



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

2019 JUL 12 AM 10:33
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-017151-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : ✓ Appeal : _____

PETITIONER : Xiaoguang Wang

PETITIONER'S ADDRESS : 293 Concord Avenue Cambridge, MA 02138

LOCATION OF PROPERTY : 115 Spring St Cambridge, MA

TYPE OF OCCUPANCY : _____ ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

Remove more than 25% of the existing house and replace the same.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) :

Xiaoguang Wang

(Petitioner(s) / Owner)

Xiaoguang Wang

(Print Name)

Address :

293 Concord Ave

Cambridge, MA 02138

Tel. No. :

857-498-1918

E-Mail Address :

cwang@shengen-cpa.com

Date : _____

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Xiaoguang Wang (OWNER)

Address: 115 Spring Street Cambridge, MA

State that I/We own the property located at 115 Spring Street Cambridge, MA which is the subject of this zoning application.

The record title of this property is in the name of Xiaoguang Wang

*Pursuant to a deed of duly recorded in the date 04/30/2018, Middlesex South County Registry of Deeds at Book 12492, Page 600; or Middlesex Registry District of Land Court, Certificate No. 2018 00059603 Book 70943 Page 499

Xiaoguang Wang
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

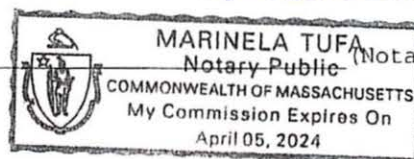
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Xiaoguang Wang personally appeared before me, this 21 of March, 2019, and made oath that the above statement is true.

Marinela Tufa Notary

My commission expires



(Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

3/21/19

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The structure of the building is not sound; Most of the beams which supports the building are rotten; The roof structure was not proper;

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

There is no change of the dimension of the house, but take out the rotten beams, and walls, and replace them. Therefore it is not affecting the zoning district in which it is located.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

There is no change of the dimension of the house, but take out the rotten beams, and walls, and replace them. Therefore it is good and safe for the neighborhood.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

There is no change of the dimension of the house, but take out the rotten beams, and walls, and replace them.

- *** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM**DIMENSIONAL INFORMATION**

APPLICANT: xiaoguang wang **PRESENT USE/OCCUPANCY:** Single Family
LOCATION: 115 Spring St Cambridge, MA **ZONE:** Residence C-1 Zone
PHONE: 857 498 1918 **REQUESTED USE/OCCUPANCY:** Single Family

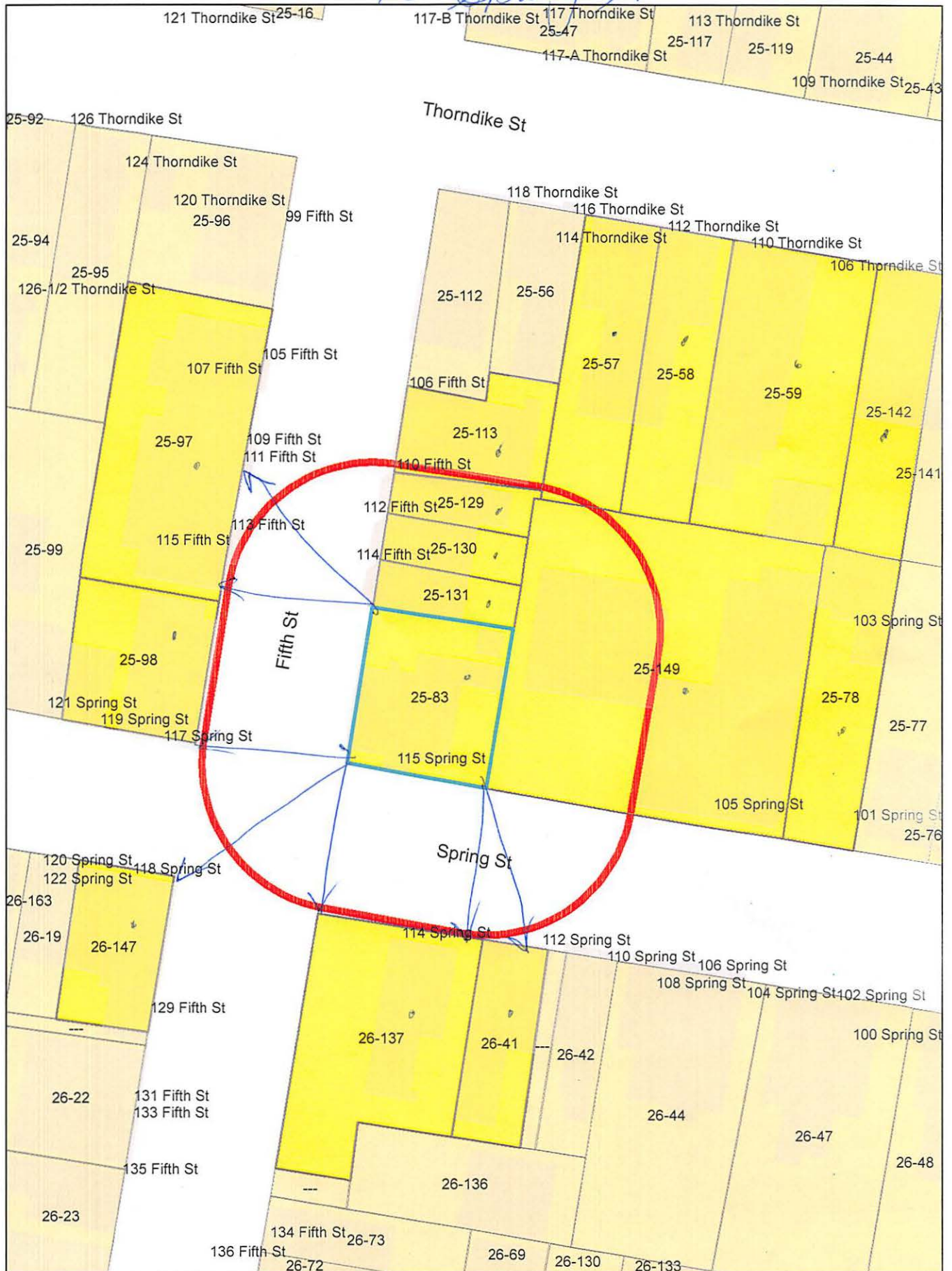
		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>		2090	2090	2095	(max.)
<u>LOT AREA:</u>		2794	2794	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		.748	.748	.75	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		2794	2794	2794	(min.)
<u>SIZE OF LOT:</u>	WIDTH	51.04	51.04	51.04	(min.)
	DEPTH	55	55	55	
<u>SETBACKS IN FEET:</u>	FRONT	4' 11"	4' 11"	7' 6"	(min.)
	REAR	0	0	0	(min.)
	LEFT SIDE	12' 9 1/4"	12' 9 1/4"	15' 9"	(min.)
	RIGHT SIDE	15' 4 1/4"	15' 4 1/4"	16' 7"	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	26' 06"	28' 06"	35' 0"	(max.)
	LENGTH	n/a	n/a	n/a	
	WIDTH	n/a	n/a	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		53%	53%	30%	(min.)
<u>NO. OF DWELLING UNITS:</u>		1	1	2	(max.)
<u>NO. OF PARKING SPACES:</u>		0	0	0	(min./max)
<u>NO. OF LOADING AREAS:</u>		0	0	0	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		n/a	n/a	n/a	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Demolish more than 25% of the building and replace them.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

115 Spring St.



115 Spring St.

Petitioner

25-57
GOMES, GERALD G. & LUCY A. GOMES
114 THORNDIKE ST
CAMBRIDGE, MA 02141

25-58
OTASH, JAMES A.,
TRUSTEE TOBEY NOMINEE TRUST
58 TOBEY RD.
BELMONT, MA 02478

XIAO GUANG WANG
281 CONCORD AVENUE
CAMBRIDGE, MA 02138

25-78
FORD, MARY MARGARET, A LIFE ESTATE
103 SPRING ST
CAMBRIDGE, MA 02141

25-149
EAST END HOUSE, INC.
105 SPRING ST.
CAMBRIDGE, MA 02141

25-83
PILARSKI, EDWARD J., KATHLEEN PILARSKI
C/O WANG, XIAO GUANG
7 RUTLAND ST. APT 2
CAMBRIDGE, MA 02141

25-97
105 FIFTH ST LLC
P.O. BOX 35006
BOSTON, MA 02135

25-98
CURLL, JANICE F.
C/O JANICE FURTADO
96 SPRING ST
CAMBRIDGE, MA 02141

25-129
LI, JINGYING TRUSTEE OF THE JINGYING LI
REVOC REAL ESTATE TRUST
110 FIFTH ST
CAMBRIDGE, MA 02141

25-130
ROCHA, JOHN F. JR. & JESSE W. ROCHA
210 FAIRWAYS EDGE DRIVE
MARSHFIELD, MA 02050

25-131
PIRES, MICHAEL & EILEEN PIRES
114 FIFTH STREET
CAMBRIDGE, MA 02141

25-142
SASSO, TOMMASO AND LUCREZIA SASSO
106 THORNDIKE ST
CAMBRIDGE, MA 02141

26-137
NOWISZEWSKI, PHYLLIS T.,
TR. THE PHYLLIS T. NOWISZEWSKI TRUST
114 SPRING ST
CAMBRIDGE, MA 02141

26-147
ANDRADE, AUGUSTO AND MARIA ANDRADE
118 SPRING STREET
CAMBRIDGE, MA 02141

25-113
COGSWELL, DANIEL A. &
COURTNEY B. COGSWELL
106-108 FIFTH ST., #1
CAMBRIDGE, MA 02141

25-113
SUSSMAN, DANIEL J.,
TR. THE RAQUEL SUSSMAN IRREV TRUST
1037 E. CALLE MONTE VISTA
TEMPE, AZ 85284

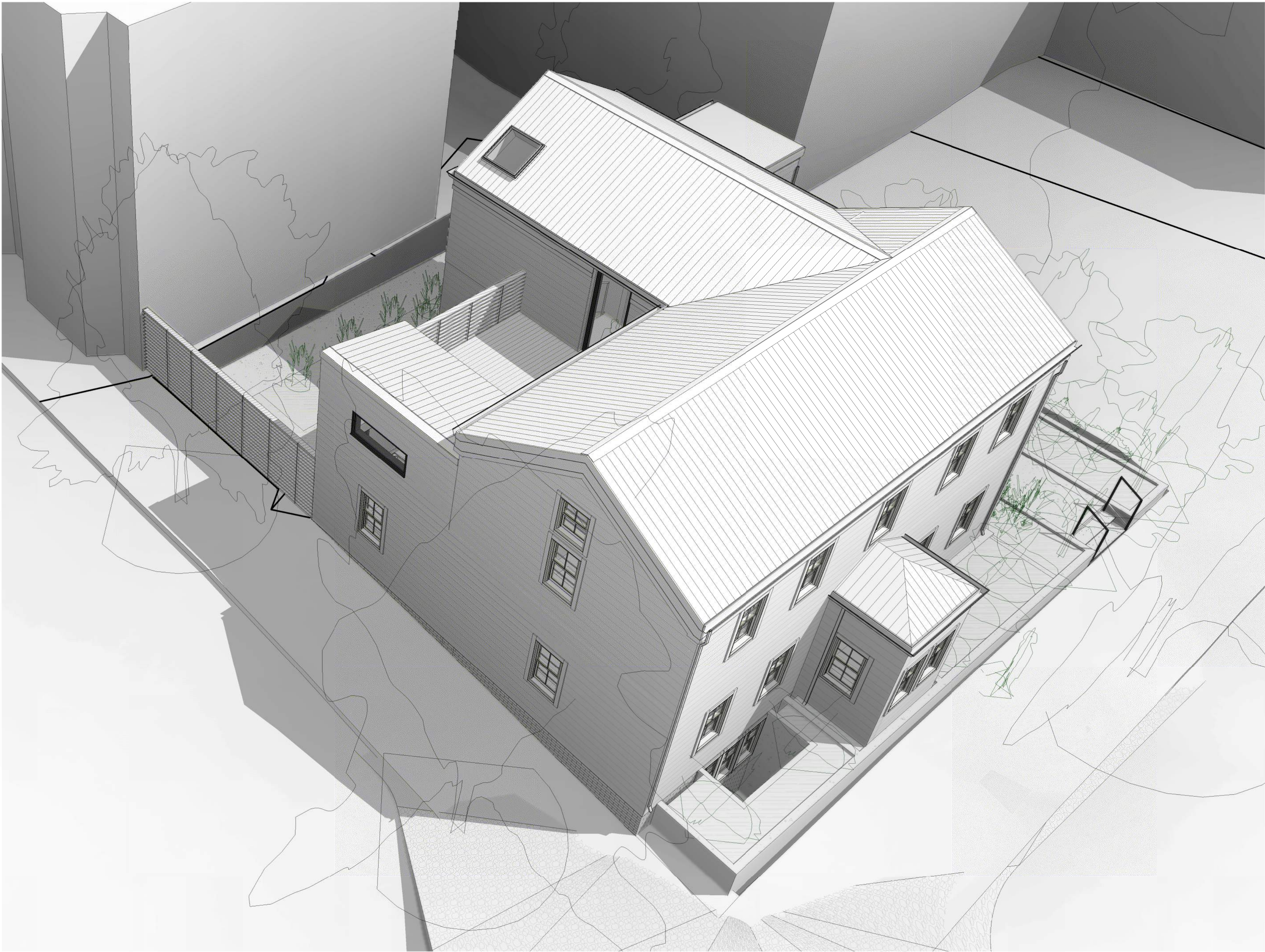
25-113
NAKAI, YUGO & ARIELLE COHEN
106-108 FIFTH ST., #3
CAMBRIDGE, MA 02141

26-41
RUTH, JASON & TANYA KEENAN
112 SPRING ST., #1
CAMBRIDGE, MA 02141

26-41
LEWIS, GREGORY M. & PATRICK M. MCNEAL
112 SPRING ST. UNIT#2
CAMBRIDGE, MA 02141

26-41
CAMPBELL, JENNIFER
112 SPRING ST
CAMBRIDGE, MA 02141

25-59
BIASELLA, NICOLA &
LICIA BIASSELLA A LIFE ESTATE
110 THORNDIKE ST
CAMBRIDGE, MA 02141



115 SPRING STREET RENOVATION

BZA APPLICATION

MARCH 19th, 2019

PROJECT DESCRIPTION:

1. 115 SPRING STREET WILL BE RENOVATED.
2. THERE WILL BE NO EXPANSION OF FLOOR AREA
3. THERE WILL BE NO EXPANSION OF EXTERIOR DIMENSIONS
4. THE OWNER WOULD LIKE TO ADD SIX NEW WINDOWS THAT ARE LOCATED WITHIN THE SIDEYARD SETBACKS, THESE ARE THE ONLY ITEMS THAT WOULD REQUIRE A SPECIAL PERMIT

PROPERTY HISTORY
115 SPRING STREET IS LOCATED AT THE NORTH EAST CORNER OF SPRING STREET & 5TH STREET. THE ORIGINAL ~1,200 SF STRUCTURE WAS BUILT IN 1854 AND INCLUDES A FIELD STONE BASEMENT. THE PARCEL IS A RECTANGULAR SHAPE WITH A 51'-05" LOT LENGTH ALONG SPRING STREET, AND A 55'-00" LOT LINE LENGTH ALONG 5TH STREET. THE HISTORIC FRONT DOOR TO THE PROPERTY FACES SPRING STREET. THE 1856 STRUCTURE IS BUILT TO THE LOTLINE ALONG 5TH STREET AND ENCROACHES ON THE C-1 REQUIRED SPRING STREET SIDEYARD SETBACK BY 1'-02 1/4". THE HOUSE HAS HAD (3) ADDITIONS.
THE FIRST ADDITION, CIRCA 1920, EXPANDED THE HOUSE NORTH BY 18'-00" AND CREATED AN OPPOSING NORTH-SOUTH GABLE TO THE ORIGINAL EAST-WEST GABLE. THE RESULTING BUILDING MASS IS AN "L" SHAPPED PLAN WITH STRUCTURALLY INTERDEPENDENT ROOF RIDGE LINES. THIS ADDITION DOES NOT INCLUDE A BASEMENT. THIS ADDITION ENCROACHES INTO THE 8TH STREET SIDE YARD SET BACK BY 3'-01 1/4".
THE SECOND ADDITION, CIRCA 1980, IS A GROUND LEVEL ADDITION THAT INFILLS THE "L" SHAPED PLAN WITH AN ADDITIONAL 240 SF OF SPACE. THIS SECOND ADDITION ALSO INTRODUCE AN INWARD SLOPING SHED ROOF, WHICH SHEDS WATER TO THE BUILDING INTERIOR, AND HAS CAUSED A MASSIVE AMOUNT OF WATER DAMAGE TO THE FIRST ADDITION AND ORIGINAL BUILDING. THIS ADDITION DOES NOT INCLUDE A BASEMENT AND IS BEYOND THE REQUIRED SETBACKS. THE THIRD ADDITION IS A SINGLE STORY 120 SF KITCHEN AT THE NORTH EAST CORNER OF THE HOUSE, WHICH IS LOCATED ENTIRELY WITHIN THE SPRING STREET SIDE-YARD SETBACK.
THE TOTAL LISTED INTERIOR LIVING AREA IS 2,090 SF
THE TOTAL LOT AREA IS 2,794 SF
THE ALLOWABLE F.A.R. IS (0.75*2,794 = 2,095.5 SF) > 2,090 SF EXISTING LIVING AREA
THE PROPERTY WILL REMAIN A SINGLE-FAMILY HOME. BASEMENTS ARE EXCLUDED FROM SINGLE FAMILY HOMES GROSS FLOOR AREA CALCULATIONS VIA CAMBRIDGE ZONING ORDINANCE ARTICLE #2: GROSS FLOOR AREA, DEFINITION EXCEPTION (19)
THERE WILL BE NO CHANGE IN THE SIZE AND CONFIGURATION OF EXTERIOR OPENINGS THAT ARE FACING AN ABUTTING PROPERTY AND LOCATED WITHIN THE SIDEYARD SETBACKS.

REPAIR AND RESTORATION
THE OWNERS GOAL IS TO EXTEND THE USEFUL LIFE OF THIS HOUSE. IN ORDER TO ACHIEVE THIS THE HOUSE WILL REQUIRE SEVERAL MAJOR IMPROVEMENTS.
1. THE EXISTING BUILDING IS SUFFERING WATER DAMAGED AND WILL REQUIRE NEW STRUCTURAL WOOD FRAMING AND SHEATHING, NEW EXTERIOR WALL SILL PLATES, AND A NEW FOUNDATION TO REINFORCE THE FAILING 1854 FLAGSTONE FOUNDATION.
2. THE HOUSE WILL BE TEMPORARILY LIFTED APPROXIMATELY 18" AND THE FOUNDATION EXTENDED TO PROVIDE CONTINUOUS EXTERIOR SUPPORT FOR THE REPAIRED AND REPLACED EXTERIOR WALLS
3. THE OWNER WILL RETAIN A CERTIFIED LAND SURVEYOR TO CONFIRM EXISTING AND RESTORED ELEVATION HEIGHTS
4. THE EXISTING FLOORS ARE OUT OF LEVEL BY +/- 3" AT BOTH THE FIRST AND SECOND LEVELS, THESE FLOORS WILL BE REFRAMED TO CREATE NEW LEVEL FLOORS
5. THE HOUSE WILL RECEIVE A NEW THERMALLY IMPROVED BUILDING ENVELOPE THAT MEETS THE MASSACHUSETTS 9TH ADDITION BUILDING CODE (IECC 2015) ENERGY REQUIREMENTS
6. THE OWNER WILL INSTALL NEW ENERGY EFFICIENT WINDOWS THROUGH OUT THE ENTIRTY OF THE PROJECT
7. THE OWNER WILL INSTALL A NEW ROOF AND INSULATED ROOF SHEATHING
8. THE OWNER WILL INSTALL A NEW REAR STAIR THAT CONFORMS WITH MASSACHUSETTS BUILDING CODE (CURRENTLY NEITHER STAIR CONFORMS)

DEMOLITION NARRATIVE
THE PROPERTY AT 115 SPRING STREET IN CAMBRIDGE MASSACHUSETTS IS CURRENTLY IN A DILAPIDATED STATE AND REQUIRES A BROAD RANGE OF REPLACEMENTS AND REPAIRS TO BRING THE PROPERTY INTO COMPLIANCE WITH CURRENT MASSACHUSETTS RESIDENTIAL BUILDING CODE. PLEASE REFERENCE THE EXISTING CONDITIONS STRUCTURAL REPORT PREPARED BY RENE MUGNIER P.E. AMENDED TO THIS DRAWING SET VIA THE PROJECT MANUAL. THE GENERAL DEMOLITION STRATEGY IS OUTLINED BELOW:
1. INSPECT ALL BUILDING ELEMENTS FOR STRUCTURAL INTEGRITY AND ROT, REFERENCE R. MUGNIER P.E. REPORT REGARDING FOUNDATIONS, FRAMING, AND SHEATHING
2. REPAIR ALL SALVAGEABLE BUILDING ELEMENTS
3. REPLACE ALL BUILDING ELEMENTS THAT ARE UNSALVAGEABLE
4. THE PRELIMINARY STRUCTURAL INSPECTION HAS IDENTIFIED THE WOOD POST-ON-GRADE AND WALL FRAMING AT THE TOP OF FOUNDATION AS A PROBLEM AREAS
5. THE EXISTING HOUSE IS TO BE SHORED AND LIFTED TO ENABLE THE EXECUTION OF THE FOUNDATION & FRAMING WORK
6. THE EXISTING HOUSE ABOVE IS TO HAVE ITS FLOORS REFRAMED AS REQUIRED TO PROVIDE A COUNTINUOUS FLOOR LEVEL ACROSS ALL LEVELS
7. THE EXISTING EXTERIOR CLADING IS TO BE REMOVED AND REPLACED WITH NEW SIDING AND CONTINUOUS INSULATION SHEATHING AS PER IECC-2015
8. THE EXISTING ROOF IS TO BE REAPIRED AND REPLACED AS REQUIRED, WITH NEW CONTINUOUS EXTERIOR INSULATION AS PER IECC-2015

