a	(min.)
<u>SIZE OF LOT:</u>	WIDTH	325ft	325ft	50ft min	(min.)
	DEPTH	201ft	201ft	n/a	
<u>SETBACKS IN FEET:</u>	FRONT	47.30ft	42.30ft	46.83ft	(min.)
	REAR	47.00ft	47.00ft	46.33ft	(min.)
	LEFT SIDE	30.10ft	30.10ft	19.71ft	(min.)
	RIGHT SIDE	72.00ft	69.00ft	19.71ft	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	40.00ft	40.00ft	35 max	(max.)
	LENGTH	243.00ft	246.00ft	50 min	
	WIDTH	103.00ft	108.00ft	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		21.2%	21.2%	15% min	(min.)
<u>NO. OF DWELLING UNITS:</u>		n/a	n/a	n/a	(max.)
<u>NO. OF PARKING SPACES:</u>		68+118=186	55+118=173	95 min	(min./max)
<u>NO. OF LOADING AREAS:</u>		2	2	1	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		n/a	n/a	n/a	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017265-2020

GENERAL INFORMATION

2020 MAR -4 PM 3:50
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : ✓

Appeal : _____

PETITIONER : The Davis Companies - C/O Gretchen McGill

PETITIONER'S ADDRESS : 125 High Street Boston, MA 02210

LOCATION OF PROPERTY : 10 Wilson Rd Cambridge, MA

TYPE OF OCCUPANCY : General Office Use ZONING DISTRICT : Office 1 Zone /AOD-4

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

The owner of 10 Wilson Road seeks a variance from the ZBA for two issues. The owner proposes the addition of three (3) canopies. The main canopy is at the front entrance and is intended to provide shelter from the element when entering the building. The other two canopies are at the southwest corner of the building are to provide shelter at the entrance to a shared amenity (gathering space) of the building. When the building was built in 1998, it was in an area zoned O-2. The area has been re-zoned O-1. As a result the building is an existing non-conforming structure as it exceeds the current zoning maximum FAR requirement. The addition of the canopies will increase the overall GFA of the building by about 296 square feet, slightly increasing the FAR. The minimum frontyard setback is 46.83 feet. The current frontyard setback is 47.30 feet. The addition of a 5-foot canopy on the front of the building will change the frontyard setback to 42.30 feet.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.32 (Table of Dimensional Requirements).

Original Signature(s) :

(Petitioner(s) / Owner)

Brian Fallon, President

(Print Name)

Address : TPG Development Group, LLC
125 High Street, Boston, MA 02110

Tel. No. : 617 451 1300

E-Mail Address : gmccgill@thedaviscompanies.com

Date : March 2, 2020

CITY OF CAMBRIDGE

Massachusetts
BOARD OF ZONING APPEAL
831 Mass Avenue, Cambridge, MA.
617) 349-6100

April 15, 2020

The Davis Companies
C/O Gretchen McGill
125 High Street
Boston, MA 02210

RE: 10 Wilson Road – BZA-017265-2020

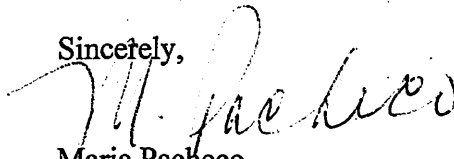
Dear Ms. McGill,

I am writing to you in regard to your above up-coming Board of Zoning Appeal Hearing.

At this time the City will not be holding any non-essential public meetings due to the COVID-19 Pandemic and the City Manager's closure of all City buildings to non-essential business. On April 3, 2020, the Governor signed into law Chapter 53 of the Acts of 2020 ("Act"), which extends all land use permitting deadlines until after the State of Emergency is lifted. In light of the extensions provided for in the Act and the closure of City buildings, at this time the Board of Zoning Appeal will be rescheduling all public hearings in accordance with the extensions permitted under the Act. You will receive notice of the new date, once the hearing is rescheduled.

