



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 SEP -1 AM 11:33

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 141100

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: DND Homes LLC C/O Daniel Anderson

PETITIONER'S ADDRESS: Anderson Porter Design Inc, Cambridge, MA 02140

LOCATION OF PROPERTY: 110 Hampshire St., Cambridge, MA

TYPE OF OCCUPANCY: Residential two family

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/addition of basement window wells within yard setbacks, change of openings within yard setbacks/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Construction of window wells within non-conforming yard setbacks increasing the height of the building not creating a height violation. Change in window openings within non-conforming yard setbacks.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000 Section: 8.22.2.C (Non-Conforming Structure).
Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

DANIEL ANDERSON

(Print Name)

Address:

Tel. No. 617 354 2501

E-Mail Address: dan@andersonporter.com

Date: 8-31-2021

BZA APPLICATION FORM - OWNERSHIP INFORMATION

*To be completed by OWNER, signed before a notary and returned to
The Secretary of the Board of Zoning Appeals.*


I/We 110-112 HAMPSHIRE STREET LLC
(OWNER)

Address: C/O DND HOMES, 1 GARFIELD CIRCLE, UNIT 6,
BURLINGTON, MA 01803

State that I/We own the property located at 110-112 HAMPSHIRE STREET,
CAMBRIDGE, MA
which is the subject of this zoning application.

The record title of this property is in the name of 2
110-112 HAMPSHIRE STREET LLC

*Pursuant to a deed of duly recorded in the date _____, Middlesex South
County Registry of Deeds at Book _____, Page _____; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.


OPERATIONS MANAGER
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

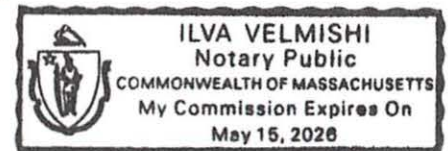
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name TRINA MURPHY personally appeared before me,
this 20 of August, 2021, and made oath that the above statement is true.


Notary

My commission expires May 15, 2026 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 110 Hampshire St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The project at 110-112 Hampshire proposes a conforming second structure on the same lot that respects the ordinance requirements of the C-1 district. The proposed alterations to the existing structure reduce the extent of non-conforming front and right side yard setbacks. The proposed window wells and modifications to openings improve the overall design quality of the structure allowing for a code compliant egress bedroom egress window and increase light and air to the interior.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No increase in traffic is anticipated. The required off street parking is maintained.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The existing residential use is unchanged. The proposed project is consistent in use and scale with the surrounding neighborhood and adjacent residential structures.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No change in the existing permitted residential use will occur. The project will not create any nuisance or hazard to the detriment of health, safety or welfare of its occupants or citizens.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed project will not impair the integrity of the district or otherwise derogate from the intent or purposed of this ordinance as it improves the existing non-conforming yard setbacks at front and side. The project exceeds the minimum open space requirements. It creates two independent residential units which provide occupants with increased independence and sense of ownership.

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** DND Homes LLC**Present Use/Occupancy:** Residential two family**Location:** Anderson Porter Design Inc**Zone:** Residence C-1 Zone**Phone:** 617 354 2501**Requested Use/Occupancy:** Residential two units

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		1613	2445	2523	(max.)
<u>LOT AREA:</u>		3365	3365	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.48	0.73	0.75	
<u>LOT AREA OF EACH DWELLING UNIT</u>		1682	1682	1500	
<u>SIZE OF LOT:</u>	WIDTH	65.56'	65.56'	50'	
	DEPTH	50.42	50.42	NA	
<u>SETBACKS IN FEET:</u>	FRONT	1.4	1.4	10'	
	REAR	6.1	6.1	20	
	LEFT SIDE	39.9	7.6	7.5	
	RIGHT SIDE	0	3.0	7.5	
<u>SIZE OF BUILDING:</u>	HEIGHT	28.5	30.25	35	
	WIDTH	NA	NA	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		.79	.38	.30	
<u>NO. OF DWELLING UNITS:</u>		2	2	2	
<u>NO. OF PARKING SPACES:</u>		2	2	2	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		NA	11	10	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

SPECIAL PERMIT: 110-112 HAMPSHIRE

CAMBRIDGE MA 02139

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.
2. THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF CHANGES IN DIMENSIONS OR CONDITIONS.
4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.
5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.
6. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING DEMOLITION.
7. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
8. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR: THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, AND SAFETY AND SECURITY ON SITE.
10. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED.
11. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.
12. THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.
13. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING THE PROJECT OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS.
15. DO NOT SCALE DRAWINGS; ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK.
16. DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
17. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
18. UNLESS ITEMS, MATERIALS, EQUIPMENT, OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT.
19. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.
20. MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT.
21. THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.
22. THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
2. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.
3. DEMOLITION NOTES ON THE DRAWINGS IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED.
5. CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
6. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
8. REMOVE FROM THE JOBSITE, AS SOON AS PRACTICAL, DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
9. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
10. REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (I.E. BEARING WALLS, BEAMS, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
11. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY SHORING ASSOCIATED WITH ANY DEMOLITION WORK.
13. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATING ANY NEW TEMPORARY SERVICE FOR TEMPORARY-USE ITEMS.
14. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN: COLOR, TEXTURE, THICKNESS, AND CUT TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED - TO BE APPROVED BY ARCHITECT AND OWNER.
15. PATCH EXISTING WALLS, GYPSUM BOARD, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPACKLING, SANDED, AND LEFT IN A PAINT-READY CONDITION.



ANDERSON
PORTER
DESIGN

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

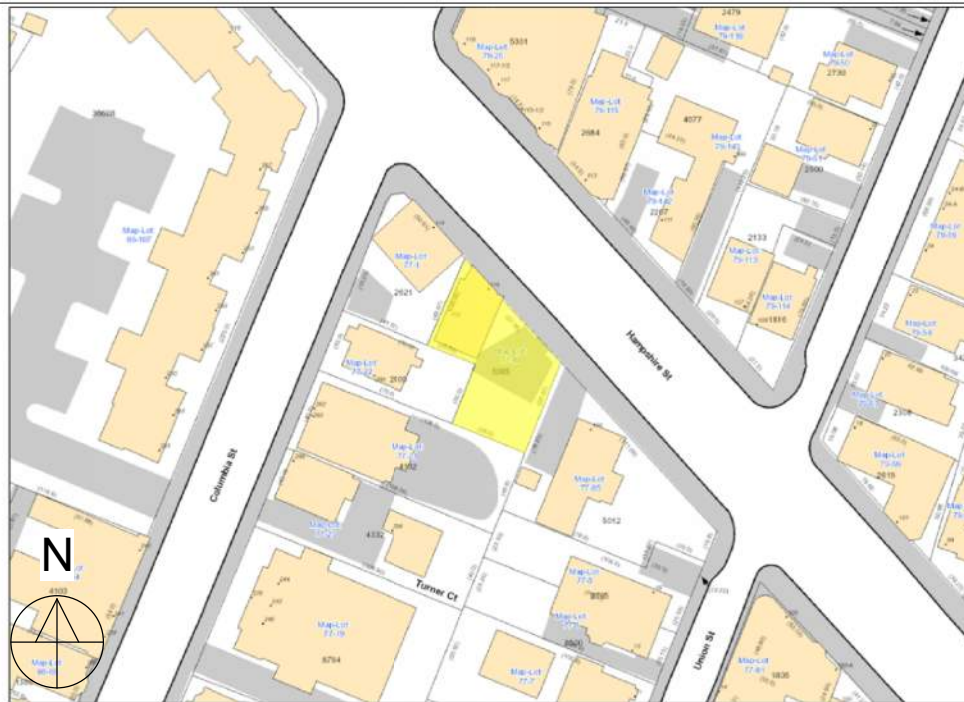
LIST OF SYMBOLS

	EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED
	EXISTING STRUCTURE OR PARTITION TO REMAIN
	NEW STRUCTURE OR PARTITION
	FINISH ELEVATION
	ROOM TAG
	GENERAL DETAIL
	WALL SECTION
	INTERIOR ELEVATION
	FINISH TAG
	DOOR IDENTIFICATION SYMBOL
	WALL TYPE TAG
	WINDOW IDENTIFICATION SYMBOL
	FLOOR FINISH SYMBOL
	DUPLEX OUTLET
	GROUND FAULT OUTLET
	CAT 5/COAX/DATA
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM

ABBREVIATIONS

AFF	ABOVE FINISHED FOOR
CJ	CONTROL JOINT
CLC	CEILING
CLR	CLEAR
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DN	DOWN
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EXIST	EXISTING
FC	FURRING CHANNEL
FD	FLOOR DRAIN
FIN	FINISH
FL	FLOOR
GL	GLASS
GW	GYPSUM WALLBOARD
HW	HARDWOOD
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
INSUL	INSULATION
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
MTL	METAL
MIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PTD	PAINTED
REQ'D	REQUIRED
RL	RAIN LEADER
STL	STEEL
STR	STRUCTURE/STRUCTURAL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
WD	WOOD
W/	WITH
WNDW	WINDOW

SITE LOCATION



CONTACTS

ARCHITECT Anderson Porter Design 875 Main Street Cambridge MA 02139 Dan Anderson 617.354.2501	BUILDER DND Homes, LLC 1 GARFIELD CIR. BURLINGTON, MA 01803 Trina Murphy 781.460.8437 STRUCTURAL ENGINEER Forest Structural Engineering 231 W. Newton St #1 Tel: (617) 447-8030 Boston, MA 02116 scott@foreststructural.com
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DRAWING LIST

Sheet Number	Drawing List	Issue Date
G0.1	COVER SHEET	08/06/21
A0.1	EXISTING CIVIL PLAN	08/09/21
L1.1	PROPOSED LANDSCAPE	08/06/21
Z1.1	ZONING COMPLIANCE	08/06/21
Z1.2	ZONING COMPLIANCE - SETBACKS	08/06/21
AX1.1	EXISTING FLOOR PLANS	08/06/21
AX2.1	EXISTING ELEVATIONS	08/06/21
A1.1	PROPOSED PLANS UNIT 112	08/06/21
A2.2	PROPOSED ELEVATIONS FOR UNIT 112	08/06/21
A1.2	PROPOSED PLANS UNIT 110	08/06/21
A2.1	ELEVATIONS FOR UNIT 110	08/06/21
P1.0	SITE PHOTOGRAPHS	08/06/21

ZONING SUMMARY

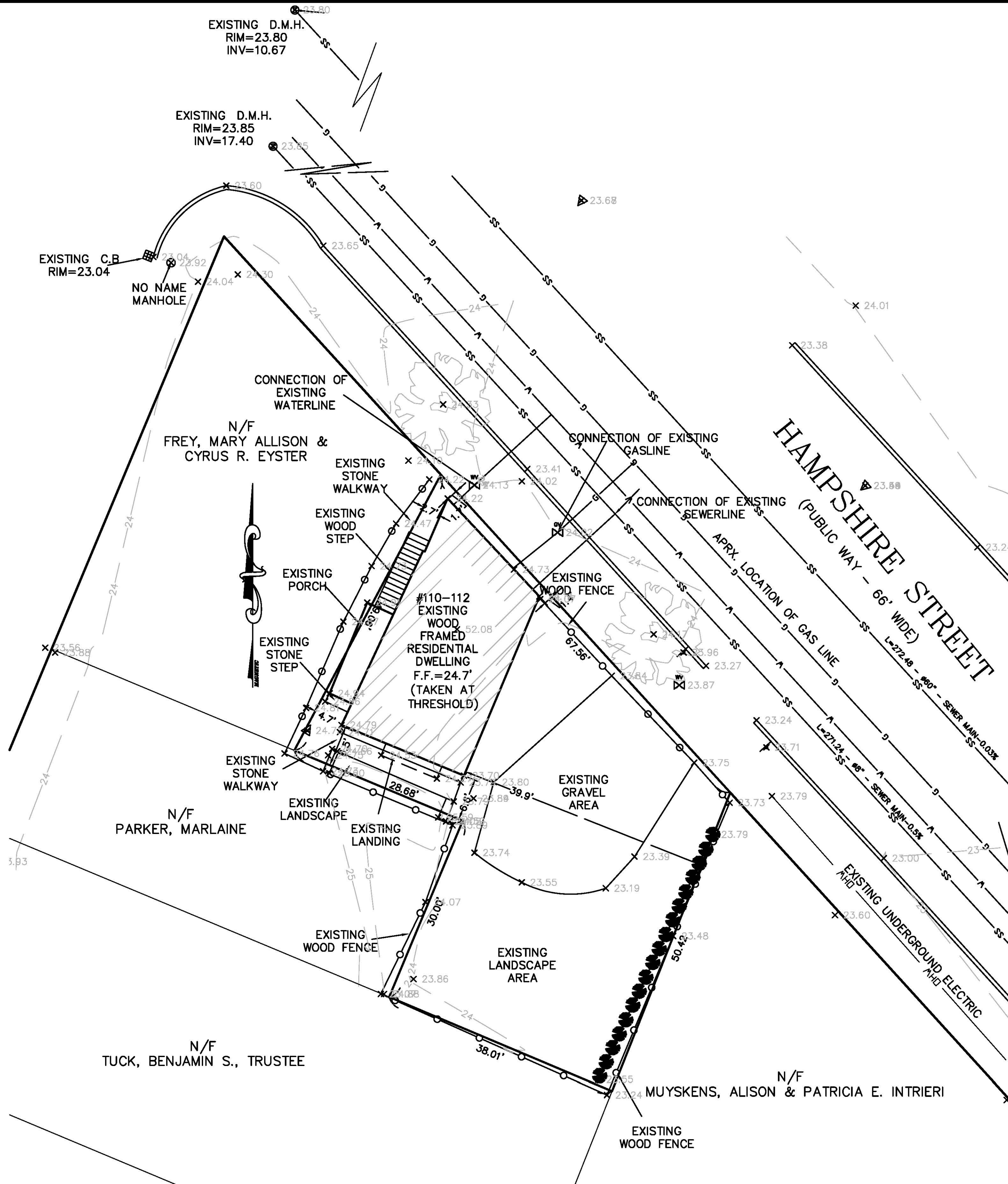
PROPERTY ADDRESS:	110-112 Hampshire St Cambridge, MA 02139
ZONING DISTRICT:	C1- RESIDENTIAL
PROJECT DESCRIPTION:	RENOVATION TO EXISTING TWO FAMILY STRUCTURE AND ADDITION OF SINGLE FAMILY STRUCTURE

CH-3 Building Planning - Structure will comply with this section
R302.10.1 Insulation - Products and installation will comply with this section
R303 Light, Ventilation and Heating - Structure will comply with this section
R304 Minimum Room Areas - Structure will comply with this section
R305 Ceiling Height - Structure will comply with this section
R308 Glazing - Structure will comply with this section
R310 Emergency Escape and Rescue Openings - Structure will comply with this section
R311 Means of Egress - Structure will comply with this section
R312 Guards and Window Fall Protection - Structure will comply with this section
R314 Smoke Alarms - Structure will comply with this section
R315 Carbon Monoxide Alarms - Structure will comply with this section
CH-4 Foundations - Structure will comply with this section
CH-5 Floors - Structure will comply with this section
CH-6 Wall Construction - Structure will comply with this section
CH-7 Wall Covering - Structure will comply with this section
CH-8 Roof-Ceiling Construction - Structure will comply with this section
CH-9 Roof Assemblies - Structure will comply with this section
CH-10 Chimneys and Fireplaces
CH-11 Energy Efficiency - Structure will comply with this section
CH-12 Mechanical Administration - Structure will comply with this section
M1202.1 Additions, alterations or repairs - Project will alter and add to the existing mechanical system
CH-13 - CH 32 N/A
CH-33 Storm Drainage - Structure will comply with this section
CH-34- CH-40 Electrical - Structure will comply with these sections
CH-35 - CH-44 - Structure will comply with these sections