FOUNDATION NOTES
1. ALL LOAD BEARING ELEMENTS ARE TO BE CONFIRMED BY MA LICENSED STRUCTURAL ENGINEER
2. PATCH REPAIR EXISTING FOUNDATION AS REQUIRED TO MEET MA BUILDING REQUIREMENTS
3. PROVIDE CONTINUOUS WATERPROOFING FOR NEW AND EXISTING FOUNDATION WALLS
4. PROVIDE CONTINUOUS INSULATION FOR NEW AND EXISTING FOUNDATION WALLS
5. PROVIDE MINIMUM 4" CONCRETE VENEER WALL OVER EXISTING FOUNDATION, CONFIRM VENEER WALL THICKNESS WITH MA LICENSED STRUCTURAL ENGINEER
6. PROVIDE COORDINATION FOR ANCHORAGE OF NEW STRUCTURAL FRAMING, CONFIRM ANCHORAGE WITH MA LICENSED STRUCTURAL ENGINEER
7. PROVIDE INSULATION AS REQUIRED FOR NEW SLAB ON GRADE CONSTRUCTION
8. PROVIDE FOOTINGS FOR INTERNAL COLUMNS AS REQUIRED, CONFIRM LOADS WITH MA LICENSED STRUCTURAL ENGINEER

SHEET LIST

COVER		
COVER		01/11/19
G-001	RENOVATION OVERVIEW	01/11/19
G-002	GROSS FLOOR AREA	01/11/19
A-001	EXISTING PLOT PLAN	01/11/19
A-002	SITE PLAN	01/11/19
A-100	BASEMENT PLAN	01/11/19
A-101	LEVEL 01 PLAN	01/11/19
A-102	LEVEL 02 PLAN	01/11/19
A-103	ROOF PLAN	01/11/19
A-200	BASEMENT RCP	01/11/19
A-201	LEVEL 01 RCP	01/11/19
A-202	LEVEL 02 RCP	01/11/19
A-300	ELEVATIONS	01/11/19
A-410	BUILDING SECTIONS	01/11/19
A-411	BUILDING SECTIONS	01/11/19
A-412	BUILDING SECTIONS	01/11/19
A-500	STAIR PLAN & SECTIONS	01/11/19
A-700	ENLARGED KITCHEN PLAN, ELEVATIONS, DETAILS	01/11/19
D-001	DEMOLITION PLANS	01/11/19
S-100	BASEMENT FOUDATION PLAN	01/11/19
S-101	LEVEL 01 FRAMING PLAN	01/11/19
S-102	LEVEL 02 FRAMING PLAN	01/11/19
S-103	ROOF FRAMING PLAN	01/11/19

CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION

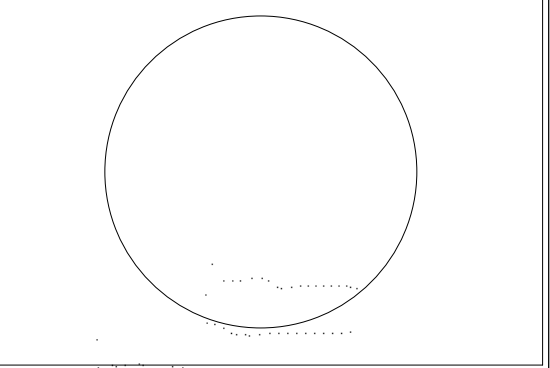
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

REGISTRATION



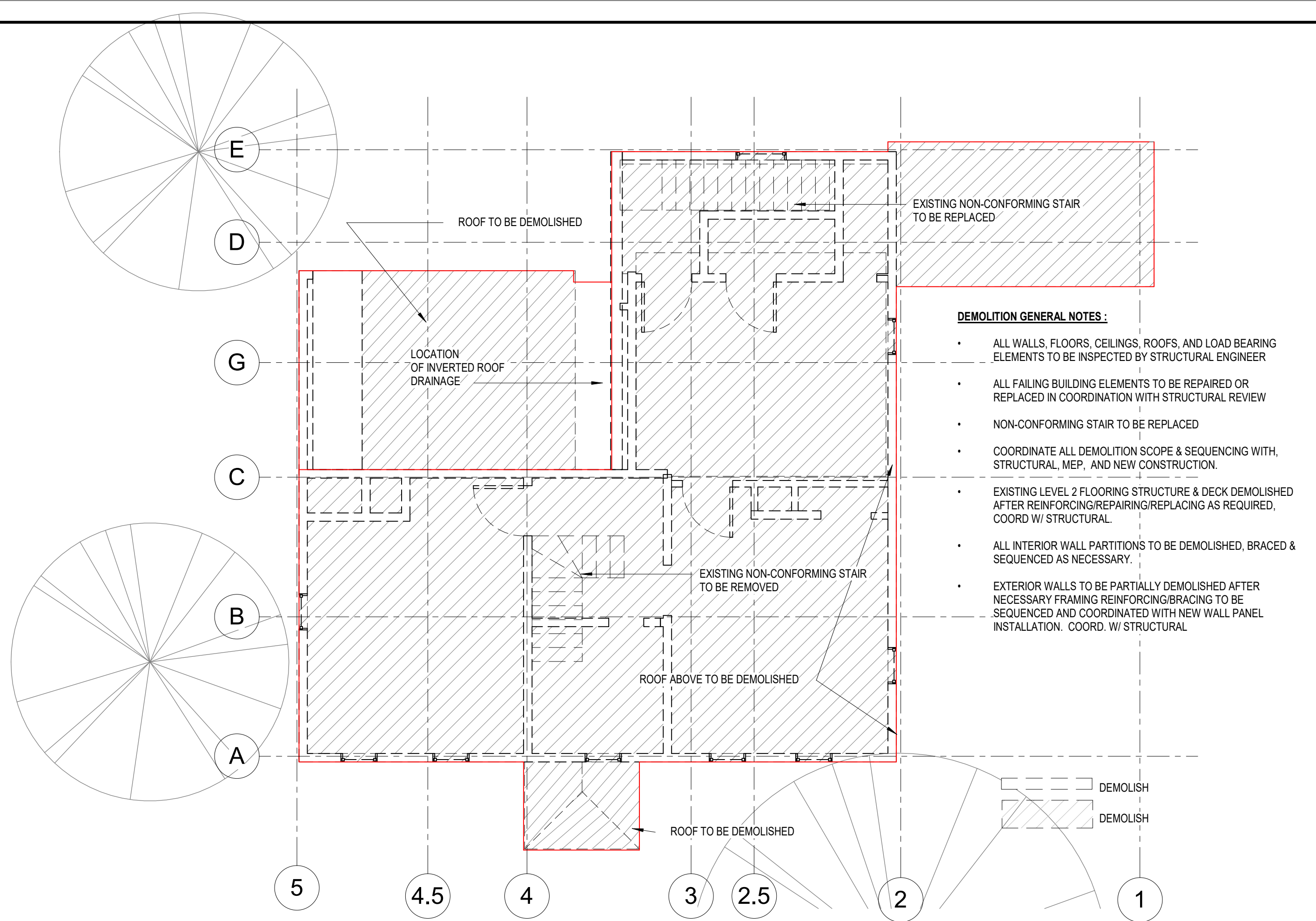
CAMBRIDGE BZA APPLICATION

Project number 1805
Date MARCH 19th, 2019
Drawn by Author
Checked by Checker
Scale

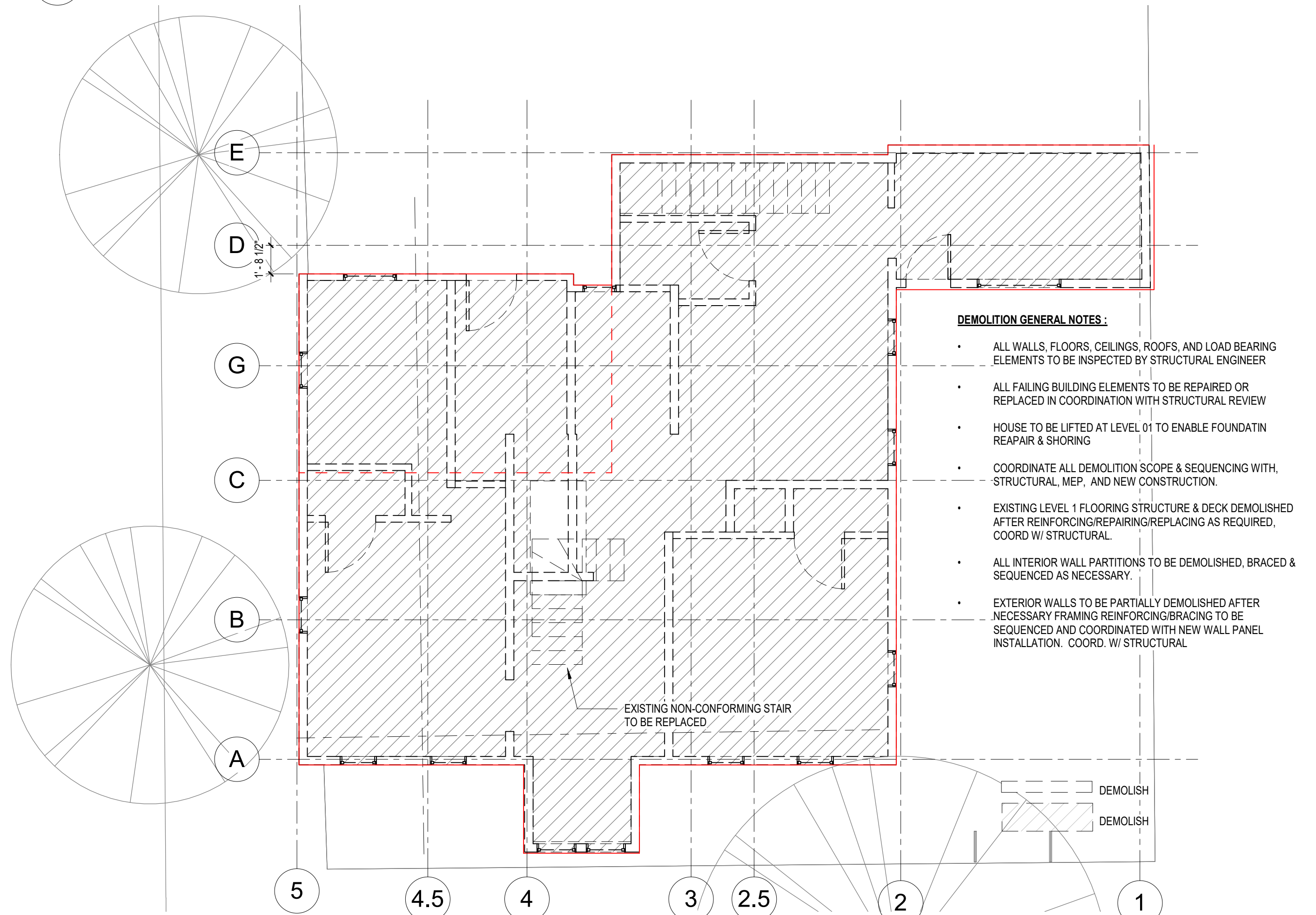
REVISIONS

No.	Description	Date

COVER
115 SPRING STREET



2 D102_LEVEL-02 DEMO PLAN
3/16" = 1'-0"



1 D101_LEVEL-01 DEMO PLAN
3/16" = 1'-0"

DEMOLITION NARRATIVE

- THE PROPOERTY AT 115 SPRING STREET IN CAMBRIDGE MASSACHUSETTS IS CURRENTLY IN A DILAPIDATED STATE AND REQUIRES A BROAD RANGE OF REPLACEMENTS AND REPAIRS TO BRING THE PROPERTY INTO COMPLIANCE WITH CURRENT MASSACHUSETTS RESIDENTIAL BUILDING CODE. PLEASE REFERENCE THE EXISTING CONDITIONS STRUCTURAL REPORT PREPARED BY RENE MUGNIER P.E. AMENDED TO THIS DRAWING SET VIA THE PROJECT MANUAL. THE GENERAL DEMOLITION STRATEGY IS OUTLINED BELOW:
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EXISTING BUILDING INFORMATION RESIDENTIAL BUILDING NUMBER 1, SECTION 1

Exterior Style:	CONVENTIONAL
Occupancy:	SNGL-FAM-RES
Number of Stories:	2.25
Exterior Wall Type:	Asbstos Shingle
Roof Type:	Gable
Roof Material:	Aspahlt Shingl
Interior Living Area (sq. ft.):	2,090
Number of Units:	0
Total Rooms (existing):	9
Bedrooms (existing):	5
Kitchens (existing):	2
Full Baths (existing):	2
Half Baths (existing):	0
Fireplaces (existing):	0
Systems:	
Heat Type (existing):	Steam
Heat Fuel (existing):	Gas
Central A/C:	No
Condition & Grade:	
Year Built:	1854
Interior Condition:	Average
Overall Condition:	Average
Overall Grade:	Fair
Parking:	
Open Parking:	0
Covered Parking:	0

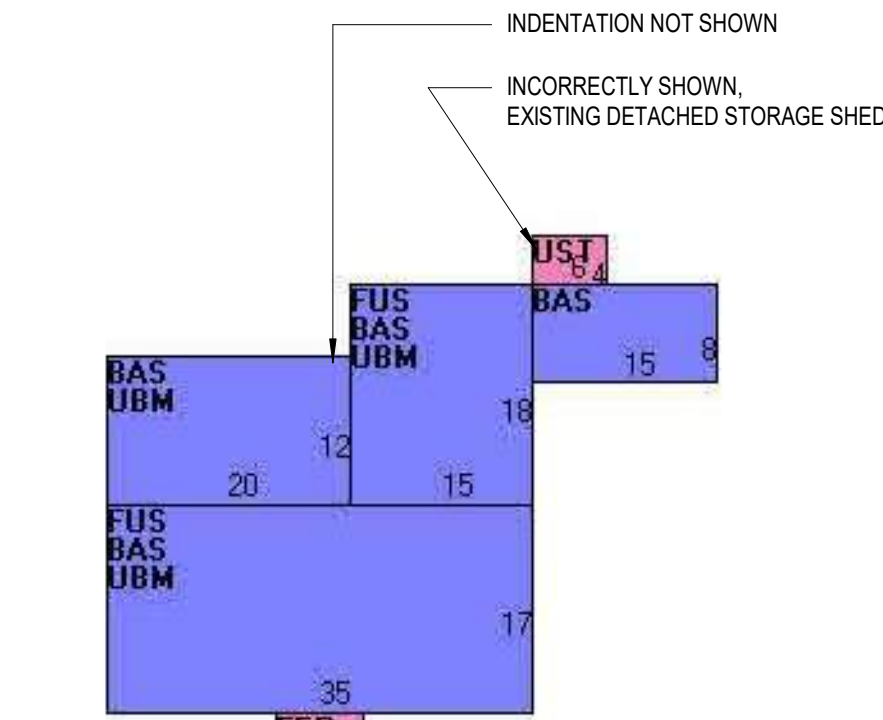
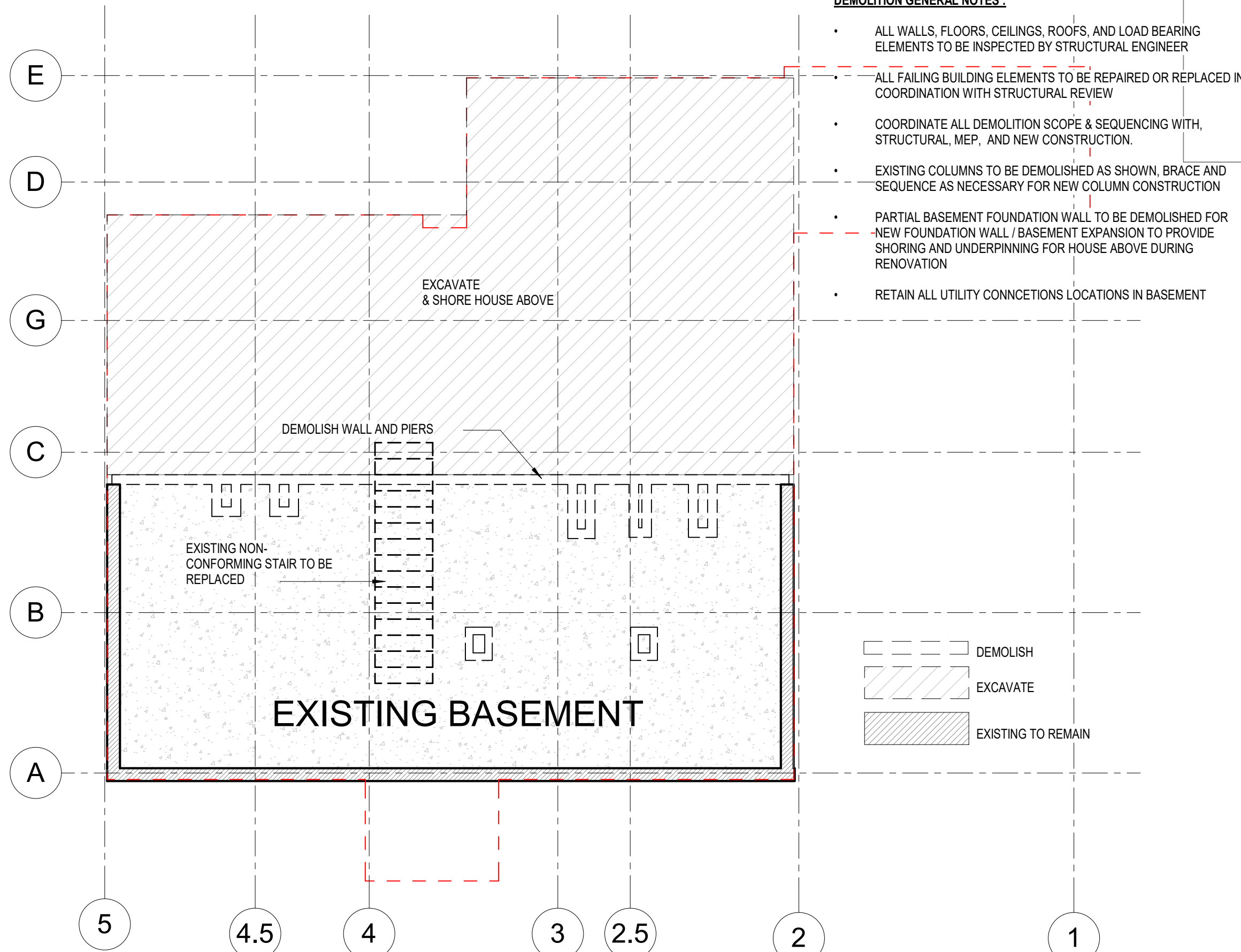


IMAGE SOURCE: CAMBRIDGE PROPERTY DATABASE

4 D001_EXISTING BUILDING
1/16" = 1'-0"

3 D100_LEVEL-0B DEMO PLAN
3/16" = 1'-0"



DEMOLITION GENERAL NOTES :

- ALL WALLS, FLOORS, CEILINGS, ROOFS, AND LOAD BEARING ELEMENTS TO BE INSPECTED BY STRUCTURAL ENGINEER
- ALL FAILING BUILDING ELEMENTS TO BE REPAIRED OR REPLACED IN COORDINATION WITH STRUCTURAL REVIEW
- COORDINATE ALL DEMOLITION SCOPE & SEQUENCING WITH, STRUCTURAL, MEP, AND NEW CONSTRUCTION.
- EXISTING COLUMNS TO BE DEMOLISHED AS SHOWN, BRACE AND SEQUENCE AS NECESSARY FOR NEW COLUMN CONSTRUCTION
- PARTIAL BASEMENT FOUNDATION WALL TO BE DEMOLISHED FOR NEW FOUNDATION WALL / BASEMENT EXPANSION TO PROVIDE SHORING AND UNDERPINNING FOR HOUSE ABOVE DURING RENOVATION
- RETAIN ALL UTILITY CONNCETIONS LOCATIONS IN BASEMENT

CWD DEVELOPMENT

PROJECT NAME

115 SPRING RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

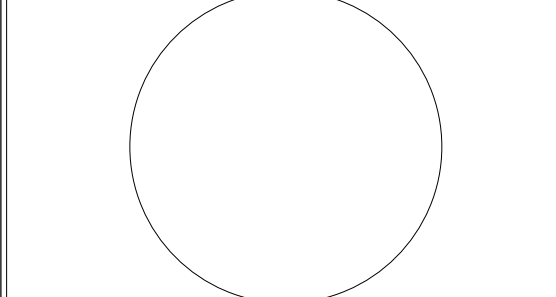
ARCHITECT

Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
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REGISTRATION



CAMBRIDGE BZA APPLICATION

Project number 1805
Date MARCH 19th, 2019
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Checked by Checker
Scale As indicated