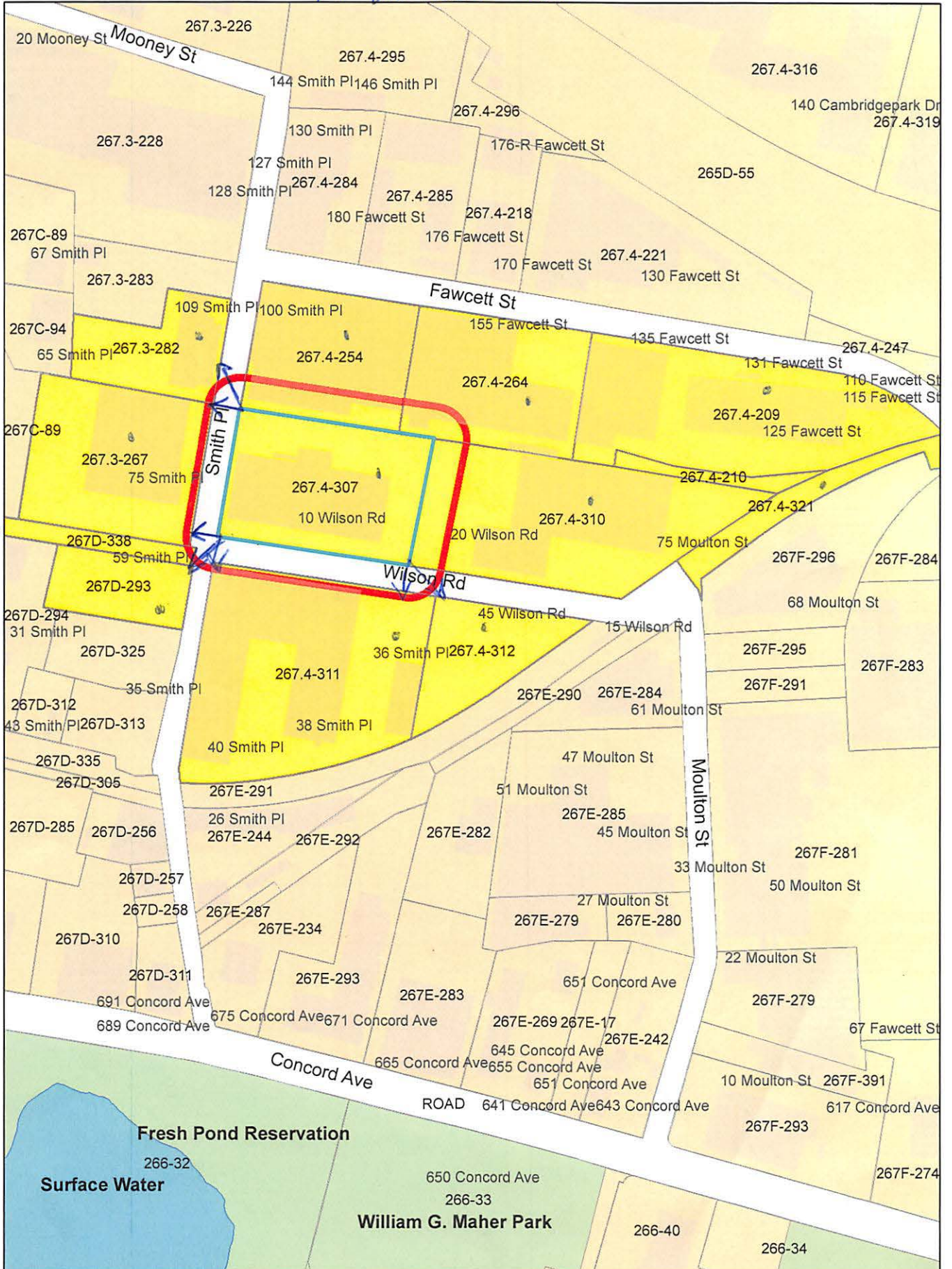
Thank you for your patience and understanding during this unprecedented time.