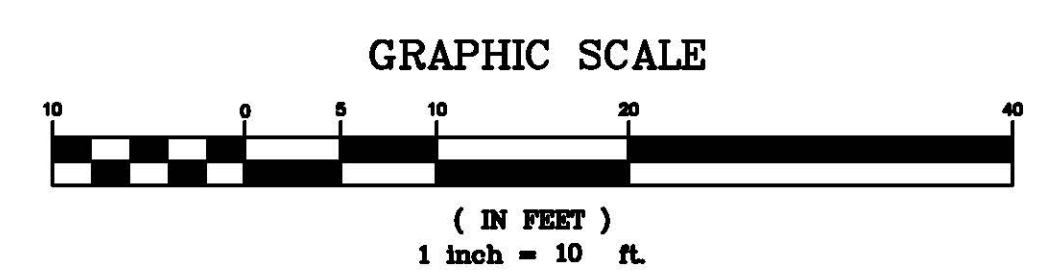
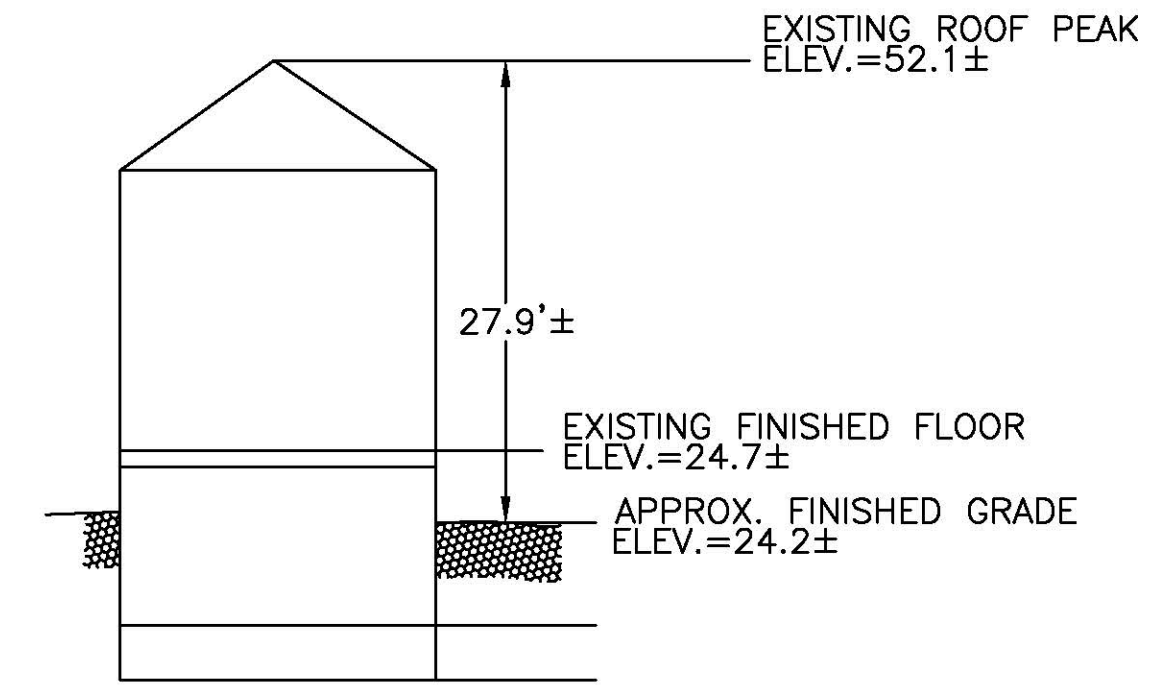
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project:	110-112 Hampshire		
Address:	110-112 Hampshire St Cambridge, MA 02139		
Title:	COVER SHEET		
Drawing Issued By:	ANDERSON PORTER DESIGN		
Project #	2019	Drawn No.	
Date	08/12/2021		
Scale			G0.1
Drawn by	RB		

LEGEND	
	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)

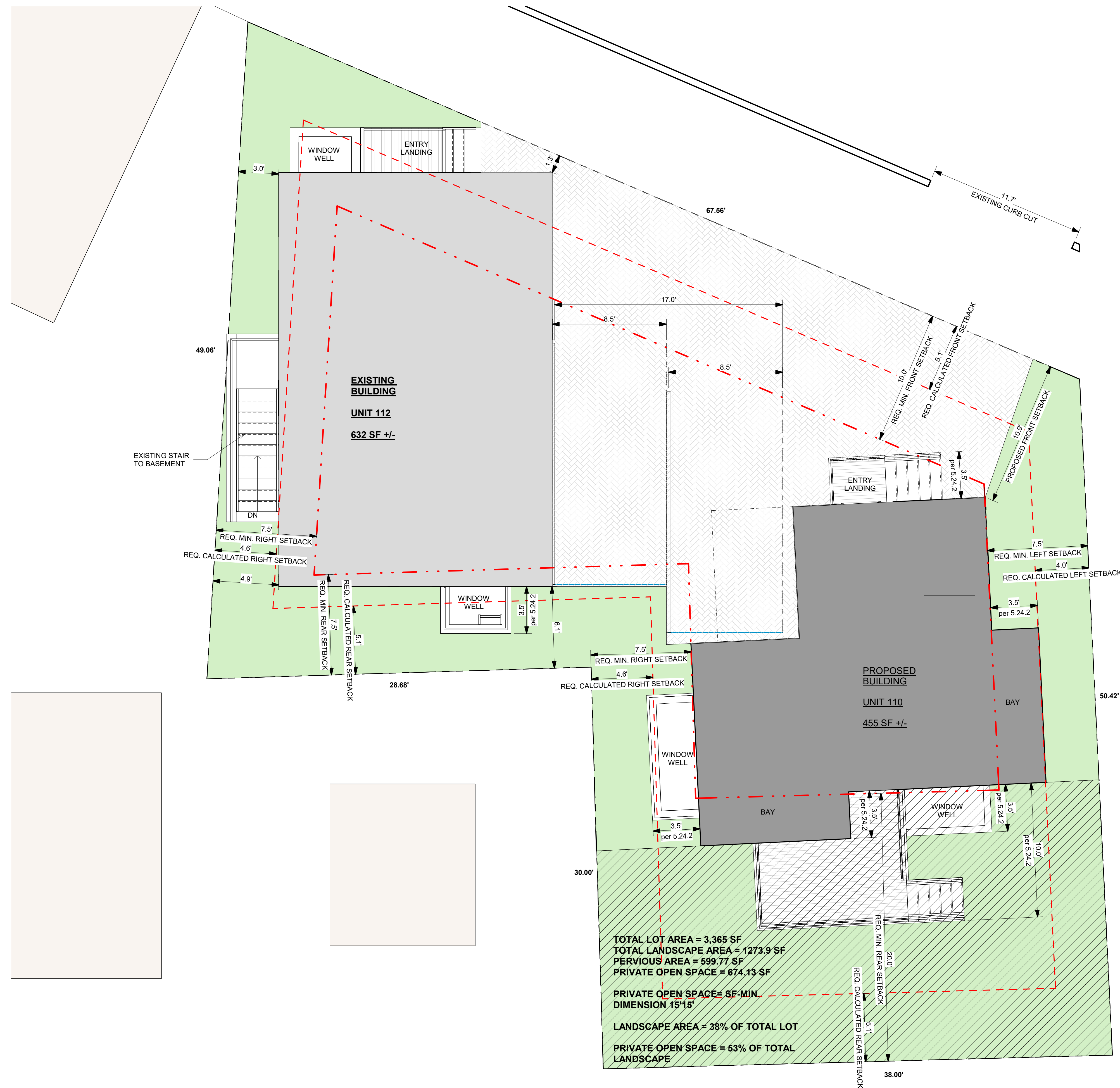


- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 10/20/2020.
 2. DEED REFERENCE: BOOK 15689, PAGE 344, PLAN REFERENCE: PLAN NUMBER 14804 OF 210 PLAN REFERENCE: PLAN NUMBER 239 OF 345, MIDDLESEX COUNTY DISTRICT REGISTRY OF DEEDS
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0576E, COMMUNITY NUMBER 250186, PANEL NUMBER 0576E, DATED 06/04/2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. THE ELEVATIONS SHOWN ARE BASED ON TOWN OF CAMBRIDGE DATUM.










SCALE	1"=10'
DATE	10/30/2020
REV	DATE
REVISION	BY
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	110-112 HAMPSHIRE STREET CAMBRIDGE MASSACHUSETTS
DRAWN BY	E.S
CHKD BY	P.J.N
APPD BY	P.J.N
EXISTING CONDITIONS	
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com	

SHEET NO.
1



ZONING PLAN LEGEND

- | | |
|---|------------------------------|
|  | PROPOSED 112 HAMPSHIRE |
|  | PROPOSED 110 HAMPSHIRE |
|  | LANDSCAPE |
|  | PRIVATE OPEN SPACE |
|  | PAVERS |
|  | REQUIRED MINIMUM SETBACKS |
|  | REQUIRED CALCULATED SETBACKS |

NOTE:
This plan is for informational and illustrative purposes only. The preparer of this plan makes no claim to its accuracy. This plan shall not be used or relied upon in any circumstance. A certified Land Surveyor shall provide an official certified plot plan.

☐ ZONING
1/4" = 1'-0"

SPECIAL PERMIT

[illegible]

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 110-112 Hampshire

Address:
110-112 Hampshire St
Cambridge, MA 02139

Title:
PROPOSED LANDSCAPE

Drawing Issued By: ANDERSON PORTER DESIGN

Project #	2019	Drawn No.
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Date	08/12/2021	111
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Scale	1/4" = 1'-0"	L.I.I
Drawn by	Author	

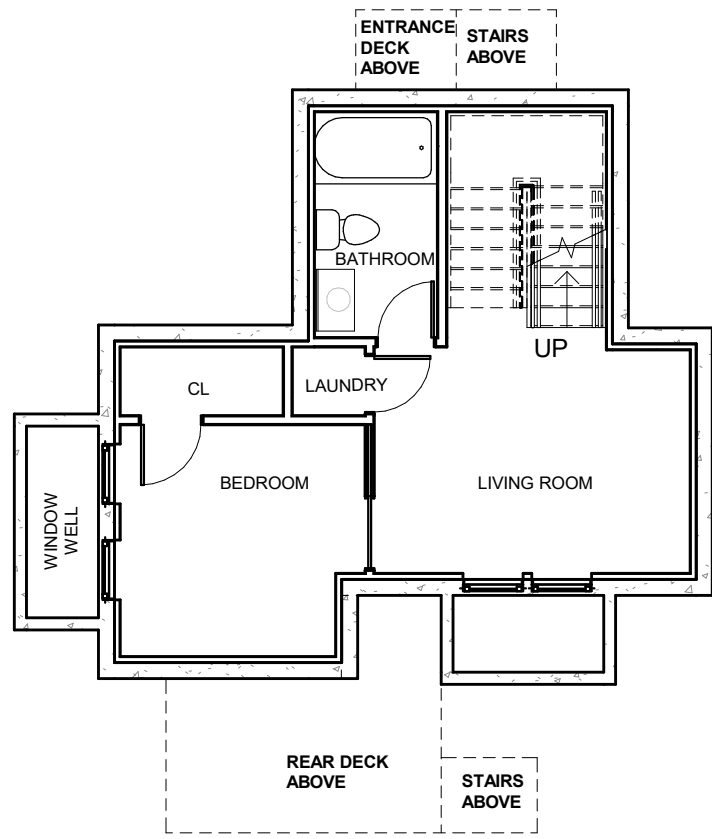
ZONING CHART - CAMBRIDGE				
LOT SIZE: 3,365 +/- SF	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	C1 ZONE	C1 ZONE	C1 ZONE	COMPLIES
USE	RESIDENTIAL	RESIDENTIAL/ MULTI-FAMILY.	RESIDENTIAL/ MULTI-FAMILY.	COMPLIES
MIN LOT SIZE	5000 SF	3,365 +/- SF	3,365 +/- SF	EXISTING NON CONFORMING
MIN LOT AREA PER DWELLING	1,500 SF	1,682.5 +/- SF	1,682.5 +/- SF	COMPLIES
MAX FLOOR AREA RATIO (FAR)	0.75	0.48	0.75	COMPLIES
MAX BUILDING HEIGHT	3 ST 35'-0"	28'-0"	35'-0"	COMPLIES
MIN. YARD SETBACKS FRONT	10'-0" MIN.	1.4'	31.2 / 6 = 5.1' < 10'	EXISTING NON CONFORMING / COMPLIES
LEFT SIDE	7'-6" MIN.	39.9'	27.5 / 7 = 4.0' < 7.6'	
RIGHT SIDE	7'-6" MIN.	2.7'	31.9 / 7 = 4.6' < 7.6'	
REAR	20'-0" MIN.	6.6'	31.2 / 6 = 5.1' < 10'	
MIN LOT WIDTH	50'-0"	65'-7"	65'-7"	COMPLIES
OPEN SPACE, MIN % OF LOT	30% OF TOTAL LOT AREA = 1009.5 SF	79% = 2569 SF	38% = 1273.9 SF > 1009.5 SF	COMPLIES
PRIVATE OPEN SPACE	50% OF TOTAL OPEN SPACE = 504.3 SF	39.5% = 1284.5 SF	53% = 674.13 SF > 504.3 SF	COMPLIES
PERMEABLE OPEN SPACE	50% OF TOTAL OPEN SPACE = 504.3 SF	39.5% = 1284.5 SF	47% = 599.77 SF > 504.3 SF	COMPLIES
PARKING REQUIREMENTS	ONE PER DWELLING UNIT	2 PARKING SPACES	2 PARKING SPACES	COMPLIES
BICYCLE PARKING	0 SPACES	0 SPACES	0 SPACES	COMPLIES

FOOTNOTES:

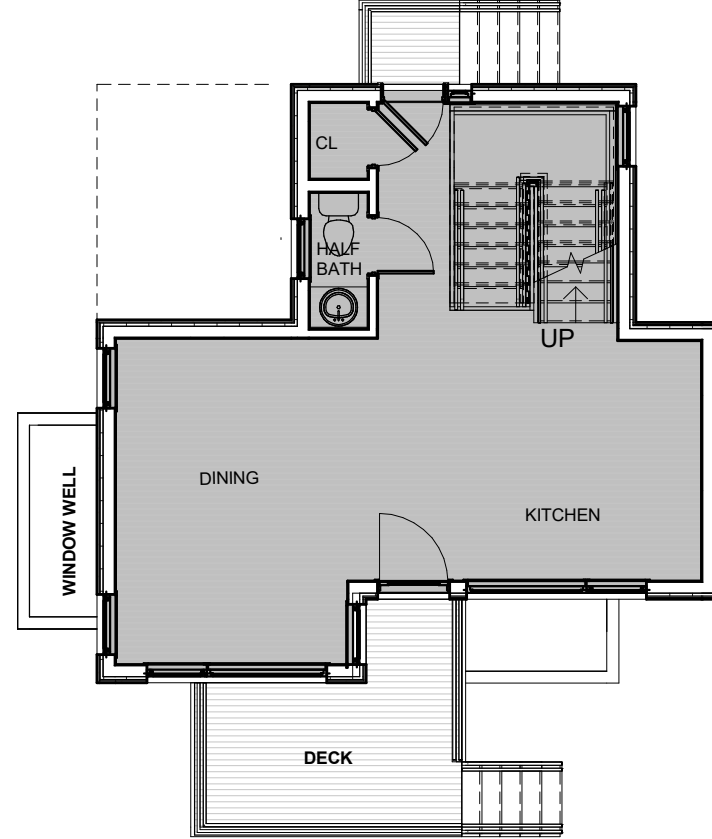
1 .In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet.