REVISIONS

No.	Description	Date

DEMOLITION PLANS

D-001

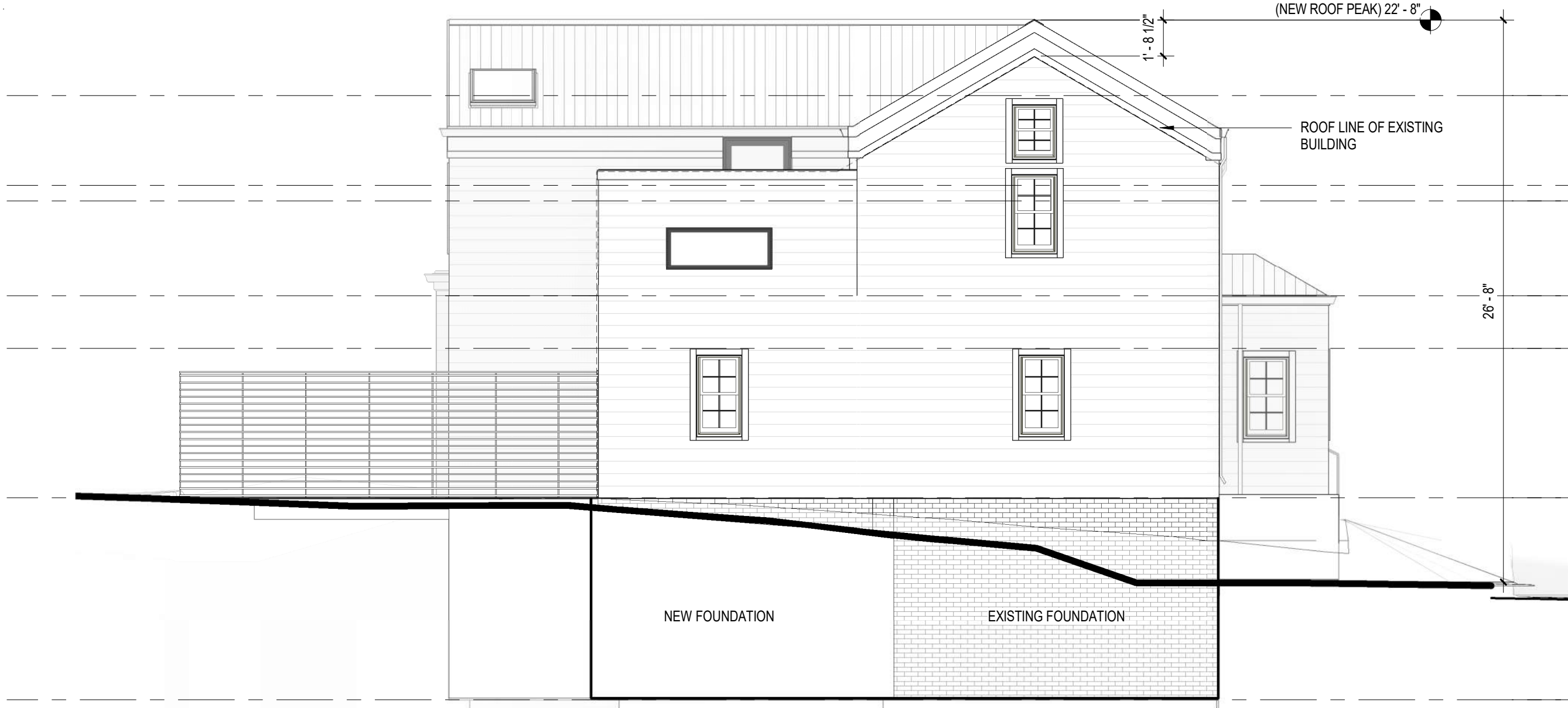
115 SPRING STREET



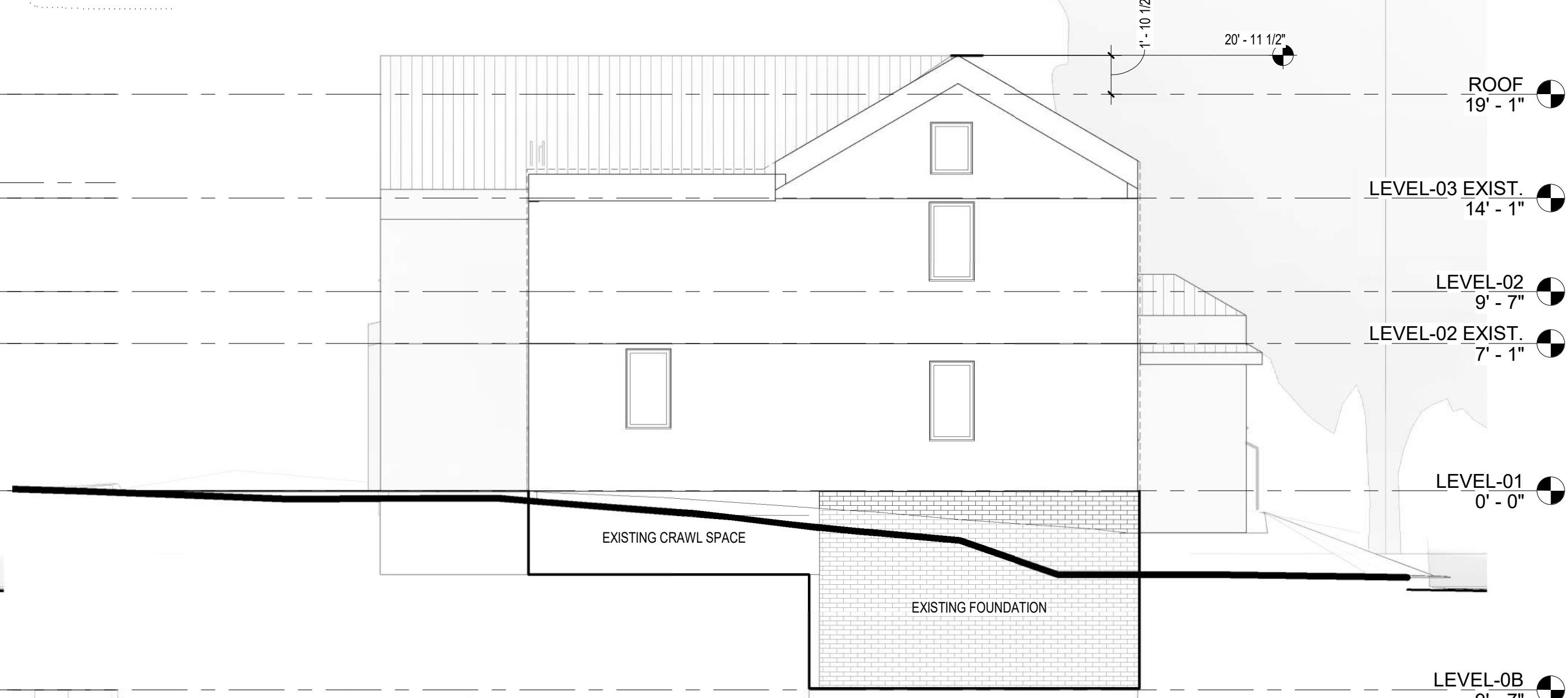
2 G-001_PROPOSED NEW WORK



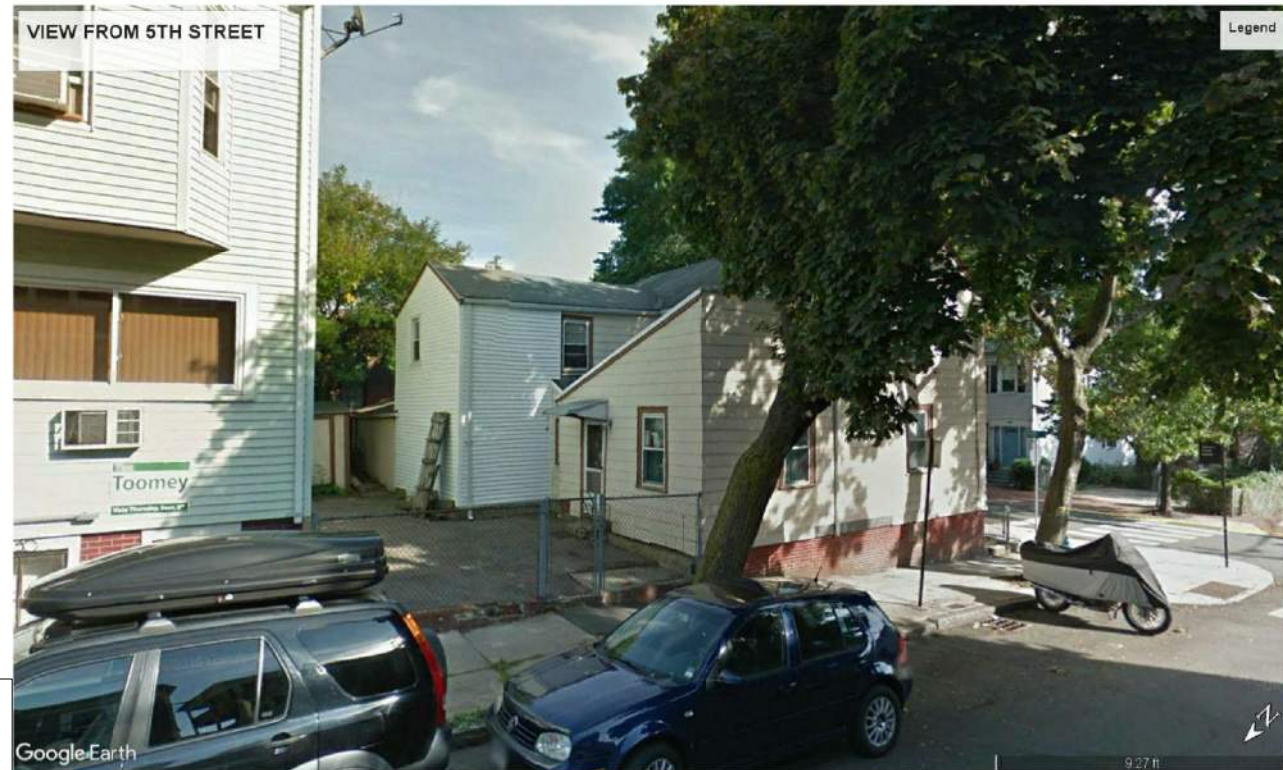
1 G-001_EXISTING BUILDING



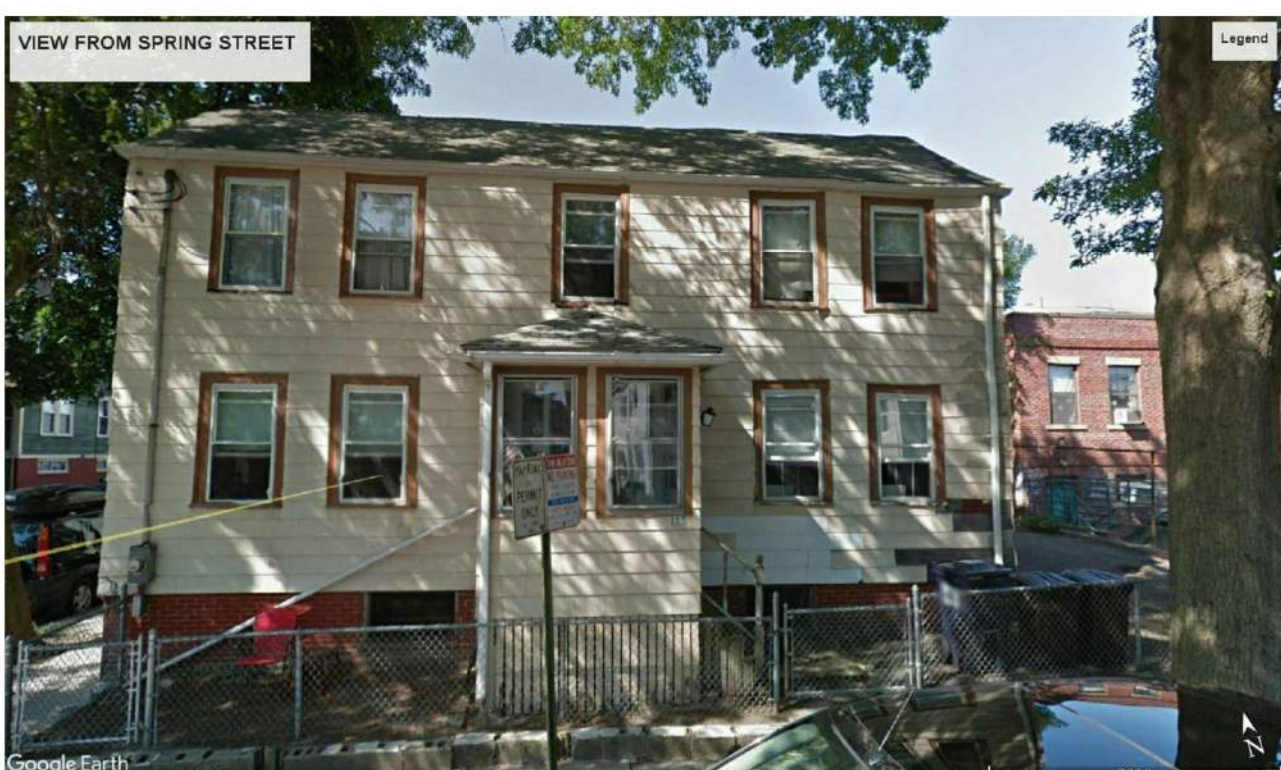
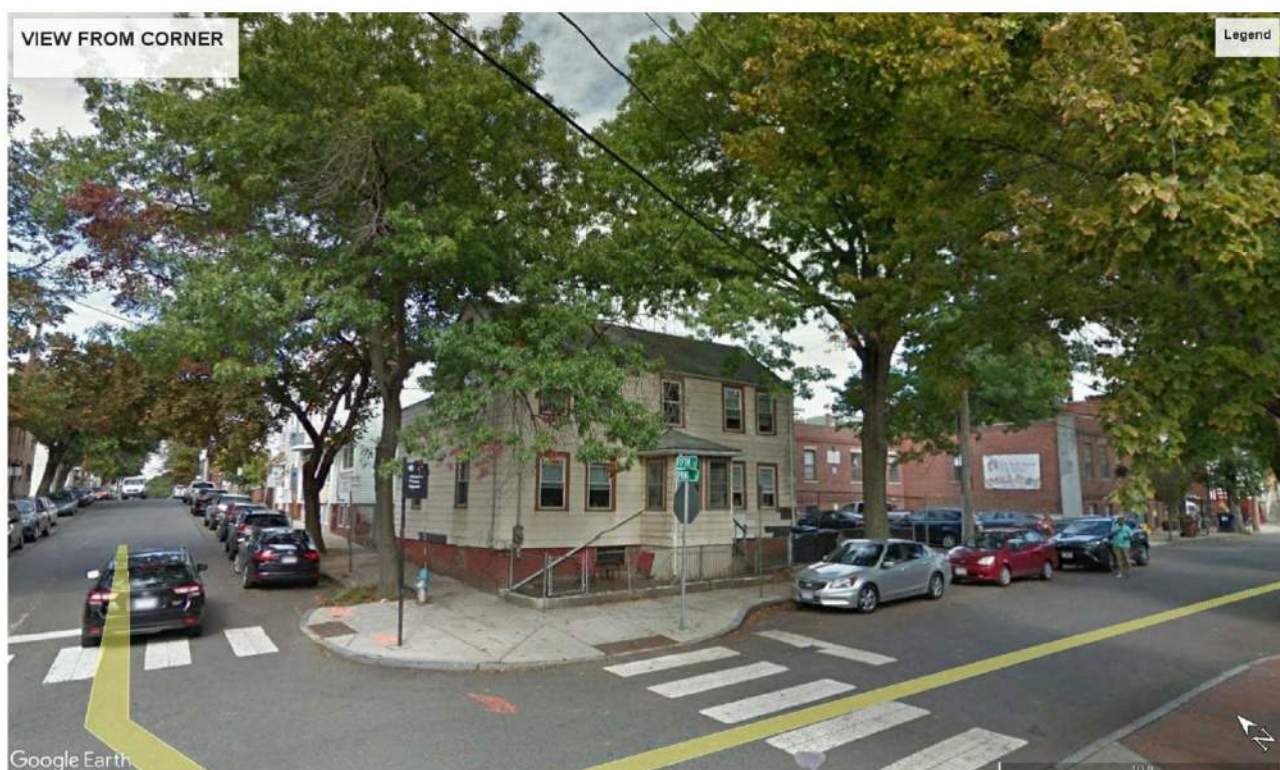
4 G001_PROPOSED 5TH STREET ELEVATION
3/16" = 1'-0"



3 G001_EXISTING 5TH STREET ELEVATION Copy 1
3/16" = 1'-0"



EXISTING CONDITIONS PHOTOGRAPH



CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

REGISTRATION

CAMBRIDGE BZA APPLICATION

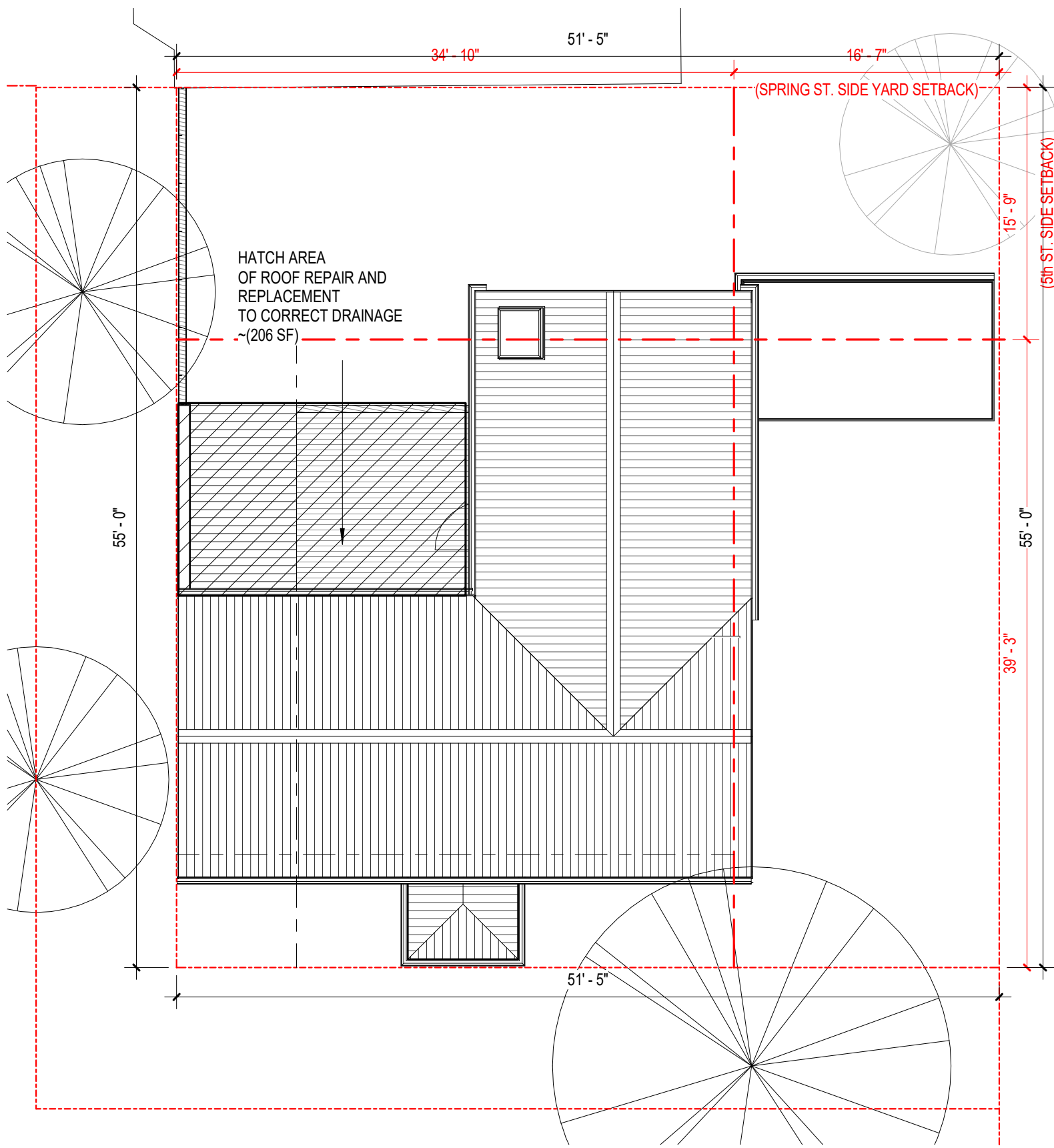
Project number 1805
Date MARCH 19th, 2019
Drawn by Author
Checked by Checker
Scale 3/16" = 1'-0"