Sincerely,



Maria Pacheco
Administrative Assistant

10 Wilson Rd.



10 Wilson Rd.

Petitioner

267D-293
DMP BURLINGTON CONCORD, LLC &
DMP CAUSCAN, LLC
C/O MARCUS PARTNERS
260 FRANKLIN ST
BOSTON, MA 02110

267.4-264
ART ROCKS LLC,
C/O BAY MANAGEMENT CORP.
990 WASHINGTON STREET
DEDHAM, MA 02026

TPG DEVELOPMENT GROUP, LLC
C/O BRIAN FALLON, PRESIDENT
125 HIGH STREET
BOSTON, MA 02110

267.4-307
QUAD 10 WILSON ROAD, LLC
2001 ROSS AVENUE, STE 3400
DALLAS, TX 75201

267.4-310
QUAD 75 MOULTON STREET &
20 WILSON ROAD, LLC
2001 ROSS AVE, SUITE 3400
DALLAS, TX 75201

THE DAVIS COMPANIES
C/O GRETCHEN MCGILL
125 HIGH STREET
BOSTON, MA 02210

267.4-312/311
QUAD 40 SMITH PLACE, LLC,
2001 ROSS AVE. SUITE 3400
DALLAS, TX 75201

267.3-267
QUAD 75 SMITH PL, LLC
2001 ROSS AVE, STE 3400
DALLAS, TX 75201

267.4-254
JOLLY GREEN GIANT, LLC.
100 SMITH PL
CAMBRIDGE, MA 02139

267.4-321
MASSACHUSETTS BAY TRANSPORTATION AUTHORITY
78R CAMBRIDGEPARK DR
10 PARK PLAZA
BOSTON, MA 02116

267.3-282
QUAD 109 SMITH PLACE LLC
2001 ROSS AVE, SUITE 3400
DALLAS, TX 75201

267.4-209
BELAM REALTY LLC,
15 WARD ST
SOMERVILLE, MA 02143

267.4-210 / 267D-338 (Road)
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

267.4-210 / 267D-338 (Road)
CITY OF CAMBRIDGE
C/O LOUIS DEPASQUALE
CITY MANAGER



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2020 MAR 19 AM 10:20
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-017265-2020

Address: 10 Wilson Rd

☐ Owner, ☐ Petitioner, or ☒ Representative: Chris Chandler
(Print Name)

Hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 3/17/20

[Signature]
Signature

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We Quad 10 Wilson Road, LLC
(OWNER)

Address: c/o The Davis Companies, 125 High Street, Suite 2111, Boston, MA 02110

State that I/We own the property located at 10 Wilson Road,
which is the subject of this zoning application.

The record title of this property is in the name of Quad 10 Wilson Road, LLC

*Pursuant to a deed of duly recorded in the date 04/19/2018, Middlesex South
County Registry of Deeds at Book 70890, Page 21; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.



SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

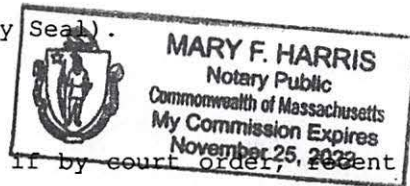
Brian Fallon, President, TDC Development Group, LLC

****Written evidence of Agent's standing to represent petitioner may be requested.***

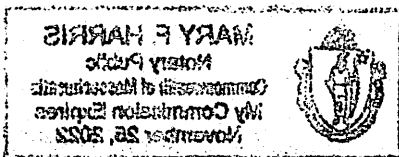
Commonwealth of Massachusetts, County of Suffolk

The above-name Brian Fallon personally appeared before me,
this 4 of March, 2020, and made oath that the above statement is true.

My commission expires 11/25/2022 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.



BZA Case 017265-2020
10 Wilson Road

July 30, 2020 - *Presentation*



Site Aerial/Abutters



Variance Request

Zoning District: Office 1 Zone/ AOD-4

Zoning Ordinance Cited: Article 5.000, Section 3.32 (Table of Dimensional Requirements)

When 10 Wilson Road was constructed in 1998, it was located in Zoning O-2. The area has subsequently been re-zoned O-1. As a result, the building is a pre-existing non-conforming structure, as it exceeds the current zoning maximum FAR requirement.

The addition of the proposed canopies will:

- Increase the overall GFA from 75,688 SF to 75,984 SF; an increase of 296 SF. Zoning maximum is 49,138 SF.
- No change existing FAR. Existing FAR is 1.16. Zoning maximum is 0.75.
- Decrease the front yard setback from 47.3' to 42.3'. Zoning minimum is 46.83'.

Supporting Statement

A. Hardship:

Entrants to building must wait for building access exposed to rain and snow. Proponent seeks to install canopies to shield visitors from the elements.