2. In a Residence C-1 District, no building plane (excluding projections as permitted by Section 5.24.2) may be nearer than seven feet, six inches (7'6") to a side lot line.

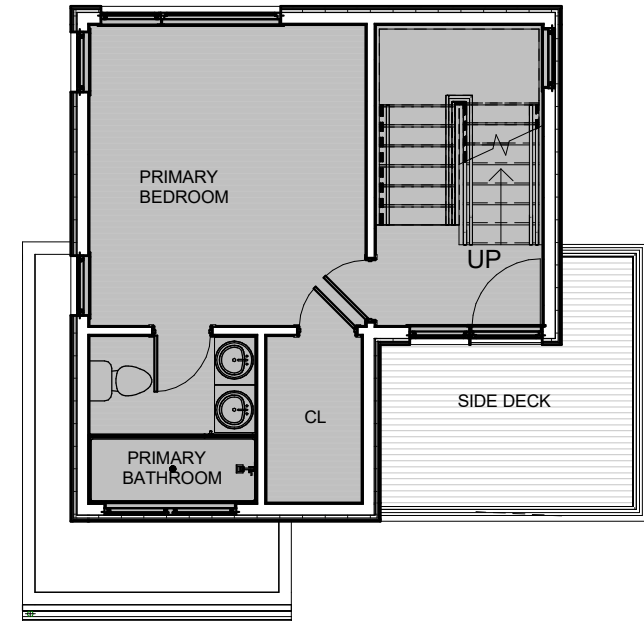
ZONING CHART Copy 1
12" = 1'-0"



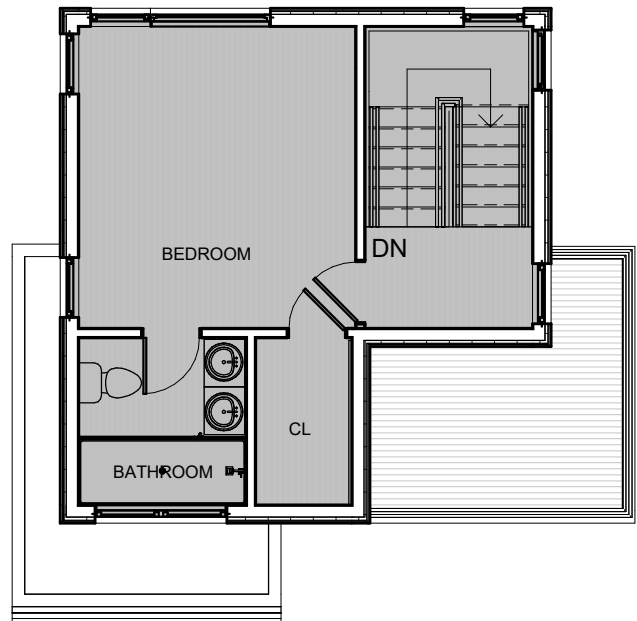
1 Proposed Basement GSF Excluded Unit 110
1/8" = 1'-0"



3 Proposed Level 1 Unit 110 Area Plan
1/8" = 1'-0"

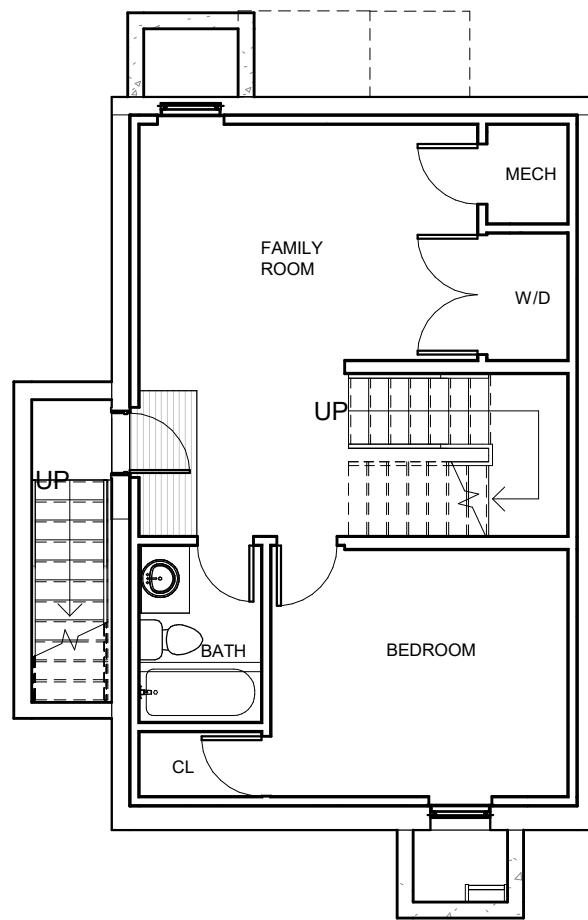


5 Proposed Level 2 Unit 110 Area Plan
1/8" = 1'-0"

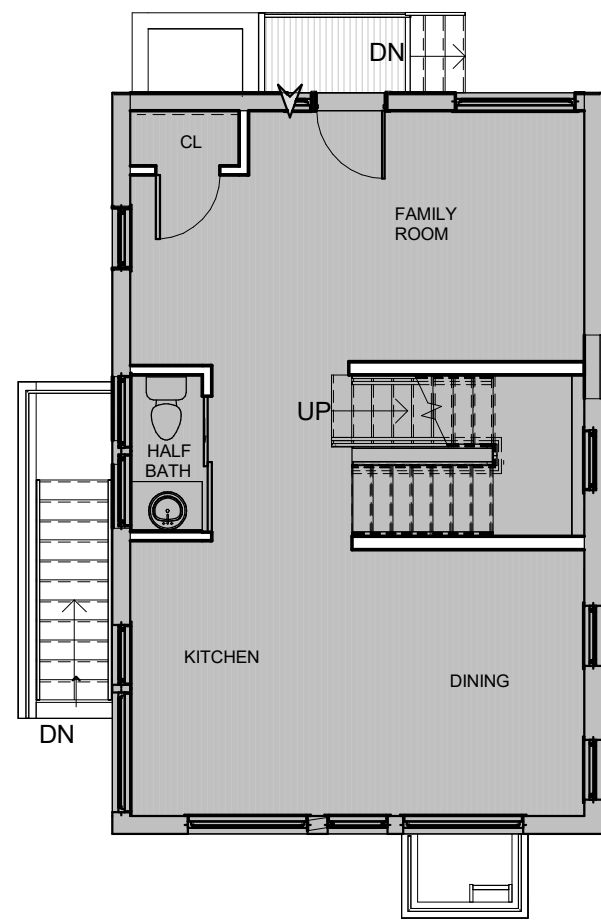


9 Proposed Level 3 Unit 110 Area Plan
1/8" = 1'-0"

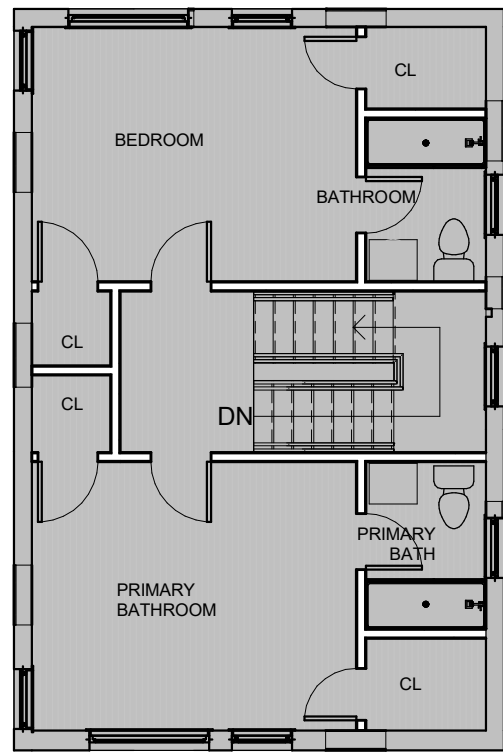
AREA CALCULATIONS	EXISTING	PROPOSED
BASEMENT UNIT 110 (N/A)	N/A	N/A
FIRST FLOOR UNIT 110	N/A	455 SF
SECOND FLOOR UNIT 110	N/A	363 SF
THIRD FLOOR UNIT 110	N/A	363 SF
BASEMENT UNIT 112 (N/A)	N/A	N/A
FIRST FLOOR UNIT 112	799 SF	632 SF
UPPER FLOORS UNIT 112	814 SF	632 SF
TOTAL	1,613 SF	2,445 SF



2 Proposed Basement GSF Excluded Unit 112
1/8" = 1'-0"



4 Proposed Level 1 Unit 112 Area Plan
1/8" = 1'-0"



6 Proposed Level 2 Unit 112 Area Plan
1/8" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 110-112 Hampshire

Address: 110-112 Hampshire St
Cambridge, MA 02139

Title: ZONING COMPLIANCE

Drawing Issued By: ANDERSON PORTER DESIGN

Project # 2019

Drawn No.

Date 08/12/2021

Scale As indicated

Drawn by RB

SETBACK CALCULATION (OPTION 1)				
LEFT SETBACK				
AVERAGE HEIGHT		MINIMUM SETBACK		MIN. SETBACK REQUIRED BY CODE
$((35.0 \times 14.0) + (14.0 \times 7.5))$ (14.0+7.5)	27.7	$\frac{27.7}{7}$	4.0	7.6
RIGHT SETBACK				
AVERAGE HEIGHT		MINIMUM SETBACK		MIN. SETBACK REQUIRED BY CODE
$((35.0 \times 21.5) + (14.0 \times 3.6))$ (21.5 + 3.6)	32.0	$\frac{32.0}{7}$	4.6	7.6
FRONT SETBACK				
AVERAGE HEIGHT		MINIMUM SETBACK		MIN. SETBACK REQUIRED BY CODE
$((35.0 \times 20.5) + (14.0 \times 3.6) + (14.0 \times 2.0))$ (20.5 + 3.6 + 2.0)	30.5	$\frac{30.5}{6}$	5.1	10
BACK SETBACK				
AVERAGE HEIGHT		MINIMUM SETBACK		MIN. SETBACK REQUIRED BY CODE
$((35.0 \times 20.5) + (14.0 \times 3.6) + (14.0 \times 2.0))$ (20.5 + 3.6 + 2.0)	30.5	$\frac{30.5}{6}$	5.1	20

SETBACK CALCULATION OPTION 2				
LEFT SETBACK				
Total Area (Multiple Planes)	* Setback	Total Area (Single Plane)	* Setback	Complies
$(595.0 \times 7.6) + (145.5 \times 19.8)$	7397.0	$(21.5 \times 35) - (7.5 \times 21.5)$	4434.375	TRUE
RIGHT SETBACK				
Total Area (Multiple Planes)	* Setback	Total Area (Single Plane)	* Setback	Complies
$(420.5 \times 9.6) + (165 \times 7.6) + (127.7 \times 15.7)$	7297.4	$(21.5 \times 35) - (3.6 \times 19)$	5130.75	TRUE

SETBACK CALCULATION (OPTION 2)		
LEFT ELEVATION		
Dimensions		Total Area
Plane 1	Setback 1	7397.0
595.0	7.6	
Plane 3	Setback 2	
145.2	19.8	
RIGHT ELEVATION		
Dimensions		Total
Plane 1	Setback 1	7297.4
420.5	9.6	
Plane 2	Setback 2	
165.2	7.6	
Plane 3	Setback 3	
127.7	15.7	

SETBACK CALCULATION (OPTION 1)		
LEFT ELEVATION		
Dimensions		Total
H1	L1	27.7
35.0	14.0	
H2	L2	
14.0	7.5	
RIGHT ELEVATION		
Dimensions		Total
H1	L1	32.0
35.0	21.5	
H2	L2	
14.0	3.6	
FRONT ELEVATION		
Dimensions		Total
H1	L1	30.5
35.0	20.5	
H2	L2	
14.0	3.6	
H3	L3	
14.0	2.0	
BACK ELEVATION		
Dimensions		Total
H1	L1	30.5
35.0	20.5	
H2	L2	
14.0	3.6	
H3	L3	
14.0	2.0	

