

Date:

CITY OF CAMBRIDGE **MASSACHUSETTS BOARD OF ZONING APPEAL** 831 MASSACHUSETTS AVENUE CAMBRIDGE, MA 02139 617 349-6100

BZA APPLICATION FORM

Plan No:

BZA-017128-2019

GENERAL INFORMATION

The undersigned hereby petiti	ons the Board of Zoning Appeal for the following:
Special Permit :	Variance : Appeal :
PETITIONER: 1160 Mas	s Ave Inc (d/b/a Kung Fu Tea) - C/O Megan M. Kemp, Esq.
PETITIONER'S ADDRESS :	48 Grove Street, Suite 304 Somerville, MA 02144
LOCATION OF PROPERTY :	1160 Massachusetts Ave Cambridge, MA 02138
TYPE OF OCCUPANCY :	ZONING DISTRICT: Residence C-2B Zone
REASON FOR PETITION :	
Chang	e in Use / Occupancy
DESCRIPTION OF PETITIONER	R'S PROPOSAL :
and Olive) into a fast building is located in	Jse Variance to convert an existing retail (alcohol) shop (Salt order food establishment (Kung Fu Tea, bubble tea). As the a residential zone, the various uses in the building, all require ated directly among the various businesses in the Harvard Square
SECTIONS OF ZONING ORDIN	ANCE CITED:
Article 4.000	Section 4.35.0 (Fast Order Food Establishment).
Article 11.000	Section 11.30 (Fast Order Food Establishment).
	Original Signature(s) : (Pettioner(s) / Owner) Megan M. Kemp, Esq. // Adam Dash & Associates (Print Name)
	Address: 48 Grove Street, Suite 304 Somerville, MA 02144
	Tel. No. : 617-625-7373
	E-Mail Address : kemp@adamdashlaw.com
Date: May 28, 2019	1/10/19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 1154-1166 MASS. AVE. LLC
(OWNER)
Address: c/o Oriental Furniture; 68 Moulton Street, 3rd Floor, Cambridge, MA 02138
State that I/We own the property located at 3-5 Arrow Street a/k/a 1160 Mass Ave,
which is the subject of this zoning application.
The record title of this property is in the name of 1154-166 MASS. AVE. LLC
*Pursuant to a deed of duly recorded in the date $\underline{12/9/2011}$, Middlesex South
County Registry of Deeds at Book 58050 , Page 199 ; or
Middlesex Registry District of Land Court, Certificate No
Book Page
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*
*Written evidence of Agent's standing to represent petitioner may be requested.
Commonwealth of Massachusetts, County of
The above-name <u>Peter Givertzman</u> personally appeared before me, this 3 rd of <u>May</u> , 2019, and made oath that the above statement is true.
Samie Mahat . million
My commission expires Notary Seal). (Notary Seal). (Notary Seal). (Notary Seal). (Notary Seal). (Notary Seal). (Notary Seal).
• If ownership is not shown in recorded deed, e.g. if by court of the state of the

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
 - A literal enforcement of the Ordinance would be a substantial hardship to the petitioner because this property contains mostly non-conforming retail oriented businesses, including other food and fast order food establishments, all of which are prohibited by the Residence C-2B zoning classification. The adjacent streets and businesses on both Mass Ave and Arrow Street are a commercial/retail corridor which is incompatible with the residential uses that would otherwise be allowed. As a result, any use compatible current neighborhood necessitates a variance from the Ordinance
- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:
 - The hardship is owing to the pre-existing non-comforming building uses and setbacks that predate zoning and are not practical for the allowed residential uses.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

- 1) Substantial detriment to the public good for the following reasons:
 - Desirable relief may be granted without substantial detriment to the public good as the Variance requested is for a use that is in keeping with the current non-conforming commercial uses in the building. Additionally, the proposed use for a bubble tea establishment fits with some of the neighboring other food retail uses in the building and is compatible with the overall retail corridor.
- Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:
 Granting this relief will not derogate from the intent or purpose of the Ordinance as is will maintain the current non-conforming commercial nature of the building and the surrounding area. The proposed use will fit with the requirements for fast order food establishments. It is geared towards pedestrian traffic rather than vehicular and will be complimentary to its neighboring businesses.
- tely life You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Adam Dash & Associates PRESENT USE/OCCUPANCY: retail/alcohol retail

LOCATION: 1160 Massachusetts Ave Cambridge, MA 02138 ZONE: Residence C-2B Zone

fast order food PHONE: **REQUESTED USE/OCCUPANCY: EXISTING** REQUESTED **ORDINANCE CONDITIONS CONDITIONS** REQUIREMENTS 8474 8474 5122 TOTAL GROSS FLOOR AREA: (max.) 2927 2927 n/a LOT AREA: (min.) 2.9 2.9 1.75 RATIO OF GROSS FLOOR AREA (max.) TO LOT AREA: 2 n/a n/a n/a LOT AREA FOR EACH DWELLING UNIT: (min.) 51 ft 51 ft 55 ft SIZE OF LOT: WIDTH (min.) 81.75 ft 81.75 ft n/a DEPTH 0 0 10 ft SETBACKS IN FEET: FRONT (min.) 0 0 20 ft REAR (min.) 0 0 h+1/5 LEFT SIDE (min.) 0 0 h+1/5 RIGHT SIDE (min.) 33 ft +/-33 ft +/-45 ft SIZE OF BLDG .: HEIGHT (max.) 32 ft 32 ft n/a LENGTH 78 ft 78 ft n/a WIDTH >30% >30% 30% RATIO OF USABLE OPEN SPACE (min.) TO LOT AREA: 0 NO. OF DWELLING UNITS: 0 4.8 (max.) n 0 0 NO. OF PARKING SPACES: (min./max) 0 0 0 NO. OF LOADING AREAS: (min.) 0 0 0 DISTANCE TO NEAREST BLDG. (min.) ON SAME LOT:

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

No exterior/dimensional changes, only a change to the use in one space in the building, approx 826 sq. ft.

- 1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5')
 DIVIDED BY LOT AREA.
- OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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2019 SEP 11 AM 11: 08

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	Original Signat	ure(s) : _	
			(Petitioner(s) / Owner)
11			Megan M. Kemp, Esq // Adam Dash & Associates
			(Print Name)
	Ad	dress:	48 Grove Street, Suite 304
		-	Somerville, MA 02144
	Те	l. No. :	617-625-7373
		Mail Address	kemp@adamdashlaw.com
Date: May 28, 2019 9/	10/19		

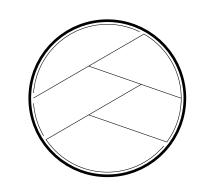
C.K. YU, RA
PEOPLE ARCHITECTS
128 LINCOLN ST, SUITE. 110, BOSTON, MA 02111
(857) 233-5318

PYU@PEOPLE-ARCHITECTS.COM

CUS MAP			
Boston iPhone Repair •	(A)	8 1///	
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Andre	Hair Salon	Belly Dance with	Seyyide
Cafe Pamplona		7	1110
1 1 1	and Spa	Old Cambridge	/ / 11 1 2 2 2
Sasha Salon	and Spa	Baptist Church	Ikeda Center
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of Arrows			
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Arrow	a		
	libets Jinten, (
	Meditation Supply)	1160 Massachusetts Avenue	
The Church of St. Paul		• \ , \ // //	
<i>-</i>	Delaise o	eken's Wassachusers Arows) \ \
Harvard		Valles 1 Schille	4.4
plic Center	Nyx Gallery Q	CHE CHE	Hotel Veritas
	ICHOM PJA Advertising + Marketing	Arrow St 746	
	Axiom Learning - Cambridge		
	Gambridge	OBERON - American	
Mta		Repertory Theater	Boston B
Mt Auburn St		Follow the Honey 😜	× / / / .
	Your Hair Salon	///// / * >	0 1 9
	* \		Salon Bel
		Karma Yoga & Karm	Studio na Gym Salon Bel
	8		"Gogs

	PROJECT INFORMATION		
	BUILDING ADDRESS	3-5 ARROW ST., CAMBRIDGE, MA 02138	
	PROJECT ADDRESS	1160 MASSACHUSETTS AVE., CAMBRIDGE, MA 02138	
	MAP/LOT	133-20	
	BUILDING OWNER	1154-1166 MASS AVE, LLC C/O ORIENTAL FURNITURE 68 MOULTON ST 3RD FL CAMBRIDGE MA 02138	
Hayaras	TOTAL BUILDING AREA	7,956 SF +/-	
	PROJECT AREA	826 SF +/-	
ST -	WORK AREA	10.38%	
C-PR	ZONING DISTRICT	C-2B: RESIDENCE C-2B	
	ZONING DISTRICT OVERLAY	HARVARD SQ OVERLAY DISTRICT	
10:2	USE	EXISTING	PROPOSED
3 - 7		(4.35) RETAIL BUSINESS AND CONSUMER SERVICE ESTABLISHMENTS: STORE FOR RETAIL SALE OF MERCHANDISE	(4.35)RETAIL BUSINESS AND CONSUMER SERVICE ESTABLISHMENTS: FAST ORDER FOOD ESTABLISHMENT
	10.31	A VARIANCE FROM THE SPECIFIC REQUIREMENTS OF THIS ORDINANCE, INCLUDING VARIANCES FOR U STRUCTURE.	ISE, MAY BE AUTHORIZED BY THE BOARD OF ZONING APPEAL WITH RESPECT TO PARTICULAR LAND OR
F-1-21			

	FLOOR LEVEL	EXISTING			PROPOSED					REMARKS
ASSIFICATION	FIRST	GROUP M - RETAIL			GROUP B: RES	STAURANT				GROUP B WITH OCCUPANT LOAD < 50 PER 303
2015 CH.8 - INTERIOR FINISHES	803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY	OCCUPANCY GROUP		STAIRWAYS AND (IT PASSAGEWAY)	EOD EVIT ACC	ND ENCLOSURE		OOMS AND ENC	LOSED SPACES	BUILDING WITH SPRINKLER SYSTEM. CLASS A 0-25, SDI 0-450. CLASS B: FSI 26-75, SDI 0-450. CLASS C: FSI 76-200, SDI 0-450.
		В		Α		В		(
2015 CH.9 - FIRE PROTECTION TEMS	903 AUTOMATIC SPRINKLER SYSTEMS	OCCUPANCY	REQUIRED			PROVIDED				
12.110		В		NO				NO		_
	907 FIRE ALARM AND DETECTION SYSTEMS	В		NO				YES		_
2015 CH.10 - MEANS OF EGRESS	1004.1.2 MAXIMUM FLOOR AREA									
2013 CH. 10 - MEANS OF EGRESS	ALLOWANCES PER OCCUPANT	OCCUPANCY	40051451	FUNCTION OF			AREA	OCCU	PANT LOAD	SEATING AREA: 204/15 = 13.6 = 14
			ASSEMBI FIXED SEA		NCONCENTRATEI 28 LF) 20	04 SF		14	BENCH SEATING: (28x12)/24 = 14
			FIXED SEA	KITCHEN, COMI		3	— 50 SF		2	BOH, FOH: 350/200 = 1.75 = 2
		B: RESTAURANT		STORAGE/N			14 SF		1	STORAGE: 44/300 = 0.14 = 1
					AL CALCULATED				31	_
					RESTAURANT SE	ATING			16	_
	1005 MEANS OF EGRESS SIZING		PROPOSED OCCUPAI	NT LOAD			TOT	AL WIDTH (INCHE	ES)	
			В			STAIRWAYS		OTHER E	EGRESS	
			31			×	(0.3		X0.2	
						9	9.3		6.2	
	1017.2 EXIT ACCESS TRAVEL DISTANCE	MAXIMUM TRAVEL DISTANCE						200'		WITHOUT SPRINKLER SYSTEM
								200		
CMR	10.10 PLUMBING FIXTURES	BUILDING CLARIFICAITON		ilet		nals		Lavatorie	es	
		RESTAURANT	· · · · ·	M 60	50%		1:20	M 0 1:200		
		PROPOSED	1 1	1 Require		Required	1.20	1.200	Required	16 SEATS AND 3 EMPLOYEES
		OCCUPANT LOAD: 19	1	1 Provide		Provided	1	1	Provided	
	10.10.(18).(B).(2).(C) ASSEMBLY DEDICATED)	IN RESTAURANTS, PUBS AND NIGHTCLUBS WHERE THE TOTAL COMBINED NUMBER OF EMPLOYEES AND PATRONS THAT CAN BE ACCOMMODATED AT ANY ONE TIME IS 20 INDIVIDUALS AND THE TOTAL GROSS SPACE IS LESS THAN 2,000 SF, ONE GENDER NEUTRAL, HANDICAPPED ACCESSIBLE TOILET FACILITY FOR USE BY BOTH EMPLOYEES AND THE PATRONS SHALL MEET THE MINIMUM FIXTURE REQUIREMENTS OF 248 CMR.								
	10.10.(1).(A) INDIRECT WASTES REQUIRED FOR FOOD HANDLING	1. REFRIGERATORS, REFRIGERATOR COILS, WALK-IN FREEZERS OR COOLERS, ICE COMPARTMENTS, ICE MAKING MACHINES, STEAM KETTLES STEAM TABLES, POTATO PEELERS, EGG BOILERS, COFFEE URNS, COFFEE, SODA AND BEVERAGES TRAYS AND ALL SIMILAR TYPES OF							5,	
	ESTABLISHMENTS	ENCLOSED EQUIPMENT 2. DISHWASHING PRE-PRINSE	DISHWASHING PRE-PRINSE SINKS INSTALLED IN COMBINATION WITH COMMERICAL DISHWASHER.							
		3. SINGLE COMPARTMENT CU					PARTME	ENTS SPECIFICA	LLY DESIGNATE	
		AND LABELED FOR PRODUCE PROPERLY TRPPED AND VEN	PREPARATION SHALL							
1 CMR	3.3 EXISTING BUILDING	[3.3.1] IF THE WORK BEING PE CAMBRIDGE ASSESSING = \$2 BUILDING = \$210,765.9. 30% = [3.3.1.A] IF THE WORK COSTS [3.3.1.B] IF THE WORK COSTS ADDITION, AN ACCESSIBLE PLAND DRINKING FOUNTAINS AI [3.3.2] IF THE WORK PERFORM BUILDING THE ENTIRE BUILDI [3.3.3] ALTERATION BY A TENA ALTERATIONS, RECONSTRUC WILL TRIGGER COMPLIANCE [17.2] 5% OF THE TABLES SHAREQUIRED, 1 PROVIDED. [17.2.2] 36 INCH ACCESS AISLI [17.2.3] CLEAR FLOOR SPACE SPACE BY MORE THAN 19 INC [17.2.4] IF SEATING FOR PEOF INCHES WIDE AND 19 INCHES [17.2.5] THE TOPS OF TABLES [17.3] AT COUNTER WHERE FOR ACCESSIBLE, ON AN ACCESS [17.4] AT COUNTERS EXCEED STOOLS OR STANDING AT THACCESSIBLE TABLES WITHIN CMR 17.2.4 AND 17.2.5. [30.1.1] THE INSTALLATION OF	,030,500. RATIO OF THE \$63,229.77. LESS THAN \$100,000.00 \$100,000.00 OR MORE JBLIC ENTRANCE AND RE PROVIDED) SHALL MED, INCLUDING THE ENGIS REQUIRED TO COUNT DO NOT TRIGGER STION, REMODELING, FWITH 521 CMR IN AREALL BE ACCESSIBLE, BUT BE ACCESSIBLE, BUT DO NOT TRIGGER (30X48) SHALL BE PROVIDED (30X48) SHALL BE PROVIDED ENGINE OF SHALL BE PROVIDED BUT OF SHALL BE PROVIDED OF SHALL BE	HE SQUARE FOOTA OO, THEN ONLY TH THEN THE WORK O AN ACCESSIBLE ALSO BE PROVIDIG EXEMPTED WORK COMPLY WITH 521 THE REQUIREMEN REPAIRS, CONSTR AS OF PUBLIC USE E ON AN ACCESSI D BETWEEN ALL A OVIDED AT EACH S IS PROVIDED AT T VIDED. LL BE FROM 28 INC JT THERE IS NO SI COMPLIANCE WITH GHT, WHERE FOOI ON OF THE MAIN OF ACCESSIBLE POR	AGE = 10.38% AND E WORK BEING PE BEING PERFORM TOILET ROOM, TE ED IN COMPLIANC AMOUNT TO 30% CMR. ITS OF 521 CMR 3 UCTION, AND CHA E, FOR THE OWNE BLE ROUTE: TOTA CCESSIBLE TABLE BEATING SPACE. S ABLES OR COUNT CHES TO 34 INCHE ERVICE, A 60 INCH 521 CMR 17.2.5. O OR DRINK IS SEI COUNTER SHALL BE ETION SHALL BE ME	ERFORMED IS RESERVED IS REQUIRED IS REQUIRED LEPHONE, DRINING OR MORE OF THE SAME OF THE BUILD ALTABLES PROVES. NO SEATING OF THE SUCH CLEAR FLOW TERS, KNEE SPACES ABOVE THE FLOW TO THE RICH CONSIDER OF THE ROPE OF THE SEACCESSIBLE OF THE ROPE OF	FULL A EQUIREI D TO CC KING FO HE FULL FOR OTH LING W ING. TIDED = SHALL O DOR SP CES AT INISH FL HE DININ GUMPTIC DR SER' ICHES II	ND FAIR CASH V D TO COMPLY W DMPLY WITH 521 DUNTAIN (IF TOIL AND FAIR CASH HER TENANTS. H ITHIN 521 CMR 3 7 TABLES. 5% = OVERLAP THE ACACE SHALL NOT LEAST 27 INCHE LOOR OR GROUN NG COUNTER SH ON BY CUSTOME VICE SHALL BE A N LENGTH AND (TALUE OF THE ITH 521 CMR. CMR. IN ET, TELEPHONE I VALUE OF THE OWEVER, 3.3.1B AND 3.3.2, 0.35 = 1 CCESS AISLE OVERLAP KNEE IS HIGH, 30 ND. ALL BE IRS SEATED ON AVAILABLE AT COMPLY WITH 52	
ROJECT TEAM IENT - ING FU TEA 60 MASSACHUSETTS AVE, MBRIDGE, MA 02138				A-0.2: MAAB A-0.3: TYPICA EX-1.0: EXIST A-1.0: PROPC A-1.1: NEW C A-1.2: FINISH A-1.3: FFE PL A-1.4: REFLEC	GE L NOTES AND A NOTES AND TYP L DETAILS TING PLAN SED PLAN ONSTRUCTION I FLOOR PLAN	PICAL DETAILS PLAN PLAN				