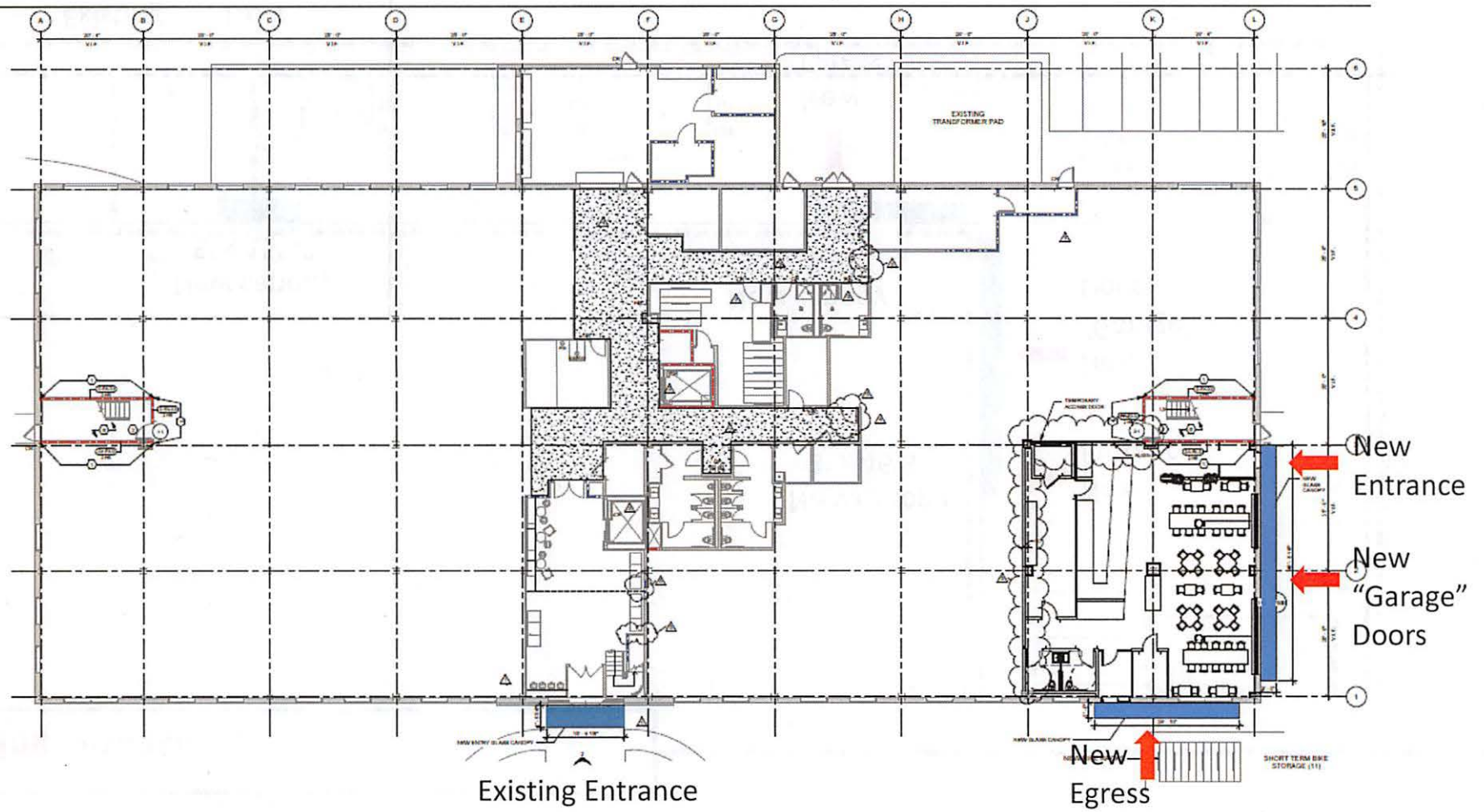
B. Hardship Circumstances

Building is non-conforming due to changes in zoning. This results in the existing building exceeding the FAR.