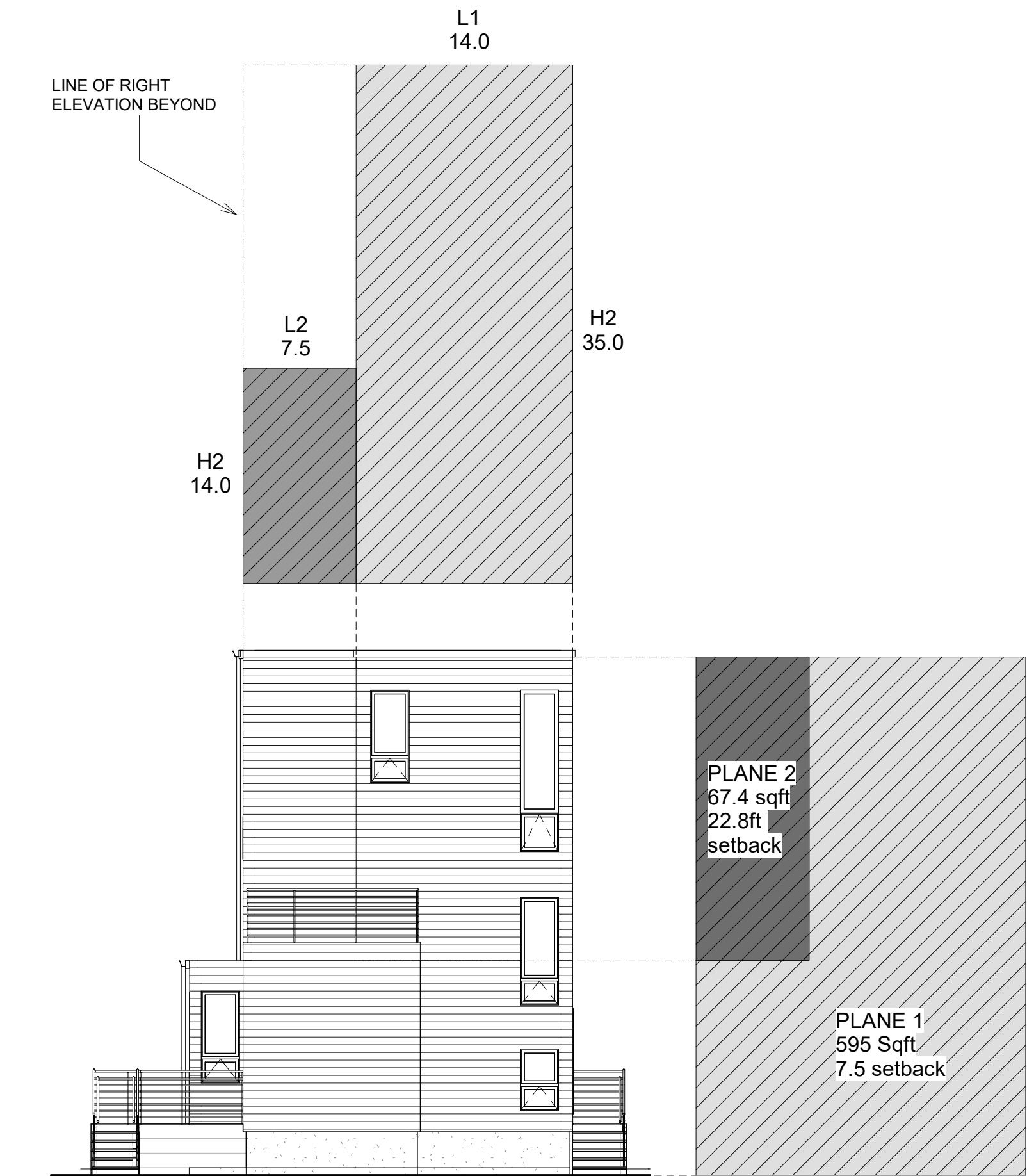
ZONING CHART - CAMBRIDGE

LOT SIZE: 3,365 +/- SF	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	C1 ZONE	C1 ZONE	C1 ZONE	COMPLIES
USE	RESIDENTIAL	RESIDENTIAL/ MULTI-FAMILY.	RESIDENTIAL/ MULTI-FAMILY.	COMPLIES
MIN LOT SIZE	5000 SF	3,365 +/- SF	3,365 +/- SF	EXISTING NON CONFORMING
MIN LOT AREA PER DWELLING	1,500 SF	1,682.5 +/- SF	1,682.5 +/- SF	COMPLIES
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MAX BUILDING HEIGHT	3 ST 35'-0"	28'-0"	35'-0"	COMPLIES
MIN. YARD SETBACKS FRONT	10'-0" MIN.	1.4'	31.2 / 6 = 5.1' < 10'	EXISTING NON CONFORMING / COMPLIES
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OPEN SPACE, MIN % OF LOT	30% OF TOTAL LOT AREA = 1009.5 SF	79% = 2569 SF	38% = 1273.9 SF > 1009.5 SF	COMPLIES
PRIVATE OPEN SPACE	50% OF TOTAL OPEN SPACE = 504.3 SF	39.5% = 1284.5 SF	53% = 674.13 SF > 504.3 SF	COMPLIES
PERMEABLE OPEN SPACE	50% OF TOTAL OPEN SPACE = 504.3 SF	39.5% = 1284.5 SF	47% = 599.77 SF > 504.3 SF	COMPLIES
PARKING REQUIREMENTS	ONE PER DWELLING UNIT	4 PARKING SPACES	2 PARKING SPACES	COMPLIES
BICYCLE PARKING	0 SPACES	0 SPACES	0 SPACES	COMPLIES

FOOTNOTES:

1. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet.
2. In a Residence C-1 District, no building plane (excluding projections as permitted by Section 5.24.2) may be nearer than seven feet, six inches (7'6") to a side lot line.

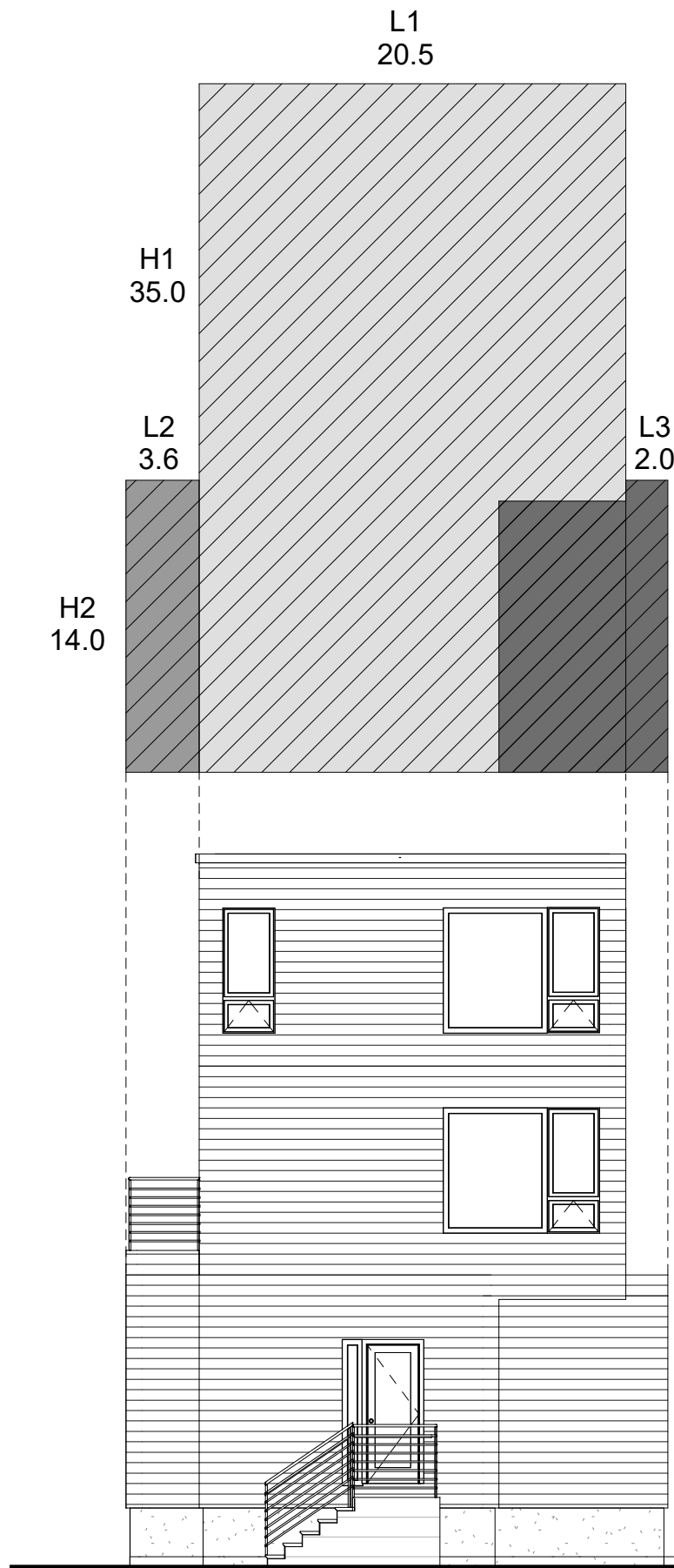
ZONING CHART Copy 1
12" = 1'-0"



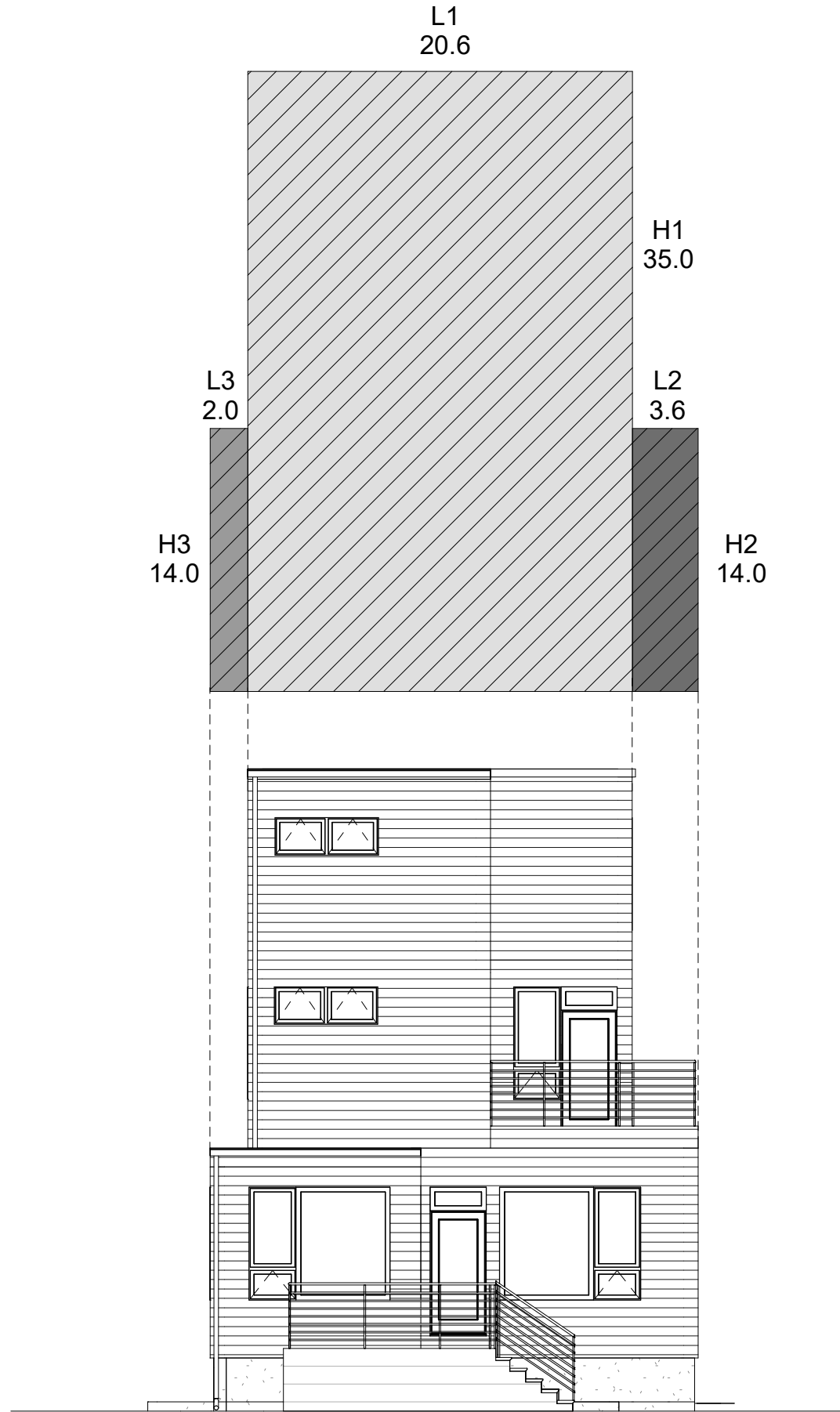
1 Proposed Left Elevation Unit 110 Setback
1/8" = 1'-0"



2 Proposed Right Elevation Unit 110 Setback
1/8" = 1'-0"



4 Proposed Front Elevation Unit 110 Setback
1/8" = 1'-0"



5 Proposed Back Elevation Unit 110 Setback
1/8" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 110-112 Hampshire

Address: 110-112 Hampshire St
Cambridge, MA 02139

Title: ZONING COMPLIANCE -
SETBACKS

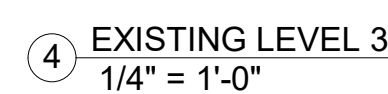
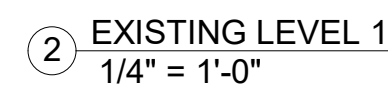
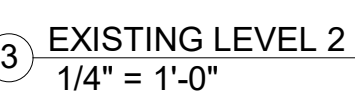
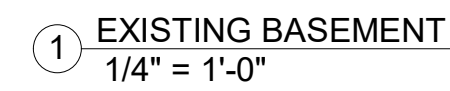
Drawing Issued By: ANDERSON PORTER DESIGN

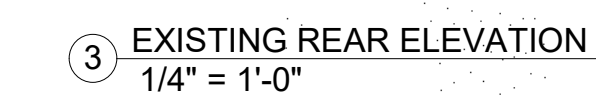
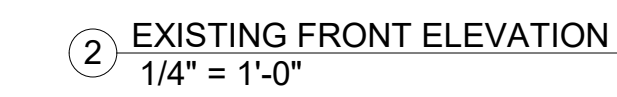
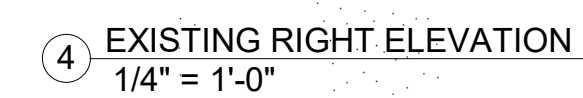
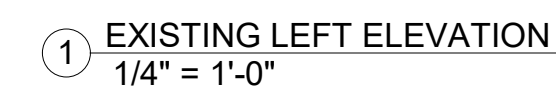
Project # 2019 Drawn No.