PEOPLE ARCHITECTS

Architect's Seal:		
1		

DRAWN BY: MN REVIEWED BY: CKY 12/28/2018 PROGRESS DRAWING 1 01/28/2019 PROGRESS DRAWING 2 02/09/2019 PROGRESS DRAWING 3 02/11/2019 PROGRESS DRAWING 4 03/05/2019 PROGRESS DRAWING 5 03/10/2019 PROGRESS DRAWING 6 03/18/2019 PERMIT SET PROGRESS 03/24/2019 PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

KUNG FU TEA PROJECT ADDRESS

1160 MASSACHUSETS AVE, CAMBRIDGE, MA

COVER PAGE

GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS

. GENERAL CONTRACTOR IS REQUIRED TO VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING OF WORK, GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND OWNER OF ANY DISCREPANCY OR INCONSISTENCIES PRIOR TO PROCEEDING WITH THE WORK.

3. IT IS NOT THE INTENT THESE DRAWINGS AND SPECIFICATIONS TO ASSIGN RESPONSIBILITY FOR VARIOUS ASPECT OF THE WORK TO SPECIFIC SUBCONTRACTOR OR SUB-SUBCONTRACTOR. THE GENERAL CONTRACTOR HAS PRIME RESPONSIBILITY AND SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK BY ALL TRADES, INCLUDING THOSE PROVIDED AND DIRECTED BY THE OWNER, AND VERIFY THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED.

4. GENERAL CONTRACTOR AND ALL TRADES SHALL COMPLY WITH THE LATEST EDITIONS OF APPLICABLE MASSACHUSETTS BUILDING CODES, REGULATIONS AND STANDARDS.

5. GENERAL CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHER(S) AND KNOX BOX AS REQUIRED BY MASSACHUSETTS STATE BUILDING CODE AND LOCAL JURISDICTION.

6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING BLOCKING AND REINFORCEMENT ABOVE FINISHED CEILING FOR ALL SURFACE MOUNTED FOUIPMENT, FIXTURES AND FURNISHINGS AS

7.GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONDITIONS AND NEW WORK DURING CONSTRUCTION.

B. WORK SHALL NOT BE COVERED BEFORE INSPECTIONS AND APPROVALS. WORK THAT NEEDS TO BE UNCOVERED SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.

9. ALL WORK SHALL BE EXECUTED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS, BY MECHANICS SKILLED IN THE WORK AND FAMILIAR WITH THE MATERIALS TO BE INSTALLED.

10. GENERAL CONTRACTOR SHALL BE REQUIRED TO EXAMINE ROUGH-IN AND ACTUAL LOCATIONS OF MECHANICAL AND ELECTRICAL SYSTEM PRIOR TO EQUIPMENT AND FIXTURE INSTALLATION.

11. ALL NEW WORK SHALL BE PLUMB AND LEVEL.

12. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR TO UNDERTAKE WHATEVER MEASURES. METHODS OF PROCEDURES AS NECESSARY. REQUIRED OR OTHERWISE APPROPRIATE TO SAFEGUARD THE HEALTH AND SAFETY OF ALL WORKERS AND MEMBERS OF THE PUBLIC WITH RESPECT TO IDENTIFICATION AND DISCOVERY FO PREVIOUSLY UNKNOWN HAZARDOUS MATERIALS DURING THE WORK OF THE PROJECT.

13. GENERAL CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING SHOP DRAWINGS FOR FIRE ALARM SYSTEM AND SUBMITTED TO AUTHORITIES HAVING JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO SYSTEM INSTALLATION.

14. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO BIDDING THE WORK AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.

15. ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY OF ARCHITECT'S PROFESSIONAL SERVICE, AND WHAT IS CALLED FOR BY EITHER WITH BE BINDING AS IF CALLED FOR BY BOTH. WHERE NOTES AND SPECIFICATIONS ARE IN CONFLICT WITH THE ARCHITECTURAL AND ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

16. THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEFINE THE SCOPE OF THE WORK REQUIRED BUT DO NOT LIMIT THE WORK REQUIRED TO PRODUCE A COMPLETE AND WORKING SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE ALL ITEMS NOT SHOWN BUT REQUIRED TO PRODUCE A

17. ALL DIAGRAMS, FIXTURES AND FURNISHINGS ARE SHOWN FOR INFORMATION ONLY AND ARE INTENDED TO DEPICT APPROXIMATE LOCATIONS AND ARRANGEMENTS. GENERAL CONTRACTOR TO COORDINATE WITH OWNER/ARCHITECT FOR FINAL LOCATION AND SIZE.

18. NOTIFY ARCHITECT/ENGINEER OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.

19. WRITTEN DIMENSIONS AND NOTES ON DRAWINGS ARE TYPICAL FOR SIMILAR CONDITIONS.

20. ALL REPAIR AND PATCHING REQUIRED FOR THE SATISFACTORY COMPLETION OF THE PROJECT SHALL BE PERFORMED IN WORKMANLIKE MANNER TO MATCH EXISTING FINISHES.

21. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT AND COST OF FLOOR LEVELING REQUIRE FOR THE PROJECT. COST SHALL BE INCLUDED AT TIME OF BIDDING. ALL FLOORS SHALL BE LEVEL TO <1/8" IN 10'-0".

22. THE GENERAL CONTRACTOR SHALL OBTAIN ARCHITECT/ENGINEER'S APPROVAL FOR ALL SHOP DRAWINGS, PRODUCT SAMPLES, MATERIAL CHANGES AND SUBSTITUTIONS. THE GENERAL CONTRACTOR SHALL SUBMITTED TO THE ARCHITECT IN WRITING WITH MATERIAL SAMPLE, CUT SHEET, SHOP DRAWINGS AND PRODUCT INFORMATION/DATA.

23. ALL IN WALL PLUMBING, ELECTRICAL AND HVAC COMPONENTS THRU STUD WALL SHALL BE PROTECTED

24. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.

25. IN ALL BUILDINGS WHERE STRUCTURAL STEEL HAS BEEN COVERED WITH SPRAYED FIREPROOFING MATERIAL, THE CONTRACTOR IS TO PATCH AND REPAIR SAID MATERIAL WHERE IT HAS BEEN DAMAGED OR REMOVED DURING THE COURSE OF THE WORK. ANY AREAS OF FIREPROOFING WHICH ARE OBSERVED TO BE DAMAGED OR MISSING UPON COMMENCEMENT OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING WORK IN THE AREA INVOLVED.

26. WHENEVER WORK IS REQUIRED WITHIN ADJACENT OCCUPIED TENANT SPACES, OR TENANT SPACES ON THE FLOOR BELOW/ABOVE, THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE MANAGEMENT OFFICE AND TENANT(S) INVOLVED IN ORDER TO SCHEDULE THE WORK. ALL SUCH WORK IS TO BE PERFORMED DURING NON-BUSINESS HOUR AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND MOVING OF ALL FURNITURE AND EQUIPMENT AS MAY BE REQUIRED. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL DUST AND VACUUM AND RESTORE THE PREMISES TO ITS ORIGINAL CONDITION PRIOR TO THE COMMENCEMENT OF WORK.

27. WHENEVER WORK TAKES PLACE WITHIN OCCUPIED TENANT AREAS, THE CONTRACTOR IS REQUIRED TO PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS AND EQUIPMENT, AND PROVIDE TEMPORARY BARRIERS TO ISOLATE THE CONSTRUCTION AREA, EXCEPT AS MAY BE REQUIRED FOR INCIDENTAL ACCESS BEYOND THE WORK AREA.

28. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY LIGHTING AND POWER IN ALL ARES AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.

29. ELEVATORS, BUILDING LOBBIES AND PUBLIC CORRIDORS USED FOR DELIVERY AND ACCESS TO THE CONSTRUCTION SITE SHALL NOT BE USED TO TEMPORARILY STORE CONSTRUCTION MATERIAL EQUIPMENT AND DEBRIS. ANY DAMAGE THAT OCCURS IN THESE AREAS AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS BY THE GENERAL CONTRACTOR.

DEMOLITION NOTES

. ANY DEMOLITION NECESSARY FOR THE CONSTRUCTION BUT NOT NECESSARILY INDICATED ON THE DRAWINGS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.

2. IT IS NOT THE INTENTION OF THESE DRAWINGS TO FULLY OUTLINE ALL REQUIRED DEMOLITION. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE BETWEEN THE EXISTING AND PROPOSED PLANS TO DETERMINE THE COMPLETE EXTENT OF DEMOLITION.

B. UNLESS NOTED OTHERWISE, KEYED CONDITIONS IN THE PLANS ARE TYPICAL; HENCE NOT ALL RELEVANT LOCATIONS ARE KEYED.

. REMOVE ALL OBSOLETE MATERIALS AS NECESSARY AND APPROPRIATE, AND LEGALLY DISCARD IN A SAFE AND ACCEPTABLE MANNER.

5. ALL DEMOLITION DEBRIS ARE TO BE REMOVED FROM SITE. AREAS WHERE DEMOLITION OCCURRED SHALL BE LEFT IN A CLEAN AND SAFE CONDITION FOR NEW WORK.

S. GENERAL CONTRACTOR SHALL NOTIFIY AND CONFER WITH THE ARCHITECT/ENGINEER OF ALL UNFORESEEN CONDITION AND FOR CLARIFICATIONS.

UPON COMPLETION OF DEMOLITION, GENERAL CONTRACTOR SHALL CONFIRM ALL DIMENSIONS INDICATED ON THE DRAWINGS AND REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.

B. PROTECT EXISTING FINISHES, DOORS, WINDOWS, HARDWARE, LIGHT FIXTURES TO BE REMAINED IN THE PROJECT DURING DEMOLITION.

9. DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE AND ODOR MUST BE SCHEDULED WITH BUILDING MANAGEMENT AND PERFORM WITH WRITTEN APPROVAL BY BUILDING MANAGEMENT

10. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR ARE RESPONSIBLE FOR CONSULTING WITH BUILDING MANAGEMENT WHEN REMAINING CONDUITS AND CABLES THAT ARE IN USE TO AVOID SERVICE INTERRUPTION TO ALL AREA OUTSIDE OF PROJECT AREA. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR ARE RESPONSIBLE FOR REPAIR DUE TO DISRUPTION OF ANY SERVICES TO RFMAIN

GENERAL LIFE SAFETY NOTES

1. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT. THE TOP OF FIRE EXTINGUISHERS SHALL BE INSTALLED NOT MORE THAN 5'-0" ABOVE FLOOR IF WEIGHT LESS THAN 40 LBS AND NOT MORE THAN 3'-6" ABOVE FLOOR IF WEIGHT MORE THAN 40 LBS.

2. CLASS K-RATED PORTABLE EXTINGUISHERS SHALL BE PROVIDED FOR THE PROTECTION OF COOKING GREASE FIRE.

3. THE INTENT OF THIS DOCUMENT IS TO ILLUSTRATE GENERAL FIRE ALARM SYSTEM LOCATION. NATURE AND EXTENT OF THE WORK PROPOSED. DETAILED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GC OR FIRE ALARM CONTRACTOR FOR REVIEW AND APPROVAL OF AHJ PRIOR TO COMMENCEMENT OF

4. A FIRE ALARM SYSTEM SHALL ANNUNCIATE AT THE FIRE ALARM CONTROL UNIT AND SHALL INITIATE OCCUPANT NOTIFICATION UPON ACTIVATION. ACTIVATE SHALL BE BY AUTOMATIC FIRE DETECTORS, AUTOMATIC SPRINKLER SYSTEM WATERFLOW DEVICES, MANUAL FIRE ALARM BOXES AND AUTOMATIC FIRE-EXTINGUISHING SYSTEMS.

5. THE AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL PROVIDED A SOUND PRESSURE LEVEL OF 15 DECIBELS (dBA) ABOVE THE AVERAGE AMBIENT SOUND LEVEL OR 5 dBA ABOVE THE MAXIMUM SOUND LEVEL HAVING A DURATION OF NOT LESS THAN 60 SECONDS. WHICHEVER IS GREATER. IN EVERY OCCUPIABLE SPACE WITHIN THE BUILDING. THE MAXIMUM SOUND PRESSURE LEVEL FOR AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL BE 110 dBA AT THE MINIMUM HEARING DISTANCE FROM THE AUDIBLE APPLIANCES, WHERE THE AVERAGE AMBIENT NOISE IS GREATER THAN 95 dba. VISIBLE ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 72 AND AUDIBLE ALARM NOTIFICATION APPLIANCE SHALL NOT BE REQUIRED.

6. EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72. A MANUAL OVERRIDE FOR EMERGENCY VOICE COMMUNICATION SHALL BE PROVIDED ON A SELECTIVE AND ALL-CALL BASIS FOR ALL PAGING ZONES. THE EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM SHALL HAVE THE CAPABILITY TO BROADCAST LIVE VOICE MESSAGES BY PAGING ZONES ON A SELECTIVE AND ALL-CALL BASIS.

7. EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEMS SHALL BE PROVIDED WITH EMERGENCY POWER FOR A DURATION OF NOT LESS THAN 24 HOURS AS REQUIRED BY NFPA 72.

8. PROVIDE VISIBLE ALARM SHALL IN PUBLIC USE AERAS AND COMMON USE AREAS.

9. OPERATION OF A MANUAL PULL STATION SHALL ACTIVATE THE FOLLOWING SEQUENCE OF FIRE ALARM OPERATION: A) ACTIVATE THE FIRE ALARM HORN AND STROBES THROUGHOUT AND INITIATE PRERECORDED MESSAGE B) ACTIVATE INQUIRY TONE THROUGHOUT BUILDING C) DISPLAY ALARM AT THE FIRE COMMAND STATION AND AT THE REMOTE ANNUNCIATOR, D) NOTIFY FIRE DEPARTMENT VIA CENTRAL STATION, F) ACTIVATE FIRE SIGNAL AT FIRE COMMAND STATION, F) DISPLAY THE APPROPRIATE ZONE AT FIRE COMMAND STATION AND AT THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL MECHANICAL SUPPLY AND MAKE UP AIR FAN. H) SHUT DOWN ALL OTHER REQUIRED FANS. I) OPERATE ALL DOOR STRIKE RELEASE RELAYS TO OPEN LOCKED DOORS. J) OPERATE ALL DAMPER RELAYS. K) START REQUIRED SMOKE EXHAUST FANS.

10. KITCHEN EXHAUST FIRE SUPPRESSION SYSTEM CONTROL SEQUENCE SHALL BE AS FOLLOWED: A) FIRE SUPPRESSION SYSTEM ACTIVATE. B) CONTINUE OPERATION OF EXHAUST FAN. C) SHUT DOWN MAKE UP AIR FAN. D) SHUT OFF GAS VALVE. E) ACTIVATE BUILDING FIRE ALARM SYSTEM. F) SHUT DOWN ALL ELECTRICAL EQUIPMENT UNDER KITCHEN EXHAUST HOOD.

11. PANIC HARDWARE SHALL BE LISTED IN ACCORDANCE WITH UL 305

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SAMPLES AND SUBMITTALS AS REQUIRED BY THE DOCUMENT

2. ANY SUBSTITUTION, MODIFICATION AND DEVIATION OF THESE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT AND THE CLIENT IN WRITING.

3. SUBMITTAL SHALL BE MADE PRIOR TO ORDERING THE MATERIAL AND ALLOW 7 DAYS FOR REVIEW BY THE ARCHITECT AND ENGINEER.

WOOD AND PLASTICS NOTES

1. ALL LUMBER USED TO SUPPORT LOADS IN A BUILDING OR STRUCTURE IS REQUIRED TO BE PROPERLY IDENTIFIED BY A LUMBER GRADING OR INSPECTION AGENCY.

2. FIRE RETARDANT TREATED WOOD SHALL BE TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723 WITH THE FOLLOWING LABEL: A) THE IDENTIFICATION MARK OF AN APPROVED AGENCY . B) IDENTIFICATION OF THE TREATING MANUFACTURER (C) THE NAME OF THE FIRE-RETARDANT TREATMENT (D) THE SPECIES OF WOOD TREATED. E) FLAME SPREAD AND SMOKE DEVELOPED INDEX. F) METHOD OF DRYING AFTER TREATMENT. G) CONFORMANCE WITH APPROPRIATE STANDARDS IN ACCORDANCE WITH IBC 2303.2.5 -2303.2.8. H) FOR FIRE RETARDANT-TREATED WOOD EXPOSED TO WEATHER, DAMP OR WET LOCATIONS, INCLUDE THE WORDS "NO INCREASE IN THE LISTED CLASSIFICATION WHE SUBJECTED TO THE STANDARD RAIN TEST" PER ASTM D2898.

3. FOAM PLASTIC INSULATION AND FOAM PLASTIC CORES OF MANUFACTURED ASSEMBLIES SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 WHERE TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM 384 OR UL 723. EXCEPT FOR COLD STORAGE BUILDINGS, ICE PLANTS, FOOD PLANTS, FOOD PROCESSING ROOMS AND SIMILAR AREAS, FOAM PLATIC INSULATION WHERE TESTED IN A THICKNESS OF 4" SHALL BE PERMITTED IN A THICKNESS UP TO 10" WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTIO 903.3.1.1. THE APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED IN BOTH THE ROOM AND THAT PART OF THE BUILDING IN WHICH THE ROOM

4. FOAM PLASTIC INSTALLED IN A MAXIMUM THICKNESS OF 10" IN COOLER AND FREEZER WALLS SHALL MEET THE FOLLOWING: A) HAVING FSI LESS THAN OR EQUAL TO 25 AND SDI LESS THAN OR EQUAL TO 450 WHERE TESTED IN A MINIMUM 4" THICKNESS. B) HAVING FLASH IGNITION AND SELF IGNITION TEMPERATURES OF NOT LESS THAN 600F AND 800F RESPECTIVELY. C) HAVING A COVERING OF NOT LESS THAN 0.032" ALUMINUM OR CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS NOT LESS THAN 0.0160" AT ANY POINT. D) BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE APPLICABLE CODE AND STANDARDS.

TILE NOTES

1. INSTALL TILE IN AREAS INDICATED ON FINISH FLOOR PLAN.

2. SUBFLOOR PREPARATION SHALL BE COMPLETED IN ACCORDANCE WITH ANSI STANDARDS PRIOR TO TILE INSTALLATION.

3. SET AND GROUT TILE WHEN AMBIENT TEMPERATURES IS AT LEAST 50 AND RISING, ALL JOINTS AND

4. SUBSTRATE PREPARATION SHALL INCLUDE REMOVAL OF PROTRUSIONS , BUMPS AND RIDGES BY GRINDING OR CHIPPING. REPAIR, FILL AND LEVEL CRACKS, HOLES, DEPRESSIONS AND ROUGH OR CHIPPED ARES IN SUBSTRATE USING PATCHING MATERIAL RECOMMENDED BY SETTING MATERIALS

MANUFACTURER. SLAB TO HAVE LIGHT BROOM FINISH WHEN TILE IS INSTALLED BY THIN-SET METHOD.

5. ENSURE THAT THE SUBSTRATE IS WITHIN THE FOLLOWING TOLERANCES: A) HORIZONTAL SURFACES (FLOORS) - MAXIMUM VARIATION IN SUBSTRATE SHALL NOT EXCEED 1/4 IN 10' FROM REQUIRED PLANE, DEPENDING ON SUBSTRATE. B) VERTICAL SURFACES (WALLS) - MAXIMUM VARIATION IN SUBSTRATE SHALL NOT EXCEED 1/4" IN 10' FROM REQUIRED PLANE, DEPENDING ON SUBSTRATE.

6. WHEN USING TILE LARGER THAN 12" X 12" AND A GROUT JOINT NARROWER THAN 1/4" IS DESIRED.

7. FIELD MOCK UP SHALL BE REQUIRED FOR EACH TILE INSTALLATION. MOCK UP SHALL BE A MINIMUM OF

8. MIX GROUT AND MORTAR IN STRICT ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.

9. INSTALL ALUMINUM TILE EDGE PROTECTION FOR ALL FLOORING TRANSITIONS.

10. TILE INSTALLATION SHALL SLOPED TO FLOOR DRAIN.

GYPSUM WALLBOARD NOTES

DEFECTS, READY TO RECEIVE PAINT.

1. PROVIDE GYPSUM WALL PANELS MANUFACTURED IN ACCORDANCE WITH ASTM C36.

2. PROVIDE METAL EDGE AND CORNER BEADS AT ENDS, EDGES AND CORNERS. 3. PROVIDE FASTENERS IN ACCORDANCE WITH ASTM C-1002-01 UNLESS OTHERWISE NOTED.

4. PROVIDE ALL INCIDENTAL AND ACCESSORY MATERIALS, TOOLS, EQUIPMENT, AND METHODS REQUIRED

FOR SATISFACTORY COMPLETION OF GYPSUM WALL BOARDS CONSTRUCTION.

5. PROVIDE FINAL FINISH THAT IS SMOOTH, WITHOUT DIVOTS, BUMPS, BOWS OR ANY OTHER SURFACE

GLASS AND GLAZING NOTES

1. EACH PANE OF GLASS SHALL BEAR THE MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS OR GLAZING MATERIAL.

. SAFETY GLAZING SHALL BE PROVIDED IN ALL OF THE FOLLOWING LOCATIONS: A) FIXED AND OPERABLE PANELS OF SWINGING. SLIDING AND BIFOLD DOORS. B) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN 24" OI EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. C) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT IS GREATER THAN 9 SF. LESS THAN 18" ABOVE THE FLOOR FROM THE BOTTON EDGE OF THE GLAZING. GREATER THAN 36" ABOVE THE FLOOR FROM THE TOP EDGE OF THE GLAZING. AND WITHIN 36" OF WAI KING SURFACE MEASURED HORIZONTALLY IN A STRAIGHT LINE OF THE PLANE OF THI GLAZING. D) GLAZING IN GUARDS AND RAILINGS. E) GLAZING IN WET SURFACES WITH THE BOTTOM EDGI OF THE GLAZING LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. F GLAZING ADJACENT TO STAIRWAYS AND RAMPS. G) GLAZING ADJACENT TO THE BOTTOM STAIRWAY LANDING, H) FIRE DEPARTMENT ACCESS PANELS.

3. SAFETY GLAZING SHALL MEET THE STANDARDS OF ANSI Z97.1-14.

UNLESS OTHERWISE NOTED ON THE DRAWINGS.

4. WINDOWS, DOORS AND SKYLIGHTS SHALL MEET THE STANDARDS OF AAMA/WDMA/CSA 101/I.S.2/A440-11

1. ALL UPHOLSTERED FURNITURE AND BEDDING PRODUCTS SHALL MEET CAL TB 133 TEST STANDARDS IN

2. ALL GROUT SHALL BE STAIN RESISTANT, COLOR CONSISTENT AND CRACK RESISTANT

3. ALL GLASS SHALL BE TEMPERED IN ACCORDANCE WITH ASTM C 1048-04 STANDARDS.

4. GLASS THICKNESS SHOWN IN THE DRAWINGS ARE FOR DETAILING PURPOSES ONLY. FINAL THICKNESS SHALL BE DETERMINED BY GLASS MANUFACTURER TO MEET APPLICABLE BUILDING CODE AND SAFETY STANDARDS AND REQUIREMENT OF LOCAL AUTHORITY HAVING JURISDICTION.

5. THE LEVEL OF GYPSUM DRYWALL FINISH SHALL CONFORM TO LEVEL 4 OF ASTM C840 AND GA-214 OF GYPSUM ASSOCIATION UNLESS OTHERWISE NOTED ON THE DRAWINGS.

6. FLOORING FINISHES IN CLOSETS SHALL BE THE SAME AS THE SPACE IN WHICH THE CLOSET OPENS TO

7. CEILING AND WALL SURFACES ADJACENT TO OR ABOVE ANY FOOD PREPARATION AREA, INCLUDING KITCHEN, DISHWASHING AND SERVING AREAS, SHALL BE SMOOTH AND EASILY CLEANABLE.

8. LAY IN CEILING TILE MUST BE NON-POROUS AND NON-FISSURED PANELS ONLY.

MEET HEALTH DEPARTMENT REQUIREMENTS AND SHALL HAVE COVED BASE 10. ALL SEALANT INSTALLED ADJACENT TO FOOD PREPARATION, FOOD STORAGE, UTENSIL WASHING AND

9. FLOORING IN FOOD PREPARATION, FOOD STORAGE, UTENSIL WASHING AND JANITORIAL AREAS SHALL

JANITORIAL AREAS SHALL BE MOLD AND MILDEW RESISTANT AND APPROVED BY THE NATIONAL SANITATION FOUNDATION (NSF)

11. GENERAL CONTRACTOR SHALL SUBMIT SAMPLES OF EACH FINISH SHOWN IN THE FINISH SCHEDULE OR AS REQUIRED TO COMPLETE THE WORK.

12. ALL NEW AND EXISTING FLOOR, CEILING AND WALL SHALL BE PROPERLY CLEANED, REPAIRED AND PREPARED FOR FINISHING, PAINTING AND/OR RECEIVING NEW FINISHES PER FINISH PLAN IN FULL COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.

13. WHENEVER STONE, MARBLE, LIMESTONE AND HARD SURFACES FLOORING IS SPECIFIED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING/APPLYING SEALANT AS SPECIFIED BY

14. PROVIDE BLOCKING AND FRAMING FOR ALL WALL MOUNTED FINSIH HARDWARE AND EQUIPMENT INCLUDING DOOR STOPS.

15. SET FLOOR TRACKS IN ACCURATE LOCATION AND SECURELY ANCHOR IN ACCORDANCE WITH ASTM STANDARDS. ERECT STUDS ON 16" O.C. AND SECURE THE TRACK. INSTALL HEAD TRACK IN ACCORDANCE TO DETAILS. INSTALL BLOCKING, BRACING AND ANCHOR STRIPS AS REQUIRED.

16. FIBERGLASS REINFORCED PANEL (RFP) SHALL HAVE A CLASS A FLAME SPREAD CLASSIFICATION 17. ALL MATERIAL TO BE INSTALLED IN KITCHEN, RESTROOM AND ANY OTHER MOISTURE-BORNE AREA SHALL BE MOISTURE RESISTANT, AND SHALL NOT RUST OR CORRODE.

18. INSTALLATION OF ALL FINISH MATERIAL ON FINISH SCHEDULE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURE AND STANDARDS.

19. ALL WALL PANELS AND OTHER FINISHES SHALL BE CLEANED UPON COMPLETION OF WORK.

20. ALL FINISHED WORK SHALL BE FREE OF DEFECTS. THE OWNER RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORKMANSHIP WHICH ARE NOT CONSIDERED TO BE AT THE HIGHEST ACCEPTABLE INDUSTRIAL STANDARDS OF THE TRADES. 21. PROVIDE PAINT FINISHES FOR BUILDING AND OTHER SURFACES AS SCHEDULE ON THE DRAWINGS OR

AS SPECIFIED. NO PAINT FINISH IS REQUIRED ON ITEMS HAVING COMPLETE FACTORY FINSIH. COLOR SAMPLE SHALL BE PROVIDED FOR ALL FACTORY FINISH PRODUCTS. 22. REMOVE ELECTRICAL OUTLET AND SWITCH PLATES, MECHANICAL DIFFUSERS, GRILLES, ESCUTCHEONS, REGISTERS, SURFACE HARDWARE, FITTINGS, AN FASTENINGS PRIOR TO COMMENCEMENT

23. PAINTING CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR IF ANY SURFACE TO BE PAINTED OR STAINED IS FOUND TO BE UNSUITABLE TO PRODUCE PROPER FINISH.

4. PROVIDE ALL NEWLY PAINTED SURFACES WITH ONE COAT PRIMER AND TWO COATS FINAL COLOR COATS TO ACHIEVE UNIFORM FINISH. 25. DELIVER ALL PAINT TO JOBSITE IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABEL

WITH PAINT TYPE, SHEEN AND COLOR. ALL PAINT SHALL BE SHERWIN WILLIAMS AND APPROVED EQUAL. 26. PAINTING CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER APPLICATION

27. ALL SURFACES TO BE PAINTED SHALL BE THOROUGHLY CLEANED AND PREPARED FOR PAINTING PRIOR TO APPLICATION OF PAINT. PROVIDE VENTILATOR AS REQUIRED TO PREVENT BUILD UP OF FUMES.