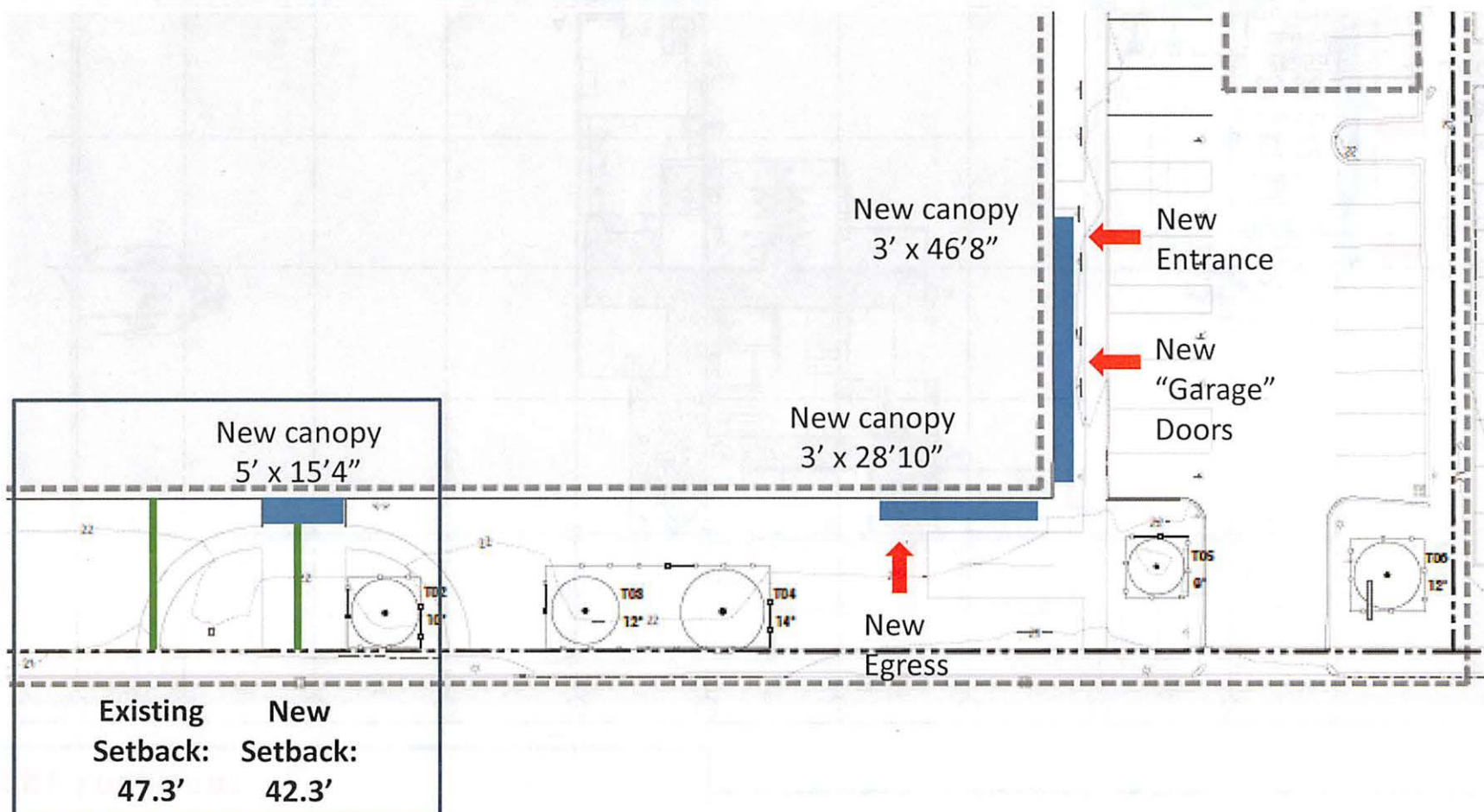
C. Desirable Relief

1. In addition to shielding entrants from wind and rain, we believe the canopies will enhance the building entries by making them more identifiable and inviting.
2. Canopies add GFA to building, however the canopies are open to the exterior and do not change the overall relationship of the primary elevations to the street.