Date 08/12/2021

Scale As indicated

Drawn by Author



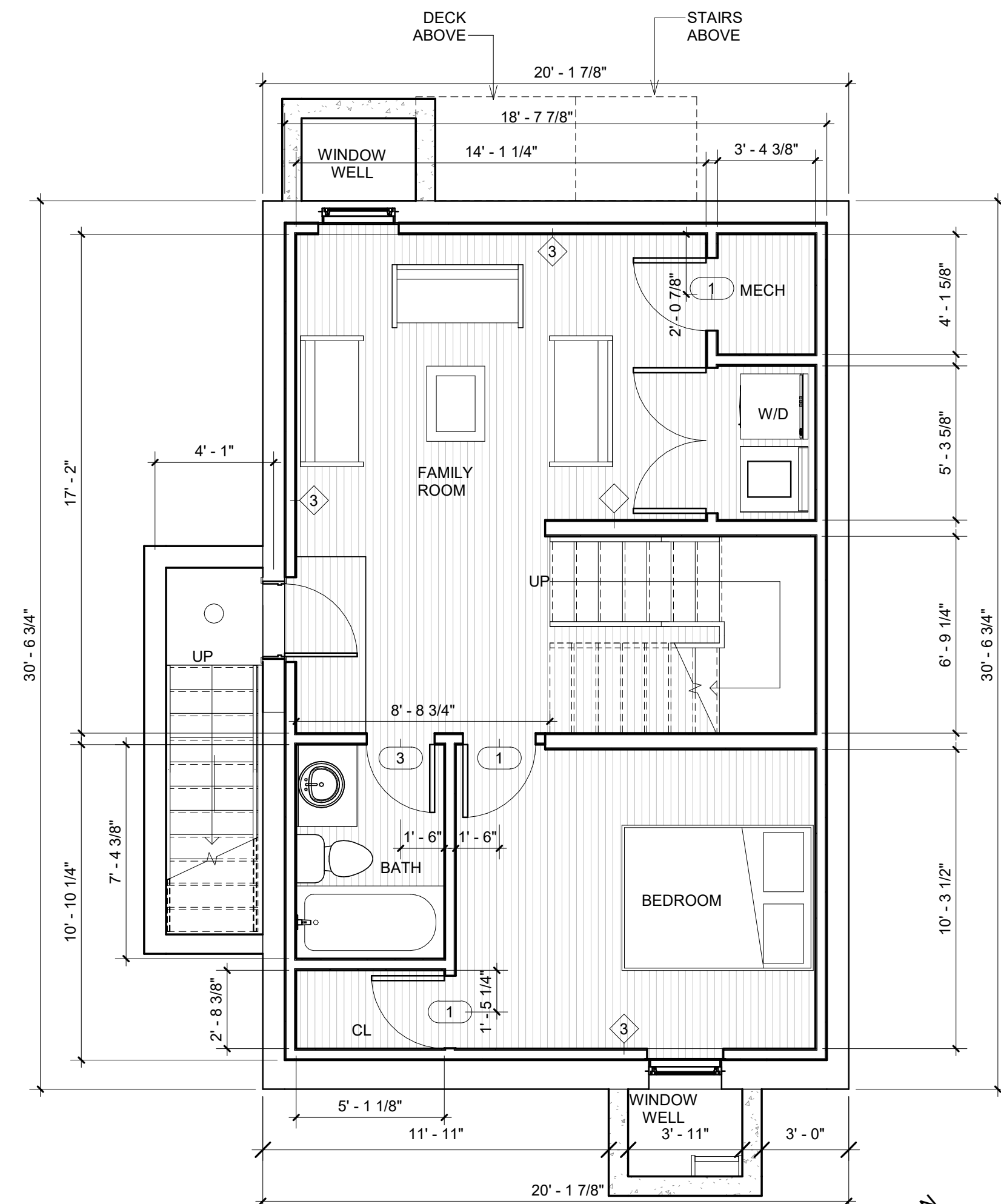


AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

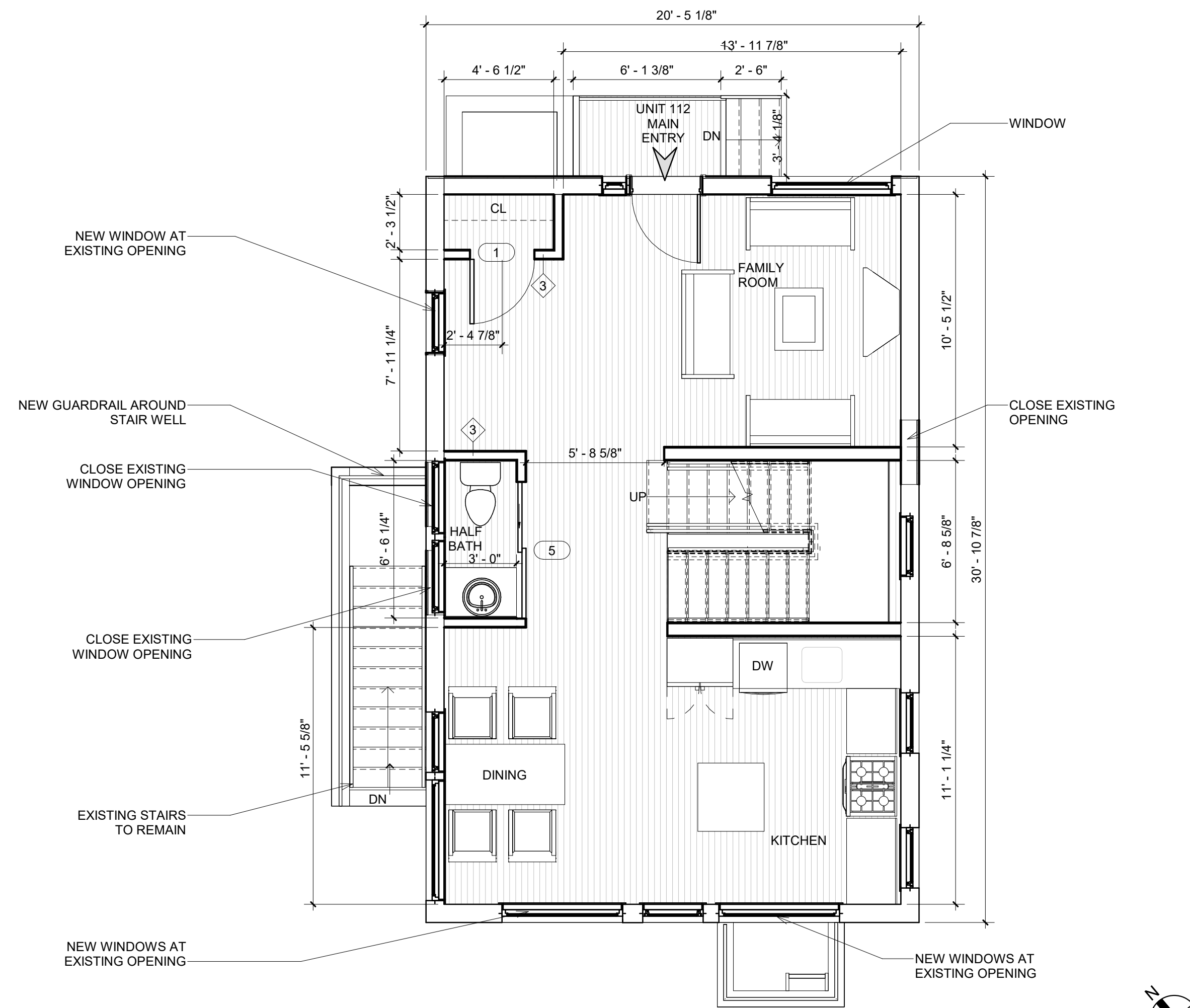
Title: **EXISTING ELEVATIONS**

Drawing Issued By: ANDERSON PORTER DESIGN

Project #	2019	Drawn No. AX2.1
Date	08/12/2021	
Scale	1/4" = 1'-0"	
Drawn by	RB	

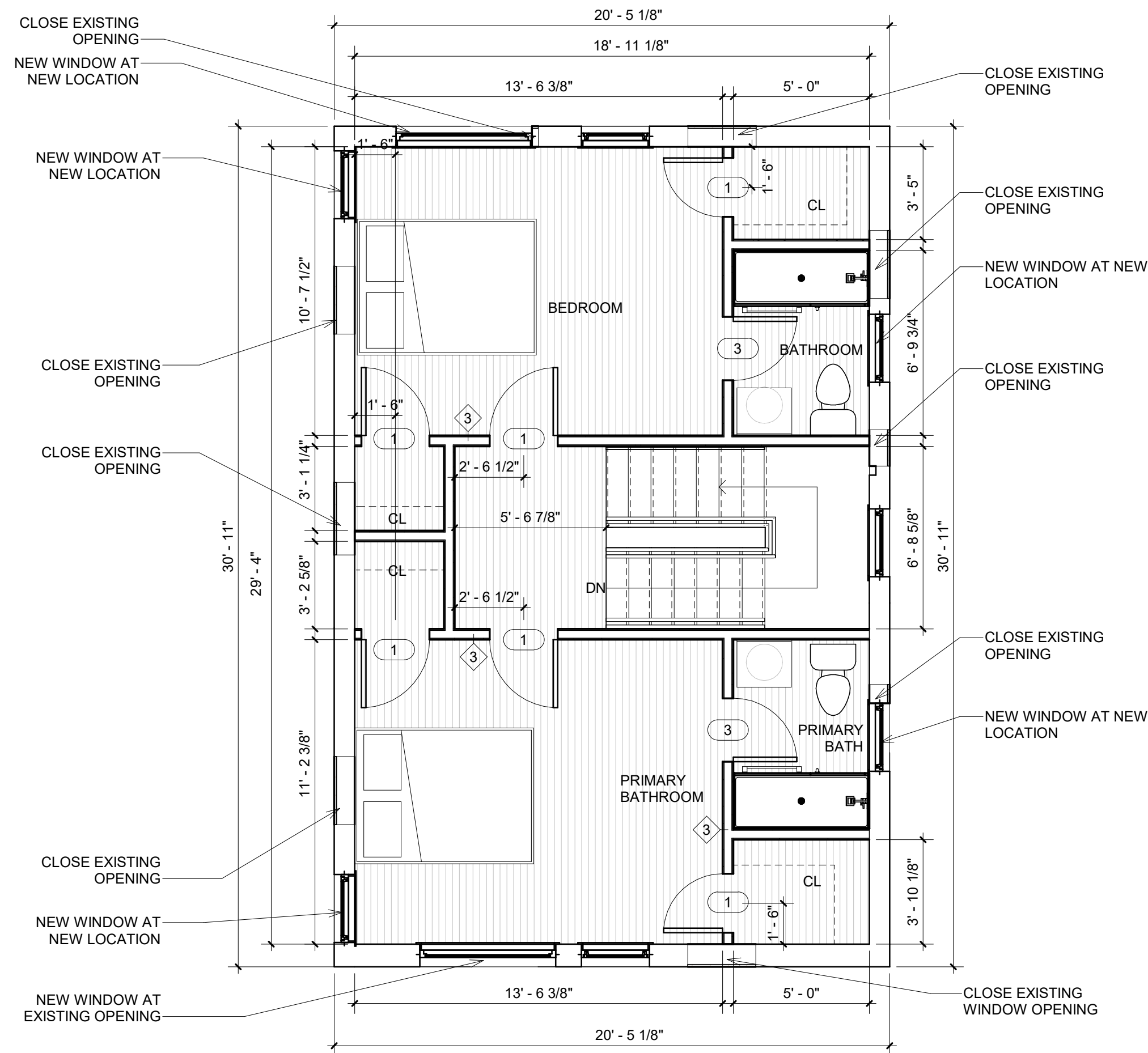


① Proposed Basement Unit 112
1/4" = 1'-0"

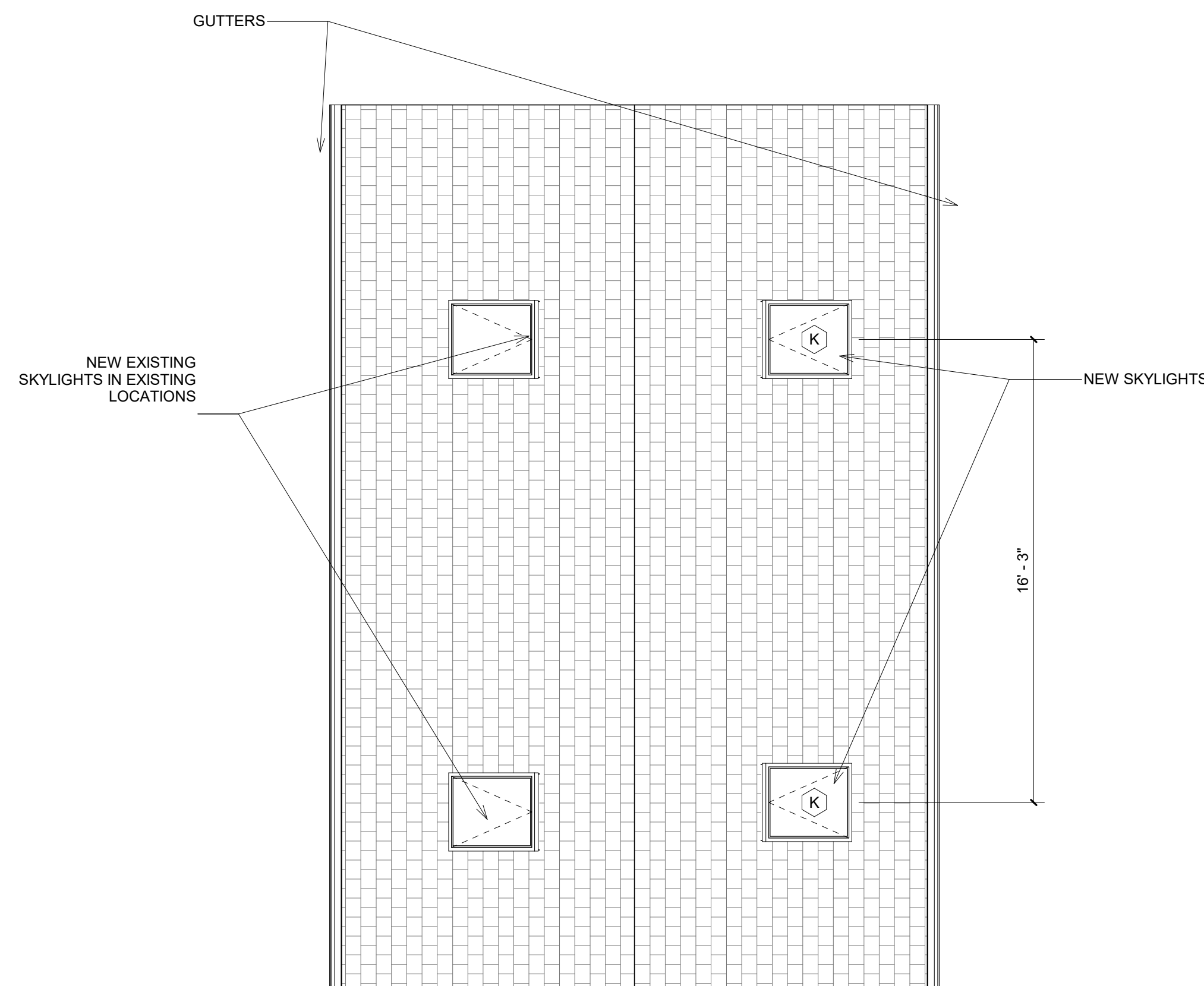


② Proposed Level 1 Unit 112
1/4" = 1'-0"

LEGEND	
	1-HR FIRE RATED PARTITION, REFER TO WALL TYPES
	WALL TYPE
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR



⑤ New Proposed Level 2 Unit 112
1/4" = 1'-0"



④ Proposed Roof Plan Unit 112
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 110-112 Hampshire
Address: 110-112 Hampshire St
Cambridge, MA 02139

Title: PROPOSED PLANS UNIT 112

Drawing Issued By: ANDERSON PORTER DESIGN

Project # 2019	Drawn No.
Date 08/12/2021	A1.1
Scale As indicated	
Drawn by RB	

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

PROPOSED ELEVATIONS FOR
UNIT 112

Project #	2019	Drawn No. <h1>A2.2</h1>
Date	08/12/2021	
Scale	1/4" = 1'-0"	
Drawn by	Author	

1 Proposed Left Elevation Unit 112
1/4" = 1'-0"

4 Proposed Right Elevation Unit 112
1/4" = 1'-0"

5 Proposed Front Elevation Unit 112
1/4" = 1'-0"

② Proposed Rear Elevation for Unit 112
1/4" = 1'-0"