DOORS, FRAMES & HARDWARE NOTES

. INSTALL DOORS FRAMES AND ACCESSOREIS IN ACCORDANCE WITH THE FINAL SHOP DRAWINGS MANUFACTURER SPECIFICATIONS, AND AS HEREIN SPECIFIED.

2. INSTALL DOOR IN ACCORDANCE WITH MANAUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

3. PROVIDE ANCHORAGE DEVICES WHERE REQUIRED FOR SECURING FRAMES IN-PLACE.

4. PRIOR TO INSTALLATION, ALL FRAMES MUST BE CHECKED AND CORRECTED FOR SIZE, SWING SQUARENESS, ALIGHNMENT, TWIST AND PLUMBNESS.

5. ALL DOORS SHALL HAVE CLOSER, DOOR STOPS, BUMPERS OR SILENCERS.

SILENCERS. 8. DOORS AND FRAMES SHALL BE RE-USED ONLY WHEN SPECIFIED.

METAL DOOR AND FRAME SHALL BE FACTORY PRIMED AND PREPARED FOR DOOR HARDWARES AND

9. FLUSH HOLLOW METAL DOORS SHALL BE 16 GA, FULLY SEAMLESS, VERTICALLY STIFFENED DOORS WITH FULL INSULATED CORE, REINFORCED AND PREPARED FOR HARDWARE.

6. ALL LOCKSETS SHALL BE MASTER KEYED AS REQUIRED BY BUILDING MANAGEMENT AND/OR OWNER.

10. PROVIDE DOORS TO SIZE AND TYPES INDICATED ON DRAWINGS, FULLED WELDED, SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES.

11. SEE DOOR SCHEDULE FOR ALL DOOR SIZES AND THICKNESS.

12. INSTALL DOOR FRAME IN LOCATION AS INDICATED ON DRAWINGS. INSTALL RIGID, PLUMB, LEVEL AND TRUE. ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR ANCHORS TO FLOOR CONSTRUCTION WITH APPROVED TYPE MECHANICAL FASTENINGS. ANCHOR TO ADJOINING WALLS WITH MANUFACTURER'S SPECIFIED ANCHORS . BRACE FRAMES TO RETAIN POSITION AND CONTINUOUSLY CHECK ALIGNMENT DURING CONSTRUCTION OF ADJACENT WALLS. ADJUST FRAME LOCATION SA NECESSARY USING SHIMS BEFORE FASTENING.

13. KEYING TO BE COORDINATED WITH TENANT AND BUILDING OWNERS LOCKSMITH.

LIST OF ABBREVIATIONS

- Architect / Enginee

Anchor Bolt

ADA

ADBL

ADDL

ADH

AFF

BLKG

BRZ

CAB

CEM

CMU

COL

CPT

CYL

DBL

EIFS

ETR

FXP

EXT

F/F

FACP

FCO

FIR

FOF

FOM

FOS

FR

FRT

FSTP

FTR

FURN

FURR

FLUOR

Face to Face

Floor Clean Out

Fire Extinguisher

Fabric Flashing

Fire Hose Cabinet

Full Height Partition

Fluorescent

Face of Finish

Face of Stud

Fire Resistar

Fire-stopping

Foot or Feet

- Furniture

Furring

- Future

- Full Size

Face of Concrete

Face of Masonry

- Fire Retardant Treated

- Fire Sprinkler Head

- Fin Tube Radiation

Fabric Wall Covering

Flat Bar

Fire Alarm Control Pane

Fire Department Connection

Fire Extinguisher Cabinet

Full Height Encasement

Air Conditionin

- Galvanized QUAL Accessible (ADA Compliant Grab Bar **ACOUS** General Contractor Acoustic Ceiling Tile - Glass Fiber Reinforced Concrete GFRC Access Door The Americans with Disabilities Act GFRG - Glass Fiber Reinforced Gypsum RCP Adaptable (ADA Compliant) GLMU - Glass Masonry Unit GMMU Adhesive Glass Mesh Mortor Unit GND Adjustable ADJC Adjacent REFR Access Floor GRTG Above Finished Floo - Grating **AGGR** GSKT Aggregate - Grout **GWB** - Gypsum Wall Board Alternate ANOD Anodized - Hose Bibb Access Pane APPROX Hollow Core ARCH HDBD Hardboard Above Suspended Ceiling Hardwood ASPH HDW Asphalt Hardware HGR Hanger HT - Hollow Metal BLDG HMD Hollow Metal Door HNDRL - Handrail - Hold Open HORIZ By Others Horizontal High Poin HVAC Heat, Ventilation & Air Conditionin Bronze Inside Diameter Cabinet Inside Face Casing Bea Inch or Inches INSUL Insulation CEMTS Instantaneous Water Heater CHAN JAN Janitor CHBD Chalkboard CHFR Chamfer - Knocked Dow Cast Iron Construction Joint KO Knockout KOP Knockout Panel KPL Kickplate Clear - Length or Left CLRM CMPST LAD Ladder Concrete Masonry Un Laminate CNTR LAV Label COMP Linear Foot or Feet CONC - Left Hand CONN - Left Hand Reverse CONSTR Construction CONTR Contractor COPP LNM CPRS LNTL Compressible or Compression LONG Longitudinal CORR - Low Point Cold Rolled Stee Cast Stone - Lighting LTWT Countersun Lightweigh CSMT LVR **CSWK** MACH Machine Ceramic Tile Maintenance MAS DEMO MAX Demolitio MDF Medium Density Fiberboard MDO - Medium Density Overlay **Drinking Fountai** MECH Mechanical MED MEMB Membrane MEZZ Damproofin Metal Flashin MFR - Manufacturer Door Opening - Manhole Minimum Miscellaneous MKBD Markerboard - Metal Lath MLDG Drawir DWR MLWK MO Masonry Openin MTD MTR Each Mortar Expansion Bolt Exterior Insulation Finish System MULI - Mullior MVBL - Movable - Not Applicable Electrical NAT **EMER** NIC Not In Contract Emergeno **ENGR** NOM - Nominal FNTR NTS - Not To Scale Electrical Pane **EPDM** Ethylene Propylene Diene Monomer OA **EPRF** Explosion Proof - On Center Outside Diameter **EQUIP** Outside Face **ESCAL** - Owner Furnished/Contractor Installed Engineered Stone Overhead OPNG Existing to Remain OPP Electric Water Coole EX / EXIST Power & Signal Particle Board

PFRF

PFRIM

PERP

PLAS

PLBG

PNEU

POL

POLY

PRCST

PREFAB

PREFIN

PT

PTD

PTN

PVG

- Pair

- Precast

Painted

Paving

Partition

- Prefabricated

Pressure Treated

Polyvinyl Chloride

- Pre-finished

PLYWD

- Gauge

GALV

REINF REQD REQMTS Requirements RESIL Resilient Flooring RFG Right Hand Reverse Rough Opening Rain Water Leade - Solid Core SAFB SCHE Schedule SCR SCRN Static Dissipative Tile SECT Square Foot or Feet Sheathin Sheet Meta Spray Particle Pair Specifications Stainless Stee Solid Surface Service Sink STAG Sound Transmission Class STN STR Structural SYM SYMM Symmetrical Sheet Vinyl Floorin Surface Four Sides SYS Treads (Stairs) Top and Bottom Tongue and Groove - To Be Determined TBD TBM Top of Beam Top of Concrete Thermoset Decorative Overlay TEMP Temporary TERR Top of Footing TFF Top of Finished Floor THRES THRU TKBD Tackboard **TMPD** Top Of Concrete Top of Footing TOM Top Of Masonry TOS Top Of Steel TOSL Top of Slab TOW TPO Thermoplastic-Polyolefin Roofing **TRANS** Translucent Television TYP Underwriters Laboratory UNEX Unexcavated UNFIN Unfinished - Unless Otherwise Noted UPS - Uninterruptible Power Supply Ultraviole Vapor Barrier or Vinvl Base Vinyl Composition Tile VER VERT Vertical VEST - Contractor to Verify In Field VNR Vapor Retarde VWC Vinyl Wall Covering Wall Hydrant Water Closet Wired Glass Perforated Working Point WSCT Perimeter Wainscot Perpendicular WTH - Width Plastic Laminate Waterproofing WWF Welded Wire Fabr Plywood Pressed Metal Pneumatic Center Line - Polished - Polyethlene Tolerance Dimension

- Reflected Ceiling Plan PEOPLE ARCHITECTS - Reinforced or Reinforcing Architect's Seal: - Sound Attenuation Fiber Blanket

- Quarry Tile

- Radius or (Stair) Risers

Quality

Radiator

- Roof Drain

Reference

Refrigerato

- Rubber

QTY

DRAWN BY: MN

PROJECT TITLE

CLIENT

TITLE

DRAWING NO.

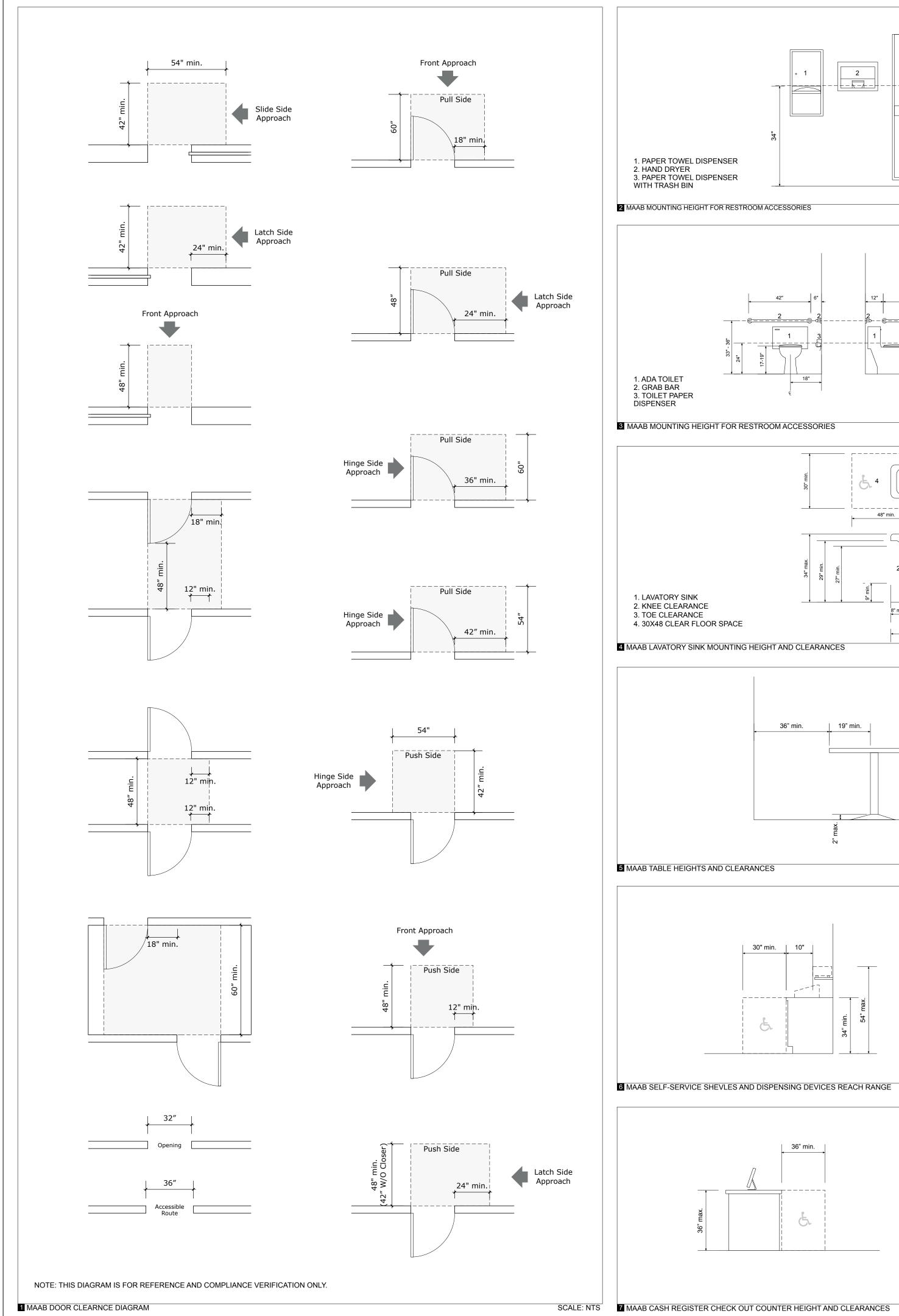
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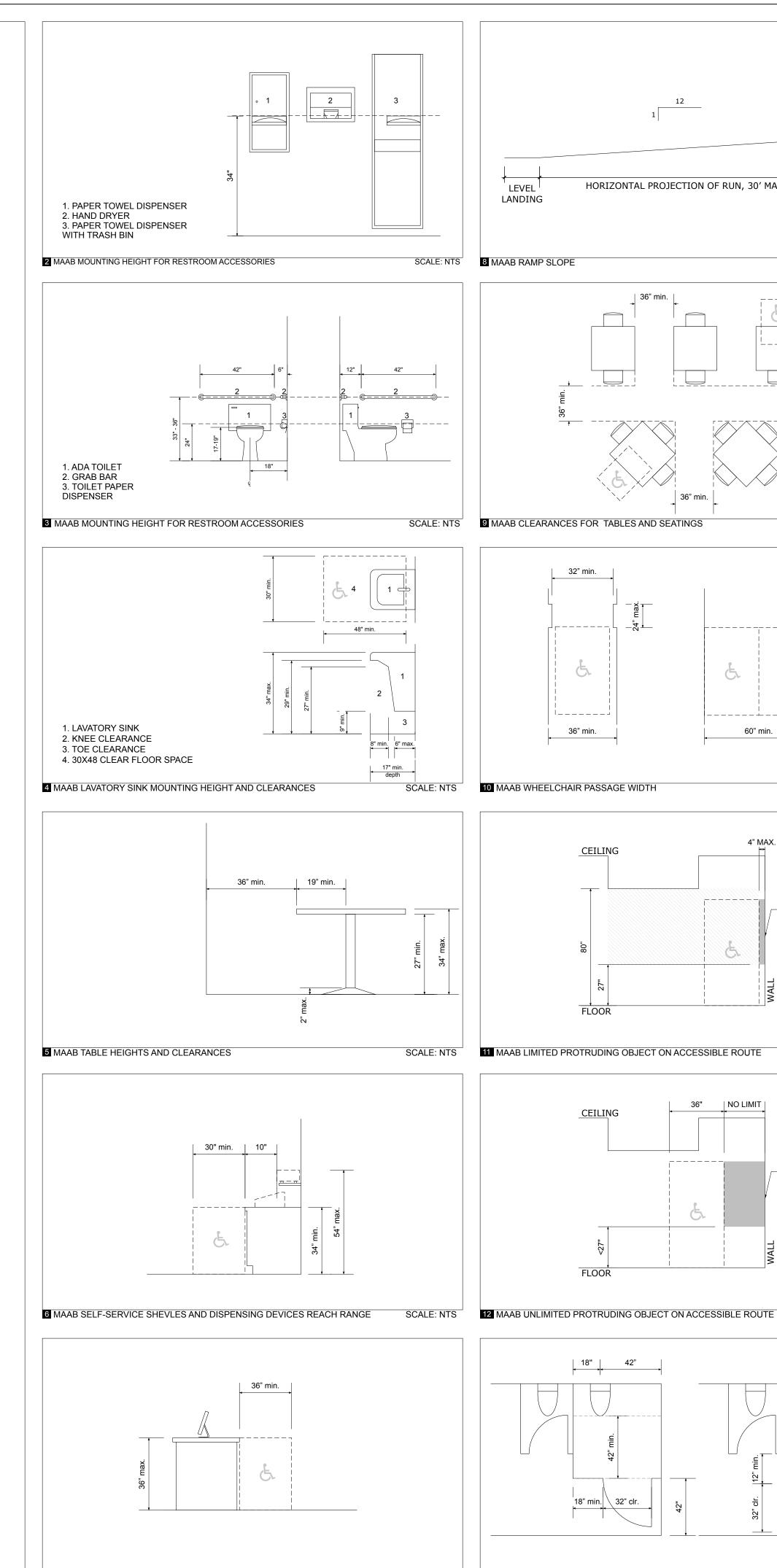
> KUNG FU TEA HARVARD SQUARE