REVISIONS

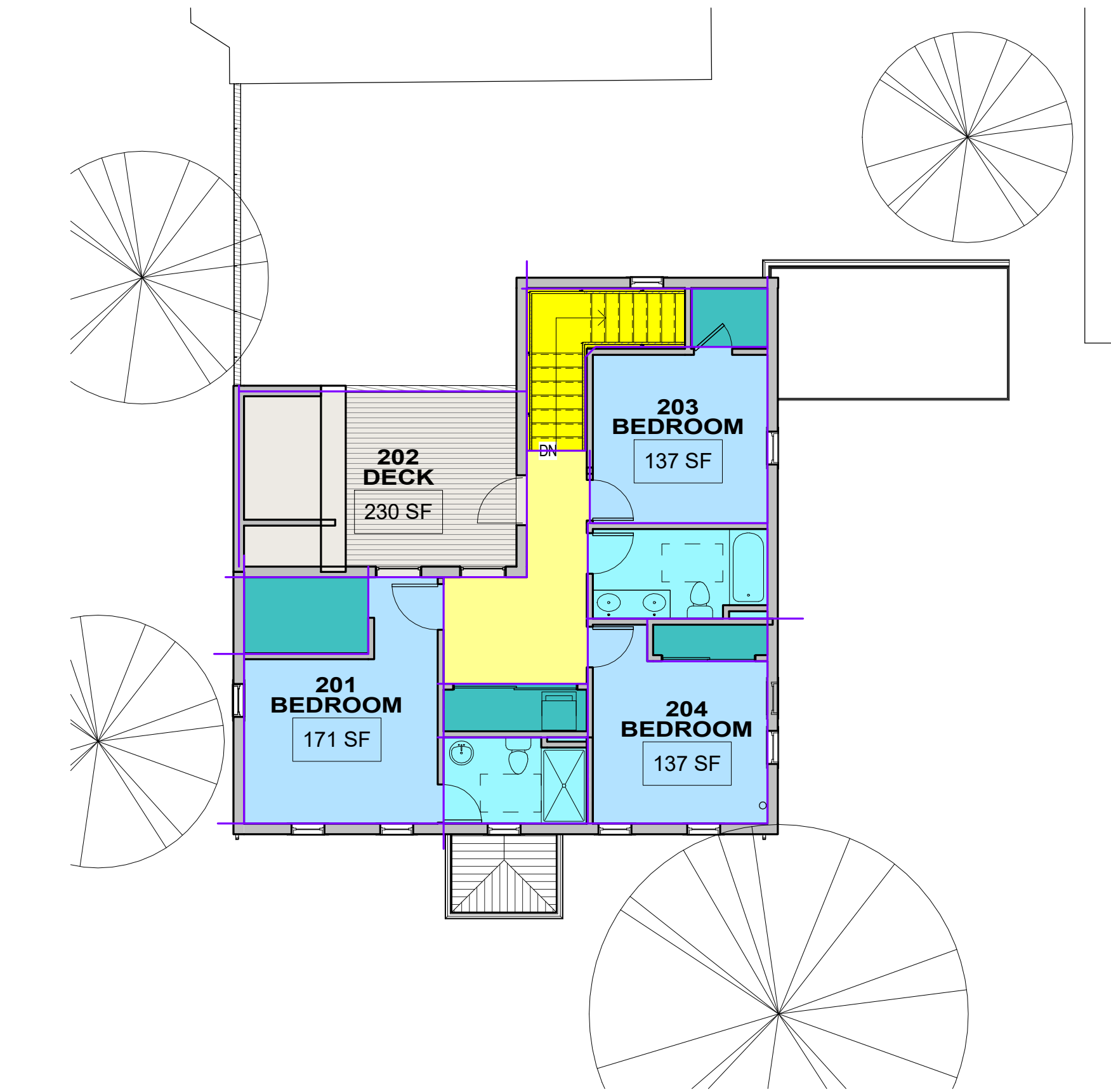
No.	Description	Date

RENOVATION OVERVIEW

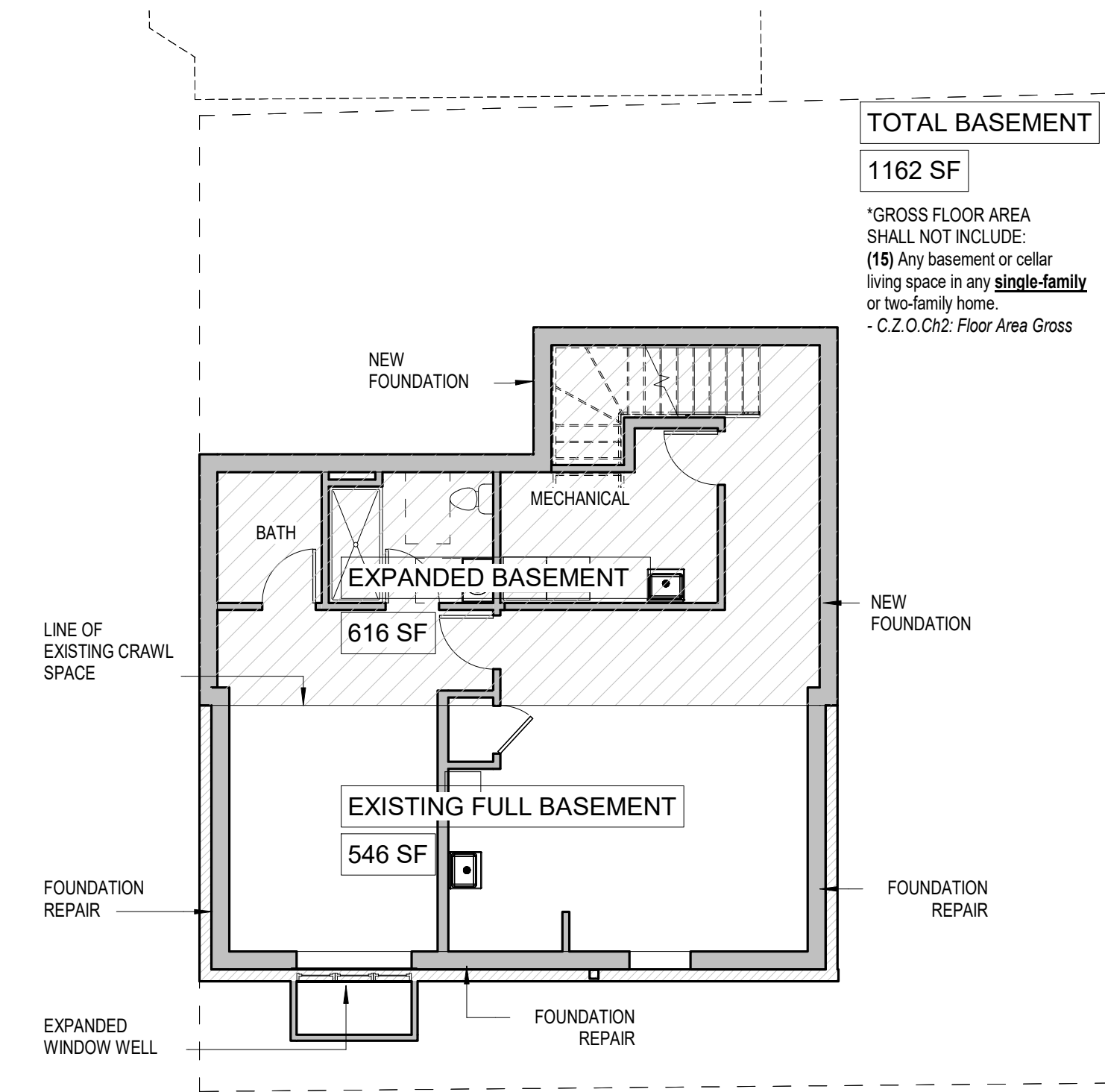
G-001
115 SPRING STREET



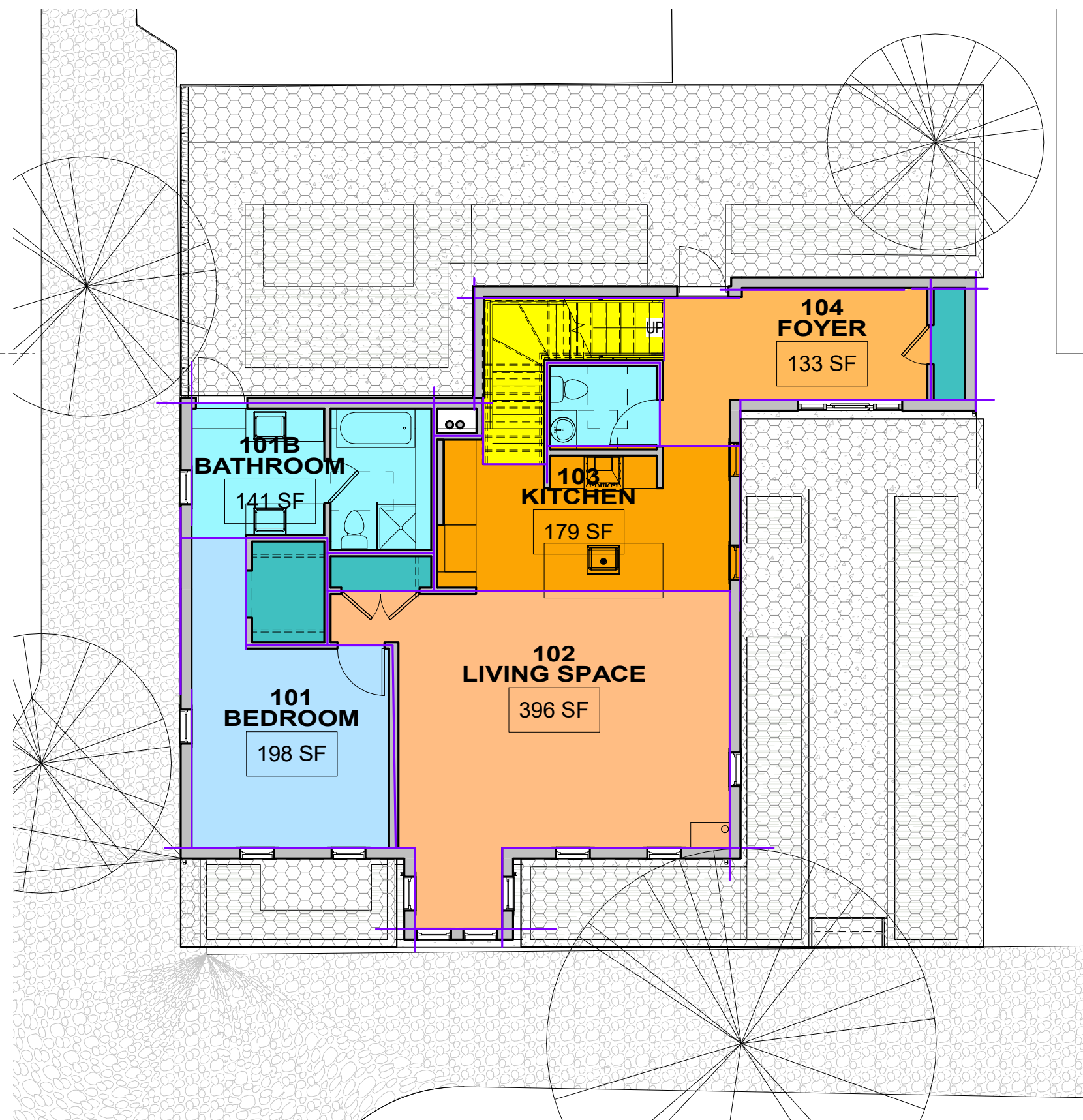
3 G002_LEVEL-ROOF
1/8" = 1'-0"



2 G002_LEVEL-02
1/8" = 1'-0"



B G002_LEVEL-0B
1/8" = 1'-0"



1 G002_LEVEL-01
1/8" = 1'-0"

Area Schedule (Gross Building)		
Number	Name	Area

LEVEL-01		
101	BEDROOM	198 SF
101B	BATHROOM	141 SF
102	LIVING SPACE	396 SF
103	KITCHEN	179 SF
104	FOYER	133 SF
105	BATHROOM	38 SF
106	STAIR	78 SF
107	CLOSET	21 SF
109	CLOSET	16 SF
110	CLOSET	36 SF

LEVEL-02		
108	CLOSET	33 SF
201	BEDROOM	171 SF
201B	CLOSET	41 SF
203	BEDROOM	137 SF
203B	CLOSET	19 SF
204	BEDROOM	137 SF
204B	CLOSET	22 SF
205	CORRIDOR	100 SF
206	BATHROOM	74 SF
207	STAIR	68 SF
208	BATHROOM	54 SF
Grand total: 21		2092 SF

ZONING INFORMATION

115 SPRING PROPERTY INFORMATION		EXISTING BUILDING INFORMATION	
RESIDENTIAL BUILDING NUMBER 1, SECTION 1			
Property Class:	SNGL-FAM-RES	Exterior Style:	CONVENTIONAL
State Class Code:	101	Occupancy:	SNGL-FAM-RES
Zoning (Unofficial):	C-1	Number of Stories:	2.25
Map/Lot:	25-83	Exterior Wall Type:	Asbestos Shingle
Land Area (sq. ft):	2,794	Roof Type:	Gable
		Roof Material:	Asphalt Shingle
		Interior Living Area (sq. ft.):	2,090
		Parking:	
		Open Parking:	0
		Covered Parking:	0

(0) DISTRICT	ALLOWED C-1	(PROVIDED) (C-1)
(1) MAX. F.A.R.	0.75 = 2061 SF	(2090 SF EXISTING) (NO CHANGE IN GFA)
(2) MIN. LOT SIZE	5,000	(2,749 SF EXISTING)
(3) MIN. LOT AREA D.U.	1,500	(2090 SF EXISTING)
(4) MIN. LOT WIDTH SPRING ST: 5TH STREET:	50'-00" 50'-00"	(51'-04") (55'-00")
(5) MIN YARD IN FEET FRONT (H+L(a)/4): SPRING SIDE (H+L(n)/5): 5th ST. SIDE (H+L(n)/5):	(SEE 3/G-002) 19'-10"=[28'+51'4"]/4 16'-07"=[28'+55']/5 15'-09"=[28'+51']/5	(SPRING = 25'10") (5th St. = 25'-05") (EXISTING ENCROACHES) (EXISTING ENCROACHES)
(6) MAX HEIGHT IN FT	35'-00"	(28'-00" AFTER REPAIR) (26'-06" EXISTING)
(7) MIN. OPEN LOT	30%	(53% = 1,461 SF / 2,749 SF) (HONEYCOMB HATCH 1/G-002)

CWD

DEVELOPMENT

PROJECT NAME

115 SPRING
RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT

Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

REGISTRATION

CAMBRIDGE BZA APPLICATION

Project number: 1805
Date: MARCH 19th, 2019
Drawn by: Author
Checked by: Checker
Scale: 1/8" = 1'-0"

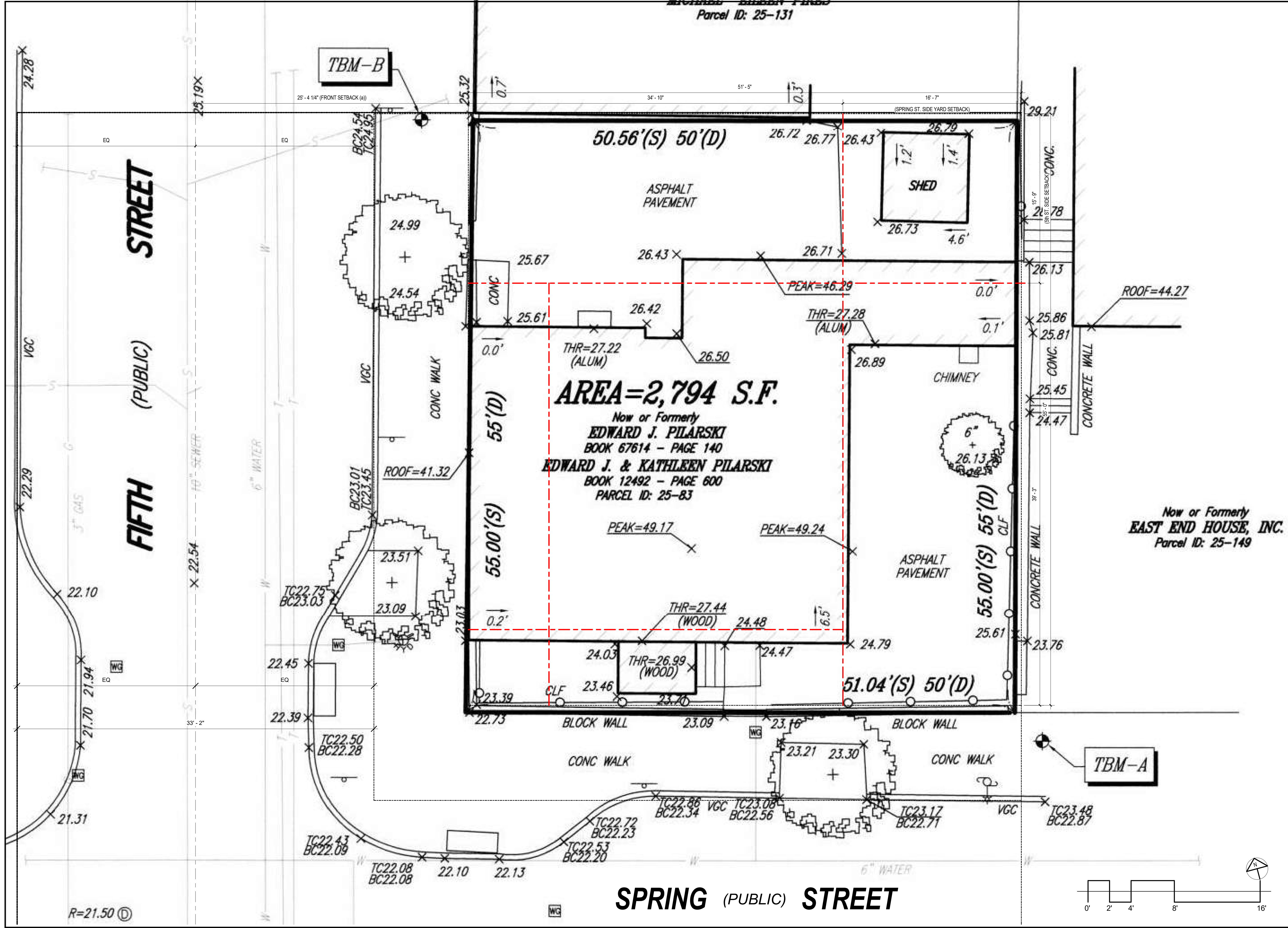
REVISIONS

No.	Description	Date

GROSS FLOOR AREA

G-002

115 SPRING STREET



CWD

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PROJECT NAME

115 SPRING RENOVATION

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281 CONCORD AVE.
CAMBRIDGE, MA 02138
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HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

REGISTRATION

CAMBRIDGE BZA APPLICATION

Project number

1805

Date

MARCH 19th, 2019

Drawn by

Author

Checked by

Checker

Scale

1/4" = 1'-0"

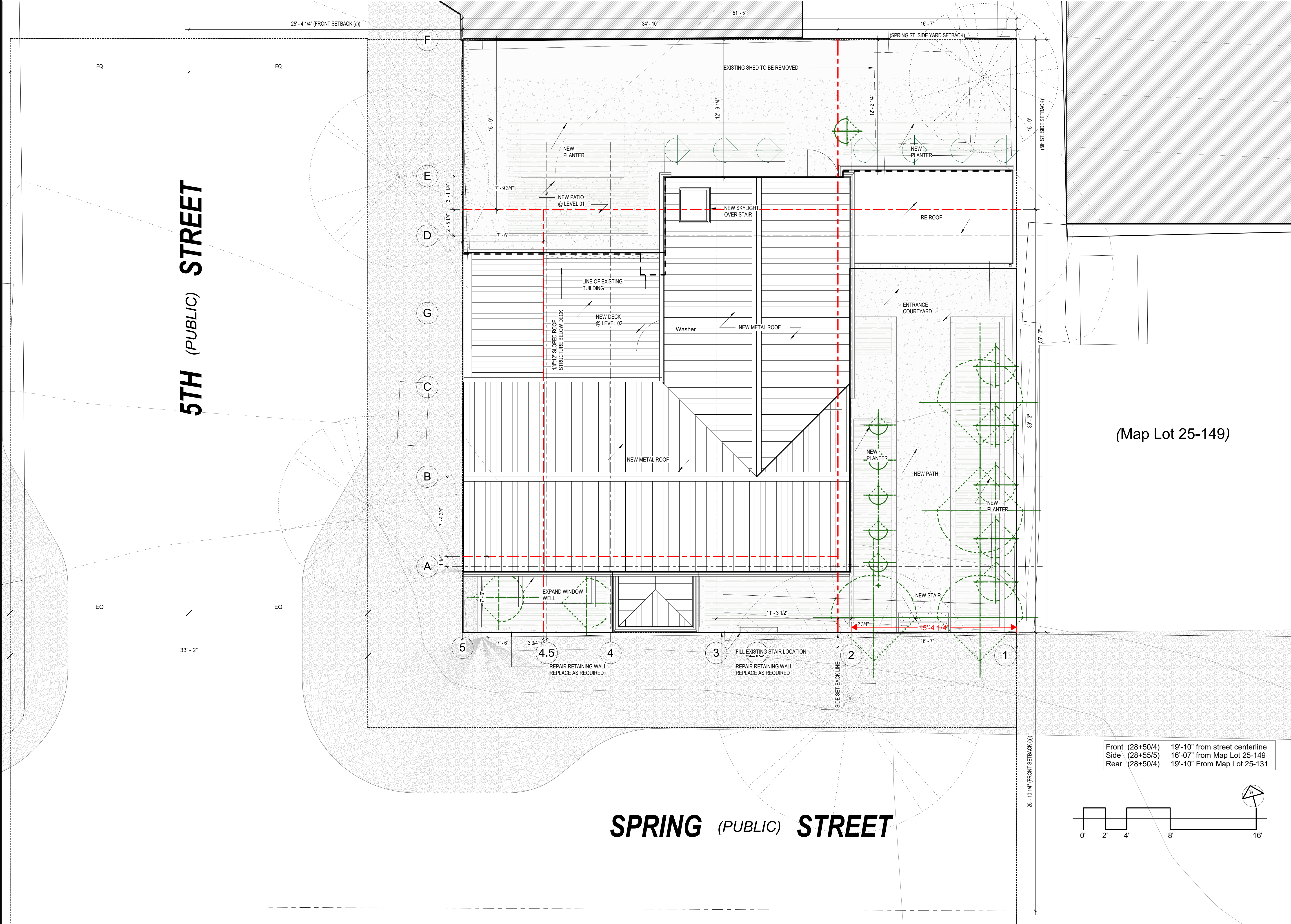
REVISIONS

No.	Description	Date

EXISTING PLOT PLAN

A-001

115 SPRING STREET



CWD

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115 SPRING
RENOVATION

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CAMBRIDGE, MA 02141

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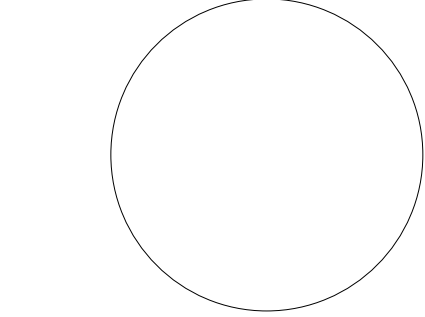
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

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HASTINGS CONSULTANTS
142 Hanlon Road
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(Map Lot 25-149)

REGISTRATION



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Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

SITE PLAN

A-002

115 SPRING STREET

CWD

DEVELOPMENT

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115 SPRING
RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