LEGEND

- 1-HR FIRE RATED PARTITION, REFER TO WALL TYPES
- ◇ WALL TYPE
- ⊗ CARBON MONOXIDE DETECTOR
- ⊙ SMOKE DETECTOR

SPECIAL PERMIT

REVISIONS

No.	Description	Date

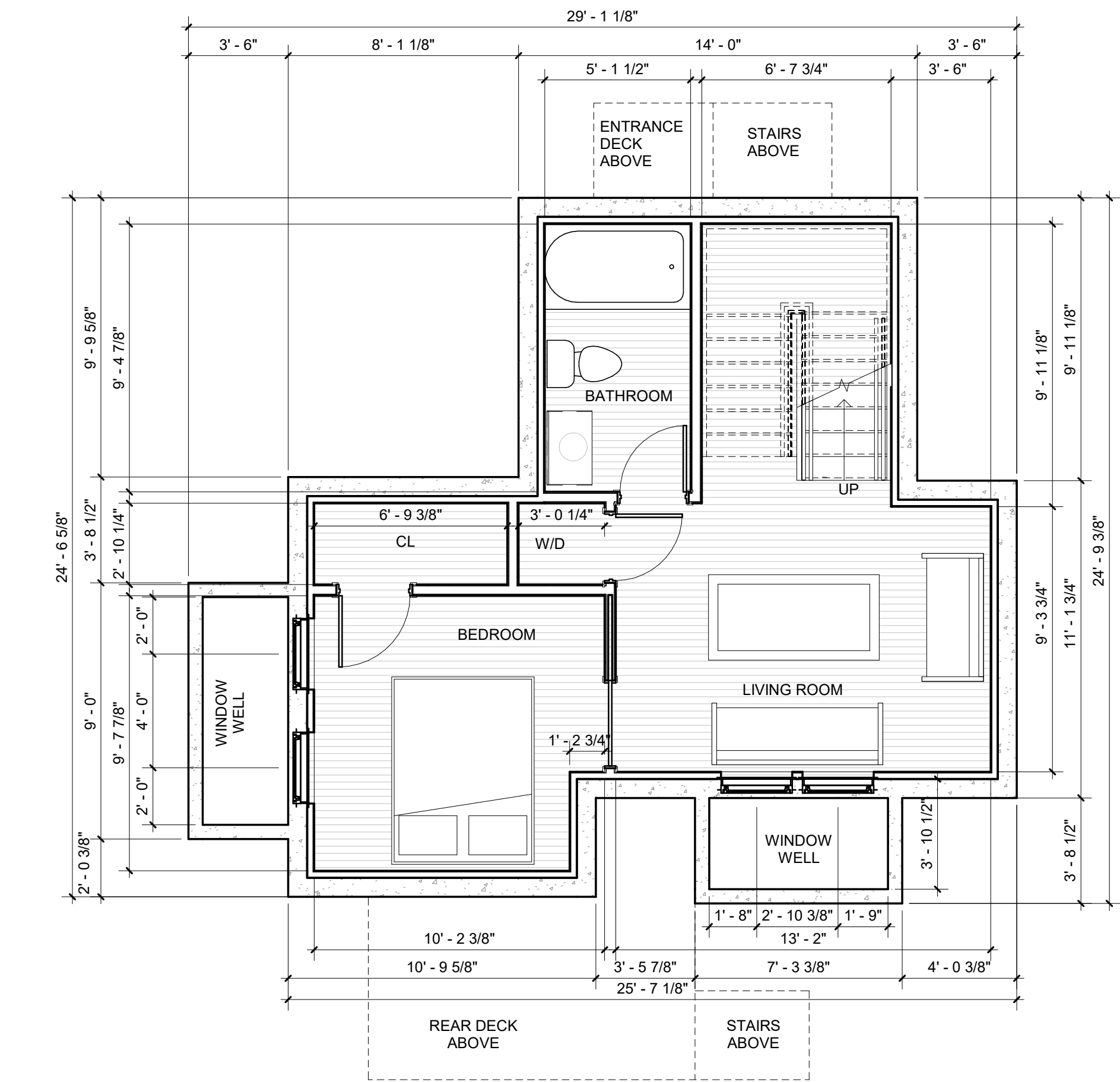
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 110-112 Hampshire
Address: 110-112 Hampshire St
Cambridge, MA 02139

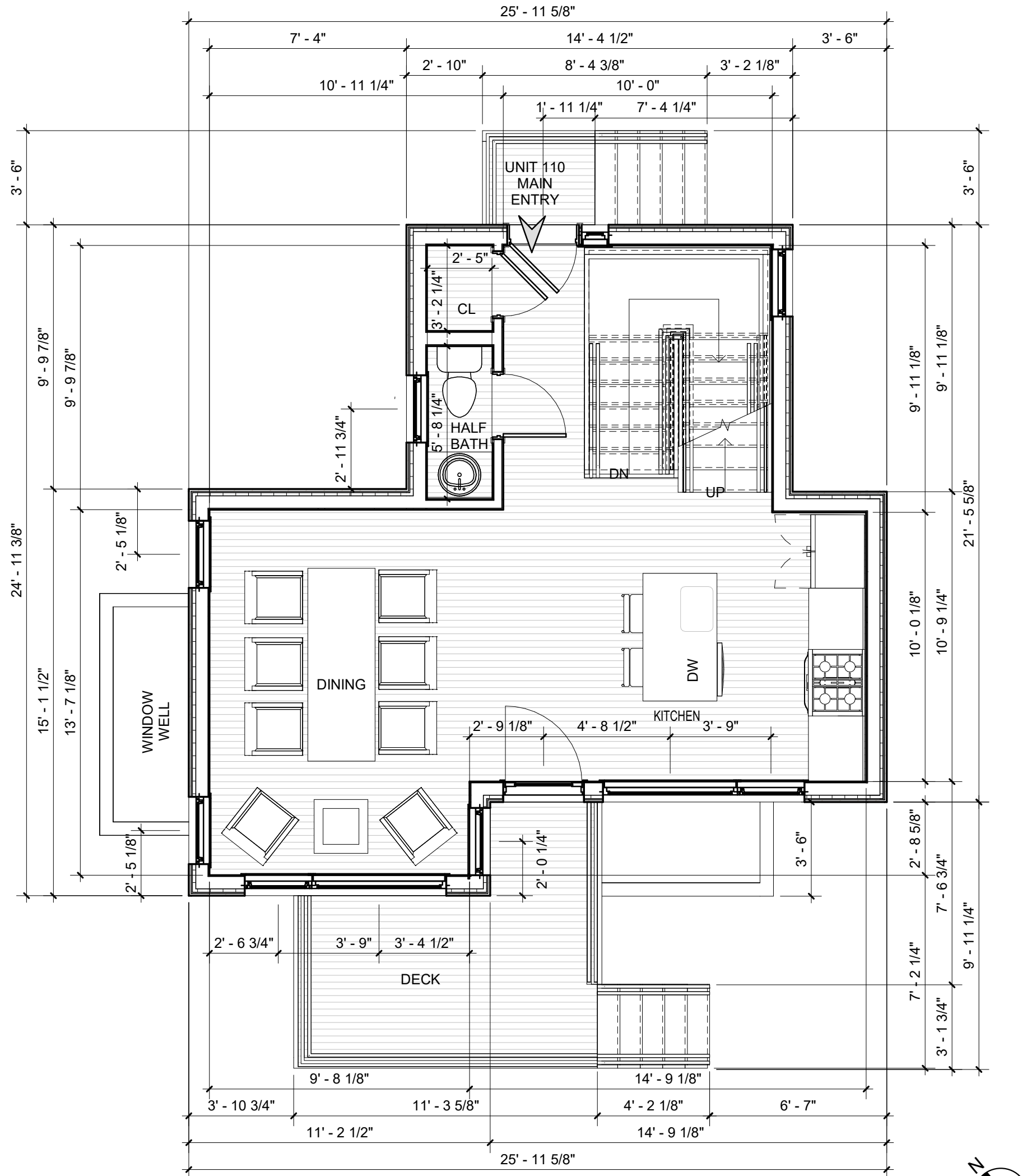
Title: PROPOSED PLANS UNIT 110

Drawing Issued By: ANDERSON PORTER DESIGN

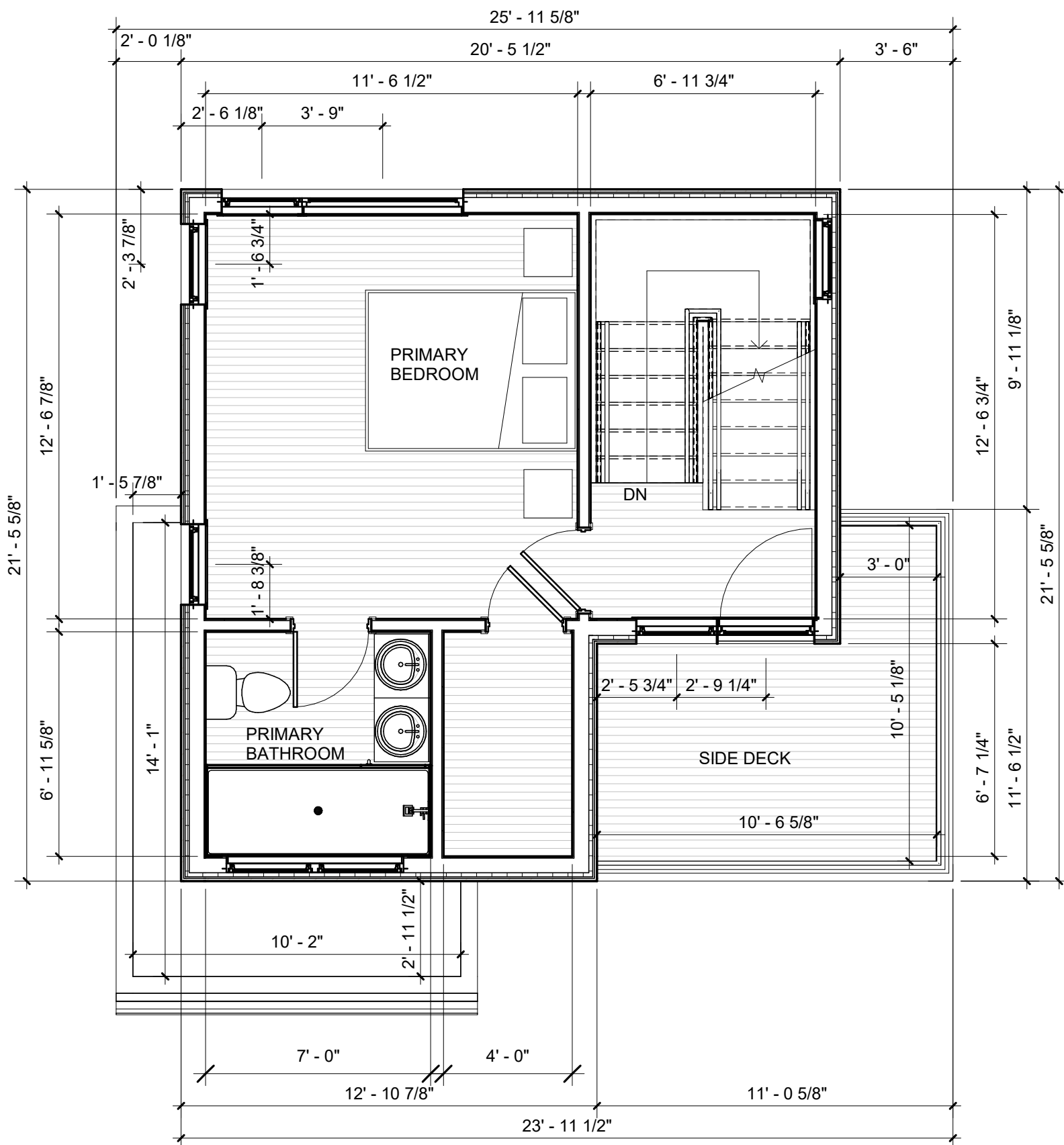
Project # 2019	Drawn No.
Date 08/12/2021	A1.2
Scale As indicated	
Drawn by RB	



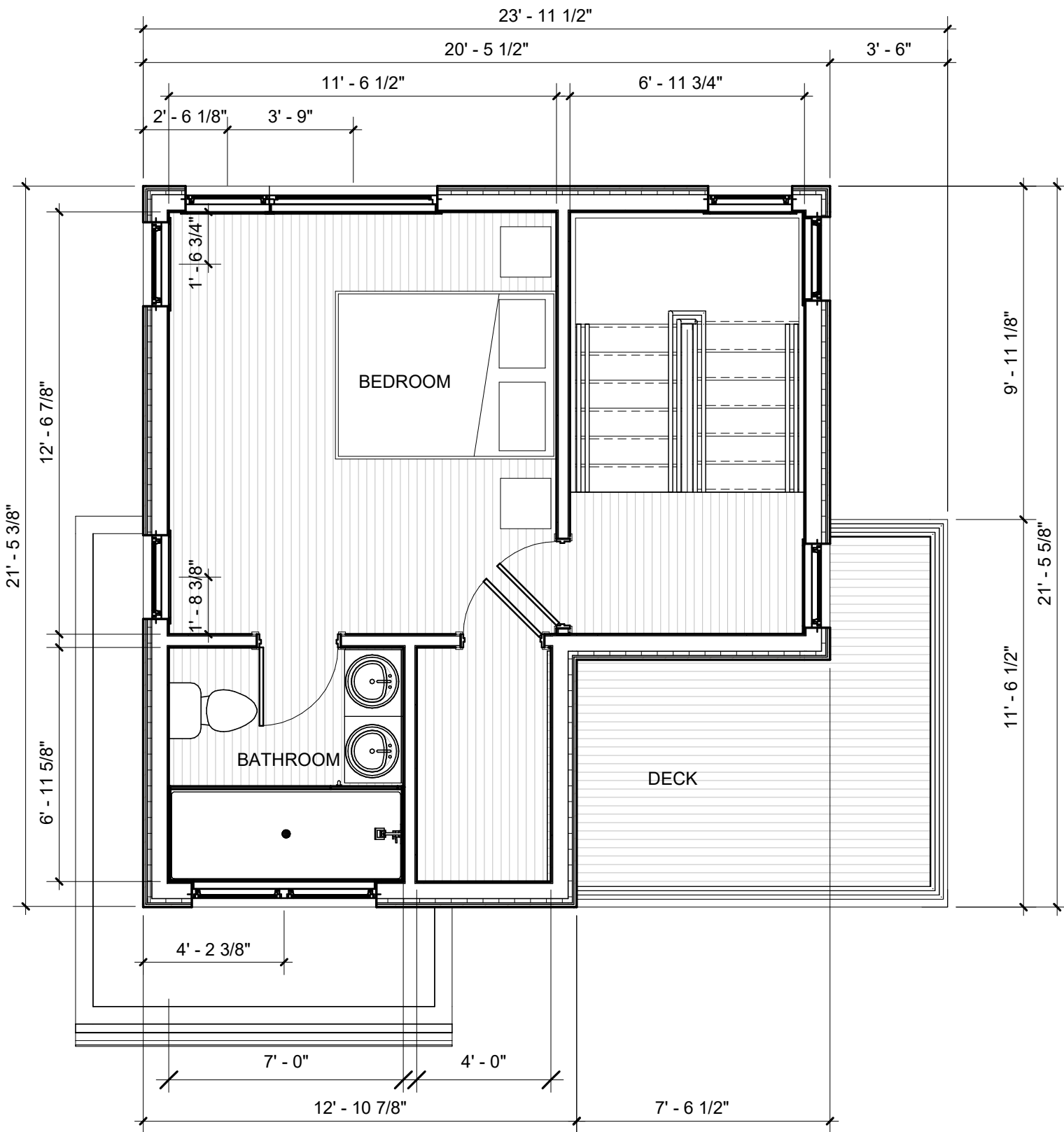
1 Proposed Basement Unit 110
1/4" = 1'-0"