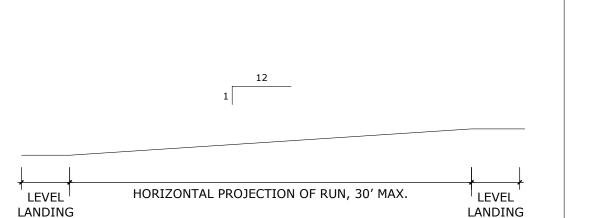
KUNG FU TEA

PROJECT ADDRESS 1160 MASSACHUSETS AVE, CAMBRIDGE, MA

GENERAL NOTES AND ABBREVIATIONS



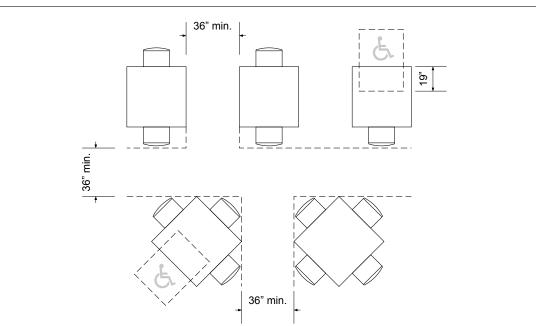




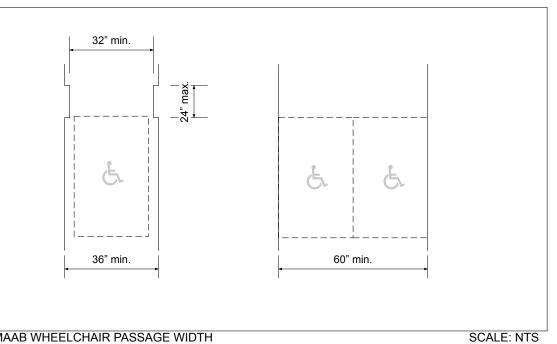
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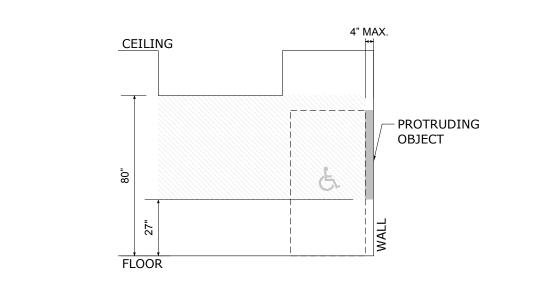
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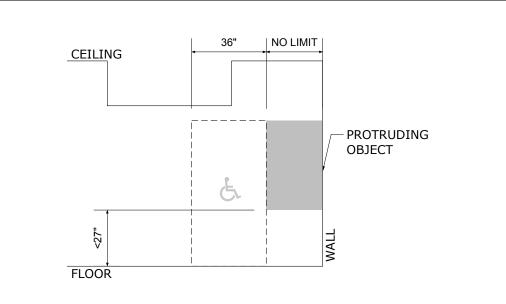


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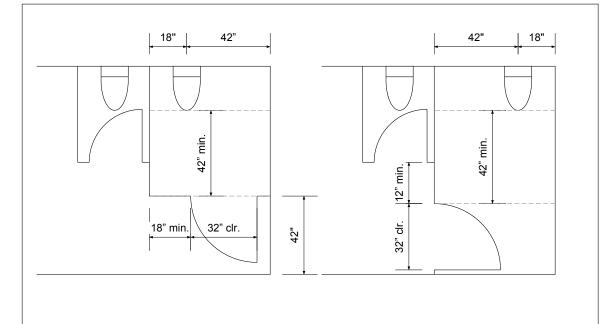




11 MAAB LIMITED PROTRUDING OBJECT ON ACCESSIBLE ROUTE



SCALE: NTS



SCALE: NTS 13 ACCESSIBLE TOILET STALL

1. THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF/HERSELF WITH THE MAAB AND ADA STANDARDS.

521 CMR (MAAB) NOTES

2. AN ACCESSIBLE ROUTE SHALL HAVE A MINIMUM CLEAR WIDTH OF 36

3. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN FOUR INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES AND SHALL NOT HAVE SHARP OR ABRUPT EDGES.

4. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY DISTANCE AS LONG AS THEY DO NOT REDUCE THE ACCESSIBLE ROUTE BELOW 36 INCHES.

5. FREE STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY HAVE A MAXIMUM OVERHANG OF 12 INCHES MEASURED BETWEEN 27 INCHES AND 80 INCHES ABOVE THE GROUND OR FINISH FLOOR.

6. AN ACCESSIBLE ROUTE WITH A RUNNING SLEP STEEPER THAN 1:20 (5%) IS A RAMP AND SHALL COMPLY 521 CMR 24.00: RAMPS. NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50 (2%). THE MAXIMUM SLOPE SHOULD BE USED FOR ANY RAMP SHALL BE 1:12. WHERE SIDEWALKS ARE TOO NARROW TO INSTALL A STRAIGHT-LINE CURB CUT AT A SLOPE OF 1:12 (8.3%), THE SIDES OF THE CURB CUT SHALL NOT EXCEED 1:12 (8.3%).

7. THE MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 48 INCHES MEASURED BETWEEN THE RAILINGS. RAMPS SHALL HAVE LANDINGS FOR TURNING AND RESTING. AT A MINIMUM, LANDINGS SHALL BE LOCATED AT THE BOTTOM AND TOP OF EACHH RAMP AND EACH RAMP RUN, AND WHENEVER A RAMP CHANGES DIRECTION. THE MAXIMUM LENGTH OF A RAMP RUN BETWEEN LANDINGS SHALL NOT EXCEED 30 FEET. LANDINGS SHALL BE LEVEL AND UNOBSTRUCTED BY PROJECTIONS AND DOOR SWINGS. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT. THE LANDING LENGTH SHALL BE A MINIMUM OF 60 INCHES CLEAR. IF RAMPS CHANGE DIRECTION AT LANDINGS. THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE LEVEL AREA IN FRONT OF THE DOORWAY SHALL ALSO COMPLY WITH MANEUVERING CLEARANCES. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. HANDRAILS SHALL BE PROVIDED IN PAIRS, ONE AT A HEIGHT BETWEEN 34 INCHES AND 38 INCHES, AND A LOWER ONE AT A HEIGHT BETWEEN 18 INCHES AND 20 INCHES, MEASURED VERTICALLY FROM THE SURFACE OF THE RAMP TO TOP OF HANDRAIL. HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION, EXCEPT BY DOORWAYS AND OPENINGS, SO THAT A HAND CAN MOVE FROM END TO END WITHOUT INTERRUPTION. HANDRAILS SHALL EXTEND AT LEAST 12 INCHES BEYOND THE TOP AND BOTTOM OF THE RAMP AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE, EXCEPT WHERE THE EXTENSION WOULD CAUSE A SAFETY HAZARD. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1-1/4 INCHES MINIMUM AND 2 INCHES MAXIMUM. WHEN A HANDRAIL IS MOUNTED ADJACENT TO A WALL, THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2 INCHES. HANDRAILS MAY BE LOCATED IN A WALL RECESS IF THE RECESS IS A MAXIMUM OF 3 INCHES DEEP AND EXTENDS AT LEAST 18 INCHES ABOVE THE TOP OF THE RAIL.

8. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOW: A) EXTERIOR HINGED DOORS - 15 LBS. B) INTERIOR HINGED DOOR - 5 LBS. C) SLIDING OR FOLDING DOORS - 5 LBS. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION. IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 6 SECONDS TO CLOSE. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL BE BEVELED ON BOTH SIDES WITH A SLOPE NO GREATER THAN 1:2 (50%). HAND OPERATED DOOR OPENING HARDWARE SHALL BE LOCATED 36 INCHES TO 48 INCHES ABOVE THE FLOOR.

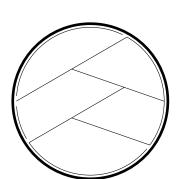
9. DOORS TO ALL ACCESSIBLE SPACES SHAL LHAVE ACCESSIBLE HARDWARE MOUNTED.

10. IF SEATING FOR PEOPLE IN WHEELCHAIRS IS PROVIDED AT TABLES OR COUNTERS, KNEE SPACES AT LEAST 27 INCHES HIGH, 30 INCHES WIDE, AND 19 INCHES DEEP SHALL BE PROVIDED.

11. HEIGHT OF TABLES OR COUNTERS SHALL BE FROM 28 INCHES TO 34 INCHES ABOVE THE FINISH FLOOR OR GROUND.

12. AT COUNTERS WHERE FOOD IS CONSUMED BUT THERE IS NO SERVICE, A 60 INCHES PORTION OF THE DINING COUNTER SHALL BE ACCESSIBLE, ON AN ACCESSIBLE ROUTE.

13. AT COUNTERS EXCEED 34 INCHES IN HEIGHT, WHERE FOOD OR DRINK IS SERVED FOR CONSUMPTION BY CUSTOMERS SEATED ON STOOLS OR STANDING AT THE COUNTER, A PORTION OF THE MAIN COUNTER SHALL BE ACCESSIBLE OR SERVICE SHALL BE AVAILABLE AT ACCESSIBLE TABLES WITHIN THE SAME AREA. THE ACCESSIBLE PORTION SHALL BE A MINIMUM OF 60 INCHES IN LENGTH.



PEOPLE ARCHITECTS

Architect's Seal:		

DRAWN BY: MN

DATE	DESCRIPTIONS
12/28/2018	PROGRESS DRAWING 1
01/28/2019	PROGRESS DRAWING 2
02/09/2019	PROGRESS DRAWING 3
02/11/2019	PROGRESS DRAWING 4
03/05/2019	PROGRESS DRAWING 5
03/10/2019	PROGRESS DRAWING 6
03/18/2019	PERMIT SET PROGRESS
03/24/2019	PERMIT SET PROGRESS
PROJECT TITI	LE
	KUNG FU TE
	HARVARD SQUAR

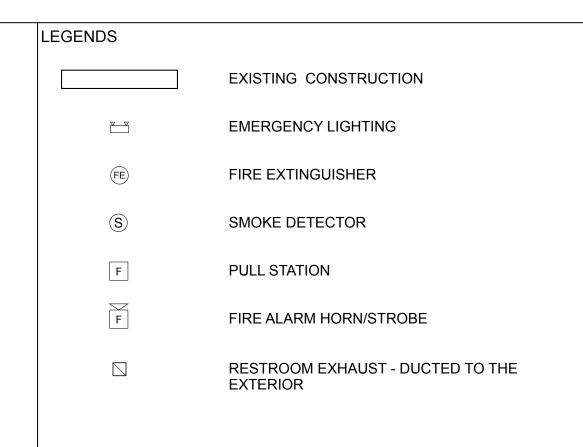
KUNG FU TEA

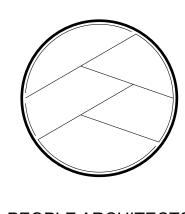
PROJECT ADDRESS 1160 MASSACHUSETS AVE,

CAMBRIDGE, MA

TYPICAL DETAILS DRAWING NO.

MAAB NOTES AND





PEOPLE ARCHITECTS

Architect's Seal:

DRAWN BY: MN

REVIEWED BY: CKY DESCRIPTIONS 12/28/2018 PROGRESS DRAWING 1 01/28/2019 PROGRESS DRAWING 2 02/09/2019 PROGRESS DRAWING 3 02/11/2019 PROGRESS DRAWING 4 03/05/2019 PROGRESS DRAWING 5 03/10/2019 PROGRESS DRAWING 6 03/18/2019 PERMIT SET PROGRESS 03/24/2019 PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