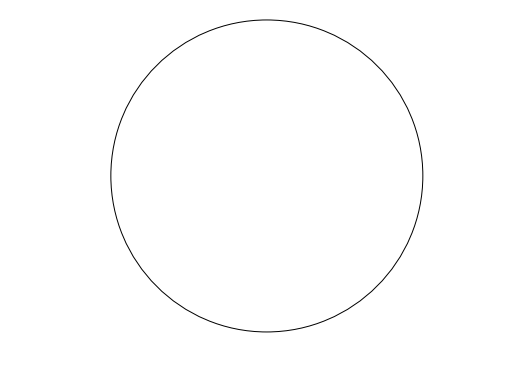
ARCHITECT

Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
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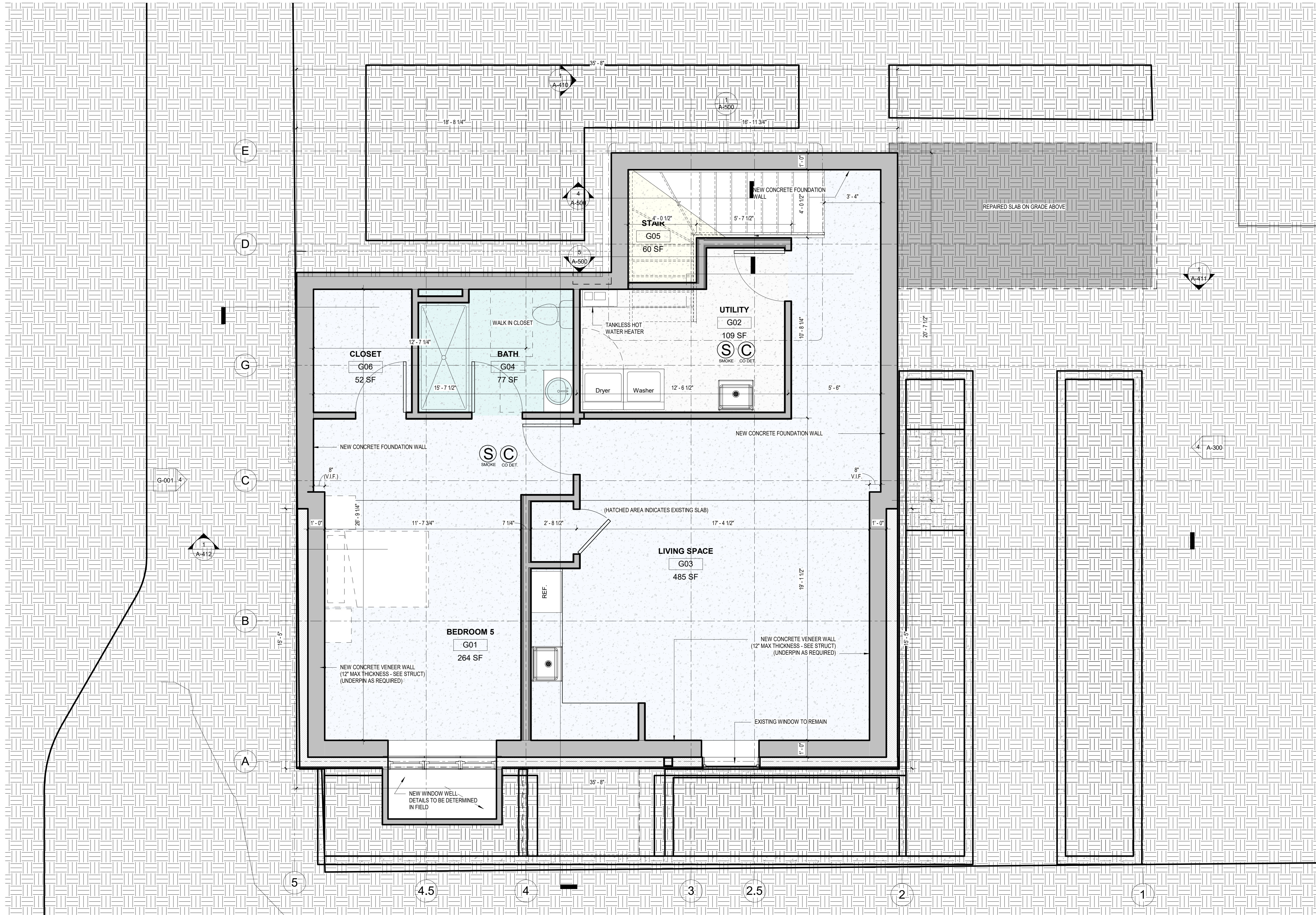
REVISIONS

No.	Description	Date

BASEMENT PLAN

A-100

115 SPRING STREET



CWD

DEVELOPMENT

PROJECT NAME

115 SPRING
RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT

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CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
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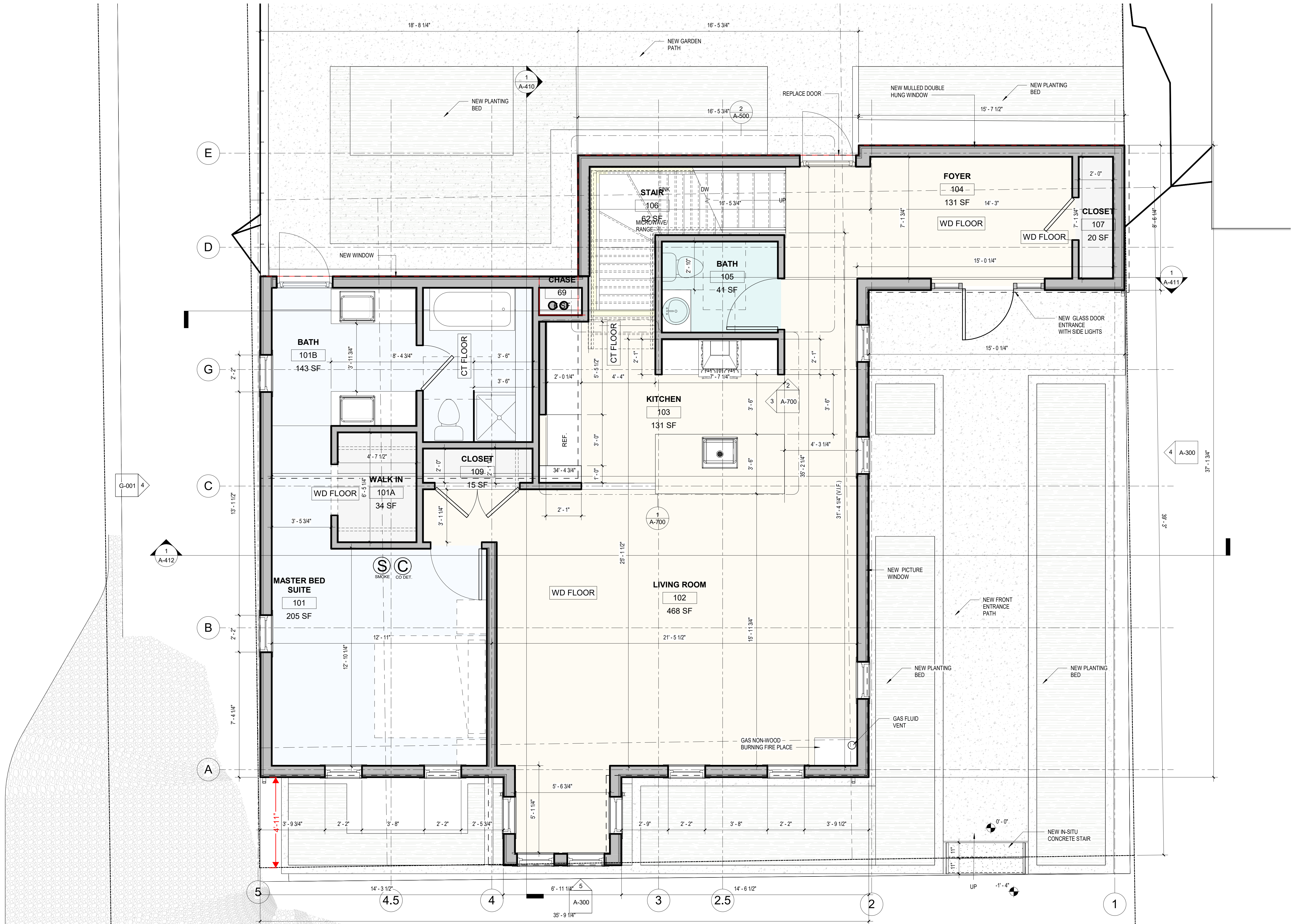
REVISIONS

No.	Description	Date

LEVEL 01 PLAN

A-101

115 SPRING STREET



CWD

DEVELOPMENT

PROJECT NAME

115 SPRING
RENOVATION

PROJECT ADDRESS:

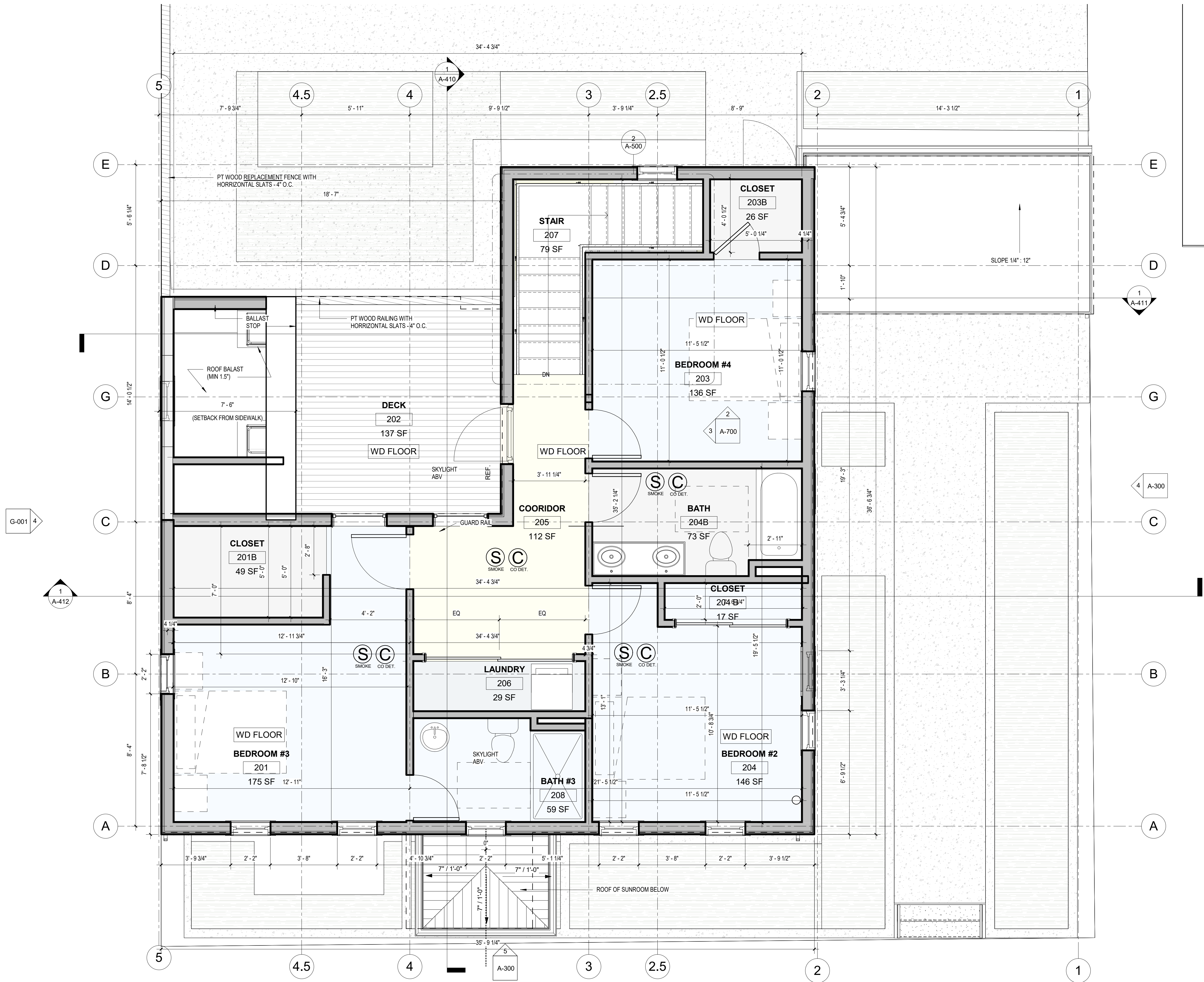
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT

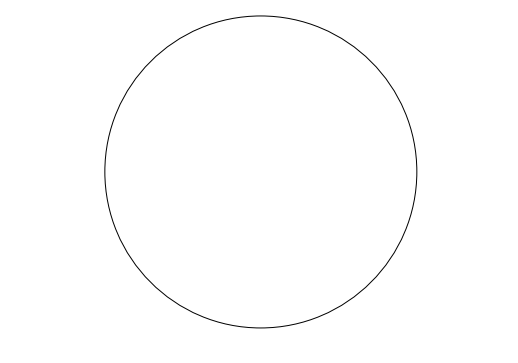
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
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REVISIONS

No.	Description	Date

LEVEL 02 PLAN

A-102

115 SPRING STREET

CWD

DEVELOPMENT

PROJECT NAME

115 SPRING
RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

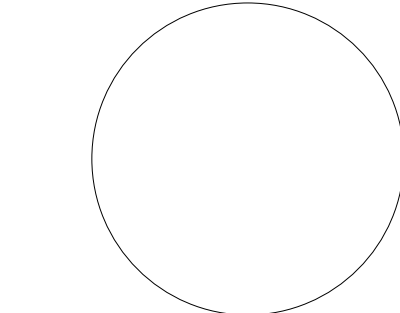
ARCHITECT

Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
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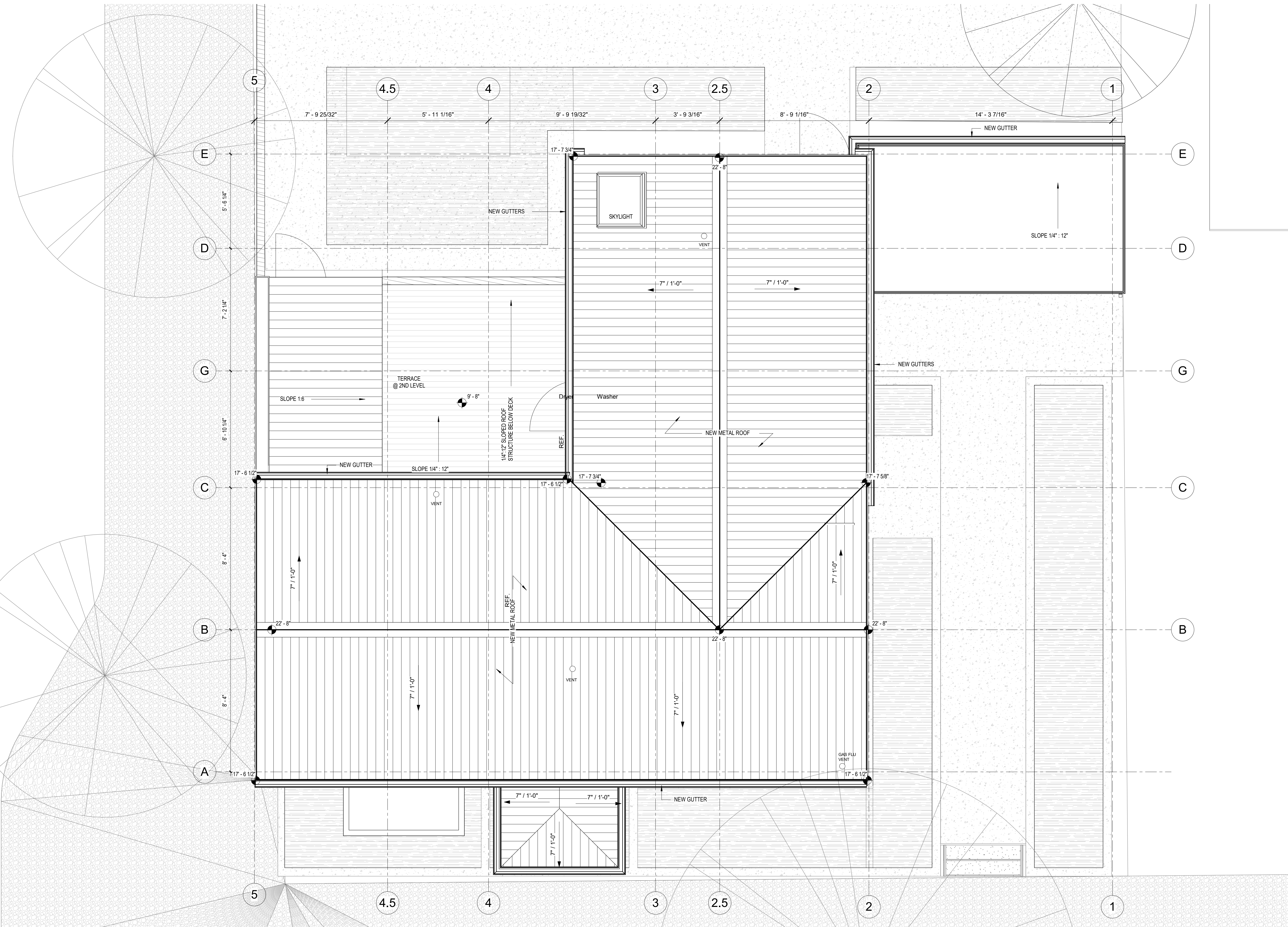
REVISIONS