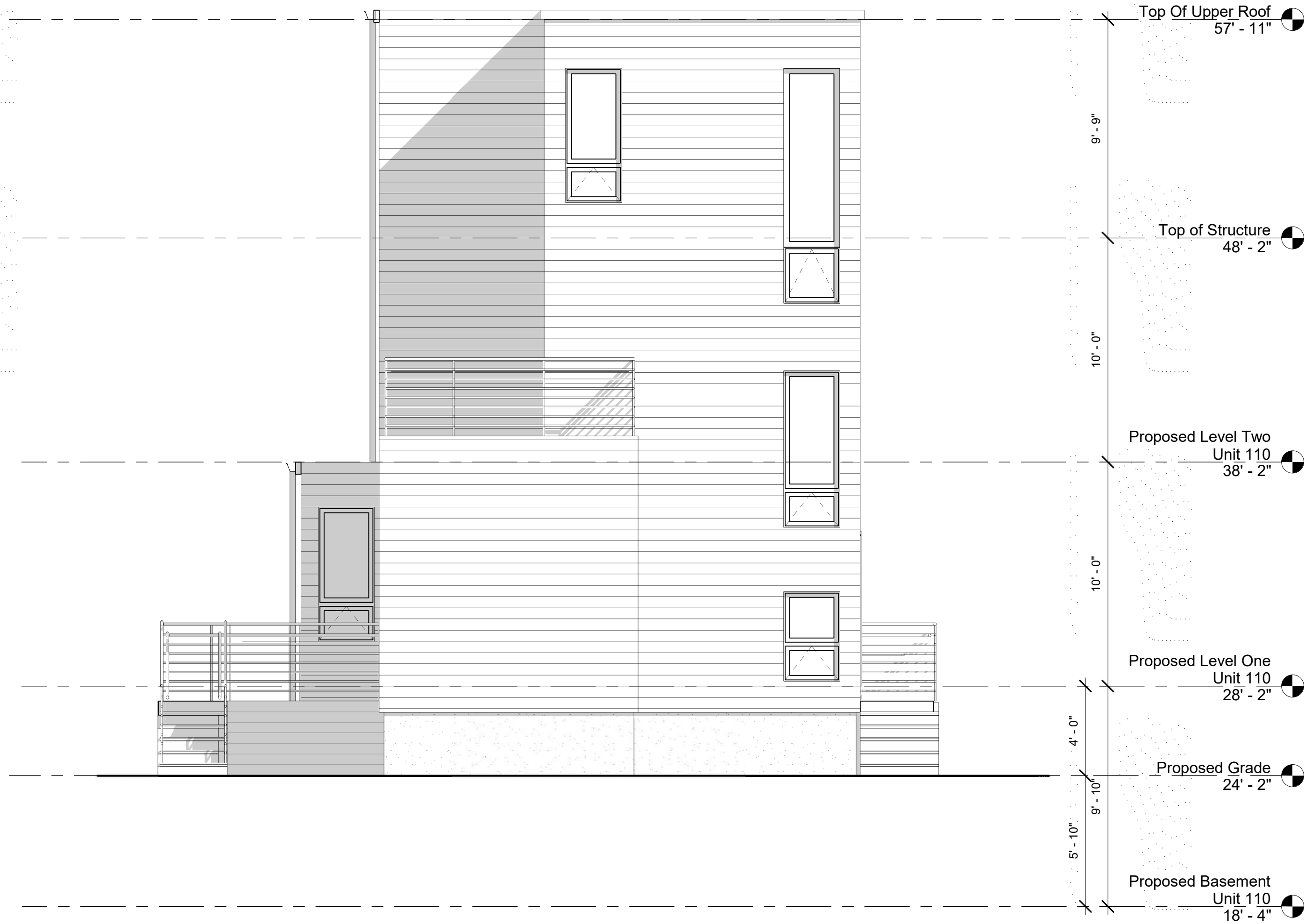
2 Proposed Level 1 Unit 110
1/4" = 1'-0"



3 Proposed Level 2 Unit 110
1/4" = 1'-0"



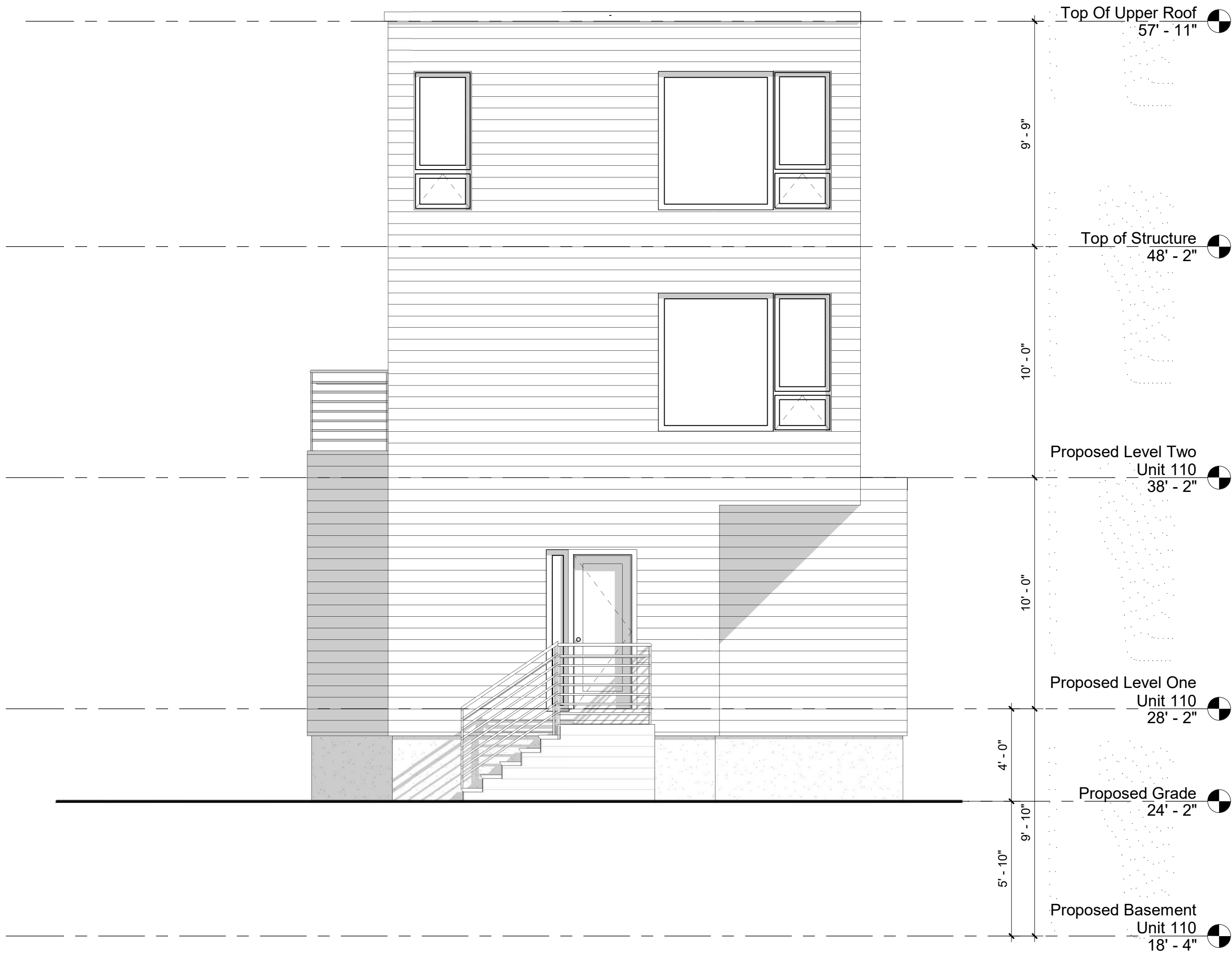
4 Proposed Level 3 Unit 110
1/4" = 1'-0"



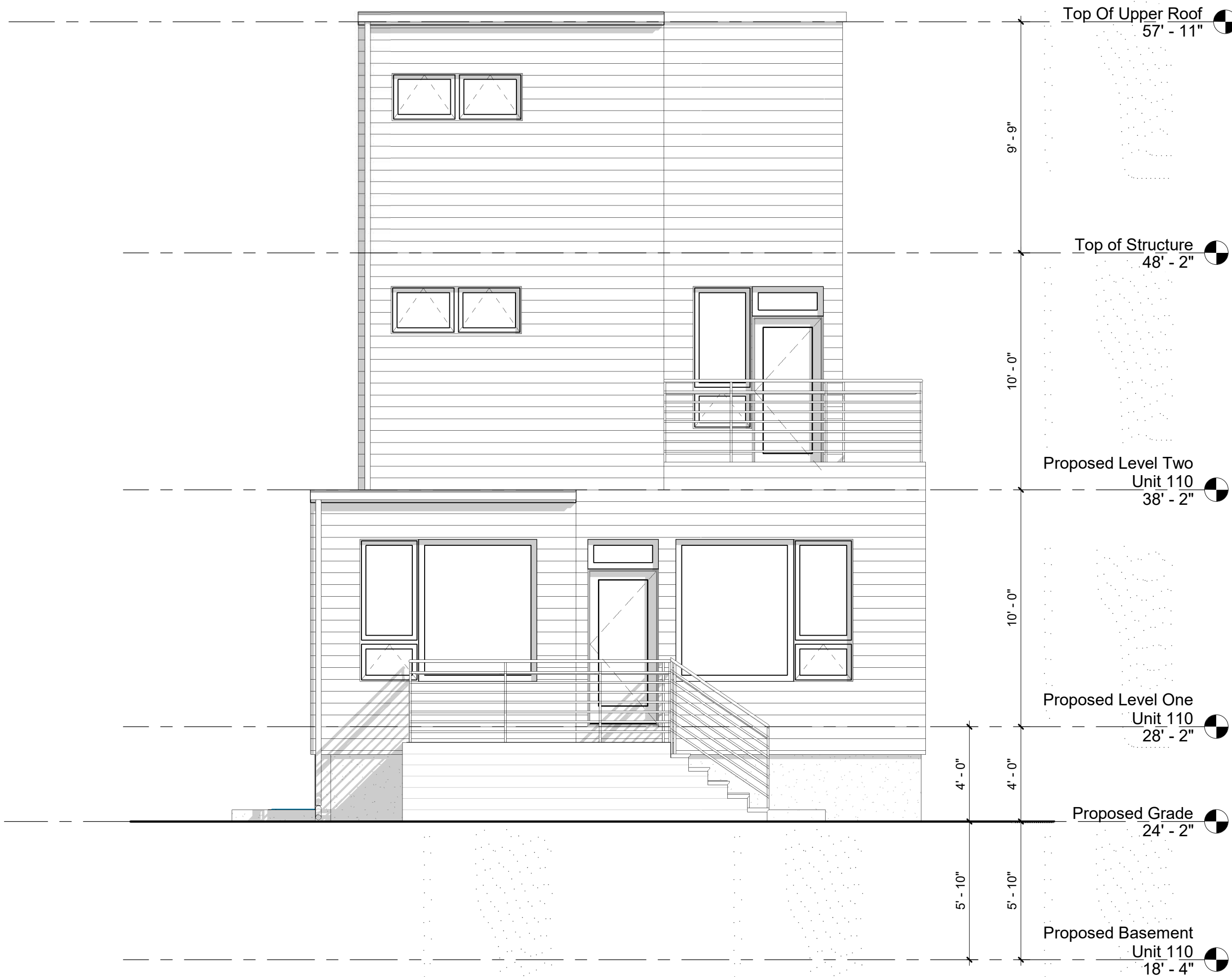
① Proposed Left Elevation Unit 110
1/4" = 1'-0"



④ Proposed Right Elevation Unit 110
1/4" = 1'-0"



② Proposed Front Elevation Unit 110
1/4" = 1'-0"



③ Proposed Back Elevation Unit 110
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

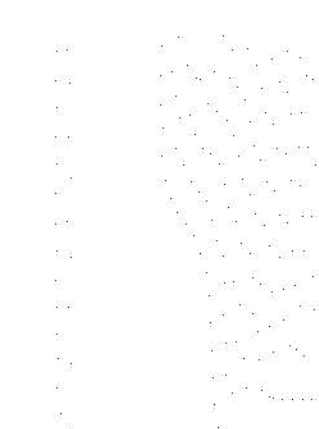
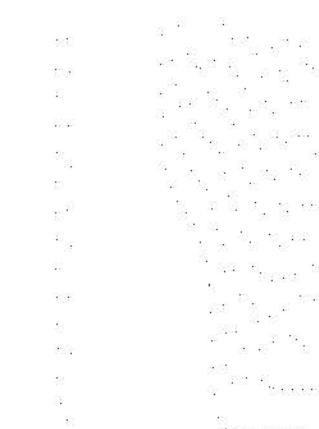
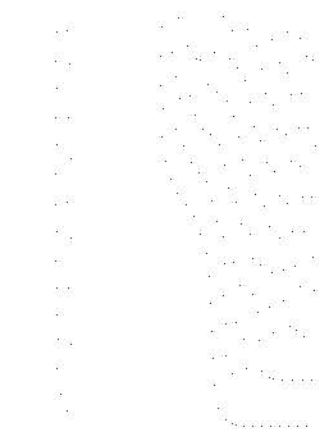
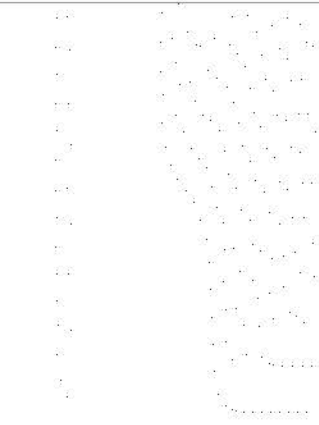
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 110-112 Hampshire
Address: 110-112 Hampshire St
Cambridge, MA 02139

Title: ELEVATIONS FOR UNIT 110

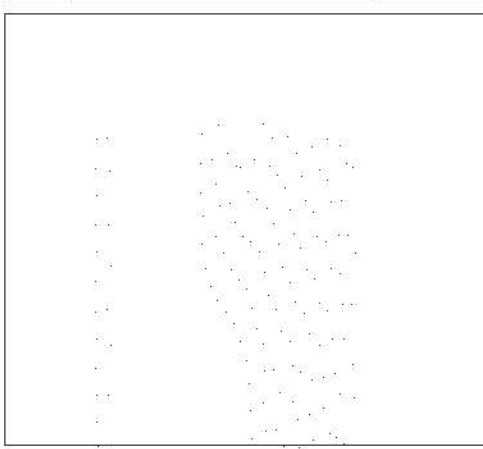
Drawing Issued By: ANDERSON PORTER DESIGN