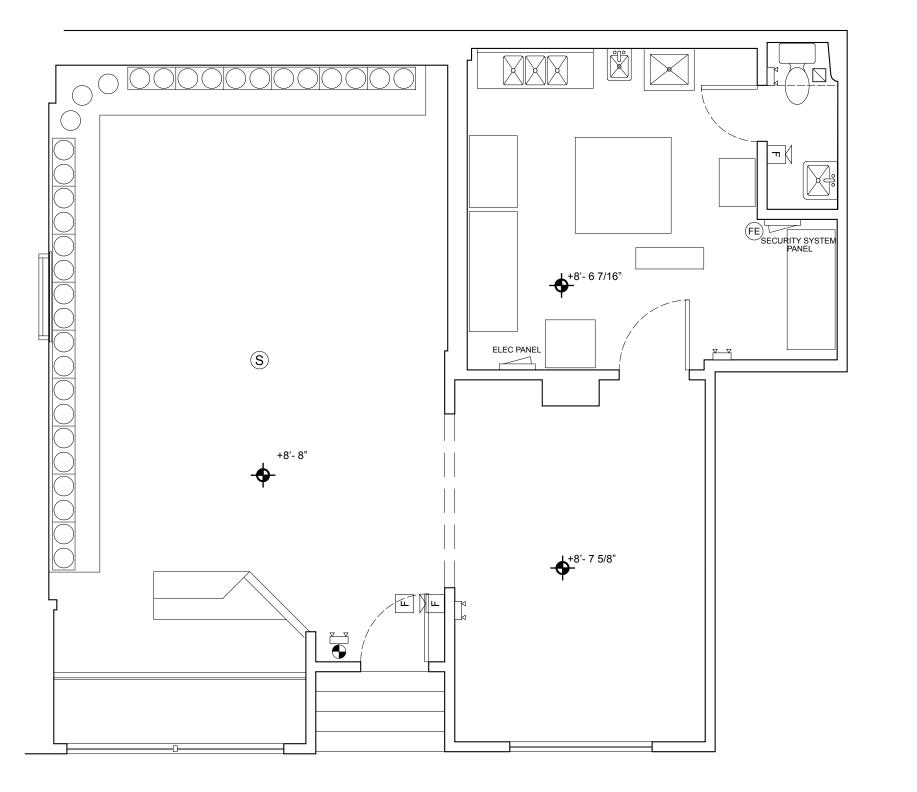
KUNG FU TEA

PROJECT ADDRESS 1160 MASSACHUSETS AVE, CAMBRIDGE, MA

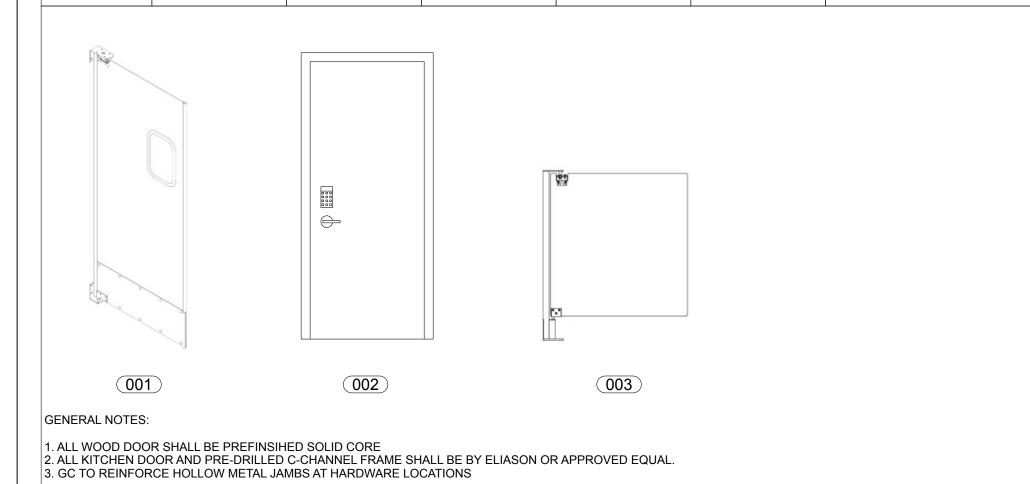
EXISTING FLOOR PLAN

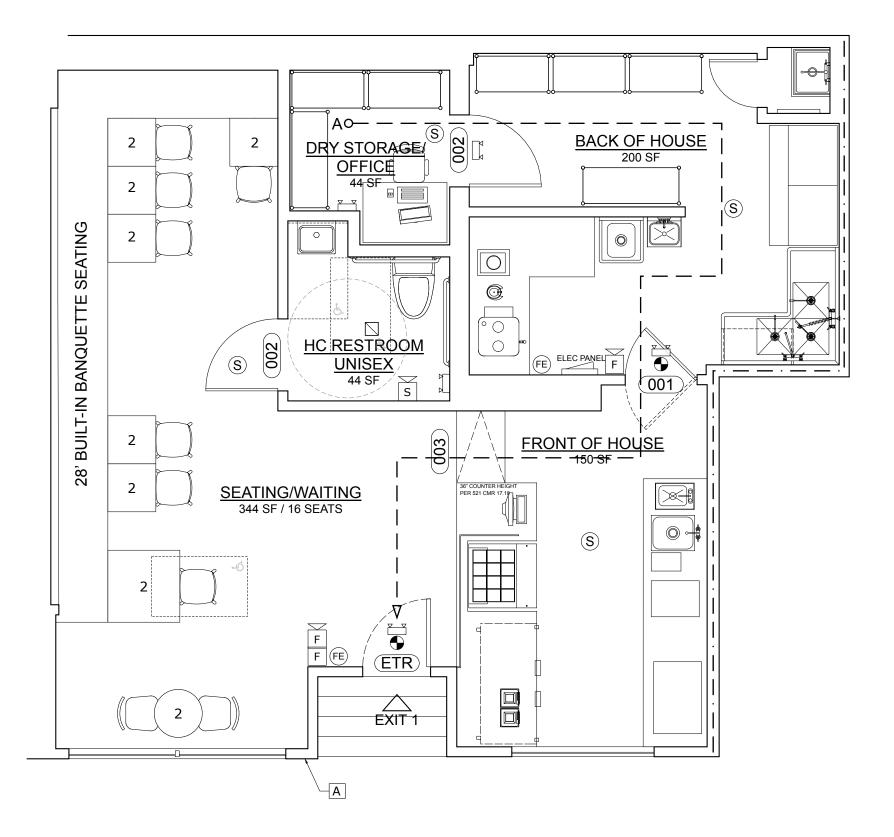
DRAWING NO.

EX-1.0

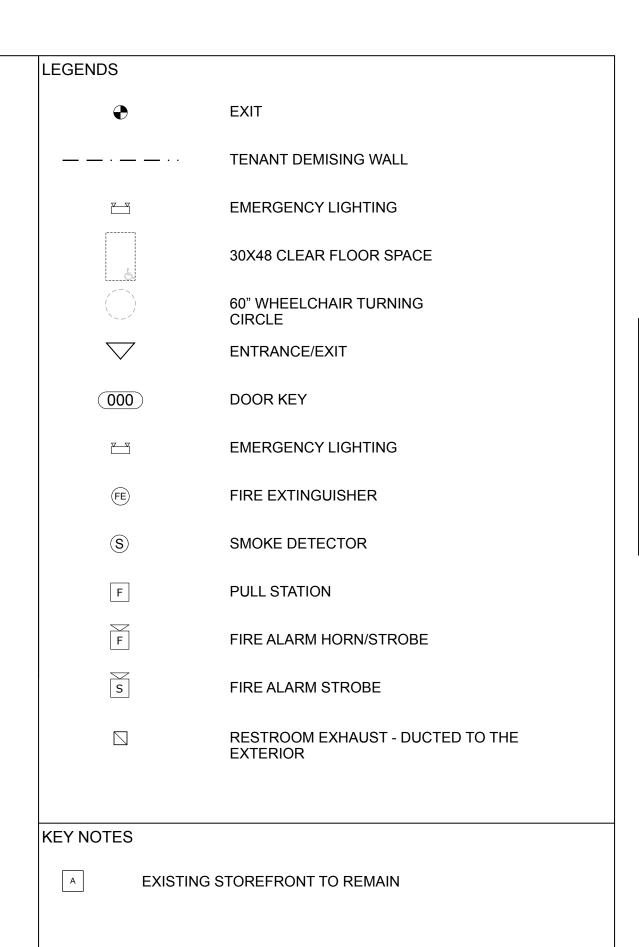


DOOR AND FRAME SCHEDULE									
DESIGNATION	LOCATION	NOMINAL SIZE	MATERIALS	FINISH	FRAME	REMARKS			
ETR	EXISTING	EXISTING	ETR	EXISTING	EXISTING	EXISTING DOOR TO REMAIN			
001	вон/гон	36X84	ALUMN/WOOD	ALUMN	PRE-DRILLED FRAME	WOOD CORE, 1", DBL ACTING HINGE, 9X' VISION PANEL			
002	RESTROOM	36X84	WOOD	WOOD	KD	SOLID CORE, KICK PLATE, SELF-CLOSING PRIVACY LOCK AND LEVER			
003	FOH	36X36	WOOD	WOOD	GATE POST	SERVICE COUNTER ENTRY DOOR, DBL ACTING HINGE			





FIRST FLOOR PLAN
Scale: 1/4" = 1' - 0"



EXIT ACCESSED TRAVEL DISTANCE CALCULATIONS [1017.2] OCCUPANCY GROUP B: 200' WITHOUT SPRINKLER SYSTEM

1. IT'S THE ARCHITECT'S INTENT TO ACCURATELY SHOW PROPOSED CONDITIONS AS WELL AS THE EXISTING CONDITIONS FOR THE PROJECT. HOWEVER, FIELD CONDITIONS

MAY VARY AND IT IS THEREFORE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY FIELD CONDITIONS AND IMMEDIATELY REPORT ANY MAJOR DISCREPANCIES OR OMISSIONS TO THE ARCHITECT.

A O— → EXIT 1: 52.08' +/-

GENERAL NOTES

PEOPLE ARCHITECTS

128 Lincoln St, Unit 110, Boston, MA 02111

Architect's Seal:

ERMIT SET - PROG

DRAWN BY: MN								
	REVIE	REVIEWED BY: CKY						
	DATE		DESCRIPTIONS					
	12/28	3/2018	PROGRESS DRAWING 1					
	01/28	3/2019	PROGRESS DRAWING 2					
	02/09	9/2019	PROGRESS DRAWING 3					
	02/11	1/2019	PROGRESS DRAWING 4					
	03/05	5/2019	PROGRESS DRAWING 5					
	03/10)/2019	PROGRESS DRAWING 6					
	03/18	3/2019	PERMIT SET PROGRESS					
	03/24	1/2019	PERMIT SET PROGRESS					

PROJECT TITLE KUN

KUNG FU TEA HARVARD SQUARE

CLIENT

KUNG FU TEA

PROJECT ADDRESS

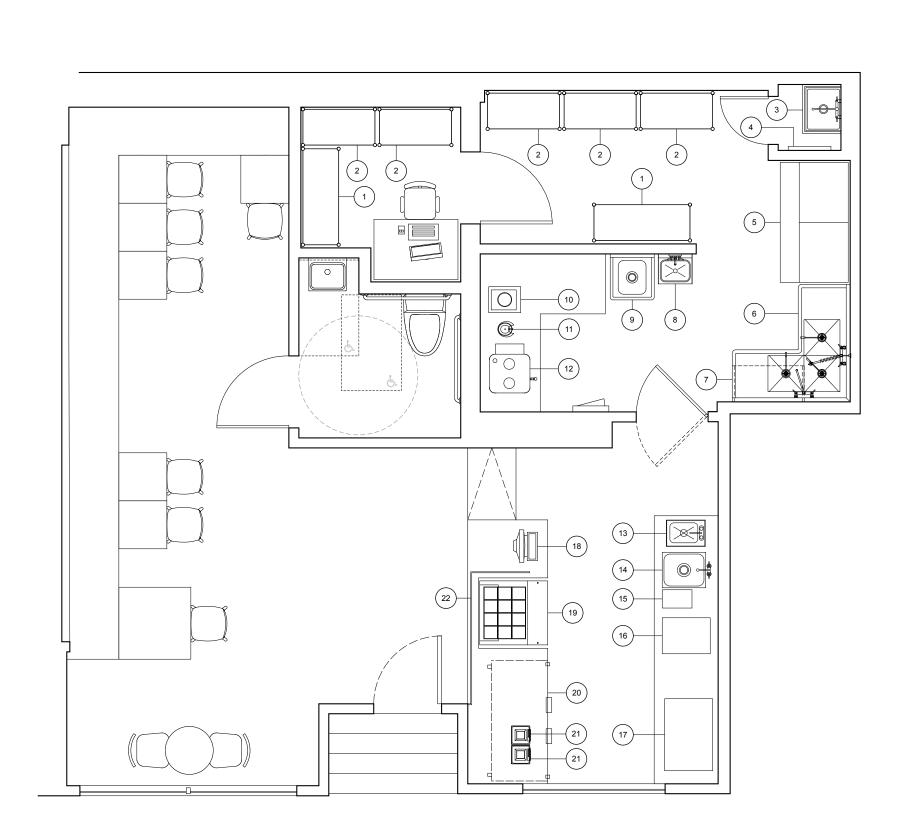
1160 MASSACHUSETS AVE,
CAMBRIDGE, MA

PROPOSED FLOOR PLAN

DRAWING NO.

TITLE

A-1.0



FIRST FLOOR PLAN

Scale: 1/4" = 1' - 0"

EQUIPMENT KEY
SEE EQUIPMENT SCHEDULE (BY OTHER) FOR DETAILS

(1) 48" DRY STORAGE SHELVING

² 36" DRY STORAGE SHELVING

MOP SINK MOP HANGER

600 LB ICE MAKER WITH STORAGE BIN (6) THREE COMPARTMENT CORNER SINK

CLEANED DISH SHELVING 8 WALL MOUNT HAND SINK

DUMP SINK

ELECTRIC FOOD WARMER COMMERCIAL JUICER

(12) TEA URN

DROP IN HAND SINK WITH SPLASHGUARDS

DROP IN DUMP SINK

BLENDER RINSER 16 INSULATED ICE BIN WITH COVER

ESPRESSO MACHINE

(19) 32" REFRIGERATED FOOD PREP TABLE

(20) 60" UNDERCOUNTER REFRIGERATOR

(21) COMMERCIAL BLENDER

²² FOOD SHIELD

GENERAL NOTES

1. ALL EQUIPMENT, FIXTURES AND FURNISHINGS TO BE PROVIDED BY OWNER, GC TO INSTALL.

PEOPLE ARCHITECTS 128 Lincoln St, Unit 110,

	Boston, IMA 02111
Architect's Seal:	

DRAWN BY: MN

DRAWN BY: I	DRAWN BY: MIN							
REVIEWED B	Y: CKY							
DATE	DESCRIPTIONS							
12/28/2018	PROGRESS DRAWING 1							
01/28/2019	PROGRESS DRAWING 2							
02/09/2019	PROGRESS DRAWING 3							
02/11/2019	PROGRESS DRAWING 4							
03/05/2019	PROGRESS DRAWING 5							
03/10/2019	PROGRESS DRAWING 6							
03/18/2019	PERMIT SET PROGRESS							
03/24/2019	PERMIT SET PROGRESS							

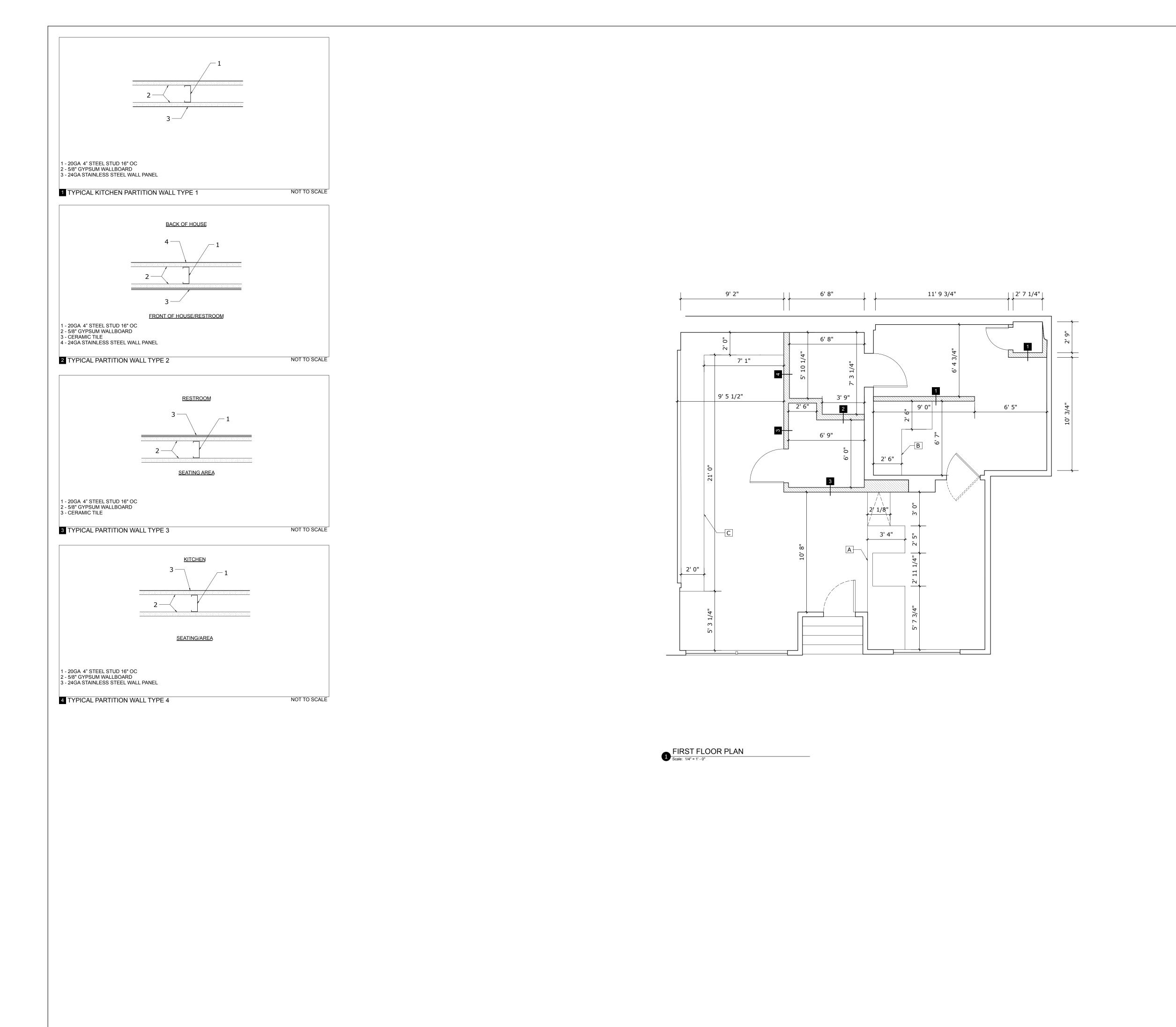
PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