Canopy Locations



Building Setback



South Center Façade – Existing Condition



South East/East Façade—Existing Condition



Rendering



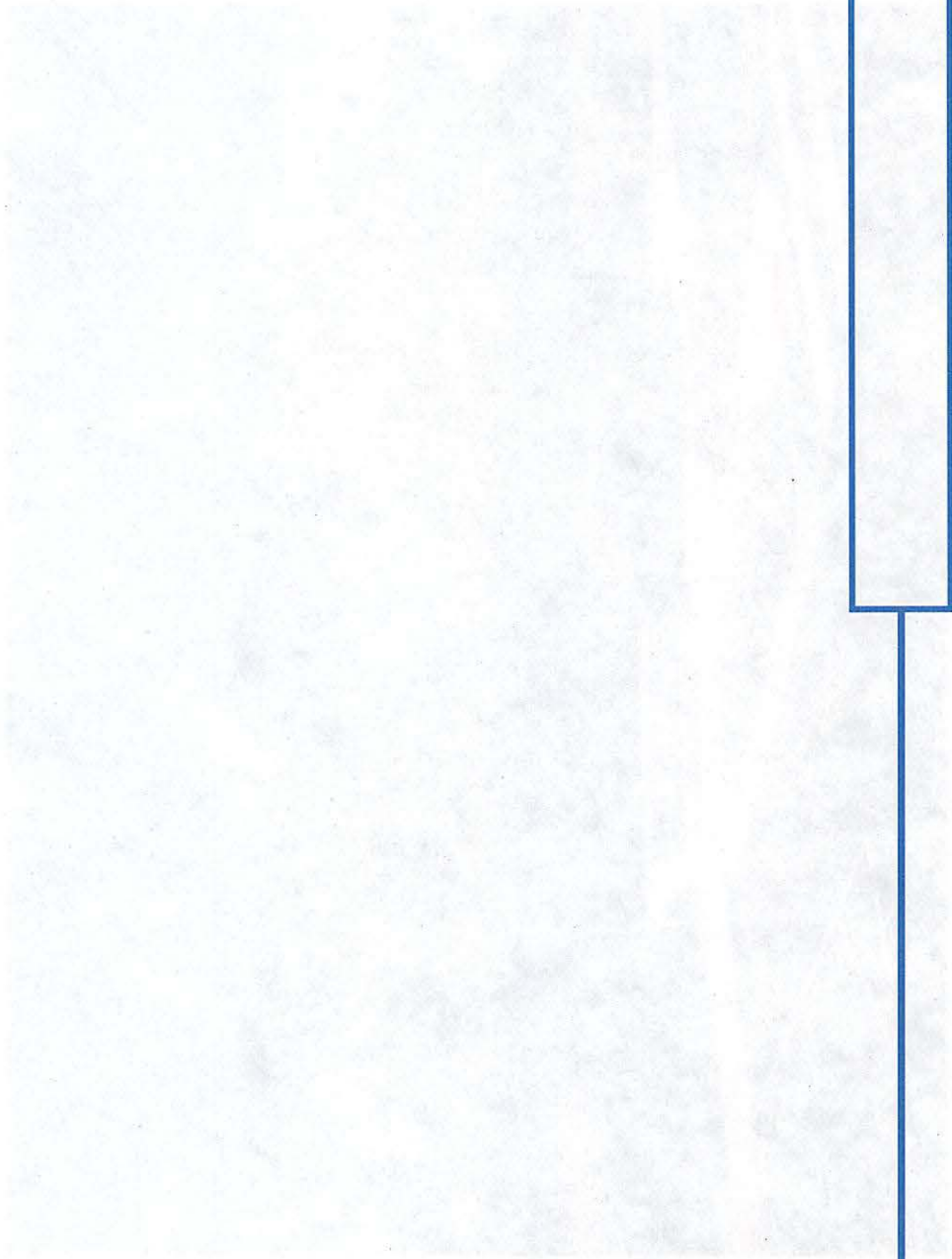
Future Amenity Space