Project #	2019	Drawn No.
Date	08/12/2021	A2.1
Scale	1/4" = 1'-0"	
Drawn by	RB	



SPECIAL PERMIT

REVISIONS		
No.	Description	Date



AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

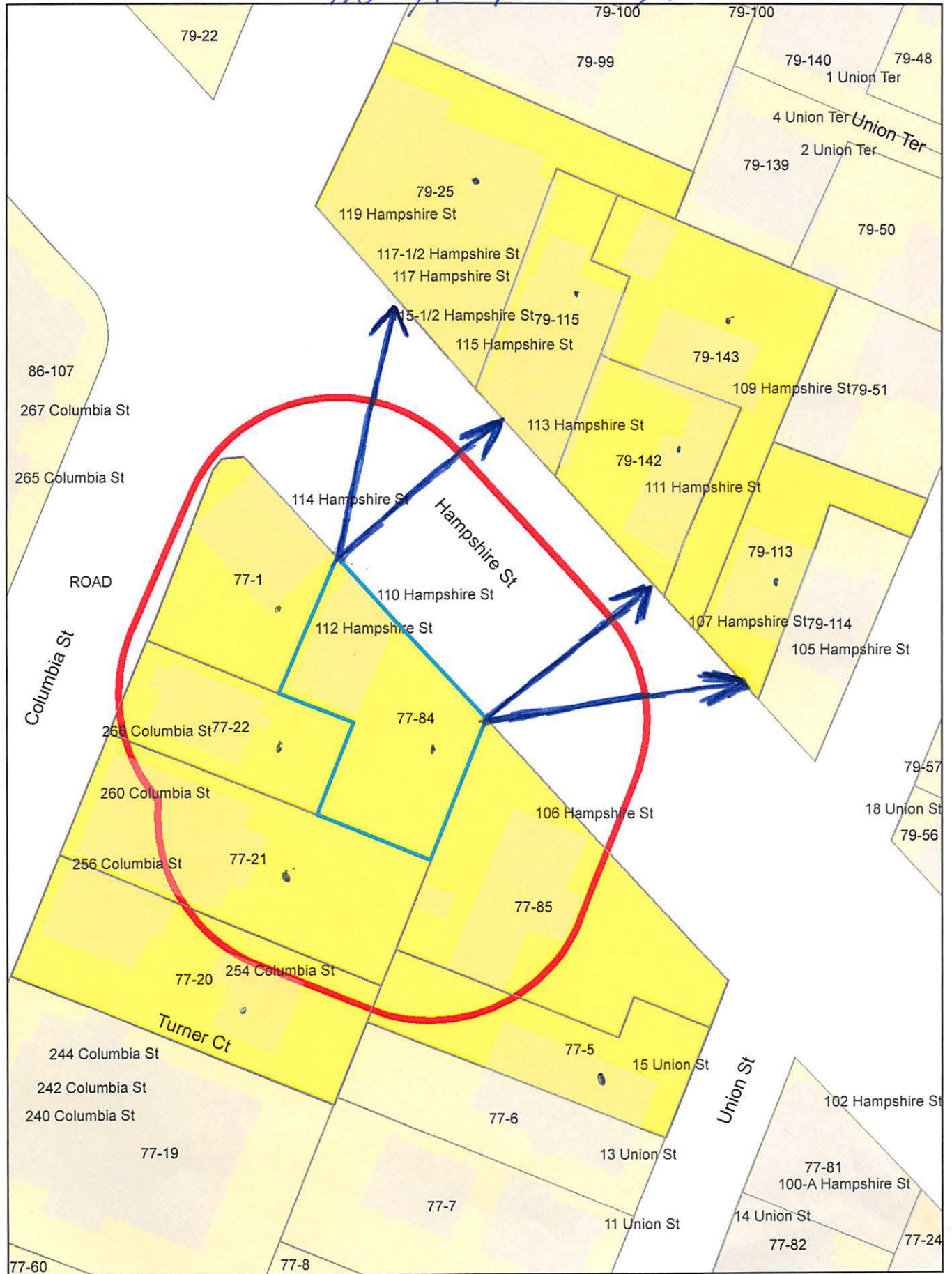
Project: 110-112 Hampshire
Address: 110-112 Hampshire St
Cambridge, MA 02139

Title: **SUBMITTAL DOCUMENTS**

Drawing Issued By: ANDERSON PORTER DESIGN

Project #	2019	Drawn No.	A2.0
Date	08/12/2021		
Scale	1/4" = 1'-0"		
Drawn by	RB		

110 Hampshire St.



110 Hampshire St.

Petitioner

77-5
GALLAGHER, JOHN
15 UNION ST
CAMBRIDGE, MA 02139-1510

77-21
TUCK, BENJAMIN S.,
TR. THE 260-262 COLUMBIA ST REALTY TR.
110 WOODLAND ST
NATICK, MA 01760

ANDERSON PORTER DESIGN INC.
C/O DANIEL ANDERSON
875 MAIN STREET
CAMBRIDGE, MA 02139

77-22
PARKER, MARLAINE
266 COLUMBIA ST.
CAMBRIDGE, MA 02139

77-84
QUINN, DON JOSEPH
110 HAMPSHIRE ST.
CAMBRIDGE, MA 02139

77-1
FREY, MARY ALLISON & CYRUS R. EYSTER
114 HAMPSHIRE ST
CAMBRIDGE, MA 02139

79-142
CARLSON, ELISSA & JOHN B. LEVINE
111 HAMPSHIRE ST.
CAMBRIDGE, MA 02139

79-115
LUO, TONG & MIN HUI, CO
TR. OF THE TONG LUO AND MIN HUI REV. TRS.
46 ALMENDRAL AVE
ATHERTON, CA 94027

79-143
RIVERA, ELBA C.
109 HAMPSHIRE ST
CAMBRIDGE, MA 02139

77-20
LOW, ANDREW & SITIEN WANG
256 COLUMBIA ST.
CAMBRIDGE, MA 02141

77-20
LOW, ANDREW & SI-TIEN WANG
254 COLUMBIA ST
CAMBRIDGE, MA 02139

79-113
FINN, ANN MARGARET & ALONSO GUZMAN
107 HAMPSHIRE ST.
CAMBRIDGE, MA 02139-1505

79-25
115 HAMPSHIRE STREET LLC,
138 HARVARD AVE
ALLSTON, MA 02134

110-112 HAMPSHIRE STREET LLC
C/O DND HOMES
1 GARFIELD CIRCLE – UNIT 6
BURLINGTON, MA 01803

77-85
MUYSKENS, ALISON & PATRICIA E. INTRIERI
106 HAMPSHIRE ST
CAMBRIDGE, MA 02139-3375

KRATTENMAKER O'CONNOR & INGBER P.C.

ATTORNEYS AT LAW

October 4, 2021

ONE MCKINLEY SQUARE
BOSTON, MASSACHUSETTS 02109
TELEPHONE (617) 523-1010
FAX (617) 523-1009

CHARLES G. KRATTENMAKER, JR.
MARY WINSTANLEY O'CONNOR
KENNETH INGBER

OF COUNSEL: RAYMOND SAYEG

VIA EMAIL

Maria Pacheco
City of Cambridge
Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Re: BZA No. 141100 / 110-112 Hampshire Street, Cambridge, MA (the "Property")

Dear Members of the Board:

This office has been retained to represent Mary Allison Frey and Cyrus R. Eyster, the owners of 114 Hampshire Street, Cambridge, MA. My clients are direct abutters to the above-referenced Property.

My clients have concerns about the above-referenced petition, including, among other concerns, the massing, the lot coverage given the substantially undersized lot and the fact that the proposed construction does not comply with the dimensional requirements of the Cambridge Ordinance.

The petitioner has made contact with my clients concerning the relief requested for the above-referenced Property. My clients were and are prepared to refrain from objecting to the petition provided certain, I would suggest, minor conditions are included in the decision. I am informed and, therefore, believe that the petitioner had agreed to the conditions, but has objected to including them as conditions in any decision issued by the Board. As a result, my clients are left with no option but to proceed with their objections.

G.L. c.40A, §6 provides in relevant part, that except as provided in the statute, a zoning ordinance or bylaw shall not apply to structures lawfully in existence before the publication of notice as to the adoption of a proposed zoning ordinance or bylaw, but shall apply to any reconstruction, extension or structural change of such structure except where the proposed reconstruction, extension or structural change to a single or two-family residential structure does not increase the nonconforming nature of the structure in existence and the permit granting authority finds that the extension is not substantially more detrimental than the existing nonconforming use to the neighborhood. *Rockwood v. The Snow Inn Corporation*, 409 Mass. 361, 363 (1991).

The lot at issue and the existing structure is nonconforming. The petitioner proposes a second structure on this substantially undersized residential lot. As a matter of law, the erection

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Maria Pacheco
October 4, 2021
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of a new structure "is not a change, extension or modification of an existing nonconforming structure." See Wood on Wood Road, Inc. v. Karll, et al., 18 Misc. 388 (2021) (Foster, J.).

Moreover, 5.31(2)(i) of the Cambridge Zoning Ordinance specially states: "[t]he dimensional requirements of the Residence C-1 district as detailed in this Section 5.31 shall apply in the Residence C district for structures in existence as of December 1, 1986 under the following limitations and conditions: (1) any increase in floor area or number of units, provided all construction occurs within the limits of the existing structure; . . ."

My review of the Cambridge Zoning Ordinance and M.G.L. c.40A, §6 indicates that the proposed project does not, in my opinion, qualify for a special permit. The petitioner is proposing to add a second building on a nonconforming lot. This proposal does not come within the second exception clause of M.G.L. c.40A, §6 and the protections it affords to owners of preexisting nonconforming lots. The exception provided in §6 was and is intended to enable a single or two-family homeowner the ability to make improvements to an existing structure. Further, the petitioner cannot construct this additional structure as a matter of right under the Cambridge Zoning Ordinance.

The Cambridge Zoning Ordinance requires a minimum lot area of 5,000 square feet. Clearly, the existing structure could be improved provided a finding is made that the improvements are not substantially more detrimental to the neighborhood. However, I do not believe as a matter of law a second freestanding residence can be constructed on this lot. Moreover, Article 8, Section 8.22.2(c) does not permit the construction of a separate free-standing building in addition to the building that is located on the Property. Article 8, Section 8.22.3 applies. As such, a variance would be required.

My clients request that this letter be admitted into the record. We will also be appearing at the hearing on October 7, 2021 in opposition to the relief requested.

I thank you.

Very truly yours,


Mary Winstanley O'Connor

MWO/ccg
Enclosure

cc: Mary Allison Frey

Pacheco, Maria

From: Parker, Marlaïne <Marlaïne.Parker@tufts.edu>
Sent: Monday, October 4, 2021 4:35 PM
To: Pacheco, Maria
Cc: Marlaïne Parker
Subject: Case No. BZA-141100 110/112 Hampshire St
Attachments: sun (1).jpg; walkway.jpg; Lot.jpg; Lot 2.jpg; 112.jpg; razed.jpg

Case No: BZA-141100
Location: 110-112 Hampshire Street, Cambridge MA 02139
Petitioner: DND Homes LLC
C/O Daniel Anderson, Architect

PLEASE INCLUDE IN THE RECORD FOR SPECIAL PERMIT 110/112 HAMPSHIRE ST, CAMBRIDGE MA.

Dear Chair and Members of the Board of Zoning Appeal:

My name is Marlaïne Parker and I own and have resided at 266 Columbia St. since January 1995, I am a third generation Cantabrigian. I oppose the issuing of the special permit requested by Petitioner DND Homes LLC., dated September 1, 2021. The petition is seeking a special permit for basement window wells and the relocation of windows, within the yard setback areas. I oppose this proposal for the following reasons: my property abuts this lot on both the left side and the rear. Because the side and rear yard setbacks were so drastically reduced on the special permit request the distance presents a major inconvenience. My lot is one of the smaller lots on the block and both proposed window wells will be open to an occupied space which would increase the noise level, deprive both the occupant and myself of privacy, and rob me of the quiet enjoyment of my yard. Since Covid began this space has been essential to health and wellbeing. I also oppose the relocation of windows in the existing structure as well as the placement on the proposed structure. A lack of privacy and noise issues with 112 Hampshire St, already existed when the windows are open due the close proximity of properties. Now in addition to the existing noise and privacy issues at 112 and the proposed window well and window placement at 110 Hampshire St., my home and yard would become a proverbial fishbowl, providing an elevated, unobstructed view into what should be a private back yard and residence space. The proposed bay at the rear of 110, which is 3-½ ft deep and one story tall infringes upon the required minimum setback along the rear further obstructing my sunlight and ventilation. In summation, the proposed window well infringements, the location of the windows on both structures and the addition of the rear bay along with the height and scale of the building on a non-conforming lot size all deprive me of adequate natural light, sufficient ventilation, and would increase noise and invade privacy while obstructing my view.

I spoke with T. Murphy of DND who offered to have her team come out to stake the property and do a mockup of sorts for size and scale which was supposed to take place last week but was cancelled due to an emergency. I have not heard back from her. I do not want to be overlooked or not have my opinions considered.

The lot at 110 Hampshire has been vacant since 1980. The home was razed that year and the owners since have used that space as parking in the front of the lot and back yard space at the rear. Area 4 is already a very densely populated part of the city. Overdevelopment can have a deleterious impact on quality of life and property values. In conclusion I oppose the request for a special permit and hope that the board requires more input regarding the building of 110 Hampshire St and perhaps a site walk if deemed necessary.

Thank you for your consideration.

Sincerely,
Marlaïne Parker

- **1.10 - TITLE**

- This Ordinance shall be known as and may be cited as the "Zoning Ordinance of the City of Cambridge", hereinafter referred to as "this Ordinance".

- **1.30 - PURPOSE**

- It shall be the purpose of this Ordinance to lessen congestion in the streets; conserve health; to secure safety from fire, flood, panic and other danger; to provide adequate light and air; to prevent overcrowding of land;
-

- **5.10 - GENERAL REGULATION**

- **5.11** No building or structure shall be built nor shall any existing building or structure be enlarged which does not conform to the regulations as to maximum ratio of floor area and lot areas, minimum lot sizes, minimum lot area for each dwelling unit or equivalent, minimum lot width, minimum dimensions of front, side and rear yards and maximum height of structures, in the several districts as set forth in [Article 5.000, Section 5.30](#) except as hereinafter provided and except in the Cambridge Center MXD District which shall be governed by the requirements of [Section 14.30](#).
-











ARCHITECTURAL INVENTORY: CAMBRIDGE, MASS.



274/30a

ADDRESS: 110 Hampshire Tract _____

USE: Residential commercial religious

TYPE: single double row _____ 2 deck 3 deck double 3d tenement Apart.

STORIES: 1 2 3 4 MATERIAL: Frame Brick Mod. compo

ROOF: gable front gable flank mansard flat hip _____

PLACEMENT: Narrow to street broad to street square

ENTRANCE: flank front side front center

STYLE: L. Geo. Grk. Rev. Brk-Ht. Man. Mod. Q.A. C. Rev. None+ None-

ORNAMENT: little moderate elaborate

DATE: 1790 1800 10 20 30 40 50 60 70 80 90 1900 10 20 30

DEGREE OF REMODELING: drastic moderate minor CONDITION: poor fair excel.

IMPORTANCE TO SETTING: detrimental none moderate great INITIALED RB

MAP: 73

DESCRIPTION: (for more important structures only)

Shows added ground floor.

DEMOLITION PERMIT #78262

NOVEMBER 4, 1980



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: DAW ANDERSON Date: 9/23/21
(Print)

Address: 110 Hampshire St.

Case No. BZA-141100

Hearing Date: 10/7/21

Thank you,
Bza Members