KUNG FU TEA

PROJECT ADDRESS 1160 MASSACHUSETS AVE, CAMBRIDGE, MA

EQUIPMENT PLAN



EXISTING CONSTRUCTION NEW CONSTRUCTION CUSTOM MILLWORK BY GC - FRONT OF HOUSE SERVICE CUSTOM MILLWORK BY GC - BACK OF HOUSE SERVICE COUNTER CUSTOM MILLWORK BY GC - 24' BUILT IN BANQUETTE REVIEWED BY: CKY GENERAL NOTES 1. ACTUAL FIELD CONDITION MIGHT VARIES. GC SHALL VERIFY THAT ALL INTERIOR DIMENSIONS INDICATED CAN BE MET PRIOR TO WALL CONSTRUCTION. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. 2. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR ALL WALL MOUNTED FIXTURES. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD 3. MTL STD REINFORCEMENT SHALL BE INSTALLED AT 48" O.C. TO STRUCTURE ABOVE

4. ALL DIMENSIONS ARE TO FACE OF FINISHES UNLESS OTHERWISE NOTED.

LEGENDS

PEOPLE ARCHITECTS

Architect's Seal:

DRAWN BY: MN

DESCRIPTIONS 12/28/2018 PROGRESS DRAWING 1 01/28/2019 PROGRESS DRAWING 2 02/09/2019 PROGRESS DRAWING 3 02/11/2019 PROGRESS DRAWING 4 03/05/2019 PROGRESS DRAWING 5 03/10/2019 PROGRESS DRAWING 6 03/18/2019 PERMIT SET PROGRESS 03/24/2019 PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

CLIENT

KUNG FU TEA

PROJECT ADDRESS

1160 MASSACHUSETS AVE, CAMBRIDGE, MA

TITLE

NEW CONSTRUCTION PLAN

NISH SCHEDULE									
ROOM	LOCATION	DESIGNATION	MANUFACTURER	SPECIFICATIONS	SIZE	FINISH	COLOR	GROUT	REMARKS
	FLOOR	CT-1	TBD	CERAMIC TILE	12 X 24	TBD	TBD		CLASS A
CE ATINIC AAAA ITINIC	BASE	WD-1	TBD	WOOD	4"	PTD	TBD		CLASS A
SEATING/WAITING	WALL	W-1	GWB	TBD	NA	LVL4	TBD		CLASS A
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD		CLASS A
	FLOOR	QT-1	METROPOLITAN	TBD	6X6	UNGLAZED	PURITAN GRAY		CLASS A
EDONT OF HOUSE	BASE	QB-1	METROPOLITAN	COVE BASE	6X6	UNGLAZED	PURITAN GRAY		CLASS A
FRONT OF HOUSE	WALL	W-1	GWB	TBD	NA	LVL4	TBD		CLASS A
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD		CLASS A
	FLOOR	QT-1	METROPOLITAN	TBD	6X6	UNGLAZED	PURITAN GRAY		CLASS A
	BASE	QB-1	METROPOLITAN	COVE BASE	6X6	UNGLAZED	PURITAN GRAY		CLASS A
BACK OF HOUSE	WALL	SS	SS	24GA	NA	SS	SS		CLASS A
	CEILING	ACT-1	CEILING TILE	GYPSUM CORE	12X24	VINYL FACED	WHITE		CLASS A
	FLOOR	CT-2	TBD	CERAMIC TILE	TBD	TBD	TBD		CLASS A
DESTRUCIA	BASE	CB-1	TBD	COVE BASE	TBD	TBD	TBD		CLASS A
RESTROOM	WALL	W-1	GWB	TBD	NA	LVL4	TBD		CLASS A
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD		CLASS A

		BACK OF HOUSE	
	DRY STORAGE/OFFICE 44 SF	200 SF	
		D _{FS}	Гр
	HC RESTROOM UNISEX 44 SF		
SEATING/ 344 SF/	(WAITING 16 SEATS	FRONT OF HOUSE 150 SF FS	

DRY STORAGE/OFFICE 444 SF	BACK OF HOUSE 200 SF
HC RESTROOM UNISEX 44 SF	
SEATING/WAITING 344 SF / 16 SEATS	FRONT OF HOUSE 150 SF DF6

PEOPLE ARCHITECTS

Architect's Seal:

LEGENDS

FS/FD

KEY NOTES

GENERAL NOTES

1. INSTALLATION OF FLOOR SINK AND FLOOR DRAIN SHALL BE FLUSHED WITH FINISHED

2. FINISH FLOOR SHALL SLOPE TO DRAIN TO FLOOR DRAIN, TYP.

CERAMIC TILE (CT-1)

CERAMIC TILE (CT-2)

QUARRY TILE (QT-1)

FLOOR SINK/FLOOR DRAIN

DRAWN BY: MN REVIEWED BY: CKY

> 12/28/2018 PROGRESS DRAWING 1 01/28/2019 PROGRESS DRAWING 2 02/09/2019 PROGRESS DRAWING 3 02/11/2019 PROGRESS DRAWING 4 03/05/2019 PROGRESS DRAWING 5 03/10/2019 PROGRESS DRAWING 6

> 03/18/2019 PERMIT SET PROGRESS 03/24/2019 PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

KUNG FU TEA

PROJECT ADDRESS

1160 MASSACHUSETS AVE, CAMBRIDGE, MA TITLE

FINISH FLOOR PLAN DRAWING NO.

3/8" GROUT
SUBFLOOR
3 TYPICAL KITCHEN TILE FLOORING WITH COVE BASE

DRY STORAGE/OFFIC	CE 200 SF
HC RESTROOM UNISEX 44 SF	
SEATING/WAITING 344'SF'),16 SEATS	FRONT OF HOUSE 150 SF Drs

FIRST FLOOR PLAN

Scale: 1/4" = 1' - 0"

		EXTRUDED A EDGE PROTECT - SEE FINISH S FOR FINISH	ΓΙΟΝ TRI SCHEDUL
CERAMIC TILE —		CERAMIC TI	LE

- 1X4 SOLID WOOD BASE — FLOORING PER FINISH SCHEDULE SUBFLOOR

3 TYPICAL WOOD BASE DETAIL SCALE: NTS SS WALL PANEL OR FRP PER FINISH SCHEDULE

> — 5 1/2" COVE BASE - 6X6X1/2 FLOOR TILE T JOINT

SCALE: NTS

LIGHT FIXTURI	ES SCHEDULE							
DESIGNATION	MANUFACTURER MODEL MO		MOUNTING TYPE	COLOR TEMEPERATURE	DIMMABLE	REMARKS		
L1	TBD	TBD	TBD	2700 - 3000 K	YES			
L2	LITHONIA	WF3LED	RECESSED	3000 K	YES	WHITE, 3" SQUARE TRIM INDOOR/OUTDOOR		
L3	CREE	E-KCV	TRACK	3000 K	YES	WHITE, LED, FROSTED LEN		
L4	NICOR	T-5C	TRACK	4000 K	NO	2X4 OR 2X2, WHITE, LED,		
EXT		E-XEL1GBCA	TOP/END/BACK	_		UL EXIT		
EL-W		E-XML2W	WALL/CEILING	_		UL CONTROL CON		

GENERAL LIGHTING NOTES:

1. EC TO PROVIDE ALL NECESSARY ACCESSORIES AND COMPATIBLE DIMMER BY LUTRON OR APPROVED EQUAL.

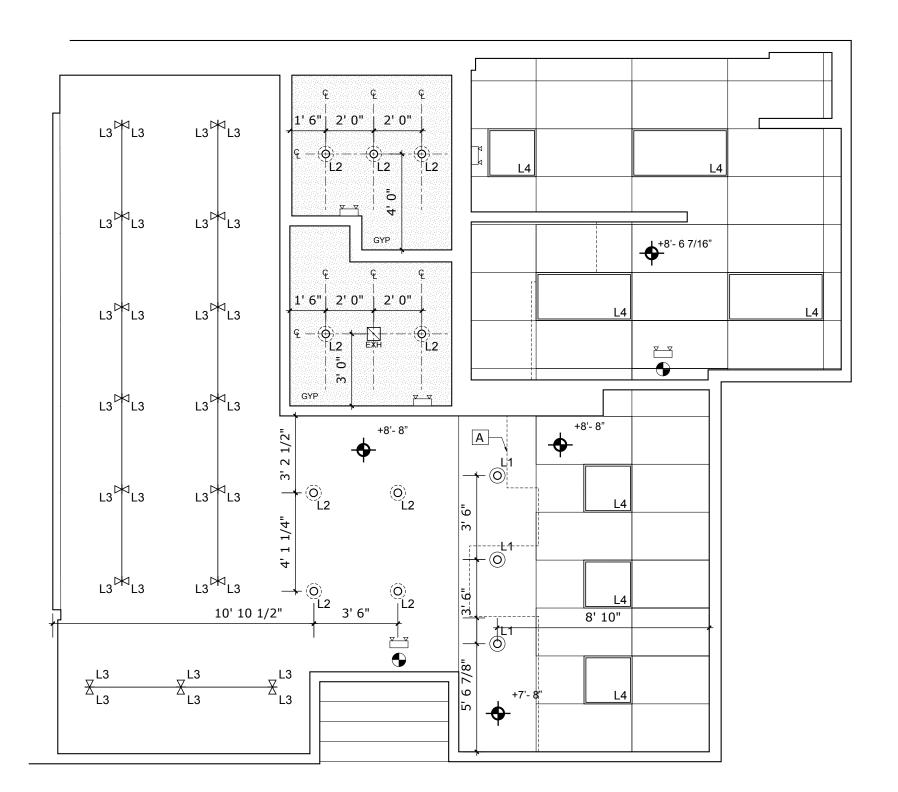
2. EC SHALL SUPPLY AND INSTALL THE LINEAR LED LIGHTING FIXTURE AND ALL ACCESSORIES, INCLUDING VOLTAGE DRIVER, DIMMABLE DRIVER, CONNECTORS, ETC.

3. LED TAPE LIGHTS SHALL BE SECURED IN ALUMINUM CHANNELS WITH FROSTED LENSES.

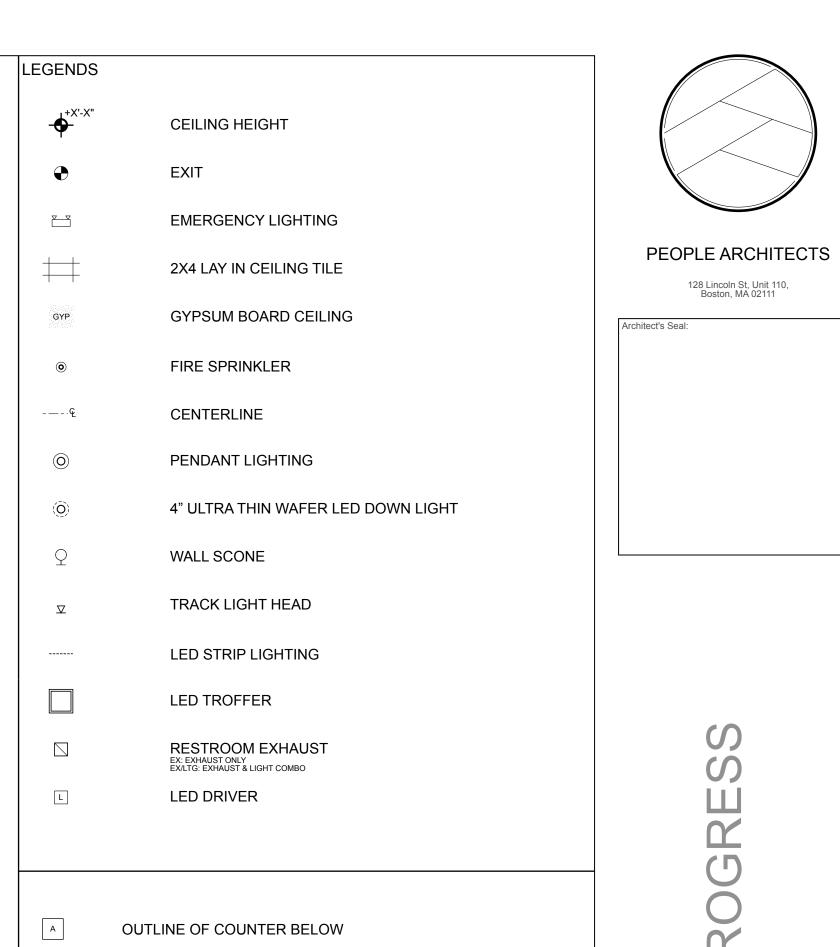
4. EC MUST VERIFY EXACT QUANTITY OF FIXTURES PRIOR TO ORDERING.

5. THE SPECIFIED LIGHTING FIXTURES SHALL BE THE BASIS OF THE BASE BID. ANY LIGHT FIXTURE THAT THE ELECTRICAL CONTRACTOR PROPOSED AS A VALUE ENGINEERING SUBSTITUTION SHALL BE PROPOSED AS A DEDUCT ALTERNATE OF THE PROJECT.

6. WHERE THE SPECIFIED LIGHTING FIXTURE IS NOT AVAILABLE OR NOT AVAILABLE FOR DELIVERY TO MEET THE PROJECT SCHEDULE, ELECTRICAL CONTRACTOR SHALL PROPOSED EQUAL SUBSTITUTION WITH DOCUMENTATION TO VERIFY THAT THE SPECIFIED LIGHTING FIXTURE IS UNAVAILABLE.



FIRST FLOOR PLAN
Scale: 1/4" = 1' - 0"



GENERAL NOTES

1. EXACT LOCATIONS OF EXIT SIGN AND EMERGENCY LIGHT LOCATION SHALL BE DETERMINED IN THE FIELD BY ELECTRICIAN AND APPROVE BY THE ARCHITECT.

DRAWN BY: MN

REVIEWED BY: CKY

DATE DESCRIPTIONS

12/28/2018 PROGRESS DRAWING 1

01/28/2019 PROGRESS DRAWING 2

02/09/2019 PROGRESS DRAWING 3

02/11/2019 PROGRESS DRAWING 4

03/05/2019 PROGRESS DRAWING 5

03/10/2019 PROGRESS DRAWING 6

03/18/2019 PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

03/24/2019 PERMIT SET PROGRESS

CLIENT

KUNG FU TEA

PROJECT ADDRESS

1160 MASSACHUSETS AVE,

TITLE

REFLECTED CEILING PLAN

DRAWING NO.