No.	Description	Date

ROOF PLAN

A-103

115 SPRING STREET



CWD

DEVELOPMENT

PROJECT NAME

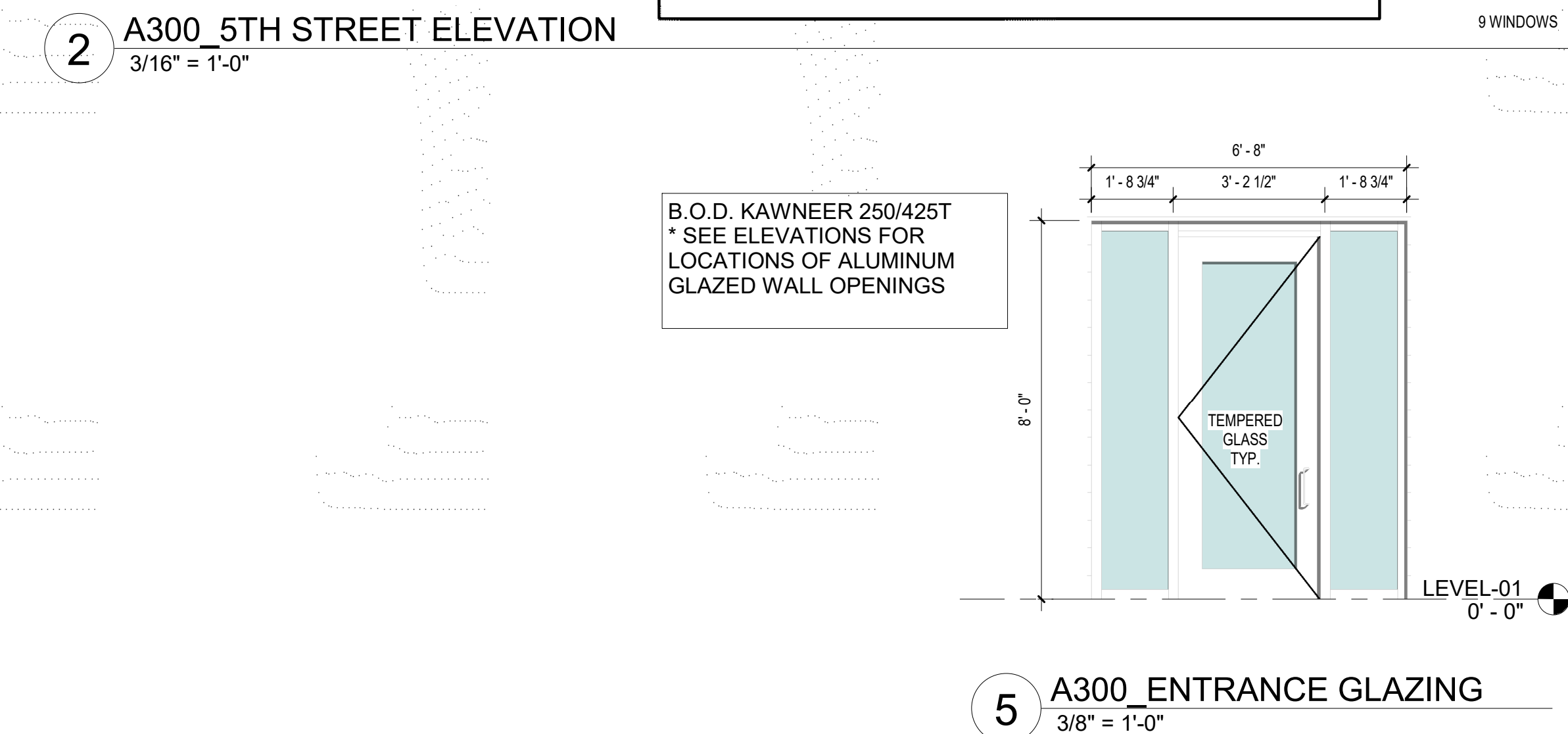
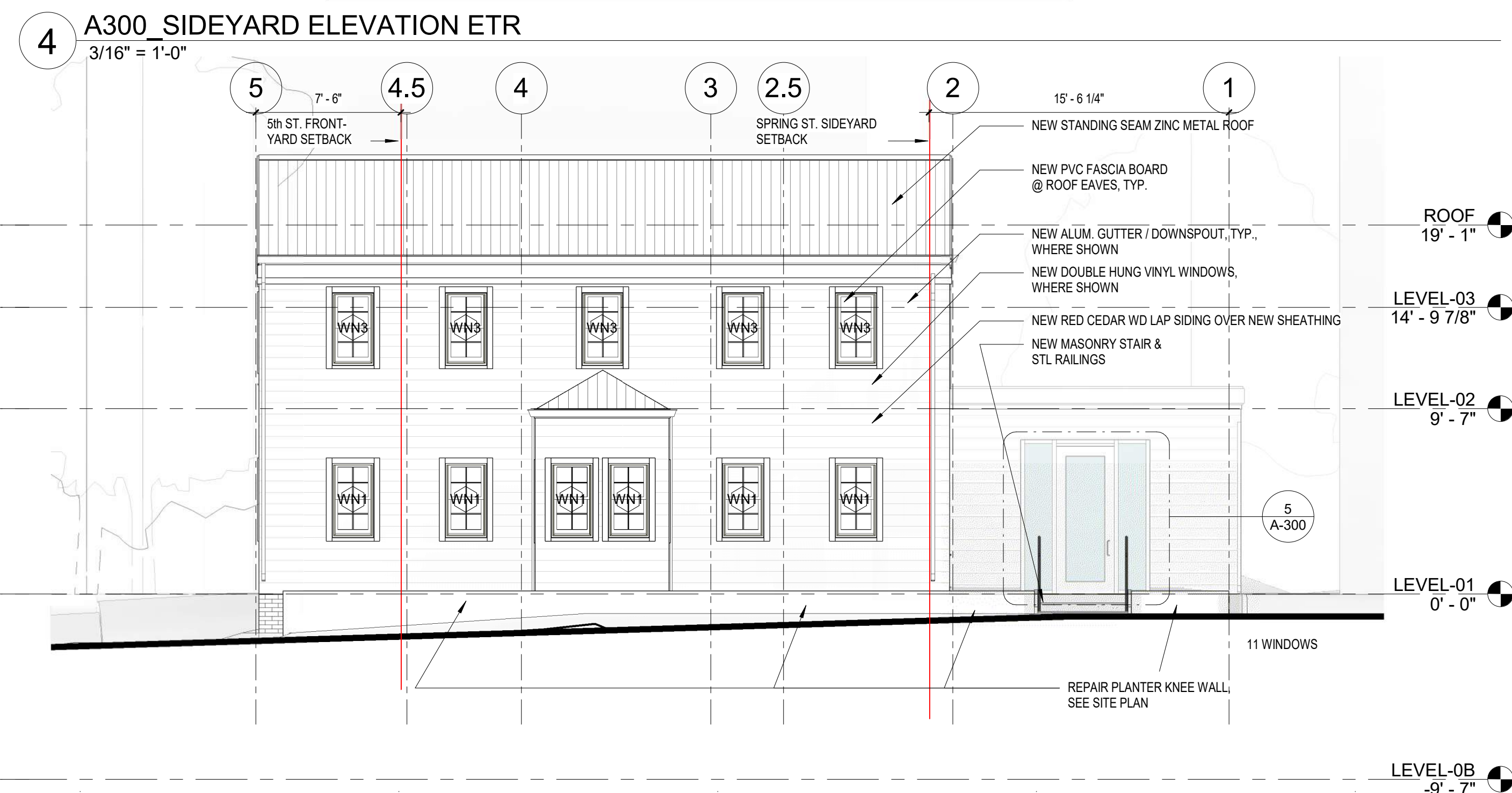
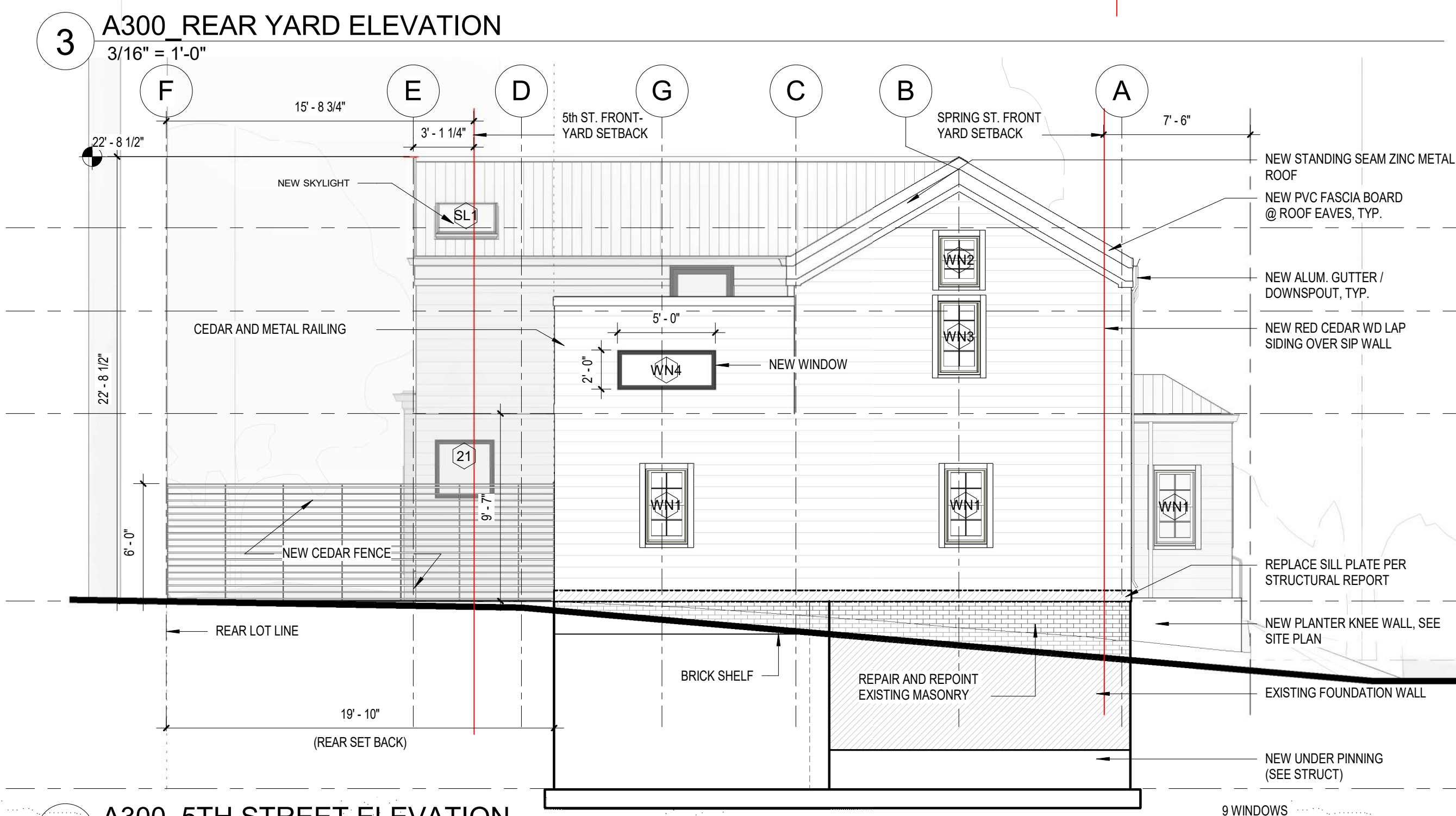
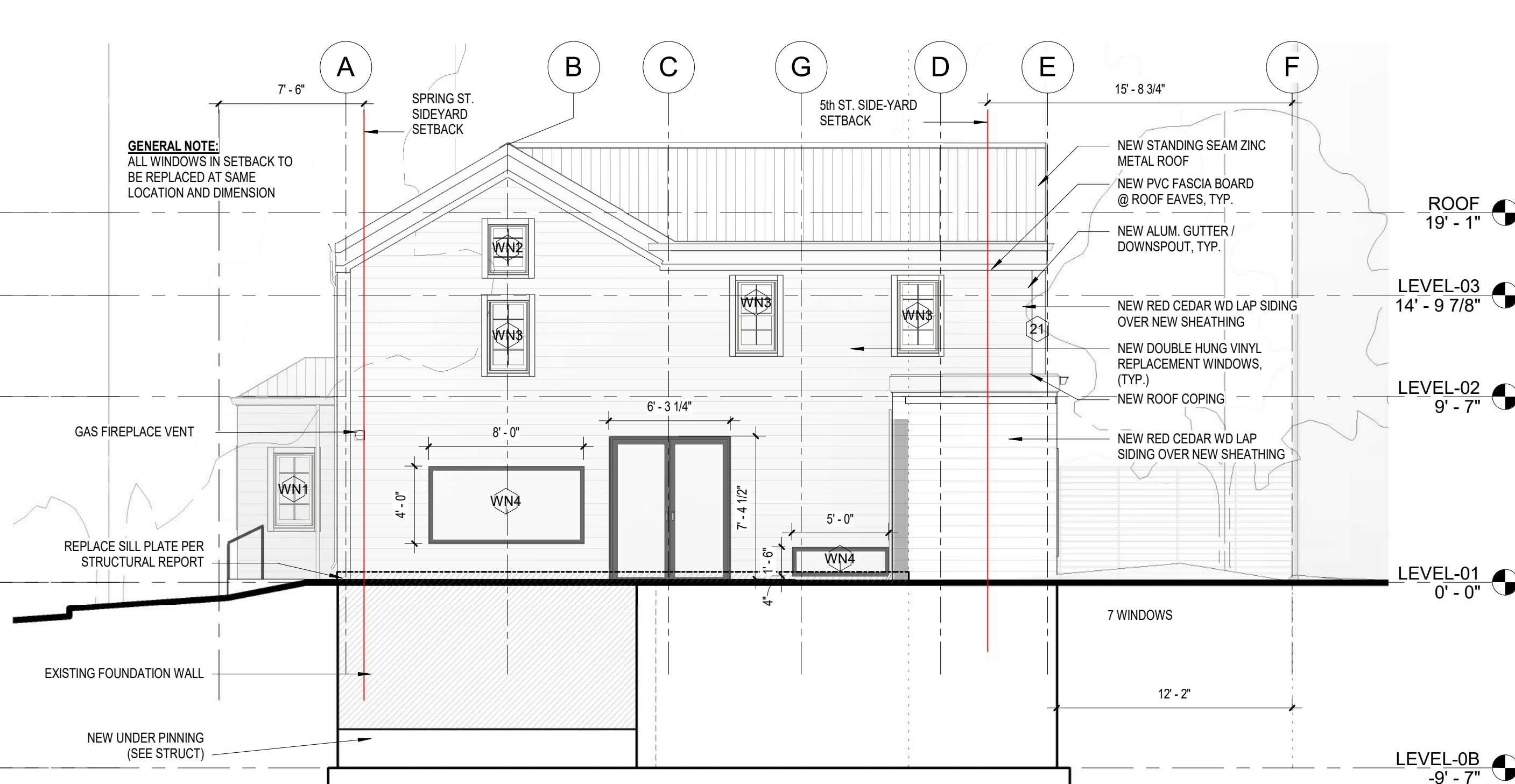
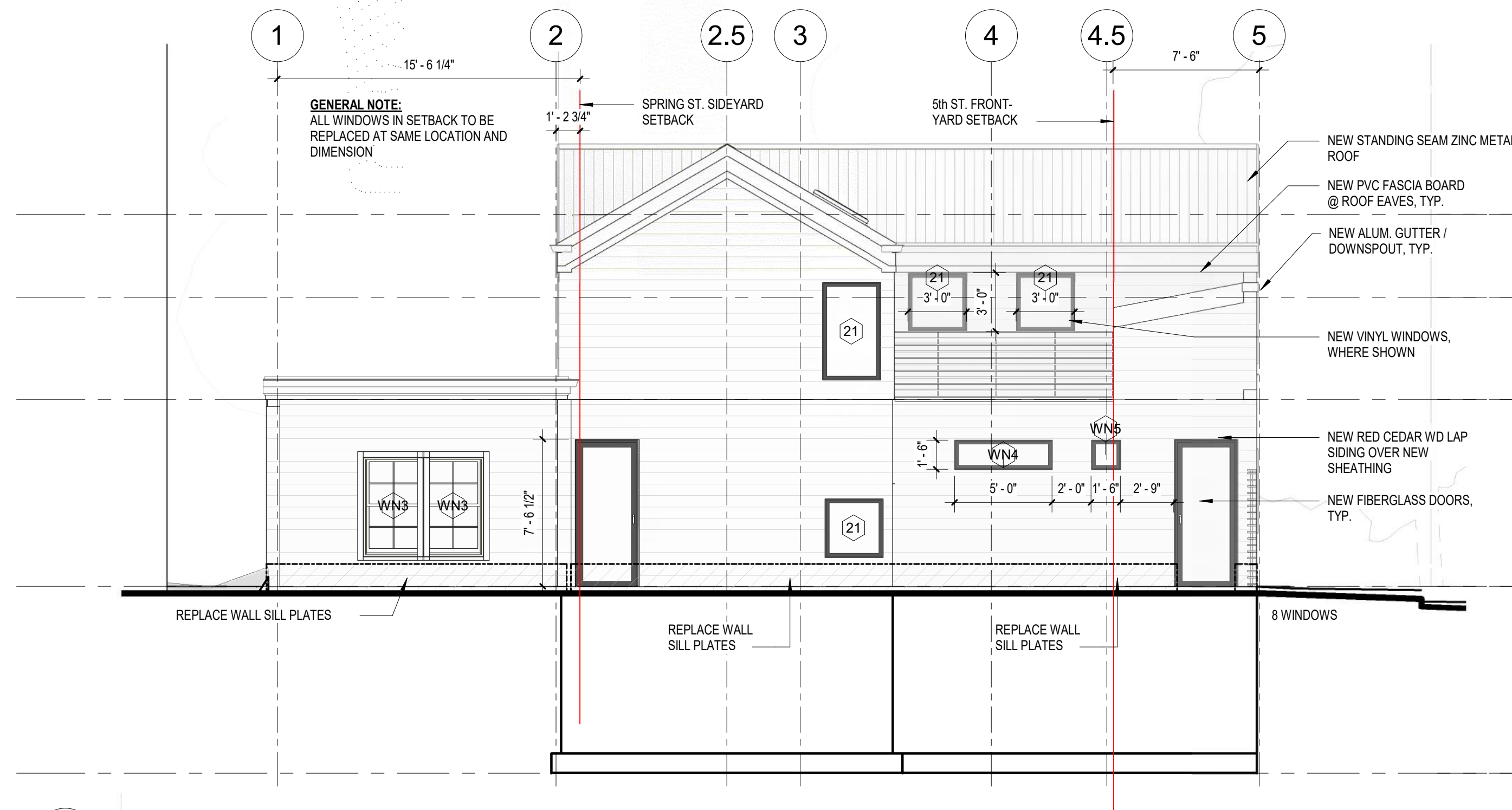
115 SPRING
RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT

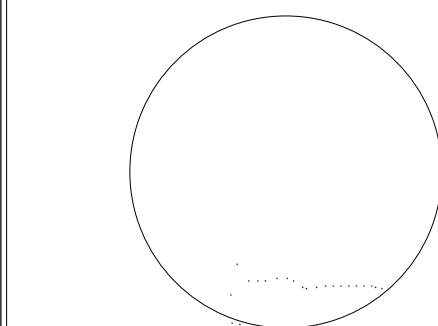
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IOCODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

WINDOW SCHEDULE						
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width
21						
48	LEVEL-02	21	Instance-Window-Fixed	36" x 72"		
55	LEVEL-02	21	Instance-Window-Fixed	36" x 72"		
SL1						
36	LEVEL-01	SL1	Window-skylight-VELUX_FS-deck_mounted-fixed	M02	3'-0 1/2"	3'-0 1/2"
WN1						
3	LEVEL-08	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
4	LEVEL-08	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
5	LEVEL-08	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
6	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
7	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
8	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
9	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
10	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
11	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
12	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
13	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
14	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
15	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
61	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
62	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
63	LEVEL-01	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
64	LEVEL-02	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"

WINDOW SCHEDULE						
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width
65	LEVEL-02	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
67	LEVEL-02	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
66	LEVEL-03	WN1	Pella_DH_Architect_Series_1985	2646	3'-10"	2'-1 1/2"
WN2						
17	LEVEL-03	WN2	Pella_DH_Architect_Series_1985	2430	2'-6 3/4"	2'-0 3/4"
WN3						
21	LEVEL-02	WN3	Pella_DH_Architect_Series_1985	2638	3'-8 3/4"	2'-1 1/2"
22	LEVEL-02	WN3	Pella_DH_Architect_Series_1985	2638	3'-8 3/4"	2'-1 1/2"
23	LEVEL-02	WN3	Pella_DH_Architect_Series_1985	2638	3'-8 3/4"	2'-1 1/2"
24	LEVEL-02	WN3	Pella_DH_Architect_Series_1985	2638	3'-8 3/4"	2'-1 1/2"
25	LEVEL-02	WN3	Pella_DH_Architect_Series_1985	2638	3'-8 3/4"	2'-1 1/2"
26	LEVEL-02	WN3	Pella_DH_Architect_Series_1985	2638	3'-8 3/4"	2'-1 1/2"
WN4						
49	LEVEL-01	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"
69	LEVEL-02	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"
70	LEVEL-02	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"
WN5						
57	LEVEL-01	WN5	Instance-Window-Fixed	18" x 18"		

REGISTRATION



CAMBRIDGE BZA APPLICATION

Project number 1805
Date MARCH 19th, 2019
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Checked by Checker
Scale As indicated

REVISIONS

No.	Description	Date

ELEVATIONS

A-300

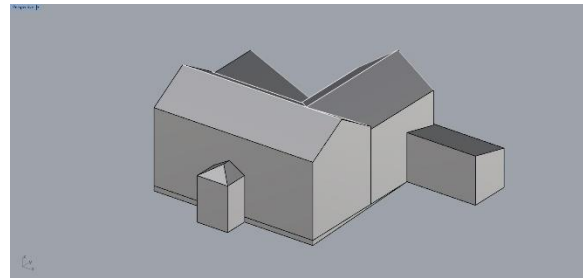
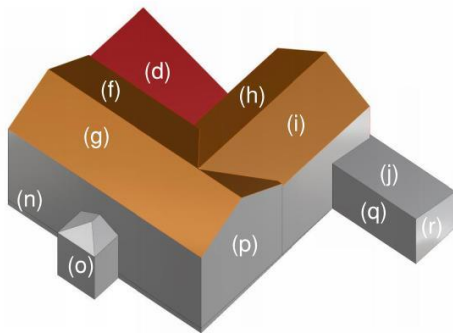
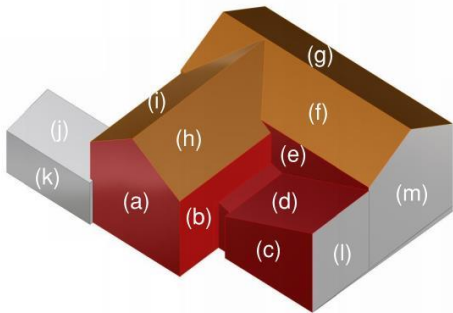
115 SPRING STREET

115 Spring Street Demolition Plan

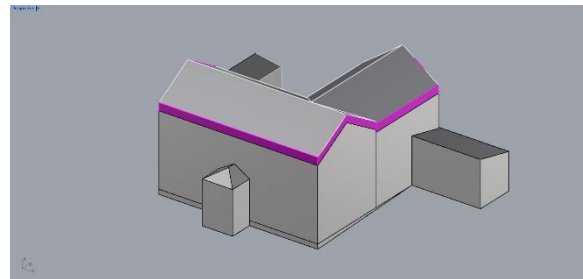
Olinger Architects

Please see below for an outline of the Demolition Plan for 115 Spring Street:

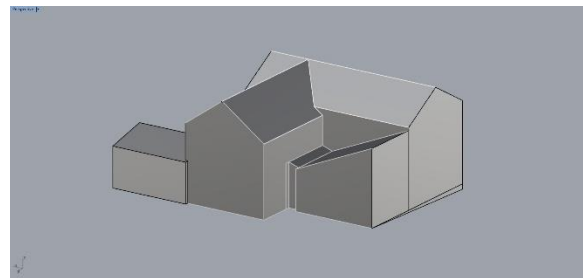
1. Reinforce all existing to remain portions of the building (j-k)(l-r)
2. Protect existing to remain portions of the building (j-k)(l-r)
3. Remove the rear addition structures completely (a-e) & (i-h)
4. Execute all foundation work, underpinning, and excavation
5. Reframe interior of building up to existing roof line
6. Once that structure is complete, solid, framed, and sheathed we will then proceed to remove the roof in the front of the house (f-g)
7. Cut existing second floor window headers & lift roof
8. Reframe roof and infill wall (highlighted magenta in figures (1-4))



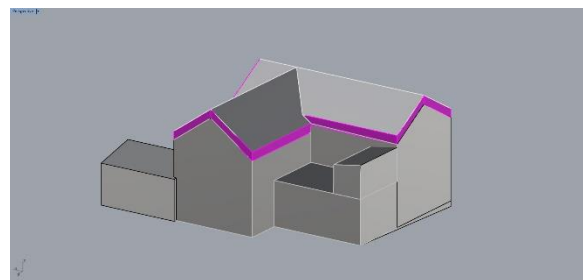
(Fig.1) Existing Building (South East View)



(Fig.2) Highlighted New Infill Wall



(Fig.3) Existing Building (North West View)



(Fig.4) Highlighted New Infill Wall

115 SPRING STREET

DEMOLITION PERCENTAGE ANALYSIS

Olinger Architects

AIA, NCARB, LEED AP

EXTERIOR ENVELOPE SURFACE AREA:

EXISTING: 4,491 SF

DEMO (RED): 1,035 SF (23%)

ROOF (ORANGE): 1,132 SF (25%)

PRESERVE (GREY): 2,324 SF (52%)

GENERAL CONTRACTOR'S FIELD INVESTIGATION COMMENTS:

1) FRONT HOUSE - HISTORIC HOUSE FACING 5th & SPRING ST.

After removal of the plasters, we found out that roof is not properly built. We need to build a new roof. In addition, the structural beams for the front house are partially rotten. We need to revise the plan of raising the house, because the structural of the house does not allow us to raise the house without the risk of falling. We need to build the 2 feet height from top and rebuild the roof.

2) BACK HOUSE - FACING 5th STREET SIDE YARD

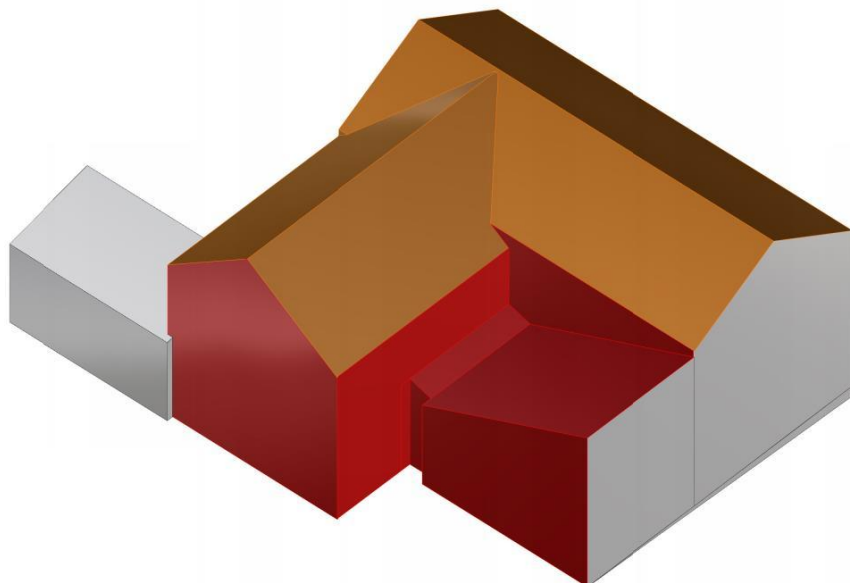
The one level area of roof needs to be taken down to build a flat roof with the deck on top of it. Therefore the roof needs to be removed.