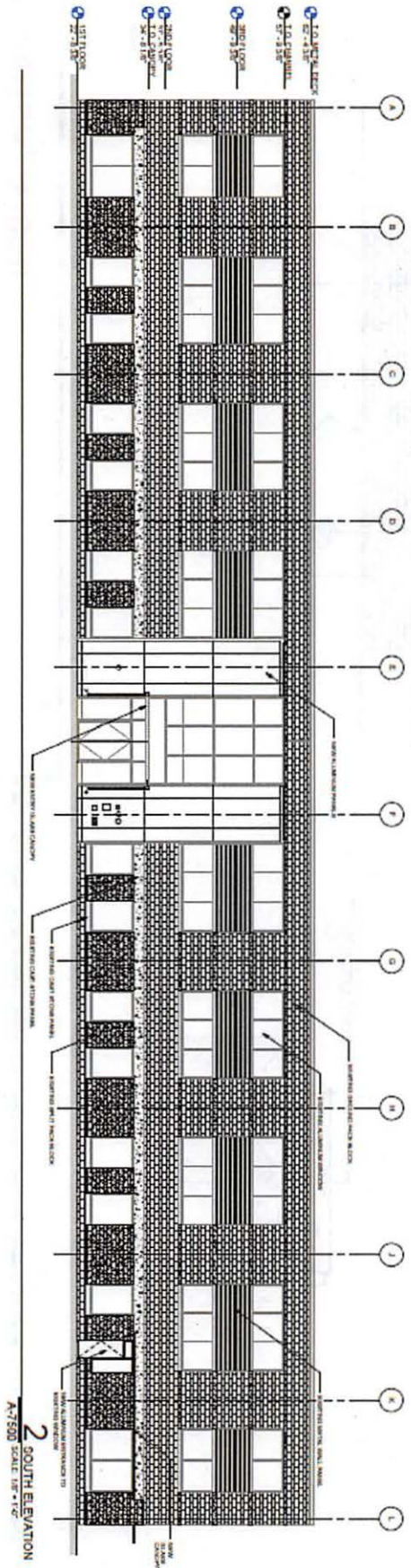
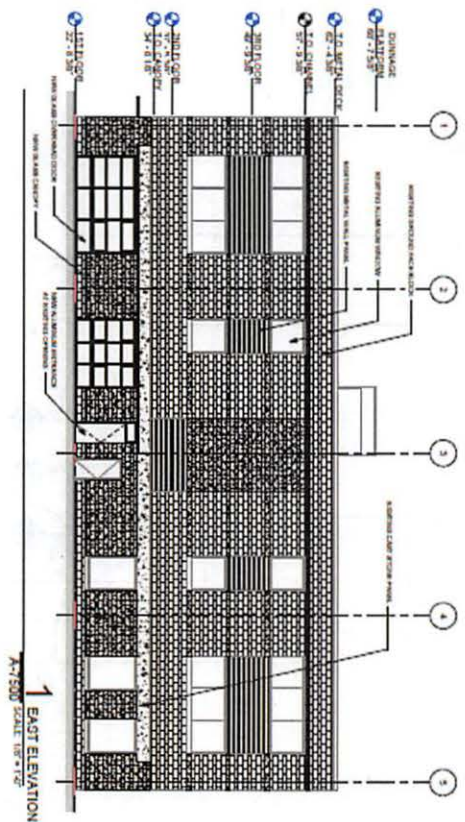
75 Moulton



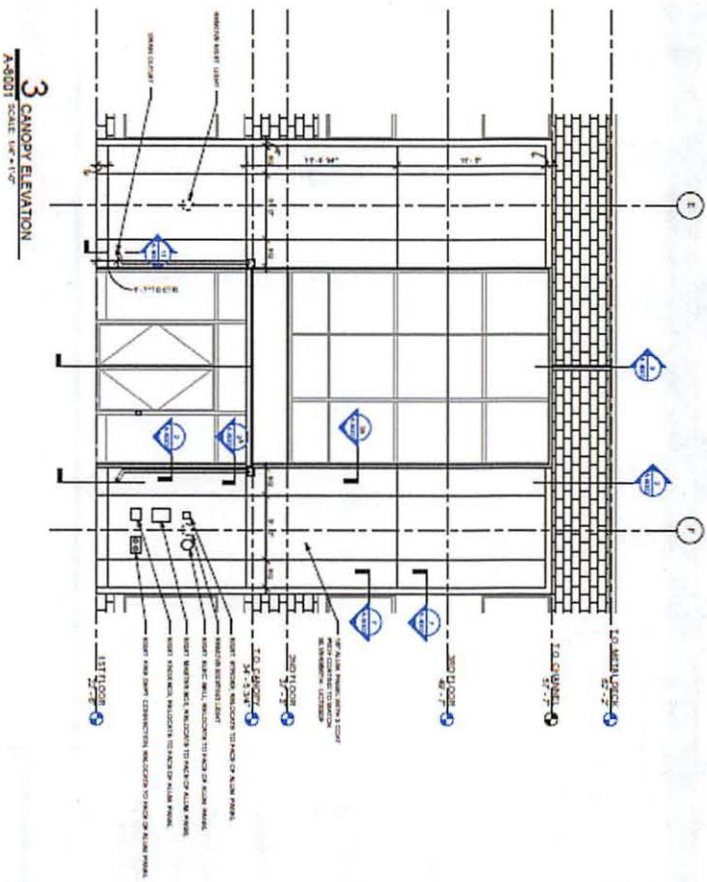
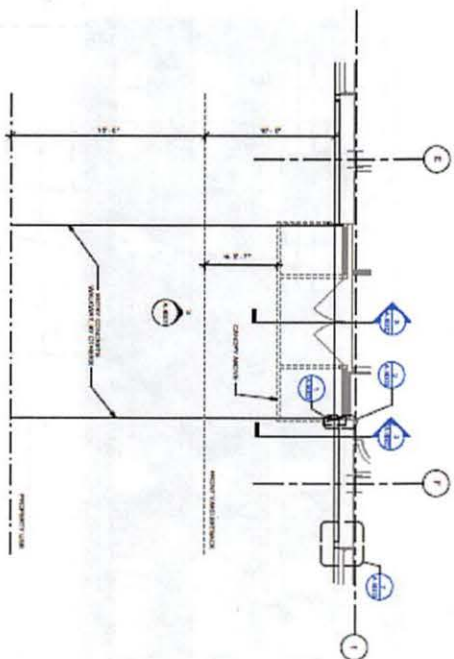
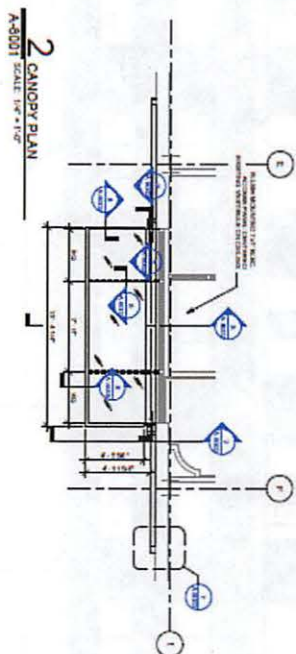
Back Up