A-1.4

CAMBRIDGE, MA

EQUIPMENT, FIXTURES AND FURNISHING SCHEDULE

DECIONATION	OTV	FOLIDMENT		DIMENSION	s			PLUMBING DATA					ELECTRICAL DATA		DEMARKO
DESIGNATION	QTY.	EQUIPMENT	L	D	Н	Cold	Hot	Waste	Vent	Gas	BTU	Voltage	Amps	NEMA Config.	REMARKS
1	1	POS/CASH REGISTER													
2	1	FLOOR DISPLAY REFRIGERATOR: TURBO AIR TOM-30LW-N OR EQ	28	34 5/8	46 1/8							115/60/1	6.7	5-15P	ETL
3	1	FROZEN TREAT MIXER: VITA-MIX CORPORATION OR EQ	10	8 1/4	24							220-240/285-325	2.6	THREE-PRONG PLUG	NSF
4	2	JUICE BLENDER: HAMILTON BEACH HBH750 OR EQ	8 1/2	11 1/4	18 1/2							120/60	8.6		UL, NSF
5	1	DUMP SINK: ADVANCED TABCO SL-RS-12 OR EQ	12	23	33 3/8	1/2	1/2	ID							NSF
6	1	DROP IN HAND SINK WITH SPLASHGUARDS	12	16	10	1/2	1/2	2	2						NSF
7	1	INSULATED ICE BIN WITH COVER						ID				115/60/1	15		NSF, UL
8	1	UNDERCOUNTER REFRIGERATOR: CONTINENTAL SW32-U	32	31 9/16	31 13/16			_				115	6.3		UL, NSF
9	2	32" FOOD PREP REFRIGERATOR: CONTINENTAL SW32-12M	32	35	42 1/4							115	6.3	5-15P	UL, NSF
10	2	GLASS DOOR MERCHANDISER REFRIGERATOR: BEVERAGE-AIR LV27HC-1-B OR EQ	30	32 1/4	78						_	115/60/1	3	5-15P	UL
11	1	COMMERCIAL JUICE EXTRACTOR: WARING OR EQ	12 3/8	10 1/4	10 1/4							120/60/6			UL
12	1	AIRPOT COFFEEE BREWER: BUNN CW15-APS OR EQ	23.6	9	18.5							120/240	11.4	5-15P	UL, NSF
13	1	COUNTERTOP INDUCTION RANGE: AVANTCO IC1800 OR EQ	11 3/4	14 1/4	3 1/2							120/60		5-15P	ETL
14	1	ICE MAKER WITH STORAGE BIN: SCOTSMAN N0622A-1, B322S	22 15/16	24	23			ID				115	18.3		AIR COOLED, NSF, 643 LB/DAY PRODUCTION
15	2	ELECTRIC RICE COOKER: IOWN OR EQ										120			NSF, ETL
16	1	STAINLESS STEEL HEAVY DUTY WALL SHELF: REGENCY OR EQ	36	18											NSF
17	1	COMMERCIAL COUNTERTOP CONVECTION OVEN: AVANTCO OR EQ	18 3/4	18	15							120		5-15P	ETL
18	1	STAINLESS STEEL ONE COMPARTMENT SINK WITHOUT DRAINBOARDS: REGENCY 16GA.304S/S OR EQ	23	23 1/2	43 3/4	1/2	1/2	ID							NSF
19	1	STAINLESS STEEL ONE COMPARTMENT FLOOR MOP SINK: REGENCY OR EQ	25	21	16	1/2	1/2	2							NSF
20	1	STAINLESS STEEL THREE COMPARTMENT SINK WITH R&L DRAINBOARDS: ADVANCE TABCO FC-3-1818-18RL OR EQ	90	24	43	1/2	1/2	1 1/2							NSF
21	1	STAINLESS STEEL WALL SHELF: ADVANCED TABCO WS-12-108 OR EQ	108	12	1 1/2										NSF
22	1	TWO DOOR REACH-IN FREEZER: BEVEREGE-AIR HBF49-1 OR EQ	52	32	84							115/60/1	11.9		UL

GENERAL NOTES:

PEOPLE ARCHITECTS

Arc	hitect's S	Seal:		

PERN

DRAWN BY: MN

REVIEWED BY: CKY

PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

KUNG FU TEA

PROJECT ADDRESS 1160 MASSACHUSETS AVE, CAMBRIDGE, MA

TITLE

EQUIPMENT SCHEDULES

^{[1].} PLUMBING CONTRACTOR TO PROVIDE INDIRECT DRAIN AS REQUIRED.
[2]. INFORMATION PROVIDED ARE FOR COORDINATION ONLY. VERIFY WITH OWNER/EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
[3]. SEE EQUIPMENT SPECIFICATION FOR DETAILS PRIOR TO INSTALLATION



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139 Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director* William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members* Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

	Jurisdiction Advice	
To the Owner of Property at	1160 Massachusetts A	venue
The above-referenced property is sub reason of the status referenced below		nbridge Historical Commission (CHC) by
Avon Hill Neighb Half Crown – Ma _X_ Harvard Square No CHC review of this district Mid Cambridge Note in the district of the district of the district Mid Cambridge Note in the district of	Historic District 40C, City Code §2.78.050) orhood Conservation District rsh Neighborhood Conservation Conservation District of use or fast order food. Exter deighborhood Conservation Distrinark studied for designation: Ch. 2.78., Article III, and various riction or Easement (as recorded rears or more old and therefore st ermit, if one is required by ISD. for definition of demolition. ot a designated historic property	ior alterations are subject to review in ict City Council Orders) ubject to CHC review of any application (City Code, Ch. 2.78, Article II). See the and the structure is less than fifty years the National Register of Historic Places;
	nments:	-
The Board of Zoning Appeal advises Conservation District Commission re		
If a line indicating possible jurisdic Historical Commission to determin		
CHC staff initialsSLB	Date	June 17, 2019
Received by Uploaded to En Relationship to project BZA 0171	<u> </u>	June 17, 2019
cc: Applicant Inspectional Services Commi	ssioner	

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. In addition to complete demolition of a building, the following actions may require a demolition permit,

- removal of a roof,
- removal of one side of a building,
- gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and
- removal of more than 25% of a structure.

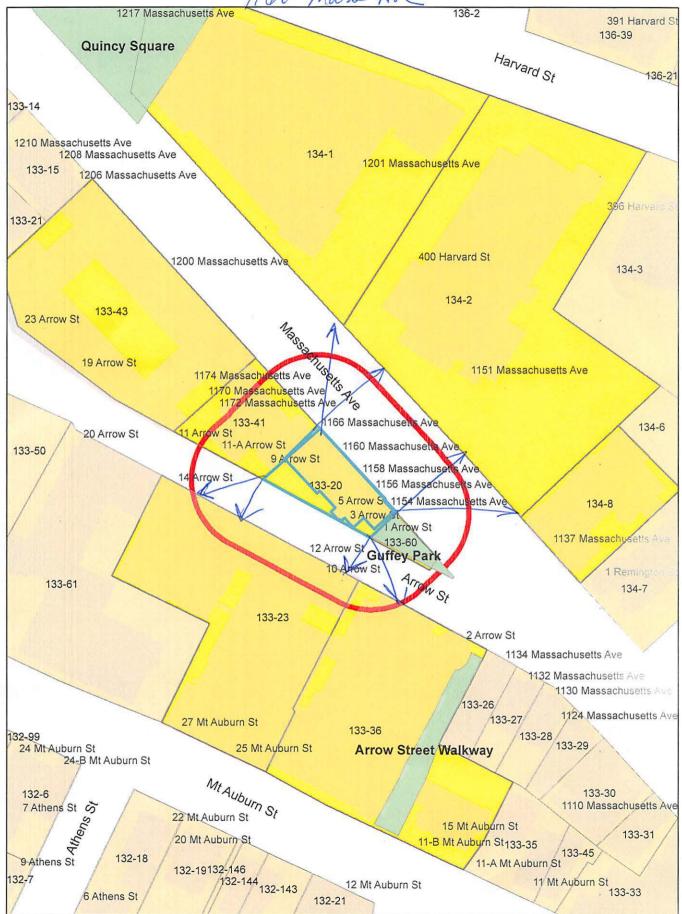
Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission 831 Massachusetts Ave., 2nd Fl. Cambridge, MA 02139 Ph: 617/349-4683 or TTY: 617/349-6112 http://www.cambridgema.gov/Historic 1160 Mass Ave



1160 Mass Ave

133-20 1154-1166 MASS AVE, LLC C/O ORIENTAL FURNITURE 68 MOULTON ST 3RD FLR CAMBRIDGE, MA 02138

133-41 TOPGYAL, TSERING 1174 MASSACHUSETTS AVE., #74C CAMBRIDGE, MA 02138

133-41 YANG, LIN 1168 MASSACHUSETTS AVE., #68/3 CAMBRIDGE, MA 02138

133-41 LIU, WEI & WEI SUN 1170 MASSACHUSETTS AVE., #70/7 CAMBRIDGE, MA 02138

133-41 SCADDEN, DAVID T.& KATHLEEN T. O'CONNELL 62 LEXINGTON STREET WESTON, MA 02493

133-60 CAMBRIDGE CITY OF C/O LOUIS DEPASQUALE CITY MANAGER

134-8 LATHAM, RAMONA M. 8 ROCKY PASTURE RD GLOUCESTER, MA 01930

134-8
ENTWISLE, JEREMY C. R. & MINAKO ENTWISLE
C/O PREMIER PROPERTY SOLUTIONS
311 SUMMER STREET
BOSTON, MA 02110

134-8 WINTHROP, MORTON M. 44 LOCKELAND AVE ARLINGTON, MA 02474

134-8 DIAZ, TINA K. 1137 MASSACHUSETTS AVE. -UNIT #21 CAMBRIDGE, MA 02139 133-23 DOWSE, GRANTON H., JR., IRENE A. M. DOWSE & LEONARD H. DOWSE, TRS. OF BBC TR 14 ARROW ST. SUITE 21 CAMBRIDGE, MA 02138

133-41 LOPEZ, CATHERINE ORTIZ 1168-1 MASS AVE CAMBRIDGE, MA 02138

133-41 STEINBERGH, ALEX M. GENERAL PARTNER THE 1168 MASSACHUSETTS AVENUE LIMITED PART. C/O GEORGE & FIDA SARKIS 1170 MASS AVE., UNIT #2 CAMBRIDGE, MA 02139

133-41 WOLFE-SIDBERRY, NANCY 6413 WATERFORD DR BRENTWOOD, TN 37027

133-41 PANGANAMATA, JOYCE RAO 1172 MASSACHUSETTS AVE., #72/11 CAMBRIDGE, MA 02138

133-60 CITY OF CAMBRIDGE C/O NANCY GLOWA CITY SOLICITOR

134-8 WINTHROP, MORTON M., TR. VAUGIRARD TRUST 44 LOCKELAND AVE. ARLINGTON, MA 02474

134-8 PEREZ, MAYNOR 1137 MASS AVE.,UNIT #5 CAMBRIDGE, MA 02139

134-8
DIAZ, TINA KOLB, KOSTAS TERZIDIS,
PAUL CREELAN & ANNE PETER TRUSTEE
1730 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

134-8 TAKASHIMA, ERI MIHO 1137 MASS AVE. UNIT#22 CAMBRIDGE, MA 02138 ADAM DASH & ASSOCIATES C/O MEGAN KEMP 48 GROVE STREET #304 SOMERVILLE, MA 02144

133-41 MERRILL, ROBERT D. 1168 MASS AVE. UNIT#68/2 CAMBRIDGE, MA 02139

133-41 GISABELLA, BARBARA 11 BOWDON ST SOMERVILLE, MA 02143

133-41 MUGAMBI, ROSEMARY 330 BROADWAY CAMBRIDGE, MA 02139

133-43 ARROW ASSOCIATES, L.L.C C/O HAMILTON REALTY CO. 39 BRIGHTON AVE ALLSTON, MA 02134

134-2 OLD CAMBRIDGE BAPTIST CHURCH 400 HARVARD CAMBRIDGE, MA 02138

134-8 GUZMAN, JOHANN 415 E. FREEMASON ST. APT 2A NORFOLK, VA 23510

134-8 PETER, BERAN & NANCY PETER 12 BLOSSOM LANE WAYLAND, MA 01778

134-1 /133-36
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE INC.
HOLYOKE CENTER - ROOM #1000
1350 MASS AVE
CAMBRIDGE, MA 02138

134-8 LEE, EDMUND & ALICE LEE 1137 MASS AVE., UNIT #23 CAMBRIDGE, MA 02138 1140 Mass Ave

134-8 MORRIS, BARRY S. 46B COTTAGE RD NEWBURY, MA 01951

134-8 LEO HOLDINGS, LLC 19 SOUTH RINDGE AVE LEXINGTON, MA 02420

134-8 WANG, ANGELA X., TR. THE 1137 MASSA AVE #33 REALTY TR 1137 MASSACHUSETTS AVE., #33 CAMBRIDGE, MA 02138

134-8 HYSON, ANNE M. C/O OXFORD ST REALTY, INC P.O BX 400354 CAMBRIDGE, MA 02138

134-8 HARRIS, ZACH 1137 MASS AVE. UNIT#42 CAMBRIDGE, MA 02138

134-8 SONG, YOUNG IMM KANG 22 CONCORD AVE., #15 CAMBRIDGE, MA 02138

134-8 HARRIS, ZACHARY M. & CILLA R. HARRIS 1034 CIRCLE ON THE GREEN COLUMBUS, OH 43235

134-8 TUTAK, JENNIFER L. 1137 MASSACHUSETTS AVE., #54 CAMBRIDGE, MA 02138

134-8 RUSTEM, UNVER 1137 MASS AVE., UNIT #57 CAMBRIDGE, MA 02138 134-8 STOYANOVA, BORISLAVA & LEONARD GUARENTE 93 STANTON AVE ABURNDALE, MA 02466

134-8 FRANKINA, JAN F., TRUSTEE THE JAN FRANCES FRANKINA REV TRS 1137 MASSACHUSETTS AVE., #31 CAMBRIDGE, MA 02138

134-8 TAKASHIMA, ERI M. 1137 MASS AVE., #22 CAMBRIDGE, MA 02138

134-8 VORVIS, ATHANASIOS 1137 MASS AVE. UNIT#37 CAMBRIDGE, MA 02138

134-8 BOUDREAU, CATHERINE A. 140 CLARENDON ST #1209 BOSTON, MA 02116

134-8 YANG, DIAN C/O TUSHNET, REBECCA & ZACHARY SCHRAG 1137 MASSACHUSETTS AVE., #47 CAMBRIDGE, MA 02138

TERZIDIS, CONSTANTINOS 1137 MASS AVE. UNIT#52 CAMBRIDGE, MA 02138

134-8 EINZIGER, MICHAEL A. 3130 WILLSHIRE BLVD. STE 600 SANTA MONICA, CA 90403

133-36 MT. AUBURN CONDOMINIUM LLC, 453 HARRIS RD. BEDFORD HILL, NY 10507 134-8 SONG, SEUNG HYE & JAE KYUNG C/O OXFORD ST. REALTY, INC. 1644 MASSACHUSETTS AVE CAMBRIDGE, MA 02138

134-8 HU, SHUFEI 1137 MASSACHUSETTS AVE., #32 CAMBRIDGE, MA 02138

134-8 MURPHY, KEVIN 1137 MASS AVE #35 CAMBRIDGE, MA 02138

134-8 WING, FRANK 1137 MASS AVE., UNIT #41 CAMBRIDGE, MA 02138

134-8 CROSBY, GEORGE DE F. 5473 N. BAY ROAD MIAMI BEACH, FL 33140

133-41 AUGMENT INVESTMENTS, LLC 4 TROWBRIDGE PLACE, UNIT 2D CAMBRIDGE, MA 02138

134-8 J. V. JOVI CRUCES 1137 MASS AVE.,UNIT#53 CAMBRIDGE, MA 02139

134-8
VAN RICE, RICK
1137 MASSACHUSETTS AVE. UNIT 56
CAMBRIDGE, MA 02138