3) BACK HOUSE - GABLED ROOF ABUTTING 5th STREET SIDE YARD

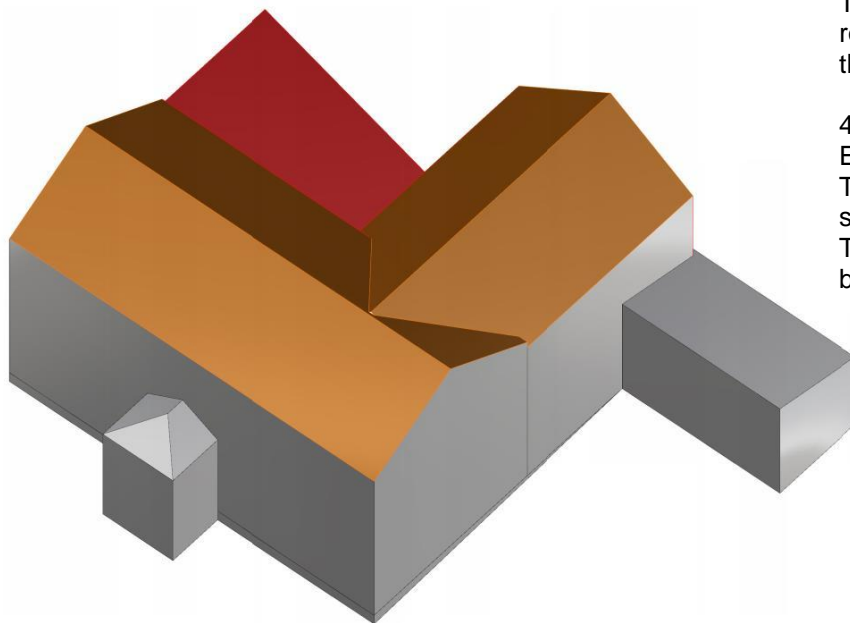
The roof line is supposed to match the new roof line of the front of the house. Therefore the roof needs to be removed and replaced.

4) BACK HOUSE - COMPROMISED EXTERIOR WALLS

The back of the house is lacking sound structure- all of the major beams are rotten. Therefore, we need to remove the rotten beams and rebuild the structural.



VIEW FROM NORTH WEST



VIEW FROM SOUTH EAST

CWD

DEVELOPMENT

PROJECT NAME

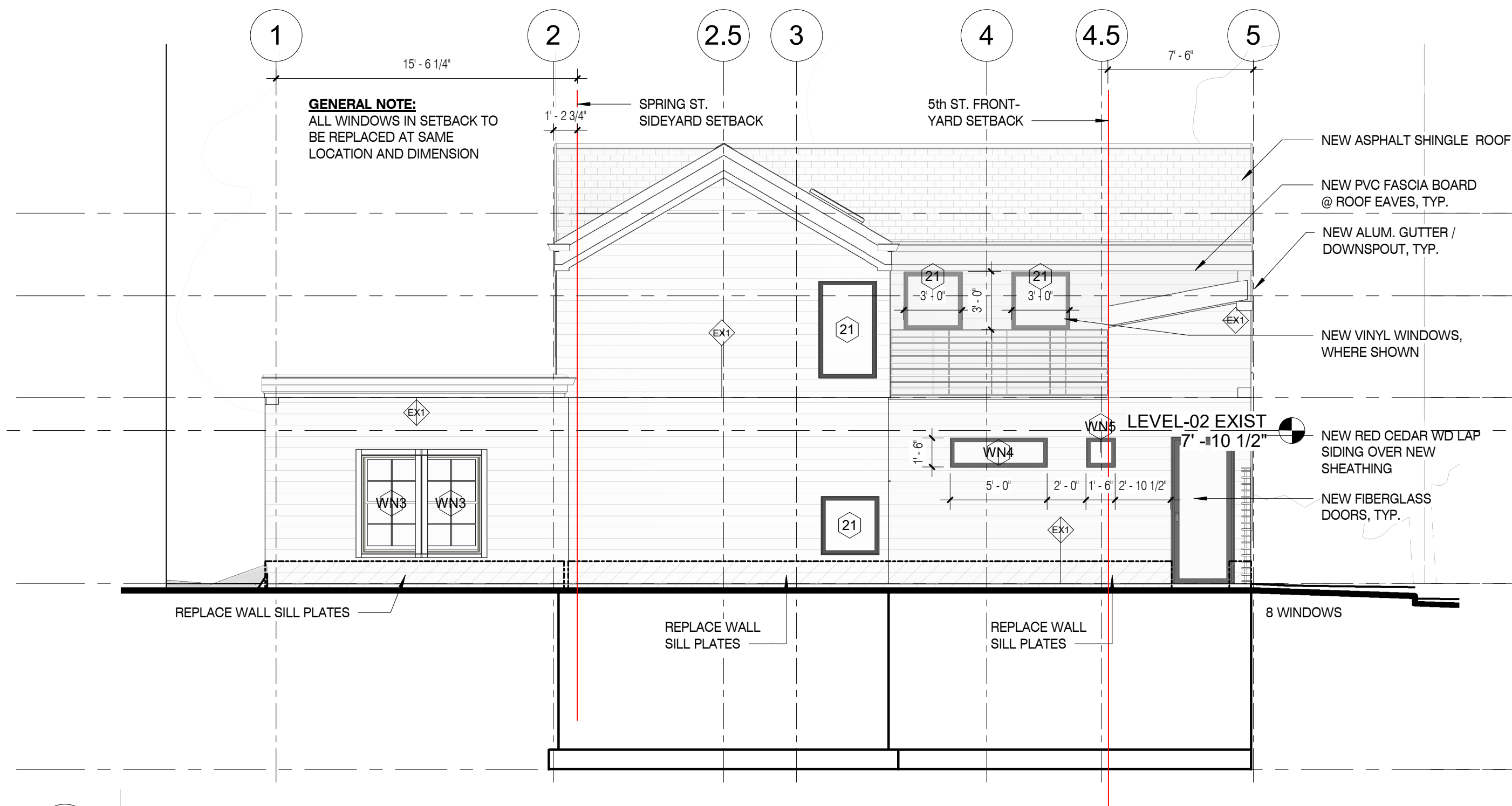
115 SPRING
RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

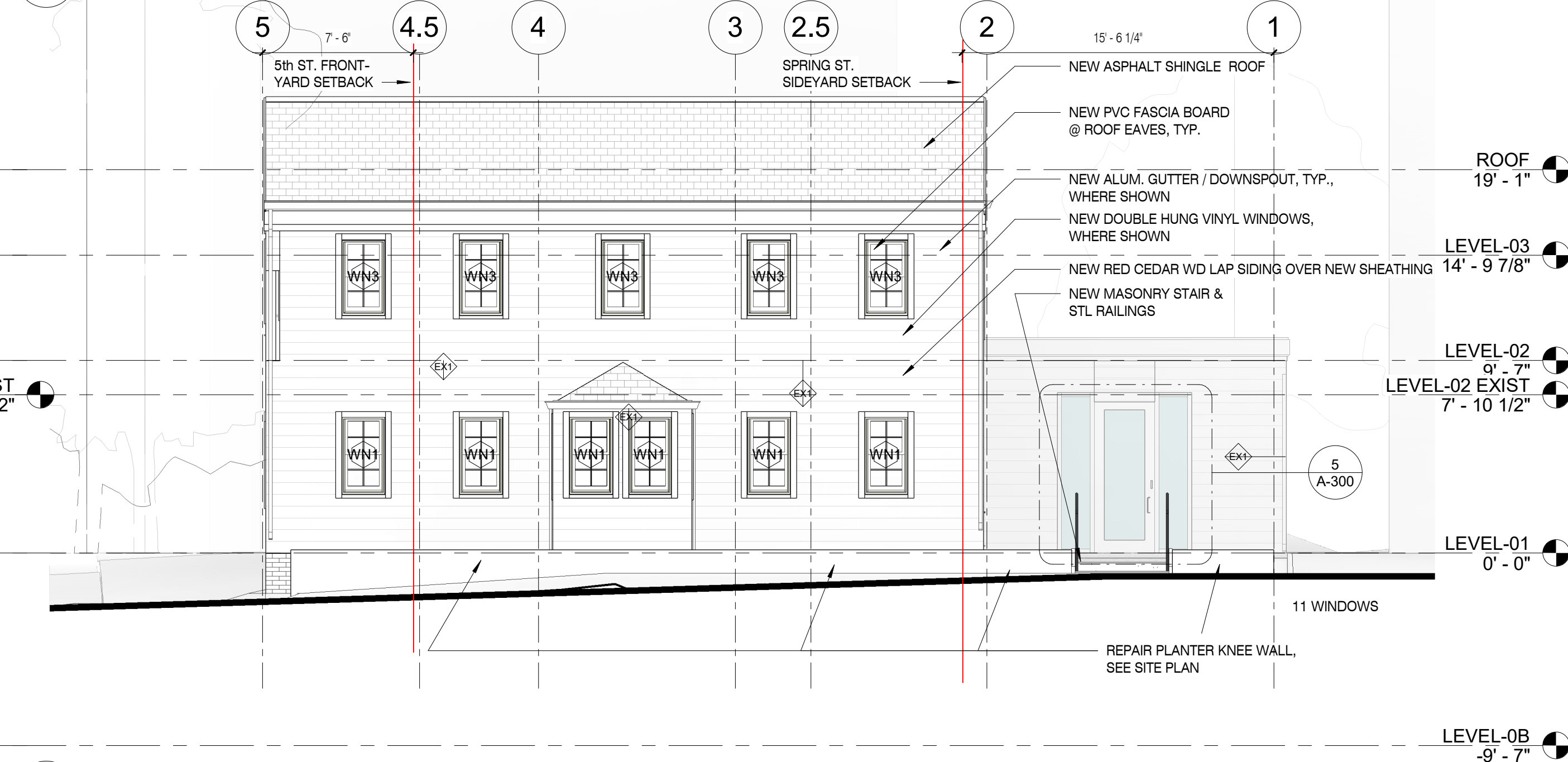
ARCHITECT

Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IOCODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

4 A300_SIDEYARD ELEVATION ETR

3/16" = 1'-0"



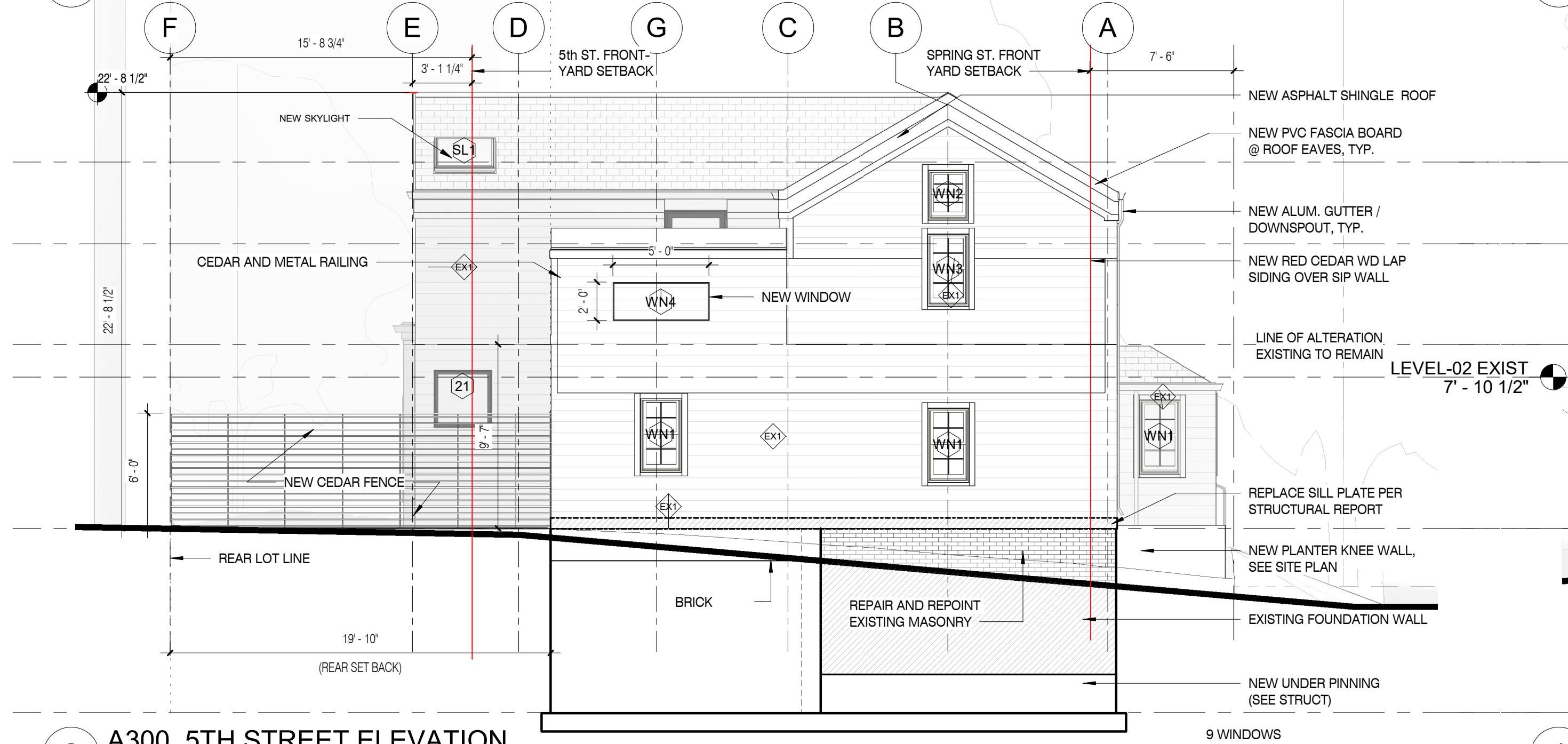
1 A300_SPRING STREET ELEVATION

3/16" = 1'-0"

WINDOW SCHEDULE							
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width	Phase Created
51	LEVEL-01	WN4	Instance-Window-Fixed		24" x 60"	2' - 0"	B20 - Exterior Enclosure
77	LEVEL-01	WN5	Instance-Window-Fixed		18" X 18"	4' - 0"	B20 - Exterior Enclosure
LEVEL-02							
48	LEVEL-02	21	Instance-Window-Fixed		36" x 72"	4' - 0"	B20 - Exterior Enclosure
55	LEVEL-02	21	Instance-Window-Fixed		36" x 72"	4' - 0"	B20 - Exterior Enclosure
29	LEVEL-02	21	Instance-Window-Fixed		36" x 72"	4' - 0"	B20 - Exterior Enclosure
21	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
22	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
23	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
24	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
25	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
26	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
27	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
28	LEVEL-02	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure
69	LEVEL-02	WN4	Instance-Window-Fixed		24" x 60"	2' - 0"	B20 - Exterior Enclosure
70	LEVEL-02	WN4	Instance-Window-Fixed		24" x 60"	2' - 0"	B20 - Exterior Enclosure
LEVEL-03							
17	LEVEL-03	WN2	Pella DH Architect Series 1985		2430	2' - 6 3/4"	B20 - Exterior Enclosure
16	LEVEL-03	WN2	Pella DH Architect Series 1985		2430	2' - 6 3/4"	B20 - Exterior Enclosure
54	LEVEL-03	WN3	Pella DH Architect Series 1985		2638	3' - 8 3/4"	B20 - Exterior Enclosure

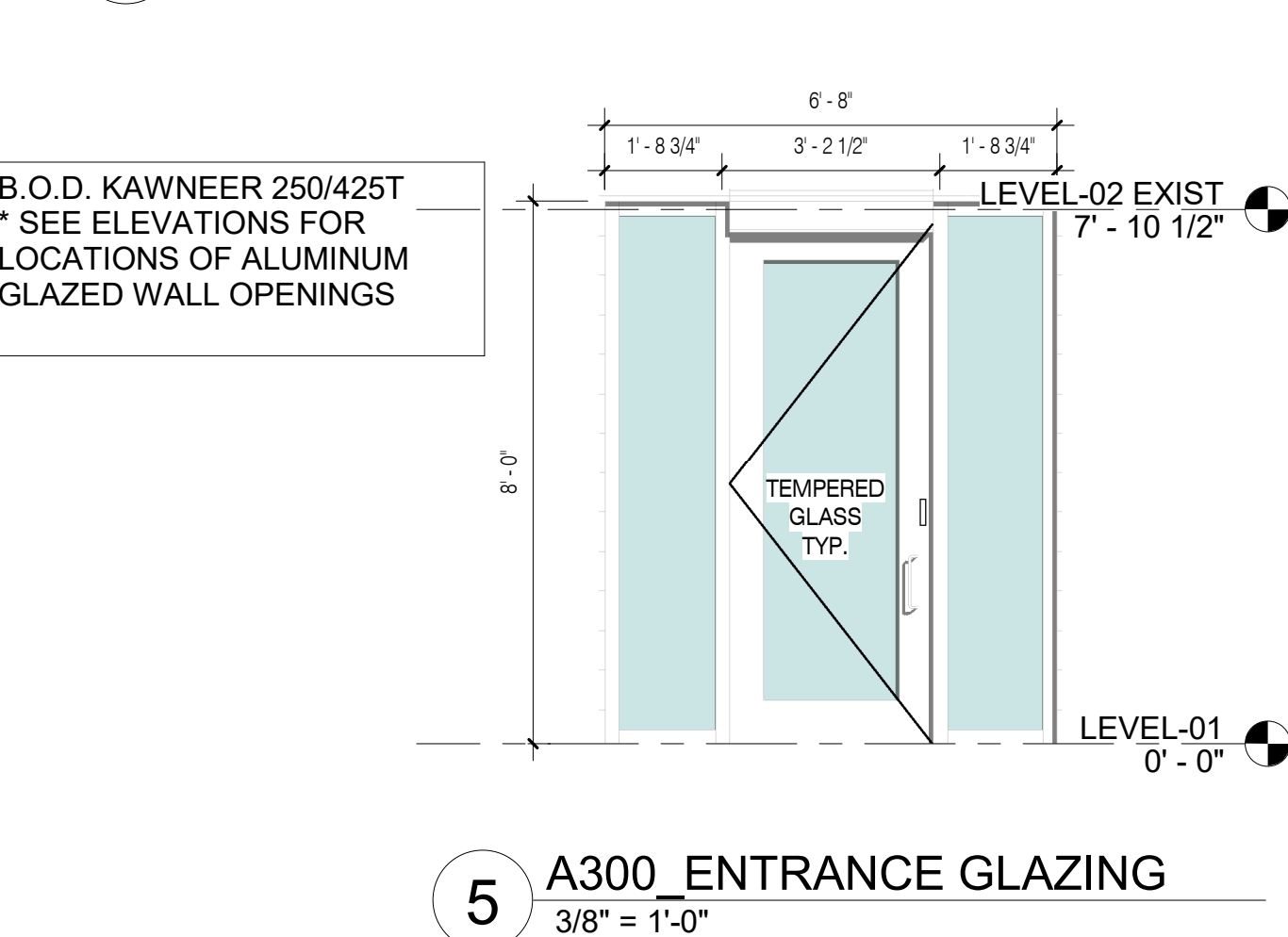
3 A300_REAR YARD ELEVATION

3/16" = 1'-0"



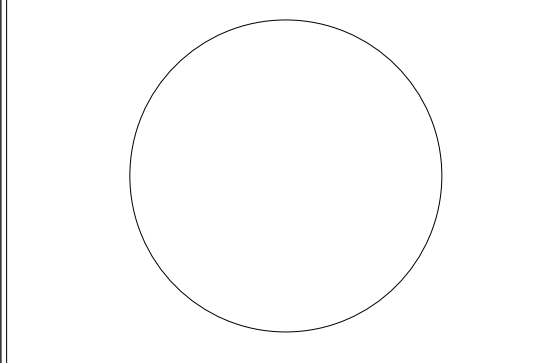
2 A300_5TH STREET ELEVATION

3/16" = 1'-0"



WINDOW SCHEDULE							
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width	Phase Created
LEVEL-0B							
3	LEVEL-0B	WN10	Pella DH Architect Series 1985		2046	3' - 10"	B20 - Exterior Enclosure
4	LEVEL-0B	WN10	Pella DH Architect Series 1985		2046	3' - 10"	B20 - Exterior Enclosure
5	LEVEL-0B	WN10	Pella DH Architect Series 1985		2046	3' - 10"	B20 - Exterior Enclosure
LEVEL-01							
45	LEVEL-01	21	Instance-Window-Fixed		36" x 72"	4' - 0"	B20 - Exterior Enclosure
36	LEVEL-01	21	Instance-Window-Fixed		36" x 72"	4' - 0"	B20 - Exterior Enclosure
56	LEVEL-01	SL1	Window-skylight-VELUX FS-deck mounted-fixed		M02	3' - 0 1/2"	B20 - Exterior Enclosure
6	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
7	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
8	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
9	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
10	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
11	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
12	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
13	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
14	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
15	LEVEL-01	WN1	Pella DH Architect Series 1985		2646	3' - 10"	B20 - Exterior Enclosure
68	LEVEL-01	WN3	Pella DH Architect Series 1985		3660	5' - 0 3/4"	B20 - Exterior Enclosure
19	LEVEL-01	WN3	Pella DH Architect Series 1985		3660	5' - 0 3/4"	B20 - Exterior Enclosure
49	LEVEL-01	WN4	Instance-Window-Fixed		24" x 60"	2' - 0"	B20 - Exterior Enclosure
58	LEVEL-01	WN4	Instance-Window-Fixed		24" x 60"	2' - 0"	B20 - Exterior Enclosure