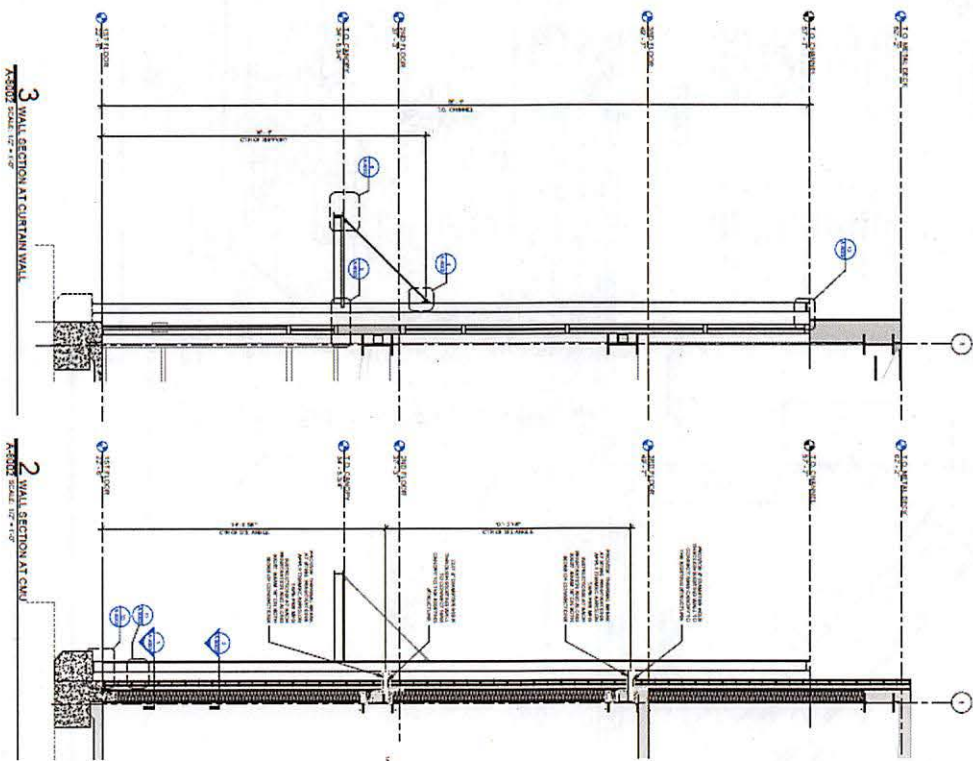
Elevation, A-7500

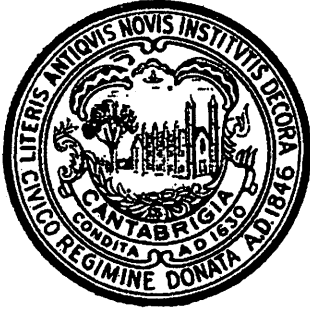


Elevation, A-8001



Elevation, A-8002





CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

July 16, 2020

To: The Board of Zoning Appeal

From: The Planning Board

RE: BZA cases to be heard on July 30, 2020.

The Planning Board have no comments on the cases listed on the BZA agenda.