REGISTRATION



SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale As indicated

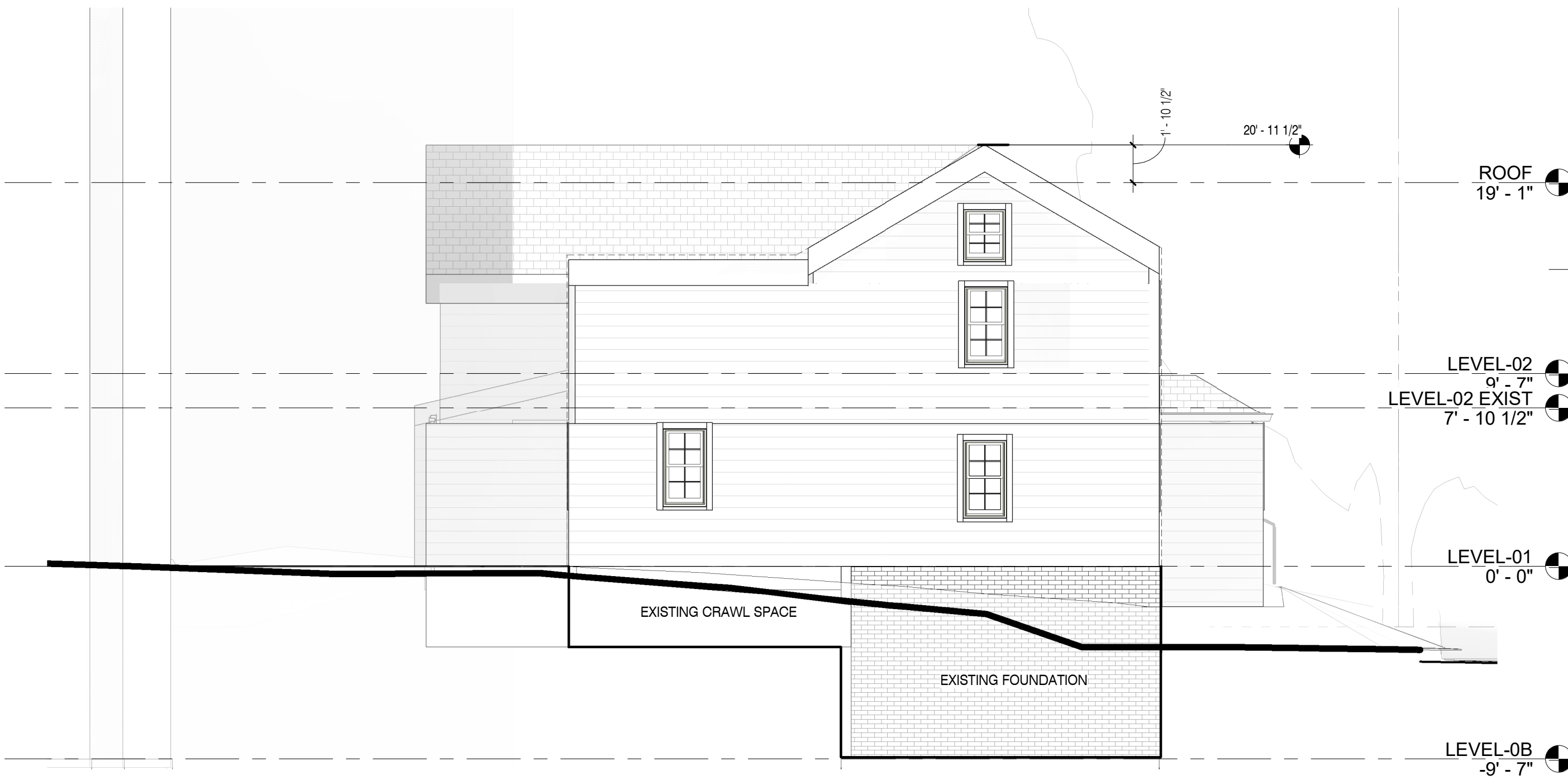
REVISIONS

No.	Description	Date

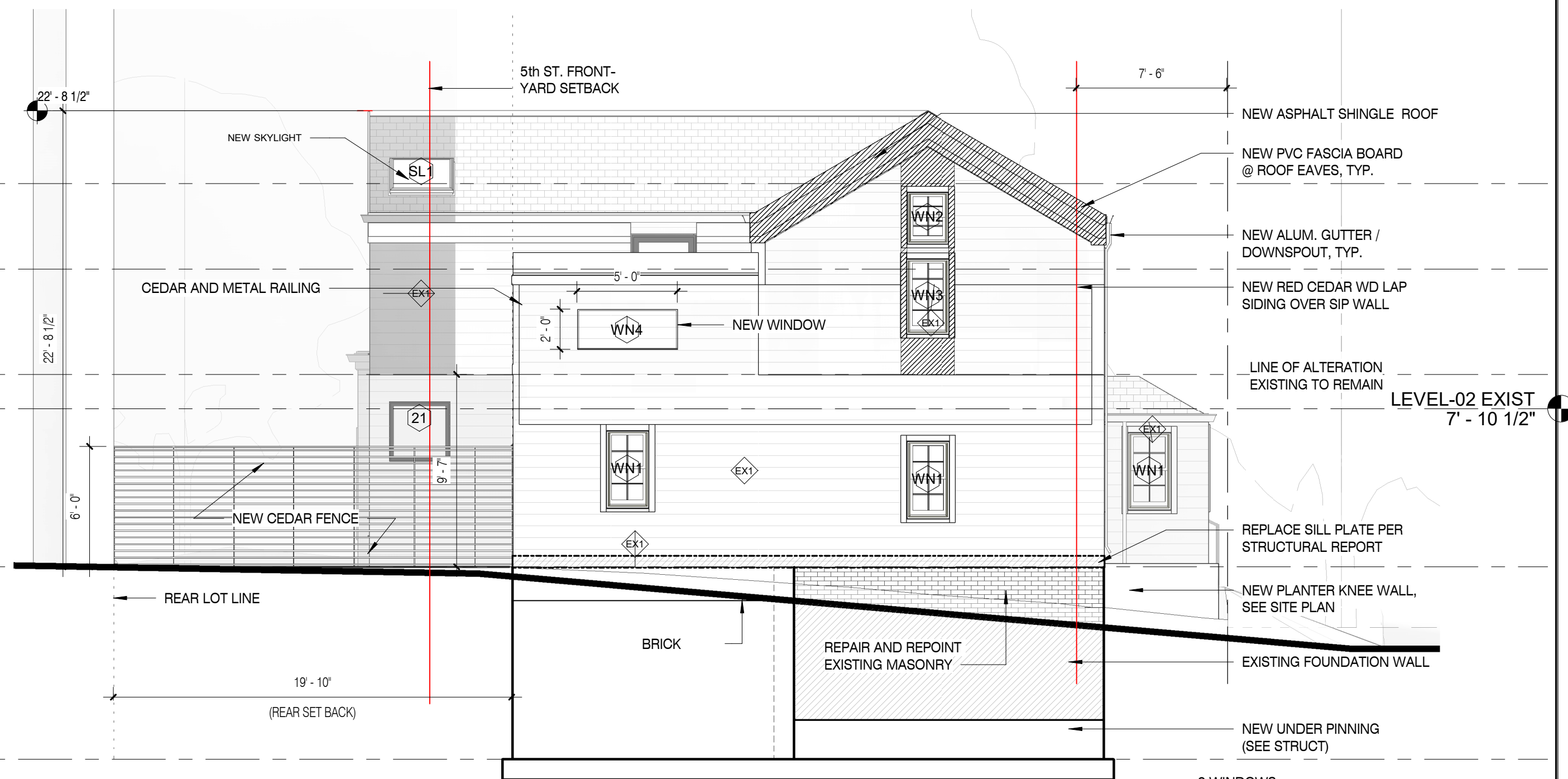
ELEVATIONS

A-300

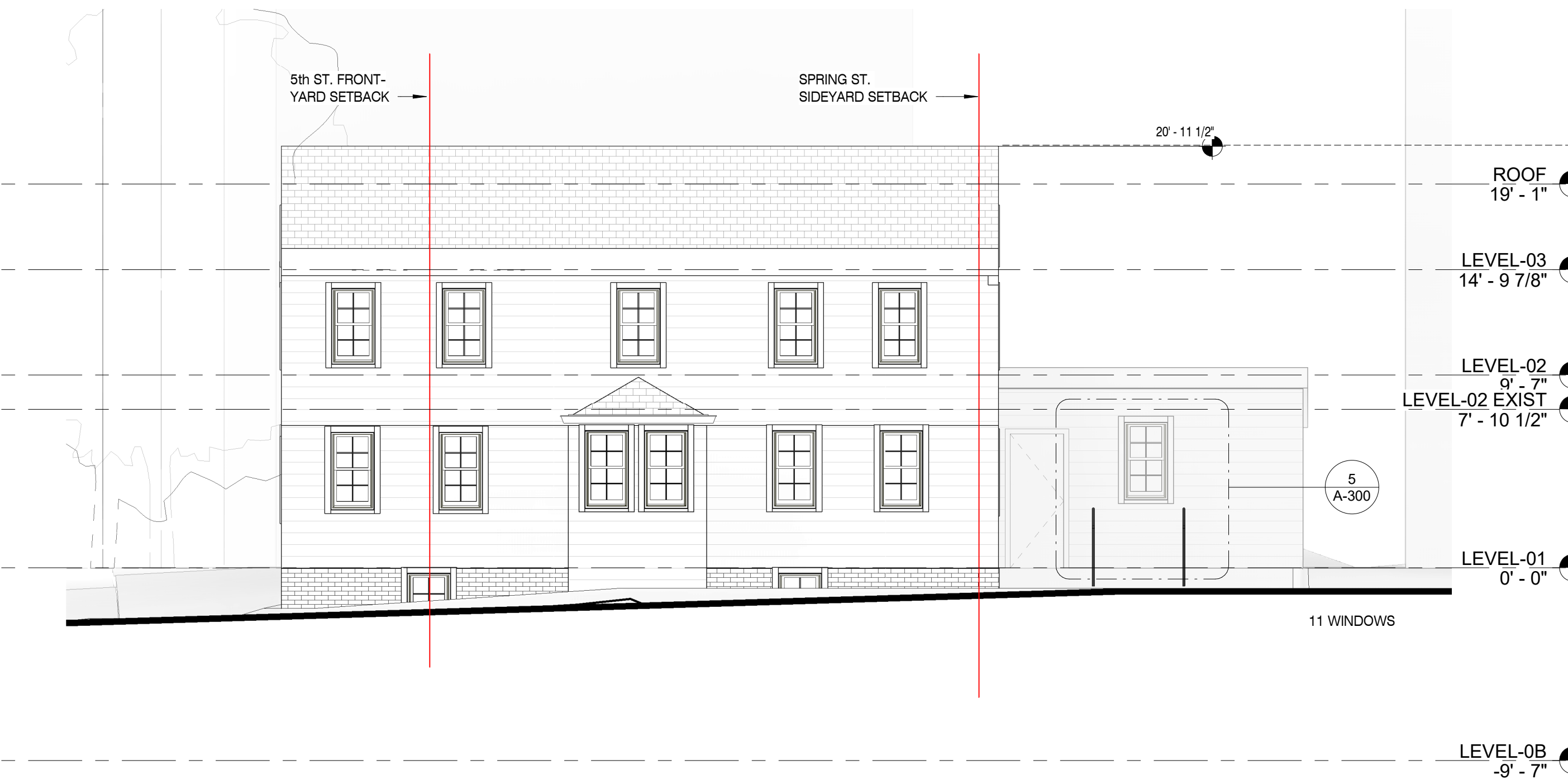
115 SPRING STREET



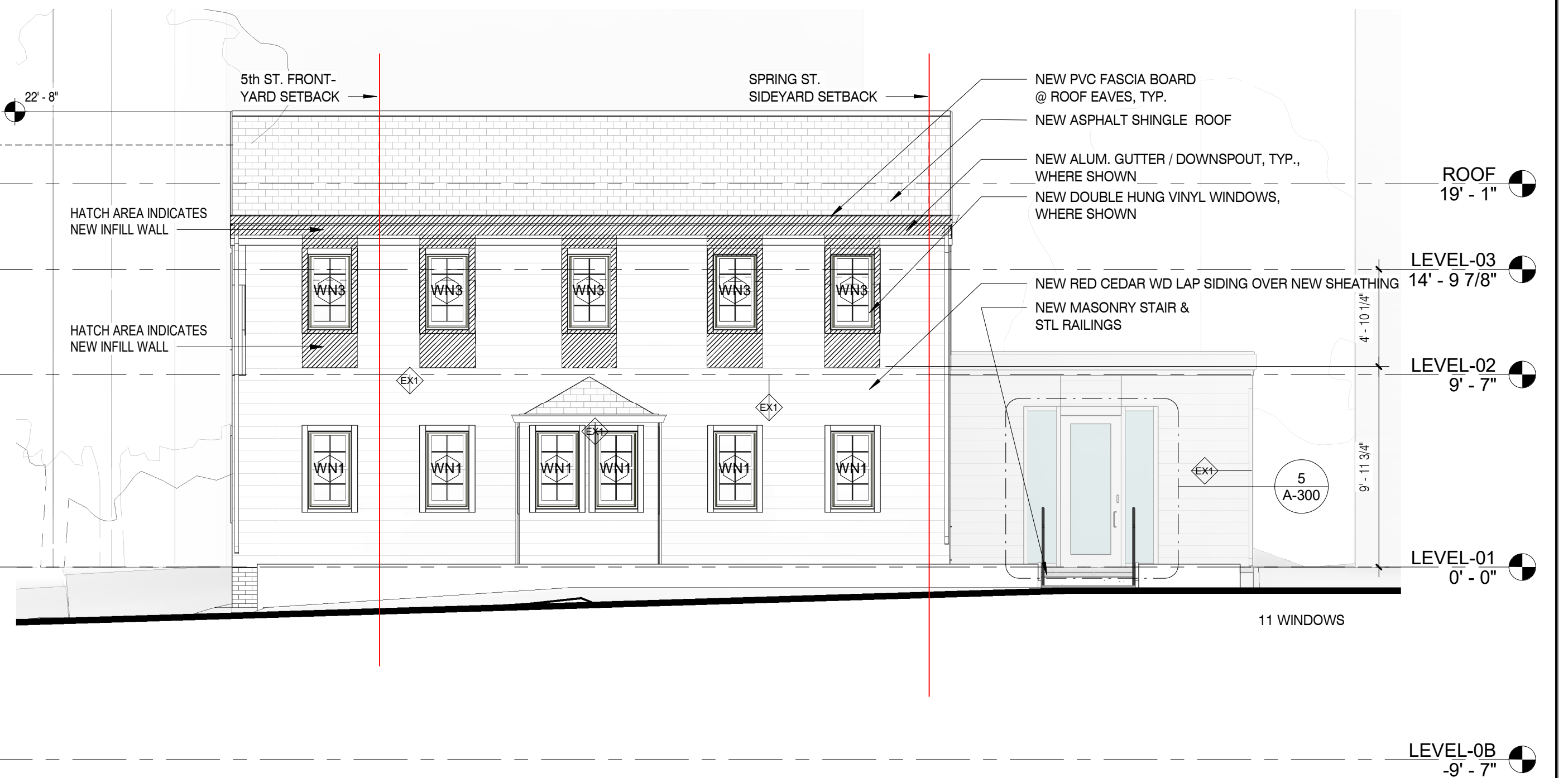
3 A301_EXISTING 5TH STREET ELEVATION
3/16" = 1'-0"



1 A301_5TH STREET ELEVATION MODIFICATIONS
3/16" = 1'-0"



4 A301_SPRING STREET ELEVATION MODIFICATIONS Copy 1
3/16" = 1'-0"



2 A301_SPRING STREET ELEVATION MODIFICATIONS
3/16" = 1'-0"

PROJECT NAME
**24 GOULD ST.
REDEVELOPMENT**

PROJECT ADDRESS:
24 GOULD STREET READING,
MA 01867

ARCHITECT
Olinger Architects

281 CONCORD AVE
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CONSULTANTS
CIVIL ENGINEER
SHERWOOD CONSULTING
& DESIGN, LLC
26 Smith Place, Suite 2
Cambridge, MA 02138
direct: (617) 682-890

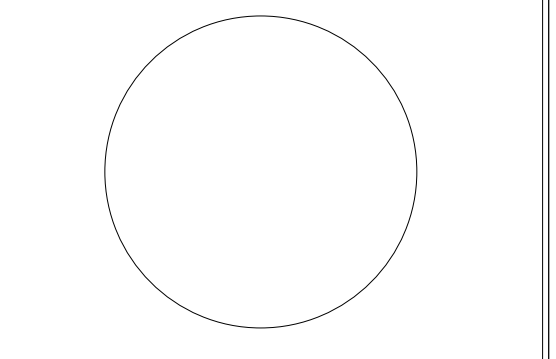
LANDSCAPE ARCHITECT
VERDANT LANDSCAPE
ARCHITECTURE
318 Harvard St. Suite 25,
Brookline, MA 02446
(617) 735-1180

STRUCTURAL ENGINEER
DM BERG ASSOCIATES
100 Crescent Rd #1A,
Needham, MA 02494
(781) 444-5156

**MECHANICAL/ELECTRICAL
/PLUMBING ENGINEER**
ZADE ASSOCIATES
140 Beach St,
Boston, MA 02111
(617) 338-4406

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(508) 397-8417

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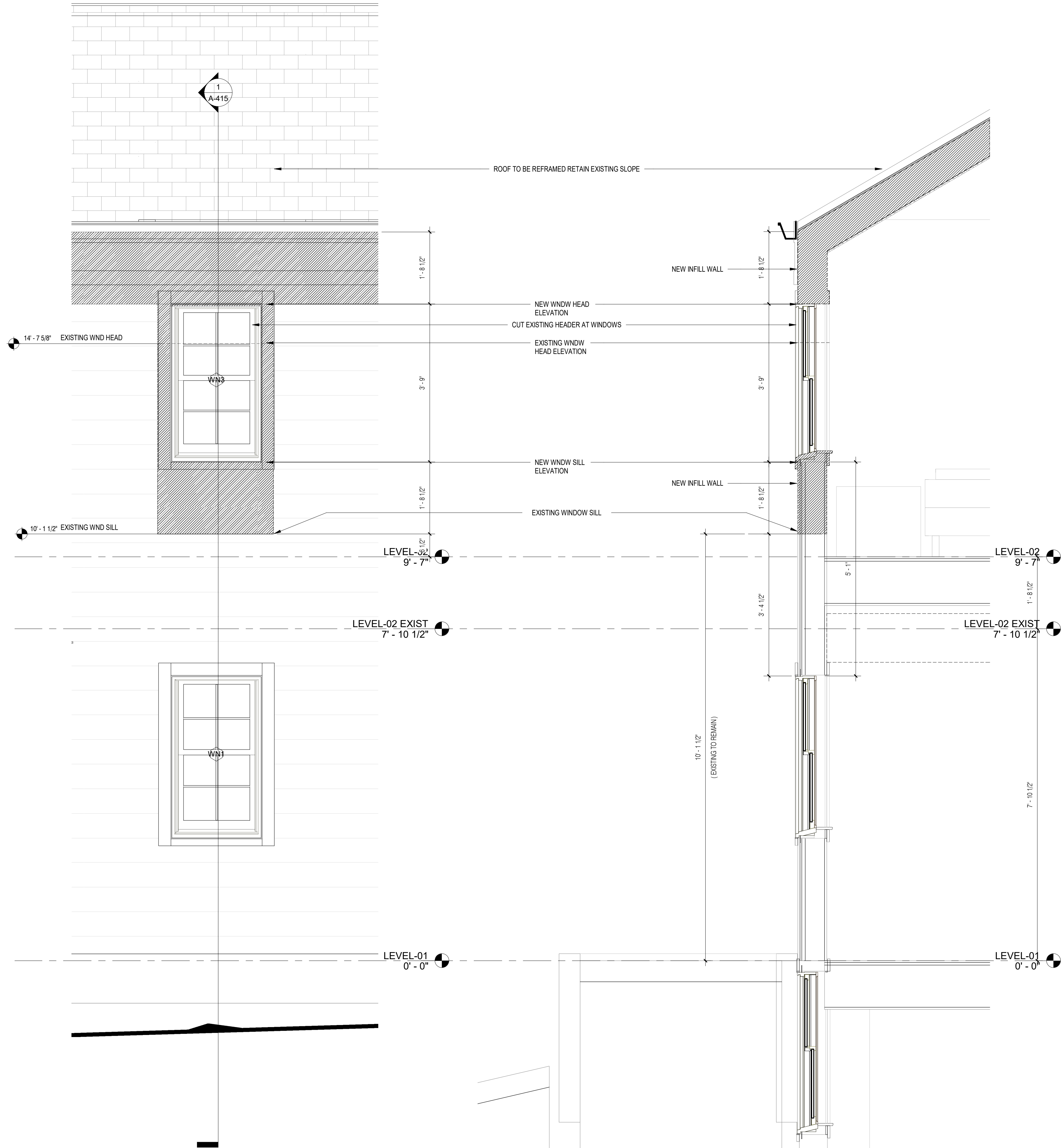
Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale 3/16" = 1'-0"

REVISIONS		
No.	Description	Date

**ELEVATION
COMPARISON**

A-301

115 SPRING STREET



3 A415_ELEVATION DETAIL
3/4" = 1'-0"

1 A415_WALL SECTION DETAIL
3/4" = 1'-0"

PROJECT NAME

24 GOULD ST.
REDEVELOPMENT

PROJECT ADDRESS:

24 GOULD STREET READING,
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ARCHITECT

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CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

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SHERWOOD CONSULTING
& DESIGN, LLC
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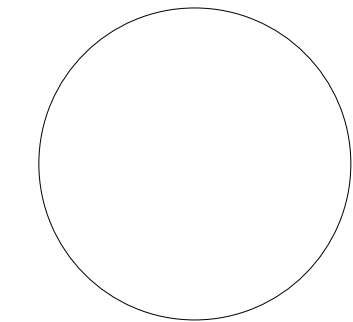
LANDSCAPE ARCHITECT
VERDANT LANDSCAPE
ARCHITECTURE
318 Harvard St. Suite 25,
Brookline, MA 02446
(617) 735-1180

STRUCTURAL ENGINEER
DM BERG ASSOCIATES
100 Crescent Rd #1A,
Needham, MA 02494
(781) 444-5156

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/PLUMBING ENGINEER**
ZADE ASSOCIATES
140 Beach St,
Boston, MA 02111
(617) 338-4406

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(508) 397-8417

REGISTRATION



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Scale	3/4" = 1'-0"

REVISIONS

No.	Description	Date

BUILDING SECTIONS

A-415

115 SPRING STREET



